

hog 15/10/91

REF. NO.:

91A/1641

CERTIFICATE NO.:

16596 B

PROPOSAL:

38 houses

LOCATION:

Site Between Dalree Road & Ballygullies Rd, Knocklyon

APPLICANT:

Cottchaek Construction Ltd

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	2090	1440	1650		496 transferred
B	Domestic Ext. (Improvement/Alts.)	@ £30					from Henry Ahlstedt COR 26887 leaves
C	Building for office or other comm. purpose	@ £3.50 per M ² or £70					Balance due of £154 N.B.?
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					£154.00 paid by cheque N 50487 - 31/10/91
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 18/10/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

INCORRECT FEE WITH BYE LAW APPLICATION

TELEPHONE: 724755
EXTENSION: 231/234
FAX.: 724896

PLANNING DEPARTMENT,
IRISH LIFE CENTRE,
LOWER ABBEY STREET,
DUBLIN 1.

Reede Fanning Arch.,

10 Grants Row,

Lower Mount Street,

Dublin 2.

22/10/91

REG. REF.: 91A/1641

RE: 38 houses at site between Dalstree Road and Ballycullen Road, Knocklyon, for
Castlepark Construction Ltd.

Dear Sir/Madam,

I refer to your application for Bye Law approval in respect of the above proposal. I wish to inform you that the Planning Authority will not commence to consider the application until the appropriate fee is paid. If no fee or a fee less than the appropriate fee has been received by the County Council on the expiration of two months, commencing on the day the application is received, the application will be regarded as having been withdrawn.

The correct fee for the above mentioned application is £ 2,090.00
Please quote the Register Reference No. stated above when submitting the fee.

AMOUNT LODGED = £1,440.00

AMOUNT DUE = £ 650.00 minus £496.00 transferred from planning application
Cert 26887 leaves Balance due of £154.00

Yours faithfully,


for PRINCIPAL OFFICER

PLANNING APPLICATION FEES

Reg. Ref. 91A/1641

Cert. No. 26887.....

PROPOSAL. ~~CA~~ 38 houses.....

LOCATION. Site between Daletree Road & Ballycudres Road, Knocklya

APPLICANT. Castlehaek Construction Ltd.....

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32	4304	4800	4496 overpayment transferred to Reg. law applicatn cost 16596B	
2	Domestic,	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres	@£1.75 per m2 or £40	304	4800		
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: Grade: Date:

Column 1 Endorsed: Signed: Grade: Date:

Columns 2,3,4,5,6 & 7 Certified: Signed: *[Signature]* Grade: S.O. Date: 18/10/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade: Date:

Mr. A. Hinchy,
Senior Executive Draughtsman/Technician

RE: 38 houses at site between Dalmore Road &
Ballyculla Road Knocklyon

REG. REF.: 91A/1641

RE: LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) (FEES AND AMENDMENT)
REGULATIONS, 1983 - ARTICLE 6.1

A reduced fee (i.e. $\frac{1}{2}$) has been paid in respect of the above application.
Please confirm this is the correct fee under Article 6.1 of the Local
Government (Planning and Development) (Fees and Amendment) Regulations, 1983.
File Reg. Ref.: 89A/1456 on which a full fee was paid is attached.



Richard Whelan,
Staff Officer,
Registry Section.

Mr. R. Whelan,
Registry Section.

*Alterations to individual sites 87-98 incl. - No change
to overall site for these houses. No other alterations.
No change in number of houses.*

*J. Y
18/10/81*

A. Hinchy,
Senior Executive Draughtsman/Technician



Bloc 2, Ionad Bheatha na hEireann
Bloc 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

NOTIFICATION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Grant Order Number : P/ 0370 /92 Date of Grant : 23rd January 1992

Decision Order Number : P/ 5445 /91 Date of Decision : 10th December 1991

Register Reference : 91A/1641 Date Received : 15th October 1991

Applicant : Castlepark Construction Ltd

Development : Change of house types on previously approved application (Reg. Ref. No. 89A/1456) for garage and kitchen extensions to dwellings on site nos. 77 & 80; kitchen extensions to dwellings on site nos. 78, 79 and 81 to 86; change of dwellings on site nos. 88 to 97 to

Location : Site between Ballycullen Road and Daletree Road, Knocklyon

Additional Information Requested/Received : //

Time Extension(s) up to and including :

A PERMISSION has been granted for the development described above, subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- ...12.....ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer

Date: ...23 JAN 1992.....

APPROVAL of the Council under Building Bye-Laws must be obtained before the development is commenced and the terms of approval must be complied with in the carrying out of the work.

APPROVAL under the Building Bye Laws is not applicable to garden walls, entrances etc. APPROVAL under the Building Bye Laws cannot be obtained in respect of retention of work previously carried out.

Reede Fanning, Architects,
10 Grant Row,
Lower Mount Street,
Dublin 2.

*Computer
Hopped
Headings*

Th.

P/5445/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/1641

Date Received : 15th October 1991

Correspondence : Reede Fanning, Architects,
Name and : 10 Grant Row,
Address : Lower Mount Street,
Dublin 2.

Development : Change of house types on previously approved application (Reg. Ref. No. 89A/1456) for garage and kitchen extensions to dwellings on site nos. 77 & 80; kitchen extensions to dwellings on site nos. 78, 79 and

CN 8545

81 to 86; change of dwellings on site nos. 88 to 97 to 3 bed dwellings with en-suite and kitchen extensions; chg of dwellings on site nos. 87 and 98 to 3 bed dwellings with en-suite, garage and kitchen extensions

10N 1197

Location : Site between Ballycullen Road and Daletree Road, Knocklyon

Applicant : Castlepark Construction Ltd

App. Type : Permission

Zoning : AI

Floor Area : Sq. metres

* Kitchen extensions and en-suites to dwellings on site nos 102, 103 and 105 to 118, all

(MOS/DK)

CONTINUTION:	
Standard	60,000
Road	800 per
S.S.	1000
Open Space:	300
Other:	off the wire
SECURITY:	
Bond / C.I.F.:	150,000
Cash:	100,000

Report of the Dublin Planning Officer dated 26th November, 1991.

This is an application for PERMISSION for a change of house type on previously approved application (Reg. Ref. 89A-1456) for garage and kitchen extensions to dwellings 77 and 80; kitchen extensions to dwellings on site nos. 78, 79 and 81-86; change of dwellings on site nos. 88-97 to 3 bedroomed dwellings with en-suite kitchen extensions; change of dwellings on site nos. 87 and 98 to 3 bedroom dwellings with en-suite, garage and kitchen extensions; kitchen extensions and en-suites to dwellings on site nos. 102, 103 and 105-118. All on site between Ballycullen Road and Daletree Road, Knocklyon for Castlepark Construction Ltd.

Planning permission was granted to Willwright Ltd. for 64 no. two-storey semi-detached 3 bed. houses and 54 no. 2 storey semi-detached 4 bed. houses on this site by decision order P/4702/89, dated 27th October, 1989 under Reg. Ref. 89A-1456.

Subsequently under Reg. Ref. 91A-0585, permission was granted by Dublin County Council for change of house type on site nos. 87-100 incl. incorporating kitchen extensions to the rear (Decision Order P/2556/91 dated 13th June, 1991). This file is unavailable.

I inspected the site on 14th November, 1991, on which date house nos. 99-104 inclusive and 115 and 116 were built. House Nos. 105-114 and 117 and 118 were under construction (house nos. 118, 117, 114 and 113 had the roof timbers

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1641

Page No: 0002

Location: Site between Ballycullen Road and Daletree Road, Knocklyon

built).

The proposed development will increase the number of approved 3 bed houses on the site to 76.

It is noted that it is proposed to reduce the pitch of the roof on house nos. 77-98 inclusive by 0.45 metres.

The roof finish on the houses which have been constructed (i.e. 99-104 and 115 and 116) is red.

Condition No. 6 of Decision Order P/2556/91, dated 13th June, 1991, (Reg. Ref. 91A-0585) required the roof finish to be muted in colour apart from house nos. 99-104 which were already built. ¹ *PE (R) House proposed within the boundary site*

House nos. 105-118 inclusive are located opposite house nos. 99-104.

Reddish
A ~~red~~ roof finish on these houses is acceptable in view of their relationship to house nos. 99-104 and because these houses will visually not be any more obtrusive.

A condition should be attached requiring the roof finish of all other houses on the site to be of a muted colour.

It is noted that some of the rear gardens are less than 10.7 metres in length (site nos. 81-86, 105, 106, 117 and 118) and a condition should be attached stating that no further extensions be erected to the rear of houses on these sites without the prior approval of the Planning Authority.

The Roads Department (report dated 29th October, 1991) has no objection to the proposed development.

The proposed development is acceptable from a planning view point.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990, subject to the following (1) conditions:-

CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1641

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Location: Site between Ballycullen Road and Daletree Road, Knocklyon

permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

116
03 That ~~the entire~~ ^{each} premises be used as a single dwelling unit.

REASON: To prevent unauthorised development.

04 The development shall be carried out in conformity with Condition Nos. 6-14 and 16-22 incl. of the decision to grant permission by Order No. P/4702/89 dated 27.10.1989 Reg. Ref. 89A-1456 save as amended to conform with the revisions indicated in the plans lodged with Dublin County Council in connection with this application.

REASON: In the interest of the proper planning and development of the area.

omit.
~~05 That no further extensions be erected to the rear of house nos. 87, 99 or 100 without the prior approval of the Planning Authority.~~

05 REASON: ~~In the interest of the proper planning and development of the area.~~

5
06 That arrangements made for the payment of the financial contribution in the sum of £66000 in respect of the overall development required by Condition No. 4 of planning permission granted under Reg. Ref. 89A-1456 be strictly adhered to in respect of the above proposal.

J
REASON: In the interest of the proper planning and development of the area.

6
07 That the arrangements made for the lodgement of security in the form of an approved Insurance Company Bond or Letter of Guarantee in the sum of £150000 or a cash lodgement of £100000 in respect of the overall development, required by Condition No. 5 of planning permission granted under Reg. Ref. 89A-1456 be strictly adhered to in respect of the above proposal.

J
REASON: In the interest of the proper planning and development of the area.

J
08 That arrangements made for the payment of the financial contribution in the sum of £800 per house in respect of the overall development required by Condition No. 22(d) of planning permission granted under Reg. Ref. 89A-1456 be strictly adhered to in respect of the above proposal.

J
REASON: In the interest of the proper planning and development of the area.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

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Location: site between Ballycullen Road and Daletree Road, Knocklyon

8 ⁰⁸ That the area shown as open space be levelled, soiled, seeded and landscaped to the satisfaction of the County Council, and to be available for use by residents on completion of their dwellings. A landscape plan with full works specification and bill of quantities, etc., shall be submitted to and agreed with the Planning Authority before the commencement of development. Such plan shall include regrading, drainage, topsoiling, seeding, tree and shrub planting with temporary protective fencing, pedestrian paths, boundary treatment and details of maintenance. OR/..... In lieu of the open space being developed by the applicants, a financial contribution of £300 per house shall be paid to the County Council to enable this work to be carried out. This cost to be paid on a phased basis as agreed with the Planning Authority.

~~8~~ REASON: In the interest of the proper planning and development of the area.

9 ¹⁰ That apart from House Nos. 99-118 inclusive, which are mostly constructed, the roof finish for all houses proposed within the site as outlined in red on the lodged plans, to be muted in colour, e.g. grey or blue/black.

NOTE: The roof finish on house nos. 105-118 may match that on house nos. 99-104.

REASON: In the interest of visual amenity.

10 ¹¹ That no further extensions to be erected to the rear of house nos. 81-86 incl., 105, 106, 117 and 118, without the prior approval of the Planning Authority.

~~10~~ REASON: In the interest of the proper planning and development of the area.

11 ¹² That the footpath ^{near} outside house no. 77 be dishd to give access to the garage.

~~11~~ REASON: In the interest of the proper planning and development of the area.

12 ¹³ Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

REASON: In the interest of reducing air pollution.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1641

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Location: site between Ballycullen Road and Dalétree Road, Knocklyon

5

Endorsed:.....
for Principal Officer

Richard Camino SEP.
for Dublin Planning Officer

3/12/91.

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (1) conditions set out above is hereby made.

Dated : 10th ~~NOVEMBER~~ ^{December} 1991

.....
ASSISTANT COUNTY MANAGER/APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated ~~10th November~~ ^{10th December,} 1991.



Bosca 174
P. O. Box 174
5 Rae Gardiner,
5 Gardiner Row,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)727777
Fax. (01)727530

Mr. D. Drumgoole,
Senior Administrative Officer,
Planning Department,
Dublin County Council.

Our Ref. P.P. 595
Your Ref.
Date 25.11.1991

RE: Application for change of house type at Ballycullen Road,
Knocklyon. Reg. Ref. 91A/1641.

With regard to this application, the Parks Department has no objection. However, I wish to draw your attention to the following in relation to the original grant of permission, Reg. Ref. 89A/1456:-

- 1) Condition 14:
To date the applicants have not fenced off the open space in accordance with this condition, resulting in considerable dumping of spoil on the open space.
- 2) Condition 15:
No discussions or submissions in relation to the landscaping of the open space have taken place, or been received.
- 3) Condition 16:
The applicants have not contacted this Department to discuss a suitable street tree planting programme scheme for the site.

The above conditions, as you should be aware, were supposed to have been complied with prior to commencement of development. Development works have been in progress for over a year and to date, no submissions have been received. In this regard, you are requested to take appropriate action.



SENIOR PARKS SUPERINTENDENT

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 27.11.91
Time 12.30

Marjorie O'Shea.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1641.
DEVELOPMENT: 38 No. changes of house types incorporating extensions.
LOCATION: Daletree road and Ballycullen Road.
APPLICANT: Castlepark Construction Ltd.
DATE LODGED: 5.10.91.

Permission was previously granted for a similar development on this site (Reg. Ref: 89A/1456). This submission shows minor alterations to some of the houses.

Previous Roads Report dated 26.10.89 applies.



GC/BMCC
28.10.91.

SIGNED: Garrett Curran
DATE: 29/10/91

ENDORSED: E. Jodden
DATE: 29th Oct '91

Reede Fanning, Architects,
10 Grant Row,
Lower Mount Street,
Dublin 2.

91A/1641

29 January, 1992

Re: Change of house types on previously approved application (Reg. Ref. 89A/1456) for garage and kitchen extensions to dwellings on site nos. 77 & 80; kitchen extensions to dwellings on site nos. 78, 79 and 81 to 86; change of dwellings on sites nos. 88 to 97, to 3 bedroom dwellings with en-suite and kitchen extensions; change of dwellings on site nos. 87 and 98 to 3 bedroom dwellings with en-suite, garage and kitchen extensions; kitchen extension and en-suite to dwellings on site nos. 102, 103 and 105 to 118 all on site between Ballycullen Road and Daletree Road, Knocklyon for Castlepark Construction Ltd.

Dear Sir,

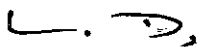
Thank you for your recent telephone call in relation to the above Planning Notification, Order No. P/0370/92 dated 23rd January, 1992.

Due to computer error part of the wording under the heading Development was not included. It should have read:-

"Change of house types on previously approved application (Reg. Ref. 89A/1456) for garage and kitchen extensions to dwellings on site nos. 77 & 80; kitchen extensions to dwellings on site nos. 78, 79 and 81 to 86; change of dwellings on sites nos. 88 to 97 to 3 bedroom dwellings with en-suite and kitchen extensions; change of dwellings on site nos. 87 and 98 to 3 bedroom dwellings with en-suite, garage and kitchen extensions; kitchen extension and en-suite to dwellings on site nos. 102, 103 and 105 to 118".

I regret any inconvenience caused.

Yours faithfully,


for Principal Officer.

A copy of this letter has been placed on the planning register.



Bloc 2, Ionad Bheatha na hÉireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990

Decision Order Number: P/5445/91 Date of Decision: 10.12.1991

Register Reference: 91A/1641 Date Received: 15.10.1991

Applicant: Castlepark Construction Ltd.

Development: Change of house types on previously approved application (Reg. Ref. No. 89A/1456) for garage and kitchen extensions to dwellings on site nos. 77 & 80; kitchen extensions to dwellings on site nos. 78, 79 and 81 to 86; change of dwellings on site nos. 88 to 97 to 3 bedroom dwellings with en-suite and kitchen extensions; change of dwellings on site nos. 87 and 98 to 3 bedroom dwellings with en-suite, garage and kitchen extensions; kitchen extension and en-suite to dwellings on site nos. 102, 103 and 105 to 118

Location: Site between Ballycullen Road and Daletree Road, Knocklyon

Floor Area: Sq. Metres

Time Extension(s) up to and including:

Additional Information Requested/Received:

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

Reede Fanning, Architects,
10 Grant Row,
Lower Mount Street,
Dublin 2.

NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,
Blocks 6 and 7
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Reg.Ref. 91A/1641
Decision Order No. P/ 5445 /91
Page No: 0002

Subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- **12**.....ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer

Date:.....**11/12/91**.....

NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.
2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,
Blocks 6 and 7
Irish Life Centre,
Lower Abbey Street,
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3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.
 - (a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.
 - (b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)
 - (c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).
 - (d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.
4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.
5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Reg.Ref. 91A/1641
Decision Order No. P/ 5445 /91
Page No: 0003



Bloc 2, Ionad Bheatha na hÉireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

C O N D I T I O N S / R E A S O N S

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye- Laws be obtained and all conditions of that approval be observed in the development.
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That each premises be used as a single dwelling unit.
REASON: To prevent unauthorised development.
- 04 The development shall be carried out in conformity with Condition Nos. 6-14 and 16-22 incl. of the decision to grant permission by order No. P/4702/89 dated 27.10.1989 Reg. Ref. 89A-1456 save as amended to conform with the revisions indicated in the plans lodged with Dublin County Council in connection with this application.
REASON: In the interest of the proper planning and development of the area.
- 05 That arrangements made for the payment of the financial contribution in the sum of £66000 in respect of the overall development required by Condition No. 4 of planning permission granted under Reg. Ref. 89A-1456 be strictly adhered to in respect of the above proposal.
REASON: In the interest of the proper planning and development of the area.
- 06 That the arrangements made for the lodgement of security in the form of an approved Insurance Company Bond or Letter of Guarantee in the sum of £150000 or a cash lodgement of £100000 in respect of the overall development, required by Condition No. 5 of planning permission granted under Reg. Ref. 89A-1456 be strictly adhered to in respect of the above proposal.
REASON: In the interest of the proper planning and development of the area.
- 07 That arrangements made for the payment of the financial contribution in the sum of £800 per house in respect of the overall development required by Condition No. 22(d) of planning permission granted under Reg. Ref. 89A-1456 be strictly adhered to in respect of the above proposal.
REASON: In the interest of the proper planning and development of the area.
- 08 That the area shown as open space be levelled, soiled, seeded and landscaped to the satisfaction of the County Council, and to be

NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,
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Irish Life Centre,
Lower Abbey Street,
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Reg.Ref. 91A/1641

Decision Order No. P/ 5445 /91

Page No: 0004

available for use by residents on completion of their dwellings. A landscape plan with full works specification and bill of quantities, etc., shall be submitted to and agreed with the Planning Authority before the commencement of development. Such plan shall include regrading, drainage, topsoiling, seeding, tree and shrub planting with temporary protective fencing, pedestrian paths, boundary treatment and details of maintenance. OR/..... In lieu of the open space being developed by the applicants, a financial contribution of £300 per house shall be paid to the County Council to enable this work to be carried out. This cost to be paid on a phased basis as agreed with the Planning Authority.

- 09 REASON: In the interest of the proper planning and development of the area.
- 09 That apart from House Nos. 99-118 inclusive, which are mostly constructed, the roof finish for all houses proposed within the site as outlined in red on the lodged plans, to be muted in colour, e.g. grey or blue/black.
NOTE: The roof finish on house nos. 105-118 may match that on house nos. 99-104.
REASON: In the interest of visual amenity.
- 10 That no further extensions to be erected to the rear of house nos. 81-86 incl., 105, 106, 117 and 118, without the prior approval of the Planning Authority.
- 11 REASON: In the interest of the proper planning and development of the area.
- 11 That the footpath/kerb outside house no. 77 be dishd to give access to the garage.
- 11 REASON: In the interest of the proper planning and development of the area.
- 12 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.
REASON: In the interest of reducing air pollution.

NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,
Blocks 6 and 7
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

RECEIPT CODE

COMHAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

Balance

- PAID BY
- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

EYE LAW APPLICATION
REC. No. N 50487

£154.00

31st

day of *October* 19 *97*

Received this *Castlepark Homes Ltd.*

the sum of *one hundred and fifty four* Pounds
Pence, being *Balance*

of fee on 91A/1641

Michael Doane Cashier

S. CAREY
Principal Officer

Class A
Bal



REEDE · FANNING
ARCHITECTS · INTERIOR DESIGNERS

10 GRANTS ROW, LOWER MOUNT STREET, DUBLIN 2.
TEL: 762358/762383 FAX: 762403

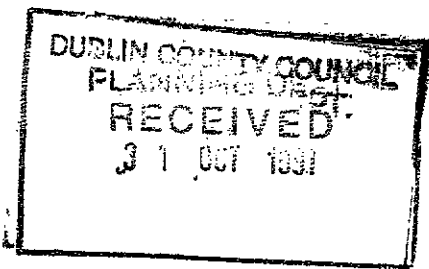
*re. 91A/1641
Housing, Ballycullen Road*

Dear Sir/Madam.

*Further to the request for an
outstanding BBL fee of £154-00, please find
enclosed cheque for same.*

Yours faithfully,

Enda Fanning



PARTNERS: PAUL REEDE, F.F.B. ARCH, ENDA FANNING, B.ARCH M.R.I.A.I.
INTERIOR DESIGN CONSULTANT: JANE M. NOLAN DIP. I.D.
(VAT No. 4744189)

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1641

Date : 16th October 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Change of house types on previously approved application (Reg. Ref. No. 89A/1456) for garage and kitchen extensions to dwellings on site nos. 77 & 80; kitchen extensions to dwellings on site nos. 78, 79 and 81 to 86; change of dwellings on site nos. 88 to 97 to 3 bedroom dwellings with en suite and kitchen extensions; change of dwellings on site nos. 87 and 98 to 3 bedroom dwellings with en suite, garage and kitchen extensions; kitchen extension and en suite to dwellings on site nos. 102, 103 and 105 to 118

LOCATION : Site between Ballycullen Road and Daletree Road, Knocklyon

APPLICANT : Castlepark Construction Ltd

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application received on 15th October 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

Reede Fanning, Architects,
10 Grant Row,
Lower Mount Street,
Dublin 2.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
 Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building SITE BETWEEN DALETREE ROAD +
 (If none, give description) BALLYCULLEN ROAD KNOCKLYON
 sufficient to identify)

3. Name of applicant (Principal not Agent) CASTLEPARK CONSTRUCTION LTD.
 Address 'BALLYRE' CHURCH RD, KILLINEY, CO. DUBLIN Tel. No.

4. Name and address of REDE FANNING ARCHS. 10 GRANTY ROW,
 person or firm responsible
 for preparation of drawings LWR. MOUNT ST., DUBLIN 2. Tel. No. 762358.

5. Name and address to which as no. 4
 notifications should be sent

6. Brief description of ALTERATIONS + CHANGES TO EXISTING PERMISSION (38 no.
 proposed development houses)

7. Method of drainage MAINS 8. Source of Water Supply MAINS

9. In the case of any building or buildings to be re-
 (a) Present use of each floor n/a
 or use when last used.
 (b) Proposed use of each floor n/a

10. Does the proposal involve demolition, partial der
 or change of use of any habitable house or part

11. (a) Area of Site 2. 10.2 ACRES Sq. m.
 (b) Floor area of proposed development n/a Sq. m.
 (c) Floor area of buildings proposed to be retain n/a Sq. m.

12. State applicant's legal interest or estate in site
 (i.e. freehold, leasehold, etc.) FREEMOLD

13. Are you now applying also for an approval under the Building Bye Laws?
 Yes No Place / in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
Substantially.

15. List of documents enclosed with Application form / covering letter / Planning & Bye
 application. Law Fee / 4 copies site plan / 4 copies Architects
Drawgs. 9/16/01 to 06 incl.

16. Gross floor space of proposed development (See back) Sq. m.

No of dwellings proposed (if any) Class(es) of Development
 Fee Payable £ 2240.00 Basis of Calculation * Planning: 12 no. houses @ £32 = £384.00
 If a reduced fee is tendered details of previous relevant payment should be given 26 no. house extensions @ £16 = £416.00
* Bye Laws: 12 no houses @ £55 = £660.00
26 no. house extensions @ £30 = £780.00
 Total: £2240.00

Signature of Applicant (or his Agent) And. Janning Date 12 Oct '91

Application Type P/B FOR OFFICE USE ONLY
 Register Reference 91A/1641
 Amount Received £ 22/13 2,280
 Receipt No
 Date

RECEIVED
 15 OCT 1991
 REG. SEC

Irish Press 3/10/91

Handwritten notes:
 n/a
 n/a
 NO.
 2
 4/1440 N5037
 15/10
 4800
 N 50896

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Act, 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.

4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls. For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

DYE LAW APPLICATION.

REC. No. N 50372

CASH
CHEQUE
M.O.
B.L.
I.T.

£1440.00

Received this

15th

day of

October

1991

from Castlepark Homes Ltd,
Church Rd,
Killiney

the sum of £1440 Pounds
four hundred & forty

bye-law application at Duliver Rd.
Pence, being the fee

Nedee Deane Cashier

S. CAREY
Principal Officer

Case A-15

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY
CASH
CHEQUE
M.O.
B.L.
I.T.

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL ST
DUBLIN 1.

Issue of this receipt is not an
acknowledgement that the fee
tendered is the prescribed application
fee.
N 50896

£800 00

Received this 15th day of October 1991

from Castlepark Homes Ltd,
Church Rd,
Killiney

the sum of eight hundred Pounds

planning application at Dalree Rd.

M. Deane Cashier

24/10 S. CAREY Principal Officer



REEDE · FANNING
ARCHITECTS · INTERIOR DESIGNERS

10 GRANTS ROW, LOWER MOUNT STREET, DUBLIN 2.
TEL: 762358/762383 FAX: 762403

20th September 1991

Dublin County Council,
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Re: Housing development 'Greenfield' on site between Daletree Road and Ballycullen Road, Knocklyon for Castlepark Construction Ltd. (Previous Reg No. 89A 1456 and Decision Order No. and Date P/4702/89, 27 October 1989)

Dear Sir/Madam,

On behalf of our clients Castlepark Construction Ltd., we are applying for planning and bye law approval for 38 No. changes of house types incorporating extensions as described in detail in the enclosed planning advertisement from the Irish Press (dated *Oct 3 1991*)

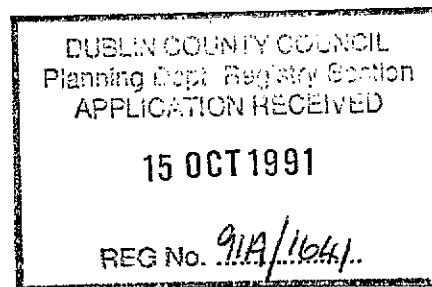
In support of our application we enclose the following: -

- a) Covering letter
- b) Application form
- c) Copy of Planning Advertisement (Irish Press. *Oct 3 1991*)
- d) Planning and Bye Law fee for the amount of £ *2240.00*
- e) 4 No. copies Architects Drawings Nos. *91/16/01 to 06 incl.*

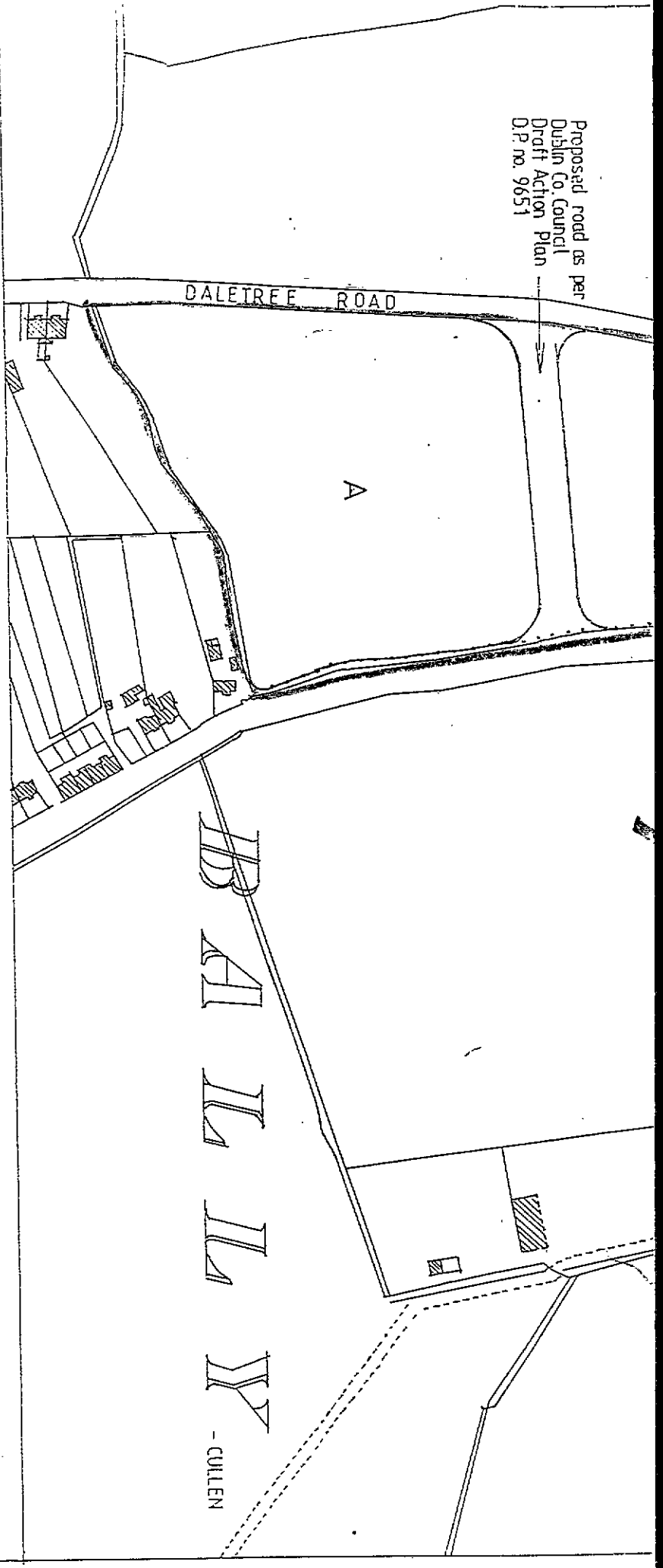
We trust the information enclosed is to your satisfaction but should you have any further queries please do not hesitate to contact us.

Yours sincerely,


Enda Fanning
Reede Fanning Architects



Proposed road as per
Dublin Co Council
Draft Action Plan
D.P. no. 9651



Lands at Ballycullen Road, Knocklyon.
Corporation to Willwright Ltd.
Disposal in fee simple.

Area of Sites

A = 5.601

B = 4.637

C = 6.850

total 17.088 Ac.

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED

15 OCT 1991

REG No. 91A/1641

Reede Fanning Architects
16 Mount Street Upper
Dublin 2
Scale 1/2500
September 1989
Drwg. no. 89/10 06

Road reservation line as
per Consulting Engineer's
drawing based on
Dublin Co. Council
Drwg. No. SCR/5E/1

existing 11/2 Ky.

existing 38 Ky.

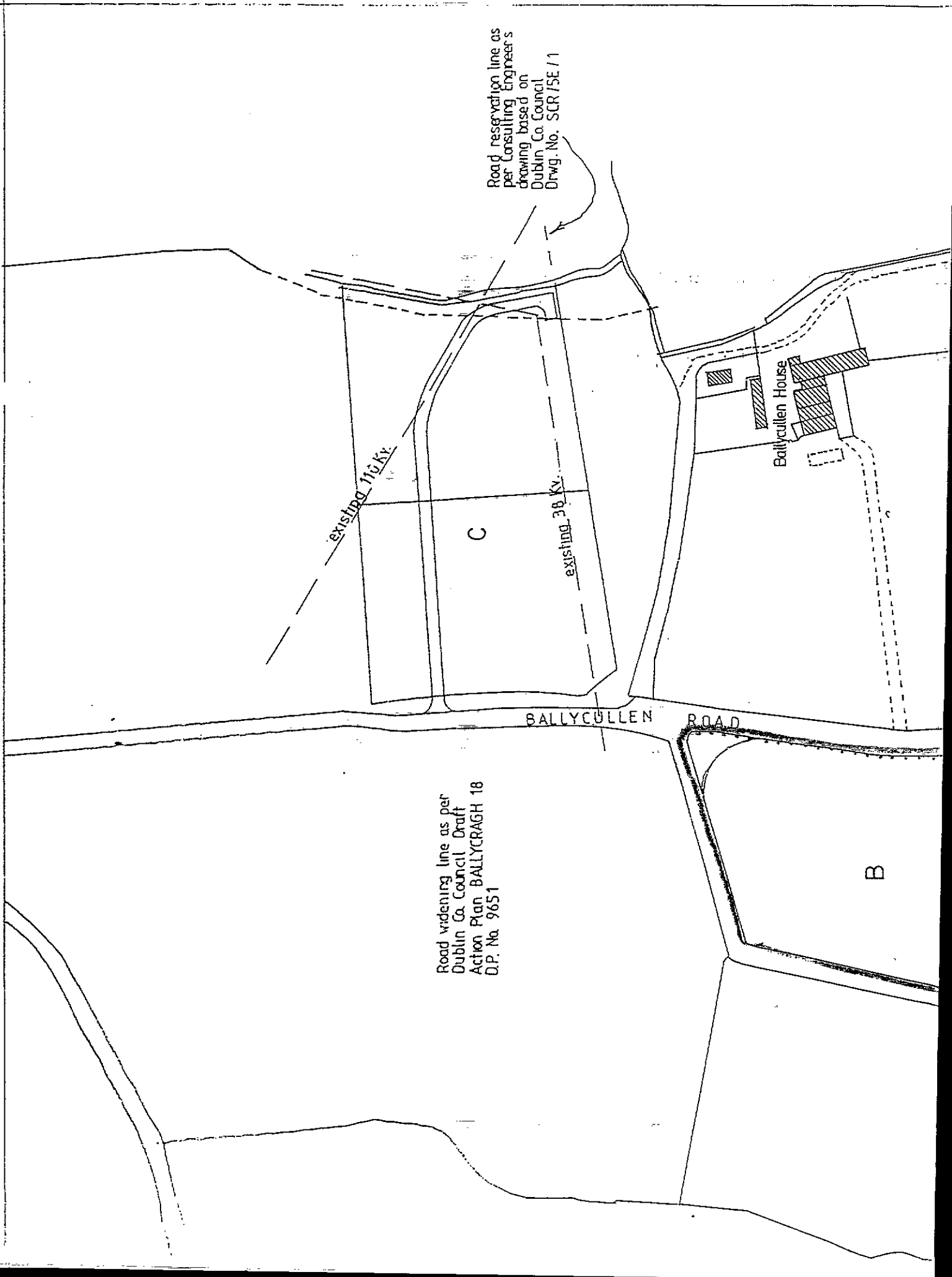
Ballycullen House

BALLYCULLEN ROAD

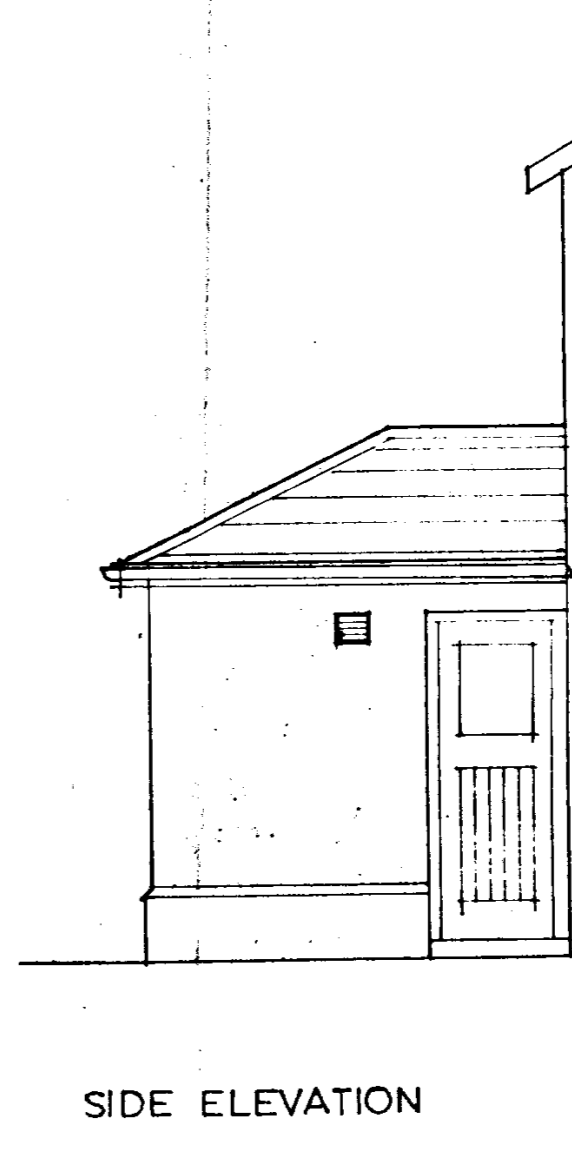
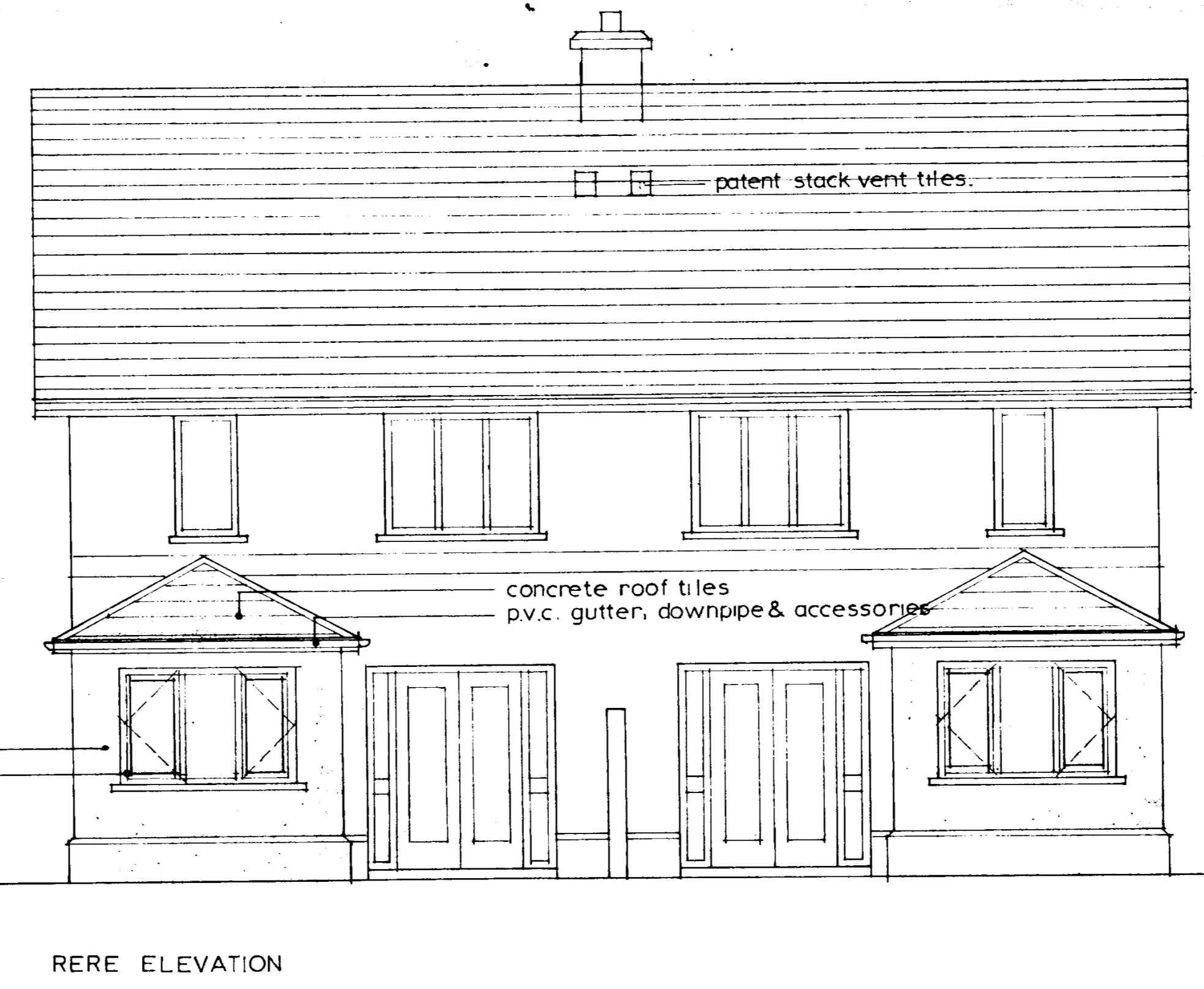
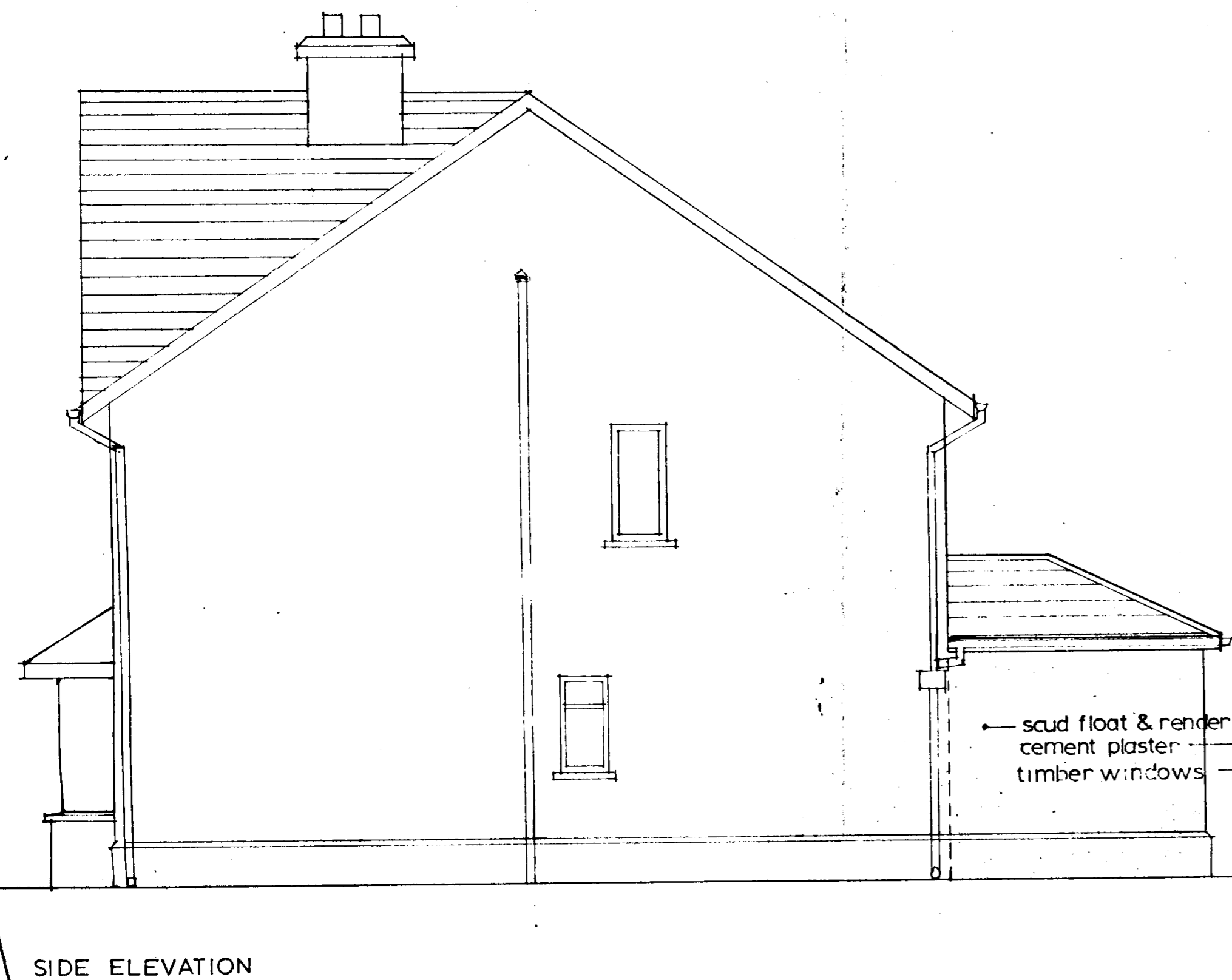
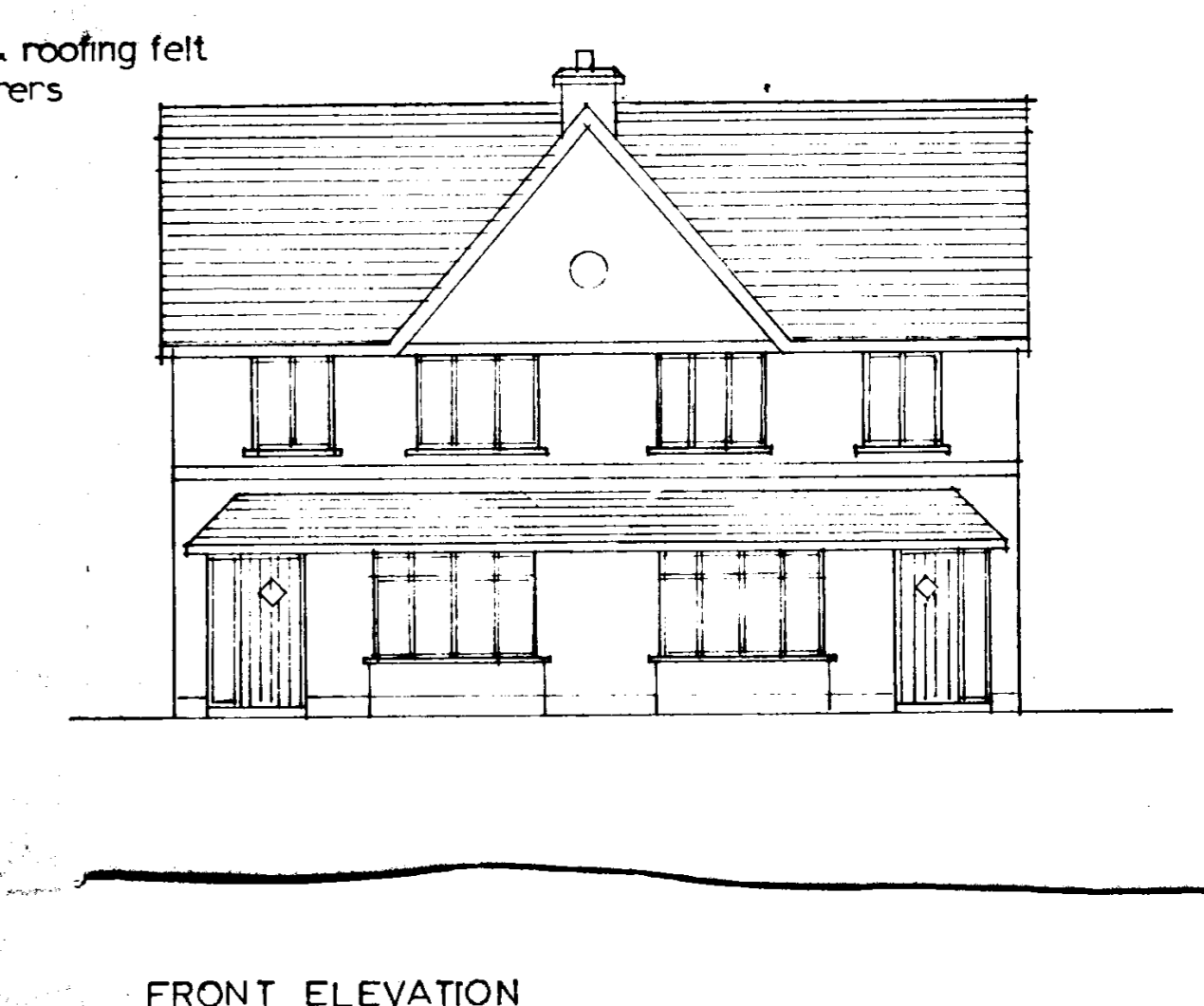
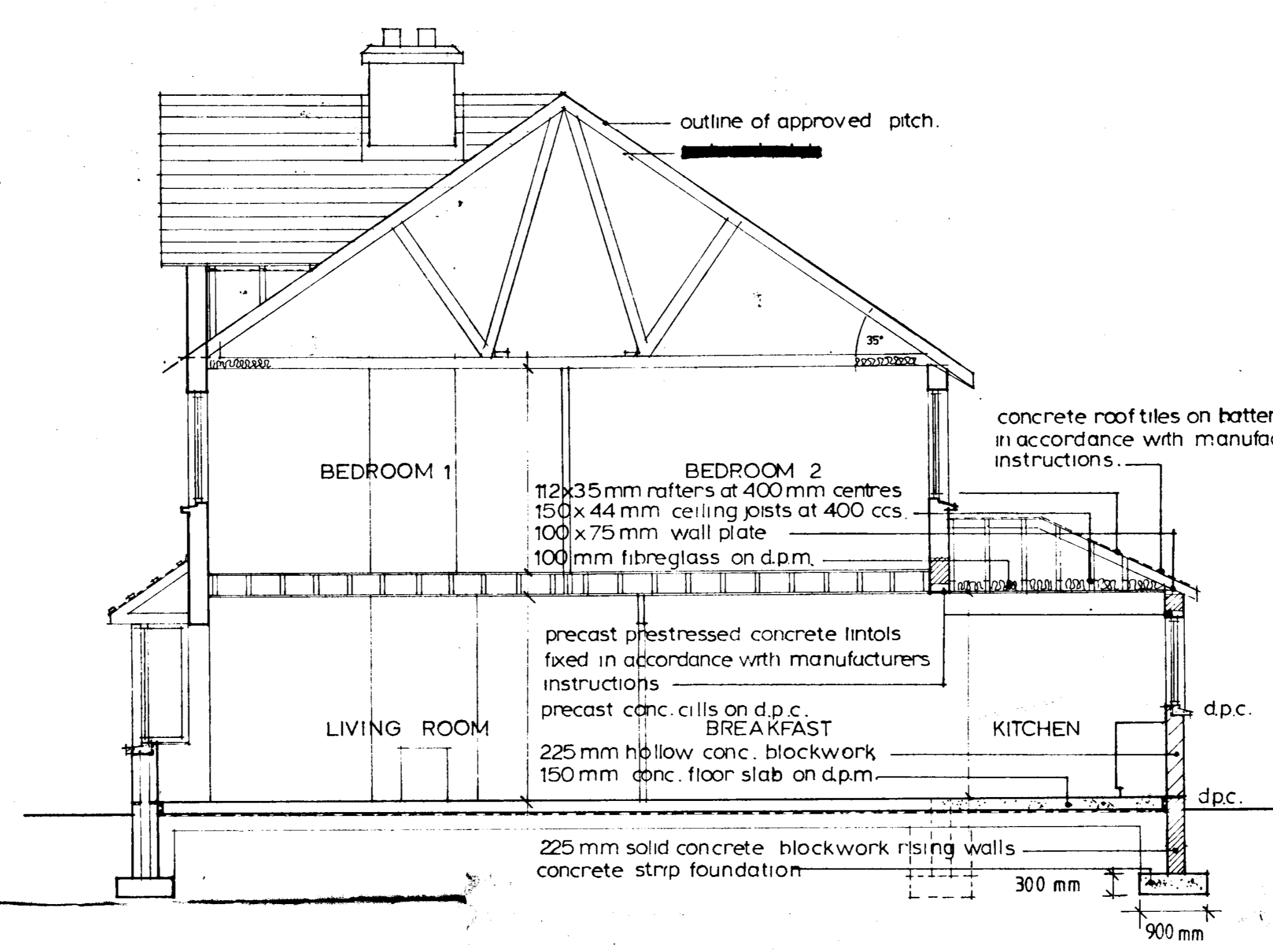
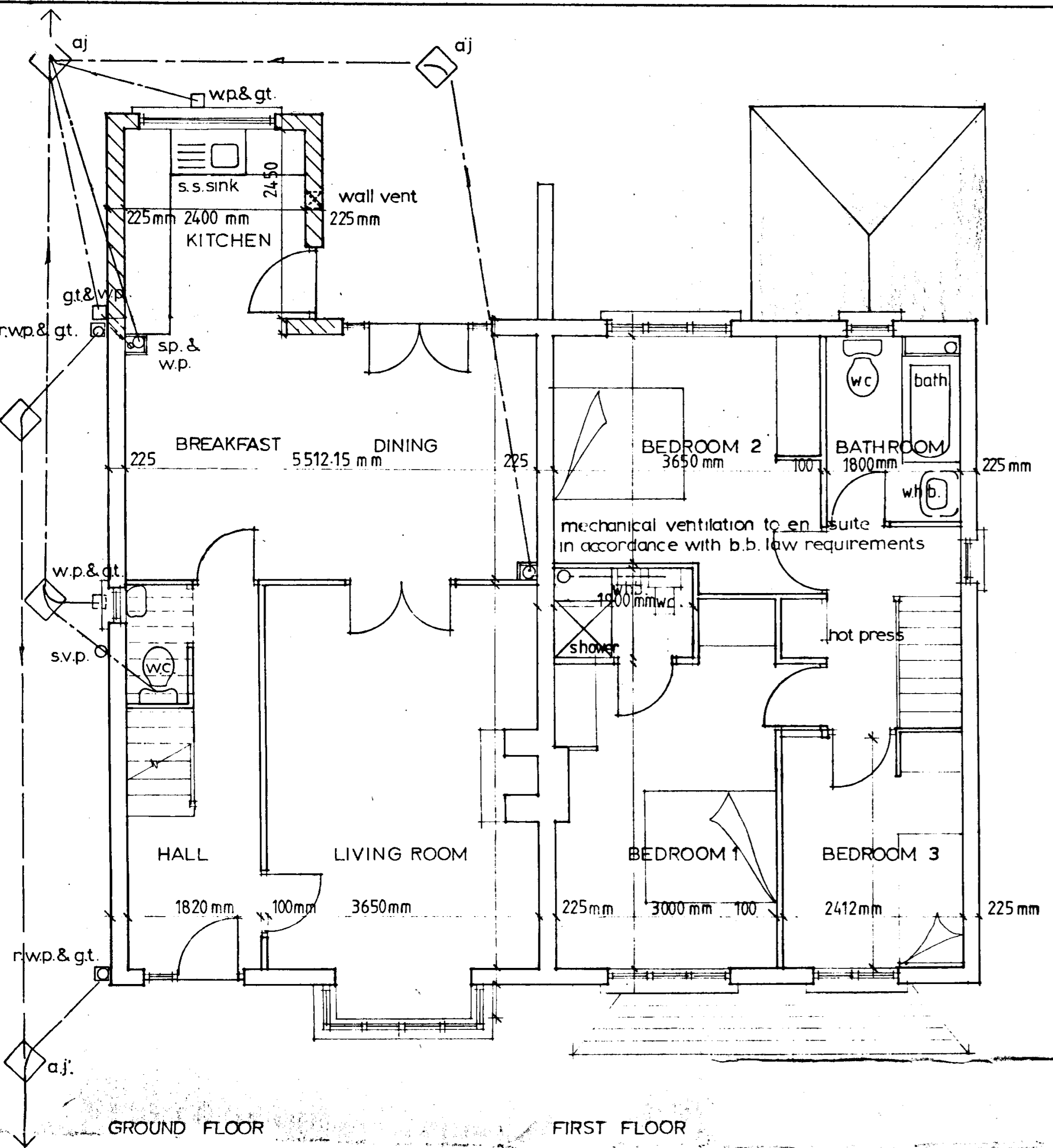
Road widening line as per
Dublin Co. Council Draft
Action Plan BALLYCRAUGH 18
D.P. No. 9651

C

B



Notes

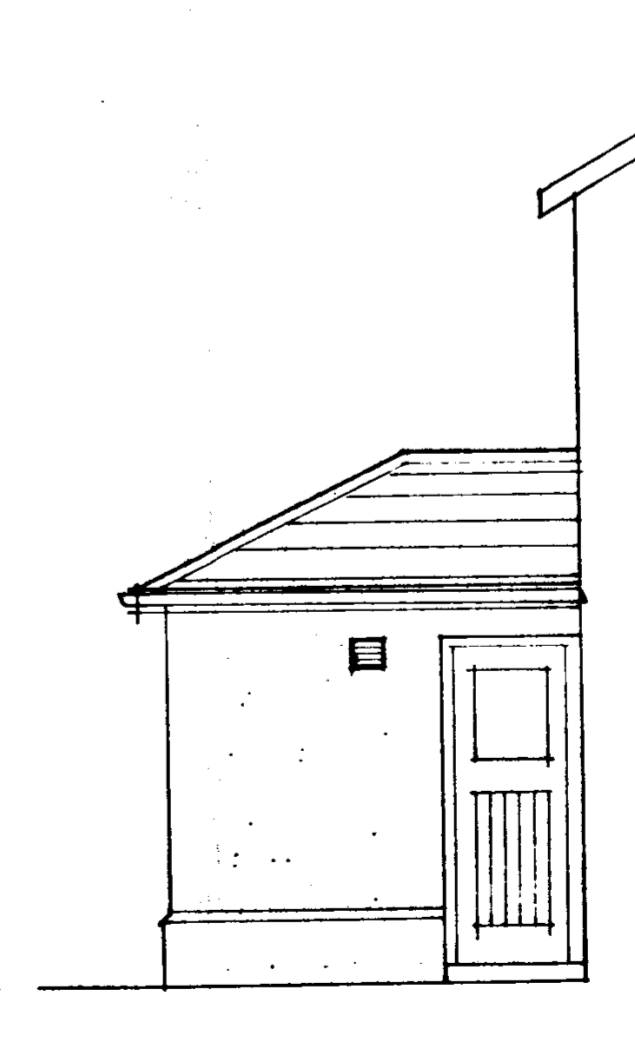
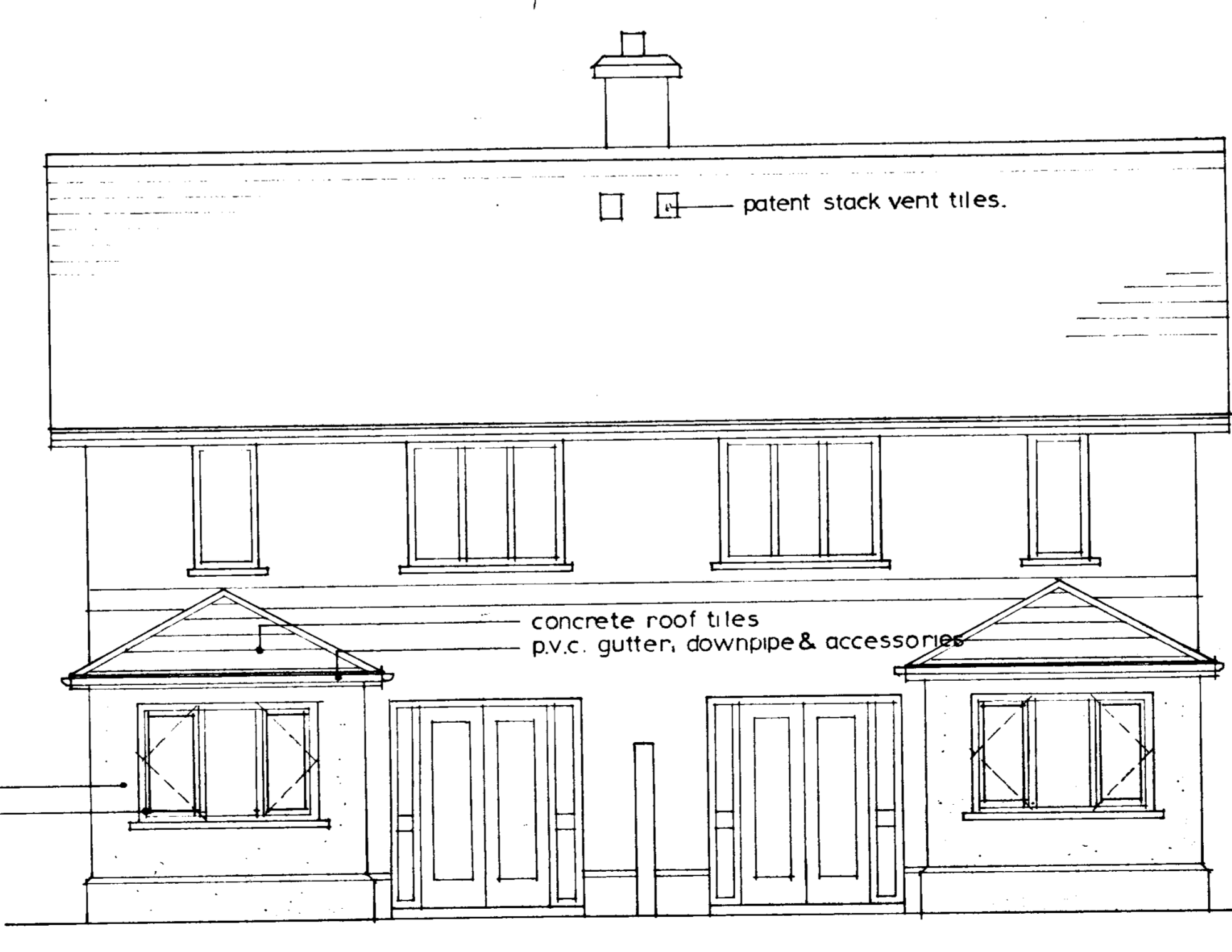
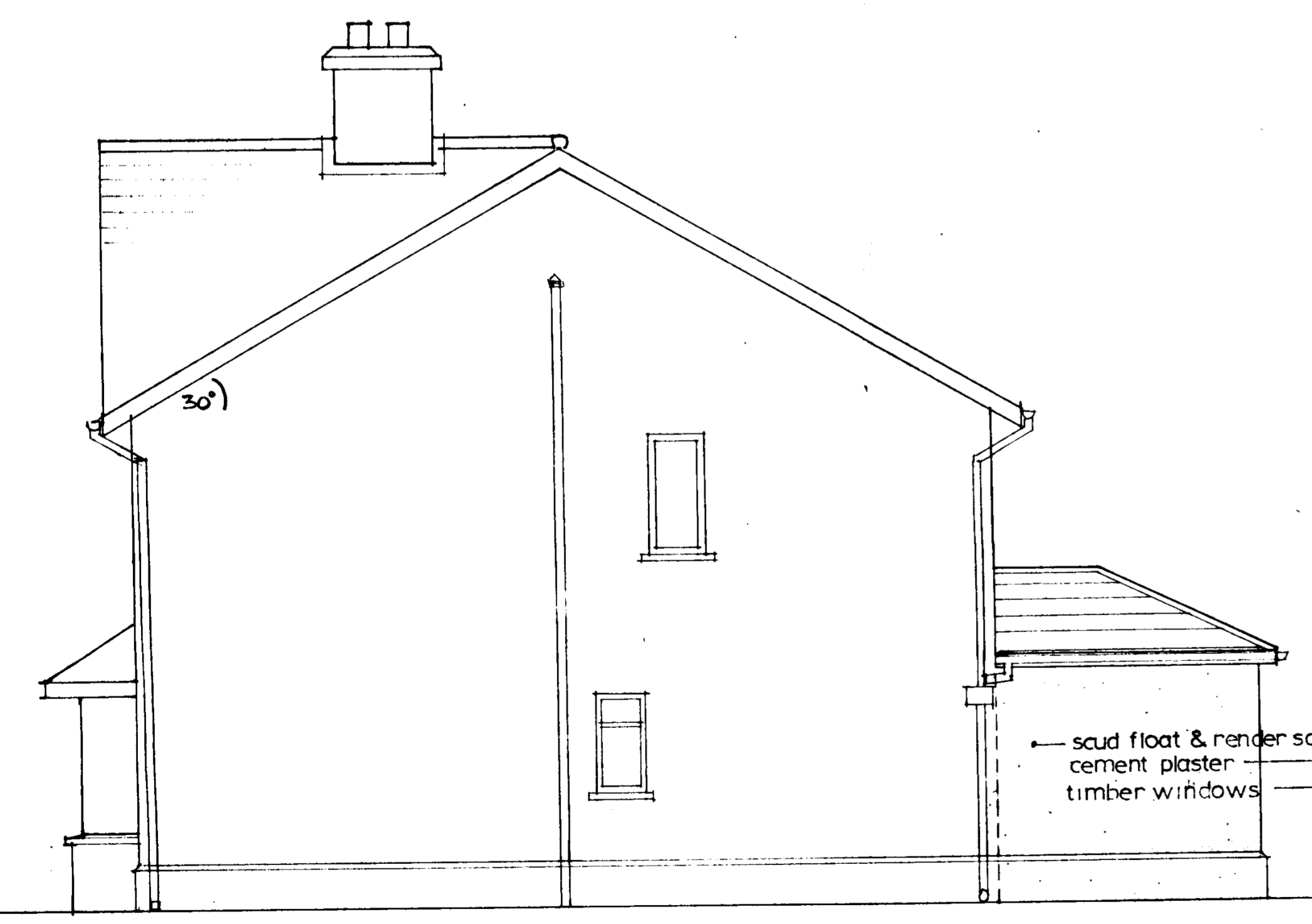
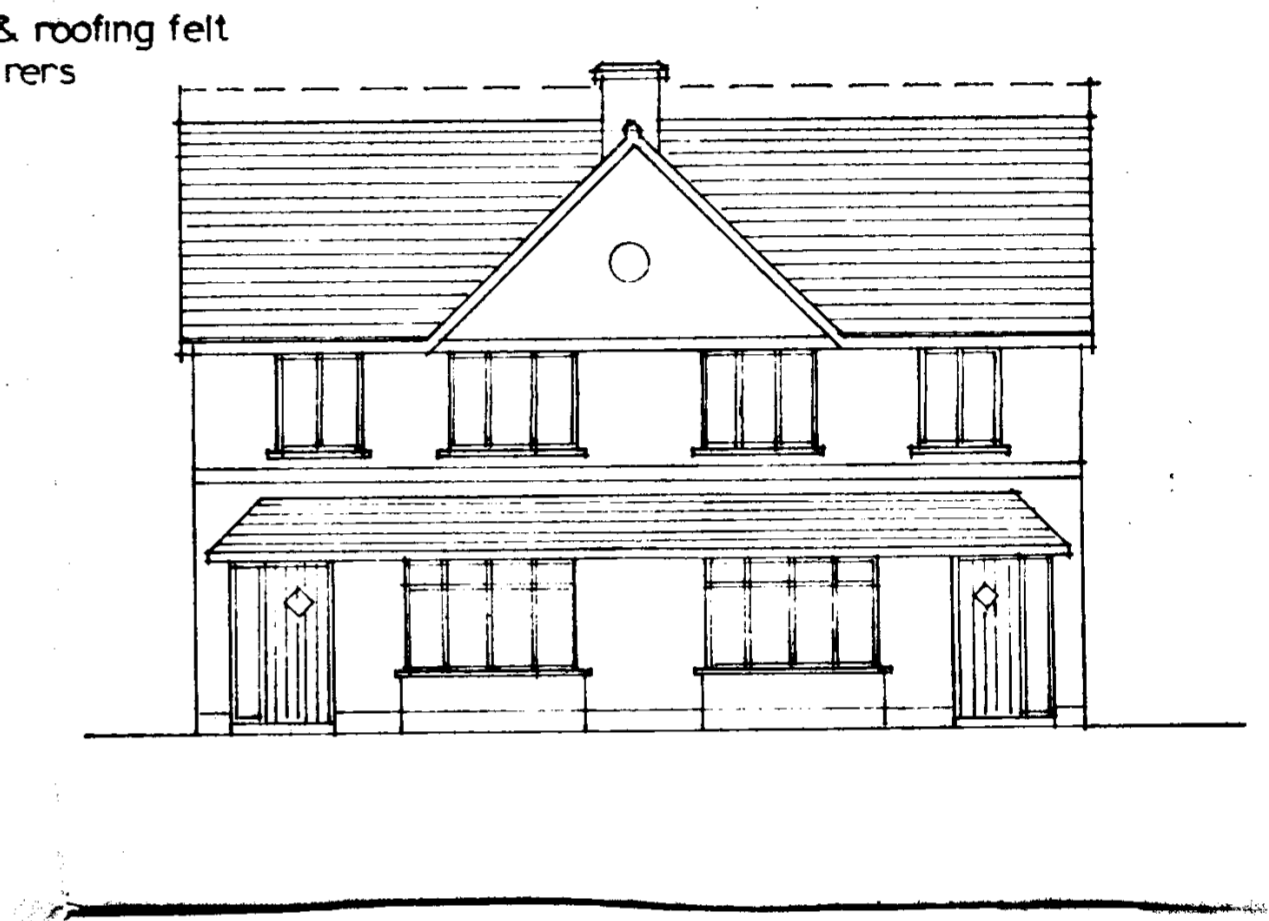
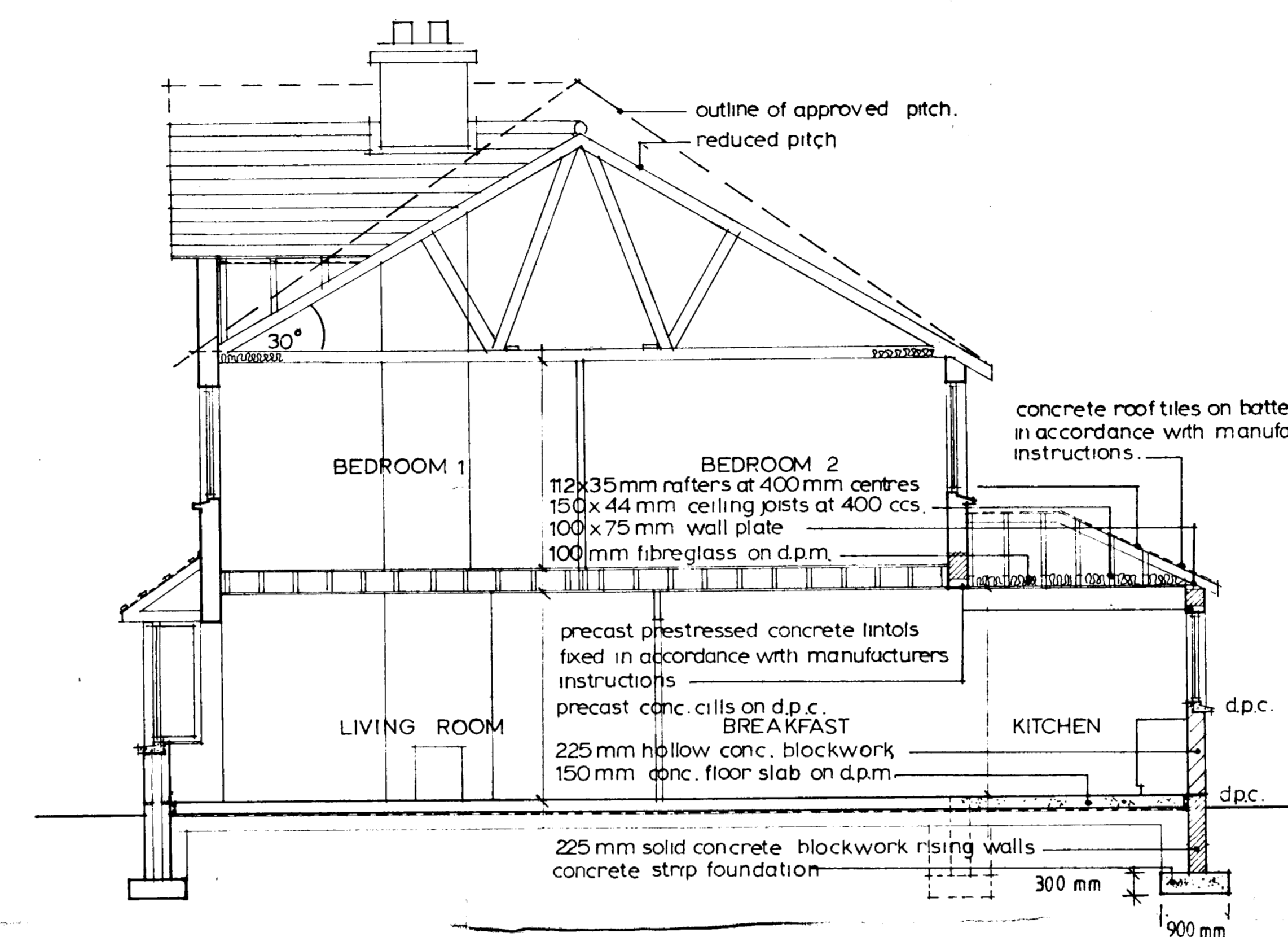
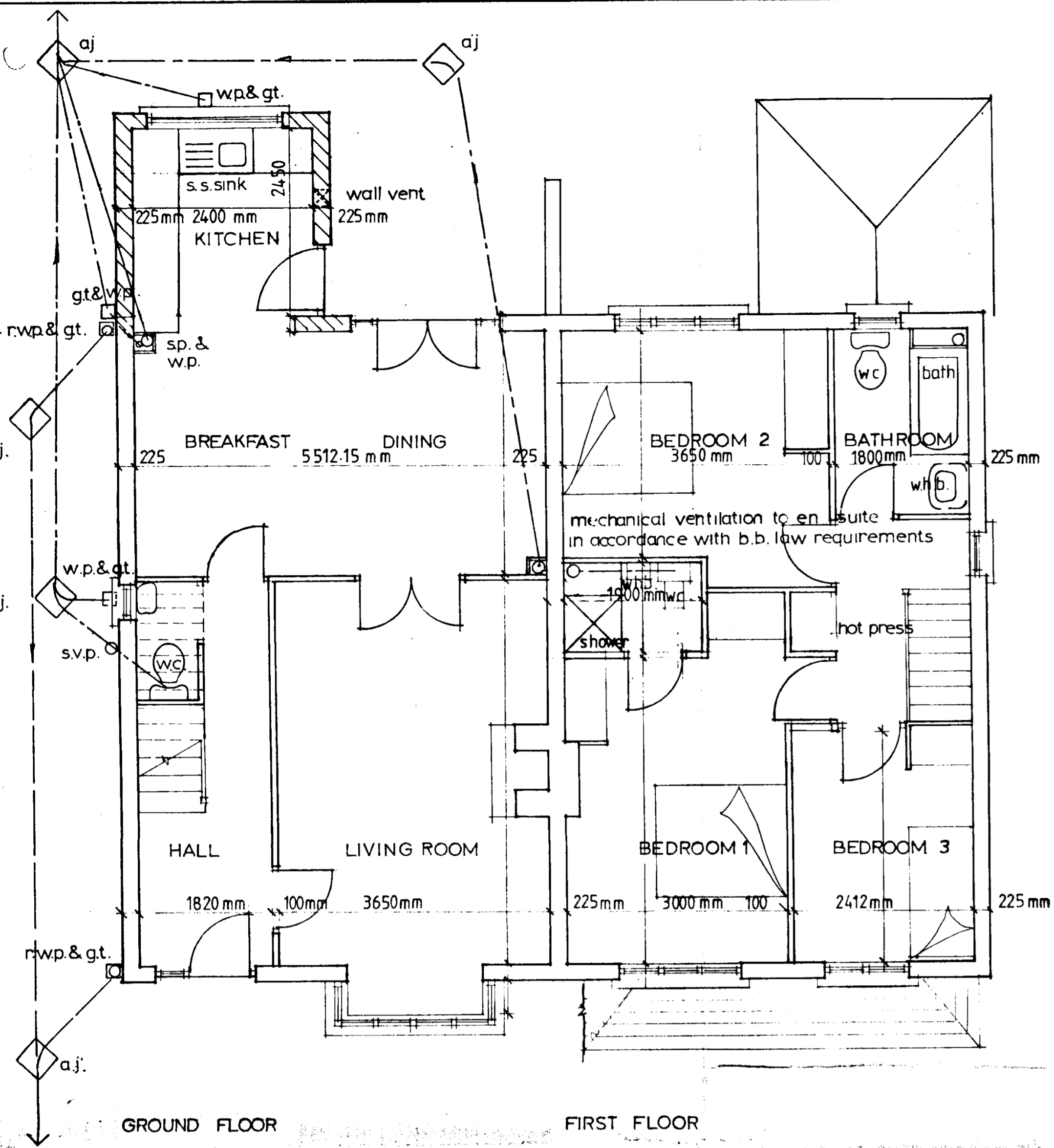


DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 15 OCT 1991
 REG No. *Am/164*

REVISED HOUSE TYPE C
 NOS 102,103,105 to 118.

No.	Revision	Date
REEDE FANNING ARCHITECTS 10 GRANTS ROW LR. MOUNT ST. DUBLIN 2		
Client CASTLEPARK CONSTRUCTION LIMITED.		
Job Title	Scale	Date
HOUSING DEV. BALLYCULLEN KNOCKLYON	1:50	17.9.91
Drawn	Job no.	Drawing no.
		91/16/06
CHANGE OF HOUSE TYPE TO INCORPORATE EN SUITE & KITCHEN EXTENSION TO SITE NOS. 102, 103 & 105 to 118 incl.		Revision

Notes



DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 15 OCT 1991
 REG No. 91A/16/11

REVISED HOUSE TYPE C
 NOS 88-97

No.	Revision	Date

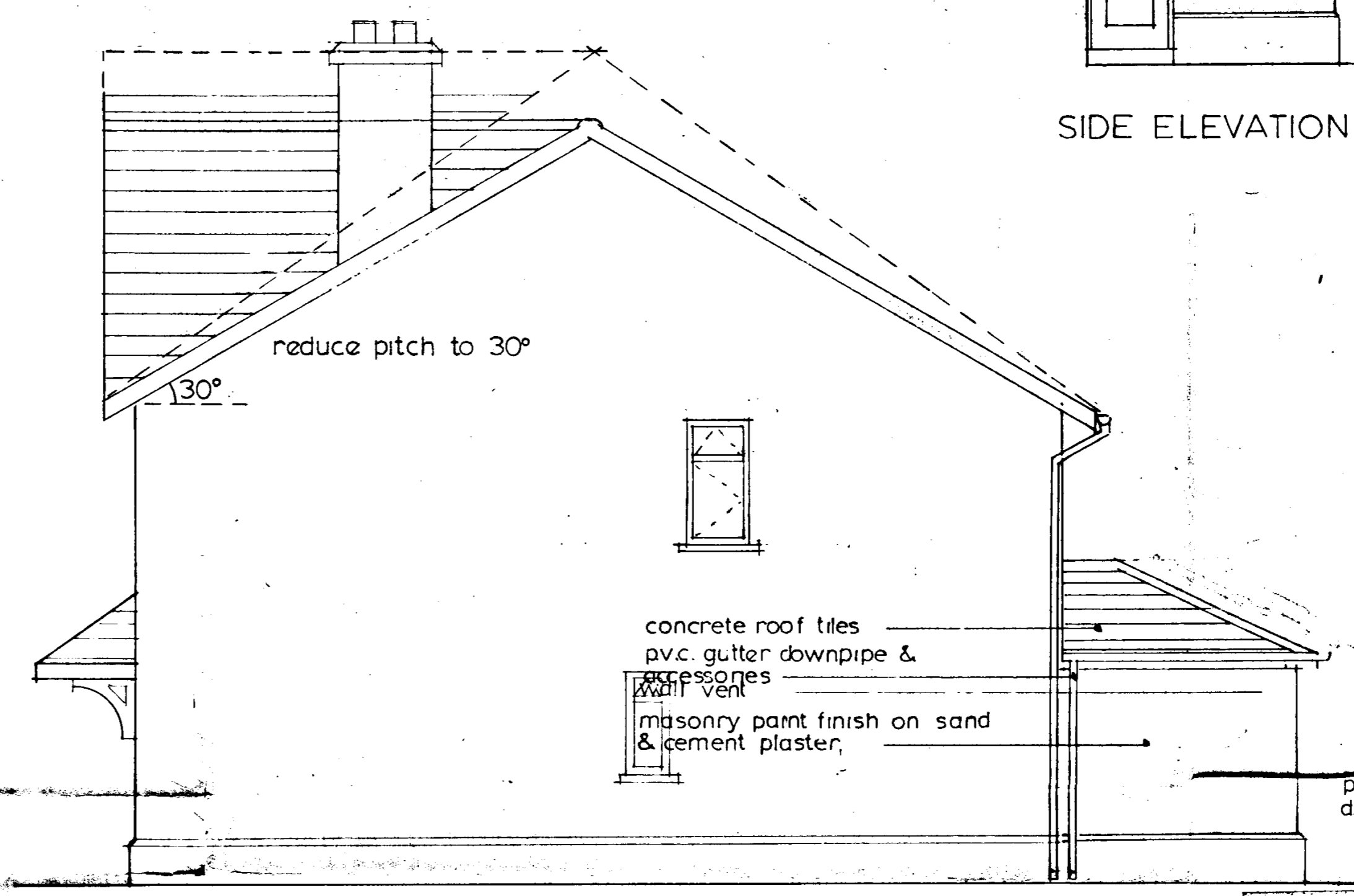
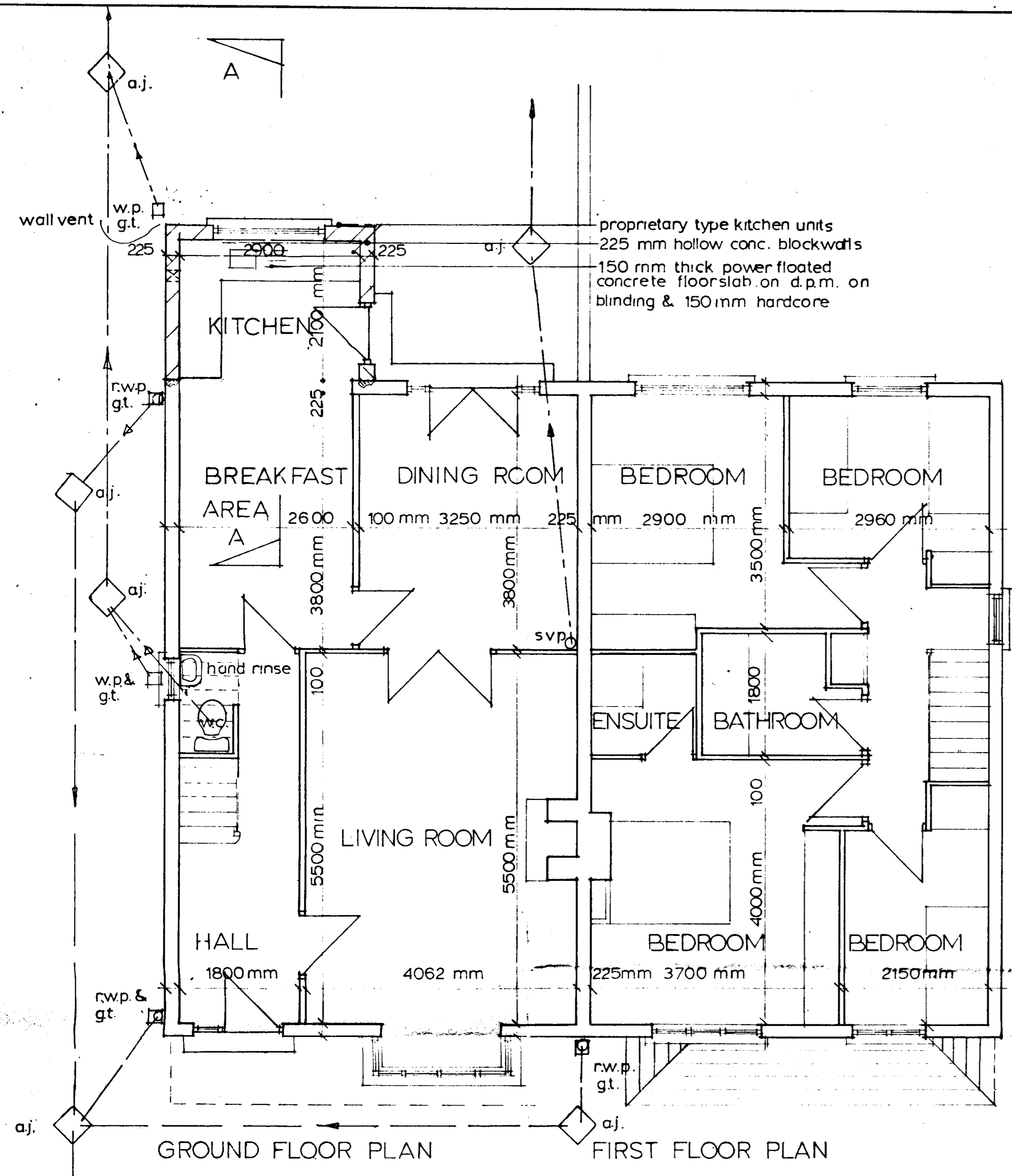
REEDE FANNING ARCHITECTS
 10 GRANTS ROW LR. MOUNT ST.
 DUBLIN 2

Client
 CASTLEPARK CONSTRUCTION
 LIMITED

Job Title HOUSING DEV. BALLYCULLEN KNOCKLYON	Scale 1:50
Drawn	Date 17.9.91
Job no.	
Drawing no. 91/16/05	
Revision	

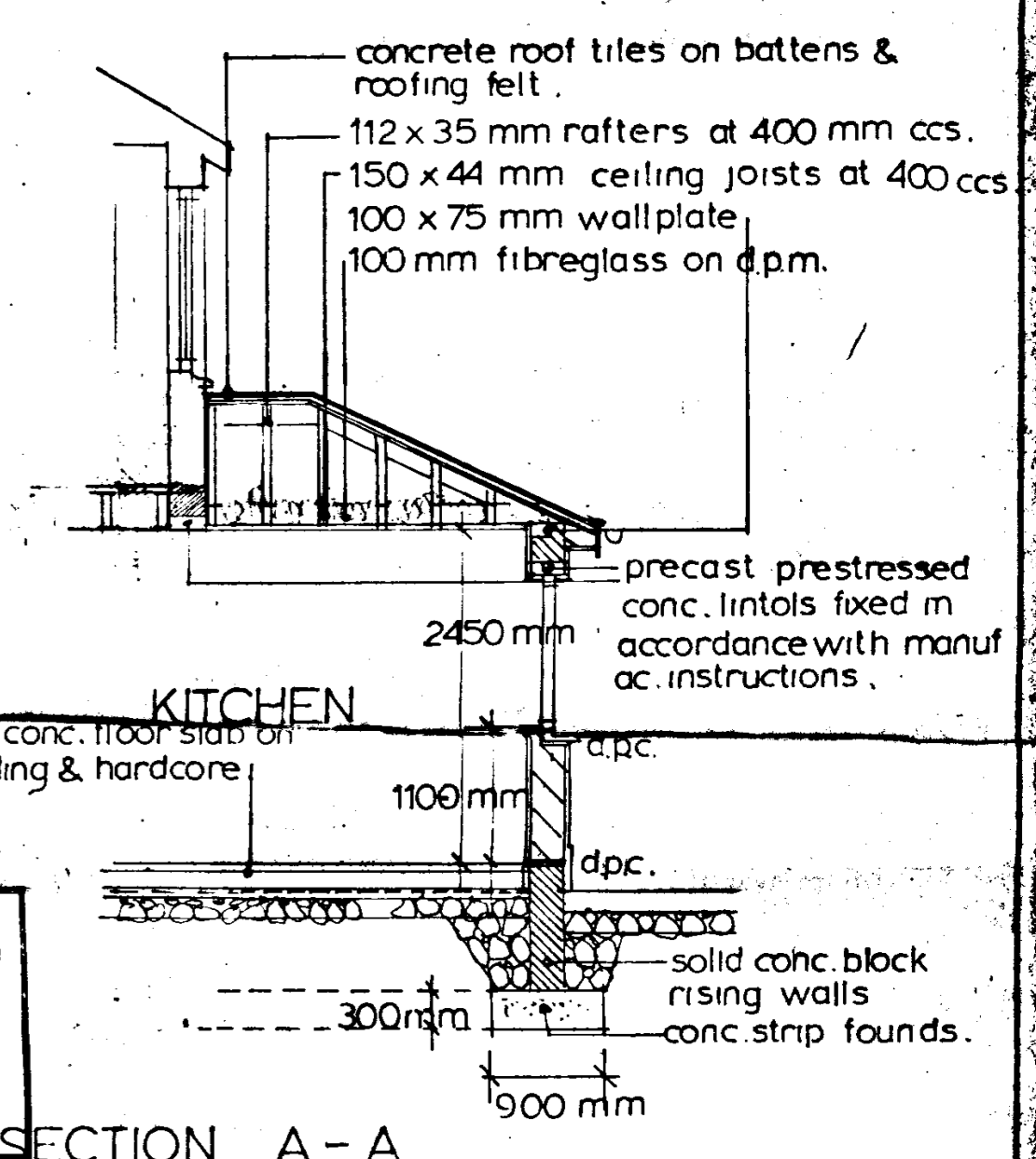
CHANGE OF HOUSE TYPE TO 3
 BEDROOM WITH EN SUITE,
 KITCHEN EXTENSION AND
 REDUCED ROOF PITCH FOR
 SITE NOS. 88-97 incl.

Notes
TO BE READ IN CONJUNCTION WITH APPROVED PLANS
 Planning permission granted 6 dec. 1989
 decis. order no. P/4702/89 reg.ref. 89A/1456
 Building bye-law approval dated 3/4/90
 order no. 873/90 reg.no. 89A/1456



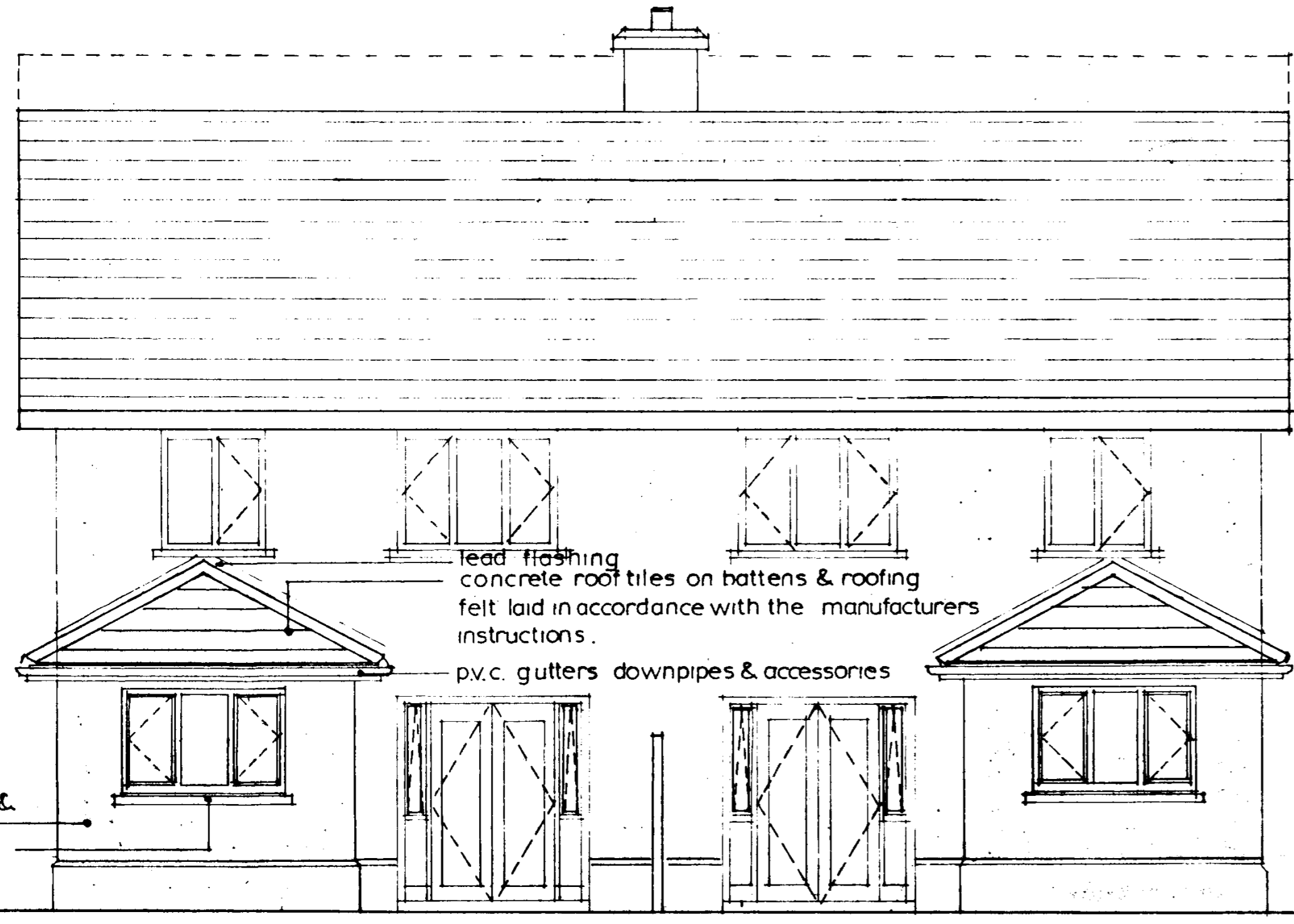
SIDE ELEVATION

SIDE ELEVATION



SECTION A - A

Building and Planning Dept.
 APPLICATION RECEIVED
 15 OCT 1991
 REG No. 91A/1456



RERE ELEVATION



FRONT ELEVATION

SPECIFICATION

Roof
 Floors to be 150mm power floated concrete slab on 100 gauge 40x40mm DPM on 50mm sand blinding on minimum 150mm well compacted hardcore. First floor to be 125x25 tongue & groove floor boards on 225 x 44 pre-stressed p.v.c. joists at 400 ccs. on hangers all to structural engineers spec. Ceilings to be 125mm foil backed plasticboard taped & skinned.

Walls
 External walls to be 225 hollow concrete block plastered externally and key lined & insulated internally. Party walls to be 225 solid concrete blockwork brought up to underside of roof with fibre plaster capping. Internal partitioning to be 100mm timber stud walls.

Roof
 Roof to be waterproofing concrete roof tiles on 112x35mm treated p.v.c. battens fixed in accordance with manufacturer's instructions on masonry felt of pre-treated roof beams to structural engineers details.

REVISED HOUSE TYPE D
 NOS. 78, 79 & 81 to 86

No.	Revision	Date

REEDE FANNING ARCHITECTS
 16 MOUNT STREET UPPER D2

Client
 CASTLEPARK CONSTRUCTION LIMITED

Job Title HOUSING DEVELOPMENT AT BALLYCULLEN ROAD KNOCKLYON	Scale 1:50 1:100 Date 26/2/91
Drawing Title KITCHEN EXTENSIONS AND REDUCED ROOF PITCH TO NOS. 78, 79 & 81 to 86 (INCL.)	Drawn Job no. 91/03
	Drawing no. 91/16/03
	Revision

Notes
TO BE READ IN CONJUNCTION WITH APPROVED PLANS
 Planning permission granted 6 dec. 1989
 decis order no: P/4702/89 reg.ref. 89A/1456
 Building bye-law approval dated 3/4/90
 order no. 873/90 reg.no. 89A/1456

SPECIFICATION

Floors
 Floors to be 150 mm power-floated concrete slabs on 150 gauge Visqueen FPM on 50 mm sand blinding on minimum 150 mm well compacted hardcore.
 First floor to be 125x25 tongued & grooved floor boards on 225x44 pre-treated 4W joists at 400cc. in hangers all to structural engineers spec. Ceiling to be 12.5 mm foil backed plasterboard taped & skinned.

Walls
 External walls to be 225 hollow concrete block plastered externally and key lined & insulated internally.
 Party walls to be 215 solid concrete blockwork brought up to underside of roof with Fibre / Frosting capping.
 Internal partitions to be 100 mm timber stud walls.

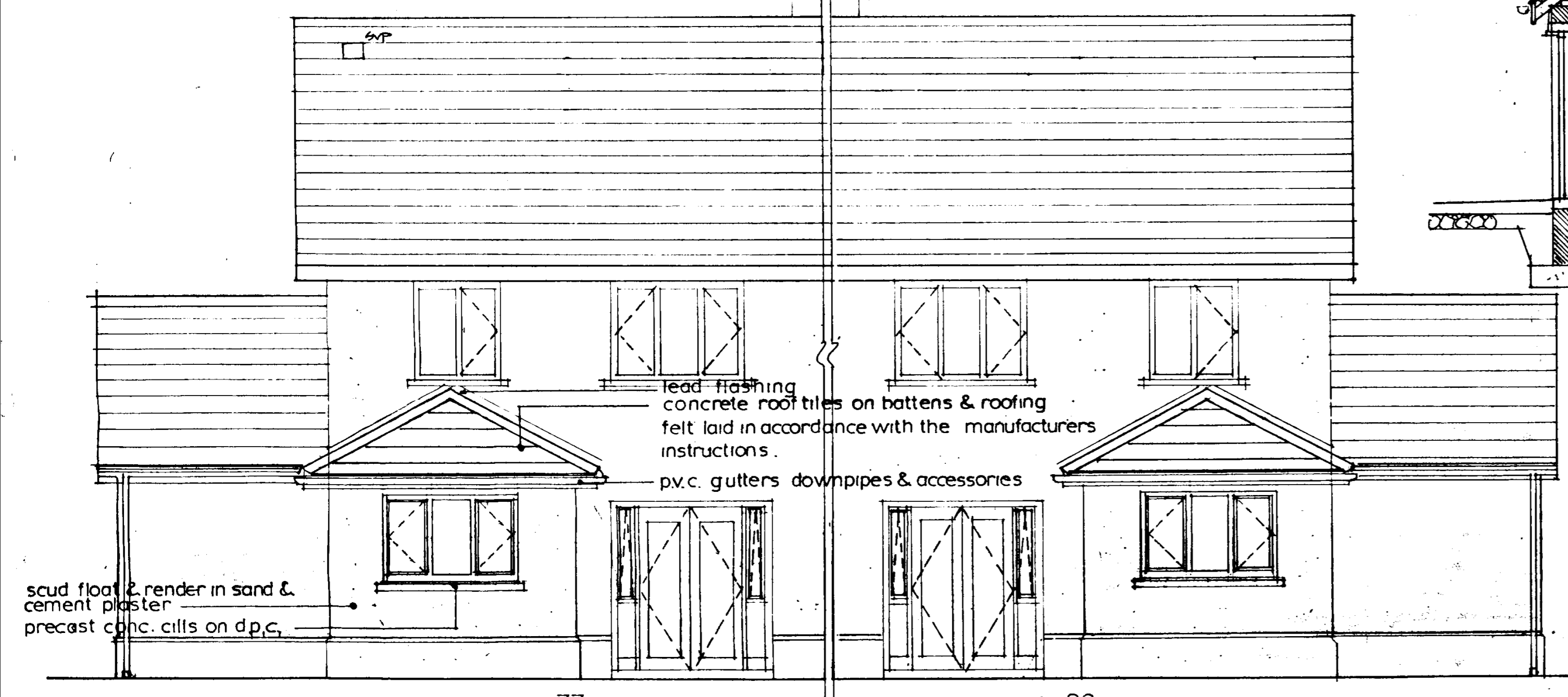
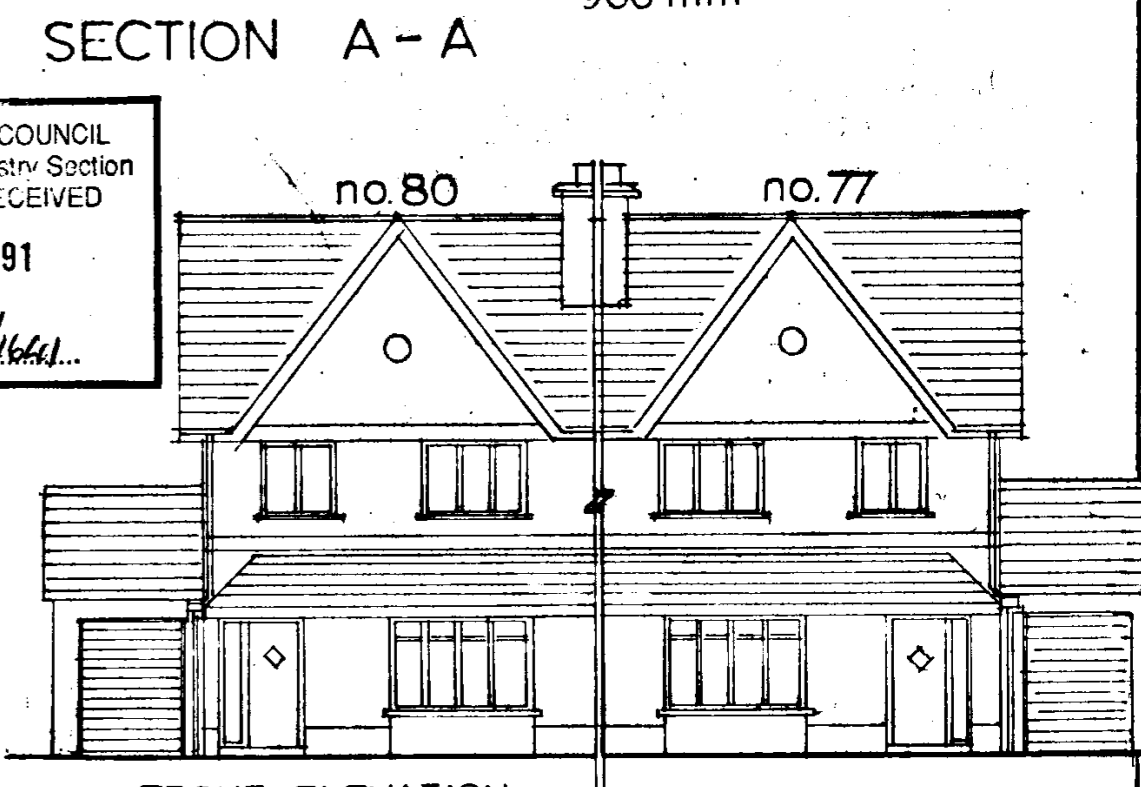
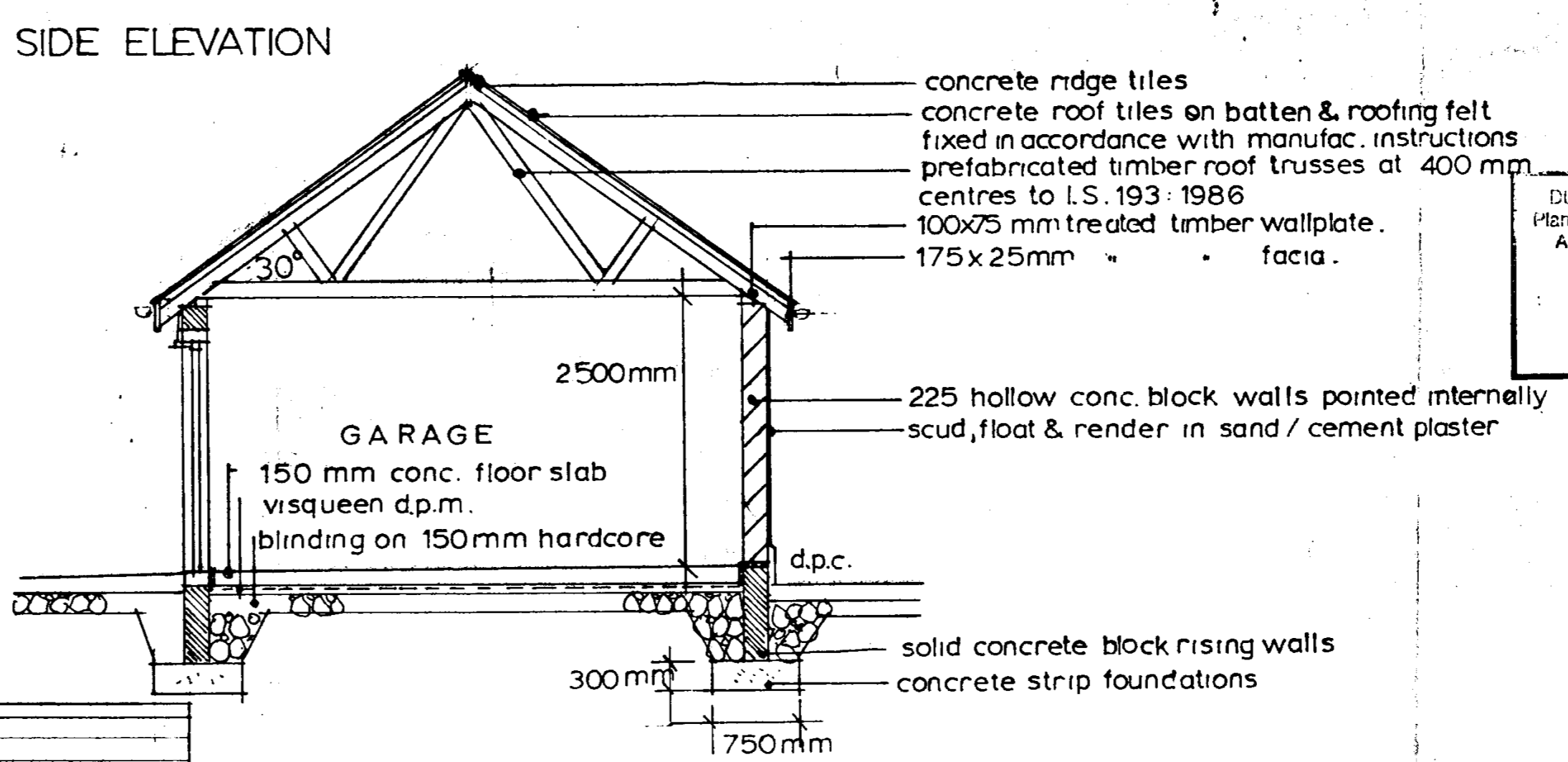
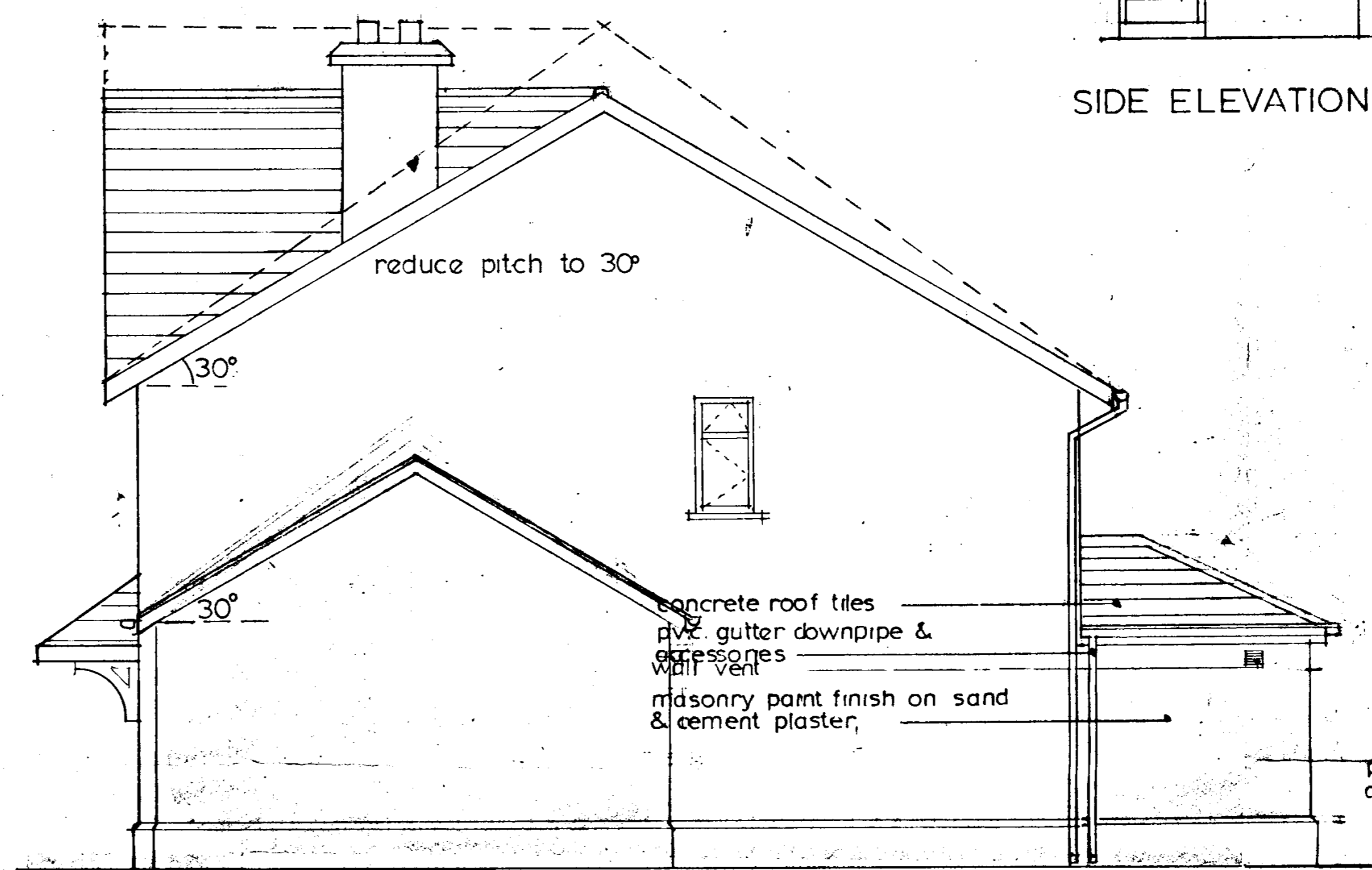
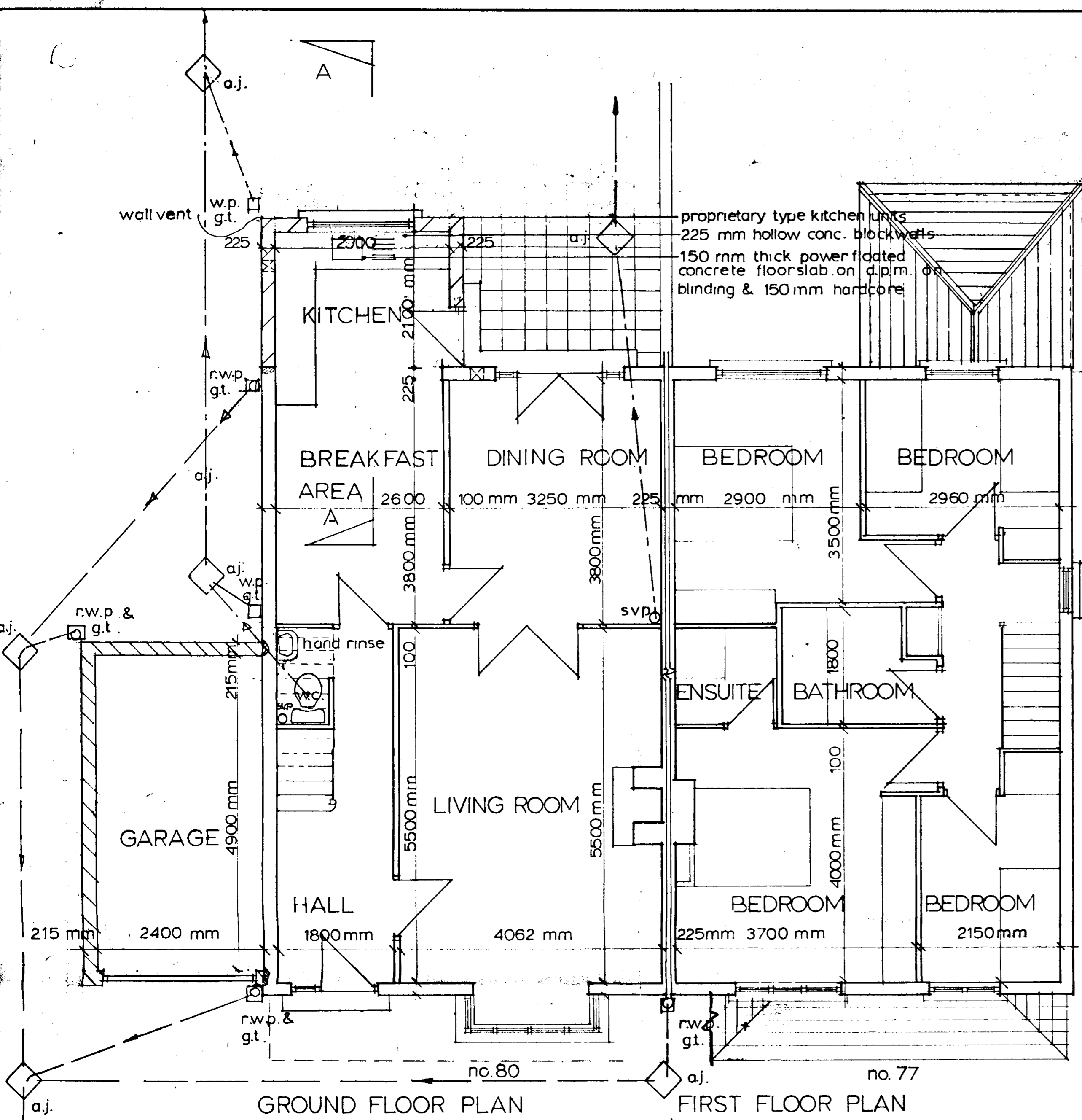
Roof
 Roof to be interlocking concrete roof tiles on 25x25 treated 4W battens fixed in accordance with manufacturers instructions on strong felt of professional roof trusses to structural Engineers details.

concrete roof tiles on battens & roofing felt
 112 x 35 mm rafters at 400 mm ccs.
 150 x 44 mm ceiling joists at 400 ccs.
 100 x 75 mm wallplate
 100 mm fibreglass on d.p.m.

precast prestressed conc. lintols fixed in accordance with manuf. ac. instructions.

powerfloated conc. floor slab on d.p.m. on blinding & hardcore

solid conc. block rising walls
 conc. strip founds.



DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 15 OCT 1991
 REG No. 91/1661...

No.	Revision	Date

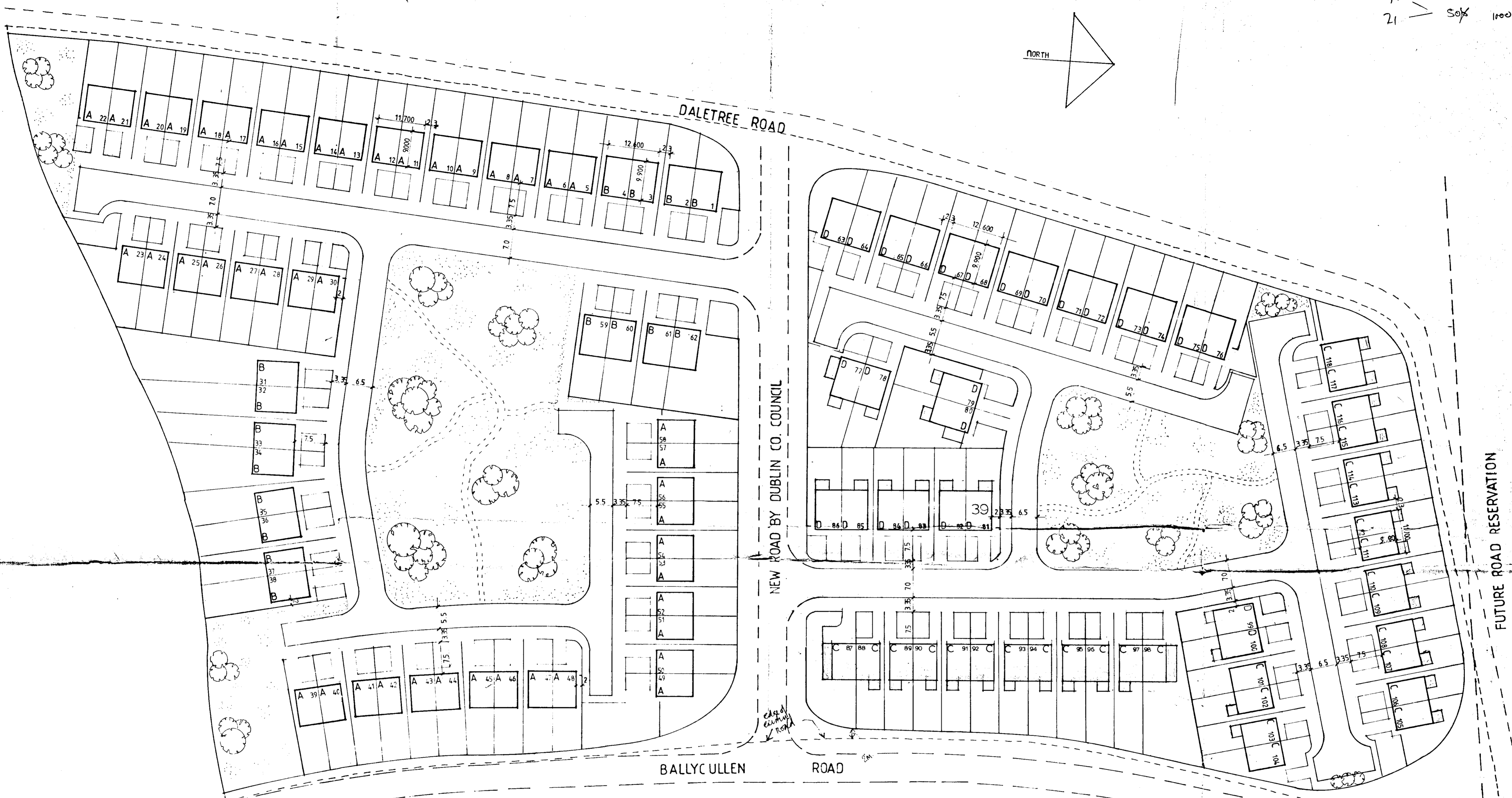
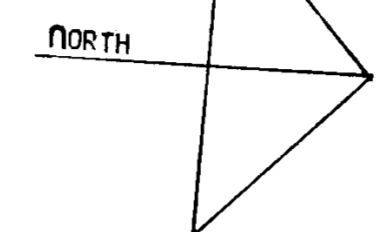
REEDE FANNING ARCHITECTS
 16 MOUNT STREET UPPER D2

Client
 CASTLEPARK CONSTRUCTION LIMITED

Job Title HOUSING DEVELOPMENT AT BALLYCULLEN ROAD KNOCKLYON	Scale 1:50 1:100 Date 26/2/91 Drawn Job no. 91/03 Drawing no. 91/16/02
KITCHEN & GARAGE TO NOS. 77 & 80 AND REDUCED ROOF PITCHES TO MAIN ROOF	Revision

REVISED HOUSE TYPE D
 NOS 77 & 80

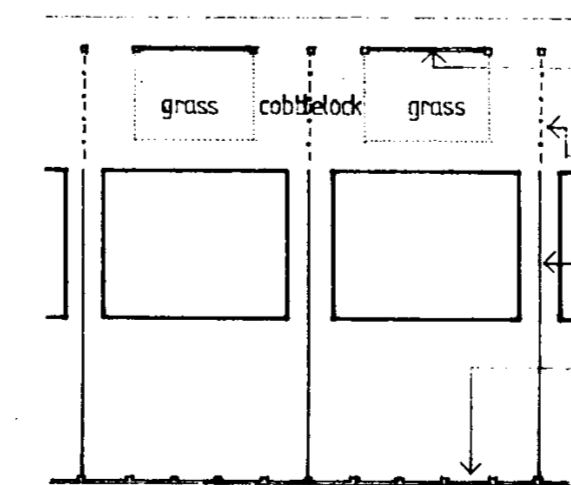
Notes
 71 > 21
 1000 800 -1250
 71
 71 -1200



SITE LAYOUT PLAN

House Type A	3 bed-rm semi-detached	(46 no.)
House Type B	4 bed-rm semi-detached	(16 no.)
House Type C	3 bed-rm semi-detached	(18 no.)
House Type D	4 bed-rm semi-detached	(38 no.)
		Total 118 no.

BOUNDARIES



- FRONT WALLS
Height 450mm.
Description Selected brick.
- FRONT PARTY WALLS
Height 450mm.
Description Precast concrete bollards with hinges.
- PARTY WALLS
Height 1800mm.
Description HT & miss timber fencing.
- SITE BOUNDARY WALLS & REAR GARDEN WALLS
Height 1800mm with piers at 3m centres.
Description Concrete block walls with precast concrete capping. Walls rendered to public side.

DUBLIN COUNTY COUNCIL
 Planning & Development Section
 APPLICATION RECEIVED
 15 OCT 1991
 REG No. 91/1641

No	Revision	Date

PROPOSED HOUSING DEVELOPMENT
 AT BALLYCULLEN ROAD KNOCKLYON

Client Castlepark Construction Limited.	Scale 1/500 Date sep 91 Drawn Checked
Title REEDE FANNING Architects 10 GRANTS ROW DUBLIN 2	Drawing No 91/16/01