

PLANNING APPLICATION FEES

Reg. Ref. *9/A/1616*

Cert. No. *26849*

PROPOSAL *2 Storey Warehouse unit*

LOCATION *unit 10 Greenhills Rd. D12*

APPLICANT *Mulcahy Keane Holdings*

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32				
2	Domestic,	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres <i>380.18</i>	@£1.75 per m2 or £40	<i>666.75</i>	<i>665.13</i>	<i>1.62</i>	<i>not sought</i>
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: *J. Y. O'Fl.* Grade: *D/FU* Date: *15/6/91*

Column 1 Endorsed: Signed: ..... Grade: ..... Date: .....

Columns 2,3,4,5,6 & 7 Certified: Signed: *R. W. O.* Grade: *S. 40* Date: *15/19/91*

Columns 2,3,4,5,6 & 7 Endorsed: Signed: ..... Grade: ..... Date: .....

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1965 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

EG. REF.: *Q1A/1616*

ONT. REG.:

SERVICES INVOLVED: WATER/POUL SEWER/SURFACE WATER

REA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL: *4093 sqm*

MEASURED BY:

*J.Y. 18/6/91.*

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

*4093*  

---

*1000 @ 750*

MANAGER'S ORDERED NO: BY  
DATE

ENTERED IN CONTRIBUTIONS REGISTER:

*= 3069.75*  
*say 3070*

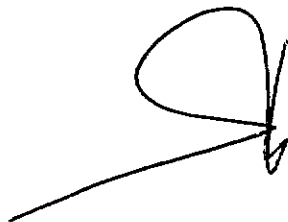
*7023/4*  
*7068/2*

DEVELOPMENT CONTROL ASSISTANT GRACE

*roads*  
*£4000*

*Per Planner*

*18/3/91*



P/1130/92

New file 857611

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

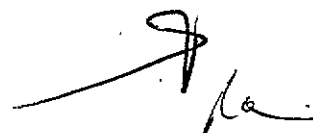
BELGARD

CONTRIBUTION:
Standard 390
Roads 4000
S. Sers:
Open Space:
Other:
SECURITY:
Bond / C.I.F.:
Cash:

Register Reference : 91A/1616

Date Received : 3rd February 1992

Correspondence : Carr & Sweeney Architects,  
 Name and : No. 9 Clonskeagh Rd,  
 Address : Dublin 6.



Development : Proposed warehouse

Location : Unit 10 at Mulcahy Keane Industrial Estate, Greenhills Road

Applicant : Mulcahy Keane Holdings

App. Type : Permission

Zoning :

Floor Area : 3800 sq.metres

(NOB/DK)

Report of the Dublin Planning Officer dated 9th March, 1992.

This is an application for PERMISSION for a two storey warehouse unit at the Mulcahy Keane industrial estate.

Reg. Ref. 89A-1990 refers to a decision to grant permission for a single storey industrial unit (No. 18) within this estate. Part of the site of the current application was indicated for car-parking to serve this proposed development. The development approved under that permission has not commenced. Car parking to serve the existing development was indicated. The site for new unit A or the prefab unit 9 and some car parking is no longer part of the site.

Reg. Ref. 90A-1836 refers to an application for permission for an extension to unit 8 of this estate which was withdrawn. That application related to the current site.

The current application is stated to be for a two-storey warehouse unit while the public notice refers to a proposed unit 10 and the plans submitted with the application are for a proposed unit 20. The layout plans submitted with the application indicate that the proposed unit 10 adjoins unit 9 while the site layout plan indicates proposed unit adjoining existing unit 8. A side entrance to the adjoining unit has not been indicated on the submitted plans.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1616

Page No: 0002

Location: Unit 10 at Mulcahy Keane Industrial Estate, Greenhills Road

Car parking to serve the existing development has not been clearly marked out on site. The plans submitted fail to distinguish between car parking areas to serve the existing development previously approved development or the development proposed under the current application.

Roads Department report noted.

Sanitary Services Section report not received.

Supervising Environmental Health Officer report not received.

Additional Information was requested from the applicant with regard to the following:-

1. The public notice submitted with this application refers to permission sought for warehouse unit No. 10. The site layout plan submitted indicated proposed unit 10 adjoining unit 9 but the title of the plan refers to proposed unit 20. A proposed unit 20 is, however, not indicated on the submitted plans. The ground floor plans as per drawing no. D/17/90 also entitled "proposed unit 20" indicates that the proposed unit adjoins unit 8. The applicant is requested to submit revised plans to clarify what is proposed and to indicate the proposal in relation to existing adjoining development.
2. There is an existing side entrance to the unit adjoining the proposed unit. The applicant is requested to indicate this entrance on revised plans and to clarify proposals in regard to its retention or any alterations proposed and to indicate the applicants legal interest to alter this entrance.
3. The applicant is requested to submit a site layout plan indicating a layout car parking which provides for:
  - (a) the car parking spaces to serve the existing development,
  - (b) the car parking spaces to serve previously approved development. In this regard the applicant is advised that the site of the current application was indicated on plans approved for an industrial unit under Reg. Ref. 89A/1990 as a car parking area to serve the development;
  - (c) the car parking spaces required to serve the proposed development.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

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Page No: 0003

Location: Unit 10 at Mulcahy Keane Industrial Estate, Greenhills Road

In reply the applicant has submitted revised plans which provide for

1 and 2. Clarification of the nature of the proposal. The development would almost in effect be an extension to unit 9 in that the existing side entrance to unit 9 is being retained as a link between the two units.

3. The applicant has submitted a revised site layout plan indicating car parking spaces as follows:-

73 spaces to serve the existing development

21 spaces to serve the development previously approved under Reg. Ref. 89A/1990

4 spaces to serve the proposed unit 10.

Roads Department report recommends refusal as the off street car parking proposed to serve the development is only 4 while the development plan standard would require 10. The space indicated as available for parking to serve the existing development is however not all available for car parking as a result of external storage associated with the development. If all the spaces indicated were available for car parking a shortfall of 5 spaces in the current application would be less significant. I spoke to G. Curran of the Roads Department who indicated a willingness to accept a requirement that all spaces on site be clearly marked out on site and available for car parking at all times. A financial contribution of f 2000

The proposed industrial development is acceptable.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963 - 1990, subject to the following (7) conditions :-

### CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 3rd February 1992 save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1616

Page No: 0004

Location: Unit 10 at Mulcahy Keane Industrial Estate, Greenhills Road

- 02 That before development commences, approval under the Building Bye- Laws be obtained and all conditions of that approval be observed in the development.  
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.  
REASON: In the interest of health.
- 04 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.  
REASON: In the interest of safety and the avoidance of fire hazard.
- 05 That a financial contribution in the sum of £ 3070 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.  
REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 06 That a financial contribution in the sum of £4000 be paid by the applicant to Dublin County Council towards the improvement of the road network in the area of the proposed development, and which will facilitate this development. This contribution to be paid prior to the commencement of development on site.  
REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 07 That the car parking spaces indicated on the layout plan drawing no. D/17/90 Z received as additional information on 3rd February, 1992, shall be clearly marked out on the site in respect of the existing and proposed developments, and such markings shall be maintained in good condition and these car parking spaces shall be available at all time for parking. Suitable signs to be agreed shall be erected at appropriate locations at this entrance and within the site indicating the availability of car parking spaces.
- 07 REASON: In the interest of the proper planning and development of the area.

Get  
Prior to  
Commencement of  
work to be  
standing

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1616

Page No: 0005

Location: Unit 10 at Mulcahy Keane Industrial Estate, Greenhills Road

*G. Boothman*

.....  
for Dublin Planning Officer

Endorsed: *[Signature]*  
.....  
for Principal Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (7) conditions set out above is hereby made.

Dated : *19<sup>th</sup>* MARCH 1992 .  
.....

*[Signature]*  
.....  
ASSISTANT COUNTY MANAGER/~~APPROVED OFFICER~~

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated ..... 1991.

*Niall O'Byrne.*

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1616.  
 DEVELOPMENT: Industrial Estate.  
 LOCATION: Greenhills Road.  
 APPLICANT: Mulcahy Keane Ind. Estate.  
 DATE LODGED: 3.2.92.

This submission is additional information. The applicant was requested to clarify the car parking provision for existing, previously approved (Reg. Ref: 89A/1990) and proposed developments.

As stated in our Roads report dated 28.10.91 the car parking proposed on the lodged drawing on that occasion was satisfactory to the Roads Department. However, the applicant has now revised the car parking layout to allow right of way to a neighbours site. This has reduced the number of car spaces by 7 and the net car spaces available for the proposed development of 380 sq. metres is 4 spaces. The Roads Department as previously stated requires that any further development in this estate should have parking to Development Plan Standards. The present provision is not satisfactory.

Permission should be refused as:-

1. The provision of off-street parking to serve the proposed development is very substandard with regard to Development Plan requirements. This would lead to on street parking on the Greenhills road which is a busy distributor route and thereby endanger public safety by reason of traffic hazard.

PLANNING DEPT.  
 DEVELOPMENT CONTROL SECT  
 Date ..... 08.03.92  
 Time ..... 4.00.

2427

GC/BMcC  
 2.3.92.

SIGNED: *Ganeth Curran*  
 DATE: *2/3/92*

ENDORSED: *C.F. [Signature]*  
 DATE: *3/3/92*



Mull O'Byrne

DUBLIN COUNTY COUNCIL  
27 NOV 1991  
ENVIRONMENTAL HEALTH  
OFFICERS

Register Reference : 91A/1616

Date : 18th October 1991

Development : Proposed warehouse

LOCATION : Unit 10 at Mulcahy Keane Industrial Estate, Greenhills Road

Applicant : Mulcahy Keane Holdings

App. Type : PERMISSION

Planning Officer : N.O'BYRNE

Date Recd. : 9th October 1991

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 06.12.91 .....  
Time ..... 12.30 .....

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

.....  
for PRINCIPAL OFFICER

THE Above proposal is Acceptable to this office subject to,

- 1/ Compliance with the Building Bye-Laws.
- 2/ Compliance with the Safety, Health and Welfare at work Act 1989.
- 3/ Compliance with THE Office Premises Acts 1958 and regulations made thereunder.
- 4/ Compliance with THE Safety in Industries Acts 1955 and 1980.
- 5/ Compliance with THE Air Pollution Act 1987 and regulations made thereunder.
- 6/ A system of intake ventilations capable of providing a minimum of 2 air changes per hour to be installed in the lobby of the sanitary accommodation. The ventilation of the lobby to Communicate Sanitary and directly to the external air.
- 7/ A system of mechanical extract ventilation capable of providing a minimum of 3 air changes per hour ~~to~~ is required in the SANITARY Accommodation.
- 8/ Localized extraction shall be provided over all cooking and steam emitting equipment in the canteen, and ducted to the external air.

SUPER. ENVIRON. HEALTH OFFICER,  
33 GARDINER PLACE,  
DUBLIN 1.

- 9/ Adequate heating and artificial lighting shall be provided in all places of work.
- 10/ Cold water supply to the kitchen sink to be supplied direct from the rising main.

11/ If food is to be stored, processed or sold for human consumption compliance with the Food Hygiene Regulations 1950/59 is required

Endorsed: Ota Revine for John O'Reilly

Neill O'Byrne

EASTERN HEALTH BOARD

P.C. \_\_\_\_\_ Reg. Ref: 91A/16/6,

Proposed: WAREHOUSE

~~for~~ MULCANY KEANE HOLDINGS

~~at~~ UNIT 10 MULCANY KEANE INDUSTRIAL ESTATE, Greenhills Rd.

Plans lodged: \_\_\_\_\_

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

- 12/ DRAINAGE Connections to be such as not to give rise to a Public Health Nuisance.
- 13/ The premises shall be used in such a way as not to ~~give~~ cause annoyance to people in the vicinity by virtue of noise emanating from the precincts of the development.
- 14. In the event of a registrable food business being carried on, the EASTERN Health Board being notified prior to the commencement of such business, for their approval.

PLANNING DEPT.  
 DEVELOPMENT CONTROL SECT  
 Date ..... 06.12.91 .....  
 Time ..... 12.30 .....

Endorsed  
 JTa Devine  
 for John O'Reilly JGHO  
 28/11/91

Peter Whelan.  
 28/11/91

SS + OWS,

*Existing Main  
Cover Pipes*

*P*

Register Reference : 91A/1616

Date : 18th October 1991

Development : Proposed warehouse

LOCATION : Unit 10 at Mulcahy Keane Industrial Estate, Greenhills Road

Applicant : Mulcahy Keane Holdings

App. Type : PERMISSION

Planning Officer : N.O'BYRNE

Date Recd. : 9th October 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN Co. COUNCIL  
23 OCT 1991  
SAN SERVICES

DUBLIN CO. COUNCIL  
SANITARY SERVICES DEPARTMENT  
27 NOV 1991  
Returned *[Signature]*

Date received in Sanitary Services .....

FOUL SEWER

*Insufficient information  
The applicants have not indicated the proposed drainage requirements nor ~~how~~ in the existing drainage system indicated*

SURFACE WATER

*Insufficient information.  
The applicants would have to submit an acceptable means of surface water disposal. The existing means of surface water disposal would have to be indicated.*

SENIOR ENGINEER,  
SANITARY SERVICES DEPARTMENT,  
46/49 UPPER O'CONNELL STREET,  
DUBLIN 1

*[Signature]*  
19.11.91

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date .. 27. 11. 91 ..  
Time .. 9.30 ..

*J.P.  
20/11/91*

Register Reference : 91A/1616

Date : 18th October 1991

.....  
ENDORSED \_\_\_\_\_

DATE \_\_\_\_\_

WATER SUPPLY.....

Available for zoned use. 24 hour storage to  
be provided. Refer to C.F.O. L.J. Spain  
30 Oct 91

.....  
ENDORSED \_\_\_\_\_

DATE 21/11/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date ..... 24.11.91 .....
Time ..... 9.30 .....

P/5426/91

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Register Reference : 91A/1616

Date Received : 9th October 1991

Correspondence : Carr & Sweeney Architects,  
Name and : No. 9 Clonskeagh Rd,  
Address : Dublin 6.

Development : Proposed warehouse

Location : Unit 10 at Mulcahy Keane Industrial Estate, Greenhills Road

Applicant : Mulcahy Keane Holdings

App. Type : Permission

Zoning :

Floor Area : 380.18 Sq.metres

<sup>NOB</sup>  
(NOB/DK)

Report of the Dublin Planning Officer dated 22nd November, 1991.

This is an application for PERMISSION for a two storey warehouse unit at the Mulcahy Keane industrial estate.

Reg. Ref. 89A-1990 refers to a decision to grant permission for a single storey industrial unit within this estate. Part of the site of the current application was indicated for car parking to serve this proposed development. The development approved under ~~the~~ permission has not commenced. Car parking to serve the existing development was indicated. The site for new unit A or the prefab unit 9 and some car parking is now longer part of the site.

Reg. Ref. 90A-1836 refers to an application for permission for an extension to unit 8 of this estate which was withdrawn. This application related to the current site.

The current application is stated to be for a two-storey warehouse unit while the public notice refers to a proposed unit 10 and the plans submitted with the application are ~~for~~ for a proposed unit 20. The layout plans submitted with the application indicate that the proposed unit 10 adjoins unit 9 while the site layout plan indicates proposed unit adjoining existing unit 8. A side entrance to the adjoining unit has not been indicated on submitted plans.

Car parking to serve the existing development has not been clearly marked out on site. The plans submitted fail to distinguish between car parking areas to serve the existing development previously approved development or the development proposed under the current application.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Roads Department report *noted*

Sanitary Services Section report - *not received*

Supervising Environmental Health Officer report *not received*

I recommend that ADDITIONAL INFORMATION be requested from the applicant with regard to the following:-

01 The public notice submitted with this application refers to permission sought for warehouse unit 10. The site layout plan submitted indicates proposed unit 10 adjoining unit 9 but the title of the plan refers to proposed unit 20. A proposed unit 20 is, however, not indicated on the submitted plans. The ground floor plans as per drawing No. D/17/90 also entitled "proposed new unit 20" indicates that the proposed unit adjoins unit 8. The applicant is requested to submit revised plans to clarify what is proposed and to indicate the proposal in relation to existing adjoining development.

02 There is an existing side entrance to the unit adjoining the proposed unit. The applicant is requested to indicate this entrance on revised plans and to clarify proposals in regard to its retention or any alterations proposed and to indicate the applicants legal interest to alter this entrance.

03 The applicant is requested to submit a site layout plan indicating a layout of car parking which provides for:

- (a) the car parking spaces to serve the existing development;
- (b) the car parking spaces to serve previously approved development. In this regard the applicant is advised that the site of the current application was indicated on plans approved for an industrial unit under Reg. Ref. 89A-1990 as a car parking area to serve the development;
- (c) the car parking spaces required to serve the proposed development.

The applicant is advised that ~~an additional 12 spaces would be required to serve the proposed development.~~

**COMHAIRLE CHONTAE ÁTHA CLIATH**

**Record of Executive Business and Manager's Orders**

87

*[Signature]*  
.....  
for Dublin Planning Officer

Endorsed:--.....  
for Principal Officer

Order: I direct that ADDITIONAL INFORMATION be requested from the applicant for Permission as set out in the above report and that notice thereof be served on the applicant.

Dated : .....  
*5<sup>th</sup> November*  
NOVEMBER 1991

.....  
ASSISTANT COUNTY MANAGER/APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated *6<sup>th</sup> November* 1991.

Maill O'Byrne.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1616.  
 DEVELOPMENT: Proposed warehouse.  
 LOCATION: Unit 10 at Mulcahy Keane Ind. Estate, Greenhills.  
 APPLICANT: Mulcahy Keane Holdings.  
 DATE LODGED: 9.10.91.

PLANNING DEPT.  
 DEVELOPMENT CONTROL SECT  
 Date ... 4.11.91 .....  
 Time ... 10.15 .....  
 (Stamp is tilted)

The proposal is for a 380 sq. metres industrial unit in Mulcahy Keane Industrial Estate. The estate is located at the Walkinstown roundabout end of Greenhills road. This area is very heavily trafficked and the generation of additional turning movements at this location is undesirable.

We refer to previous Roads Reports dated 14.12.89 and 27.4.90 on application Reg. Ref: 89A/1990. The Roads Department require that any additional units on this estate have associated off street car parking to Development Plan Standards. Part of the site of the previous application has now been sold. The remaining portion is shown as additional car parking to facilitate the present development. This is satisfactory.

If permission is being granted it should be subject to:-

1. A financial contribution, in the sum of money equivalent to the value of £2,400 (12 x £200) as on 1st January, 1991, updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

GC/BMcC  
 28.10.91.

SIGNED: Garrett Carr  
 DATE: 29/10/91

ENDORSED: E Madden  
 DATE: 29<sup>th</sup> Oct 91





Bloc 2, Ionad Bheatha na hEireann,  
Bloc 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone (01) 724755  
Fax (01) 724896

NOTIFICATION OF DECISION TO GRANT PERMISSION  
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 1130 /92      Date of Decision : 19th March 1992  
Register Reference : 91A/1616      Date Received : 3rd February 1992  
Applicant : Mulcahy Keane Holdings  
Development : Proposed warehouse  
Location : Unit 10 at Mulcahy Keane Industrial Estate, Greenhills Road  
Floor Area :      Sq. Metres  
Time Extension(s) up to and including :  
Additional Information Requested/Received : 051291//030292

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

Subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- 7.....ATTACHED.

Signed on behalf of the Dublin County Council.....  
for Principal Officer

Date: 19/3/92.....

Carr & Sweeney Architects,  
No. 9 Clonskeagh Rd,  
Dublin 6.

## NOTES

**1.** An appeal against the decision may be made to an Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

**2.** An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:—

An Bord Pleanala,  
Blocks 6 and 7,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

**3.** An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

“Commercial Development” means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds).

(c) A party to an appeal making a request to An Bord Pleanana for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanana a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

**4.** If the Council makes a decision to grant permission / approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION / APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION / APPROVAL after the withdrawal.

**5.** Approval of the Council under the Building Bye-Laws must be obtained for new work and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced. Approval under the Building Bye-Laws is not applicable to garden walls and entrances etc. Approval under the Building Bye-Laws cannot be obtained in cases involving retention of works previously carried out.

Reg.Ref. 91A/1616  
Decision Order No. P/ 1130 /91  
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,  
Bloc 2, Irish Life Centre,  
Sraid na Mainistreach lacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone (01) 724755  
Fax (01) 724896

C O N D I T I O N S / R E A S O N S

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 3rd February 1992 save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye- Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of health.

04 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of safety and the avoidance of fire hazard.

05 That a financial contribution in the sum of £3070.00 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

06 That a financial contribution in the sum of £4000.00 be paid by the applicant to Dublin County Council towards the improvement of the road network in the area of the proposed development, and which will facilitate this development. This contribution to be paid prior to the commencement of development on site.

REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

07 That the car parking spaces indicated on the layout plan drawing no. D/17/90 Z received as additional information on 3rd February, 1992, shall be clearly marked out on the site in respect of the existing and proposed developments prior to commencement of use of the structure and such markings shall be maintained in good condition and these car parking spaces shall be available at all time for parking. Suitable signs to be agreed shall be erected at appropriate locations at this

## NOTES

1. An appeal against the decision may be made to an Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:—

An Bord Pleanala,  
Blocks 6 and 7,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

“Commercial Development” means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds).

(c) A party to an appeal making a request to An Bord Pleanana for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanana a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission / approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION / APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION / APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained for new work and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced. Approval under the Building Bye-Laws is not applicable to garden walls and entrances etc. Approval under the Building Bye-Laws cannot be obtained in cases involving retention of works previously carried out.



Bloc 2, Ionad Bheatha na hEireann,  
Bloc 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone (01) 724755  
Fax (01) 724896

Reg.Ref. 91A/1616  
Decision Order No. P/ 1130 /91

Page No: 0003

entrance and within the site indicating the availability of car parking spaces.

07 REASON: In the interest of the proper planning and development of the area.

## NOTES

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Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,  
Bloc 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone (01) 724755  
Fax (01) 724896

Register Reference : 91A/1616

Date : 4th February 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Proposed warehouse

LOCATION : Unit 10 at Mulcahy Keane Industrial Estate, Greenhills  
Road

APPLICANT : Mulcahy Keane Holdings

APP. TYPE : Additional Information

With reference to the above, I acknowledge receipt of additional information received on 3rd February 1992.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Carr & Sweeney Architects,  
No. 9 Clonskeagh Rd,  
Dublin 6.

ADDITIONAL INFORMATION

Dublin County Council,  
Planning Department,  
Block 2,  
Irish Life Centre,  
Lr. Abbey street,  
Dublin 1.

91A/1616  
1.8.0  
A.I.

03 FEB 92

29th January, 1992.

91A/1616

RE: Proposed Warehouse Unit 10 at Mulcahy Keane Industrial Estate, Greenhills Road.

Dear Sir/Madam,

In response to your letter dated 5th December, 1991 we wish to supply the following information as requested.

1. The Warehouse unit proposed, is, Unit 10 (which ajoinis Unit 9), we apologise for the confusion but you should find everything in order now.

2. We propose to retain the existing entrance of Unit 9 as shown on Drawing No. D/17/90 1. We propose also to demolish existing toilet as shown on this drawing. The existing toilet is shown dotted on this drawing we propose to replace it as indicated.

3. We have included four copies of our Site Layout Plan indicating the layout of carparking spaces.

(a) We have shown 73 car parking spaces to serve the existing development.

(b) We have shown 21 relocated car parking spaces to serve the previously approved development Ref No. 89A/1990.

(c) We have shown 4 car parking spaces to serve this proposed Unit 10.

We hope that this clarifies matters. If you require any further information please do not hesitate to contact us. Thank you.

Yours faithfully,

*Deirdre O'Connor*

9 Clonskeagh Road  
Dublin 6  
Phone 69 34 33  
69 32 59  
69 36 29



Carr & Sweeney Architects,  
No. 9, Clonskeagh Road,  
Dublin 6.

91A/1616

5 December 1991

RE: Proposed warehouse at Unit 10 Mulcahy Keane Estate,  
Greenhills Road, for Mulcahy Keane Holdings.

Dear Sirs,

With reference to your planning application, received here on 9th October, 1991, in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts, 1963-1983, the following additional information must be submitted in quadruplicate:-

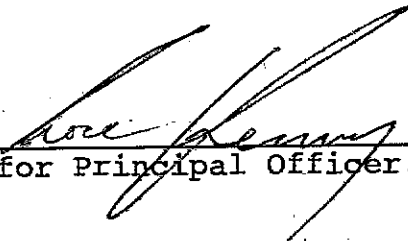
1. The public notice submitted with this application refers to permission sought for warehouse unit 10. The site layout plan submitted indicates proposed unit 10 adjoining unit 9 but the title of the plan refers to proposed unit 20. A proposed unit 20 is, however, not indicated on the submitted plans. The ground floor plans as per drawing No. D/17/90 also entitled "proposed new unit 20" indicates that the proposed unit adjoins unit 8. The applicant is requested to submit revised plans to clarify what is proposed and to indicate the proposal in relation to existing adjoining development.
2. There is an existing side entrance to the unit adjoining the proposed unit. The applicant is requested to indicate this entrance on revised plans and to clarify proposals in regard to its retention or any alterations proposed and to indicate the applicants legal interest to alter this entrance.

Contd/.....

3. The applicant is requested to submit a site layout plan indicating a layout of car parking which provides for:
- (a) the car parking spaces to serve the existing development,
  - (b) the car parking spaces to serve previously approved development. In this regard the applicant is advised that the site of the current application was indicated on plans approved for an industrial unit under Reg. Ref. 89A/1990 as a car parking area to serve the development;
  - (c) the car parking spaces required to serve the proposed development.

Please mark your reply "Additional Information" and quote the Reg. Ref. No. given above.

Yours faithfully,

  
for Principal Officer.

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/1616

Date : 10th October 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990  
-----

Dear Sir/Madam,

DEVELOPMENT : Proposed warehouse

LOCATION : Unit 10 at Mulcahy Keane Industrial Estate, Greenhills  
Road

APPLICANT : Mulcahy Keane Holdings

APP. TYPE : PERMISSION

With reference to the above, I acknowledge receipt of your application  
received on 9th October 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Carr & Sweeney Architects,  
No. 9 Clonskeagh Rd,  
Dublin 6.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place / in appropriate box.  
 Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building MULCAHY KEANE INDUSTRIAL ESTATE,  
 (If none, give description sufficient to identify) GREENHILLS ROAD, WALKINSTOWN, DUBLIN 12.

3. Name of applicant (Principal not Agent) MULCAHY KEANE HOLDINGS  
 Address GREENHILLS ROAD, DUBLIN 12 Tel. No. \_\_\_\_\_

4. Name and address of CARR + SWEENEY ARCHITECTS, NO. 9, CLONSKEAGH RD.  
 person or firm responsible for preparation of drawings DUBLIN 6 Tel. No. 2693433

5. Name and address to which CARR + SWEENEY ARCHITECTS, NO. 9, CLONSKEAGH RD  
 notifications should be sent DUBLIN 6

6. Brief description of PROPOSED TWO STOREY WAREHOUSE UNIT  
 proposed development A1 UNIT

7. Method of drainage EXISTING Source of Water Supply MAINS

9. In the case of any building or buildings to be retained on site, please state:-  
 (a) Present use of each floor or use when last used. \_\_\_\_\_  
 (b) Proposed use of each floor \_\_\_\_\_

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? \_\_\_\_\_

*Irish  
 Plan  
 28/9/91*

11.(a) Area of Site 3 ACRES APPROX Sq. m.

(b) Floor area of proposed development 380.15 m<sup>2</sup> Sq. m.

(c) Floor area of buildings proposed to be retained within site \_\_\_\_\_ Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) Freehold

13.Are you now applying also for an approval under the Building Bye Laws?  
 Yes  No  Place / in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:  
Full

15.List of documents enclosed with SPECIFICATION X A, ADVERT, CHEQUE  
PLANS X A, ELEVATIONS X A  
SECTIONS X A

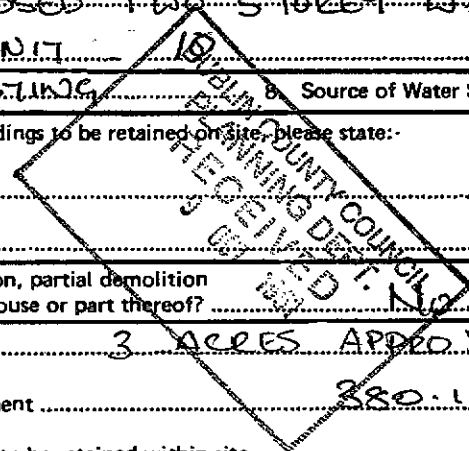
DUBLIN CO. COUNCIL  
 permission sought for pro-  
 posed warehouse unit 10 at  
 Mulcahy Keane Industrial  
 Estate, Greenhills Road,  
 Dublin 12. For Mulcahy  
 Keane Holdings.

16.Gross floor space of proposed development (See back) 380.18 Sq. m.

No of dwellings proposed (if any) 1 Class(es) of Development C  
 Fee Payable £ 665.31 Basis of Calculation 380.18 m<sup>2</sup> x 1.75 = 665.31  
 If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Paul Sweeney Date 1st Oct 91

Application Type P FOR OFFICE USE ONLY  
 Register Reference 91A/1616  
 Amount Received £ 22-1  
 Receipt No \_\_\_\_\_  
 Date \_\_\_\_\_



*665.13 9/10  
 N 50851*

*2.2.4*

**LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.**

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Act 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
  - (a) The address of the structure or the location of the land.
  - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
  - (c) The name of the applicant.

**NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
  - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
  - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
    - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
  - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m <sup>2</sup> (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

# COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY — DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

issue of this receipt is not an  
acknowledgement that the fee  
tendered is the prescribed application  
fee. N 50851

- CASH.
- CHEQUE
- M.O.
- B.L.
- I.T.

£ 665.13

Received this 9th day of October 1971

from Mulcahy Keane Holdings Ltd.,  
Greenhills Rd.,

the sum of 2.12 six hundred and sixty five Pounds  
thirteen Pence, being

fee for  
planning application at Greenhills Rd.

Mulcahy Keane Cashier

S. CAREY  
Principal Officer Class 4

carr & sweeney

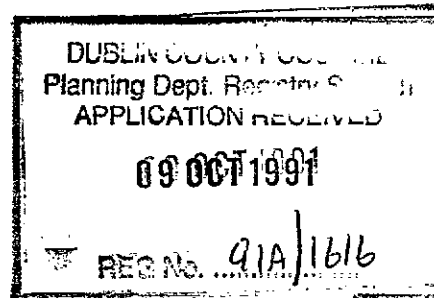
Patrick C Carr BArch MRIAI  
Paul Sweeney BArch MRIAI ANCA

architects

Ballybofey  
Co Donegal  
Phone (074) 31060 / 31104

Dublin County Council,  
Planning Department,  
Irish Life Centre,  
Lk. Abbey Street,  
Dublin 1.

2nd October 1991.



re: Proposed Two Storey Warehouse Unit 10  
at Mulcahy Keane Ind. Est., Greenhills Rd.

Dear Sir/Madam,

Please find enclosed the following documents in relation to the above application for Planning Permission at the above address.

- ① Four copies of Specifications.
- ② Four copies of Plans, Elevations, Section, Site layout & location Maps.
- ③ Copy of Newspaper advertisement.
- ④ Application Form, completed.
- ⑤ Fee of £665.31 will be forwarded to you by Mr Pat Keane of Mulcahy Keane Holdings.

Thank you.

Yours faithfully.

Deirdre O'Connor.

9 Clonskeagh Road  
Dublin 6  
Phone 69 34 33  
69 32 59  
69 36 29

# SPECIFICATION

FOR

PROPOSED UNIT 10

AT

MULCAHY KEANE INDUSTRIAL ESTATE,  
GREENHILLS ROAD,

DUBLIN 12

UNIVERSITY COLLEGE  
DUBLIN

09 OCT 1991

REC NO. 91A/1616



## Section 1 EXCAVATIONS AND SUB-STRUCTURES

- 1.1 Site**  
The site shall be adequately drained and have no features likely to render the
- 1.2 Preparing Site**  
Clear and grade site for new building and remove or divert existing drains as required. The entire site of buildings and paved areas shall be cleared of all vegetable soil to a depth of at least 150 mm. Where the bearing quality of the ground is suspect special care shall be taken in the design of the foundations.
- 1.3 Excavation**
- 1.3.1** The trenches shall be excavated to the depths and widths required to accommodate foundations or to such further depths or widths as may be necessary to ensure the stability of the structure. Trench bottoms and foundations shall be levelled off in horizontal benches. The bottom of trenches shall be not less than 450 mm below the finished ground level and kept clear of water before concreting.
- 1.3.2** Where other excavations close to or under the foundations are unavoidable care shall be taken to ensure the stability of the structure.
- 1.4 Foundations**  
Shall be concrete mix A, to widths and depths indicated and reinforced as necessary. Where foundations are stepped they shall overlap at least 600 mm.
- 1.5 Floor Level**  
The height of the finished floor over the highest point of the finished ground level shall be not less than 175 mm in the case of concrete floors.  
See also 2.24.
- 1.6 Rising Walls**  
Rising walls shall be of solid blockwork bedded in cement mortar.
- 1.7 Cement**  
Normal Portland Cement shall be in accordance with I.S. 1 and stored under dry conditions.
- 1.8 Lime**  
Hydrated lime to be to I.S. 8.
- 1.9 Water**  
Water shall be clean and free from harmful impurities.
- 1.10 Sand and Aggregates**  
Fine aggregates shall be clean, sharp pit or river sand free from all impurities and in accordance with I.S. 5. Coarse aggregates shall be suitably graded hard clean pit gravel or crushed stone in accordance with I.S. 5 and to sizes set out below.

**1.11 Concrete Mixes**

Concretes	Aggregates	Nominal Mix			28 day Strength (Newtons) Per mm <sup>2</sup>
		Mix	Maximum Size	Cement	
A	40 mm	1	3	6	14
B	20 mm	1	2	4	21
C	14 mm	1	3	6	—

The water-cement ratio shall be kept to the minimum needed to ensure reasonable workability.

- 1.12 **Cement Mortar**  
Shall be 1 part cement to 3 parts sand.
- 1.13 **Lime Mortar**  
Shall be 1 part hydrated lime to 6 parts sand.
- 1.14 **Gauged Mortar**  
Shall be 10 parts lime mortar mixed with 1 part cement just before use.
- 1.15 **Strong Gauged Mortar**  
Shall be 5 parts lime mortar mixed with 1 part cement immediately before use.
- 1.16 **Additives**  
Plasticisers, waterproofers, sealers and bonding agents if used, shall be used in accordance with manufacturer's instructions.

## Section 2 BLOCKLAYING AND CONCRETING

- 2.1 **Thermal Insulation**  
Attention is drawn to the need to insulate walls, floors and roofs to meet the requirements set out in Section 14.
- 2.2 **Mixes**  
See Section 1 for concrete and mortar.
- 2.3 **Blockwork**  
Concrete blocks shall be in accordance with I.S. 20 and bricks, if clay, in accordance with I.S. 91. All blockwork and brickwork shall be properly coursed and bonded and bedded in gauged mortar. All walls shall be carried up regularly not leaving any part 1 m lower than another.
- 2.4 **Cavity Walls**  
Walls shall be formed of two solid 112 mm leaves of blocks or bricks with 75 mm cavity between. Outer and inner leaves to be tied together by accepted wall ties, not less than four per square metre with extra ties at opes. Care to be taken that mortar dropping into the cavity or lying on ties, is cleaned out, through openings left for the purpose. Head of cavities to be closed in the soffit. All window, door and other opes in cavities to be sealed and so arranged as to prevent the passage of moisture. The cavity is to extend at least 150 mm below the level of the D.P.C. and shall provide for drainage of moisture to the outside, at the base.
- 2.6 **Solid Block Walls**  
225 mm solid concrete blocks shall be plastered externally.
- 2.9.1 **Facings**  
Where stone or other decorative external facing is used, care must be taken to ensure adequate structural stability, thermal insulation and absence of damp penetration.
- 2.9.2 **Opes in External Walls**  
Where any duct, pipe, etc., is required to penetrate through an external wall it shall be protected and drawn to the outside.

**2.10 Pointing**

All wall faces finished without plastering shall be pointed in the building mortar as the work proceeds, or the joints may be taken out 20 mm deep and pointed in cement mortar.

**2.12 Solid Partition**

Solid partitions shall be 112 mm thick brick or block work, laid to break joint, in gauged mortar, bonded 112 mm at junctions.

**2.13 D.P.C.**

The damp-proof courses shall be polythene in accordance with B.S. 743 or bitumen sheeting on hessian or canvas base in accordance with I.S. 57 laid to prevent the passage of moisture and lapped adequately at joints, all as described below.

**2.13.1** In all ground floor walls and breasts to full width and stepped as necessary, in cavity walls in both outer and inner leaves separately, and shall be laid not less than 150 mm over finished ground level or paved area or highest ground within one metre of house.

**2.13.2** At sides of opes in cavity walls and over all opes 250 mm longer than opes and stepped down and outward all to prevent passage of moisture from outer to inner leaf.

**2.13.3** Under the turned up at ends and back of all eaves and external room ventilation grids and recessed edges of all concrete roof slabs.

**2.13.4** In all chimney stacks immediately above the level of the flashing and under all cappings and copings.

**2.13.5** Under lowest ground floor timbers and not lower than wall D.P.C.

**2.13.6** Where the waterproofing membrane in a concrete floor is not level with the wall D.P.C. care shall be taken to ensure continuity of damp proofing by stepping, turning up and lapping as necessary.

**2.23 Concrete Floors**

All concrete ground floors shall be laid on a bed of clean hardcore not less than 150 mm thick and well consolidated. Soft material shall not be used in making up level under floors. Concrete ground floor shall be 200 mm thick mix B finished fine, laid on a continuous damp proof membrane on a layer of fine sand and turned up at edges of slab as necessary to meet and seal with wall D.P.C. Polythene sheeting where used shall be not less than 1000 gauge.

**LINTELS**

Lintels to be 275 x 345 mm R.C. Ring beam to Engineers specifications as detailed on drawings.

**WINDOW CILLS**

Window cills to be 300x200 mm R.C. cast on site as detailed on drawings.

## **WINDOWS**

PVC windows of accepted make and to sizes indicated on drawings used in accordance with manufacturers instructions.  
Full area of window to open.

Window board shall be 32mm wrot, moulded on edges and corners and secured to grounds.

## **EXTERNAL DOOR FRAMES**

External door frames to be PVC of accepted make and used in accordance with manufacturers instructions and to sizes indicated on drawings.

## **Section 3 ROOFING**

Aluminium insulated panel roofing system of accepted make (eg. Secform) used in accordance with manufacturers instructions.

With 203x60mm multi-beam steel purlins at 1600 mm c/c used in conjunction with anti-sag ties and used in accordance with manufacturers instructions.

**3.20 Fitments**  
 All fitments and built-in units shall be of such design, material and workmanship so as to satisfy completely the demands of normal usage.

**3.21 Trimmings**

- 3.21.1 Skirtings 16mm x 100mm wrot deal to all floors well fixed to grounds. Plastic skirtings may be used where appropriate.
- 3.21.2 Architraves may be 16mm x 75mm wrot deal or as necessary to form neat joint, mitred at angles and securely fixed to grounds.
- 3.21.3 Saddles shall be hardwood, cut of 22mm x 150mm splayed, scribed to door frames and secured to floor. For external doors accepted proprietary thresholds may be used.

**Section 4 IRONMONGERY AND GENERAL**

**4.1 Eave Gutters and Rain Water Pipes**  
 Eave gutters and rain water pipes shall be to relevant I.S.S. and may be:

GUTTERS	I.S.	PIPES
125 mm	42	75 mm Cast iron
125 mm	59	75 mm 14 SWG galvanised pressed steel
125 mm	71	75 mm Asbestos cement
125 mm		75 mm Aluminium
115 mm		65 mm P.V.C.

Metal and A.C. gutters to be supported on suitable brackets at not more than 2m centres, joisted with mastic compound (and gaskin washers in the case of asbestos cement) and bolted with galvanised gutter bolts and nuts. P.V.C. gutters to be supported on suitable brackets at not more than 1m centres and jointed in accordance with manufacturers instructions. Gutters to be set to falls. At least two stacks of rain water pipes shall be provided secured by holder brackets and kept clear of wall. Provide and fit all necessary matching stop ends, angles and drop nozzles, swannecks, hopper heads and toes. Rainwater pipes to discharge approximately 50mm above gully grid.

**4.2 Windows**

**4.4 Door Fittings**

Internal doors shall be hung on one pair 100mm steel butt hinges and fitted with suitable mortice type lock or catch and complete with furniture. Provide bolt or locking device to bathroom and toilet doors.

External doors shall be hung on 1½ pair of 100mm steel butt hinges. Entrance door shall be fitted with cylinder night latch and external pull handle. Provide and fit letter plate on or near door. Other external doors shall be fitted with bolt and rim or mortice lock suitable for external use. See 12.1.3.

**4.5 Ventilation Grids**

External openings to be fitted with suitable ventilation grids of the type approved for the purpose.

## Section 6 PLASTERING

### Rough Cast

Rough cast shall consist of 5-6 parts washed sand and pebbles: 1 part lime: 1 part cement.

### Reveals

Plaster reveals to open shall be 20mm thick and finished smooth with scored drip groove to soffit of head. All arrises shall be neatly finished.

### Plinths

Plaster plinths to be finished smooth, and neatly cut off or weathered at top edge.

Plaster finish to extend below finished ground level.

### 6.5 Internal Plastering

Scud walls and plaster one coat 12mm thick, 1 cement: 1 lime: 6 sand.  
Finish with neat gypsum plaster skim, or a grey coat of gauged mortar applied with wood float.  
Alternatively proprietary finishes may be used to manufacturers instructions.

### 6.7 General

Precautions shall be taken to protect floors and surrounding work during plastering. Make good neatly to holes for pipework etc.

Plastic covers, water droppers, sealers, and bonding agents shall be used in accordance with manufacturers instructions.

## Section 7 PLUMBING

### 7.1 Service Pipe

Incoming service pipe to be 15mm diameter laid in trench 600mm deep, or otherwise suitably protected against frost, and connected to internal stopcock.

### 7.2 Cold Water Supply

From stopcock take 15mm cold supply direct to sink with branch to high pressure ball valve in service tank, capacity 225 litres, for 3 bedroom houses or 360 litres for 4 or more bedrooms or as required by local authority. Tank to be covered and adequately supported over a partition where possible and at such height as to ensure proper working of the system. Provide 22mm overflow from tank to discharge externally. Connect to service tank 50mm over bottom of tank and take 22mm feed to 150 litre hot water cylinder to IS 161 with 22mm branch over top of cylinder to bath and 15mm connections off wash hand basin and W.C.

### 7.3 Hot Water Supply

An adequate water heating apparatus must be provided and fitted in accordance with manufacturers instructions. Flow and return pipes, where appropriate, shall be as recommended by the manufacturer of the heating apparatus. A 22mm copper or stainless steel expansion pipe to be taken from top of cylinder to discharge water into tank with a 22mm cold branch to bath and 15mm connections off for wash hand basin, sink etc.

### 7.4 General

7.4.1 Fit full way stopcock on cold feeds from service tank and fit draw off cock at lowest convenient point in system. On no account should a stop cock be fitted on an expansion pipe.

- 7.4.3 Plastic pipes to I.S. 123, 134, or 135 where used shall be fixed at least 75mm clear of hot pipe runs. Pipes shall be fixed in straight lines as far as possible, properly jointed with patent fittings, and adequately supported and secured with proper pipe clips.
- 7.4.4 Storage tanks and pipes to be insulated against frost where necessary.
- 7.4.5 Where other water heating systems are used they shall be competently designed and installed.
- 7.7 **Plugs, Traps, Wastes and Taps**  
 15mm hot and cold chrome plated brass taps to be fitted to sink and wash hand basin. Provide 42mm waste fitting to sink and 35mm to wash hand basin. All complete with plug and chain. Fit S or P trap, complete with cleaning eye and copper, lead or acceptable plastic waste pipe adequately secured and fitted with cleaning eyes as necessary and discharging approximately 50mm over gully trap.
- 7.8 **W.C. Suite**  
 Provide and fit where indicated W.C. suite, with cistern, to I.S.70, all fully supported and secured. Connect to soil pipe with proprietary flexible coupling or other acceptable joint. Cistern to be provided with adequate overflow.
- 7.9 Pipes shall not be jointed within the thickness of a wall.

## Section 8 DRAINAGE

- 8.1 **Trenches**  
 Trenches shall be excavated to the necessary depths, widths and falls to allow the drains to be properly laid. The water service shall be in a separate trench from the drain. See also 1.3.2.
- 8.2 **Drain**  
 The main and branch drains shall be 100mm diameter laid to continuous falls of not less than 1 in 60 or not more than 1 in 30, with bends and junctions, splayed in the direction of flow, where required, and laid in straight lines from manhole to manhole. The drain shall be P.V.C., cast iron, impermeable glazed ware with flexible joints or concrete with flexible joints, all laid, jointed and back filled to manufacturers instructions or shall be socketed impermeable glazed ware or concrete supported on continuous concrete bed mix B 100mm thick x 300mm wide for full length of each pipe and haunched half way up the pipe after testing and shall be jointed in cement mortar, well worked in against 2 rings of tarred gaskin and finished with a neatly worked fillet. Clean pipe internally as necessary after each joint is made.

- 8.3 Back Filling**  
Immediately over pipes back fill in fine material and fill remainder of trench in selected excavated material, well rammed and remove surplus spoil.
- 8.4 Drains under Roads and Buildings**  
Where drains pass under roadways or are likely to be subjected to heavy traffic, they should be fully encased in 150mm concrete, mix B. Drains shall not be taken under any buildings unnecessarily, but where this is unavoidable pipes shall be cast iron, or encased in 150mm of concrete mix B or otherwise to local authority requirements and laid in straight lines. Form ducts through rising walls or foundations as necessary to avoid damage to drains.
- 8.5 A.J.s, Manholes, Drop-Manholes**  
Armstrong junctions or manholes as suitable shall be provided at each change in direction or gradient of drain and at septic tank and of such dimensions and spacing as to permit easy cleaning of the system. Manholes shall be built in 225mm concrete walls on 150mm thick concrete floor mix B, with glazed channels, bends and branches, suitably benched. Benching and internal walls to be finished smooth in cement mortar. Fit cast iron, reinforced concrete, or hot dipped galvanised steel frame and cover. Covers to have provision for lifting. Where required by local authority, outfall manholes shall be formed, with interceptor trap, stoppered cleaning eye and air inlet.
- 8.6 Gullies and A.J.s**  
Gullies and Armstrong junctions to be set level, supported on 150mm concrete bed, mix B, and connected to drain as previously specified. Armstrong junctions shall have frame and cover of cast iron, aluminium or galvanised steel.
- 8.7 Gully Traps**  
Gully traps shall be set in dished concrete surround, to take wastes from bath, sink and wash hand basin and discharge from rain water pipes, and shall be fitted with cast iron, aluminium, or other suitable grid.
- 8.10 Vent Shaft**  
At head of drain, carry up 50mm minimum diameter vent pipe over eave level or to 1m over head of highest window within 4m of vent, secured with proper brackets and fitted with cowl or cage.
- 8.11 Single Stack Drainage**  
Single stack drainage, where provided, must be in accordance with British Standard Code of Practice No. 304 (1968).
- 8.12 Testing**  
Test plumbing and drainage on completion to ensure watertightness and efficient working of the system, and as may be required by the local authority. See also 8.2.



## Section 9 ELECTRICAL INSTALLATION

### 9.1 Installation

Electrical installation shall be in accordance with the "National Rules for Electrical Installations" obtainable from the Electro-Technical Council of Ireland and shall have, in suitable locations, at least:-

Conduit shall be used where cable is buried in plaster. Joists shall not be notched: where necessary the cable shall be taken through holes bored in centres of joists.

## Section 10 PROTECTIVE PAINTING

### 10.1 Preparation

All surfaces to be painted or otherwise protectively coated shall be cleaned down and prepared by wire brushing, sanding, planing or as necessary to obtain the best possible finish. Timber preservatives should be applied where already specified in 3.2 et seq.

### 10.2 Paints

Thinners, sealers, primers, colour washes, paints, varnishes or other brush, roller or spray applied finishes shall be of suitable manufacture for the surface and material to be covered and shall be applied strictly in accordance with the manufacturer's instructions.

### 10.3 Woodwork

All woodwork usually painted shall be knotted, stopped, primed and painted with two undercoats and one finishing coat. Alternatively, may be stained or dyed and knotted, primed and finished with two coats varnish.

Decorative hardwoods may be treated traditionally internally and shall be oiled or treated with suitable preservatives externally, or may be painted or varnished, as previously specified.

### 10.4 Metal Work

All metalwork, ironmongery, rainwater goods, shall be cleaned down, suitably primed, twice, undercoated and one coat finished.

## Section 11 GLAZING

### 11.1 Glass

All window panes up to 0.5m<sup>2</sup> shall be glazed in 3mm glass  
All window panes up to 1.5m<sup>2</sup> shall be glazed in 4mm glass  
All window panes over 1.5m<sup>2</sup> shall be glazed in 5mm or 6mm glass

Windows 300mm over floor shall be 6mm glass.

## Section 13 VENTILATION

- 13.1 **Rooms**  
Every habitable room, kitchen, and scullery shall have an opening window area of not less than one twentieth of the room area, ventilated directly to open air.
- 13.2 **Bathrooms**  
Bathroom and W.C. apartment shall be ventilated as above subject to a minimum of  $0.1\text{m}^2$ .
- 13.3 **Lobby**  
A ventilated lobby shall be provided between any W.C. apartment and a living room, kitchen or scullery.

## Section 14 THERMAL INSULATION

- 14.1 Insulation to be in accordance with the maximum U-values laid down by the Department of the Environment, viz. a general whole building standard not exceeding  $1.25\text{ W/m}^2\text{C}$  and elemental values as follows:—

External Walls	1.10 watts per square metre per degree Celsius
Roofs	0.40 watts per square metre per degree Celsius
Ground floors	0.60 watts per square metre per degree Celsius
External parts of intermediate floors	1.10 watts per square metre per degree Celsius

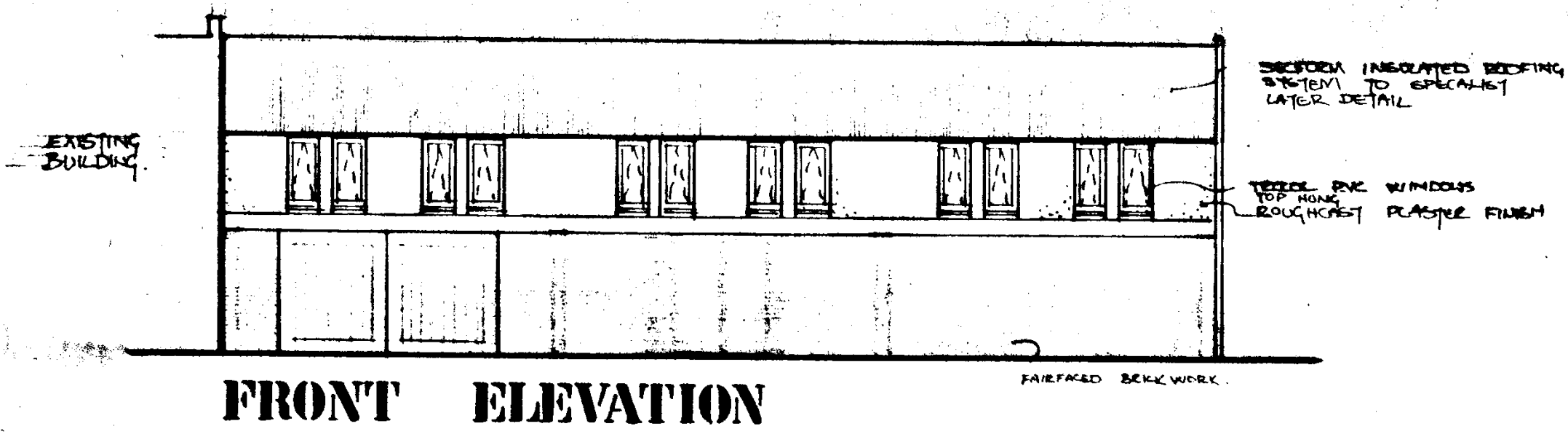
U-values will be required to be calculated in accordance with the 1975 Guide Book A of the Institution of Heating and Ventilating Engineers.

The standards set out above for whole building, external walls, and external parts of intermediate floors shall be regarded as recommendations only, pending the introduction of National Building Regulations.

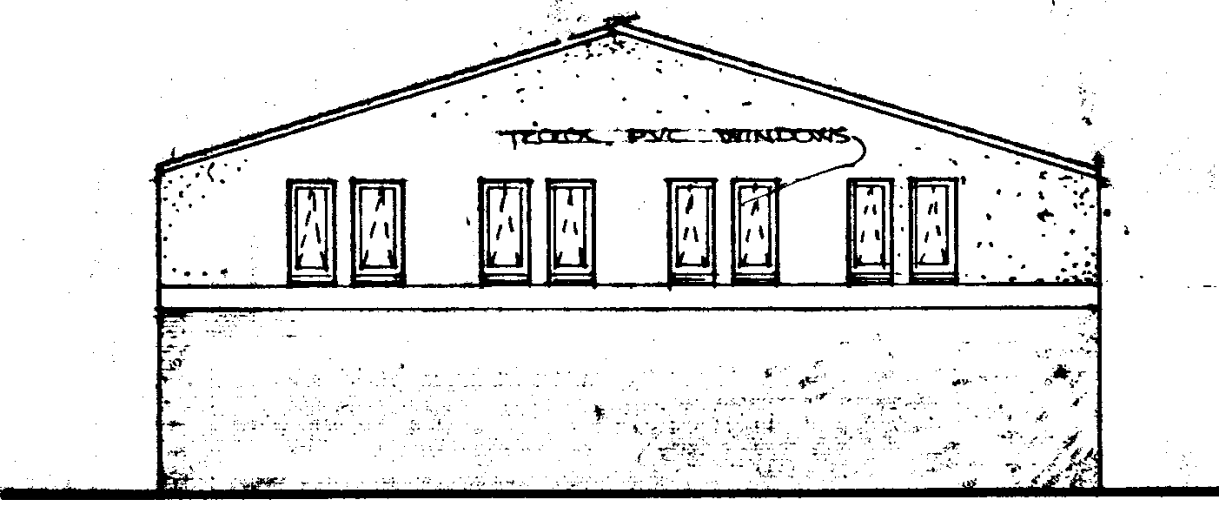
Examples of forms of construction giving an acceptable U-value for roofs and ground floors are:—

Pitched roof of slates or tiles on battens on sarking felt — 100mm of glass fibre laid on polythene vapour barrier over plaster slab ceiling or alternatively laid over foil-backed plaster slabs.

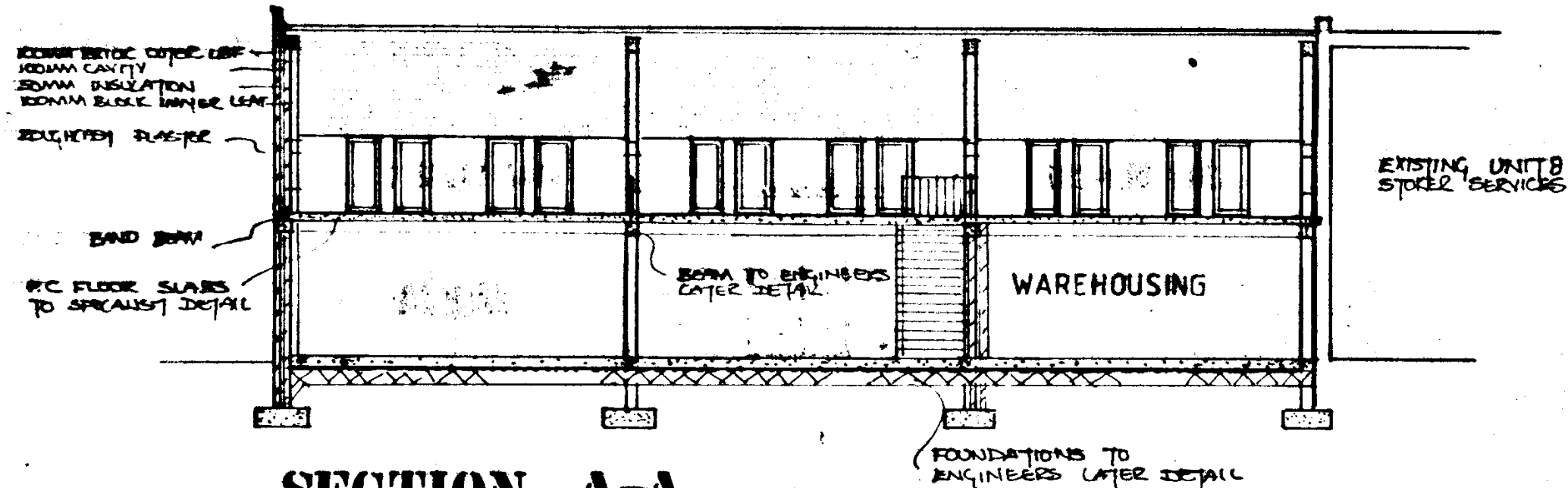
Ground floors — 25mm polystyrene 1m wide laid under floor slab and abutting outside walls.



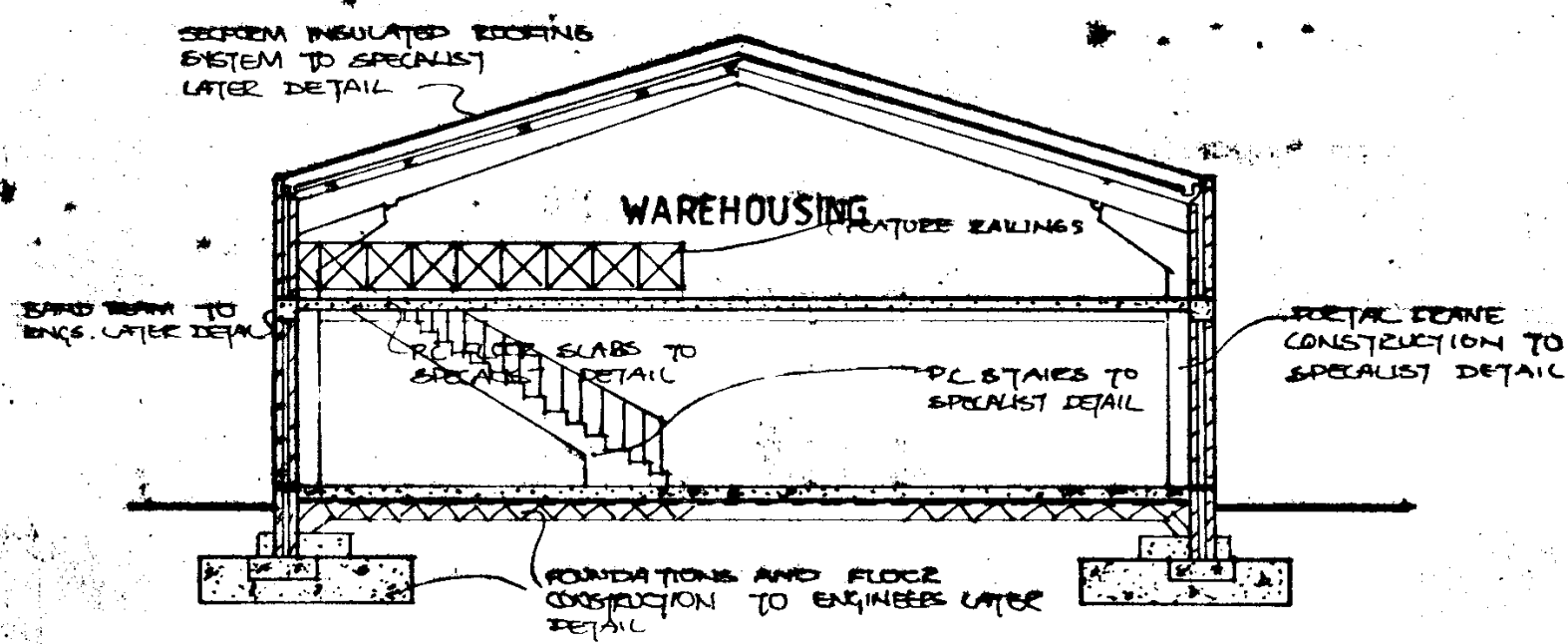
**FRONT ELEVATION**



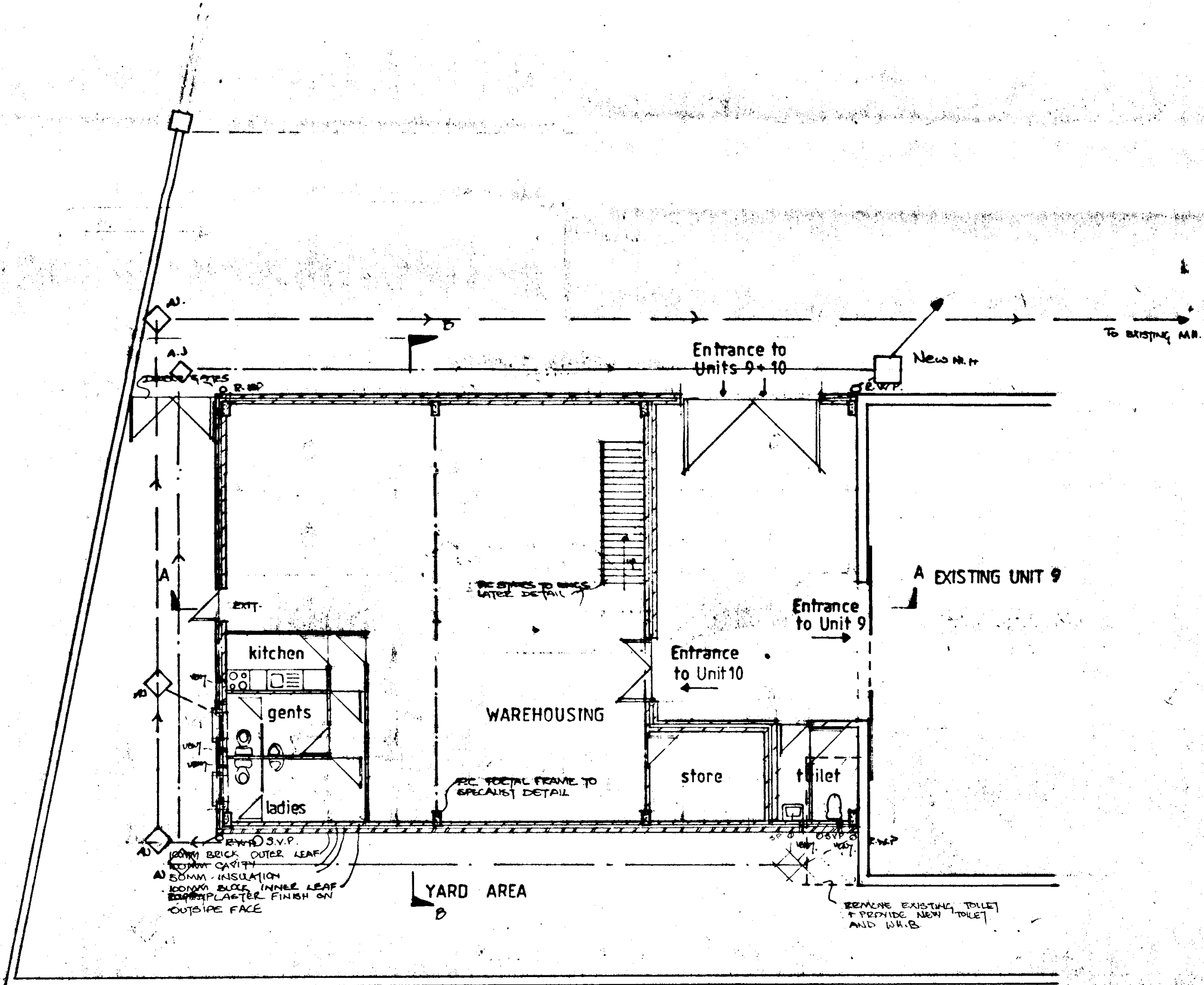
**SIDE ELEVATION**



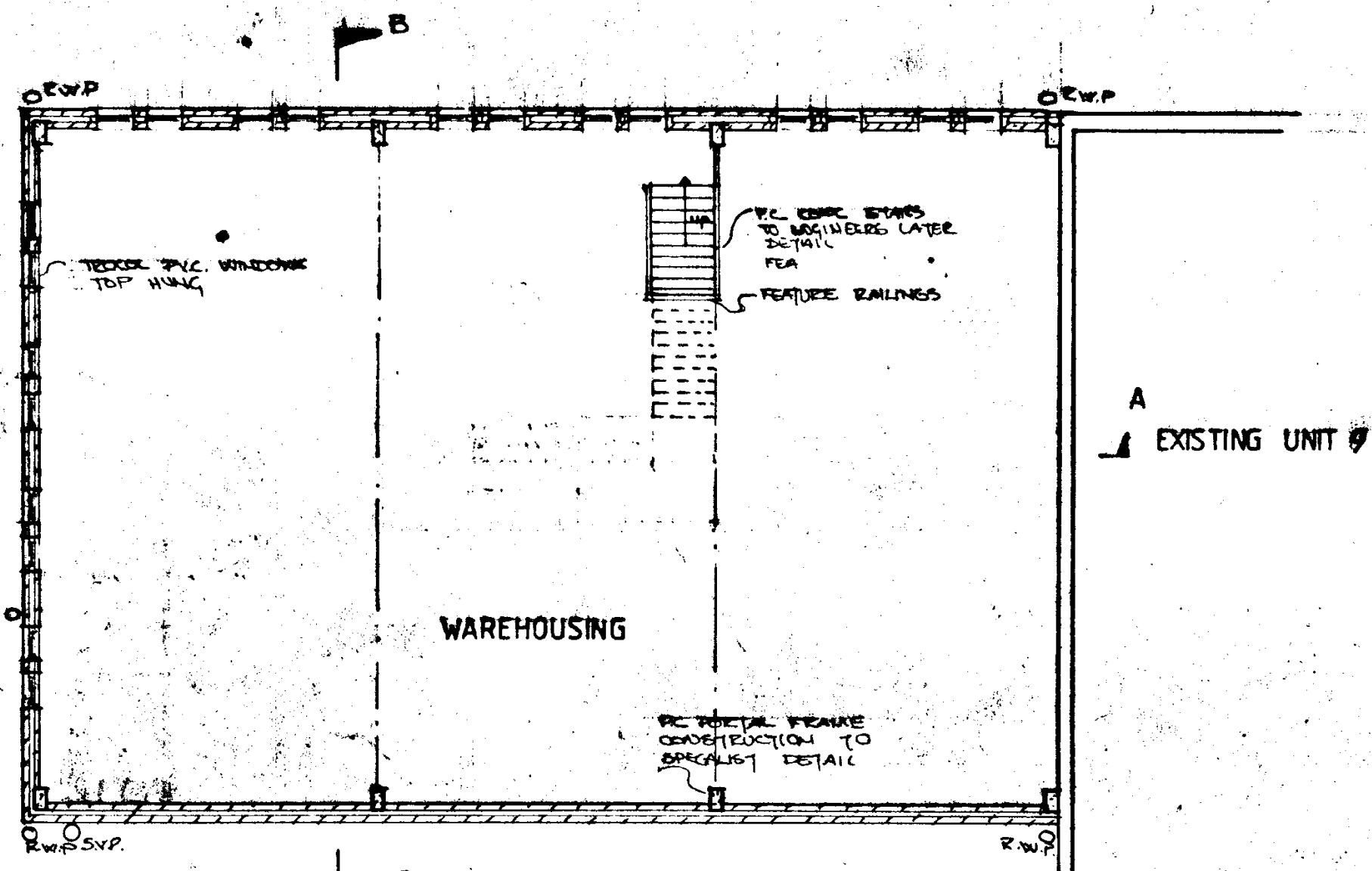
**SECTION A-A**



**SECTION B-B**



**GROUND FLOOR PLAN**

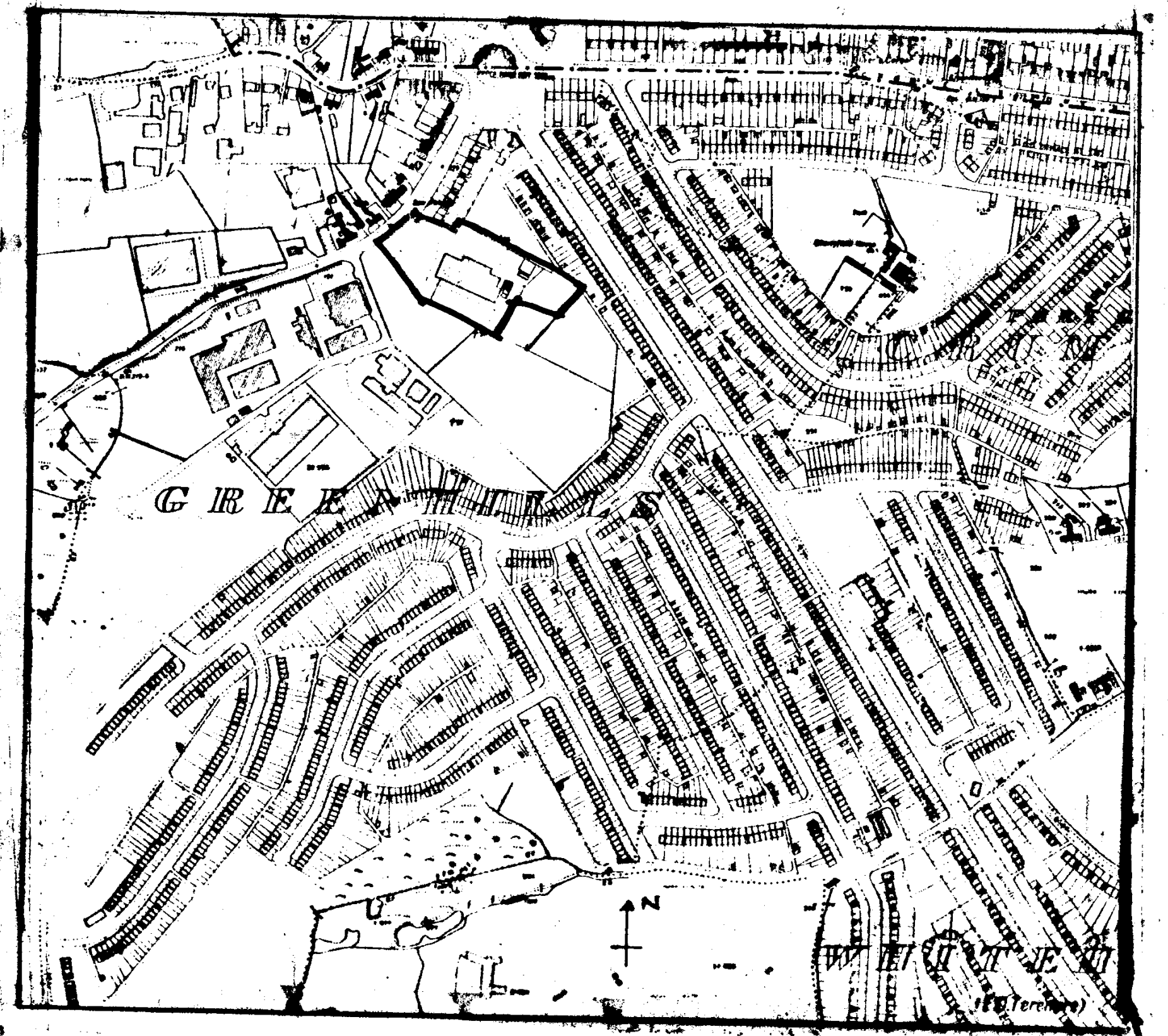


**FIRST FLOOR PLAN**

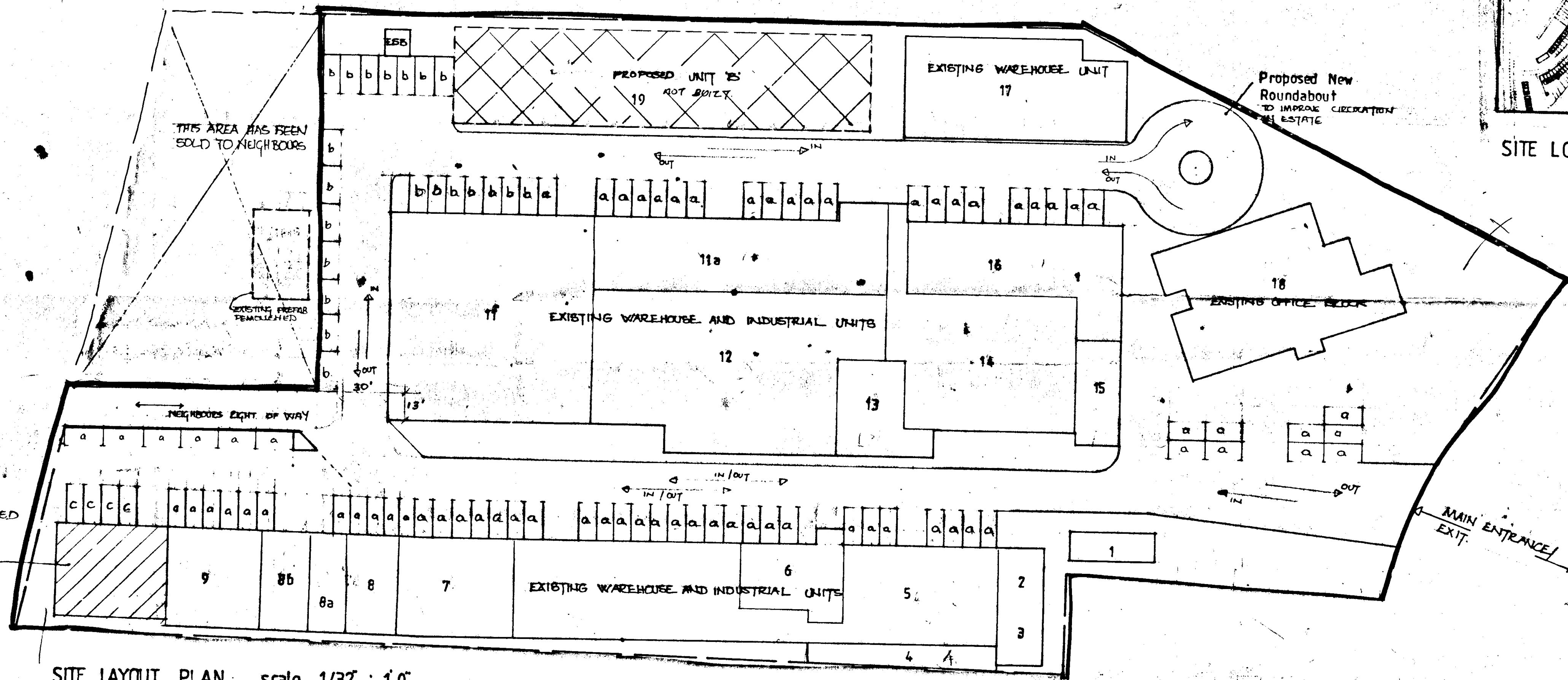
DUBLIN COUNTY COUNCIL  
Planning Dept. Region 5 Section  
APPLICATION RECEIVED  
03 FEB 1992  
REG No. 91114...

<b>carr &amp; sweeney architects</b>	
9 Clonskeagh Road Dublin 6 Tel. 693433/693629	Ballybofey Co Donegal Tel. (074)31060 31104
job PROPOSED NEW WAREHOUSING UNIT 1.0 AT MK.H. IND. ESTATE	
title PLANS, ELEVATIONS & SECTIONS	
drg.no. D/17/90 1	
scale 1/100	drawn DOUGLOR
date OCT 90	checked





SITE LOCATION MAP scale 1/500



SITE LAYOUT PLAN scale 1/32 : 1'0"

UNIT NO	OCCUPIED BY:	FLOOR AREA	REQUIRED PARKING SPACES
1	SECURICOR	42.30 m <sup>2</sup>	1
2	DR'S OFFICE SUPPLIES	96.61 m <sup>2</sup>	1
3	COMPUTER ENT (UPSTAIRS)	96.61 m <sup>2</sup>	1
4	BOMAC	125.1	2
5	MULCANY GROUP	720.97	9
6	MULCANY GROUP	125.6	2
7	KAYWOOD	204.38	3
8a	D.D.S	177.6	1
8b	M. COFFEE	89.92	1
9	EDGEMORE	163.5	2
10	PROPOSED UNIT 10		4
11	VACANT	735.76	10
11A	WOODWISE	805.38	5
12	PLATE CO.	365.65	5
13	VACANT	136.43	2
14	VACANT	177.32	1
14	WOODWISE / FREEWOOD	316.6	4
15	B.M.S.	81.75 m <sup>2</sup>	2
16	HALL EYRE	48.21	6
17	VEE SIGNS	380.14	5
18	UNOCCUPIED	456.6	11
19	UNIT 19	775.6 m <sup>2</sup>	21
TOTAL			98

- (a) CAR PARKING SPACES TO SERVE EXISTING DEVELOPMENT 73
- (b) CAR PARKING SPACES TO SERVE UNIT 8 (REF 89A/1990) 21
- (c) CAR PARKING SPACES TO SERVE PROPOSED UNIT 10 4
- TOTAL 48

NOTE:-  
THE SHOWROOM IN THE PROPOSED UNIT 10 IS TO BE USED SOLELY AS A SHOWROOM, NOT AS A SALES OFFICE OR ANY SUCH OTHER FACILITY.

DUBLIN COUNTY COUNCIL  
Planning Dept. Registry Section  
APPLICATION RECEIVED  
6 FEB 1992  
REG No. ...

**carr & sweeney architects**  
Ballybofey Co Donegal  
9 Clonskeagh Road Dublin 6  
Tel. 693433/693629 Tel. (074)31060 31104

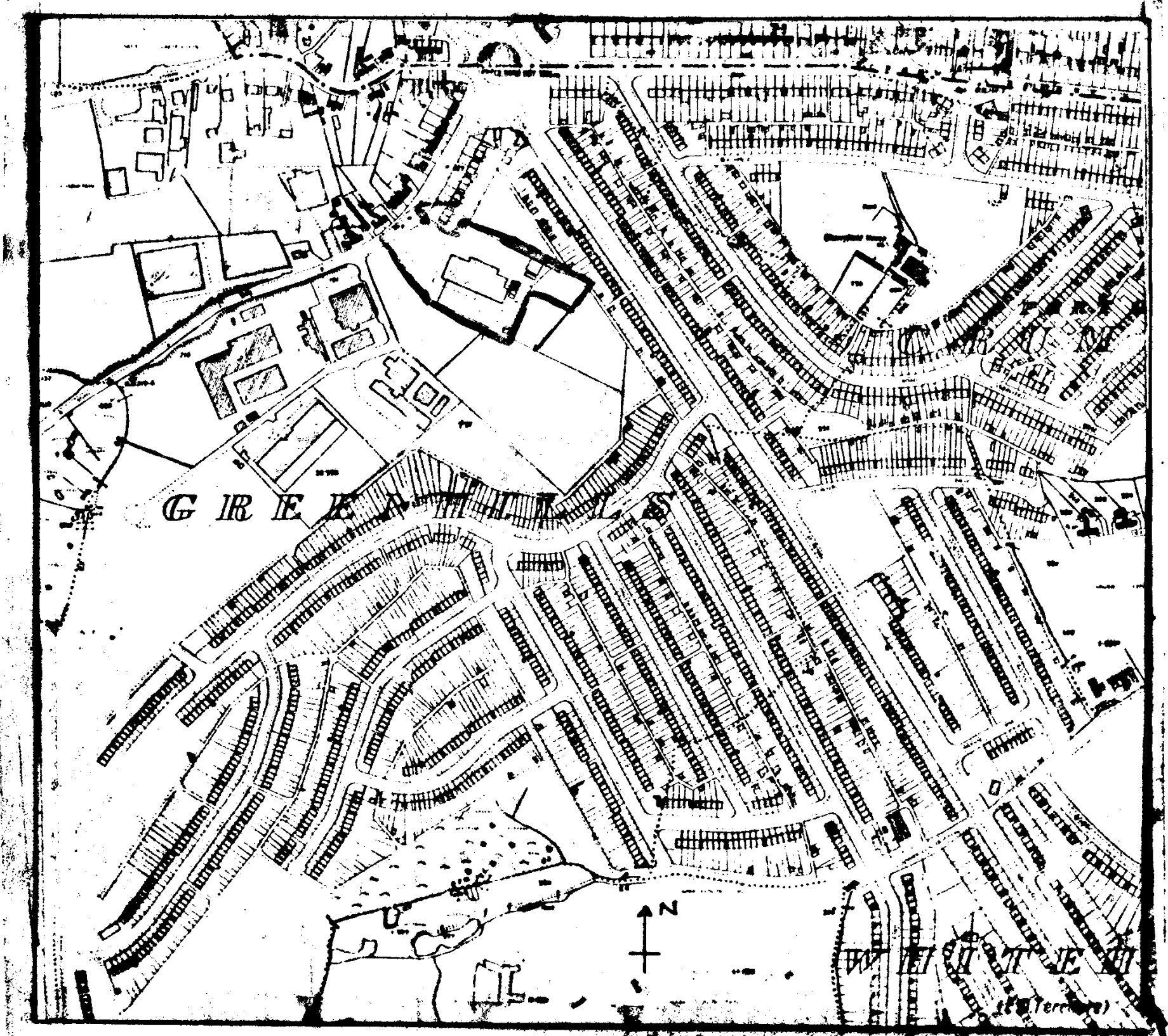
job PROPOSED WAREHOUSING UNIT 10 AT M.K.H. IND. ESTATE

title SITE LAYOUT + LOCATION MAP

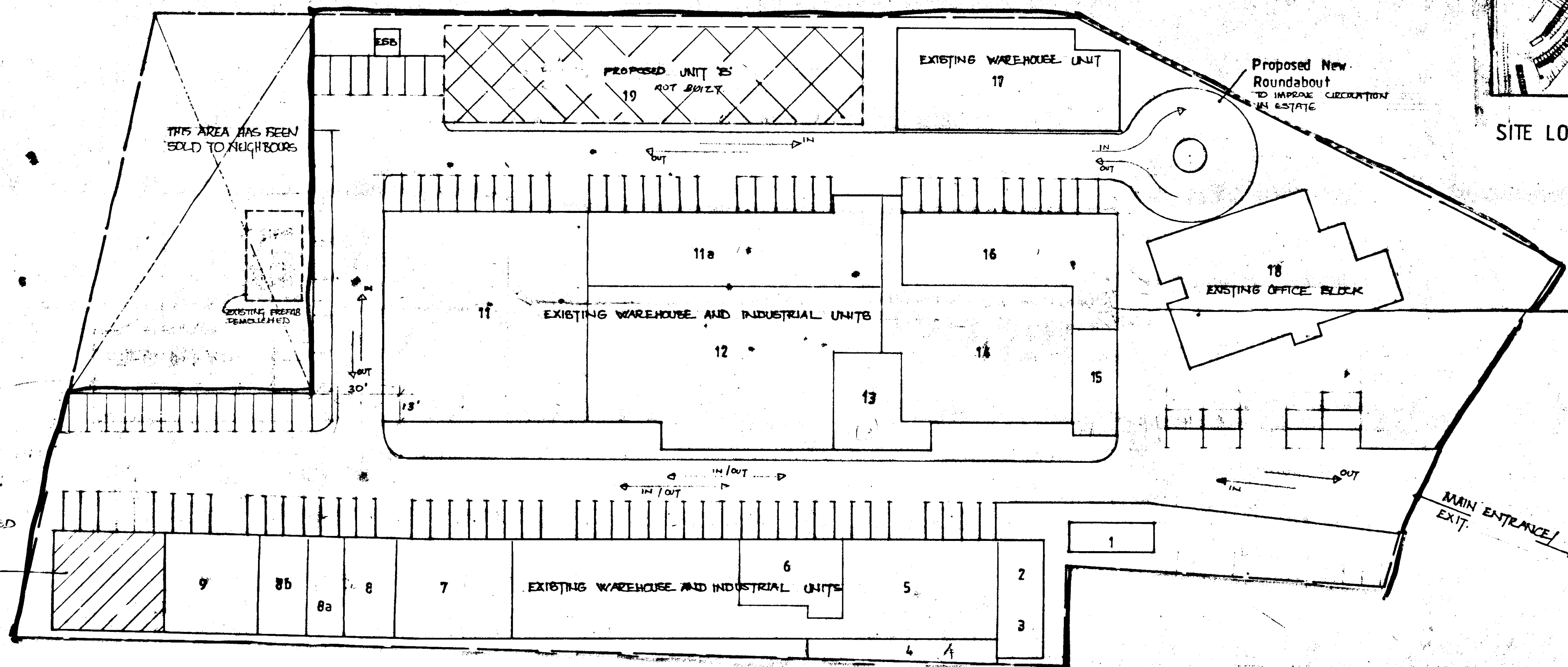
drg.no. D/17/90 2

scale 1/32 : 1'0" drawn D O'CONNOR  
date FEB 90 checked





SITE LOCATION MAP scale 1/5000



SITE LAYOUT PLAN scale 1/32 : 1'0"

UNIT NO	OCCUPIED BY:	FLOOR AREA	PROPOSED PARKING SPACES
1	SECURICOR	42.30 m <sup>2</sup>	1
2	DR'S OFFICE SUPPLIES	96.61 m <sup>2</sup>	1
3	COMPUTER ENT (UPSTAIRS)	96.61 m <sup>2</sup>	1
4	BOMAC	125.1	2
5	MULCANY GROUP	730.97	9
6	MULCANY GROUP	125.6	2
7	KAYWARD	204.38	3
8	D.D.S.	177.6	1
8b	M' COFFEEN	89.92	1
9	ZONSTONE	163.5	2
10	PROPOSED UNIT 10		4
11	VACANT	735.76	10
11A	WOODWISE	805.38	5
12	PLATE CO.	385.65	5
13	VACANT	736.43	2
14	VACANT	177.32	1
14	WOODWISE / FREEWOOD	316.6	4
15	B.M.S.	81.75 m <sup>2</sup>	2
16	MALL TYRE	48.21	6
17	VEE SIGNE	380.14	5
18	UNOCCUPIED	456.6	11
19	UNIT B	775.6 m <sup>2</sup>	21
	TOTAL		98

- EXISTING CAR PARKING SPACES 93
- CAR PARKING SPACES FOR UNIT B 21
- PARKING SPACES FOR PROPOSED NEW UNIT 10 4
- TOTAL 98

NOTE:-  
THE SHOWROOM IN THE PROPOSED UNIT 5 IS TO BE USED SOLELY AS A SHOWROOM NOT AS A SALES OFFICE OR ANY SUCH OTHER FACILITY.

DUBLIN COUNTY COUNCIL  
Planning Dept. - Regional Section  
APPLICATION RECEIVED  
09 OCT 1999  
HEG No. 09141619

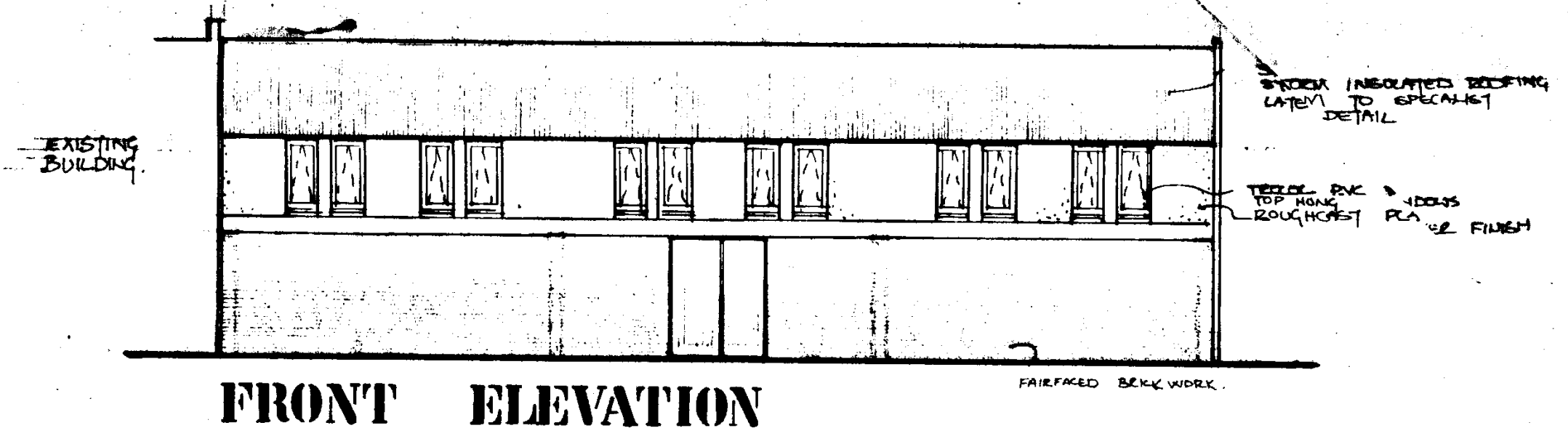
**carr & sweeney architects**  
Ballybofey  
9 Clonskeagh Road  
Dublin 6  
Tel. 693433/693629

job  
PROPOSED WAREHOUSING  
UNIT 20 AT M.L.H. IND. ESTATE.

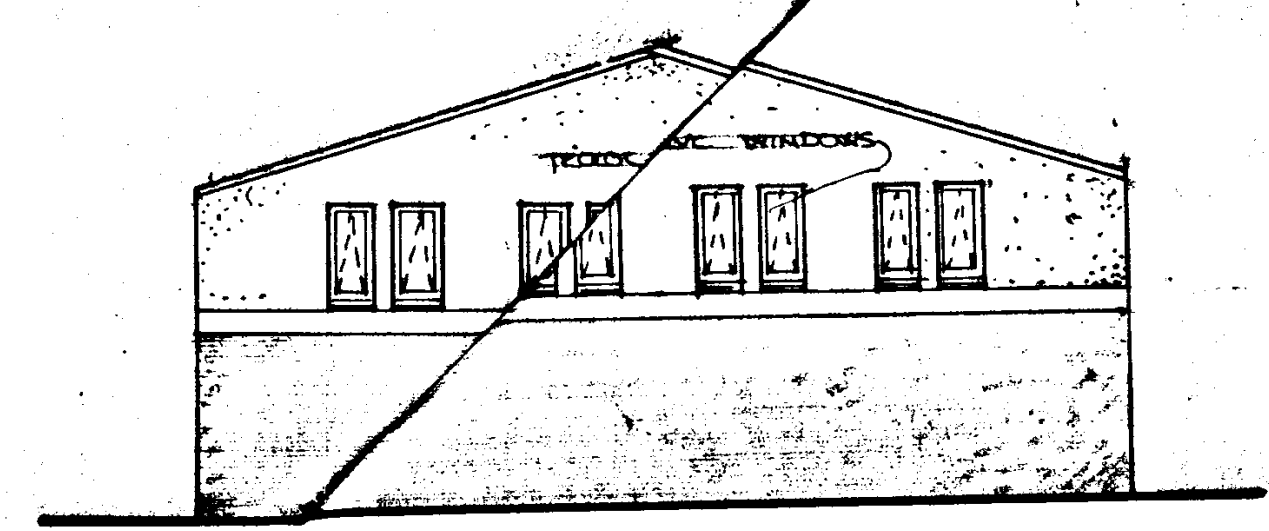
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SITE LAYOUT + LOCATION MAP

drg.no. D/17/90 2

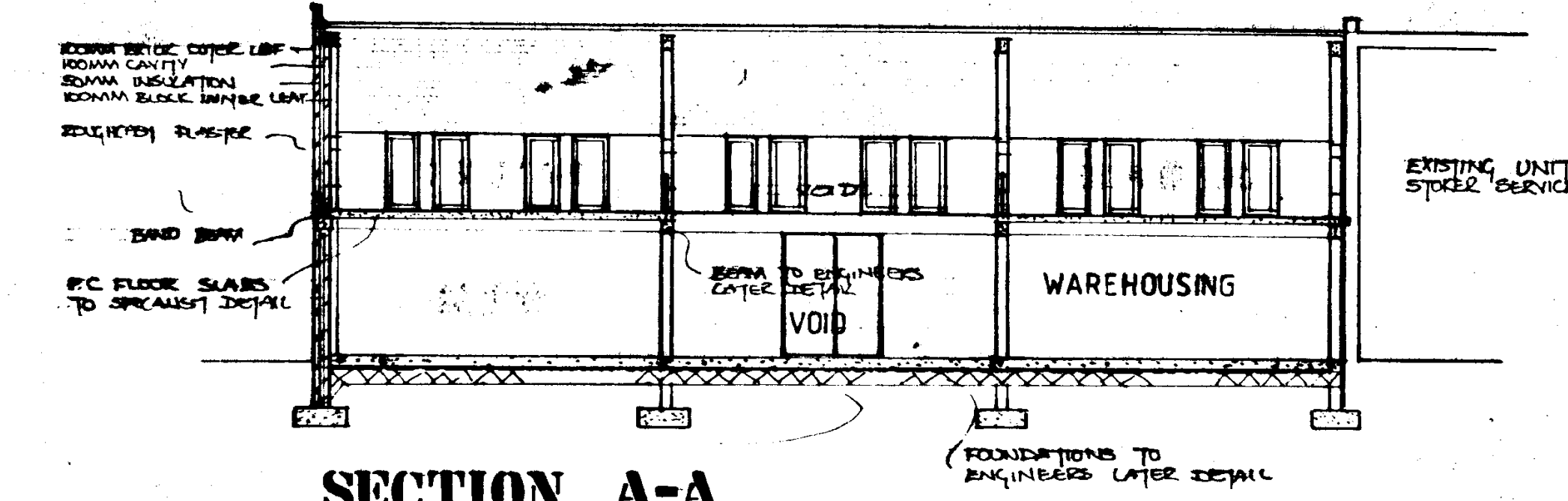
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date FEB 90 checked



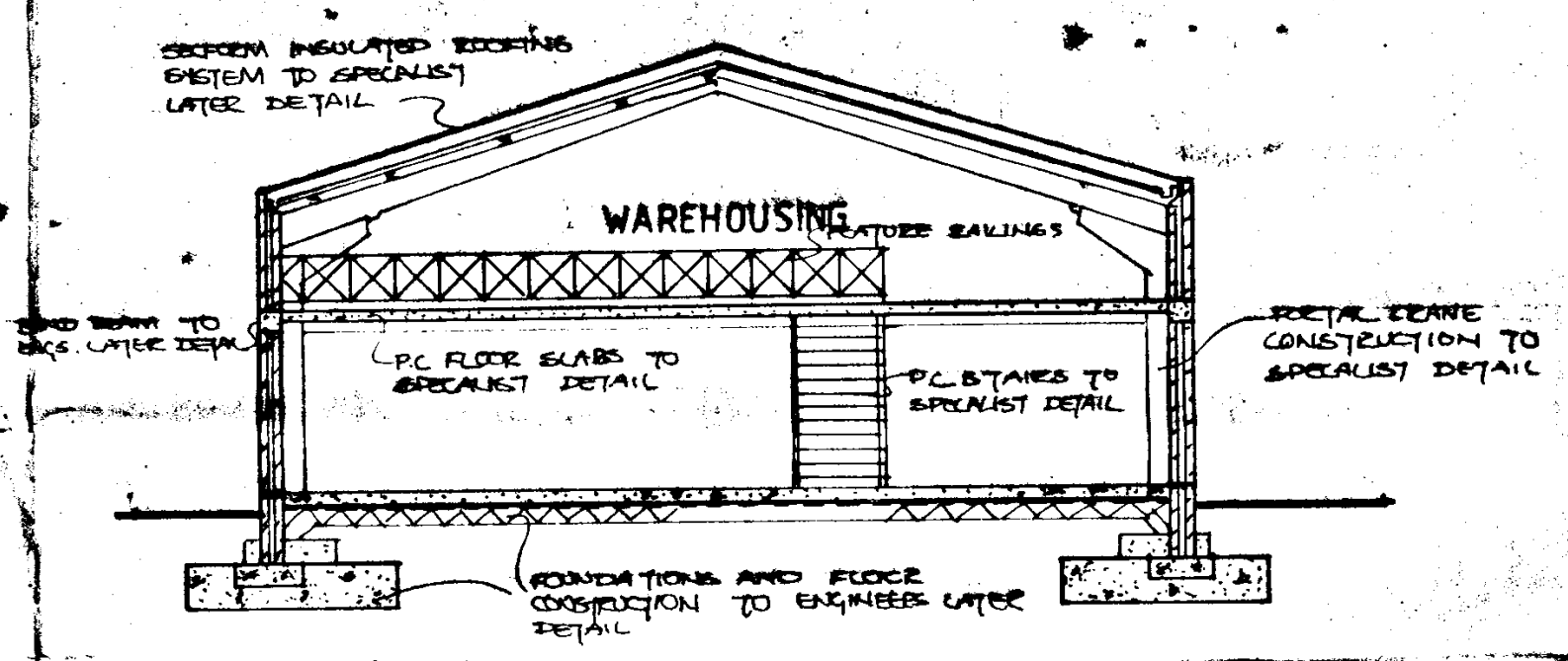
**FRONT ELEVATION**



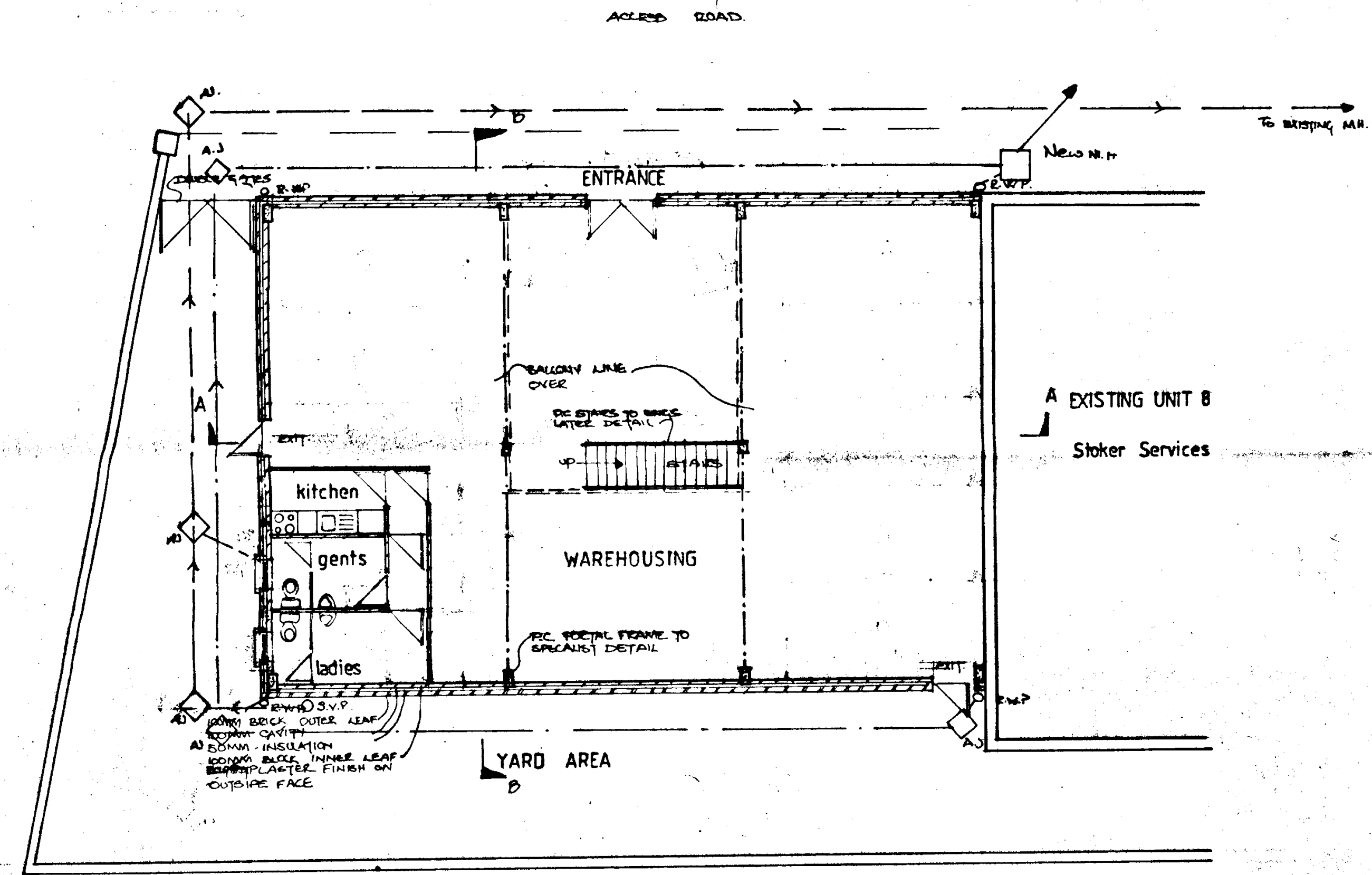
**SIDE ELEVATION**



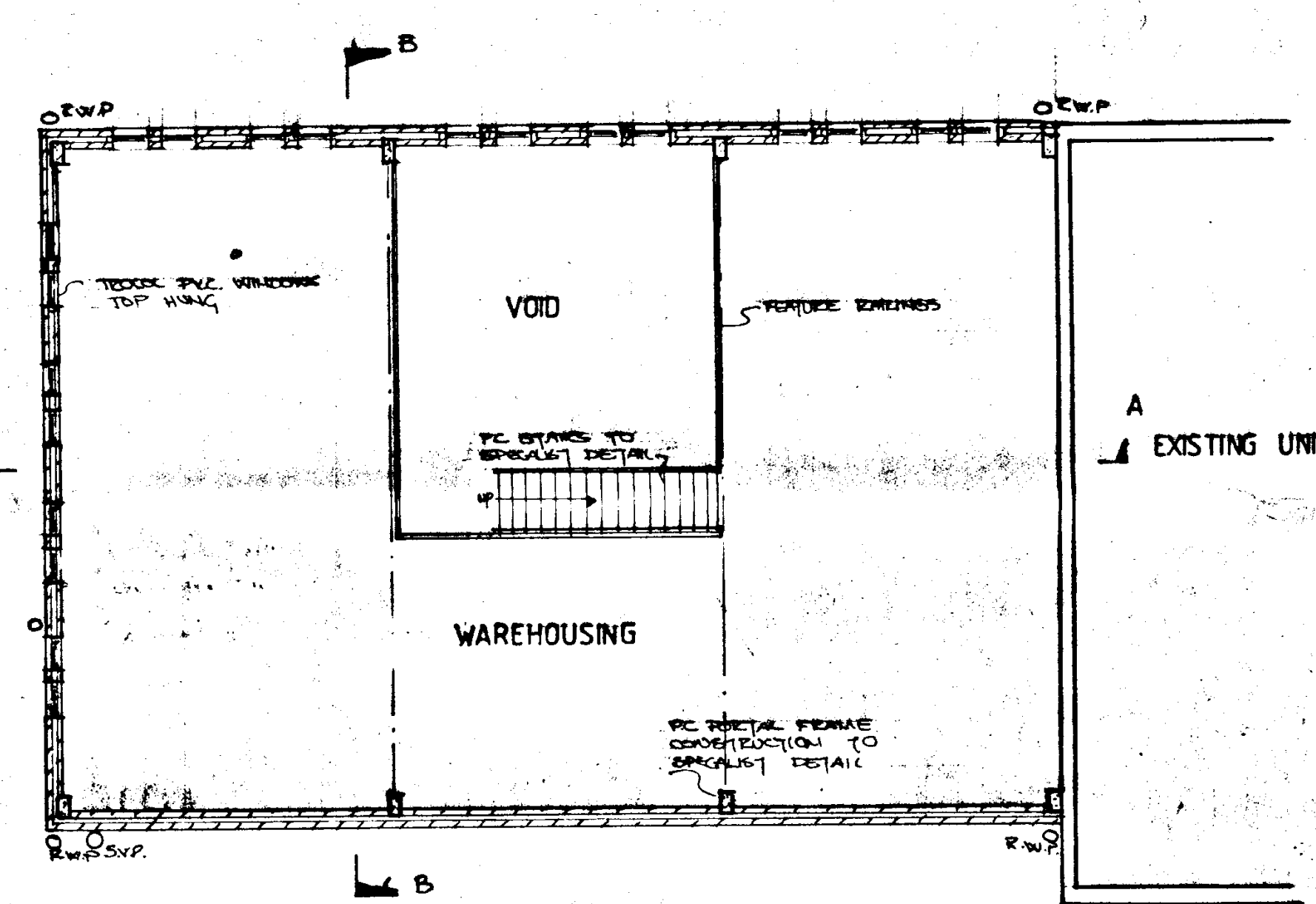
**SECTION A-A**



**SECTION B-B**



**GROUND FLOOR PLAN**



**FIRST FLOOR PLAN**

DUBLIN COUNTY COUNCIL  
 Planning Dept. Registry Section  
 APPLICATION RECEIVED  
 09/007199/1  
 REG No: 91A/16/6

**carr & sweeney**  
 architects  
 9 Clonskeagh Road  
 Dublin 6  
 Tel. 693433/693629  
 Ballybofey  
 Co Donegal  
 Tel. (074)31060  
 31104

job  
 PROPOSED NEW WAREHOUSING  
 UNIT 20 AT MKH. IND. ESTATE

title  
 PLANS, ELEVATIONS + SECTIONS

drg. no. D/17/90 1

scale 1/100  
 date 07/90  
 drawn D.C. SWEENEY  
 checked