

BYE LAW APPLICATION FEES

REF. NO.: 91A/1659      CERTIFICATE NO.: 16602 B

PROPOSAL: 6 houses

LOCATION: Sites 2-12 even Road 2 land adjacent to Wells Brook  
House between

APPLICANT: Glendorn Ltd

Log 12/10/91

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	✓ 82.50	82.50	✓		
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M <sup>2</sup> or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M <sup>2</sup> in excess of 300 M <sup>2</sup> Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 21/10/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Mr. A. Hinchy,  
Senior Executive Draughtsman/Technician

RE: 6 houses sites 2-12 even Road 2 Land adjacent to  
WELLSBROOK House, Uicon

REG. REF.: 91A/1659

RE: LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) (FEES AND AMENDMENT)  
REGULATIONS, 1983 - ARTICLE 6.1

A reduced fee (i.e.  $\frac{1}{2}$ ) has been paid in respect of the above application.  
Please confirm this is the correct fee under Article 6.1 of the Local  
Government (Planning and Development) (Fees and Amendment) Regulations, 1983.  
File Reg. Ref.: 9A/0543 on which a full fee was paid is attached.



Richard Whelan,  
Staff Officer,  
Registry Section.

Mr. R. Whelan,  
Registry Section.

*No alteration to site layout.  
No change in no of houses  
J. M.  
22/10/81.*

A. Hinchy,  
Senior Executive Draughtsman/Technician

PLANNING APPLICATION FEES

Reg. Ref. 91A/1659

Cert. No. 26908

PROPOSAL 6 houses

LOCATION Sites 2-12 even Road 2 land adjacent to Wells Brook House

APPLICANT Gondorn Ltd Wigan

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32	4/118	4/118		
2	Domestic	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres	@£1.75 per m2 or £40				
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

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Columns 2,3,4,5,6 & 7 Certified: Signed: *RUC* Grade: S.O. Date: 21/10/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: ..... Grade: ..... Date: .....

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT:

MANAGER'S ORDER NO: P/        /  
DATED

ENTERED IN CONTRIBUTION REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Register Reference : 91A/1659

Date Received : 17th October 1991

Correspondence : Frank Elmes & Co.,  
Name and : 2 Waldemar Terrace,  
Address : Main Street,  
Dundrum,  
Dublin 2.

Development : Alterations to roof of approved house type only (Reg. Ref. 91A/0543)

CN 8675  
BN 1214

Location : Sites 2/12 even incl., Road 2 at lands adjacent  
Willsbrook House, Esker Lane, Ballyowen Td., Lucan

Applicant : Glendorn Ltd

App. Type : Permission

Zoning : A1

Floor Area : Sq.metres

(MG/AC)

Report of the Dublin Planning Officer dated 19 November 1991.

CONTRIBUTION:	
Standard:	75240
Trads:	1420 m <sup>2</sup> m <sup>2</sup>
S. Serv:	
Open Space:	98,000
Other:	of 48,000
SECURITY:	
Bond / C.I.F.:	240,000
Cash:	110,000

This is an application for PERMISSION for alterations to roof of previously approved house type at sites 2-12, Road 2, at lands adjacent to Willsbrook House, Esker Lane, Lucan for Glendorn Ltd.

Reg. Ref. No. 89A/0982 refers to the original grounding permission for housing development at this location.

Reg. Ref. Nos. 91A/0543, 91A/0544, 91A/0545, 91A/0546, 91A/0547, 91A/0549, 91A/0550 and 91A/1228 refer to recent grants of permission to alterations to previously approved house types at this location.

Reg. Ref. No. 91A/0543 refers to recent grant of permission for change of house type at sites 2-16, Road 2.

Reg. Ref. No. 91A/1444 refers to a current application for change of house type and layout to give terraced units elsewhere on site.

The current application provides for alterations to the previously approved roof profile at Nos. 2-12 Road 2 to give a half hipped roof (hipped roof approved under Reg. Ref. 91A/0543). A similar house type has been approved elsewhere on site. This is not the case.

This site was inspected on 18.11.91. Nos. 6-12 are completed to roof level. Nos. 2-4 are to first-floor level.

The proposed development will provide for greater variation of house type at this location and is considered acceptable.

Drawings lodged do not identify the proposed rear elevation accurately. However revised drawings were submitted on 24/11/91 as unsolicited additional information, showing the rear elevation with a half hipped roof.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1659

Page No: 0002

Location: Sites 2/12 even incl., Road 2 at lands adjacent Willsbrook House, Esker Lane, Ballyowen Td., Lucan

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts 1963-1990, subject to the following (9) conditions:-

### CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto. *as amended by ...* *documents lodged 22/11/91*

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That each proposed house be used as a single dwelling unit.

REASON: To prevent unauthorised development.

04 That the development shall be carried out in conformity with condition nos. 5-12, 14-16 and 17(c) of an Bord Pleanalas grant of planning permission for 160 no. houses at this location under Ref. PL 6/5/81895, dated 14th September, 1990, Reg. Ref. 89A-0982, save as amended to conform with the revisions indicated in the plans lodged with Dublin County Council in connection with this application.

04 REASON: In the interest of the proper planning and development of the area.

05 That arrangements be made for the lodgement of security in the form of an approved Insurance Company Bond or Letter of Guarantee in the sum of £240,000 or a cash lodgement of £150,000 in respect of the overall development as required by condition no. 2 of An Bord Pleanalas grant of planning permission under Ref. PL 6/5/81895, Reg. Ref. No. 89A-0982. *be*  
*be strictly adhered to in respect of*  
*arrangements to be made prior to the commencement of this proposal.*

REASON: To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

06 That arrangements be made for the payment of the financial contribution in the sum of £75,240 in respect of the overall development as required by Condition No. 3 of An Bord Pleanalas grant of planning permission

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1659

Page No: 0003

Location: Sites 2/12 even incl., Road 2 at lands adjacent Willsbrook House, Esker Lane, Ballyowen Td., Lucan

under Ref. PL 6/5/81895 Reg. Ref. No. 89A-0982. <sup>be strictly allowed to</sup> ~~The arrangements to be made prior to the commencement of this proposal.~~

REASON: To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

- 07 That arrangements ~~be~~ made for the payment of the financial contribution in the sum of £1,420 per house in respect of the overall development as required by Condition No. 4 of an Bord Pleanalas grant of planning permission under Ref. PL 6/5/81895, Ref. Ref. No. 89A-0982. <sup>be strictly allowed</sup> ~~The arrangements to be made prior to the commencement of this proposal.~~

REASON: To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

- 08 That a comprehensive landscaping plan is to be submitted for the site (as required by Condition No. 13 of An Bord Pleanalas grant of planning permission Ref. PL 6/5/81895 under Reg. Ref. NO. 89A-0982). This is to include inter alia, a programme of tree surgery for the site, a street planting scheme, measures to protect trees to be retained during construction and landscaping works to be carried out.

REASON: In the interest of visual and residential amenity.

- 09 That arrangements ~~be~~ made with regard to the payment of the financial contribution in the sum of (a) £98,000 and (b) £48,000 required in respect of the overall development by condition no. 17 of the planning permission granted under Ref. PL 6/5/81895, Ref. Ref. 89A-0982. <sup>be strictly</sup> ~~The arrangements to be made prior to the commencement of this proposal.~~ <sub>allowed to in respect of this proposal</sub>

- 09 REASON: In the interest of the proper planning and development of the area.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1659

Page No: 0004

Location: Sites 2/12 even incl., Road 2 at lands adjacent Willsbrook House, Esker Lane, Ballyowen Td., Lucan

*JL*  
Endorsed: .....  
for Principal Officer

*M.P. Undergalt*  
.....  
for Dublin Planning Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (9) conditions set out above is hereby made.

*6<sup>th</sup> December*  
Dated : .....  
NOVEMBER 1991

*[Signature]*  
.....  
ASSISTANT COUNTY MANAGER/APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated *6<sup>th</sup> November* 1991.

*5<sup>th</sup> December*





Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION  
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 5369 /91      Date of Decision : 5th December 1991

Register Reference : 91A/1659      Date Received : 17th October 1991

Applicant : Glendorn Ltd

Development : Alterations to roof of approved house type only (Reg.  
Ref. 91A/0543)

Location : Sites 2/12 even incl., Road 2 at lands adjacent  
Willsbrook House, Esker Lane, Ballyowen Td., Lucan

Floor Area :      Sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received :      //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

Frank Elmes & Co.,  
2 Waldemar Terrace,  
Main Street,  
Dundrum,  
Dublin 2.

## NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,  
Blocks 6 and 7  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.



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Reg.Ref. 91A/1659  
Decision Order No. P/ 5369 791  
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Subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- .....<sup>9</sup>.....ATTACHED.

Signed on behalf of the Dublin County Council.....  
*Joe Perry*  
for Principal Officer

Date:.....<sup>9/12/91</sup>.....

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Reg.Ref. 91A/1659  
Decision Order No. P/ 5369 /91  
Page No: 0003



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C O N D I T I O N S / R E A S O N S

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by additional documentation lodged 22nd November, 1991, save as may be required by the other conditions attached hereto.  
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye- Laws be obtained and all conditions of that approval be observed in the development.  
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That each proposed house be used as a single dwelling unit.  
REASON: To prevent unauthorised development.
- 04 That the development shall be carried out in conformity with condition nos. 5-12, 14-16 and 17(c) of an Bord Pleanalas grant of planning permission for 160 no. houses at this location under Ref. PL 6/5/81895, dated 14th September, 1990, Reg. Ref. 89A-0982, save as amended to conform with the revisions indicated in the plans lodged with Dublin County Council in connection with this application.  
04 REASON: In the interest of the proper planning and development of the area.
- 05 That arrangements ~~be~~ made for the lodgement of security in the form of an approved Insurance Company Bond or Letter of Guarantee in the sum of £240,000 or a cash lodgement of £150,000 in respect of the overall development as required by condition no. 2 of An Bord Pleanalas grant of planning permission under Ref. PL 6/5/81895, Reg. Ref. No. 89A-0982 be strictly adhered to in respect of this proposal.  
REASON: To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.
- 06 That arrangements made for the payment of the financial contribution in the sum of £75,240 in respect of the overall development as required by Condition No. 3 of An Bord Pleanalas grant of planning permission under Ref. PL 6/5/81895 Reg. Ref. No. 89A-0982 be strictly adhered to in respect of this proposal.  
REASON: To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.
- 07 That arrangements made for the payment of the financial contribution in the sum of £1,420 per house in respect of the overall development as required by Condition No. 4 of an Bord Pleanalas grant of planning

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Reg.Ref. 91A/1659  
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permission under Ref. PL 6/5/81895, Ref. Ref. No. 89A-0982 be strictly adhered to in respect of this proposal.

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08 That a comprehensive landscaping plan is to be submitted for the site (as required by Condition No. 13 of An Bord Pleanála's grant of planning permission Ref. PL 6/5/81895 under Reg. Ref. NO. 89A-0982). This is to include inter alia, a programme of tree surgery for the site, a street planting scheme, measures to protect trees to be retained during construction and landscaping works to be carried out.

REASON: In the interest of visual and residential amenity.

09 That arrangements made with regard to the payment of the financial contribution in the sum of (a) £98,000 and (b) £48,000 required in respect of the overall development by condition no. 17 of the planning permission granted under Ref. PL 6/5/81895, Ref. Ref. 89A-0982 be strictly adhered to in respect of this proposal.

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FRANK ELMES & Co.

ARCHITECTS

PLANNING CONSULTANTS



*W. Plunkett*

No. 2 WALDEMAR TERRACE,  
MAIN STREET, DUNDRUM,  
DUBLIN 14.  
TELEPHONE : 951514 / 5  
FAX No. : 951703

22-11-1991.  
date :

your ref :

our ref : WP/gem

91A/1659

1.4.0

Unit A-1

Mary Galvin,  
Dublin County Council,  
Planning Dept.,  
Irish Life Centre,  
Lr. Abbey Street,  
DUBLIN. 1.

RE: Elmbrook, Lucan. Reg. Ref.91A/1659.  
Sites 2-12 even incl. Road 2.

Dear Mary,

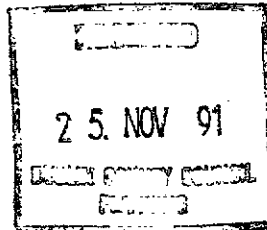
Please find enclosed 4 no. copies of drawing No. EL/91/02/R,  
which will show all house elevations carrying the same roof  
profile. We wish to confirm that this house type on these  
house sites will have  $\frac{1}{2}$  hip roof. We would be obliged if  
you would add these drawings to the application file.

We apologise for any inconvenience caused by our error and  
thank you again for your continued assistance.

Yours sincerely,

*W. Plunkett*

William Plunkett  
FRANK ELMES & CO.



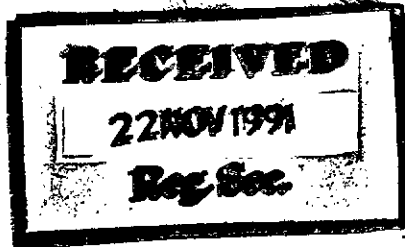
enc.

# FRANK ELMES & Co.

ARCHITECTS  
PLANNING CONSULTANTS

No. 2 WALDEMAR TERRACE,  
MAIN STREET, DUNDRUM,  
DUBLIN 14.  
TELEPHONE : 951514 / 5  
FAX No. : 951703

DATE:



TIME:

91A/1659  
1.1.0  
Mail A. 1

FAX NO.: 951703

FACSIMILE TRANSMISSION

TO: Mary GALVIN

OF: DUBSON CO. CO

ADDRESS/FAX NO.: 12489E

FROM: FRANK ELMES & CO

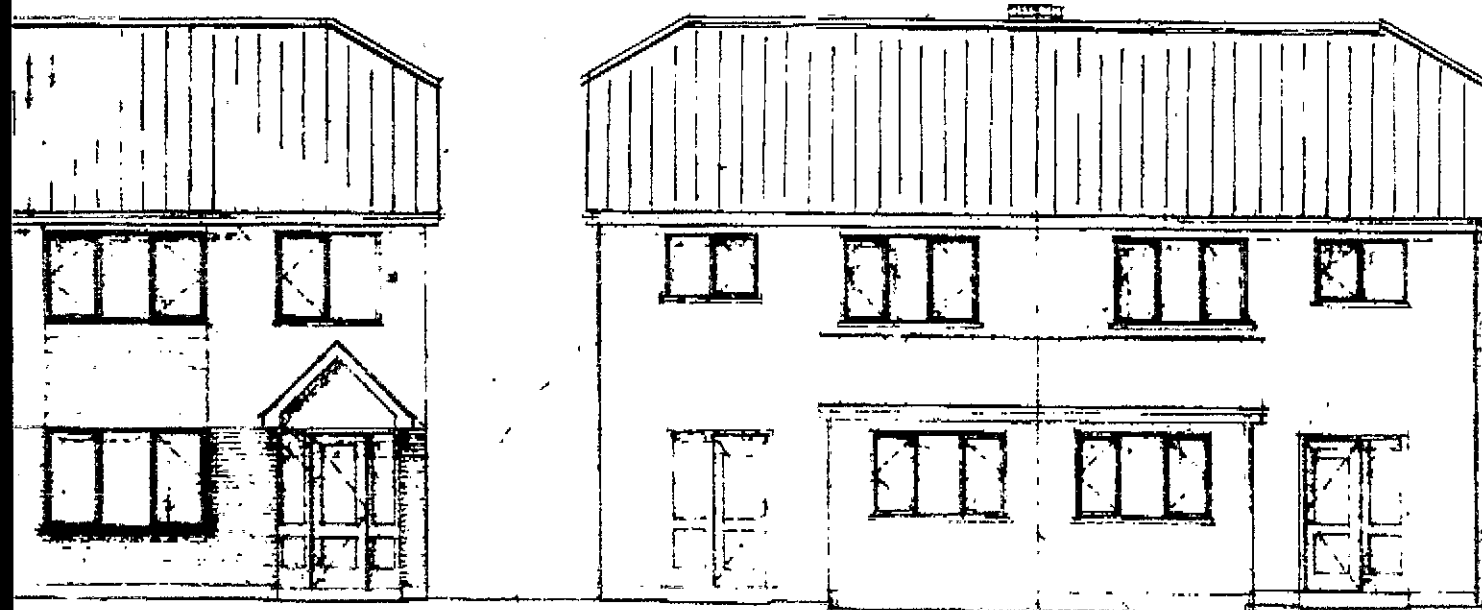
OPERATOR: PAT TANKER

RE: LKHORON, REG NO. 91A/1659

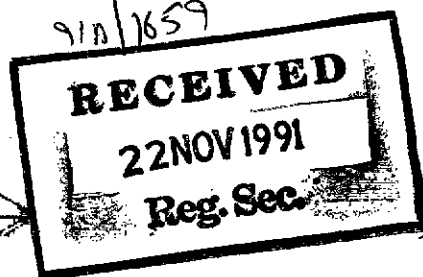
THIS MESSAGE COMPRISES..... 2 ..... PAGES INCLUDING THIS PAGE  
if you do not receive the correct number of pages, or any parts of the  
transmission are illegible, please contact the above OPERATOR at 951514/5 immediately.

MESSAGE: (IF ANY):

Dear Mary  
Further to telephone conversation  
please find revised Reg. elevation as requested.  
will forward you 4 copies by post.



Rear elevation



## NOTE

This org may be handed

Drainage shown diagrammatically

Drains to be encased in conc. where they pass beneath house and external walls to be bridged

Waiver sought for BBLs no 96 97 98 with regard to single stack system to BS 5572 (1978)

All habitable rooms to have permanent ventilation via 225 x 225 mm vents set into walls or via vents set into windows

All windows to satisfy BBL no 76

Floor joists to be strength class A and bridged at 1350 cns. and to satisfy SR II 1988

Floor area 96.80 sq.m.

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/1659

Date : 18th October 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Alterations to roof of approved house type only (Reg.  
Ref. 91A/0543)

LOCATION : Sites 2/12 even incl., Road 2 at lands adjacent  
Willsbrook House, Esker Lane, Ballyowen Td., Lucan

APPLICANT : Glendorn Ltd

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application  
received on 17th October 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Frank Elmes & Co.,  
2 Waldemar Terrace,  
Main Street,  
Dundrum,  
Dublin 2.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place / in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building site No 2-12 incl. even Road 2 at land adjacent  
(If none, give description sufficient to identify) Willsbrook House Esker Lane Ballyowen Td Lucan

3. Name of applicant (Principal not Agent) Glendorn

Address c/o No 2 Waldemar Terrace Dundrum Dublin 2 Tel. No. 951514 / 951515

4. Name and address of Frank Elmes + Co 2 Waldemar terrace  
person or firm responsible  
for preparation of drawings Main Street Dundrum Dublin 2 Tel. No. 951514 / 15

5. Name and address to which Frank Elmes + Co 2 Waldemar Terrace  
notifications should be sent Main Street Dundrum Dublin 2

6. Brief description of proposed development Alteration to roof of approved house type only (91A/0543) site 2-12 Rd 2.

7. Method of drainage as approved 8. Source of Water Supply as approved

9. In the case of any building or buildings to be retained on site, please state:-

(a) Present use of each floor or use when last used N/A

(b) Proposed use of each floor N/A

Er  
Herald  
15/10/91

82.50 N50397

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No

11.(a) Area of Site as approved Sq. m.

(b) Floor area of proposed development as approved Sq. m.

(c) Floor area of buildings proposed to be retained within site N/A Sq. m.

448  
N 50923  
16/10

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) Freehold

13.Are you now applying also for an approval under the Building Bye Laws?  
Yes  No  Place / in appropriate box. 17. OCT 91

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:  
where Applicable.

15 CO. DUBLIN - Permission sought for alterations to roof of approved house type only (Reg. Ref. 91A/0543) on sites 2/12 even incl. Road 2 at lands adjacent Willsbrook House, Esker Lane, Ballyowen Td., Lucan, Glendorn Ltd.  
4 Copies Plans Elevations + Section + Layout. site location + Newspaper Notice + Outline specification.

16.Gross floor space of proposed development (See back) as approved Sq. m.

No of dwellings proposed (if any) 6 as approved Class(es) of Development 1

Fee Payable £ 130.50 Basis of Calculation 32x6 ÷ 4 + 55x6 ÷ 4.

If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Mark Elmes Date 15-10-91

Application Type P/B FOR OFFICE USE ONLY

Register Reference 91A/1659

Amount Received £ 2,16.4

Receipt No 17/6.7

Date

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
  - (a) The address of the structure or the location of the land.
  - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
  - (c) The name of the applicant.

**NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
  - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
  - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
    - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
  - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m <sup>2</sup> (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

RECEIPT CODE

# COMHAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

BYE LAW APPLICATION.

REC. No. N 50397

PAID BY  
CASH  
CHEQUE  
M.O.  
B.L.  
I.T.

£ 82.50

Received this 18th day of October 1991

from Hugh McGreevy & Sons Ltd.

the sum of eighty two Pounds

fifty Pence, being fee for

bye-law application at 2-12, Road 2,

Willsbrook House

Moelee deane Cashier

S. CAREY  
Principal Officer

W.S. Axt

# COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY **DUBLIN COUNTY COUNCIL**  
46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

None of this receipt is not an acknowledgment that the fee tendered is the prescribed application fee. N: 50923

CASH  
CHEQUE  
M.O.  
B.L.  
L.L.

£ 48.00

Received this 18th day of October 1991

from Hugh McGroovy & Sons Ltd.

the sum of forty eight Pounds

Pence, being 70 pence

planning application at 2-17, Road 2,  
Willbrook House  
Mosley, Deane

Cashier

S. CAREY  
Principal Officer

*[Signature]*  
10/18/91





date : 16-10-1991.

your ref :

our ref : WP/GO'B.

Dublin County Council,  
Planning Dept.,  
Irish Life Centre,  
Lower Abbey Street,  
DUBLIN. 1.

RE: Alterations to roof of approved house type only  
at sites 2-12 inclusive at Road 2, at lands  
adjacent Willsbrook House, Esker Lane, Ballyowen  
Townland, Lucan. Reg. Ref. 91A/0543.

Dear Sirs,


Further to the above application, we wish to comment as follows:

Our client is in a position to obtain sales on the above sites if  
the house type, as per showhouse, were available.

As this house type has been approved elsewhere on the site, and  
in view of the current market situation, we would hope that a  
decision to grant might issue in early course.

We would like to thank you for your continued assistance and ask  
that you do not hesitate to contact this office should you have any  
queries.

Yours faithfully,

  
William Plunkett  
FRANK ELMES & CO.



17. OCT 91

SPECIFICATION

FOR RESIDENTIAL DEVELOPMENT AT DESKER LANE, LUCAN.

FOR

GLENDORN

**FOUNDATIONS** Excavate to depth and width as shown on section or to the requirement of the Local Authority Engineer, concrete to be not leaner than 1.7.

**RISING WALLS** To be in solid blockwork to D.P.C. level, min 150mm over finished ground level.

**GROUND FLOOR** Remove 225mm vegetation layer.  
Slab to be 150mm deep sanded 6.1 clean, pit gravel and cement on 25mm aeroboard insulation on 1000 gauge visqueen on 50mm and blinding on 150mm well compacted hardcore.

Visqueen brought vertical and lapped over D.P.C. in walls.

**FIRST FLOOR** 19mm f.g. chipboard on timber joists. T & G to bathrooms.

**BLOCKWORK** 225mm hollow conc. blocks to external walls as shown laid on 225mm wide D.P.C. min 150mm above finished ground level. 225mm solid blockwork in party walls. Ground floor partition walls to be 100mm solid blockwork where shown. Part brick front to be 275mm cavity (100mm outer leaf, 50mm cavity, 100mm inner leaf), with ties every 450mm vertical and 750mm horizontally with D.P.C. 150mm above E.G.L. in inner and outer leaf. D.P.C. to be carried around jambs of opes in cavity walling.

Cement mortar to be not leaner than 1.4 and gauged mortar to be not leaner than 1 cement/lime to 4 sand.

**RAINWATER** To be 100mm, gutters swan necks, down pipes and fittings to G.T.'s to A.J.'s to surface water sewer.

DUBLIN COUNTY COUNCIL  
Planning Dept. Building Section  
APPLICATION RECEIVED  
17 OCT 1991  
REG No. 91A/1659

FOUL DRAINS

Drains to be laid on concrete beds haunched to pipes and encased in min 150mm conc. under buildings and bridged over at intersections with walls.

Ground floor waste pipes to deliver to gully trap to A.J. to foul drain.

W.C.'s to single stack soil to A.J. to M.H. to foul sewer. W.H.B's to single stack S.V.P. to A.J. foul drain.

JOINERY

All joinery to standard specification treated against rot, primed undercoated and gloss finished.

External windows and doors as above or "Sadolins" to all external timber work.

FINISHES

External plaster - Skud, scratch and float with sand and cement nap finish.

Reveals to all opes.

Internal plaster - Drylined throughout. Studding to be load bearing partitions where required.

Ceilings to be slabbed and Artex Finished.

PITCHED ROOF

Selected concrete roof tiles on roofing battens on untearable roofing felt on approved prefabricated roof trusses to I.S. (1986) @ 600mm c/c. with 100 x 25 windbracing at rafter and ceiling level or on traditional cut roof to Engineers specifications. Trusses to be laid and braced strictly in accordance with I.S. (1986), 175 x 25mm soffit and fascia.

REAR GARDEN FENCING

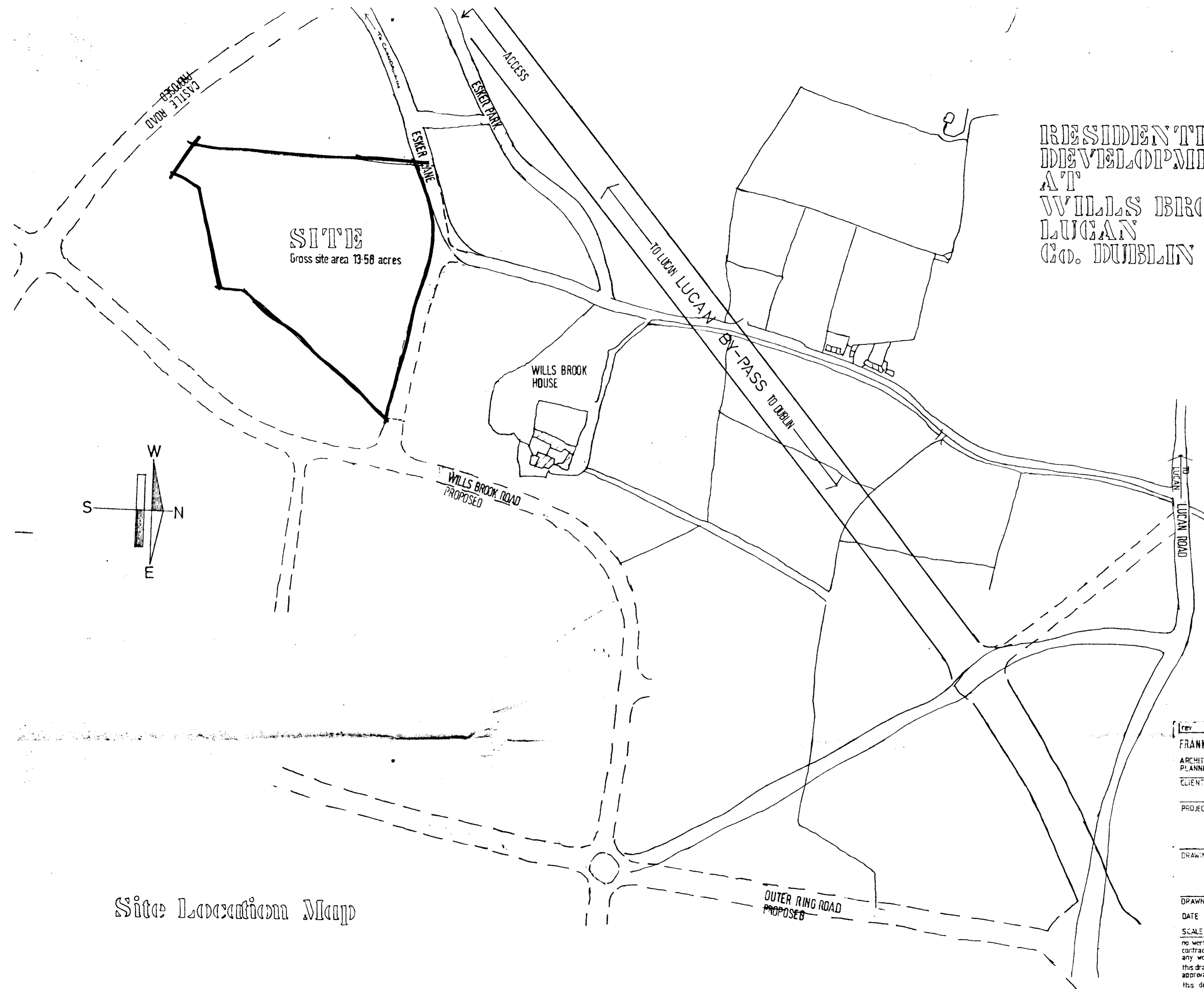
Fencing to rear garden shall be two lengths of 125 x 25mm WDR fixed on 75 x 75mm WDR pointed posts at selected centres.

FRONT GARDEN

Front garden topsoiled, levelled and seeded.

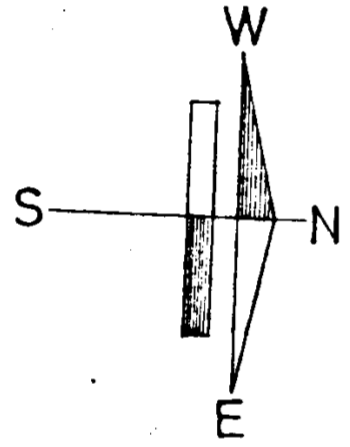
NOTE:

1. Where any discrepancy occurs between spec, and dwg. the Architect is to be consulted and his decision is final.
2. All levels, dimensions and sizes to be checked and verified by Contractor prior to the commencement of any work.
3. The Developer reserves the right to alter the above spec.



RESIDENTIAL  
DEVELOPMENT  
AT  
WILLS BROOK  
LUCAN  
CO. DUBLIN

DUBLIN COUNTY COUNCIL  
Planning Dept. Registry Section  
APPLICATION RECEIVED  
17 OCT 1991  
REG No. 2111/91



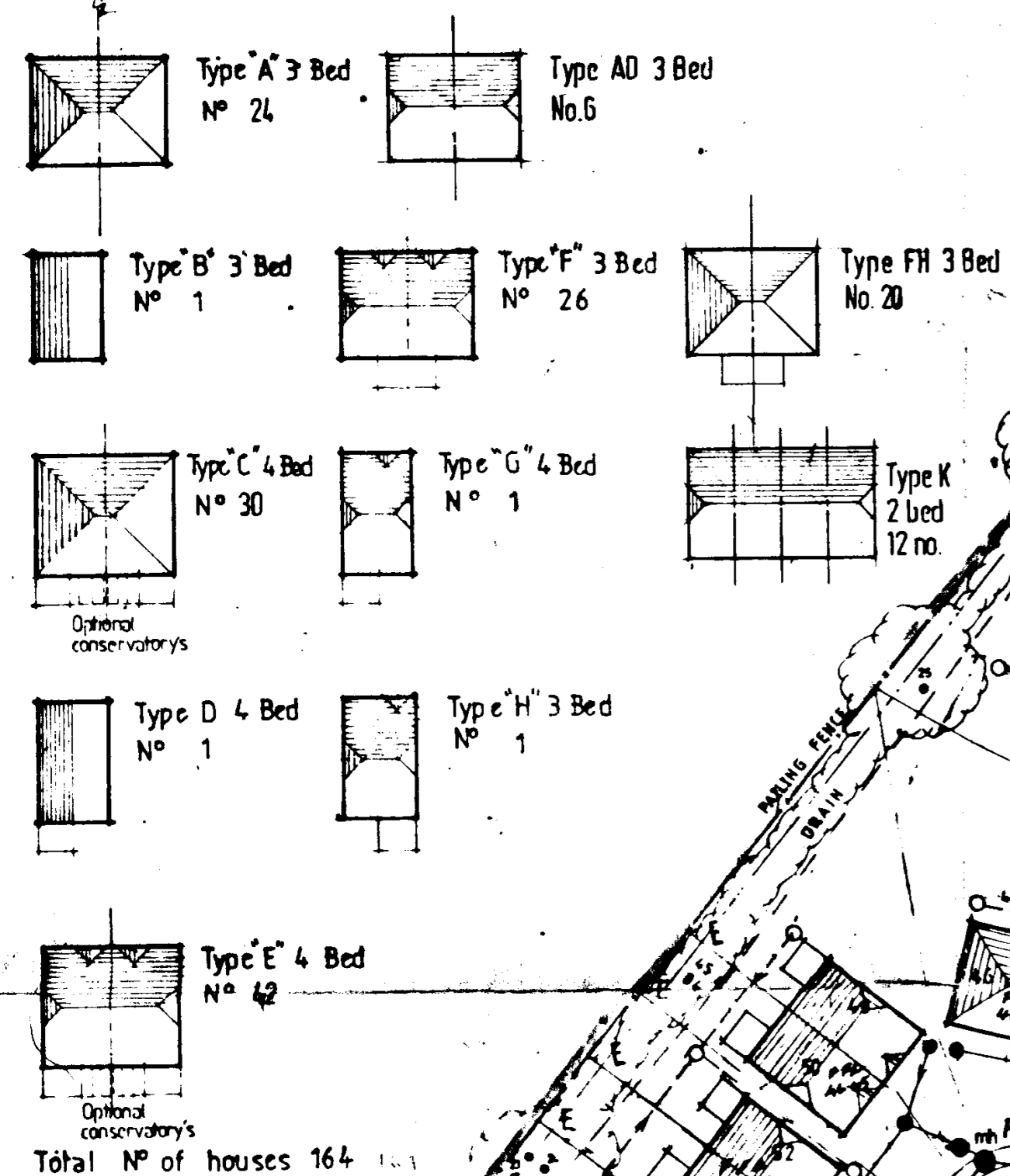
Site Location Map

Drawn by	FRANK ELMES		Checked by	2. WALDEMAR TEE	
Architect	ARCHITECT PLANNING CONSULTANT		Address	DUNDUM, DUBLIN 14, 951514/5	
Client	Hugh Mc Greevy and Sons Ltd				
Project	Residential development at Wills Brook Lucan Co Dublin				
Drawing Type	Location map				
Drawn	W.F.	Job No	6/03	Drawing No	EL/89/06
Date	05-89				
Scale	1:2500				
no working dimensions to be scaled contractors must verify all dimensions at the job before any work commences. this drawing has been prepared for planning and bye law approvals only this drawing and design is copyright.					

Housing Estate

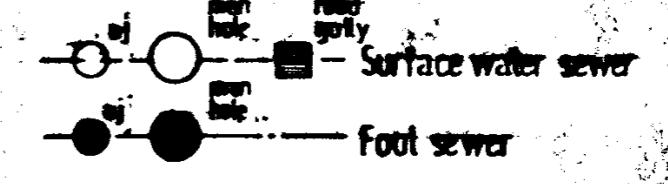
NOTE:  
All landscaping to be carried out to the requirements of Dublin County Council Parks Dept.  
All development works to be carried out in accordance with Guideline Specification for development works in housing and industrial estates and the requirements of Dublin County Council Building and Development Control Dept.

LEGEND



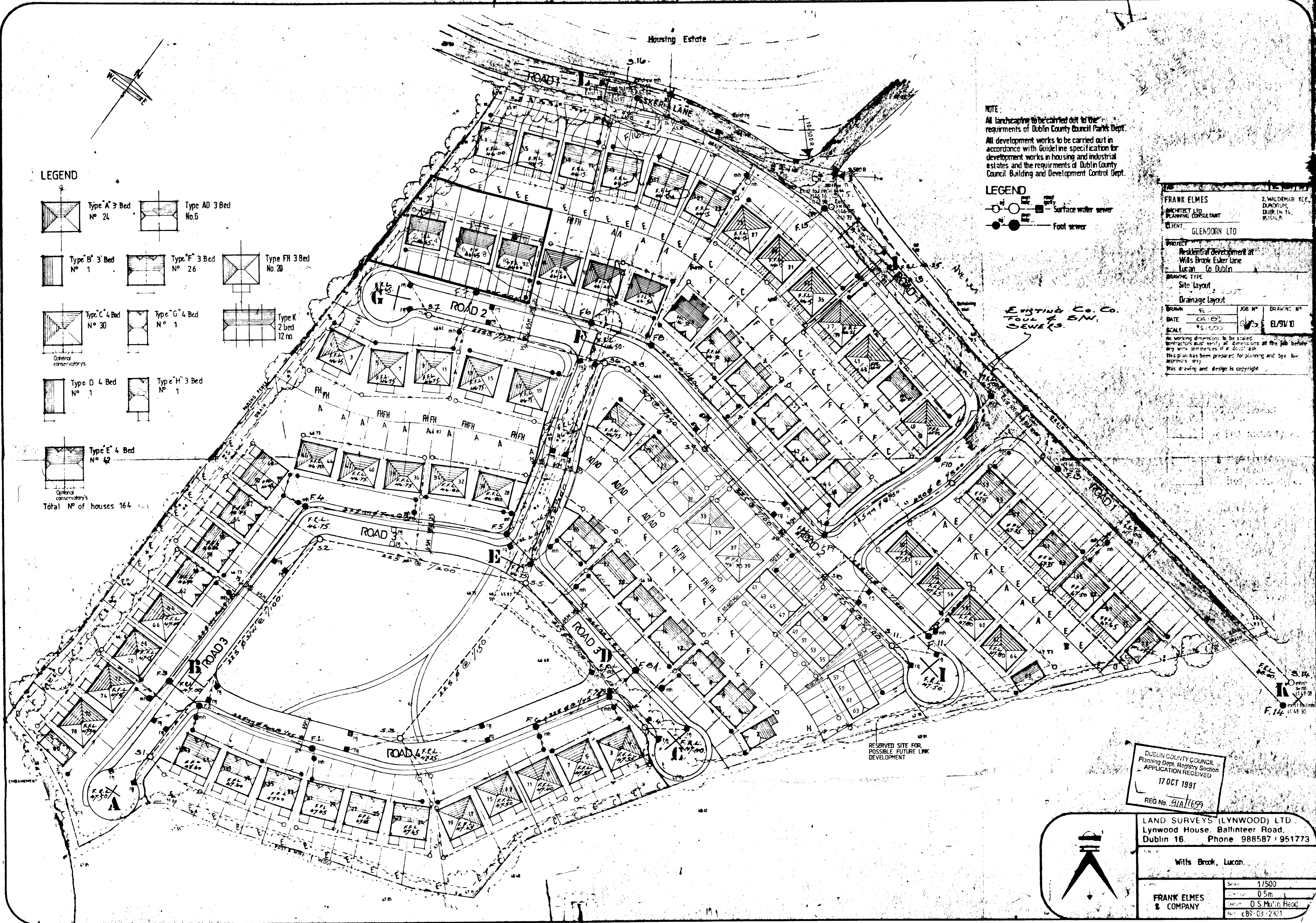
Total No of houses 164

LEGEND



FRANK ELMES ARCHITECT LTD PLANNING CONSULTANT		2, WALDEMAR YCE, DUNDRUM, DUBLIN 14, 951514, 5
CLIENT GLENDORN LTD		
PROJECT Residential development at Wills Brook Esker lane Lucan Co Dublin		
DRAWING TYPE Site layout Drainage layout		
DRAWN FL	JOB NO 13/500	DRAWING NO EL/91/10
DATE 04/09/91		
SCALE 1:500		
<small>No working dimensions to be scaled. Contractors must verify all dimensions at the job before any work commences if in doubt ask This plan has been prepared for planning and by law SECTION 107 This drawing and design is copyright</small>		

EXISTING CO. CO.  
FOUL & SW  
SEWERS.



RESERVED SITE FOR  
POSSIBLE FUTURE LINK  
DEVELOPMENT

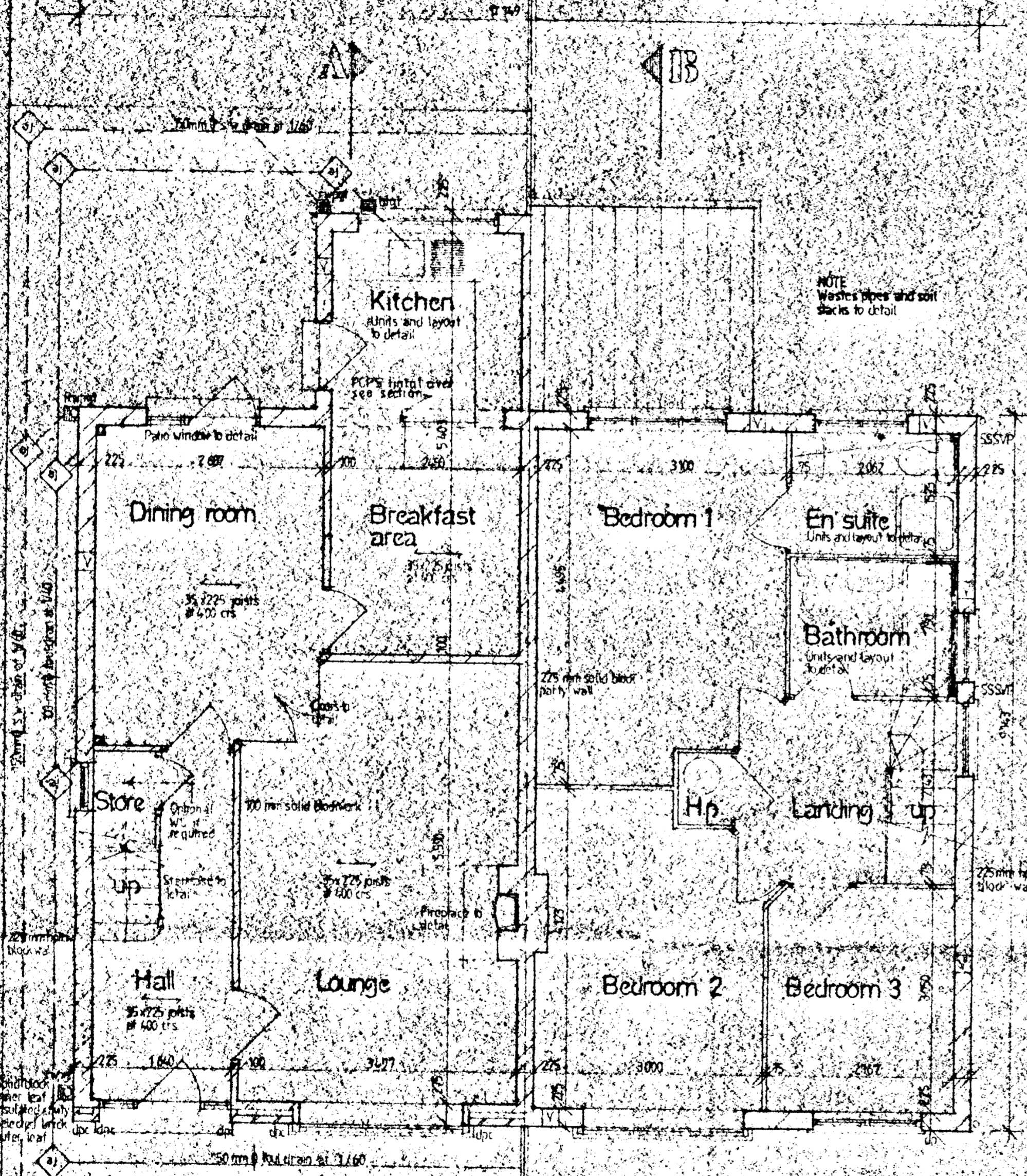
DUBLIN COUNTY COUNCIL  
 Planning Dept. Registry Section  
 APPLICATION RECEIVED  
 17 OCT 1991  
 REG No. 51A/1699



LAND SURVEYS (LYNWOOD) LTD.  
 Lynwood House, Ballinteer Road,  
 Dublin 16. Phone 988587 / 951773  
 Wills Brook, Lucan.  
 Scale 1/500  
 0.5m  
 O.S. Main Head  
 68-03-2371  
 FRANK ELMES  
& COMPANY

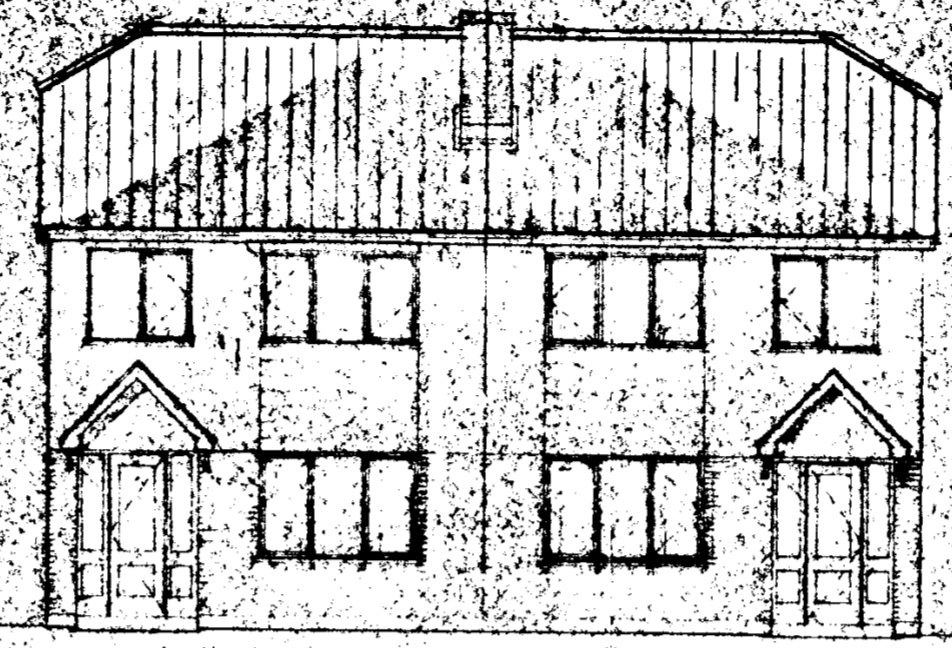
NOTE  
 foul and surface water drains for first  
 2 houses to be 100 @ 1/40 and  
 750 @ at 1/60 for the remainder

NOTE  
 Wastes pipes and soil  
 stacks to detail



Ground floor plan

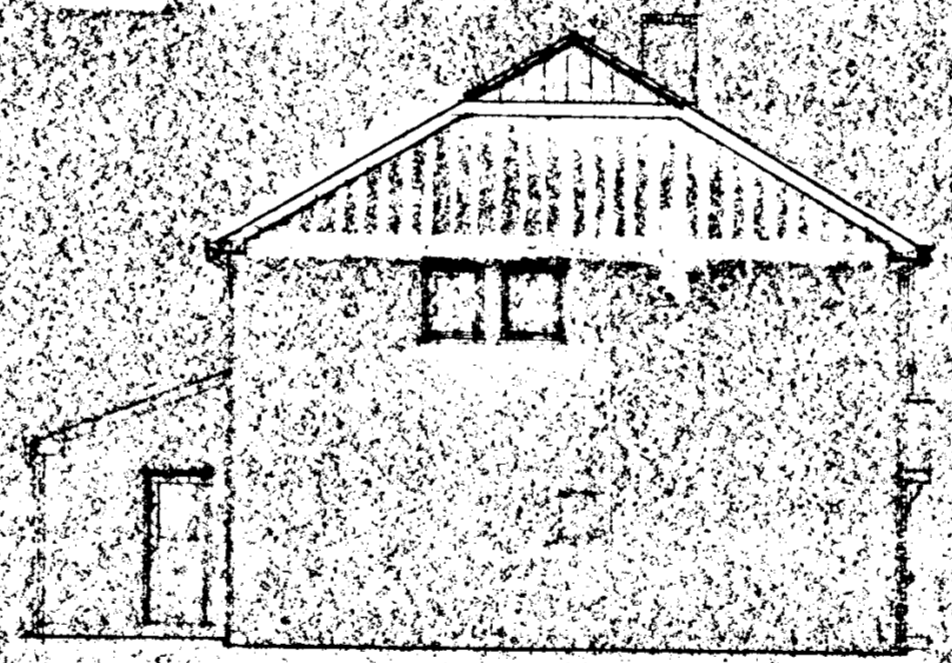
First floor plan



Front elevation



Rear elevation



Gable elevation (typical) TYPE FH

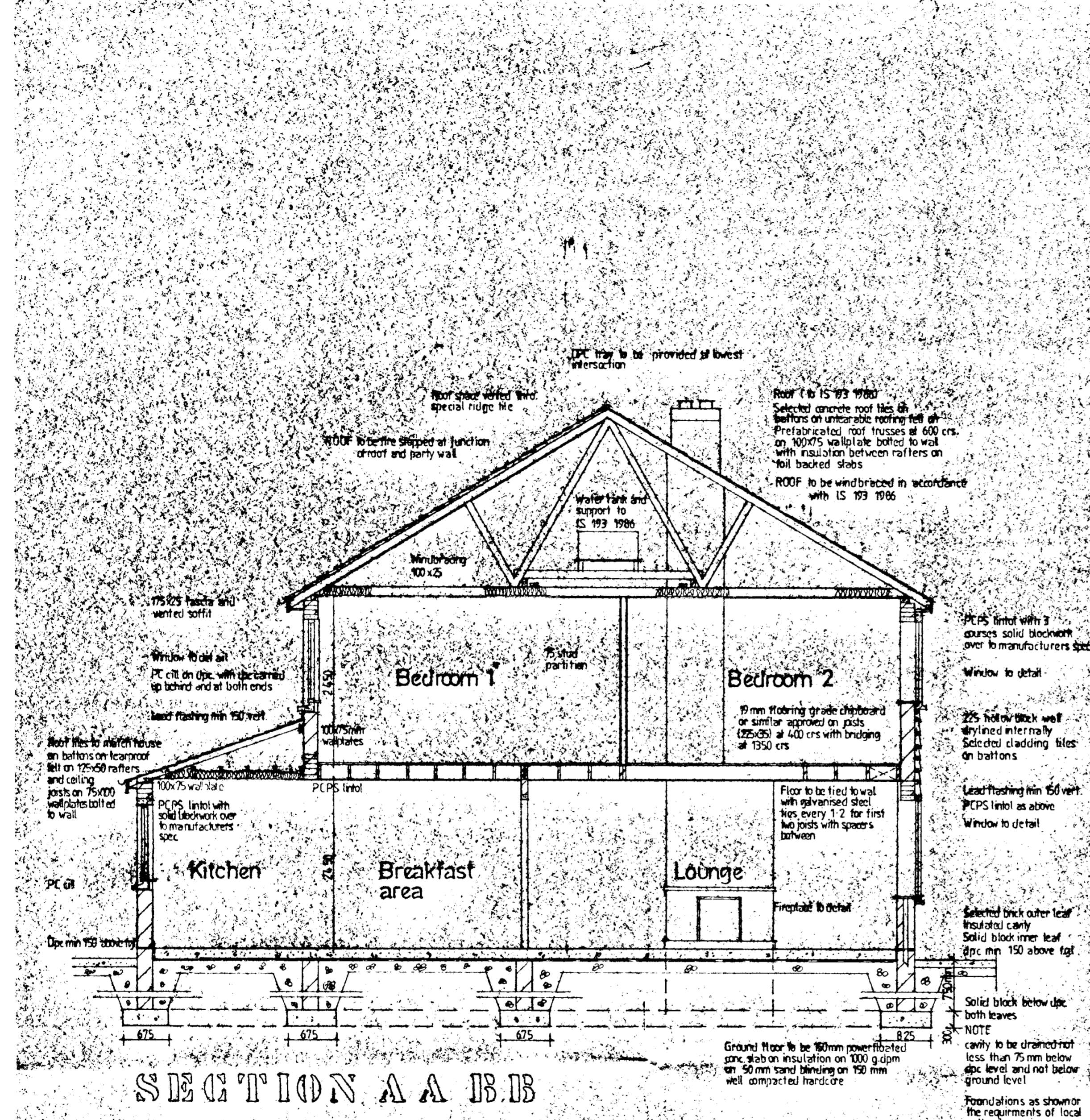
NOTE  
 This Org may be handed  
 Drainage shown diagrammatically  
 Drains to be encased in conc. where they pass  
 beneath house and external walls to be bridged  
 Waiver sought for BBL no 96 97 98 with regard to  
 single stack system to BS 5572 (1978)  
 All habitable rooms to have permanent ventilation  
 via 225 x 225 mm vents, set into walls or via  
 vents set into windows  
 All windows to satisfy BBL no 76  
 Floor joists to be strength class A and bridged  
 at 1350 c/s. and to satisfy SA II 1986

Floor area 96.80 sq.m

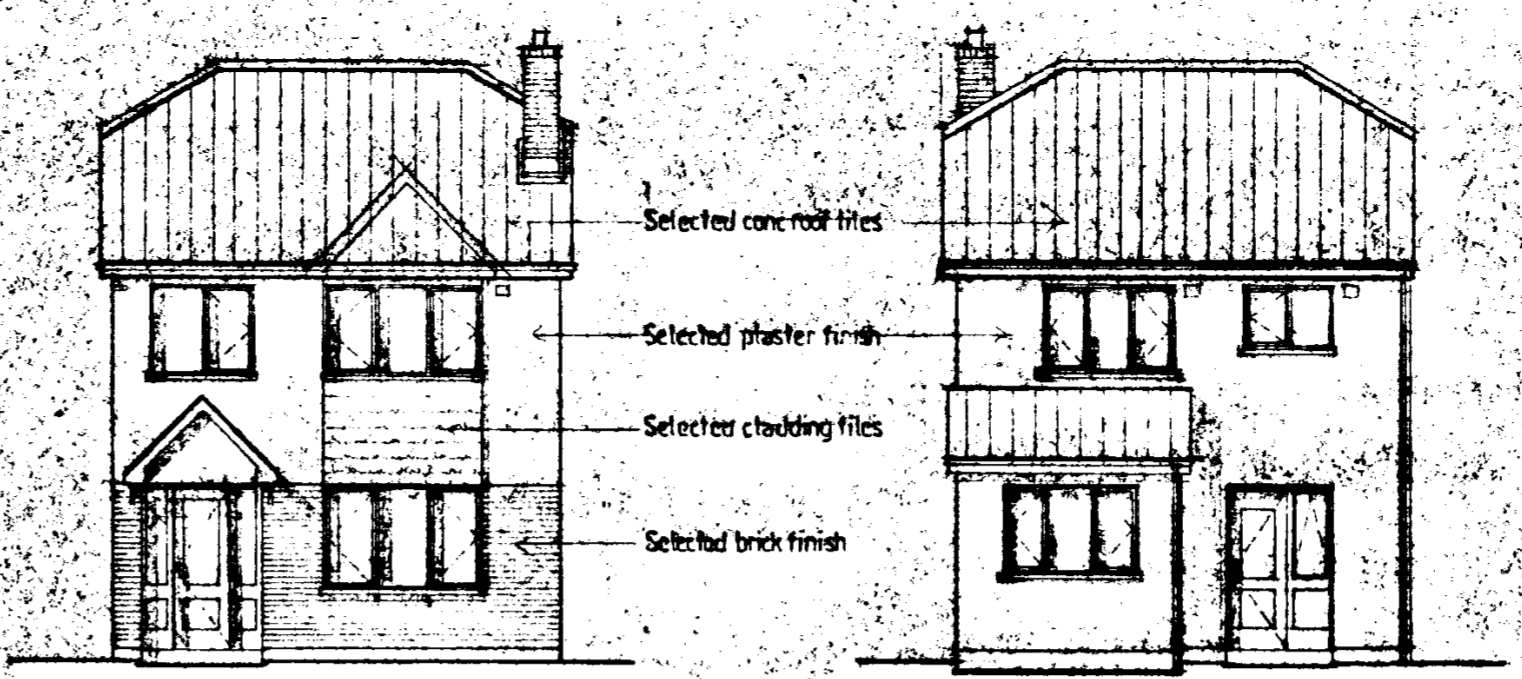
DUBLIN COUNTY COUNCIL  
 Planning Dept. Planning Section  
 APPLICATION RECEIVED  
 17.00.1991  
 REG. NO. 0111659

DESIGNED BY	FRANK ELMES	16 JUNE 1991
ARCHITECT	2 WALDEMAR TCE BUNDRUM, DUBLIN 14, 951514/5	
CLIENT	Glendorn Ltd	
PROJECT	Willsbrook Lycan Co Dublin	
DRAWING TYPE	Floor plans and elevations 3 bed semi detached	
DRAWN BY	DATE	DRAWING NO.
03/91	6/03	EL/91/02
SCALE	1:50/1:100	

no working dimensions to be scaled  
 contractors must verify all dimensions at the job before  
 any work commences if in doubt ask  
 this drawing has been prepared for planning and type 1  
 approvals only  
 this drawing and design is copyright

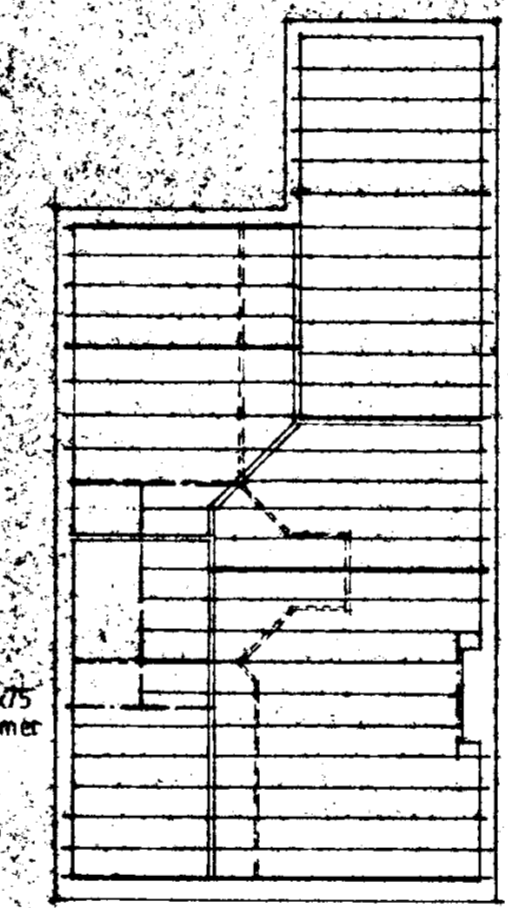


SECTION A A B B

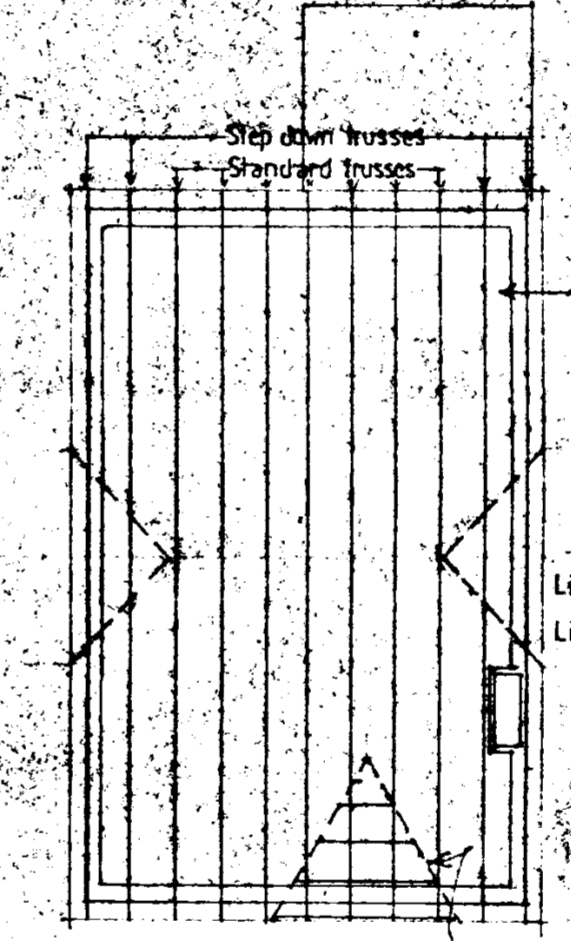


Front elevation TYPE B

Rear elevation TYPE B

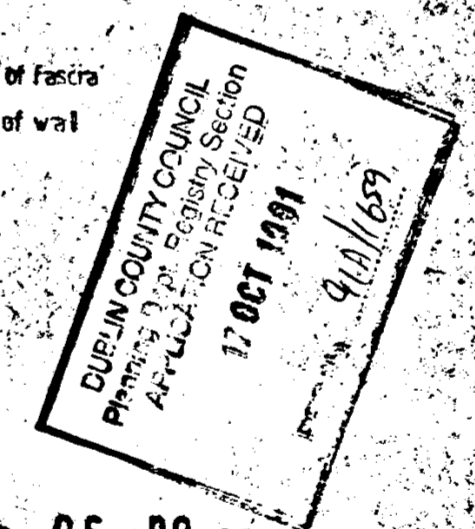


Joist layout



Roof layout

Floor area 96.80 sq.m.



NOTE  
For floor plans see  
dwg N° EL91102

DRAWN BY FRANK ELMES		DATE 09/80	JOB N° G/03	DRAWING N° EL789/13
ARCHITECT PLANNING CONSULTANT		2 WALDEMAR BEE DUNORUM, DUBLIN 14, 951516/5		
CLIENT Glendon Ltd.				
PROJECT Wittsbrook Lucan Co Dublin				
DRAWING TYPE Section A A, B B detached elevation, layouts 3 bed house				
<p>no working dimensions to be scaled.</p> <p>Contractors must verify all dimensions at the job before any work commences.</p> <p>This drawing has been prepared for planning and bye law approvals only.</p> <p>This drawing and design is copyright.</p>				