

BYE LAW APPLICATION FEES

REF. NO.: 9/1A/1611      CERTIFICATE NO.: 17169<sup>B</sup>

PROPOSAL: Ext.

LOCATION: Main St., Tallaght

APPLICANT: Southside Taverns Ltd

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £30					
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose <i>875sqm</i>	@ £3.50 per M <sup>2</sup> or £70	<i>£3062.50</i>	<i>£3178</i>		<i>£115.50</i>	
D	Building or other structure for purposes of agriculture	@ £1.00 per M <sup>2</sup> in excess of 300 M <sup>2</sup> Min. £70				<i>overpayment.</i>	
	Petrol Filling Station	@ £200					
E	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: [Signature] Grade: 2/TC Date: 26/1/92

Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Columns 2,3,4,5,6 & 7 Certified: Signed: A. Deane Grade: III Date: 9/1/92

Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Noelken,  
 Could we get the area outlined please  
 [Signature]  
 15/1/92

P & A Lavin Associates,  
49 Raglan Road,  
Ballsbridge,  
Dublin 4.

Date; 14/1/92

Our Ref. RW/GC

Re; Extension at Main Street, Tallaght, for Southside Taverns Ltd.  
Req.Ref. 91A/1611

Dear Sirs,

I refer to the above application for Building Bye-Law approval received in this department on 20/12/91. The correct fee in respect of this application cannot be assessed as the area of proposed development has not been outlined on the drawings lodged.

As the 2-month period within which the planning authority must make a decision will not begin to run until the correct fee has been paid it is important that you submit the required information immediately.

Yours faithfully,



for PRINCIPAL OFFICER



Bloc 2, Ionad Bheatha na hEirinn,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/1611

Date : 16th October 1991

Dear Sir/Madam,

Development : Extension to "Vixen" Disco Bar and an advertising sign

LOCATION : Rear Main Street/Old Bawn Road (ext.); Tallaght  
By-Pass Tallaght (sign).

Applicant : Southside Taverns Ltd

App. Type : PERMISSION

Date Recd : 9th October 1991

Your application in relation to the above was submitted with a fee of 1448.75.

On examination of the plans submitted it would appear that the appropriate amount should be 1628.75.

I should be obliged if you would submit the balance of 180.00 as soon as possible as a decision cannot be made on this application until the correct fee is received.

Yours faithfully,

A handwritten signature in dark ink, appearing to be 'P.W.', written over a dotted line.

for PRINCIPAL OFFICER

Fergal MacCabe, Architect,  
40 Fitzwilliam Place,  
Dublin 2.

PLANNING APPLICATION FEES

Reg. Ref. 9/A/1611

Cert. No. 26844

PROPOSAL Extension to Disco Bar + Advertising Sign

LOCATION Vixers Disco Bar Loc Main St / Old Bawn Rd Tallaght

APPLICANT Southside Taverns Ltd

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32				
2	Domestic,	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres 805.0	@£1.75 per m2 or £40	1408.75	1408.75		
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres 22.0	@£10 per m2 or £40	220	240	180	
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

£180.00 paid by cheque of 29/10/91 N 51006

Column 1 Certified: Signed: [Signature] Grade: [Signature] Date: 15/10/91

Column 1 Endorsed: Signed: [Signature] Grade: [Signature] Date: 15/10/91

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O. Date: 15/10/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: [Signature] Grade: [Signature] Date: [Signature]

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1968 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

EG. REF.: 91/1/1611

CONT. REF.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

REA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL: 8666 ft<sup>2</sup>

MEASURED BY:

J.Y.  
15/10/91.

HECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDER NO: 8666  
DATE

ENTERED IN CONTRIBUTIONS REGISTER:

8666  
1000 @ 770

= 6499.00

~~6500~~

DEVELOPMENT CONTROL ASSISTANT GRADE

24/12/91

## COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

CONTRIBUTION:

Standard: 6500

Feeds:

S Sers:

Open Space:

Other:

SECURITY:

Bond/C.I.F.:

Cash:

Proposed extension to "Vixens" Disco Bar, rear Main Street/Old Bawn Road and for an advertising sign at Tallaght By-Pass, Tallaght for Southside Taverns Ltd.

Fergal MacCabe,  
Architect & Town Planner,  
40 Fitzwilliam Place,  
Dublin 2.

Reg. Ref. 91A/1611  
App. Recd: 09.10.91  
Floor Area: 805 sq.m.  
Site Area: 650 sq.m.  
Zoning: 'A'

Report of the Dublin Planning Officer, dated 29 November 1991

This is an application for PERMISSION for an extension to "Vixens" Disco Bar, rear Main Street/Old Bawn Road and for an advertising sign at Tallaght By-Pass, Tallaght for Southside Taverns Ltd.

The area in which the site is located is zoned with the objective "to protect and/or improve residential amenity".

The proposed building comprises 805 sq.m. finished mainly in plain plaster finish, with pergola feature. The extension will include dance floor, lounge facilities, toilets, yard, storage, staff space and basement storage. The lands on which the site is located are included in the Designated Area of the Urban Renewal Act. The land which is outlined in blue on the site location map has been the subject of a series of applications which include shops, offices and the Tallaght Sports Bowl. *One mature tree and a bed of rhododendron would be lost in the development.* A total of 342 car parking spaces are shown to serve all of this development, both existing and proposed. This total includes the space to the south-east of the site which is marked "provisional overspill". This land has been conditioned in previous permissions to be retained for use as car parking if and when required.

A survey carried out by the developer on actual use of the parking space shows that it is under-utilised. This has also been referred to in previous applications. Provision has been made for shops and offices, which do not <sup>normally</sup> require night time parking.

A report from the Roads Department received 21.11.91 notes that while 20 existing spaces will be lost due to the extension, an additional 83 will be gained (63 nett). This will adequately cater for the development.

Given the current use of the site, and the adjoining commercial and leisure activities, and the fact that this land is proposed in the Draft Development Plan to be zoned with the objective for providing neighbourhood/local centre facilities, and the enhancement of town/village centre facilities, then this proposal would be acceptable.

Over .....

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed extension to "Vixens" Disco Bar, rear Main Street/Old Bawn Road and for an advertising sign at Tallaght By-Pass, Tallaght for Southside Taverns Ltd.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990, subject to the following conditions:-

(13)

(SEE CONDITIONS OVER)

(GB/AC)

Endorsed:- [Signature]  
for Principal Officer

Richard Ciemins SEP  
For Dublin Planning Officer

3.12.91

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to GRANT PERMISSION for the above proposal subject to the conditions set out above is hereby made

Dated: 6<sup>th</sup> December, 1991.

[Signature]  
ASSISTANT COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 6<sup>th</sup> November 1991.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed extension to "Vixens" Disco Bar, rear Main Street/Old Bawn Road and for an advertising sign at Tallaght By-Pass, Tallaght for Southside Taverns Ltd.

### CONDITIONS

### REASONS FOR CONDITIONS

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

2. In order to comply with the Sanitary Services Acts, 1878-1964.

3. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

3. In the interest of safety and the avoidance of fire hazard.

4. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.

4. In the interest of health.

5. That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

5. In order to comply with the Sanitary Services Acts 1878-1964.

6. That all external finishes harmonise in colour and texture with the existing premises.

6. In the interest of visual amenity.

7. That no music or other amplified sound shall be broadcast from the premises proposed in such a manner as to cause nuisance to the occupants of adjoining/nearby premises.

7. In the interest of residential amenity.

8. That exact finish and materials of all signage be agreed with the Planning Authority prior to commencement of development and that the high triangular advertising sign close to the Tallaght By-Pass be eliminated from the development.

8. In the interest of the ~~proper planning and development of the area.~~

*visual amenity Z.C*



# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed extension to "Vixens" Disco Bar, rear Main Street/Old Bawn Road and for an advertising sign at Tallaght By-Pass, Tallaght for Southside Taverns Ltd.

### CONDITIONS

### REASONS FOR CONDITIONS

~~9.~~ That the provision of ladies toilet facilities be increased to an acceptable standard and agreed in writing with the Planning Authority prior to commencement of development.

~~9.~~ In the interest of the proper planning and development of the area.

~~9~~ ~~10.~~ That the existing trees in the car park area be retained and adequately protected throughout the development.

~~9~~ ~~10.~~ In the interest of the proper planning and development of the area.

~~10~~ ~~11.~~ That details of landscaping, including planting, paviour setts and other features be submitted to and agreed in writing with the Planning Authority prior to the commencement of development.

~~10~~ ~~11.~~ In the interest of the proper planning and development of the area.

~~11~~ ~~12.~~ That colours of aluminium glazing bars and other external finish be agreed in writing with the Planning authority prior to commencement of development.

~~11~~ ~~12.~~ In the interest of visual amenity.

~~12~~ ~~13.~~ That the land shown as "provisional overspill" on Drg. No. 9002/3P shall be retained free from development and <sup>shall</sup> be marked out and used as a car park when required by the Planning Authority.

~~12~~ ~~13.~~ In the interest of the proper planning and development of the area.

~~13~~ ~~14.~~ That a financial contribution in the sum of £ ~~600~~ be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

~~13~~ ~~14.~~ The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

REG. REF:

91A/1611

(Lodged 20/12/91 - bbe)

LOCATION:

Extension to Vixens, Foxes Covert, Tallaght.

Additional information as shown on Drawing No. KM/07/05 was submitted through Sanitary Services on 13/5/92. In response to the above the following applies.

FOUL SEWER: - Available subject to:

- 1) The permission of the Roads Department is necessary to cross the Tallaght Bye-Pass.
- 2) The proposed connection to the main sewer on the Tallaght Bye-Pass to be carried out by Dublin County Council at the developers prior expense. Applicant to consult with Drainage Maintenance Area Engineer, Deansrath Depot, Tel. 570784/5/6.

N. Murphy  
 N. Murphy,  
 Executive Engineer.

Endorsed:

F. G. Coffey  
 F. G. Coffey,  
 Senior Engineer.

21/5/92

**PLANNING DEPT.**  
**DEVELOPMENT CONTROL SECT**  
 Date ..... 01.05.92 .....  
 Time ..... 2.30 .....

**DUBLIN CO. COUNCIL**  
**SANITARY SERVICES**  
 28 MAY 1992  
 Returned GG

Geraldine Boothman

PLANNING DEPARTMENT

BOOK FOLIO

(1) Date Lodged  
  
20 Dec 1991

LOCATION: ~~Vizen's, The Fosse Covert, Main St, Tallgate~~

REG. REF. 91A/1611

APPLICANT: ~~Southside Taverns Ltd~~

PROPOSAL: ~~Extension to Vizen's Dispensary~~

SUBBEN COUNTY COUNCIL  
6 MAR 1992  
ENVIRONMENTAL HEALTH OFFICERS

(2) Date referred

Chief Medical Officer, Eastern Health Board

(3) Rec'd San. Services

THE ABOVE PROPOSAL IS NOT ACCEPTABLE FOR THE FOLLOWING REASONS:

- 1/ Staff Sanitary accommodation not indicated.
- 2/ Maximum number of patrons to be catered for, not indicated. The number of patrons will determine the extent of patrons sanitary accommodations to be provided.
- 3/ Proposed use of Brewery display area not indicated.

(4) Dispatched by San. Ser. to C.M.O.:

(5) Rec'd Planning:

(6) Date to Planner:

(7) D.P.O. Report to be submitted before:

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 01.04.92 .....  
Time ..... 11.30 .....  
.....

Peter Shelton  
20/3/92

(9) Decision due:

(8) DPO Report submitted to S.A.O.:

ENDORSED: Geraldine Boothman DATE: 25/3/92  
Per John O'Keefe Principal GHO

Geraldine Boothman.

GG + CW

PLANNING DEPARTMENT

BOOK FOLIO

Ⓢ

(1) Date Lodged  
20 Dec 1991

LOCATION: Vixen's, The Foxes Covert, Main St, Tallaght REG. REF. 91A/1611  
APPLICANT: Southside Taverns Ltd  
PROPOSAL: Extension to Vixen's Disco Bar

(2) Date referred:  
28 | 1

FOUL SEWER

C Available - existing system.

(3) Rec'd San. Ser.  
**DUBLIN Co. COUNCIL**  
30 JAN 1992  
(4) Dispatched by  
**SAN SERVICES**

SURFACE WATER

C Available - existing system.

(5) Date to Planning

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 09.03.92  
Time ..... 4.00

(6) Date to Planner

(7) D.P.O. report to be submitted before:

(9) Decision due:

J.R.  
28/2/92  
Mrs P. Curran

(8) D.P.O. report submitted to S.A.O.:

Please return file to me when work was back

JJK  
27/1/92

ENDORSED \_\_\_\_\_ DATE \_\_\_\_\_

28/1/92

END  
27/1

PLANNING DEPARTMENT

BOOK FOLIO

(1) Date Lodged  
20 Dec 1991

LOCATION: Vixen's, The Pusses Covert, Main St, Tallaght REG. REF. 91A/1611  
APPLICANT: Southside Taverns Ltd  
PROPOSAL: Extension to Vixen's Disco Bar

WATER SUPPLY

C Available for zoned use. 24 hour storage to be provided. *L. J. Spain*  
*[Signature]*  
19/2/92  
PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 09.03.92 .....  
Time ..... 4.00 .....  
Refer to C.F.O.

ENDORSED: *[Signature]* DATE 2/3/92

G. Boothman

DUBLIN COUNTY COUNCIL  
26 NOV 1991  
ENVIRONMENTAL HEALTH  
OFFICERS

Register Reference : 91A/1611

Date : 16th October 1991

Development : Extension to "Vixen" Disco Bar and an advertising sign

LOCATION : Rear Main Street/Old Bawn Road (ext.); Tallaght  
By-Pass Tallaght (sign).

Applicant : Southside Taverns Ltd

App. Type : PERMISSION

Planning Officer : G. BOOTHMAN

Date Recd. : 9th October 1991

Traffic  
Info:

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Evidence of Compliance with  
Food Hygiene Regs 50-89 not indicated  
Yours faithfully,

.....  
for PRINCIPAL OFFICER

- 1) Ventilation Details not submitted
- 2) Staff Sanitary Accommodation not indicated
- 3) No. of proposed maximum patrons (ie on what number will Dance Hall licence Application be based) - number of patrons sanit. acc. will be based on this number.
- 4) Proposed use of "Beverage Display Area"
- 5) Proposed use of "Basement"
- 6) Cleaning stores <sup>with sluice sink</sup> Beer store, Empty Bottles store + Bin wash Area, Keg stores etc. etc. not indicated on attached.

for  
John O'Reilly

SUPER. ENVIRON. HEALTH OFFICER,  
33 GARDINER PLACE,  
DUBLIN 1.

11/12/91

Anne O'Donohue  
10.12.91.

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 12.12.91  
Time ..... 4.00

Geraldine Boothman SS + CMO,

2

Register Reference : 91A/1611

Date : 16th October 1991

Development : Extension to "Vixen" Disco Bar and an advertising sign

LOCATION : Rear Main Street/Old Bawn Road (ext.); Tallaght By-Pass Tallaght (sign).

Applicant : Southside Taverns Ltd

App. Type : PERMISSION

Planning Officer : G. BOOTHMAN

Date Recd. : 9th October 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN Co. COUNCIL  
2.1 OCT. 1991  
SAN SERVICES

DUBLIN CO. COUNCIL  
SANITARY SERVICES  
FOR PRINCIPAL OFFICERS  
22 NOV 1991  
Returned [Signature]

Date received in Sanitary Services 2.1 OCT. 1991

FOUL SEWER

*Insufficient information - no drainage information is included in this application*

SURFACE WATER

*As above*

SENIOR ENGINEER,  
SANITARY SERVICES DEPARTMENT,  
46/49 UPPER O'CONNELL STREET,  
DUBLIN 1

*[Signature]*  
18.11.91

*J.R.*  
19/11/91

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 25.11.91 .....  
Time ..... 12.45 .....

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 25. 11. 91 .....  
Time ..... 12. 45 .....  
.....

Register Reference : 91A/1611

Date : 16th October 1991

.....  
ENDORSED \_\_\_\_\_

DATE \_\_\_\_\_

WATER SUPPLY..... Available for zoned use from existing  
service. 24 hour storage to be provided. Refer  
to C.F.O. R.J. Spain  
13/11/91

G. H. H. A/SEE  
14/11/91

.....  
ENDORSED \_\_\_\_\_

DATE 20/4/91



DUBLIN COUNTY COUNCIL

REG. REF: 91A/1611.  
DEVELOPMENT: Ext. to "Vixen" Disco Bar and an advertising sign.  
LOCATION: Main St/Old Bawn Road, Tallaght By-Pass.  
APPLICANT: Southside Taverns Ltd.  
DATE LODGED: 9.10.91.

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This application seeks permission for ext. to "Vixen" disco bar at Tallaght.

The proposed development would result in a loss of 20 existing car spaces. However, the applicant proposes a 'Provisional Overspill Car Park' of 83 car spaces - a net increase of 63 spaces. This caters adequately for the proposed development.

MA/BMCC  
11.11.91.



SIGNED: Michael Atches

DATE: 11-11-91

ENDORSED: E. Madde

DATE: 14th Nov '91

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.

Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

Telephone: 773066

Telephone: 724755  
Extension: 231/234

22nd January 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: Vixen's, The Foxes Covert, Main Street, Tallaght  
PROPOSED DEVELOPMENT: Extension to Vixen's Disco Bar  
APPLICANT: Southside Taverns Ltd  
PLANNING REG.REF.: 91A/1611  
DATE OF RECEIPT  
OF SUBMISSION: 20th December 1991

A Chara,

With reference to above, I acknowledge receipt of application for:

**Building Bye Law Approval.**

Mise, le meas

A. Smith

PRINCIPAL OFFICER

P & A Lavin Associates,

49 Raglan Road,

Ballsbridge,

Dublin 4.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for-Permission  Outline Permission  Approval  Place / in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses. B.B.L. Approval Only

2. Postal address of site or building ..... Vixen's, The Foxes Covert, Main Street, .....  
(If none, give description sufficient to identify) ..... Tallaght, Co Dublin

3. Name of applicant (Principal not Agent) ..... Southside Taverns Ltd .....  
Address The Foxes Covert, Main Street, Tallaght, Co Dublin ..... Tel. No. 515544

4. Name and address of ..... P&A Lavin Associates, 49 Raqlan Road, .....  
person or firm responsible ..... Ballsbridge, Dublin 4 ..... Tel. No 687922  
for preparation of drawings

5. Name and address to which ..... As 4 above .....  
notifications should be sent

6. Brief description of .....  
proposed development ..... Extension to Vixen's Disco Bar

7. Method of drainage ..... Mains ..... 8. Source of Water Supply ..... Mains

9. In the case of any building or buildings to be retained on site, please state:-  
(a) Present use of each floor ..... Disco Bar/Public House .....  
or use when last used. BYE LAW APPLICATION  
(b) Proposed use of each floor ..... Same ..... REG. No. N 51417

10 Does the proposal involve demolition, partial demolition ..... No .....  
or change of use of any habitable house or part thereof? £378.00

11.(a) Area of Site ..... 650 ..... Sq. m.  
(b) Floor area of proposed development ..... 908 ..... Sq. m.  
(c) Floor area of buildings proposed to be retained within site ..... 1626 ..... Sq. m.

12.State applicant's legal interest or estate in site ..... Freehold .....  
(i.e. freehold, leasehold, etc.)

13.Are you now applying also for an approval under the Building Bye Laws?  
Yes  No  Place  in appropriate box.

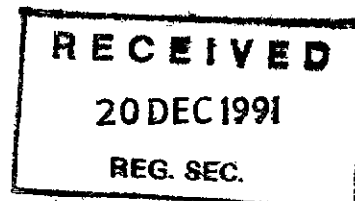
14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:  
It is customary to take the D.B.R.'s into account

15.List of documents enclosed with .....  
application. See attached letter

16.Gross floor space of proposed development (See back) ..... 908 ..... Sq. m.  
No of dwellings proposed (if any) ..... N/A ..... Class(es) of Development ..... 4 and 9  
Fee Payable £31.78.00 ..... Basis of Calculation ..... 908 x £3.50  
If a reduced fee is tendered details of previous relevant payment should be given

P&A LAVIN ASSOC. Signature of Applicant (or his Agent) ..... Stephen Manning ..... Date ..... 20 December 1991

Application Type ..... FOR OFFICE USE ONLY  
Register Reference .....  
Amount Received £ .....  
Receipt No .....  
Date .....  
91A/1611  
3.20.22  
BBL



**LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.**

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
  - (a) The address of the structure or the location of the land.
  - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
  - (c) The name of the applicant.

**NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
  - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
  - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
    - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
  - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS			BUILDING BYE-LAW APPL		Low Charges
CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	Effective 15/2/88
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	1 £55 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	3 £30 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	2 £3.50 per m <sup>2</sup>
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	2 £1.00 per m <sup>2</sup> (min. £70)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)			
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)			
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)	E	Petrol Filling Station	300 sq.metres
8.	Petrol Filling Station.	£100.00	F	Development or Proposals not coming within any of the foregoing classes.	(min. £70) (max. £300)
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			1 £200
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			1 £9.00 per 0.1 ha. (£70 min.)

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

in. Fee £30.00  
 ax. Fee £20,000

COMHARLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1

LAW APPLICATION

N 54417

Received this

Pounds

the sum of

Pence being

S. CAREY

Principal Officer

Cashier



49 Raglan Road, Ballsbridge, Dublin 4. Telephone 687922 Fax 687632

20 December 1991

Dublin County Council  
Planning Department  
Block 2  
Irish Life Centre  
Lower Abbey Street  
Dublin 1

Re: **EXTENSION TO VIXEN'S DISCO-BAR, THE FOXES COVERT -  
TALLAGHT.**

Reg Ref No: 91A/1611. Decision Order No: P/5506/91 - 6/12/1991

Dear Sirs,

Subsequent to us receiving a Notification of Decision to Grant Permission from Dublin County Council Planning Department (references given above), we now wish to apply for Building Bye-Law Approval for the above development on behalf of our client.

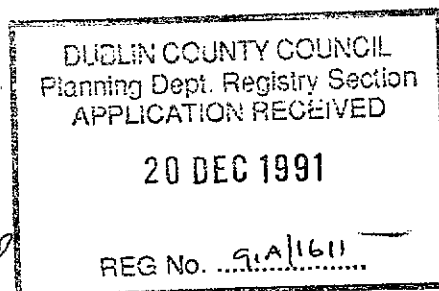
Documents enclosed with this application include:-

1. 2 Copies of our drawing nos 9002/101, 102, 103, 104 and 105.
2. 2 Copies of our Outline Specification.
3. 2 Copies of Structural Engineers drawings KM/07/01, 02, 03, 04 and 05.
4. 2 Copies of Structural Calculations, Specifications, Site Investigation Report and Certificate of Structural Design.
5. 2 Copies of Building Services Engineer's Outline Specification.

We hope our proposals will be to your satisfaction and look forward to a favourable decision in due course.

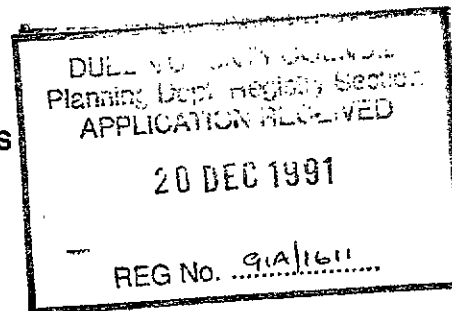
Yours sincerely,

  
STEPHEN MANNING  
P&A LAVIN ASSOCIATES





**OUTLINE SPECIFICATION  
FOR EXTENSION TO VIXENS  
THE FOXES COVERT  
TALLAGHT**



December 1991

Note: Read in conjunction with P&A Lavin drawings 9002/101, 102, 103, 104, 105.  
Horgan Lynch drawings 9002/KM/07/01, 02, 03, 04, 05,  
Calcs, Spec, Site Investigation  
Report and Cert of Structural Design.  
Garvin Evans Outline specification.

**1. FOUNDATIONS**

- (a) See Horgan Lynch & Partners, Consulting Engineers, drawings for details of foundations and r.c. rising walls up to ground floor slab level.
- (b) TANKING UP TO GROUND FLOOR SLAB LEVEL to be externally applied and to consist of:-
  - (i) Modified bitumen membrane (Bituthene, Ruberoid Plasprule or similar), to store areas.
  - (ii) Asphalt in 3 coats, 20 mm finished thickness to other items.

Both to have fibreboard protecting board. Note above tanking incorporated as dpm in floor.

**2. WALLS**

(a) External

All to be cavity walls.  
100 mm conc blockwork inner leaf (Gypsum floating coat and Gyplite finishing coat).  
100 mm (nominal) cavity incorporating 50 mm thk extruded polystyrene insulation and stainless steel wall tiles (Housing Rawltie not less than 2.5 ties/sq m and with ties at 225 mm vertical ccs at opes jambs and critical zones).  
100 mm thk outer leaf of rendered conc, blockwork or selected clay/conc brickwork.  
Note:- Insulation to be 50 mm thk PARTIAL FILL rigid POLYSTYRENE boards (HYTHERM or similar approved) giving a U value of approx 0.5 w/m2K

(b) Internal Solid

Concrete blockwork to thickness shown on drawings. Finish both sides to be Gypsum floating coat and Gyplite Finishing coat.

(c) Internal Studwork

Gypsum "Gyproc" galvanised m/s studs with finish to both sides of GYPROC wallboard (thickness depending on FIRE RATING required) and skim finish.  
Fibreglass quilt fitted between studs.

(d) **Opes In External Walls**

"Catnik"/Spanlite or similar galvanised steel lintols to be incorporated over all opes. Stepped d.p.c (where not integral with lintol) to be provided at all ope heads. Jambes of all opes to have vertical dpc. Cills of opes to be precast concrete or concrete/clay brickwork with dpc under and lapped up at back and ends.

Wall 150mm above ground level to have horizontal dpc incorporated.

**3. FLOORS**

(a) **Basement**

See 1(a)

(b) **Ground Floor**

To be of reinforced concrete - see Horgan Lynch & Partners, Consulting Engineers, drawings.

**4. STRUCTURE GENERALLY**

Beams and columns in basement zone and in ground floor slab to be reinforced concrete (see Horgan Lynch drawings). Beams and columns above ground floor slab level to be steel (see Horgan Lynch drawings).

**5. ROOF**

New roof to be:-

Reflective chippings in chipping-compound on PARALON NT4 high performance single ply polyester based membrane (full bond) on BS747, 3B felt underlay partially bonded through BS747, 3G felt loose-layed on insulation (fully bonded) on TRIPLÉNE 2100 glass web base vapour check gas torch applied to metal decking crowns (deck primed with Impertene primer). Insulation to be 50 mm thick giving a U value of 0.4 w/m<sup>2</sup>K.

**6. WINDOWS/DOORS**

(a) **External** - Aluminium/Timber framed generally. To Architects later colour/stain selection.

(b) **Internal** - Generally timber to Architects later colour selection.

**7. SERVICES A - VENTILATION, WATER SUPPLY AND STORAGE, FIRE PREVENTION, GAS INSTALLATION, ELECTRICAL INSTALLATION.**

See attached documentation (letter dated 5 December 1991) - Garvin Evans & Associates - for details.

**8. SERVICES B - DRAINAGE**

See Horgan Lynch, drawings for drainage outside building.

**9. SERVICES C - SANITARY PIPEWORK/RAINWATER PIPES**

- (a) All w.c's, whb's and urinals shall connect directly to svp's - all fittings to be trapped.
- (b) Svp's to be located as shown on drawing 9002/101.
- (c) All sanitary pipework to be installed in accordance with BS 5572 1978.
- (d) Rainwater pipes to be 75 diam, 100 diam or 150 diam upvc provided with cleaning access as required. Roof rainwater outlets to be upvc with pebble/leaf protection grills fitted. All rainwater pipes to feed to b.i.g.t.s.



Pinewood  
Bishopstown,  
Cork, Ireland  
Telephone 021-545333  
Fax No. 353-21-342497

58, North Great Charles Street,  
Mountjoy Square,  
Dublin 1  
Telephone 01-728588  
Fax No. 01-365195

Partners:  
M. J. Horgan B.E., C.Eng., M.I.C.E., M.I.E.I.  
D. F. Lynch B.E., C.Eng., F.I.E.I.  
F. V. Murray B.E., C.Eng., M.I.Struct.E., M.I.E.I.  
P. L. Anihony B.E., C.Eng., M.I.Struct.E., M.I.C.E., M.I.E.I.

# HORGAN LYNCH PARTNERS

CONSULTING ENGINEERS

Our ref

Your ref

Reply to

Date

KM/07

Dublin

11.12.91

## CERTIFICATE OF STRUCTURAL DESIGN

for

Vixen's Disco Bar, Tallaght, Dublin

ARCHITECT : P & A Lavin Associates

We act as Consulting Engineers for the above project.

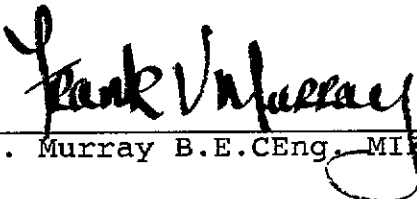
We hereby certify that the design of the project has been carried out by a competent and experienced Chartered Engineer and will be in accordance with Irish Standard Specifications and British Standard Specifications and Codes of Practice where applicable.

In particular, design will be in accordance with the following codes:-

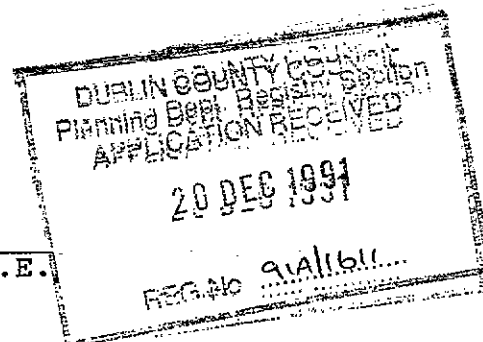
Reinforced Concrete  
Foundations  
Loadings  
Blockwork  
Timber  
Structural steelwork

B.S. 8110 1985  
CP 2004 1972  
B.S. 6399  
B.S. 5628 1978  
B.S. 5268 Part 2 1984  
B.S. 449

Signed,



Frank V. Murray B.E.CEng, M.I.E.I.Struct.E.



For the attention :-  
PLANNING DEPARTMENT, DUBLIN COUNTY COUNCIL AND TO WHOM IT MAY CONCERN

# HORGAN LYNCH PARTNERS

Consulting Engineers  
 Finewood  
 Bishopscourt,  
 Cork Ireland  
 Telephone 021-545333  
 Telex 75410 HL EI  
 Fax No. 353-21-542497

58, North Great Charles Street,  
 Mountjoy Square,  
 Dublin 1,  
 Telephone 01-728588  
 Fax No. 01-365195

THE FOX'S COVERT

Job ref.

KM/07

Sub-section

Vixens Extension

Sheet No.

Made by M. S.

Date 6/12/91

Checked by

Engineer responsible

M. S.

## Design Information

Building Regulation Authority  
 or other

Relevant Building Regulations  
 and Design Codes

Intended use of structure

Fire resistance requirements

General loading conditions

Planning Dept. Registry Section  
 APPLICATION RECEIVED

20 DEC 1991

91A1611

REG No. Wind loading conditions

Exposure conditions

Subsoil conditions

Foundation type

Material data

Other relevant information

Client Molloy Taverns

Architect: P & A Lavin Associates

Dublin County Council

Extension to existing Disco Bar /  
 Licenced Premises

To Fire Officers Requirements

Roof  $0.75 \text{ kN/m}^2$   
 Ground Floor  $4.0 \text{ kN/m}^2$

Speed 46 m/s

Factors  $S_1 = 1, S_2 = 0.65, S_3 = 1$

Suburban; 5m high

See Site Investigations Report

Concrete box basement raft

Concrete Grade C35 above ground level  
 Grade C37.5 below ground level

Reinforcement  $f_y = 460 \text{ N/mm}^2; 250 \text{ N/mm}^2$

# STRUCTURAL DESIGN CALCULATIONS

## CONTENTS.

- 1.0 INTRODUCTION
- 2.0 LOADINGS
- 3.0 ROOF DESIGN
- 4.0 GROUND FLOOR DESIGN
- 5.0 FOUNDATIONS
- APPENDIX A SITE INVESTIGATION REPORT.

## SPECIFICATIONS

- 1) CONCRETE
- 2) STRUCTURAL STEELWORK
- 3) DRAINAGE.

## 1-0 INTRODUCTION

THE PROPOSED EXTENSION TO THE VIXENS NIGHT CLUB AT THE FOXS COVERT, TALLAGHT DUBLIN 24 WILL COMPRISE OF A NEW BASEMENT AREA FOR STORAGE AND A SMALL BREWERY, A GROUND FLOOR EXTENSION TO THE PUBLIC AREA AND VARIOUS ANCILLARY AREAS SUCH AS STORES, TOILETS AND PLANT AREAS.

THE ROOF COMPRISES OF A LIGHTWEIGHT STEEL STRUCTURE WITH METAL DECKING WHILE THE GROUND FLOOR AND BASEMENT ARE OF IN SITU REINFORCED CONCRETE CONSTRUCTION. THE BUILDING ACHIEVES OVERALL LATERAL STABILITY THROUGH THE PLATE ACTION OF THE GROUND FLOOR SLAB AND METAL DECK ROOF IN TRANSFERRING LATERAL LOADS TO THE PERIMETER BLOCK WALLS.

2.0. LOADING

ROOF

DL	METAL DECK + PURLINS	0.15	
	INSULATION	0.10	
	FELT + CHIPPINGS	0.40	
	SERVICES	0.1	
	CEILING/LIGHTS	0.15	
	S.W. STEEL BEAMS	0.30	
		<u>1.20</u>	
LL	LIVE LOAD NO ACCESS	0.75	
	TOTAL	1.95	KN/m <sup>2</sup>

GROUND FLOOR

DL	SLAB 225 TH 225 x 225	5.4	
	SERVICES	0.25	
	FLOOR FINISHES	0.25	
	PARTITIONS	1.00	
		<u>6.9</u>	
L.L	LIVE LOADING	5.0	

$G_k = 6.9$

$Q_k = 5.0$

$1.4 G_k + 1.6 Q_k = 1.4(6.9) + 1.6(5.0) = 17.7$

3.0 ROOF DESIGN

PURLINS / SECONDARY BEAMS

LOADING 1.95 kN/m<sup>2</sup>

SPAN 6.0M

DECKING PROVIDES RESTRAINT TO TOP FLANGE

UDL = 1.95 x 3.6 = 7.02 kN/m

M<sub>max</sub> = 7.02 x 6.0<sup>2</sup> / 8 = 31.6 kN-m

Z<sub>reqd</sub> = 31.6 / 165 = 192 cm<sup>3</sup>

TRY 203 x 133 x 25 UB

Z<sub>x</sub> = 232 cm<sup>3</sup>  
Z<sub>y</sub> = 2356 cm<sup>3</sup>

check DEFLECTION

LIVE LOAD 0.75 x 3.6 = 2.7 / 360 => 6000/360 = 16.7mm

I<sub>reqd</sub> =  $\frac{5}{384} \frac{(2.7) (6.0 \times 10^3)^4}{2.1 \times 10^5 \times 16.77}$  => 1293 cm<sup>4</sup> < 2356

SPAN 7.2M

M<sub>max</sub> = 7.02 x 7.2<sup>2</sup> / 8 = 45.5 kN-m

Z<sub>reqd</sub> = 45.5 / 165 = 276 cm<sup>3</sup>

I<sub>reqd</sub> =  $\frac{5}{384} \frac{(2.7) \times (7.2 \times 10^3)^4}{2.1 \times 10^5 \times \frac{7200}{360}}$  = 2362 cm<sup>4</sup>

TRY

154 x 146 x 31 UB

Z<sub>x</sub> = 353 cm<sup>3</sup>  
I<sub>x</sub> = 4439 cm<sup>4</sup>

OK.

6.0M SPAN

USE  
203 x 133 x 25  
UB

7.2M SPAN

USE  
154 x 146 x 31  
UB

MAIN BEAMS

SPAN : 7.0M

LATERAL RESTRAINT PROVIDED BY  
SECONDARY BEAMS AT SPAN/3.

LOADING.



$$P = 7.02 \times 5/2 = 17.6 \text{ kN}$$

Max Moment :  $17.6 \times 7.0/3 = 41 \text{ kN-m}$

$Z_{REQD} = 41/165 \Rightarrow 248 \text{ cm}^3$

$$I_{REQD} = \frac{23 \left( \frac{7.0}{1.95} \right) 17.6 \times 10^3 \times (7.0 \times 10^3)^3}{648 \times 2.1 \times 10^5 \times 7000/360} \Rightarrow 2018 \text{ cm}^4$$

TRY 356 x 127 x 33

$$Z_x = 470.6$$

$$I_x = 8100$$

7.0M SPAN

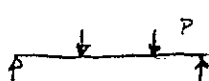
USE

356 x 127 x 33

UB

SPAN 8.0M

LOADING.



$$P = (3.2 \times 5.8) / 2 (3.0 \times 1.95) = 38 \text{ kN}$$

Max Moment  $38 \times 8.0/3 = 101$

$Z_{REQD} = 101/165 \Rightarrow 615 \text{ cm}^3$

$$I_{REQD} = \frac{23 \left( \frac{8.0}{1.95} \right) 38 \times 10^3 \times (8.0 \times 10^3)^3}{648 \times 2.1 \times 10^5 \times 8000/360} \Rightarrow 6186 \text{ cm}^4$$

TRY 406 x 178 x 54 UB

$$Z_x = 925.3 \text{ cm}^3$$

$$I_x = 18623 \text{ cm}^4$$

8.0M SPAN

USE

406 x 178 x 54

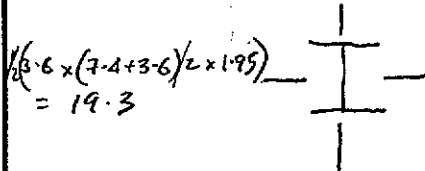
UB

COLUMN DESIGN

INTERNAL COL

WORST CASE CONSIDER COL AT CORNER OF BREWERY/DISPLAY

$$(3.6+2.7)/2 \times 7.4/2 \times 1.95 = 22.7$$



$$2.7 \times (7.4 + 6.0) / 2 (1.95) = 35.3$$

$$(2.7/2 + 3.6/2) \times 5/2 \times 1.95 + (3.6 \times (3.6 + 5.0) / 2) / 2 \times 1.95 = 15.4 + 2.2 = 17.6$$

Col length = 3.2

TRY 203 x 203 x 46 U.C.

$A = 58.8 \text{ cm}^2$   $r_y = 5.11$   
 $I_x = 449.2$   $I_y = 151.5 \text{ cm}^4$   
 $I_x = 456.4$   $I_y = 153.9$

$$P = (22.7 + 17.6) + (19.3 + 35.3) = 94.6$$

$$f_c = \frac{P}{A} = \frac{94.6 \times 10^3}{58.8 \times 10^2} = 16.1 \text{ N/mm}^2$$

$$l = 1.0 \times 3.2 = 3200$$

$$e/r = \frac{320}{5.11} = 62.6$$

$$f_b = f_c \left( \frac{(22.7 - 17.6)(203.2/2 + 100)}{449.2} + \frac{(35.3 - 19.3)(7.3/2 + 100)}{151.5} \right) \frac{P}{I} = 18.5$$

$P_c = 123$   
TABLE 17H.

$$= 2.3 + 10.9$$

$P_{bx} = 165$   
TABLE 3A  
BS 4449

COMBINED STRESSES

$P_{by} = 165$   
TABLE 3A  
BS 4449

$$\frac{f_{bx}}{P_{bx}} + \frac{f_{by}}{P_{by}} + \frac{f_c}{P_c} \leq 1$$

$$\frac{2.3}{165} + \frac{10.9}{165} + \frac{16.1}{123} = 0.21 < 1 \therefore \text{SECTION SUITABLE}$$

USE  
203 x 203 x 46  
U.C.

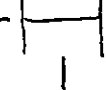


PERIMETER COLUMN.

WORST CASE COLUMN IN

BREWERY DISPLAY AREA  
REAR CORNER

$$2 \times \frac{7.4}{2} \times 1.95 = 9.7$$

$$27 \times (7.4 + 6.0) / 2 \times 1.95 = 35.3$$


EFFECTIVE LENGTH = 3.2m

$$l = 1.0 \times 3.2 = 3.2$$

$$2 \times \frac{7.4}{2} \times 3.92 \times 1.95 + 1.0 \times (1+1) \times 3.92 \times 20 = 9.9$$

Col length = 3.2 m

TRY 203 x 203 x 46 UC

$$Z_x = 449.2 \quad Z_y = 151.5$$

$$I_x = 4564 \quad I_y = 1539$$

$$A = 58.8 \quad r_y = 5.11$$

$$P = 9.7 + 35.3 + 9.9 = 54.9$$

$$l/r_y = 62.2 \quad P/A = 18.5$$

$$f_c = P/A = 54.9 \times 10^3 / 588 \times 10^2 = 9.3 \text{ N/mm}^2$$

$P_L = 124$   
TABLE 17 BS 449

$$f_s = f_{bx} + f_{by}$$

$P_{bx} = 165$   
TABLE 3 BS 449

$$f_{bx} = 35.3 (203 \times 2 / 100) / 449.2 = 15.8 \text{ N/mm}^2$$

$P_{by} = 165$   
TABLE 3 BS 449

$$f_{by} = 9.9 - 9.7 (7.4 / 2 \times 100) / 151.5 = 0.14 \text{ N/mm}^2$$

$$\frac{9.3}{124} + \frac{15.8}{165} + \frac{0.14}{165} = 0.17 < 1 \therefore \text{SECTION SUITABLE}$$

USE 203 x 203 x 46 UC

CIRCULAR COLUMN

$$(6.0 + 2.4) / 2 \times 1.95$$

$$= 8.2 \text{ kN}$$



19.9

$$2.7/2 (3+3)/2 \times 1.95$$

$$+ 1.0 \times (1+1) \times (3.0+3.0)/2 \times 20$$

$$= 7.9 + 12 = 19.9$$

column length 4.0m

effective length =  $1.0 \times 4.0$   
= 4.0

TRY 193.7 x 5.0 thick

$A = 29.6$        $z = 136$

$e/r = 400/6.67 = 60.0$

$I = 1320$        $r = 6.67$

$P = 19.9 + 19.9 + 8.2 = 48.0$

$f_c = P/A = 48.0/29.6 = 16.2 \text{ N/mm}^2$

$P_c = 126$   
TABLE 17 BS 449

$f_b = 8.2 (100 + 193.7/2) / 136 = 11.9 \text{ N/mm}^2$

$P_b = 165$   
TABLE 2 BS 449

$\frac{16.2}{126} + \frac{11.9}{165} = 0.02$       - SECTION SUITABLE

4.0 GROUND FLOOR SUSPENDED RC SLAB + BEAM DESIGN.

RC SLAB DESIGN

SPAN 5.0 M SLAB DEPTH = 225 MM

LOADING  $1.4G_k + 1.6Q_k = 17.7 \text{ kN/m}^2$

COVER 20 MM MIN TO ALL REIN.

$$d = 225 - 20 - 16/2 = 197 \text{ mm}$$

$$M_{MAX} = 17.7 \times 5.0^2 / 8 = 55.3 \text{ kN}\cdot\text{m}$$

$$A_s = \frac{55.3 \cdot 10^6}{(0.87 - 0.425) f_y (d)} = \frac{M}{bd^2 f_y} = \frac{50 \times 10^6}{300 \times 197^2 \times 325} = 0.111$$

$$= \frac{55.3 \times 10^6}{0.87(425) \cdot 84(197)} \Rightarrow z' = 0.84d$$

$$= 904 \text{ mm}^2 \quad T16 / 200 \text{ @ } 1010 \text{ mm}^2$$

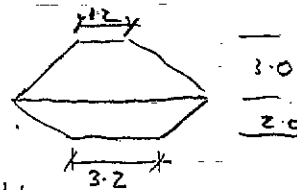
PROVIDE  
T16 - 200 B  
EACH WAY  
EVERYWHERE

BY INSPECTION MOMENTS WILL BE LOWER ELSEWHERE  
DUE TO SLAB BEING CONTINUOUS AND 2WAY SPANNING.

BEAM DESIGN WORST CASE ABOVE STORAGE AREA

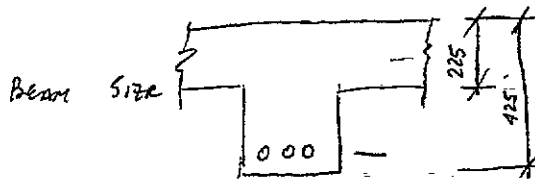
BOTH SIDES LOADED

SPAN 7.2 M



$$\text{LOADING } \left( 3.0(3+1.2) + 2.0(3-2+2.0) \right) / 7.2 \times 17.7 = 56.5 \text{ kN/m}$$

DESIGN MOMENT - CONTINUOUS BEAM / FIXED ONE END  $= M/10$   
 $\Rightarrow 56.5 \times 7.2^2 / 10 = 293$   $l_f = 225$



$$d = 425 - 20 - 10 - 12 = 383$$

$$b = 0.2(7600) + 300 = 1820$$

$$k = \frac{M}{f_y b d^2} = \frac{293 \times 10^6}{35 \times 1820 \times 383^2} = 0.03 \Rightarrow \rho_1 \rho_2 = 0.03$$

$$x = 0.19(383) = 50 \leq 0.9x = 50 \leq l_f$$

$$A_s = \frac{M}{0.87 f_{yk}} = \frac{293 \times 10^6}{0.87 \times 425 \times 91(383)} = 2274 \text{ mm}^2 \quad \text{5T25} \quad \text{2A50}$$

TOP STEEL SIMILAR TO MID SPAN AT CONTINUOUS SUPPORT...

USE MID SPAN  
5T25



CHECK SHEAR

REACTIONS AT SUPPORTS  $56.5 \times 7.2/2 = 203 \text{ kN}$

$$v = \frac{203 \times 10^3}{300 \times 383} = 1.77$$

$$0.8 \sqrt{f_{cu}} = 0.8 \sqrt{35} = 4.7 > 1.77 \text{ OK.}$$

TOP SUPPORTS  
USE 5T25



$$\frac{100 A_s}{b d} = \frac{100 \times 2450}{300 \times 383} = 2.13 \quad \text{TABLE 27} \quad \text{1 STRUCT \& MANUAL} \Rightarrow v_c = 0.88$$

$$A_{sv} = 300 \frac{150 (1.77 - 0.88)}{0.87 (250)} = 784 \text{ mm}^2 \quad \text{R12 @ } 2 \times 113 = 226$$

PROVIDE  
R12 - 150 cc  
lines.

CHECK SPAN / DEPTH RATIO.

BASIC  $l/d$  ratio = 18 one end fixed

Mod factor  $1/l_d^2 = 1.10 \Rightarrow$  Mod factor 1.35.

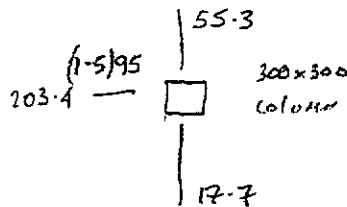
$$d = 383 = 18 \times 1.35 \times 383 = 9307 > 7200 \therefore \text{OK.}$$

RC COLUMN DESIGN.

WORST CASE COLUMN AT SIDE OF BREWERY / DISPLAY AREA

LOADING FROM ABOVE 95 kN

CASE BEAM  $56.5 \times 2.2 / 2 = 203.4$



$\frac{1}{2} 2.5 \times 2.5 \times 17.7$   
 $1 \times 1 \times 17.7 = 17.7$

COLUMN MOMENTS

$M_x = (55.3 - 17.3) \times \frac{300}{2} + 0.5(300) = 6.27$

$M_y = (203.4) \times \frac{300}{2} + 0.5(300) = 33.5$

$\frac{h'}{l'} = 1$

$\frac{M_x}{M_y} = \frac{6.27}{33.5} = 0.19 < 1$

$\frac{N}{bh f_{cu}} = \frac{203.4 + 55.3 + 17.7 + 1.5(95)}{300 \times 300 \times 35} = 0.13$

TABLE 32 1 STEEL E MANUAL  $\Rightarrow \beta = 0.85$

DESIGN MOMENT =  $33.5 + 0.85(6.27) = 38.8 \text{ kNm}$

$\frac{M}{bh^2 f_{cu}} = \frac{38.8 \times 10^6}{300 \times 300^2 \times 35} = 0.04$        $\frac{d}{h} = \frac{300 - 25 \times 10}{300} = 0.88$

$\frac{P f_y}{f_{cu}} = 0$        $\frac{d}{h} = 0.85$  CHECK 1 STEEL E MANUAL.

PROVIDE MIN. REINFORCEMENT. 0.4%

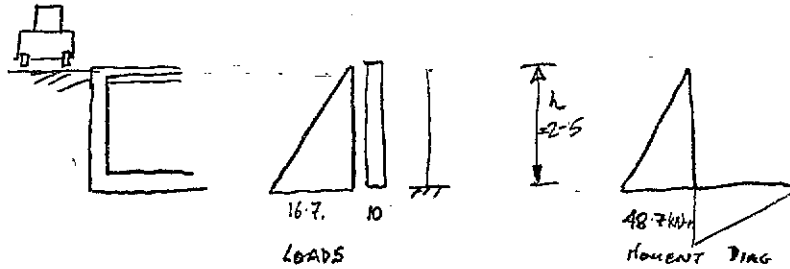
$\Rightarrow 0.004(300)^2 = 360 \text{ mm}^2$       PROVIDE 4 T16 (806 mm<sup>2</sup>)



USE 4T16  
R10 LINKS 300c/c

RC RETAINING WALL DESIGN.

ANALYSIS



FORCES ON WALL

$$P = k_a \gamma h \Rightarrow \frac{1}{3} 20 \times 2.5 = 16.7 \text{ kN/m}^2$$

$\gamma = 20 \text{ kN/m}^3$   
say.  
Take  $k_a = \frac{1}{3}$

TAKE SURCHARGE = 10 kN/m<sup>2</sup> FOR VEHICLE LOADS

MOMENT AT BASE.

$$16.7 \times 2.5/2 \times 2.5/3 + 10 \times 2.5 \times 2.5/2 = 17.4 + 31.3$$

$$= 48.7 \text{ kN-m}$$

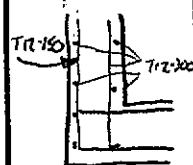
$$A_s = \frac{48.7 \times 10^6}{0.87 \times 425 \times (2.42) \times 9} = 604 \text{ mm}^2$$

$$d = 300 - 50 - 8$$

$$= 242$$

T12 - 150 (754)  
T12 - 300 (377)

TENSION FACE  
OTHER FACE  
+ LACERS



5.0 FOUNDATIONS

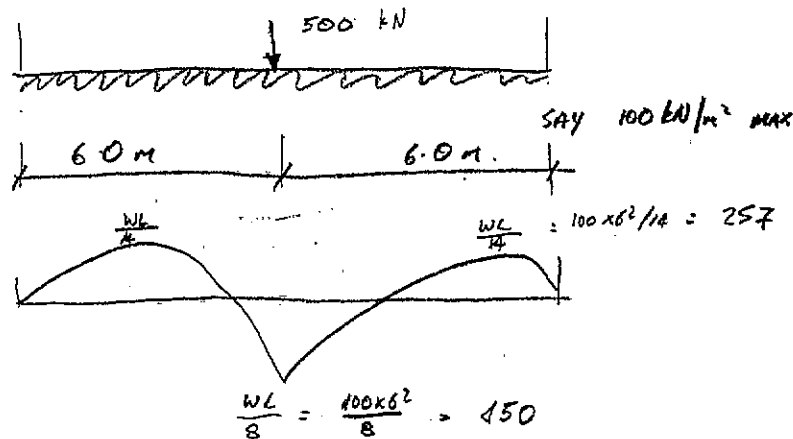
THE EXTENSION GENERAL COMPRISES OF IN. RL BASEMENT AND GROUND FLOOR WITH LIGHT WEIGHT STEEL ROOF STRUCTURE. THE R.L. STRUCTURE ACTS LIKE A BOX TO SPREAD THE LOADINGS TO THE SUB SOIL.

TAKING THE MOST HEAVILY LOADED COLUMN THE BASEMENT SLAB IS DESIGNED TO DISPERSE THE LOAD AS FOLLOWS. THE MAXIMUM PERMISSIBLE GROUND BEARING PRESSURE IS  $150 \text{ kN/m}^2$ .

LOADING ON COLUMN AT CENTER OF BASEMENT STORAGE:

ROOF	$(3+2.5)(3.5+3) \times 1.95$	69.7	
GROUND FLOOR	$(3+2.5)(3.5+3) \times 2.7/1.5$	422.0	
		<u>491.7 kN</u>	SAY 500

$d = 300 - 50 - 8$   
 $= 242$



Stn Reinforcement at Columns  $= 1.5 \times 450 \times 10^6 / 87 \times 425 \times 0.9 (242 + 300) = 3742 \text{ mm}^2$

PROVIDE T25-125c/c 3930 EACH WAY AT SLAB THICKENINGS

Top Reinforcement at Mid SLAB  $= 1.5 \times 257 \times 10^6 / 87 \times 425 \times 0.9 (242) = 4787$

T25-100 c/c 4910 EACH WAY.  
T16-200 B

APPENDIX 'A'



FOX'S COVERT, TALLAGHT

VIXENS DISCO BAR

SITE INVESTIGATION REPORT

FOR PROPOSED EXTENSION

2 No. Trial holes were excavated during October 1991. The trial holes were logged and the logs are given on the attached drawing No. KM/07/04.

Generally the holes showed a layer to firm/stiff clay 1.4m below ground level overlain by a layer of light brown, sandy gravelly dark brown clay. There was some water ingress into the 2.7m deep hole. There had been heavy rain during the day before the holes were excavated following a period of wet weather.

The firm stiff clay would be adequate to give a safe bearing pressure of 150 kN/m<sup>2</sup>.

The sides of the holes in the sandy gravelly clay tended to fall in. In order to construct a basement in this material pumping would be required to keep the excavations dry. Some shoring to excavated banks would also be required unless they are excavated to a shallow slope.

Signed,  
for Horgan Lynch & Partners



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MICHAEL SHORTALL

## CONCRETE SPECIFICATION

### 1.0 Concrete Work

The materials, labour and workmanship in and connected with the execution of the concrete work shall be the best of their kind without regard to any trade terms and the contractor shall employ a duly qualified person experienced in reinforced concrete construction to supervise the work. The quality of materials and the standard of workmanship for the reinforced concrete shall comply with the relevant clauses of BS 8110 Part 1 in regard to all requirements not otherwise described in this Specification.

### 2.0 Materials for Concrete

Fine and coarse aggregates shall conform to Irish Standard Specification No. 4 'Coarse & Fine Aggregates from Natural Sources for Concrete' except that the use of 'all-in' aggregates will not be permitted.

Coarse aggregate shall be washed gravel or crushed stone of 40mm or 20mm max. size.

Fine aggregate shall be washed sand of 4.5mm max size which can be combined with the coarse aggregate so as to give a combined aggregate grading which lies in the relevant grading zone of Road Note 4 (issued by the Road Research Laboratory).

#### Cement

"Portland cement used in concrete, shall be certified as complying with I.S.1:1963 as amended, in accordance with the Irish Standard Mark Licensing Scheme or approved equal Manufacturers' or suppliers' certificates of compliance with the Standard shall be provided when requested by the architect.

#### Water

Water for the work shall be of Potable quality.

The amount of water shall be measured by volume or by weight. Any solid admixtures to be added shall be measured by weight only, but liquid or paste admixtures shall be measured by volume or by weight.

The heads of immersion vibrators shall be sufficiently small to pass freely between the reinforcing bars. Vibrators shall not be applied via the reinforcement or embedded fixtures.

External vibrators shall be used in such a manner as to ensure efficient compaction without surface blemishes, hollows or bulges.

The concrete shall not be vibrated after setting has commenced and shall not be subsequently disturbed.

#### 5.0 Construction Joints

Construction joints shall be located in the positions shown on the drawings and the position and detail of any construction joints not described in the contract shall be subject to the approval of the Architect.

Longitudinal joints shall be provided by means of steel roar forms braced in true vertical alignment, with provision made for the dowels between pours.

In no case shall concrete be formed or run to a feather edge.

#### 6.0 Concreting in Cold Weather

All concreting work shall be entirely suspended when the temperature in the shade is below 2°C, and concrete shall not be mixed when the temperature in the shade is below 4°C.

The Contractor shall provide a maximum and minimum thermometer of approved design for the purpose of measuring the shade temperature of the outside air.

The temperature of concrete measured at the surface at the most unfavourable position shall not be less than 5°C at the time of placing. Any batch of concrete whose temperature as measured above falls below 5°C shall be removed from the site.

Subsequent to or during cold weather the water and aggregates used in the mix shall be free from snow, ice and frost. Formwork, reinforcement and any other surfaces against which fresh concrete is to be poured shall be free from snow, ice and frost and have a temperature within 2°C of the temperature of the fresh concrete.

Periods during which the air shade temperature remains below 3°C shall not be taken into account. Provided always that the minimum periods before striking are as in the above table, the actual times of striking shall remain the responsibility of the Contractor.

Where the Contractor can submit evidence that the performance of the structure will not be adversely affected by reducing the specified periods before striking, reduced striking times may be approved.

Re-propping shall not be permitted unless approval is obtained.

### 13.0 Classes of Concrete

Mixes for the various classes shall be denoted by the grade in N/mm<sup>2</sup> and maximum aggregate sized in mm, e.g. 30/20 denotes a grade 30 concrete with 20mm maximum aggregate size.

### 13.1 Minimum Cement Content for reinforced concrete.

The nominal cover to all reinforcement (including links) and minimum cement content to meet durability requirements shall be as follows :-

	Nominal Cover (to all Reinforcement)				
	mm	mm	mm	mm	mm
Mild	20	20	20	20	20
Moderate	-	40	30	25	20
Severe	-	-	40	30	25
Very Severe	-	-	50	40	30
Extreme	-	-	-	60	50
<b>Concrete Properties</b>					
Maximum free water/cement ratio	0.65	0.60	0.55	0.50	0.45
Minimum cement content (kg/m <sup>3</sup> )	275	300	325	350	400
Characteristic strength N/mm <sup>2</sup>	30	35	37.5	40	42.5

This table relates to normal weight aggregate of 20mm nominal maximum size.

Mildly exposed concrete shall be completely protected against weather, or aggressive conditions.

Moderately exposed concrete is defined as concrete sheltered from severe rain and against freezing whilst saturated with water. Buried concrete and concrete continuously under water shall be deemed moderately exposed.

Severe exposure is defined as exposure to driving rain, alternate wetting and drying and to freezing whilst wet, and subject to heavy condensation or corrosive fumes.

### 13.2 Maximum Cement Content

The cement content of concrete shall not be greater than 550 kg/m<sup>3</sup>

### 14.0 Placing Bending Reinforcement

All bar reinforcement shall be bent and cut in accordance with BS 4466. Particular care shall be taken to ensure that the radius of bend of reinforcement projects from concrete is not less than that specified in BS 4466.

Bars shall not be reshaped or rebent without the written permission of the Architect.

Reinforcement shall be accurately placed as shown on the drawings and secured against displacement by tying wire and shall be supported on an adequate number of small precast concrete blocks with tying wire cast in, or metal spacers or plastic spacers, or metal hangers.

All joints in round mild bar reinforcement shall have overlaps of at least 50 diameters of the smallest of the overlapping bars and in deformed high tensile bar reinforcement lapps of at least 40 diameters of the smaller of the overlapping bars.

Laps in fabric reinforcement shall be as follows:-

Oblong mesh : 450mm along longitudinal wires and 75mm along transverse wire.

Square mesh : 300mm both ways

Reinforcement shall not be surrounded by concrete unless it is free from mud, oil, paint, retarders, loose rust, loose mill scale, snow, ice, grease or any other substance which will affect adversely the steel or concrete chemically, or reduce the bond between steel and concrete.

All reinforcement shall be bent cold and no heating or welding will be permitted. When the temperature of the steel is less than 5°C, the speed of bending shall be reduced.

#### 15.0 Workability

Workability shall be determined by means of the slump test, compacting factor test or VB consistometer test. The contractor shall keep on site the necessary equipment in good working order for carrying out one of these.

A plasticizer additive shall not be used without the approval of the Architect.

Concrete with slumps greater than 50mm or a reading greater than 0.91 in the compacting factor test shall not be permitted.

#### 16.0 Formwork

All formwork whether of wood, metal or glass reinforced plastic shall in every respect be adapted to the structure and to the surface finish of the concrete. All formwork shall be fixed in perfect alignment and be securely braced to withstand displacement, deflection or movement of any kind, the weight of forces exerted by the wet concrete, the movement of persons, material or plant and the effects of mechanical vibrators. Notwithstanding approval by the Architect the strength and adequacy of the shuttering shall remain the responsibility of the Contractor.

Formwork defined as wrought shall be lined with an approved smooth non-absorbent lining, or rendered non-absorbent by means of polyurethane based paint or varnish.

All pipes, angles and inserts of any kind shall be firmly fixed to the formwork which shall be neatly and accurately cut around them.

#### 16.1 Joints in formwork

All joints shall be sufficiently close and tight to prevent the leakage of grout.

Joints in forms shall be horizontal or vertical, and perfect alignment of joint pattern shall be maintained consistent with the first pour of concrete. Where concrete is vibrated all joints are to be tongued and grooved or the boards shall have straight parallel edges planed perpendicularly to the board edge. If necessary joints are to be caulked or sealed with approved compound or material.

Where steel or glass reinforced plastic formwork is used all joints and holes in the formwork shall be sealed with tape and approved adhesive.

#### 17.0 Cast in Items and Holes

Anchor bolts for roof trusses and holding down bolts for portal frames shall be set accurately and templated and held firmly in position. During the placing of concrete the positions of all embedded shall be fully checked by an approved means to ensure the correct location. Holding down bolts in foundations shall be set with sleeves in accordance with the drawings to allow for minor adjustments.

All sleeves for pipes or other materials that pass through concrete shall be accurately set and securely held in position. Reinforcement shall not be relocated or cut. If reinforcement is found to clash with the position of any hole or sleeve the Architect shall be consulted. Sleeves shall be adequately blocked or filled with sand to prevent concrete from entering. No sleeve, pipe or chase shall intercept a structural member unless the member has been specifically designed therefore.

#### 18.0 Ground Floor Grade Slabs

Blinded hardcore shall be placed and compacted under floor slabs in thicknesses as detailed on drawings.

#### 18.1 Damp Proof Membrane

Before concreting begins blinding shall be cleaned down and levelled and covered with a layer of 1000 gauge polythene roll jointed at the edges.

Polythene shall be protected when laid and shall not be incorporated in the works if perforated in any way.

Polythene shall be turned up at the edges of slabs and placed under wall D.P.C.

Joints in floor slabs shall be constructed in accordance with the drawings. Joint fillers in isolation joints shall be synthetic inorganic rigid board.

Specified reinforcement meshes shall be placed so that they lie 50mm under the finished floor level when cast.

#### 18.2 Finish to Slab

Concrete floors shall be power float finished. Variations in level measured with a 2 metre long steel "Straight edge" shall not exceed 3mm.

Floors shall be laid and finished within rooms in a single operation so that an integral finish is achieved.

The slab shall be levelled, between screeds to a true level plane surface by means of screeding beams immediately after laying.



## STRUCTURAL STEELWORK SPECIFICATION

### 1.0 General

#### 1.1 Standards

Where standards are referred to the most recent editions of the standards shall be deemed to apply. Where a standard has been superseded the new standard shall be deemed to apply.

1.2 Notwithstanding the following, all steelwork shall be fabricated and erected in accordance with the National Structural Steelwork Specification for Building Construction published by the B.C.S.A.

### 2.0 Materials

#### 2.1 Steelwork

Materials shall be mild steel to conform to BS 4360 or approved equal.

#### 2.2 Welding

Metal arc welding shall be in accordance with BS 5135 or approved equal.

2.3 Electrodes for welding shall comply with BS 639.

#### 2.4 Nuts and Bolts

Unless otherwise shown Bolts and Nuts shall be black bolts and nuts to BS 4190 or approved equal. Bolts with designation 8.8 shall be used. Tapered washers to tapered surfaces shall comply with BS 3410 or approved equal.

2.5 Steelwork Rolled Sections shall conform to BS 4.

2.6 Grade 43 steel shall be used throughout.

2.7 All steelwork shall be free from laminations edge defects and inclusions.

### 3.0 Workmanship

#### 3.1 Shop Drawings

The steelwork contractor shall prepare and submit two copies of shop drawings for approval at least three weeks before required fabrication work is due to commence.

#### 3.2 Erection Programme

A programme for the erection of the works shall be prepared and submitted by the contractor on appointment for the execution of the work.

#### 3.3 Tolerances (To be in accordance with B.C.S.A. publication listed in 1.2)

The permissible dimensional deviations for structural steel elements above foundations are summarised as follows:

For any nominally horizontal surface measured from the nearest reference level  $\pm 10\text{mm}$ .

For any nominally vertical surface measured from the nearest level  $\pm 10\text{mm}$ , maximum allowable deviation of the top of column relative to base (out of plumb) is storey height/600.

#### 3.4 Quality Control

A provisional sum is included for testing and such tests as are required shall be carried out by an approved body. The contractor will be required to provide attendances for testing.

3.5 All steel is to be fabricated in accordance with BS 449.

3.6 The contractor shall give one week's notice of commencement of steelwork fabrication.

### 3.7 Cleat Projections

Cleats shall be fixed to project 3mm beyond the end of simply supported members.

### 3.8 De-Burring

All burrs and sharp arises shall be removed.

### 3.9 Splicing

Splices shall not be used except where shown on the drawings.

3.10 Each element of fabricated steelwork shall be marked in accordance with an assembly drawing before delivery to site.

## 4.0 Erection

4.1 All structural steelwork shall be erected in accordance with BS 449.

### 4.2 Flame Cutting

Flame cut edges which will be subjected to substantial stress or which are to have weld metal deposited on them shall be reasonably free from gouges. Occasional notches or gouges not more than 3mm deep shall be permitted. Gouge marks greater than 3mm that remain from cutting shall be removed by grinding. All re-entrant corners shall be shaped to a radius of at least 15mm. Flame cutting equipment shall not be used on site without prior approval.

4.3 The lengths of tack welds which shall be incorporated in the finished work shall be not less than four times the thickness of the thicker plate or 50mm, whichever is the smaller.

### 4.4 Qualification of Welders

All welders shall hold an approved proficiency certificate or approved qualification, appropriate to the class of work on which they are to be engaged. Copies of proficiency tests shall be supplied on request. Where proficiency certificates are not available a welder's competence shall be ascertained by some other agreed method.

#### 4.5 Bolting

Drift holes which are one third diameter or more off centre shall not be used.

#### 4.6 Washers

Washers are to be placed under black bolts and nuts of all bolts connecting metal coated steel.

### 5.0 Protection of Steelwork

#### 5.1 Generally

The references in brackets in clauses in this specification are to numbers of clauses and sub-clauses in British Standard Code of Practice BS5493 - Protective Coating of Iron and Steel Structures against corrosion. The recommendations of any clause or sub-clause so referred to are requirements of this specification.

All stages of preparation and protection of the works shall be carried out in workshops with suitable lighting, heating and ventilation and in accordance with Cl. 22.26.

All steelwork surfaces shall be blast cleaned to remove all millscale, rust and other contaminations to a minimum standard of SA2-1/2 according to Swedish Standard STS055900.

The abrasive used during blast cleaning shall be steel, malleable iron or chilled iron shot of a grading suitable to give a maximum surface amplitude of 100 microns.

All surface defects likely to be detrimental to the protective system, such as cracks, surface laminations and deep pitting, shall be removed in accordance with BS 4360. Fabrication surface defects, such as fins at saw cuts and burrs, shall be similarly removed.

All dirt and debris shall be removed from surfaces after blasting by vacuum cleaner, airline or brush. If any residues are trapped in the paint, the affected area shall be reblasted and recoated.

After blast cleaning, tests shall be made to detect soluble rust-producing salts, in accordance with Appendix 'G' BS5493 and, if found to be positive, the steel shall be cleaned with a suitable solvent and washed with clean warm water and then dried immediately using hot air.

All shop weld areas and shop bolted or riveted connections shall be blast cleaned to the same standard as adjacent steel. All weld slag and spatter shall be removed.

Blast cleaned surfaces shall be overcoated as soon as possible after cleaning, but in any event within four hours from the start of cleaning, and the steel shall be kept indoors in a clean, dry, controlled environment during this period.

## 5.2 Secondary Painting Preparation

Any contamination of the treated steelwork surface shall be removed before further protective coatings are applied. Where spirit or naphtha may be used to clean the steelwork followed by scrubbing with a 22% solution of Teepol and a thorough rinsing with clean water.

Where the contamination (e.g. oil or grease) cannot be removed completely by white spirit or naphtha, a suitable solvent shall be obtained from the paint manufacturer and used, followed by scrubbing and washing as above.

Where the surface has become dirty, as opposed to contaminated, or has been exposed in the open for more than two days, it shall be scrubbed down with a 2% solution of Teepol and hosed with clean water.

## 5.3 Removal of Zinc Salts

Where zinc coatings, whether flame-sprayed, hot-dip galvanised or zinc-rich paints, have been exposed to the weather for more than one week they shall be wired brushed and washed with clean, warm water to remove the zinc salts formed, before coatings.

## 5.4 Drying

Paint shall not be applied to wet or damp surfaces.

## 5.5 Ambient Conditions (23.2) (23.3) (23.4)

The ambient conditions during painting shall be such as to ensure that there is no condensation on the steel and that the temperature and humidity are suitable for the application of the particular paint (see manufacturer's instructions).

#### 5.6 Inaccessible Areas

Areas of steel inaccessible after erection shall be treated during fabrication and erection so that they receive the full treatment specified.

#### 5.7 Paint Application (22.2.6)

Paints shall be applied by the methods stated in accordance with the manufacturers instructions, so as to give an even, uniform coating.

#### 5.8 Strip Coats (18)

An extra strip coat of primer shall be applied to all edges and corners of steelwork which will be exposed externally in the finished structure.

#### 5.9 Minimum Dry Film Thickness (19)

Each coat of paint shall be applied at a spreading rate to give the required minimum dry film thickness.

#### 5.10 Drying & Overcoating Period

The maximum and minimum overcoating period and drying periods before exposure to weather or to being transported shall be those stated by the paint manufacturer.

#### 5.11 Remedial Work (32)

Any damaged areas of paint shall be cleaned and made good within 14 days, to a standard equivalent to that of the adjacent paintwork. If damage has exposed parent metal local reblasting may be required to prepare the steel for remedial painting. The maximum time lag between cleaning steel and applying primer shall be not more than two hours.

#### 5.12 Standard of Protection to Connections

Joints shall be painted with the specified materials to give the standard of protection achieved on adjacent steel. Strip coats shall be used, particularly to seal all edges of steel and gaps between adjacent steel surfaces.

Preparation Specification A

5.13 Concrete Encased Steelwork & Steelwork to be Fire Encased

All steelwork which is to be encased in concrete shall be blast cleaned and left unpainted.

5.14 Site Welds (25.4)

Site welds, if used, and adjacent areas shall be cleaned to remove all welding slag, spatter and flux residues by chipping, blast cleaning and washing before painting commences.

5.15 Cleaning of Jointing Bolts (25.2)

Bolted joints shall be thoroughly cleaned to remove all oils and grease, before painting.

Plated bolts and nuts shall be primed with an etch primer suitable for use on the particular type of surface.

5.16 Paint Specifications

5.16.1 Preparation Specification B Steelwork - Internal

Blast Primer

Immediately after shot blasting apply a zinc rich 2 pack epoxy coating of approved manufacture to a D.F.T. of 50 microns.

Shop Primer

Prior to fabrication apply a zinc rich 2 pack epoxy coating of approved manufacture to a D.F.T. of 50 microns.

Total minimum D.F.T. to be applied 100 microns.

5.16.2 Preparation Specification C Steelwork - External

Steelwork to be prepared, cleaned and hot dip galvanised to BS 729 to give a minimum coating of 610 g/m<sup>2</sup> of zinc.

## DRAINAGE SPECIFICATION

### Generally :

Drains generally shall be carried out in accordance with B.S. 8301 and B.S. 8000 Part 14.

Drains shall be laid to true and even gradients to falls approved by the Architects and excavations shall not be filled in until drainage system has been tested and approved by the Architects and Local Authority.

### Setting Out :

The Contractor shall be responsible for the true and proper setting out of the Works, for the correctness of the position, levels, dimensions and alignment of all parts of the Works and for the provision of all necessary instruments, appliances and labour in connection therewith. The checking of any setting out or any line or level by the Architect or the Architects representative shall not in any way relieve the Contractor of his responsibility for the correctness thereof and the Contractor shall carefully protect and preserve all bench marks, site rails, pegs and other things used in the setting out of the Works.

### Laying and Joining of Pipes :

The contractor shall set up and maintain bench marks on the site. Sight rails shall be set up for all lines of drains. Sight rails shall be of wrought deal at least 150 X 25 securely fixed to two substantial uprights firmly driven into the ground. Sight rails shall be erected not more than 50m apart and at each change of gradient line and level.

Pipes shall be laid true to line and level, each pipe being separately boned between sight rails.

All pipes shall be laid with the whole of the barrel of the pipe evenly and solidly supported by the bedding material with shaped holes to receive sockets or jointing collars.

Pipes shall be bedded, haunched and surrounded in Grade 20 concrete where shown on the drawings or directed by the Architect.



Completed pipelines shall have a smooth internal bore free from lipped joints, jointing or other material. Concrete stormwater pipes shall comply with B.S. 556 spigot and socket.

Cast iron foul sewer pipes shall comply with B.S. 4622.

P.V.C. Pipes & Fittings :

P.V.C. pipes shall be unplasticised P.V.C. pipes and shall comply with B.S. 4660.

Access Covers & Frames :

Access covers and frames shall comply with B.S. 497.

Refilling Trenches :

Except where special backfill material is specified trenches shall be refilled with approved excavation material.

The initial layer of backfill material shall be free from stones, shall not be thrown directly onto the pipes but shall be carefully placed and compacted in thin layers by hand up to 300mm above the top of the pipe or special surround.

Backfill around pipes, including concrete or other special materials, shall be carefully packed under and around the pipes.

Filling above the initial layer shall be deposited and compacted in layers not exceeding 230mm loose depth to a dry density not less than that of the adjoining soil.

Mechanical appliances may be used for compaction of the backfill above the initial layer, providing the appliance is suitable for the conditions and will not damage or displace the pipes.

Maintenance of Drainage during construction :

During construction and on completion all drains, manholes, catchpits and gullies shall be kept clean and free from accumulation of silt etc. Any drain, pipe, manhole, catchpit or gully which cannot be cleaned shall be replaced at the Contractors cost.

### Connections to Existing Sewers and Drains :

Where pipes are to be connected to existing manholes, channels shall be formed in benching, the chamber walls cut at the correct levels and the new pipes built in together with any backdrops necessitated by the difference in level of the existing and new pipes.

Where a new manhole is to be constructed on an existing sewer the Contractor shall allow for locating the sewer and checking its level before commencing to construct the drain run to be connected thereto.

When working in existing drains and watercourses the Contractor shall provide for dealing with existing flows to enable the new work to be properly completed.

### General Excavation for Pipe lines, Manholes Chambers etc.

Except where headings are specified, permitted or otherwise ordered, the ground shall be excavated to the lines and depths shown on the drawings or to other such lines and depths directed in writing by the Architect.

Trenches shall be of sufficient width to enable the pipes to be properly laid and jointed. Excavations taken out to a greater depth than necessary shall be filled to the required level with Grade 14 mix concrete at the Contractors expense. When a concrete bed or surround is required to the pipeline, manhole etc. the excavation shall be taken out to the overall dimensions of the bed or surround in the case of pipelines up to a level of 300mm above the top of the pipe, in case of a manhole etc., up to finished ground level.

### Supports for Excavation :

The sides of the pits, trenches and other excavations shall be adequately supported by timber and other approved means where necessary. The excavations shall be of sizes sufficient to provide the required space inside the supports.

The contractor shall take all precautions including any necessary shoring and propping etc., to ensure the safety of adjoining structures and property of all kinds.

Water in Trenches :

Trenches shall be kept free from water and shall be shaped to prevent any accumulation of water either in or adjoining the excavations or the spoil there from. The contractor shall provide any temporary drains, sumps, pumps, etc., that may be necessary and shall at all times during the contract prevent silt, oil or other contaminating material being discharged into existing or completed drains watercourses or soakaways. Catchpits or other means necessary to comply with this requirement shall be provided and kept clean by the contractor at his own cost.

Drains under building :

Drains laid under buildings shall have at least three flexible joints between each point where the pipeline is built into and supported by the structure. Concrete surround shall be formed to permit flexible joints.

Temporary Stoppers :

The open ends of drain runs and junctions shall, unless work is proceeding, be fitted with expanding stoppers. The position of all such ends of pipes shall be clearly defined by stakes and labelled.

Temporary drainage on the site shall not be connected to new sewers unless adequate measures have been taken to prevent the discharge of silt, oil or other contaminating material.

Testing of Jointed Pipes :

A water test shall be applied to all jointed pipe runs before the pipes are covered, and again after completion of all works. Any defect at either test shall be located and made good at the Contractors expense.

Each length shall maintain a minimum of 1.5m head at the highest point for a minimum of ten minutes.

Specification for P.V.C. Waterstops :

All joints so designated on the drawings are to incorporate Expandite Polyvinyl Chloride Waterstops type 250mm supercast Hydrofoil at all expansion joints and type 250mm supercast Watafoil at all construction joints, complete with all necessary moulded or pre-instructions. Jointing other than be welding will not be permitted.

The waterstops are to be installed so that they are securely held in their correct position whilst the concrete is placed. The concrete must be fully and properly compacted around the waterstops to ensure that no voids or porous areas remain. Where reinforcement is present, adequate clearances are to be left between this and all waterstops to permit proper compaction of the concrete. No holes are to be made through any waterstop. Waterstop to be tied up to reinforcement using the eyelets provided, with galvanised gying wire.

MARGARETS PARK

MALAHIDE

CO. DUBLIN

Tel 450762 / 450154 Fax 450762

P. & A. Lavin Associates,  
Architects,  
49, Raglan Road,  
DUBLIN 4.

5th December 1991.

Ref: Bye Law requirements for expansion of The Foxes Covert, Tallaght.

Dear Sirs,

With regard to the above project, we are making the provisions noted below within the engineering services designs.

Ventilation.

The main area will be ventilated to a maximum level of 27,000 cubic meters per hour, which represents 15 air changes per hour within the space. The heating will be incorporated in this system.

All toilet areas will be mechanically ventilated to a minimum of 5 air changes per hour, with a totally separate system. Passive air intake will be provided into the lobbies of the toilets.

All other internal rooms such as stores etc. will also have mechanical ventilation of a minimum of 3 air changes per hour.

All sections relevant to Ventilation in the 'Proposed Building Regulations' will be complied with.

Water Supply and Storage.

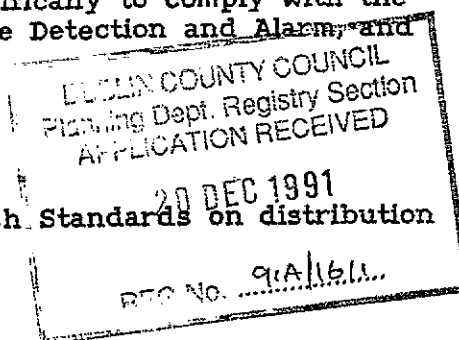
New water storage tanks will be installed, with a total capacity of a minimum of 4,000 litres. This has been calculated as a 24 hour supply to the number of sanitary fittings in the new toilets, plus some to spare, in accordance with British Standard Code of Practice C.P.310.

Fire Precautions.

The installation of Building Services will be designed to satisfy the requirements of the Fire Officer, and specifically to comply with the following Standards. I.S. 3217, Fire Detection and Alarm, and I.S.3218, Emergency Lighting.

Gas Installation.

Gas supplies will comply with the new Irish Standards on distribution



pipework and equipment, I.S. 807, I.S. 3212, and I.C.P. 4.

Electrical Installation.

The modifications and additions to the Electrical installation will comply with the requirements of the E.T.C.I., The I.E.E. Wiring Regs, and all requirements of the E.S.B.

The above information should be comprehensive, and sufficient for the application for Bye Law compliance that you intend making in the near future. If there is any more information, or query that you may have, please come back to us .

Yours sincerely,

J.G.Evans.

A handwritten signature in cursive script, appearing to read 'J.G. Evans', with a long horizontal flourish extending to the right.



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Fergal MacCabe,  
Architect & Town Planner,  
40 Fitzwilliam Place,  
Dublin 2.

Our Ref. 91A/1611  
Your Ref.  
Date 6 December 1991

Re: Proposed extension to "Vixens" Disco Bar, rear Main Street/Old Bawn Road and for an advertising sign at Tallaght By-Pass, Tallaght for Southside Taverns Ltd.

I, the undersigned, hereby acknowledge receipt of Notification of Decision, dated 6 December 1991, in connection with the above.

Signed: \_\_\_\_\_

On behalf of:

(Name)

D. Muller

(Address)

40 Fitzwilliam Pl.  
D. 2.

I hereby certify that the above Notification, dated 6 December 1991, was handed by me to the above signed today.

SIGNED:

Mary Murphy

DATED:

06.12.91

# DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,  
BLOCK 2,  
IRISH LIFE CENTRE,  
LR. ABBEY STREET,  
DUBLIN 1.

## Notification of Decision to Grant Permission/~~Approval~~

Local Government (Planning and Development) Acts, 1963-1983

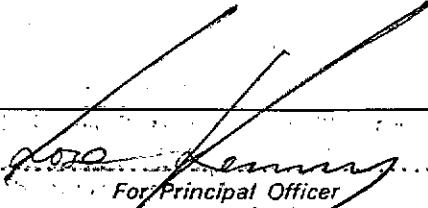
To **Fergal MacCabe,** Decision Order P/5506/91 - 6.12.1991  
..... Number and Date .....  
**Architect & Town Planner,** 91A/1611  
..... Register Reference No. ....  
**40 Fitzwilliam Place,** Planning Control No. ....  
..... Dublin 2. 09.10.1991  
..... Application Received on .....  
Applicant **Southside Taverns Ltd.** Floor Area: 805 sq. m.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/~~Approval~~ for:-  
**Proposed extension to "Vixens" Disco Bar, rear Main Street/Old Bawn Road and for an advertising sign at Tallaght By-Pass, Tallaght for Southside Taverns Ltd.**

### SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.	2. In order to comply with the Sanitary Services Acts, 1878-1964.
3. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.	3. In the interest of safety and the avoidance of fire hazard.
4. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development. In this regard, ladies toilet facilities to be in accordance with the Supervising Environmental Health Officer's requirements.	4. In the interest of health.

Signed on behalf of the Dublin County Council

  
For Principal Officer

6th December, 1991.

Date

**IMPORTANT: Turn overleaf for further information**



CONDITIONS

REASONS FOR CONDITIONS

5. That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

5. In order to comply with the Sanitary Services Acts 1878-1964.

6. That all external finishes harmonise in colour and texture with the existing premises.

6. In the interest of visual amenity.

7. That no music or other amplified sound shall be broadcast from the premises proposed in such a manner as to cause nuisance to the occupants of adjoining/nearby premises.

7. In the interest of residential amenity.

8. That exact finish and materials of all signage be agreed in writing with the Planning Authority prior to commencement of development and that the high triangular advertising sign close to the Tallaght By-Pass be eliminated from the development.

8. In the interest of visual amenity.

9. That the existing trees in the car park area be retained and adequately protected throughout the development.

9. In the interest of the proper planning and development of the area.

10. That details of landscaping, including planting, paviour setts and other features be submitted to and agreed in writing with the Planning Authority prior to the commencement of development.

10. In the interest of the proper planning and development of the area.

11. That colours of aluminium glazing bars and other external finish be agreed in writing with the Planning authority prior to commencement of development.

11. In the interest of visual amenity.

12. That the land shown as "provisional overspill" on Drg. No. 9002/3P shall be retained free from development and shall be marked out and used as a car park when required by the Planning Authority.

12. In the interest of the proper planning and development of the area.

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—  
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

# DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,  
BLOCK 2,  
IRISH LIFE CENTRE,  
LR. ABBEY STREET,  
DUBLIN 1.

Notification of Decision to Grant Permission/~~Approval~~

Local Government (Planning and Development) Acts, 1963-1983

To	Fergal MacCabe,	Decision Order	P/5506/91 - 6.12.1991
	Architect & Town Planner,	Number and Date	
	40 Fitzwilliam Place,	Register Reference No.	91A/1611
	Dublin 2.	Planning Control No.	
		Application Received on	09.10.1991
Applicant	Southside Taverns Ltd.	Floor Area:	805 sq. m.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/~~Approval~~ for:-

Proposed extension to "Vixens" Disco Bar, rear Main Street/Old Bawn Road and for an advertising sign at Tallaght By-Pass; Tallaght for Southside Taverns Ltd.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
<p>13. That a financial contribution in the sum of £6500. be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.</p> <p>NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.</p>	<p>13. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.</p>

Signed on behalf of the Dublin County Council

*For Principal Officer*

6th December, 1991.

Date

IMPORTANT: Turn overleaf for further information

CONDITIONS

REASONS FOR CONDITIONS

**NOTE:**

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—  
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1.

Issue of this receipt is not an  
adgement that the fee  
tendered is the prescribed application  
fee.

N 51006  
Balance

€180.00

PAID BY  
CASH  
CHEQUE  
M.O.  
B.L.  
I.T.

Received this 29th day of October 19...

from Southside Taverns Ltd

the sum of one hundred and eighty Pounds

fee on 91A/1611

John O'Shea

S. GAREY  
Principal Officer

40 Fitzwilliam Place  
Dublin 2 Ireland  
Telephone (01) 762594  
Fax (01) 762310

Architect  
and Town Planner

**Fergal MacCabe**

BArch DipTp MRIAI MPI

The Principal Officer,  
Dublin County Council,  
Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
DUBLIN 1

RE Proposed extension to 'Vixen's' disco bar and advertising sign  
at rear Main Street/Old Bawn Road, Tallaght (91A/1611)

Date 23rd October 1991

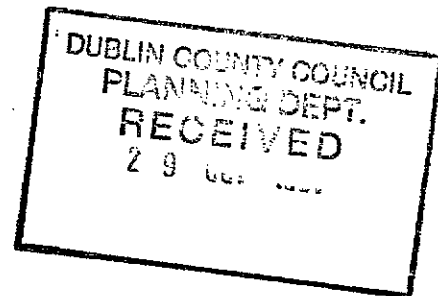
Ref

FMacC/613

Dear Sir

Further to your letter of the 16th October 1991, I enclose  
herewith an additional sum of £180.00 in respect of  
planning charges.

Yours faithfully



A handwritten signature in cursive script, appearing to read "Fergal MacCabe".

Fergal MacCabe

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach lacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/1611

Date : 10th October 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Extension to "Vixen" Disco Bar and an advertising sign

LOCATION : Rear Main Street/Old Bawn Road (ext.); Tallaght  
By-Pass Tallaght (sign).

APPLICANT : Southside Taverns Ltd

APP. TYPE : PERMISSION

With reference to the above, I acknowledge receipt of your application received on 9th October 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Fergal MacCabe, Architect,  
40 Fitzwilliam Place,  
Dublin 2.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place / in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building ..... 'Vixens' Disco Bar, rear Main Street/Old Bawn Road .....  
(If none, give description ..... and Tallaght By-Pass, Tallaght, Co Dublin .....  
sufficient to identify).....

3. Name of applicant (Principal not Agent) ..... Southside Taverns Limited .....  
Address ..... 'The Foxe's Covert', Main Street, Tallaght, Co Dublin ..... Tel. No. 515544

4. Name and address of ..... P. & A. Lavin & Associates, Architects, .....  
person or firm responsible .....  
for preparation of drawings ..... 49 Raglan Road, Ballsbridge, Dublin 4 ..... Tel. No. 687922

5. Name and address to which ..... Fergal MacCabe, Architect & Town Planner, .....  
notifications should be sent ..... 40 Fitzwilliam Place, Dublin 2. Tel: 762594

6. Brief description of .....  
proposed development ..... Extension to Vixens Disco Bar and an advertising sign.

7. Method of drainage ..... Mains ..... 8. Source of Water Supply ..... Mains

9. In the case of any building or buildings to be retained on site, please state:-  
(a) Present use of each floor ..... Disco Bar/Public House ..... 1448.75 ..... 9/10  
or use when last used .....  
(b) Proposed use of each floor ..... N 50857

10 Does the proposal involve demolition, partial demolition ..... NO  
or change of use of any habitable house or part thereof? .....  
650

11.(a) Area of Site ..... 650 ..... Sq. m.  
(b) Floor area of proposed development ..... 805 ..... Sq. m.  
(c) Floor area of buildings proposed to be retained within site ..... 1626 ..... Sq. m.

12.State applicant's legal interest or estate in site ..... Freehold  
(i.e. freehold, leasehold, etc.) .....  
21/9/91

13.Are you now applying also for an approval under the Building Bye Laws?  
Yes  No  Place  in appropriate box.

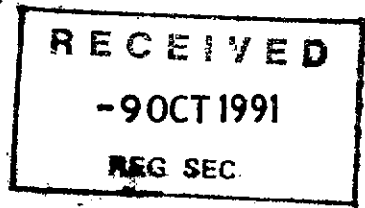
14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:  
It is the practice of this office to take account of the Draft Building Regulations as issued by the Minister for the Environment in the design of buildings but this is not  
15. Documents enclosed with ..... OVER  
a) CO. DUBLIN Southside Taverns Ltd. are applying for permission for an extension to 'Vixens' Disco Bar, rear Main Street/Old Bawn Road and for an advertising sign at Tallaght By-Pass, Tallaght. Site location, site plan, plans and elevations, Drg no  
9002/3P

16.Gross floor space of proposed development (See back) ..... 805 ..... Sq. m.  
No of dwellings proposed (if any) ..... Class(es) of Development ..... 4 and 9  
Fee Payable £ 1448.75 Basis of Calculation 805 x £1.75 + £40  
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) ..... Fergal MacCabe ..... Date 9 Oct 91

Application Type ..... P  
Register Reference ..... 91A/161  
Amount Received £ .....  
Receipt No ..... 21-12  
Date .....

FOR OFFICE USE ONLY  
2 12.0



14/ to be interpreted as a guarantee that the provisions of the Draft Building Regulations have been implemented in full or in any particular respect in this proposal.

**LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.**

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
  2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
  3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
    - (a) The address of the structure or the location of the land.
    - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
    - (c) The name of the applicant.
- NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
  5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
    - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
    - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
      - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
    - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
  6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/ Commercial Purposes	£3.50 per m <sup>2</sup> (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.



RECEIPT CODE

# COMHAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL

PAID BY

46/49 UPPER O'CONNELL STREET  
DUBLIN 1

Issue of this receipt is not an acknowledgment that the fee tendered is the prescribed application fee.

N: 50857

CHEQUE

Received this

from

the sum of

Pence being

Pounds

S. CAREY CLERK

Practical Office

40 Fitzwilliam Place  
Dublin 2 Ireland  
Telephone (01) 762594  
Fax (01) 762310

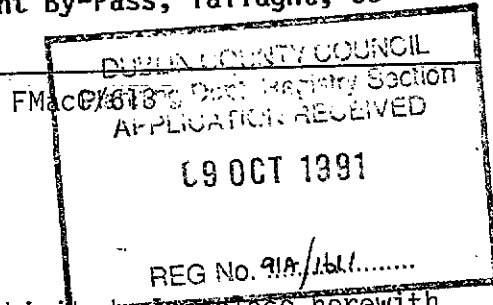
Architect  
and Town Planner

**Fergal MacCabe**  
BArch DipTp MRIAI MPI

The Principal Officer,  
Dublin County Council,  
Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
DUBLIN 1

RE Proposed extension to 'Vixens' disco bar, rear Main Street/Oldbawn Road and for an advertising sign at Tallaght By-Pass, Tallaght, Co Dublin

Date 8th October 1991



Dear Sir

On behalf of my clients Southside Taverns Limited, I enclose herewith documents in connection with my application for permission for the above.

In considering this proposal, I would be grateful if you would take into mind the following comments:-

(a) The development of these lands which are included in the designated area of the Urban Renewal Act must be completed before the withdrawal of the tax incentives available. At present, two unimplemented permissions exist - one for three retail units and an office (91A/779 granted on the 21st August 1991) and the other - the erection of neighbourhood shops and offices (90A/1198) granted by the Bord on appeal on the 9th May 1991. These permissions will shortly be implemented.

(b) To date however apart from the AIB Bank on the corner, the uses which occupy the site i.e. Foxe's Covert, Vixens and the bowling alley are principally night time or lunch time uses. To serve these a substantial (261 space) car park is available.

(c) My client has carried out surveys on the 17-20th May 1990 and 9th-15th April 1991 whose results I attach and both indicate that the most intensive period of car park usage occurred only during the last hour in the upper car park relating to Foxe's Covert and Vixens on Wednesday 10th April which was an unusual time during a competition. The lower car park on the other hand even at its peak, never reached 50% occupancy.

(d) As this area is assuming the character of the principal location of leisure activities in the Tallaght area, I submit that such an extension is in accordance with the objective of the Draft Development Plan relating to these lands.

**Fergal MacCabe**  
BArch Dip.Tp MR.IAI.MPIDUBLIN COUNTY COUNCIL  
Planning Dept. Advisory Section  
APPLICATION RECEIVED

09 OCT 1991

REG No. 91A/1611

(e) It would appear therefore that there is substantial surplus space available in the existing off-street car parking provision which can permit further night time facilities. Thus, the proposal accords with the provisions of paragraph 3.13.8 of the current Plan and 3.60 vi of the published Draft Written Statement. I attach herewith a Table showing the off-street parking standards required to comply with the County Development Plan standards.

(f) Both of the unimplemented existing permissions (which are largely daytime uses) are based upon the adequacy of existing car parking (as referred to the First Schedule of the Bord's permission on 90A/1198) or else provide their own new facilities so that the proposal, which is exclusively a night time use, will not conflict with their parking needs.

(g) The potential overspill car park in the south east of the site is not offered in respect of this application but being within the applicant's control is available as a reserve area in the event of overspill, as of course would be the potential for kerb side parking on one side of the internal access road.

(h) It is my client's view that the actual low level of car parking associated with the night time uses, reflects the central location of the Foxe's Covert and Vixens and the arrival of customers either on foot or by bus, rather than a reliance on car borne transport and that this pattern will repeat itself in the proposed extension to Vixens with consequent little demand on car parking facilities.

(i) As may be seen, the proposed development represents a filling out of the irregular shape of the present Foxe's Covert/Vixens and I suggest that its architectural treatment will be a visual improvement. The new yards and stores will improve the quality of the existing premises also.

(j) Space has been reserved for the possibility of providing a small in-house brewery which would be a feature of the premises. The details of this proposal have not yet been formalised and I would ask that for the purpose of this application the area described as "brewery display area" be treated as storage space as it will not be devoted to net public area. In the event that a separate permission is needed for this use, the appropriate application will be made to the Planning Authority.

**Fergal MacCabe**  
B Arch Dip Tp MRJAI MPT

(k) I would point out that the only signs erected so far relating to these lands are on the Main Street frontage and no signage whatsoever has been proposed on the Oldbawn Road or Tallaght By-Pass frontage which is the direction in which the entire development faces. For this reason, I suggest that the advertising structure proposed is timely, reasonable and essential to indicate the nature and existence of this extensive development.

Finally as the proposal will provide additional leisure facilities for the Tallaght area, I would be grateful for the permission sought.

Yours faithfully

DUBLIN COUNTY COUNCIL  
Planning Dept. Planning Section  
APPLICATION RECEIVED  
19 OCT 1991  
REG No. 91A/1641.....

*Fergal MacCabe*  
Fergal MacCabe

**CAR PARKING PROVISION  
FOXES COVERT/VIXENS**

(11/9/91) → Lounges separated.

29 August 1991

DUBLIN CITY COUNCIL  
Planning Department Section  
APPLICATION RECEIVED  
**09 OCT 1991**  
REG No. 91A/161/.....

	EXISTING		PROPOSED		
	Area	No of cars	Area	No of cars	
Foxes Covert Bar/Lounges (2 cars/8m2)	388 nett	97	394 nett	98	
Vixens Dancing (3 cars/10 m2)	253 nett	76	270 nett	81)	550 total in Vixens (metres 2)
Lounges (2 cars/8m2)	1. In Disco 2. Functions	-	139 nett 141 nett	70)	
Offices (4 cars/100 m gross)	223 nett	9	223 nett	9	
Off Licence (5 cars/100m2 gross)	60 nett	3	60 nett	3	
<b>TOTALS</b>	924 m2	185 spaces	1229 m2	261 spaces	

**NOTE:** 19 existing car parking spaces will be eliminated by the provision of the new extension = 95 new spaces to be provided.

Entrance lobbies, stores or brewing areas are not included in these calculations.

All figures marked "Nett" include public areas only and usable office space, toilets, stores etc have been excluded.

1990

AM/FW

TABLE 1

THE FOXES COVERT TALLAGHT

SCHEDULE OF PARKING

DATE AND TIME      THE FOXES COVERT SECTION (78 available)      TALLAGHT SPORTSBOWL SECTION (183)

	NUMBER OF CARS	NUMBER OF CARS
<u>THURSDAY 17 MAY</u>		
12.00 - 1.00 p.m.	38	12
1.00 - 2.00 p.m.	58	15
2.00 - 3.00	29	11
7.30 - 8.30	51	11
8.30 - 9.30	51	14
9.30 - 10.30	64	15
10.30 - 11.30	74	18
<u>FRIDAY 18 MAY</u>		
12.00 - 1.00	34	14
1.00 - 2.00	55	23
2.00 - 3.00	39	21
5.30 - 6.30	38	16
7.30 - 8.30	29	22
8.30 - 9.30	34	28
9.30 - 10.30	55	38
10.30 - 11.30	71	27
<u>SATURDAY 19 MAY</u>		
12.00 - 1.00	21	13
1.00 - 2.00	28	16
2.00 - 3.00	36	18
7.30 - 8.30	9	28
8.30 - 9.30	40	27
9.30 - 10.30	50	31
10.30 - 11.30	42	21
<u>SUNDAY 20 MAY</u>		
12.30 - 1.30	68	15
1.30 - 2.30	68	15
7.30 - 8.30	32	18
8.30 - 9.30	46	22
9.30 - 10.30	62	25
10.30 - 11.30	80	16

SURVEY AT FOXES' COVERT CAR PARK

NUMBER OF CARS - HOURLY CHECK

CAR PARK NUMBER 1 - (UPPER CAR PARK AT FOXES COVERT)

A.M.

DATE	A.M.			P.M.												1.00
	10.00	11.00	12.00	1.00	2.00	3.00	4.00	5.00	6.00	7.00	8.00	9.00	11.00	12.00		
9	26	24	20	24	22	20	23	30	20	25	33	45	65	20		
10	28	27	31	38	40	38	36	36	17	24	25	40	60	75		
11	26	18	25	29	46	30	31	34	36	35	32	48	66	69		
12	24	26	22	36	44	34	36	43	54	49	54	51	58	73		
13	22	19	20	41	47	39	46	37	29	39	33	44	50	45		
14	27	25	24	48	70	60	23	38	39	37	40	57	70	30		
15	29	27	28	30	27	25	22	34	37	35	37	40	66	40		

TOTAL CAR SPACES - 77

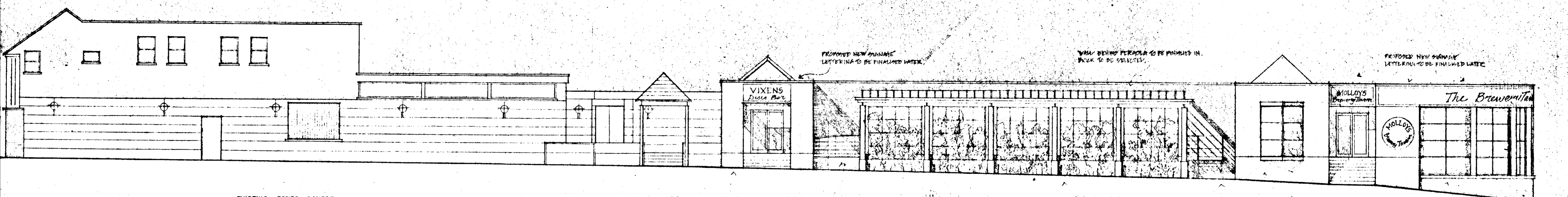
CAR PARK NUMBER 2 - LOWER CAR PARK AT TALLAGHT SPORTSBOWL

P.M.

DATE	A.M.			P.M.												1.00
	10.00	11.00	12.00	1.00	2.00	3.00	4.00	5.00	6.00	7.00	8.00	9.00	11.00	12.00		
9	17	18	20	16	20	18	21	19	25	30	29	35	55	15		
10	15	17	16	17	22	23	19	17	21	38	50	41	35	28		
11	18	23	26	17	17	16	15	26	35	32	40	51	78	55		
12	22	20	24	15	19	20	24	38	42	47	58	40	49	35		
13	16	13	22	41	44	36	36	29	35	31	37	50	31	20		
14	14	15	25	48	57	30	16	25	31	34	35	36	30	21		
15	12	17	27	30	36	32	20	18	30	33	39	40	32	22		

TOTAL CAR SPACES - 180

OVERALL TOTAL 257



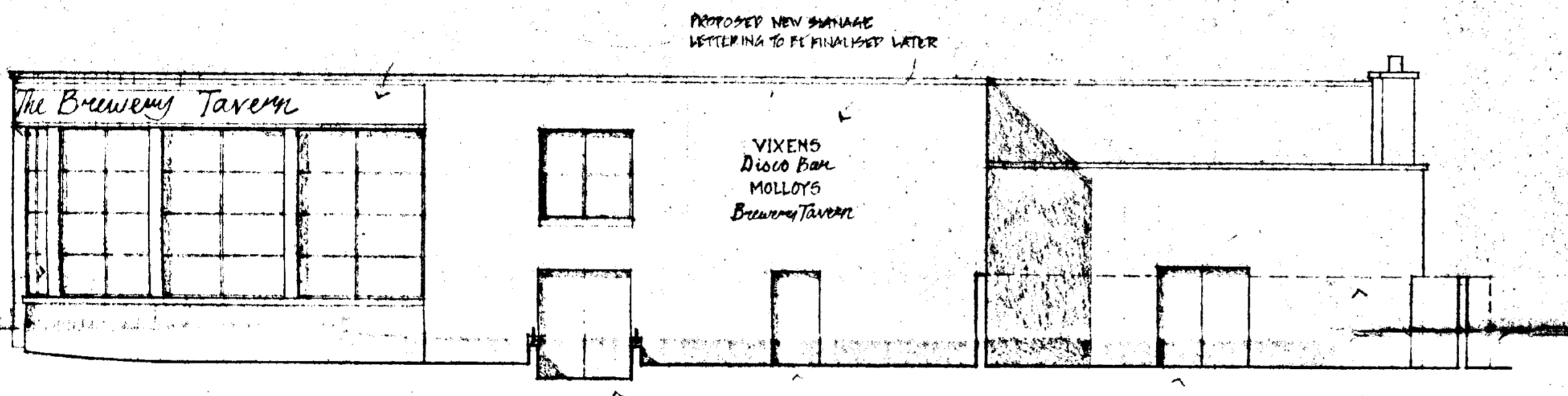
WEST ELEVATION 1:100

EXTERNAL WALLS GENERALLY RENDERED TO WOODEN FLOAT FINISH AND PAINTED EXCEPT WHERE OTHERWISE NOTED

BRIDGE FROM RAISED ENTRANCE COURTYARD TO PERGOLA TO BE CONSTRUCTED IN STEEL OR TIMBER

PERGOLA CONSTRUCTION:  
 PRINCIPAL STRUCTURAL COLUMN TO BE IN PAINTED STEEL OR TIMBER FOR STAINING OR PAINTING ON RENDERED CONCRETE BLOCKWORK BASE.  
 OPEN TRUSS ROOF OF PERGOLA TO BE TIMBER OR STEEL FOR PAINTING.  
 OPEN SCREENS TO BE IN TIMBER OR STEEL. CHAINS OR SIMILAR TYPE CHAINS TO BE PLANTED TO EVENTUALLY CONCEAL SCREENS.

ESCAPE STAIRS TO BE IN SIMILAR MATERIAL TO BRIDGE AT OPPOSITE END OF PERGOLA

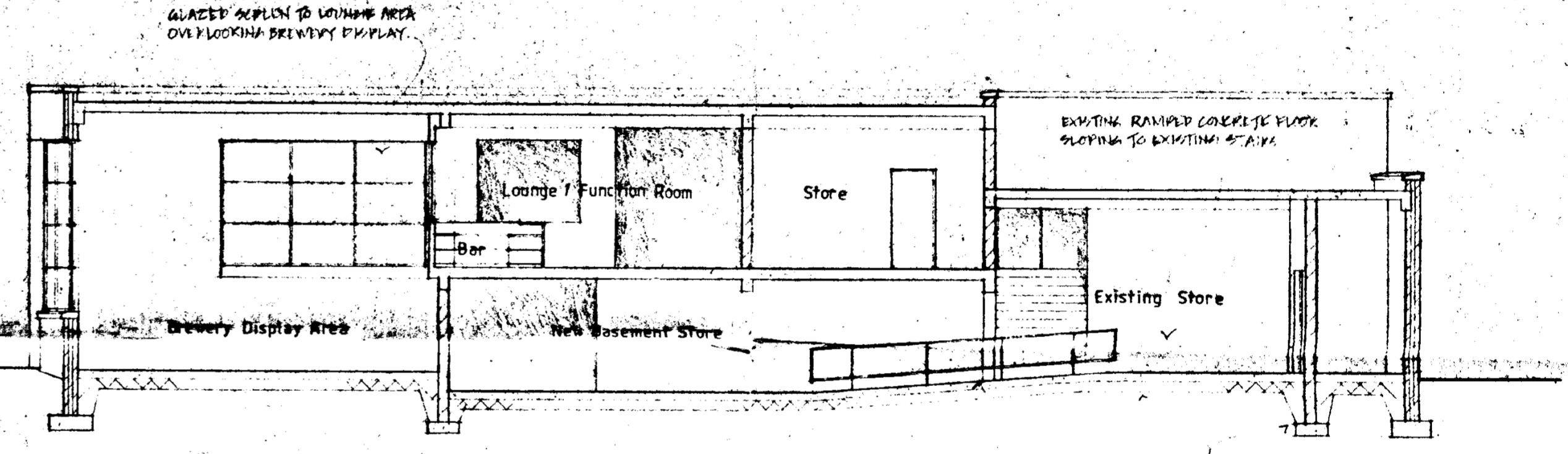


SOUTH ELEVATION 1:100

EXTERNAL COLUMNS TO BE EITHER RENDERED OR IN PAINTED STEEL

ALL STONE AND ESCAPE DOORS TO BE EITHER IN STEEL FOR PAINTING OR TIMBER FOR STAINING OR PAINTING

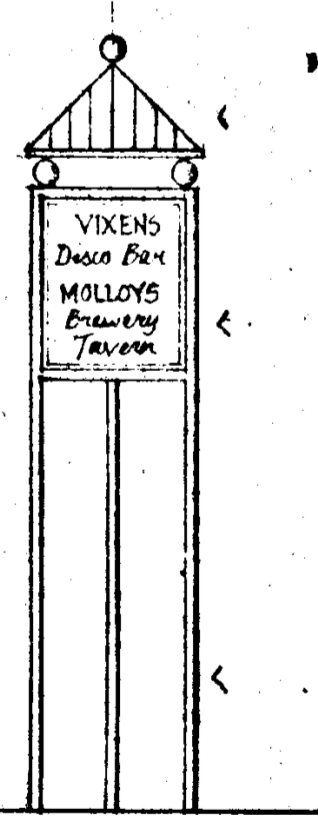
LINE OF REAR WALL OF SERVICE YARD DOTTED



SECTION A-A 1:100

RAMP LINKING EXISTING STORE TO NEW BASEMENT STORE AREA

BASEMENT, FOUNDATIONS, FLOORS, ROOF AND ALL OTHER STRUCTURE TO LATER ENGINEERS DETAILS



ELEVATION

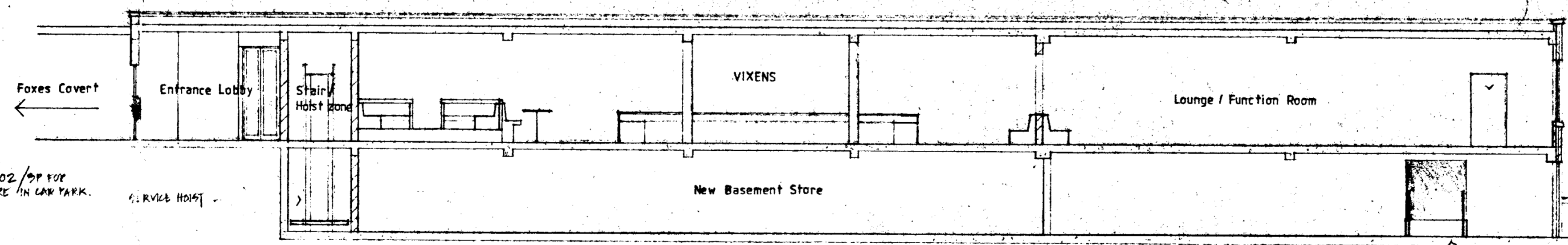
TRIANGULAR ADVERTISEMENT STRUCTURE WITH SIMILAR ADVERTISEMENT PLACARD ON THREE SIDES  
 FRAME TO STRUCTURE TO BE IN TIMBER OR PAINTED STEEL  
 PRINTED WORDS TO BE CLEAR IN LETTER OR IN SHEET METAL WITH POWDER COATED FINISH TO SELECTIVE COLOUR

SEE DRAWING NO. 9002/SP FOR POSITION OF STRUCTURE IN CAR PARK



PLAN

ADVERTISEMENT STRUCTURE 1:100



SECTION B-B 1:100

NEW BASEMENT STORE

BASEMENT, FOUNDATIONS, FLOORS, ROOF AND OTHER STRUCTURE TO LATER ENGINEERS DETAILS

RAMP LINKING EXISTING STORE TO NEW BASEMENT STORE AREA

DUBLIN COUNTY COUNCIL  
 Planning Dept. Registry Section  
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 09 OCT 1991  
 REG No. ...918/181/...

NOTES ON FINISHES:

WALLS:  
 EXTERNAL WALLS TO BE EITHER RENDERED OR IN PAINTED STEEL WITH THE OUTER LEAF RENDERED TO WOODEN FLOAT FINISH AND PAINTED EXCEPT WHERE OTHERWISE NOTED. I.E. WALL BEHIND PERGOLA TO BE FINISHED IN BRICK TO BE SELECTED.  
 COLUMNS OF PERGOLA TO BE IN PAINTED STEEL OR TIMBER FOR PAINTING OR STAINING.  
 COLUMNS IN CURVED BREWERY DISPLAY AREA TO BE EITHER RENDERED OR IN PAINTED STEEL.  
 FOR FURTHER PERGOLA DESCRIPTION SEE NOTE ON WEST ELEV. EXACT SIGNAGE DETAILS TO BE FINISHED LATER.

ROOF:  
 NEW ROOF TO EXTENSION TO BE CONCRETE FLAT WITH PARAPET.  
 OPEN TRUSS/RAMPED ARRANGEMENT OVER ENTRANCE COURT TO VIXENS AND OVER PERGOLA TO BE IN TIMBER FOR STAINING OR PAINTING.

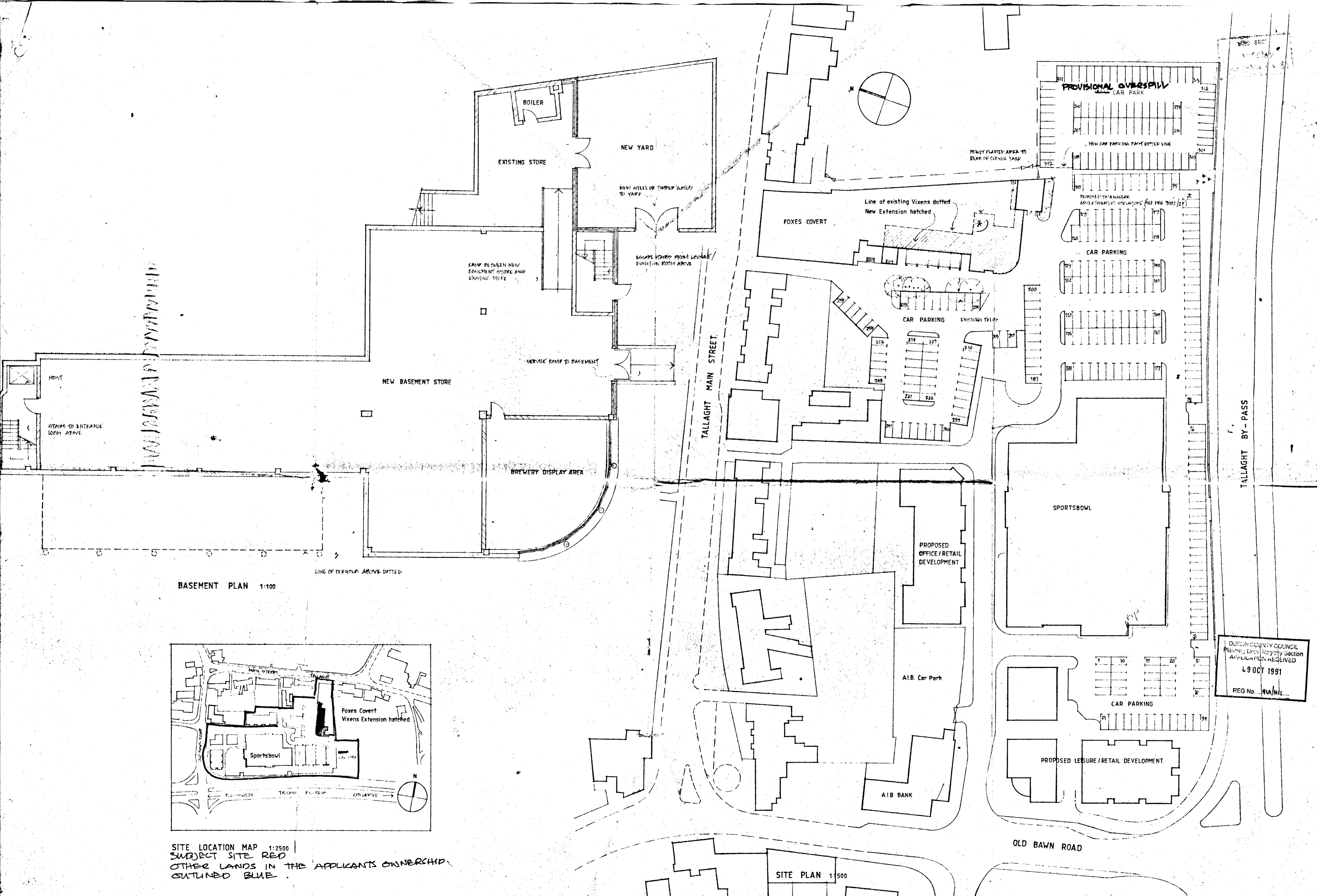
WINDOWS/DOORS:  
 ENTRANCE DOORS TO BE IN TIMBER FOR PAINTING OR STAINING.  
 ESCAPE DOORS TO BE IN EITHER TIMBER OR STEEL.  
 WINDOWS TO BE IN ALUMINIUM FINISHED ALUMINIUM OR TIMBER FOR PAINTING.

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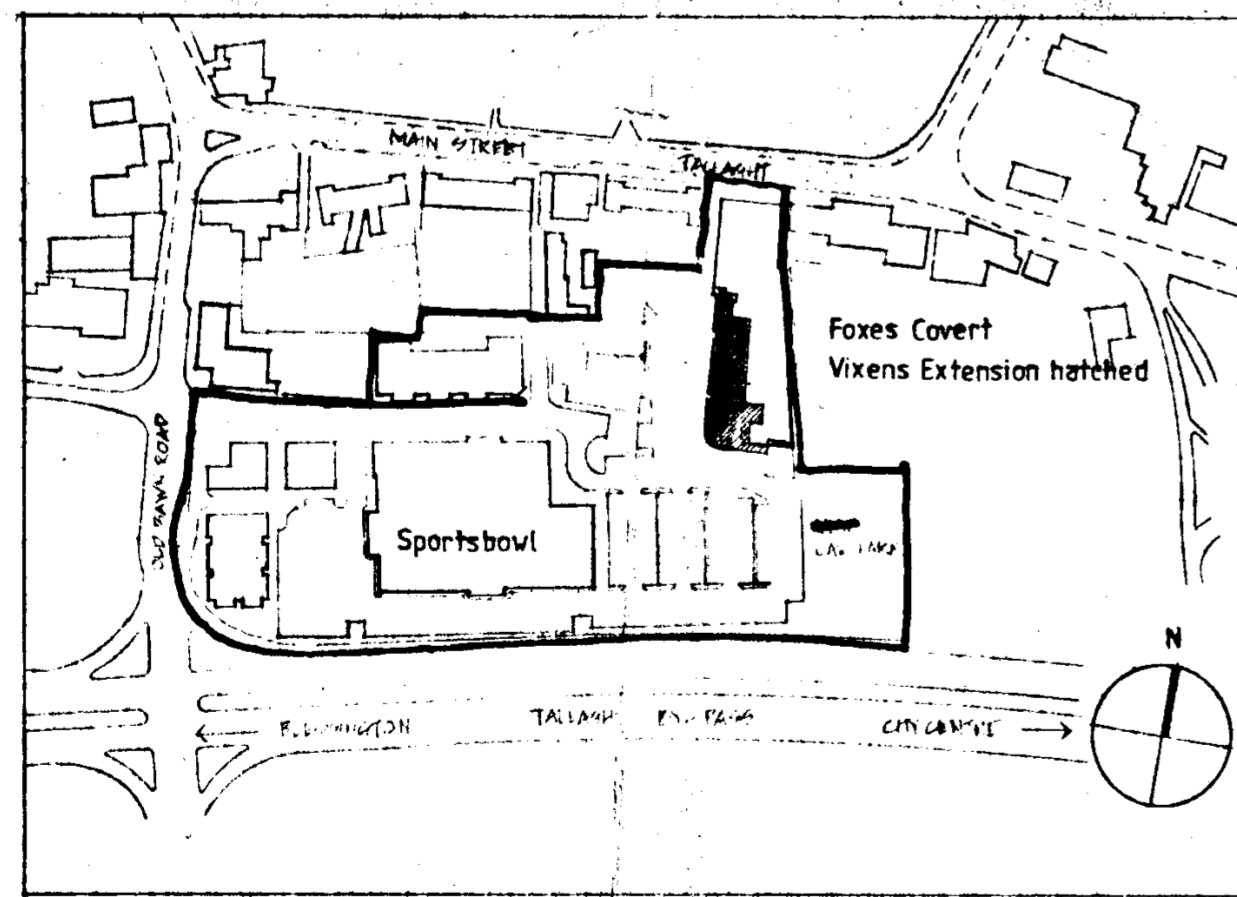
P & A LAVIN ASSOCIATES (Architects and Interior Designers) 49 Raglan Road, Dublin 4. Tel. 687922

EXTENSION TO VIXENS, THE FOXES COVERT, TALLAGHT.	1:100
SOUTHSIDE TAVERNS LTD.	SEPT. 1991
ELEVATIONS AND SECTIONS	9002/2P





BASEMENT PLAN 1:100



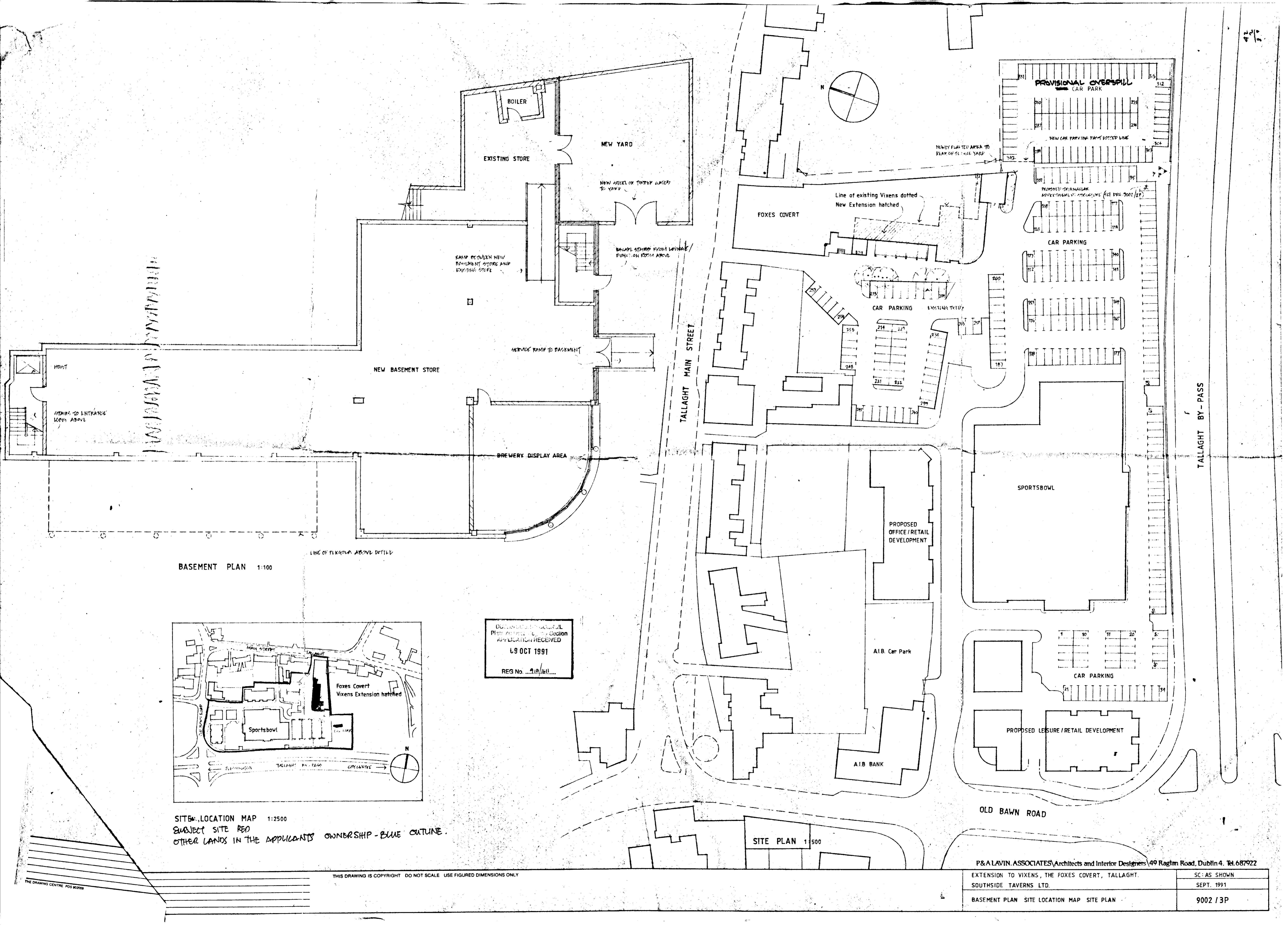
SITE LOCATION MAP 1:2500  
 SUBJECT SITE RED  
 OTHER LANDS IN THE APPLICANTS OWNERSHIP  
 OUTLINED BLUE.

SITE PLAN 1:500

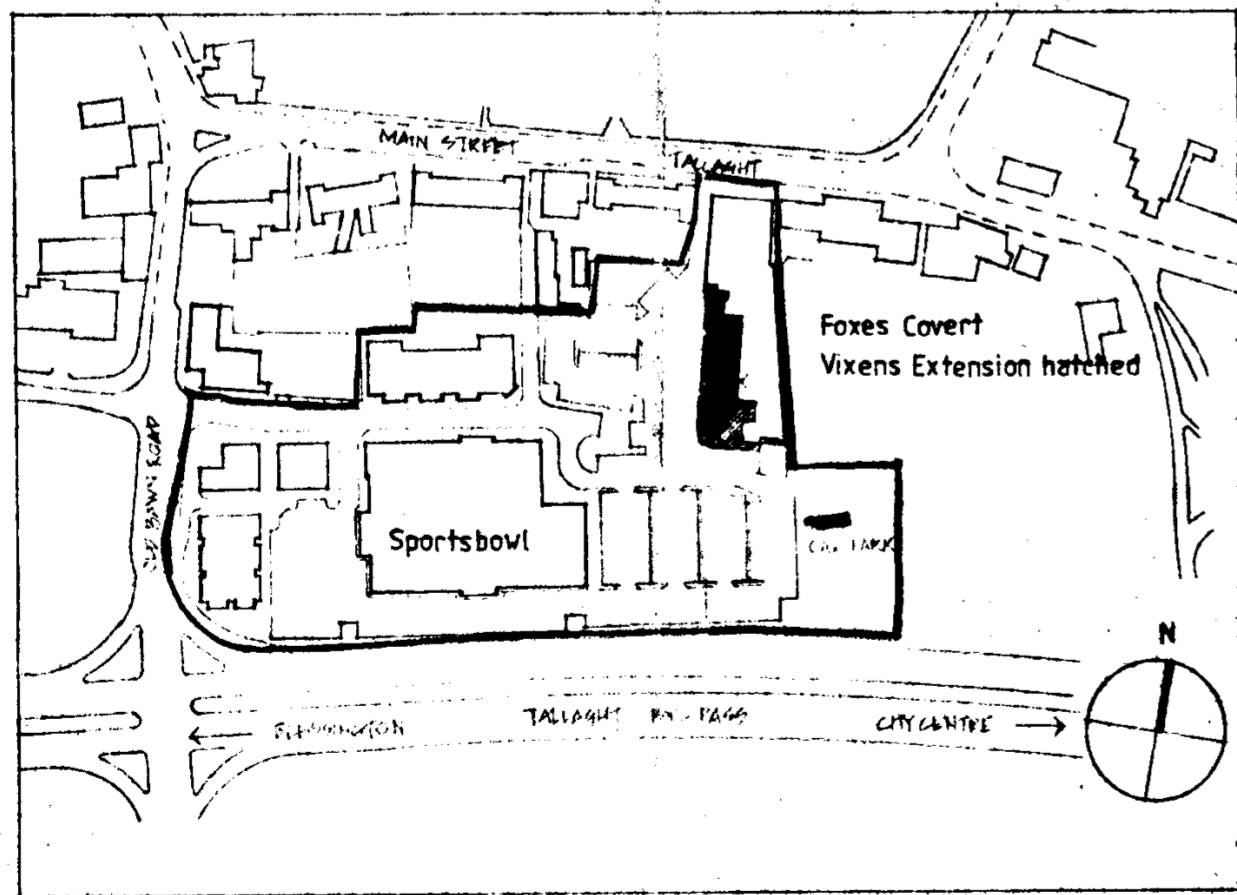
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P&A LAVIN ASSOCIATES Architects and Interior Designers 49 Raglan Road, Dublin 4. Tel. 687922

EXTENSION TO VIXENS, THE FOXES COVERT, TALLAGHT. SOUTHSIDE TAVERNS LTD.	SC: AS SHOWN SEPT. 1991
BASEMENT PLAN SITE LOCATION MAP SITE PLAN	9002 / 3P



**BASEMENT PLAN 1:100**



**SITE LOCATION MAP 1:2500**

SUBJECT SITE RED  
OTHER LANDS IN THE APPLICANTS OWNERSHIP - BLUE OUTLINE.

DUBLIN CITY COUNCIL  
Planning and Building Section  
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**9 OCT 1991**  
REG No. ...

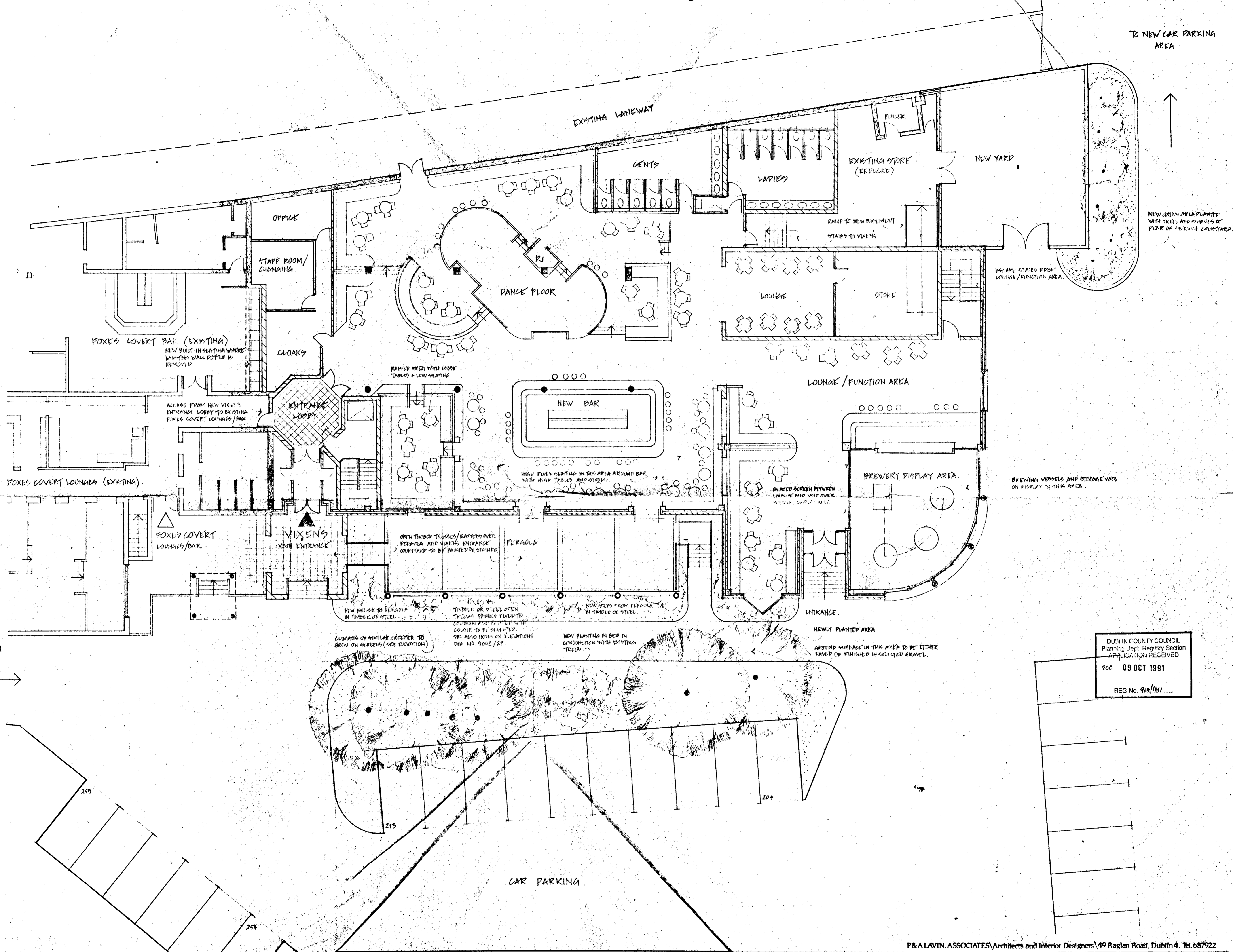
**SITE PLAN 1:500**

P & A LAVIN ASSOCIATES Architects and Interior Designers, 49 Raglan Road, Dublin 4. Tel. 687922

EXTENSION TO VIXENS, THE FOXES COVERT, TALLAGHT.	SC: AS SHOWN
SOUTHSIDE TAVERNS LTD.	SEPT. 1991
BASEMENT PLAN SITE LOCATION MAP SITE PLAN	9002 / 3P

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THE DRAWING CENTRE POS 802000

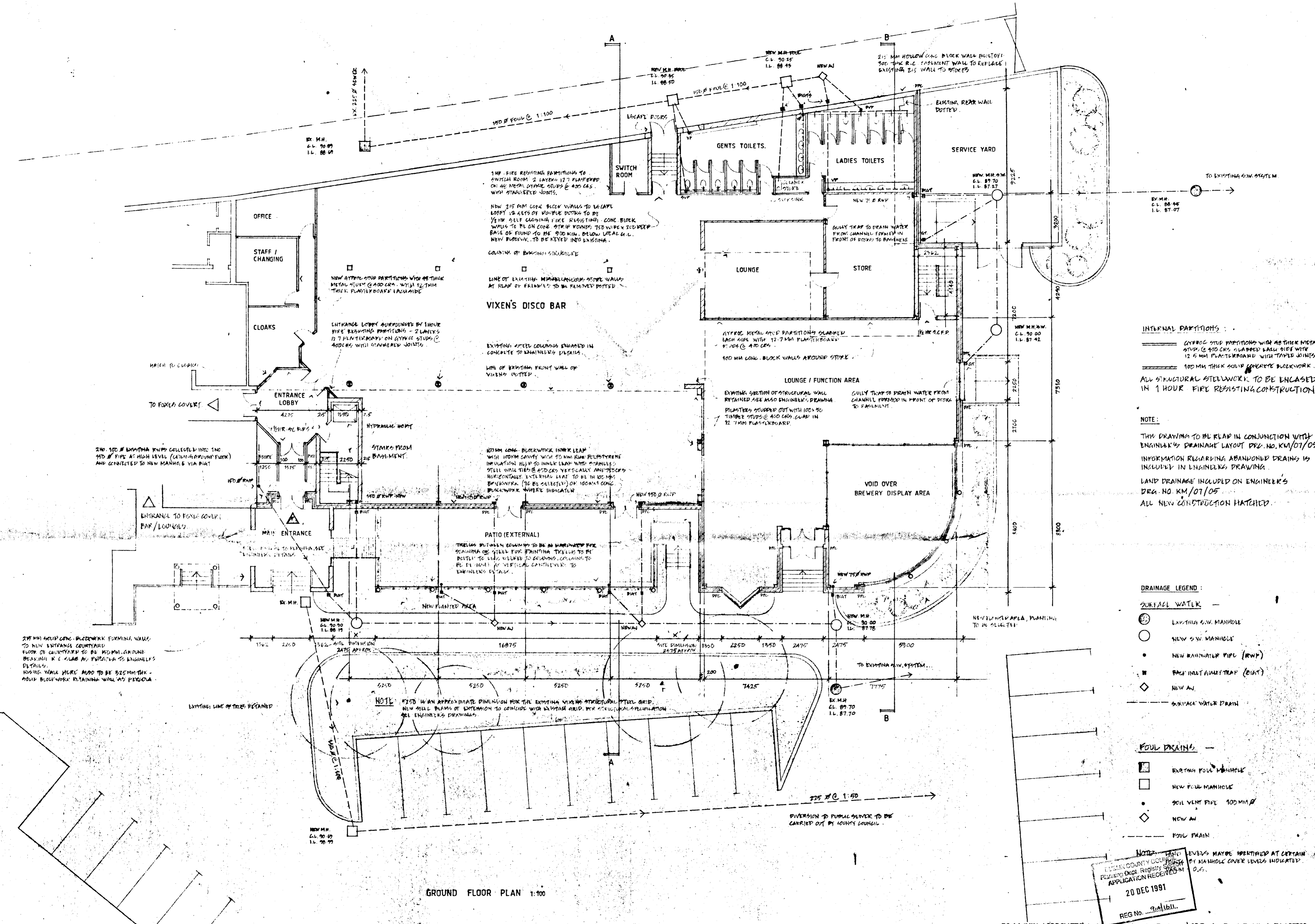


ENTRANCE TO CAR PARK FROM MAIN STREET TALLAGHT.

DUBLIN COUNTY COUNCIL  
 Planning Dept. Registry Section  
 APPLICATION RECEIVED  
 200 09 OCT 1991  
 REG No. 910/1411.....

P & A LAVIN ASSOCIATES Architects and Interior Designers 49 Raglan Road, Dublin 4. Tel. 687922	
EXTENSION TO VIXENS, THE FOXES COVER, TALLAGHT	1:100
SOUTHSIDE TAVERNS LTD.	SEPT. 1991
GROUND FLOOR PLAN	9002 / 1P

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1HR FIRE RESISTING PARTITIONS TO SWITCH ROOM - 2 LAYERS 12.7 PLASTERBOARD ON 40 METAL STUDS @ 400 C/S WITH STAGGERED JOINTS.

NEW 315 MM CONG. BLOCK WALLS TO REPAIR LOBBY 12 SEPS OF WALLS TO BE 1/2 HR SELF CASHING FIRE RESISTING CONG. BLOCK WALLS TO BE ON CONG. STRIP FOUNDATIONS TO BE 900 MIN. BELOW LOCAL G.L. NEW BLOCKS TO BE KEVED INTO EXISTING.

CONCRETE OF EXISTING STRUCTURES

LINE OF EXISTING MIMBALLANLOUGH STORE WALLS AT REAR OF FRONT TO BE REMOVED PUTTED

**VIXEN'S DISCO BAR**

EXISTING STEEL COLUMNS ENCASED IN CONCRETE TO REMAINERS DETAILS

LINE OF EXISTING FRONT WALL OF VIXEN'S PUTTED

NEW APPROX. STUD PARTITIONS WITH 48 THICK METAL STUDS @ 400 C/S WITH 12.7MM THICK PLASTERBOARD LAGUINSIDE

ENTRANCE LOBBY SURROUNDED BY 1 HOUR FIRE RESISTING PARTITIONS - 2 LAYERS 12.7 PLASTERBOARD ON 40 METAL STUDS @ 400 C/S WITH STAGGERED JOINTS

100MM CONG. BLOCKWORK INNER LEAF WITH 100MM GANTRY WITH 50MM RIGID POLYSTYRENE INSULATION HELD TO INNER LEAF WITH STAGGERED STEEL WALL TIES @ 400 C/S VERTICALLY AND 200 C/S HORIZONTALLY. EXTERIOR LEAF TO BE IN 100MM CONG. BLOCKWORK (TO BE SELECTED BY 100MM CONG. BLOCKWORK WHERE INDICATED)

EXISTING SECTION OF STRUCTURAL WALL RETAINED SEE ALSO ENGINEER'S DRAWINGS. PLASTER STUCCO OUT WITH 100X50 TIMBER STUDS @ 400 C/S LEAF IN 12.7MM PLASTERBOARD.

GULLY TRAP TO DRAIN WATER FROM CHANNEL FORMED IN FRONT OF DOOR TO FACILITATE

EXISTING SECTION OF STRUCTURAL WALL RETAINED SEE ALSO ENGINEER'S DRAWINGS. PLASTER STUCCO OUT WITH 100X50 TIMBER STUDS @ 400 C/S LEAF IN 12.7MM PLASTERBOARD.

GULLY TRAP TO DRAIN WATER FROM CHANNEL FORMED IN FRONT OF DOOR TO FACILITATE

TRUSSES BETWEEN COLUMNS TO BE IN SHORTEST FIRE RESISTING BE STEEL FOR BRACING TRUSSES TO BE PUTTED TO END WELDED TO COLUMNS. COLUMNS TO BE IN 100MM VERTICAL CANTILEVER TO REMAINERS DETAILS

NEW PLANTED AREA

NEW 150 @ R/W

NEW 150 @ R/W

NEW 150 @ R/W

NEW 150 @ R/W

NEW 150 @ R/W

NEW 150 @ R/W

NEW 150 @ R/W

NEW 150 @ R/W

NEW 150 @ R/W

NEW 150 @ R/W

NEW 150 @ R/W

NEW 150 @ R/W

NEW 150 @ R/W

NEW 150 @ R/W

NEW 150 @ R/W

**INTERNAL PARTITIONS :**

- APPROX. STUD PARTITIONS WITH 48 THICK METAL STUDS @ 400 C/S GLAZED WALLS WITH 12.5 MM PLASTERBOARD WITH TAPED JOINTS.
- 100MM THICK SOLID CONCRETE BLOCKWORK.

ALL STRUCTURAL STEELWORK TO BE ENCASED IN 1 HOUR FIRE RESISTING CONSTRUCTION.

**NOTE:**

THIS DRAWING TO BE READ IN CONJUNCTION WITH ENGINEER'S DRAINAGE LAYOUT DRG. NO. KM/07/05

INFORMATION REGARDING ABANDONED DRAINS IS INCLUDED IN ENGINEER'S DRAWING.

LAND DRAINAGE INCLUDED ON ENGINEER'S DRG. NO. KM/07/05

ALL NEW CONSTRUCTION HATCHED.

**DRAINAGE LEGEND :**

**SURFACE WATER**

- EXISTING S.W. MANHOLE
- NEW S.W. MANHOLE
- NEW RAINWATER PIPE (RWP)
- BACK FILL GULLY TRAP (BIAT)
- NEW A.I.
- SURFACE WATER DRAIN

**FOUL DRAINS**

- EXISTING FOUL MANHOLE
- NEW FOUL MANHOLE
- SOIL VENT PIPE 100MM Ø
- NEW A.I.
- FOUL DRAIN

**NOTE:** 5250 IS AN APPROXIMATE DIMENSION FOR THE EXISTING VIXEN'S STRUCTURAL STEEL GRID. NEW STEEL BEAMS OF EXTENSION TO CONCLUDE WITH EXISTING GRID PER STRUCTURAL SPECIFICATION SEE ENGINEER'S DRAWINGS.

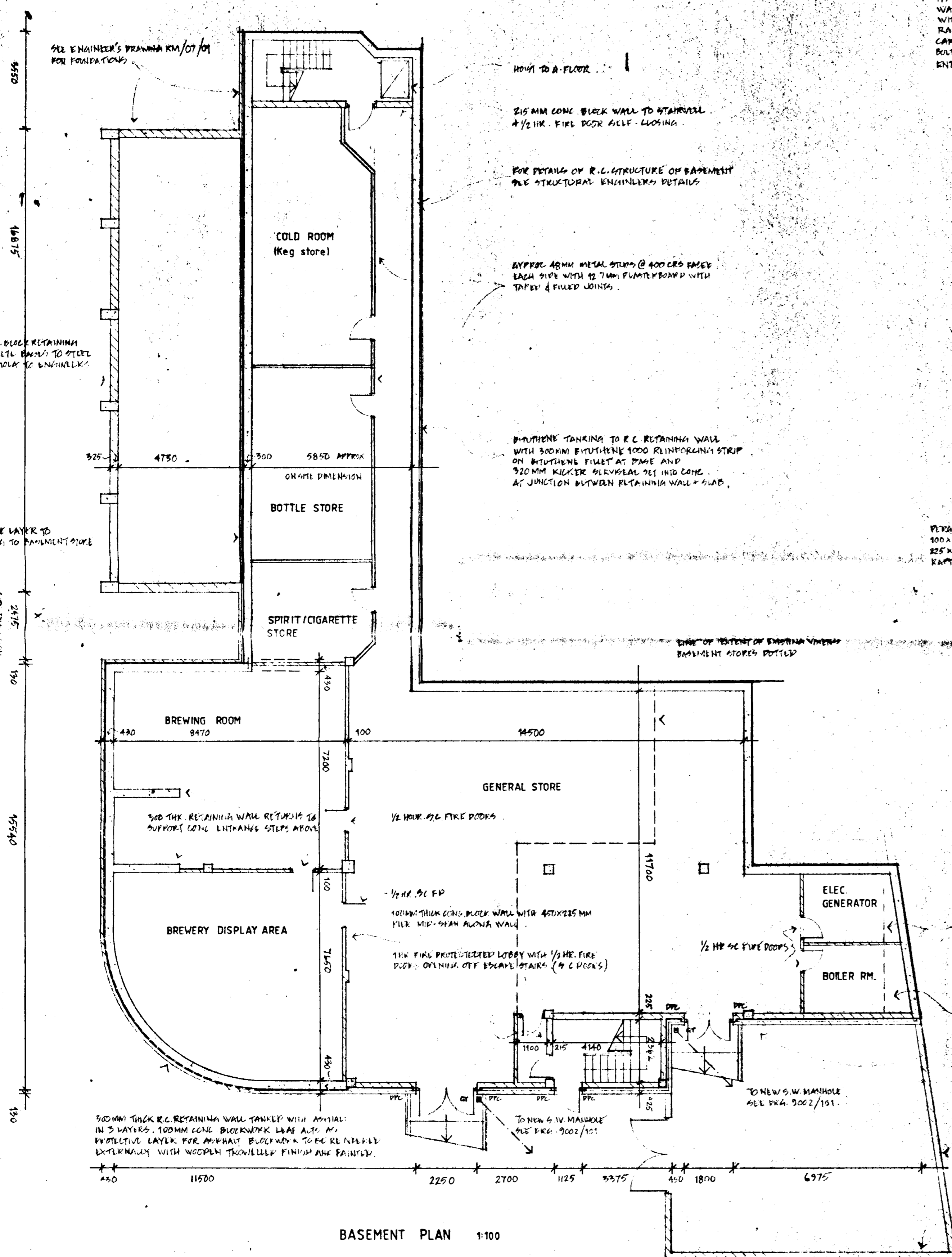
GROUND FLOOR PLAN 1:100

PLANNING DEPARTMENT  
 PLANNING DEPT. REGISTRY  
 APPLICATION RECEIVED  
 20 DEC 1991  
 REG. NO. 311111

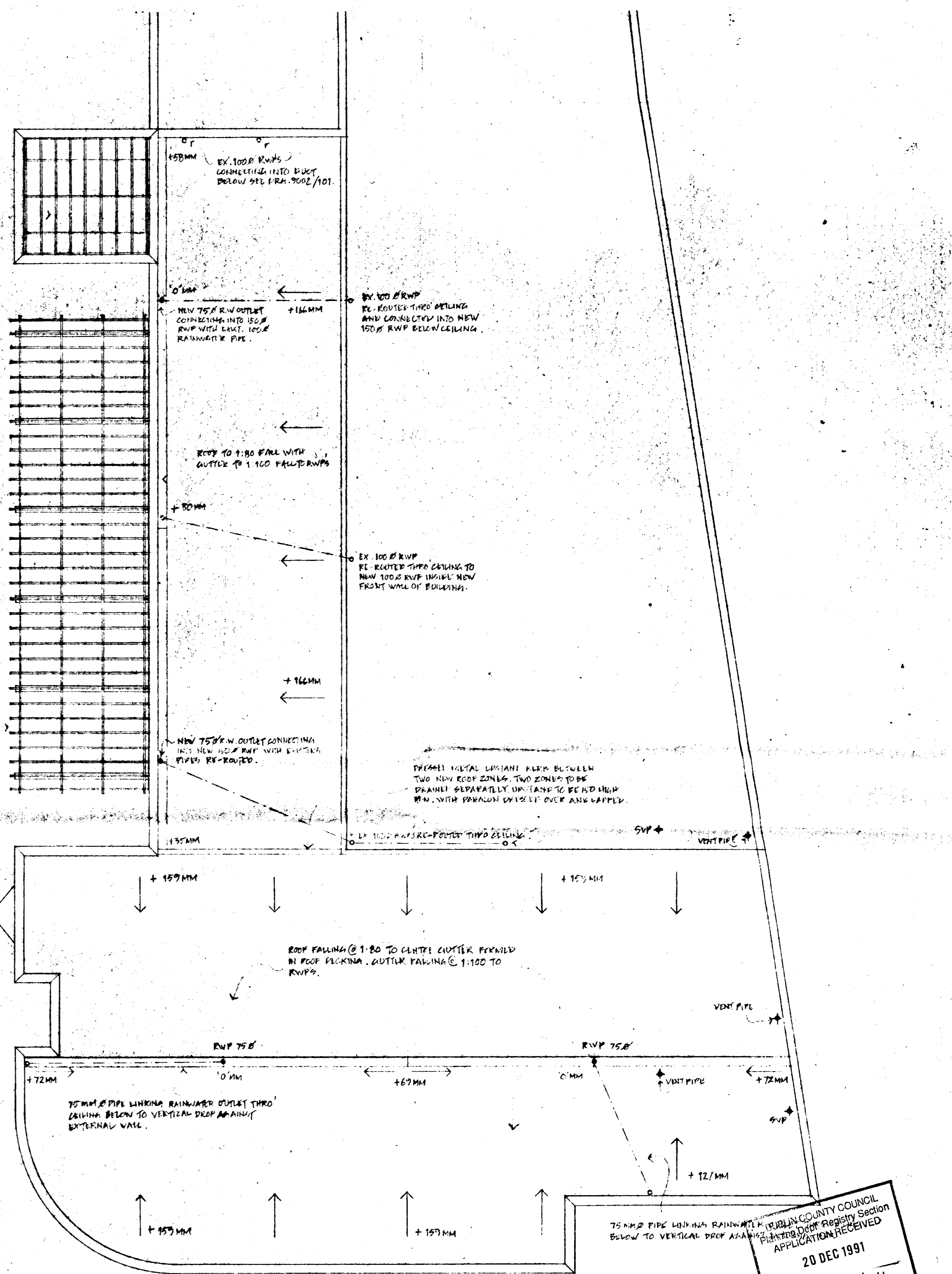
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**NOTE:** THIS DRAWING TO BE READ IN CONJUNCTION WITH DRAWINGS NO'S 9002/102, 103, 104, 105 AND OUTLINE SPECIFICATION. SEE ALSO ENGINEER'S DRAWINGS NO'S KM/07/01, 02, 03, 05 STRUCTURAL SPECIFICATION + CALCULATIONS. BUILDING SERVICES ENGINEER'S OUTLINE SPECIFICATION.

P & A LAVIN ASSOCIATES (Architects and Interior Designers) 49 Raglan Road, Dublin 4. Tel. 687922	1:100
EXTENSION TO VIXEN'S, THE FOXES COVERT, TALLAGHT	DEC. 1991
SOUTHSIDE TAVERNS LTD.	9002/101
GROUND FLOOR PLAN	



BASEMENT PLAN 1:100



ROOF PLAN 1:100

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 NOTE: THIS DRAWING TO BE READ IN CONJUNCTION WITH DRAWINGS NOS. 9002/101, 103, 104, 105 AND OUTLINE SPECIFICATION ENGINEERS DRAWINGS + SPECIFICATION (STRUCTURAL + SERVICES).

P & A LAVIN ASSOCIATES Architects and Interior Designers 49 Raglan Road, Dublin 4. Tel. 687922	
EXTENSION TO VIXENS, THE FOXES COVERT, TALLAGHT.	1:100
SOUTSIDE TAVERNS LTD.	DEC. 1991
BASEMENT PLAN ROOF PLAN	9002/102

PUBLICITY COUNTY COUNCIL  
 PLANNING DEPT. Registry Section  
 APPLICATION RECEIVED  
 20 DEC 1991  
 REG No. 91/1641

ALL TIMBERS TO BE PRESURE IMPREGNATED. 115 X 55 COMMON RAFTERS @ 600 C/C ON 225 X 50 PURLINS @ 1800 SPACINGS ON RIVETS. PRINCIPLE RAFTERS AT EACH STEEL COLUMN. STEEL COLUMNS TO BE DESIGNER AT VIKI CAL. GAVAILERS TO ENGINEERS. DETAILS ON CONCRETE BASES. PRECAST RAFTERS TO BE 225 X 50.

BRICKWORK 100MM OUTER LEAF TO BE COLLECTED. 100MM CAVITY WITH 50MM R.I.P. POLYSTYRENE INSULATION AND 100MM CONG. BLOCK INNER LEAF.

NEW ROOF CONSTRUCTION - SEE NOTE ON SECTION B-B.

PARALON IS TO BE USED OVER DRESSED METAL UNDERLAYER WHERE CHANGE IN LEVEL BETWEEN NEW AND EXISTING ROOF OCCURS. FACE OF 225 X 150 X 75 OR PURLIN STUDDED OUT WITH 75 X 50 STUDS TO WHICH IS 150MM W.P. MARINE PLY IS FIXED PROVIDING VERTICAL DECK TO WHICH UNDERLAYS AND PARALON ARE APPLIED AS ON MAIN AREA OF NEW ROOF. 75MM GLASSFIBRE INSULATION INCORPORATED INTO CAVITY.

PRINCIPLE RAFTERS BOLTED TO STEEL BRACKETS WELDED TO STEEL COLUMN AND BOLTED TO NEW FRONT WALL OF VIKI'S. ALL STEEL COLUMNS & BRACKETS TO BE HOT DIP GALVANIZED AND PAINTED.

DPC ON SLATE CAVITY CLOSER. LINE OF NEW. CANTIC STEEL LINTEL OVER DOOR AND WINDOW OPENS. LINE OF EXISTING FRONT WALL OF VIKI'S TO BE REMOVED POTENTIALLY.

EXISTING STEEL COLUMN BOTTED ENCASED IN CONCRETE TO ENGINEERS DETAILS. EXISTING STRIP FOUNDATION TO VIKI'S EXTENDING WALLS TO BE UNDERPINNED TO ENGINEERS DETAILS. KORKPAK PROTECTIVE LAYER TO BITUTHENE.

EXTERNAL PATIO

VIXEN'S EXTENSION

EXISTING VIXEN'S

R.C. W/10 TO ENGINEERS DETAIL TO CARRY 100MM BRICKWORK OUTER LEAF.

BASEMENT STORE

EXISTING STEEL COLUMN BOTTED ENCASED IN CONCRETE TO ENGINEERS DETAILS. EXISTING STRIP FOUNDATION TO VIKI'S EXTENDING WALLS TO BE UNDERPINNED TO ENGINEERS DETAILS. KORKPAK PROTECTIVE LAYER TO BITUTHENE.

BITUTHENE TANKING IN STORE AREAS ON 50MM LEAN-LAY CONG. FINISHING TO ENGINEERS DETAILS APPLIED TO SIDE OF UNDERPINNING PRIOR TO OVER EXISTING FOUNDATION AND APPLIED TO SURFACE OF EXISTING BRICK WALL PRIOR TO BASEMENT SLAB AND RETAINING WALL BEING POURED.

925MM SOLID BLOCKWORK RETAINING WALL ON FOUNDATION TO ENGINEERS DETAIL.

PRECAST CONG. FINISHING SLABS ON 150MM DEPTH PVC STRIPPER BARRIERS ON SLAB TO FALLS 1:80 ON WALLS TO ENGINEERS DETAILS. KORKPAK PROTECTIVE LAYER TO BITUTHENE.

SECTION A-A 1:50

EXTENT OF PROPOSED EXTENSION

VIXEN'S DISCO BAR (EXISTING)

NOTE:

ALL STRUCTURAL STEELWORK SUPPORTING ROOF TO BE ENCASED IN 1 HOUR FIRE RESISTING CONSTRUCTION.

M.S. CHANNEL EDGE SUPPORT TO METAL DECK BOLTED TO FACE OF BLOCKWORK.

METAL DECK ON PURLINS TO ENGINEERS DETAILS. TRIPLEX 2100 GRASS FIBRE BASED VAPOUR CHECK TO BE AS TOUCH APPLIED TO DECK. BOND INSULATION IN HOT BITUMEN COMPOUND TO VAPOUR CHECK. LOCAL LAY BY 747 TYPE 34 PERVAPOUR FILT TO TOP OF INSULATION AND SIMULTANEOUSLY BOND 747 TYPE 38 TO THE INSULATION WITH HOT BITUMEN COMPOUND. FULLY BOND PARALON M4 TO THE UNDERLAY. ROOF SURFACE TO BE FINISHED IN REFLECTIVE CHIPPING.

FOR ROOF BEAM AND PURLIN ARRANGEMENTS SEE ENGINEERS DRAWING KM/07/03.

DPC ON SLATE CAVITY CLOSER.

ROOF RIGID TO UB WITH 50MM PLATE TO SUPPORT BLOCKWORK ABOVE AND WINDOW TO DISPLAY AREA. SEE ALSO ENGINEERS DETAILS.

BLOCKWORK GENERALLY REMOVED EXTERNALLY WITH WOODEN TRAVELLED FINISH.

100MM CONG. BLOCKWORK PROVIDES PROTECTIVE LAYER TO ASPHALT TANKING IN AROUND BREWERY AREAS.

CAVITY TRAY DPC.

BREWERY DISPLAY AREA

LOUNGE / FUNCTION AREA

STORE

LADIES

STEEL W/10 RETAINING WALL DRY-LINED INTERNALLY WITH VAPORBARRIERS OR SIMILAR ON 4.5M BATTERS INCORPORATING 50MM GLASS FIBRE INSULATION.

WATER FOR CATERING AREA W/10 TANKING SYSTEM WITH ASPHALT DRESSING OVER BITUTHENE HELD AND INTO CHANNEL SLAB UNDER WATER BAR.

SUSPENDED CONCRETE FLOOR TO ENGINEERS DETAILS. BEAMS AND COLUMN TO BE ENCASED IN CONG. AND PLUMB AND COLUMN ABOVE BASELINE LEVEL TO BE IN STEEL TO ENGINEERS DETAILS.

100MM CONG. BLOCK WALL BETWEEN BREWERY AND STORE AREAS.

50MM GROUND FLOOR SLAB & BEAMS SEE ENGINEERS DRAW KM/07/02.

BASEMENT STORE

STEEL BEAM AND COLUMN AT GROUND FLOOR LEVEL TO ENGINEERS DETAILS. 50MM CONG. BLOCK WALL BETWEEN FUNCTION/LOUNGE AREAS AND STORE.

FLOOR TO SHIMMERED GYPSUM BOARD TOILET AREAS.

PRECAST CONG. FINISHING SLABS ON POLYSTYRENE DPC ALUMINIUM CENTER FLASHING PRESSURE BEAN OVER PARALON UNDERLAY.

240MM SOLID CONG. BLOCKWORK BUILT UP OF R.C. RETAINING WALL TO NEW PARAPET LEVEL.

BITUTHENE CONTINUED UP ALONG EXTERNAL WALL TO MIN 150MM ABOVE GROUND LEVEL. BRIDGE DPC LAPPED WITH BITUTHENE AT THIS LEVEL AND ALUMINIUM CENTER FLASHING PRESSURE BEAN OVER PARALON ABOVE THIS LEVEL TO UNDERPINNING FINISH.

KORKPAK PROTECTIVE LAYER TO BITUTHENE WATERPROOFING ON 500 R.C. RETAINING WALL TO ENGINEERS DETAILS.

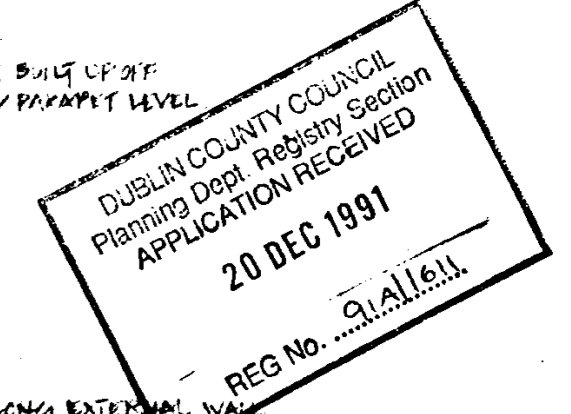
EXISTING 240MM CONG. BLOCK WALL REMOVED FOR EXTENT OF NEW BASEMENT (TOTTLE WALL).

SLAB THICKENED ALONG CURVE OF BREWERY DISPLAY. SEE ALSO SECTION A-A ON ENGINEERS DRAW. KM/07/01.

FLOOR SLAB IN BASEMENT TO ENGINEERS DETAILS ON ASPHALT TANKING (BREWERY AREAS) AND BITUTHENE TANKING (OTHER STORE AREAS). BITUTHENE UNDER TWO TANKING SYSTEMS TO ENGINEERS DETAILS.

BITUTHENE TANKING ON 50MM BUILT UP IN ALL STORE AREAS.

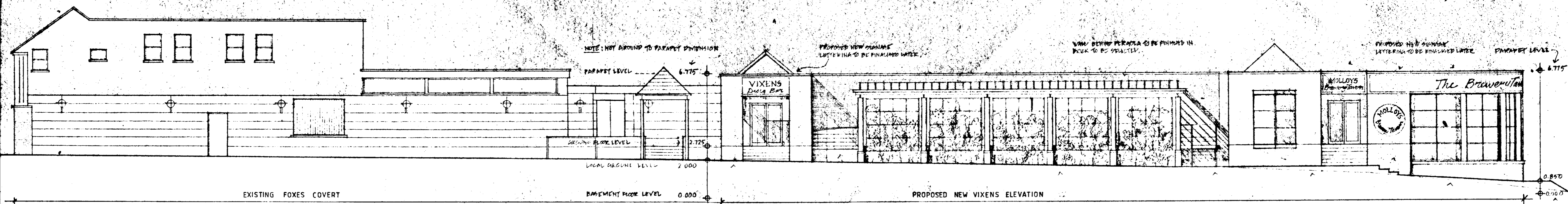
SECTION B-B 1:50



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NOTE: THIS DRAWING TO BE READ IN CONJUNCTION WITH DRAWINGS NO. 9002/101, 102, 104, 105 AND OUTLINE SPECIFICATION. ENGINEERS DRAWINGS AND SPECIFICATION: (STRUCTURAL + SERVICES)

P&A LAVIN ASSOCIATES Architects and Interior Designers 49 Raglan Road, Dublin 4. Tel. 687922	
EXTENSION TO VIXEN'S, THE FOXES COVERT, TALLAGHT	1:50
SOUTHSIDE TAVERNS LTD.	DEC. 1991
SECTIONS	9002 / 103



WEST ELEVATION 1:100

EXTERNAL WALLS GENERALLY RENDERED TO WOODEN FLOAT FINISH AND PAINTED EXCEPT WHERE OTHERWISE NOTED

BRIDGE FROM RAISED ENTRANCE COURTYARD TO PERGOLA TO BE CONSTRUCTED IN STEEL STEEL TO BE HOT DIP GALVANISED AND PAINTED

**PERGOLA CONSTRUCTION**

PRINCIPAL STEEL JOIST COLUMNS TO BE IN STEEL HOT DIP GALVANISED AND PAINTED ON R.C. BASES TO ENGINEER'S DETAILS

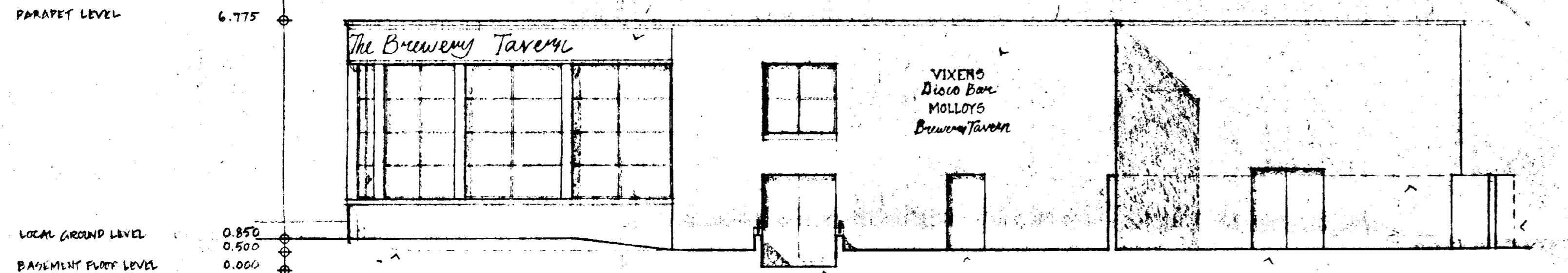
OPEN TRUSS ROOF OF PERGOLA TO BE TIMBER FOR STAINING - SEE SECTION A-A 9002/103 AND ENGINEER'S DETAILS

TIMBER SCREENS TO BE GALVANISED STEEL FOR PAINTING OR IN H/W FOR STAINING AND FAST TO LUG WELDED TO COLUMNS

BRACE STAYS TO BE IN STEEL STEEL TO BE HOT DIP GALVANISED AND PAINTED

EXTERNAL BLOCKWORK WALLS TO BE RENDERED WITH WOODEN TROWELLED FINISH AND PAINTED

EXISTING AROUND LEVELS DOTTED



SOUTH ELEVATION 1:100

ALL STEEL AND BRACE STAYS TO BE LITEN IN STEEL FOR PAINTING OR TIMBER FOR STAINING OR PAINTING

LINE OF CLEAR WITH A SERVICE YARD DOTTED

**NOTE ON LEVELS:**

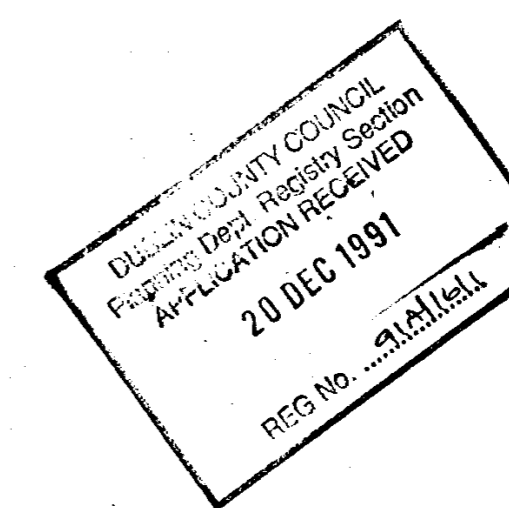
COVER LEVELS INDICATED ON PLAN DRAWING 9002/101 RELATING TO MANHOLES GIVE GROUND LEVELS TO O.D. DATUM

**NOTES ON FINISHES:**

**WALLS:**  
EXTERNAL WALLS TO BE IN CAVITY CONSTRUCTION GENERALLY WITH THE OUTER LEAF RENDERED TO WOODEN FLOAT FINISH AND PAINTED EXCEPT WHERE OTHERWISE INDICATED. IE WALL BEHIND PERGOLA TO BE FINISHED IN BRICK TO BE SELECTED.  
COLUMNS OF PERGOLA TO BE IN PAINTED STEEL.  
STEEL TO BE HOT DIP GALVANISED.  
COLUMNS IN CONCRETE PAINTED TO BE STEEL HOT DIP GALVANISED AND PAINTED AS PERGOLA.  
FOR FURTHER PERGOLA DESCRIPTION SEE NOTE ON WEST ELEV.  
BRACE STAYS TO BE FINISHED LATER

**ROOF:**  
NEW ROOF TO EXTENSION TO BE FLAT METAL DECK WITH PARAPET.  
OPEN TRUSS / RAFTER ARRANGEMENT OVER ENTRANCE COURT TO VIXENS AND OVER PERGOLA TO BE IN TIMBER FOR STAINING OR PAINTING

**WINDOWS/DOORS:**  
ENTRANCE DOORS TO BE IN TIMBER FOR PAINTING OR STAINING.  
ESCAPE DOORS TO BE IN EITHER TIMBER OR STEEL.  
WINDOWS TO BE IN ACrylic FINISHED ALUMINIUM OR TIMBER FOR PAINTING



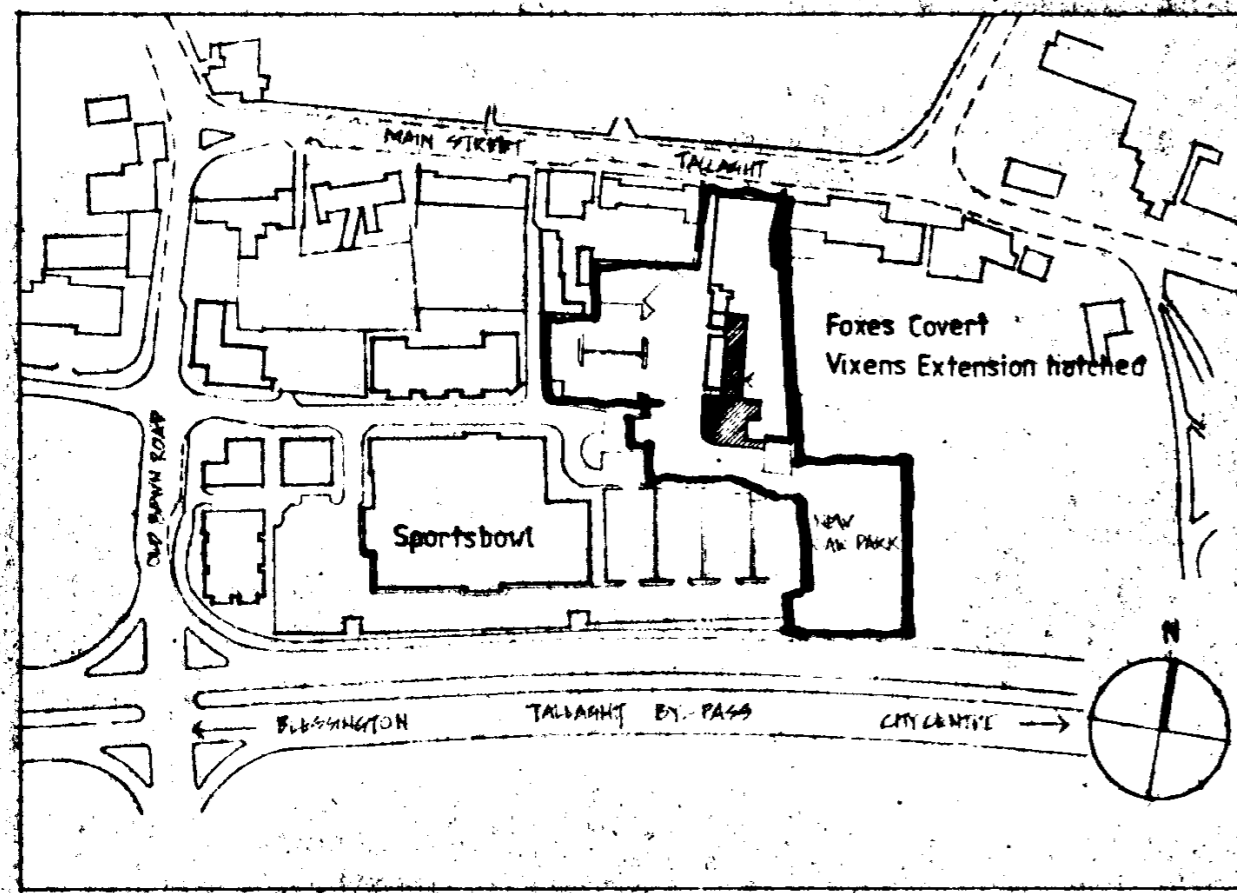
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NOTE: THIS DRAWING TO BE READ IN CONJUNCTION WITH DRAWINGS NO S 9002/101, 102, 103, 105 AND OUTLINE SPECIFICATION.  
ALSO ENGINEER'S DRAWINGS AND SPECIFICATION (STRUCTURAL SERVICES)

P&A LAVIN ASSOCIATES Architects and Interior Designers 49 Raglan Road, Dublin 4. Tel. 687922	
EXTENSION TO VIXENS, THE FOXES COVERT, TALLAGHT.	1:100
SOUTHSIDE TAVERNS LTD.	DEC. 1991
ELEVATIONS	9002/104

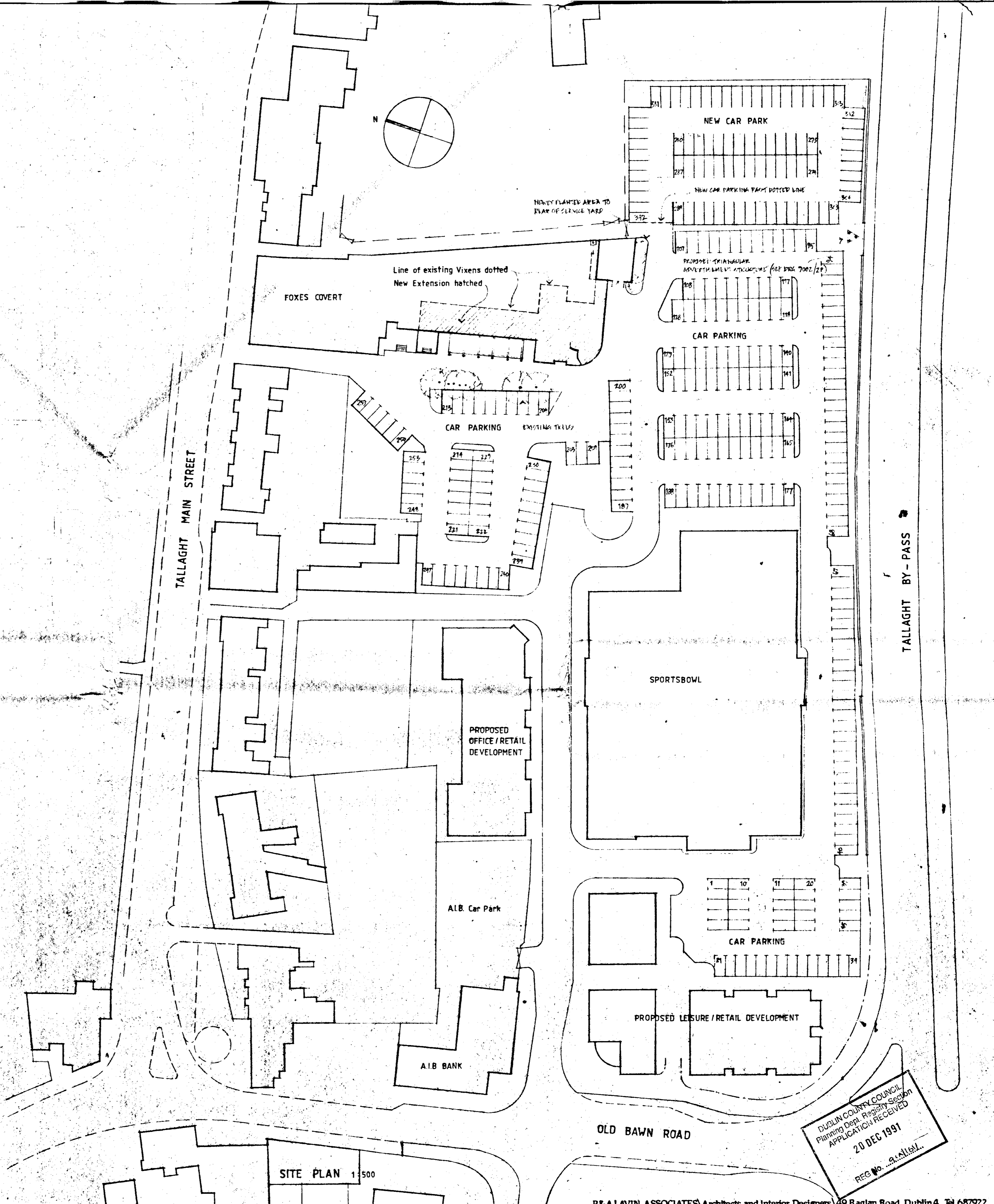
P&A LAVIN ASSOCIATES

**NOTE:**

ALL EXTERNAL DRAINAGE INFORMATION FOR SITE INDICATED ON STRUCTURAL ENGINEER'S DRAWING KM/07/95.



SITE LOCATION MAP 1:2500



SITE PLAN 1:500

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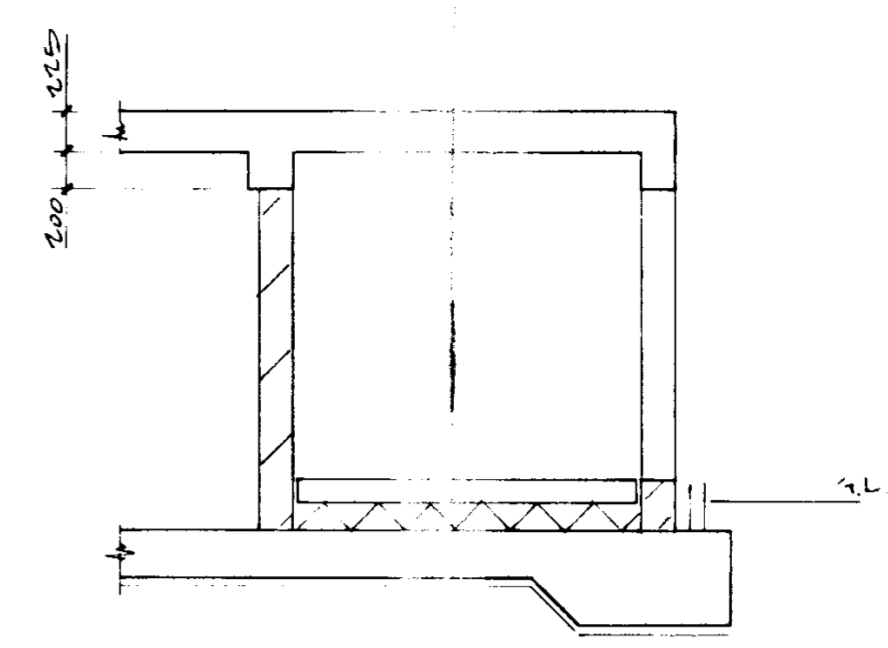
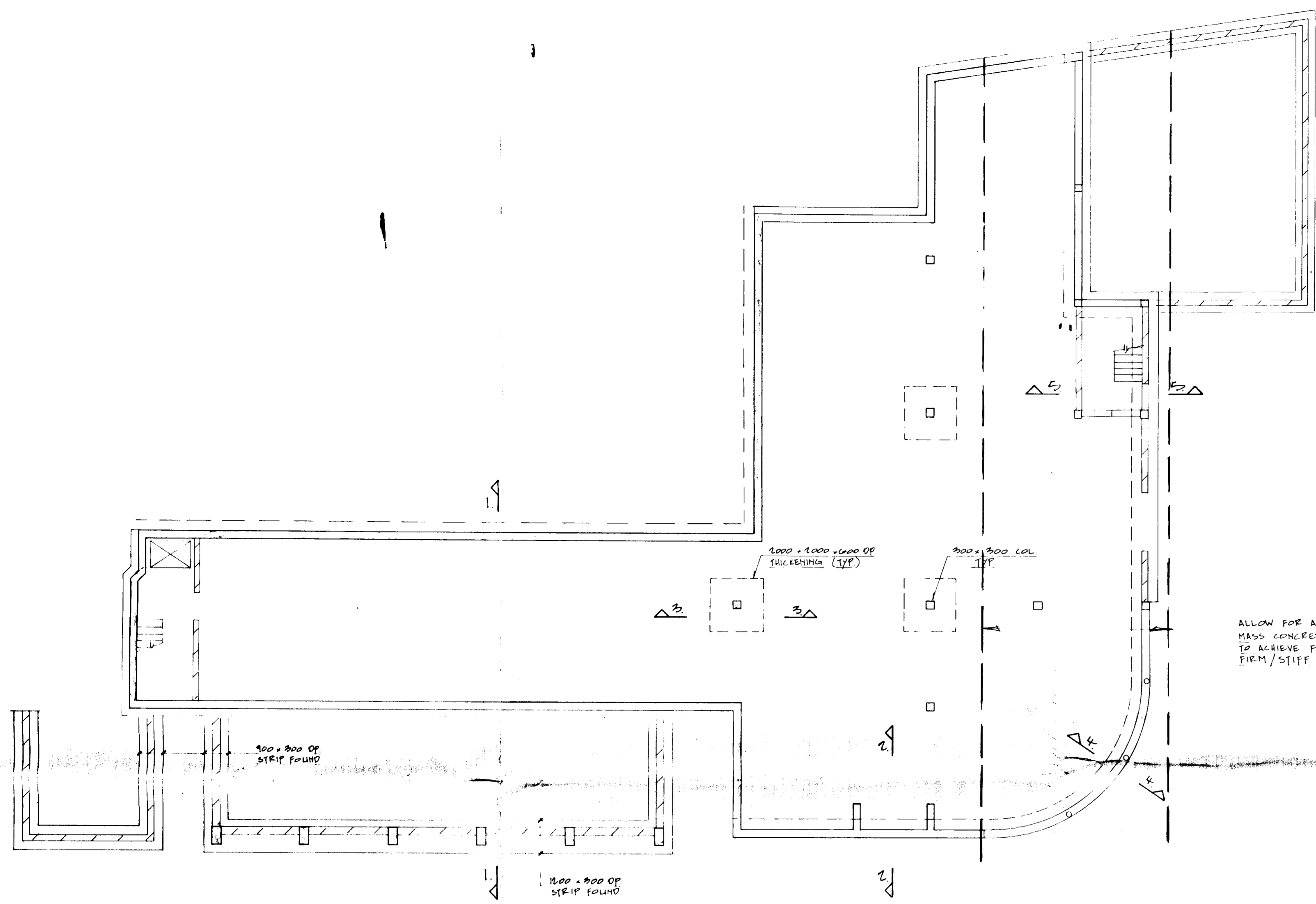
EXTENSION TO VIXENS, THE FOXES COVERT, TALLAGHT.	1:2500 1:500
SOUTHSIDE TAVERNS LTD.	DEC. 1991
SITE PLAN	SITE LOCATION MAP
	9002 / 105

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 NOTE: THIS DRAWING TO BE READ IN CONJUNCTION WITH DRAWINGS NOS. 9002/101, 102, 103, 104 AND OUTLINE SPECIFICATION.  
 ALSO ENGINEER'S DRAWINGS AND SPECIFICATION (STRUCTURAL SERVICES).



NOTES

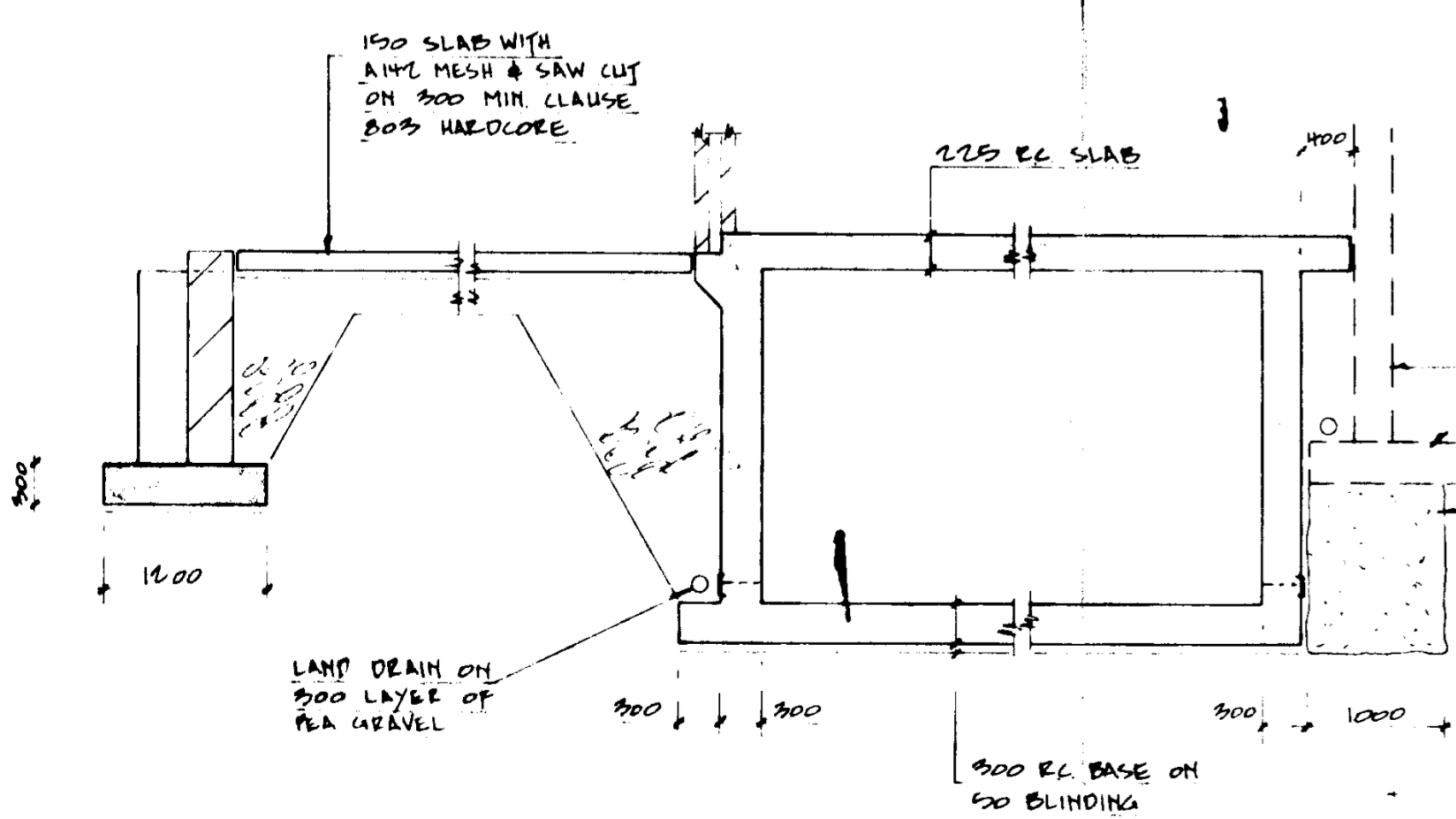
- 1 THIS DRG. TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS & ENGINEERS DRGS.
- 2 CONC TO BE GRADE 35



SECTION 5-5

ALLOW FOR ADDITIONAL 300mm MASS CONCRETE IN THIS AREA TO ACHIEVE FORMATION ON FIRM/STIFF CLAY.

BASEMENT / FOUNDATION PLAN



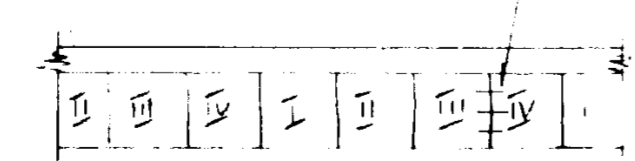
SECTION 1-1

MASS CONC UNDERPINNING CONSTRUCTED IN 2000 LONG SECTIONS IN A SEQUENCE THAT ENSURES THE STABILITY OF THE EX FOUNDATION

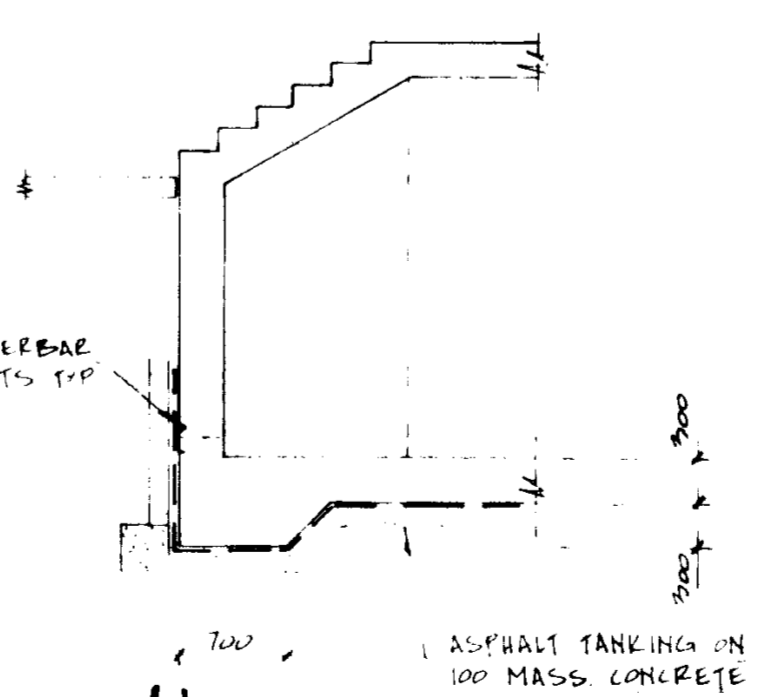
EXTERNAL WATERBARE AT CONST JOINTS TYP

SECTIONS TO BE DOWELED TOGETHER USING 600 LONG R10 BARS

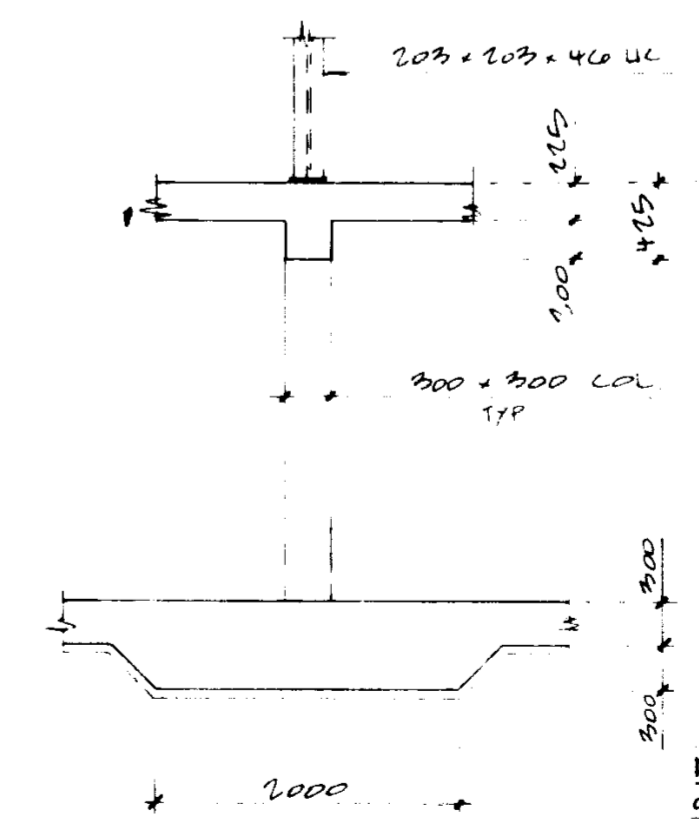
- (a) EXCAVATE & UNDERPIN SECTION I
- (b) EXCAVATE & UNDERPIN SECTION II
- (c) WHEN CONC IN I + II HAS CURED EXCAVATE & UNDERPIN III + IV



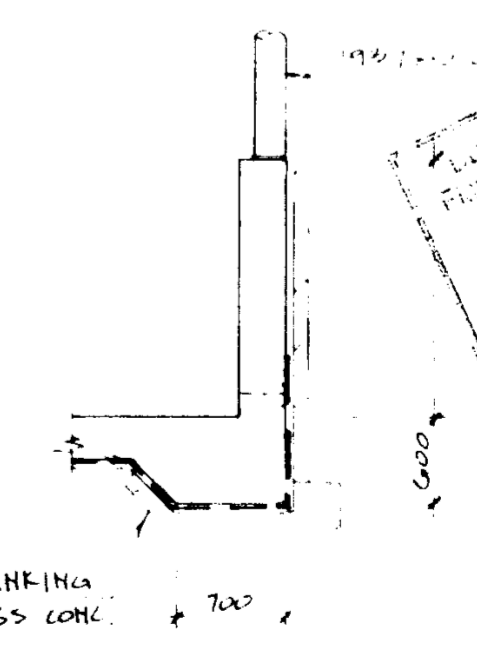
POSSIBLE UNDERPINNING SEQUENCE



SECTION 2-2



SECTION 3-3



SECTION 4-4

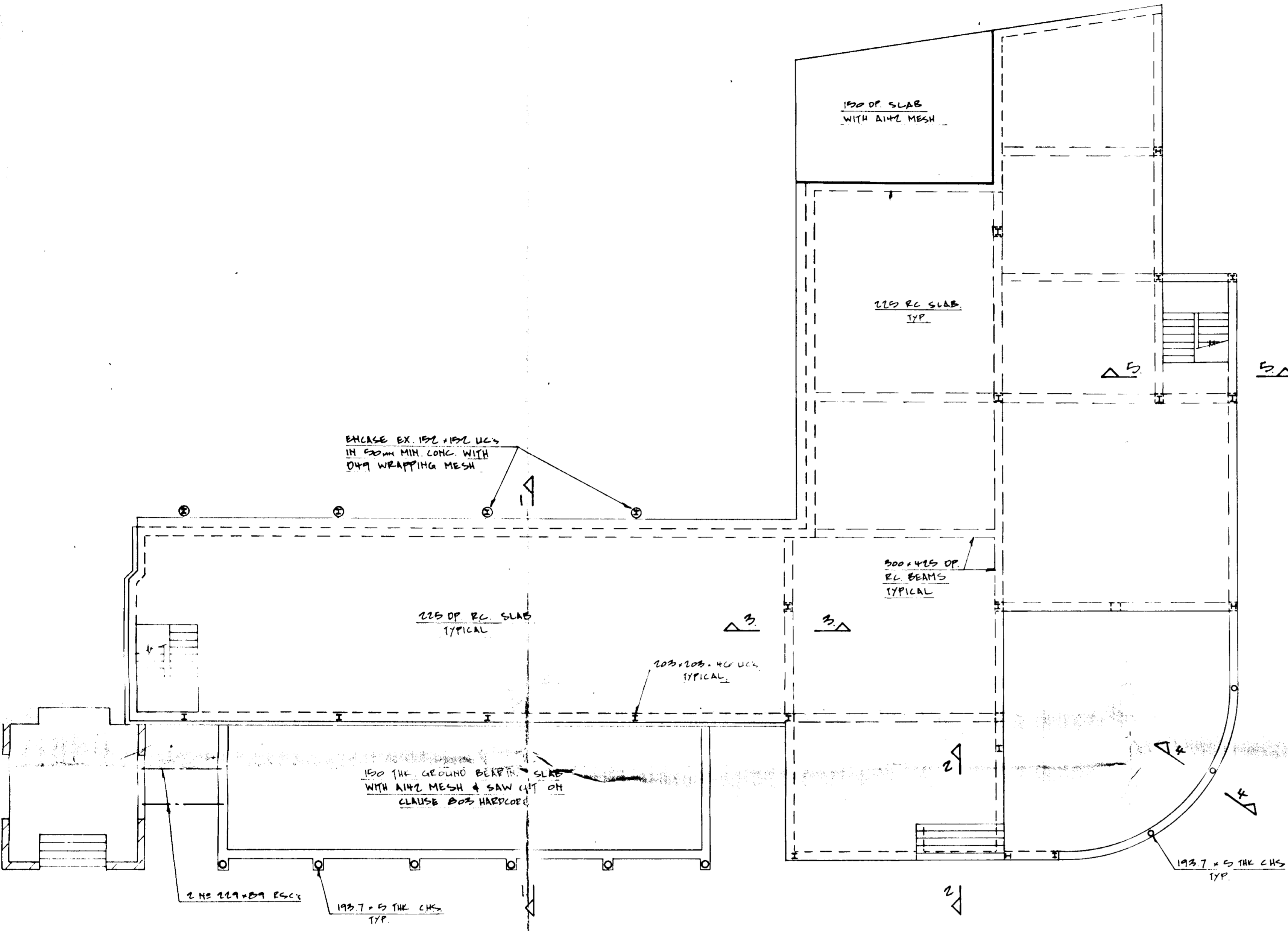
**HORGAN, LYNCH PARTNERS**  
CONSULTING ENGINEERS

58 Canal Street  
Dublin 1  
Phone (01) 228588

PLANNING  
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Development Section  
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PAGE NO. 3/11/11

JOB TITLE  
**Extension to 'VIXENS'**  
The Foxes Covert, Tallaght  
DRG TITLE  
**Basement / Foundation Plan**

Scale: 1:50, 1:10	Drawn: J.P.
Date: 1/11/91	Checked:
ENCLOSURE NUMBER	KM/07/01



GROUND FLOOR PLAN

NOTES

- 1 THIS DRG. TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS & ENGINEERS DECS.
- 2 FOR SETTING OUT REFER TO ARCHITECTS DECS.
- 3 CONC. TO BE GRADE L95

REV	DATE	BY	DESCRIPTION
1/12/91		KB	ISSUED FOR BYE-LAW APPROVAL.

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Bishopscourt, Cork.  
Phone (021) 45333  
Telex 75410 HLEI

58 Great Charles St.,  
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JOB TITLE  
Extension to VIXENS  
The Foxes Covert, Tallaght

DRG. TITLE  
Ground Floor Plan

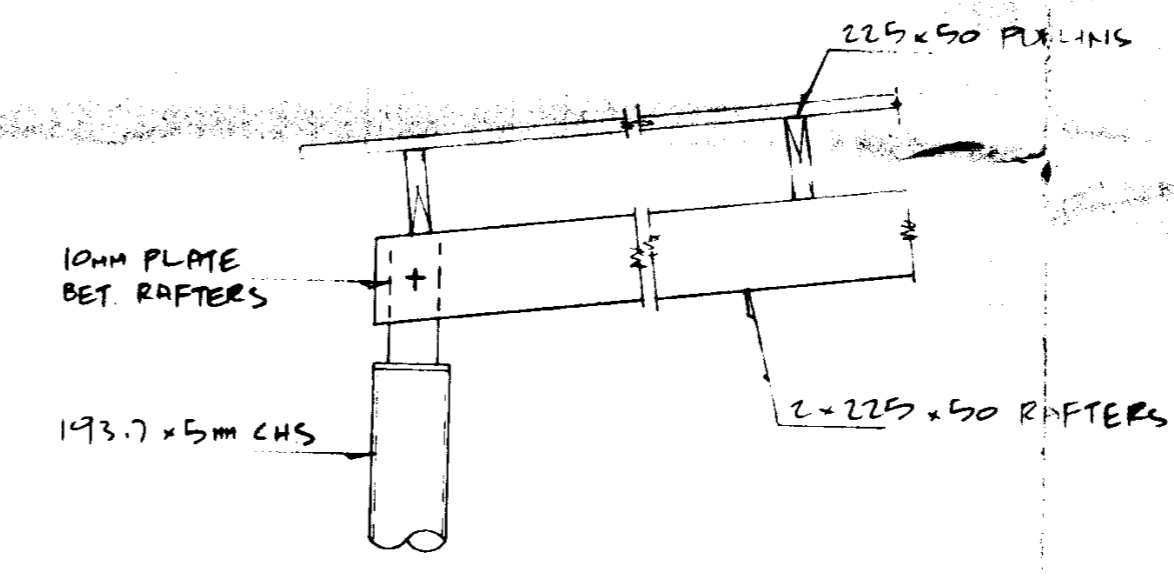
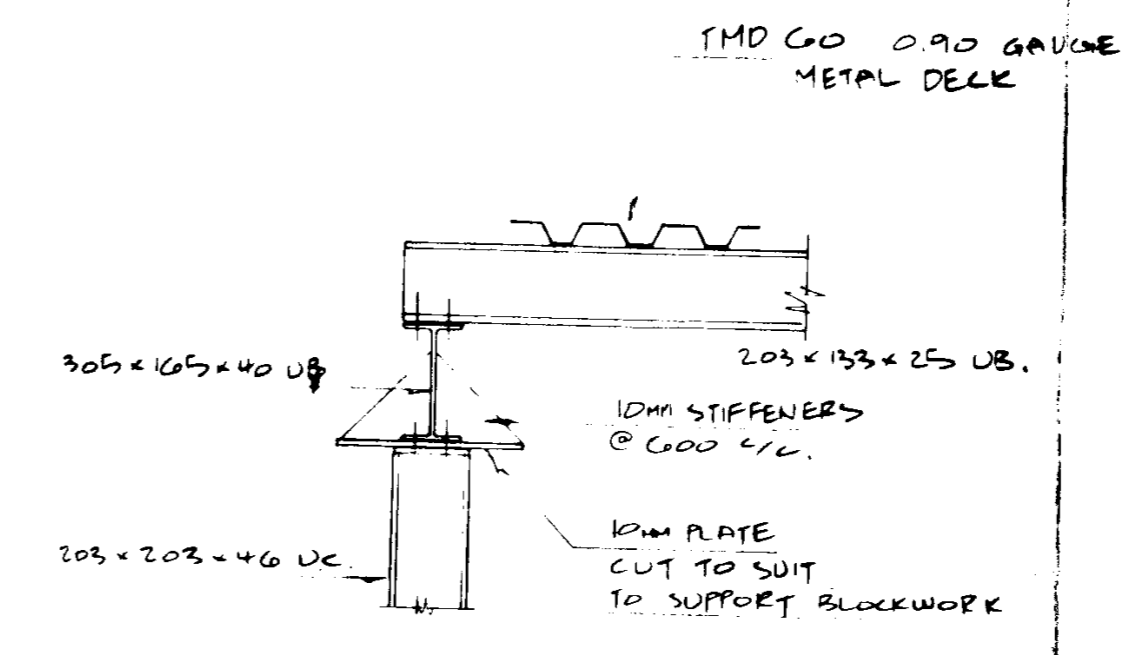
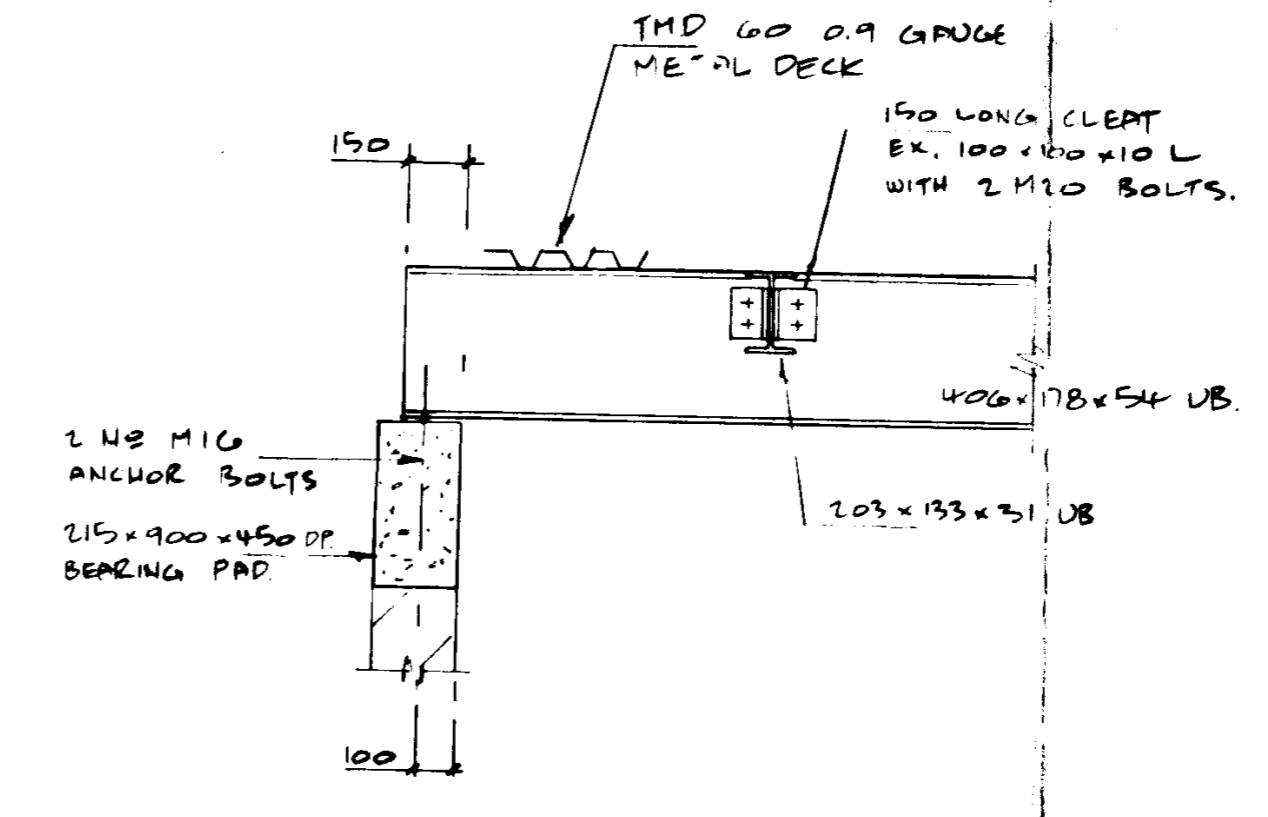
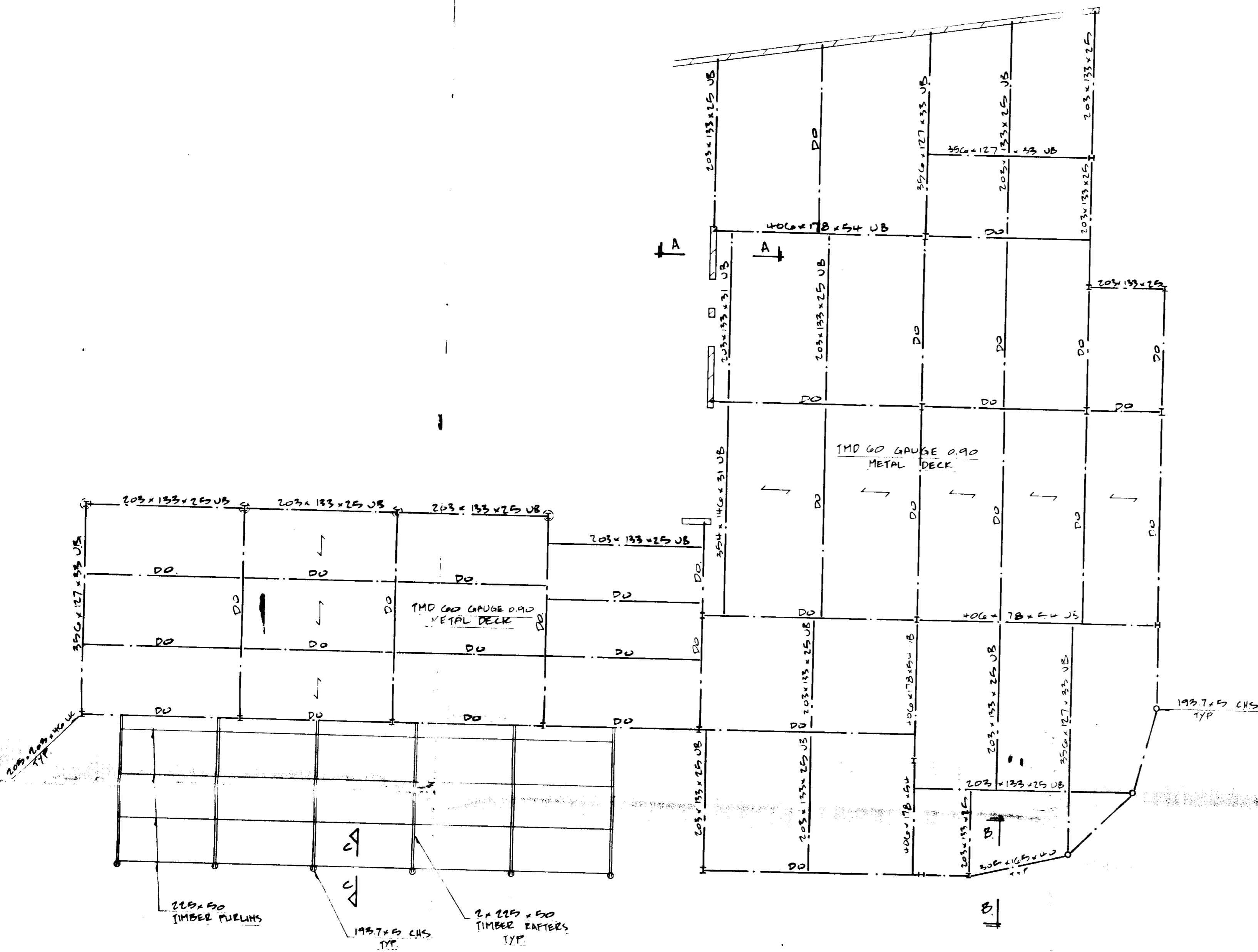
Scales 1:100 Drawn KB

Date DEC '91 Checked

DRAWING NUMBER KM / 07 / 02 REV.

NOTES

- 1 THIS DCG. TO BE READ IN CONSULTATION WITH ALL RELEVANT ARCHITECTS & ENGINEERS DRGS.
- 2 FOR SETTING OUT REFER TO ARCHITECTS DRGS.
- 3 ALL STEEL TO BE GRADE 43.



REV	DATE	BY	DESCRIPTION
1/12/91			ISSUED FOR BYE-LAW APPROVAL.

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PLANNING DEPT. 1100  
APPLICATION NO. 1100  
20 DEC 1991  
RES. No. 1100/1100

JOB TITLE  
Extension to 'VIXENS'  
The Foxes Covert, Tallaght

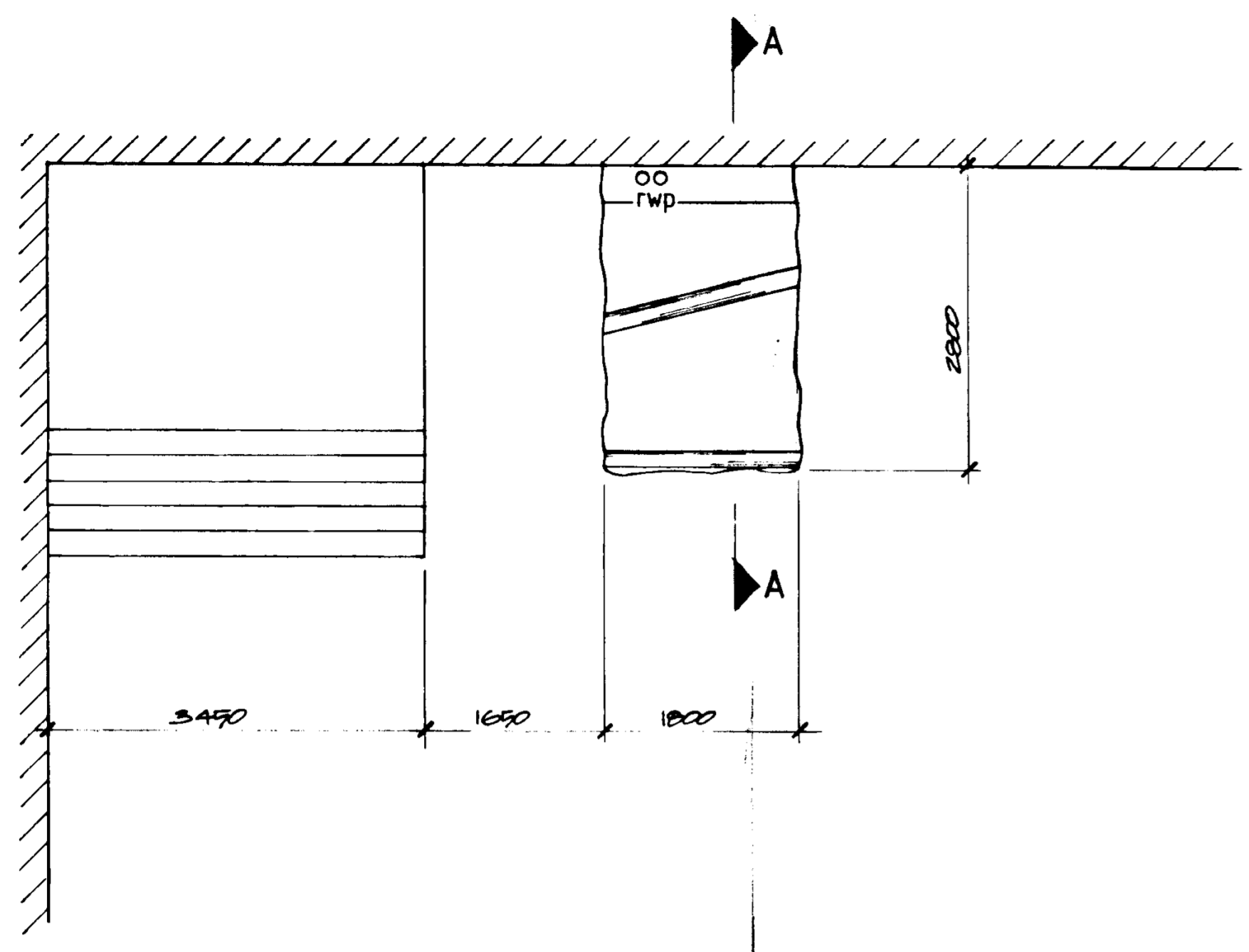
ORG. TITLE  
Roof Plan

Scales 1:100, 1:20 Drawn KE.

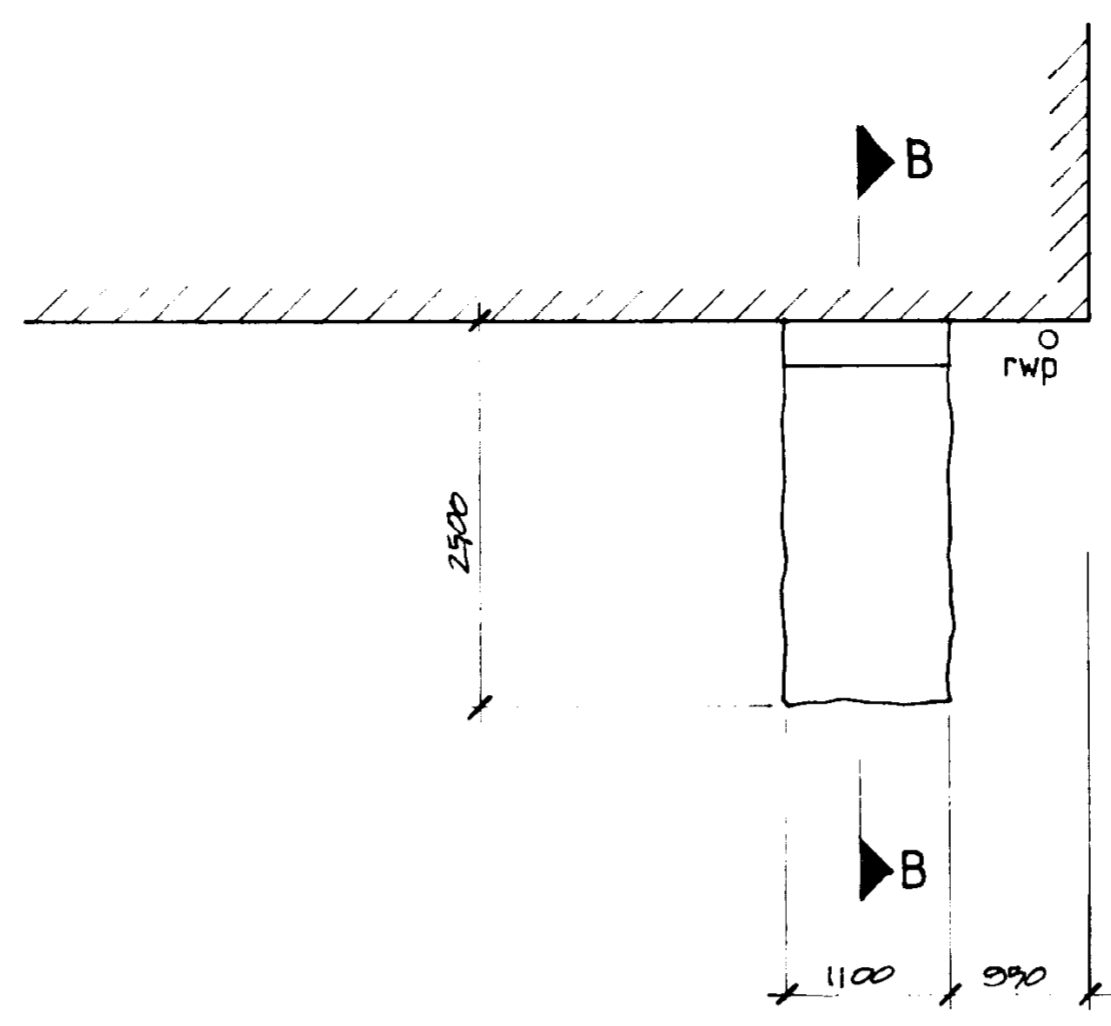
Date DEC 91 Checked

DRAWING NUMBER **KM / 07 / 03** REV.

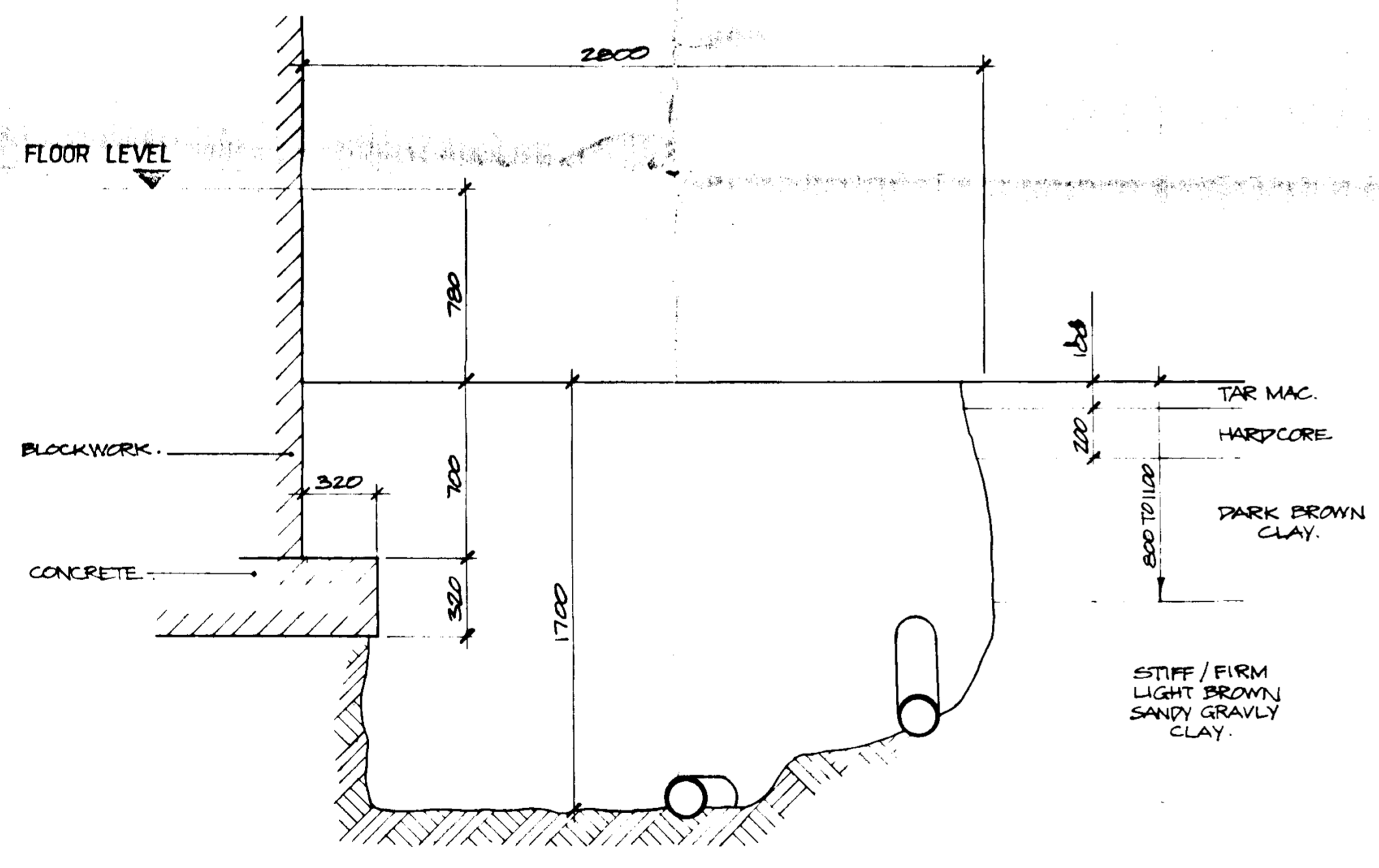
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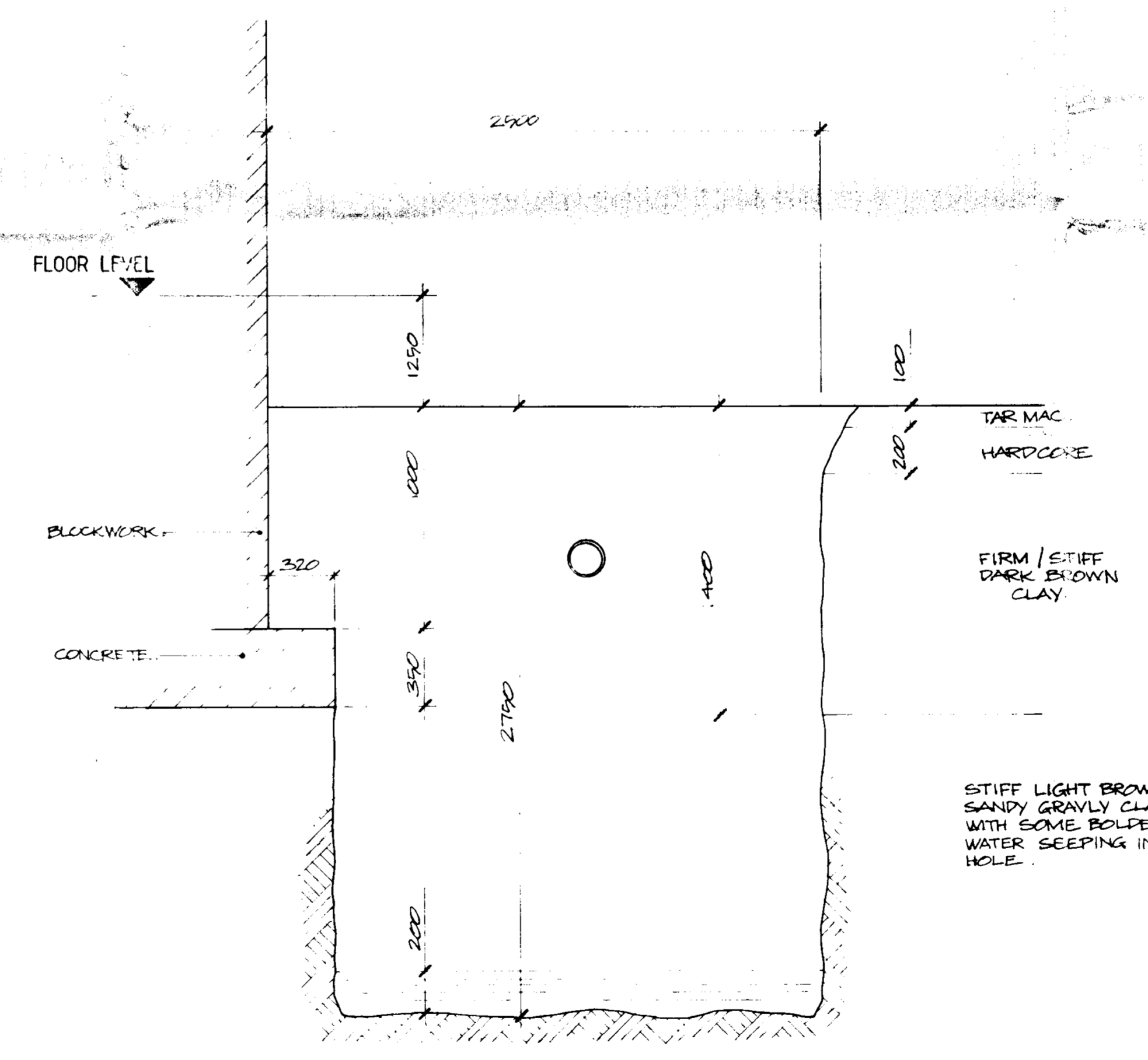
TRIAL PIT A 1:50



TRIAL PIT B 1:50



SECTION A-A 1:20



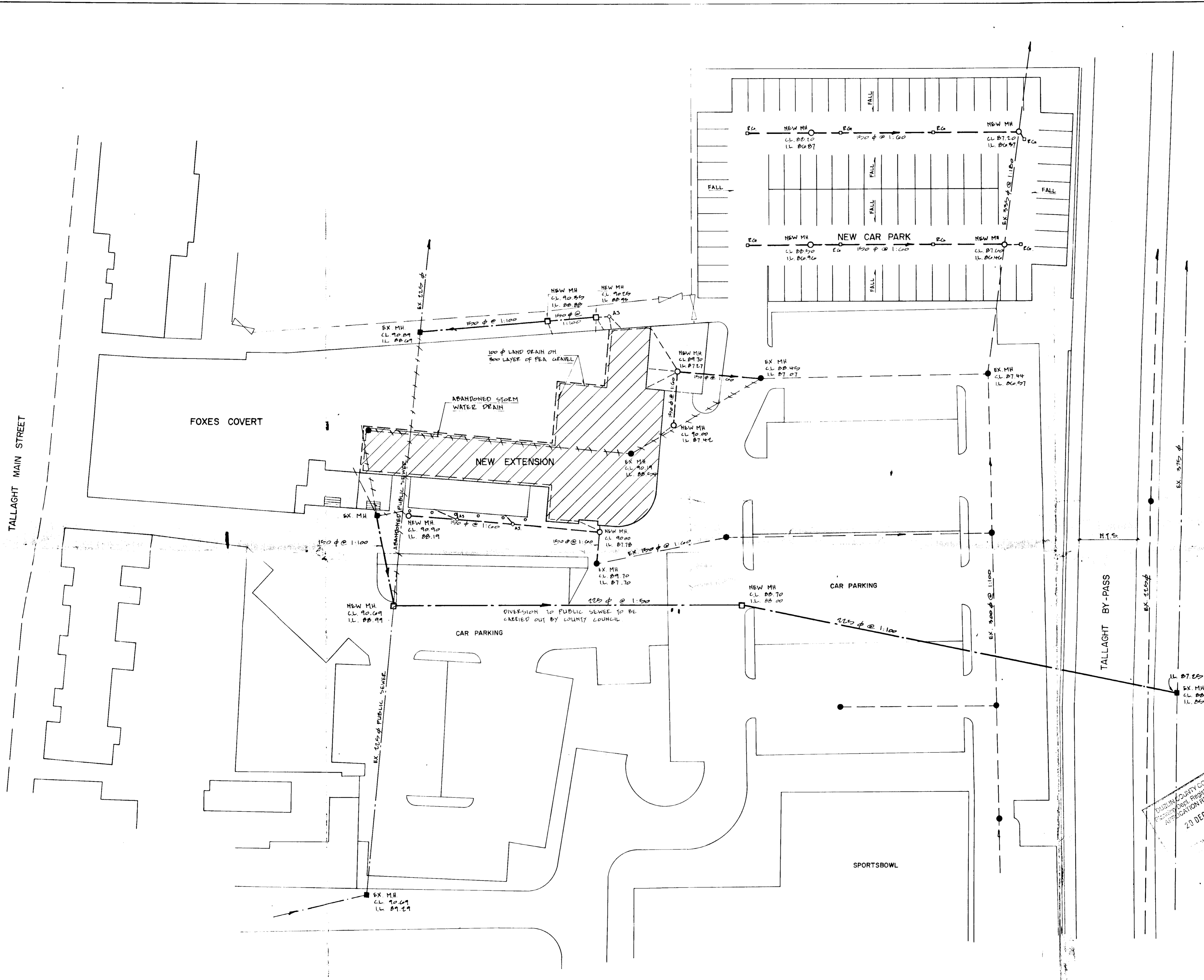
SECTION B-B 1:20

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JOB TITLE	FOX'S COVERT EXTENSION.		
DRG. TITLE	TRIAL PIT SURVEY.		
Scales	1:50, 1:20	Drawn	
Date	OCT. 91.	Checked	
DRAWING NUMBER	KM/07/04	REV.	



NOTES

- 1 THIS DCA TO BE READ IN CONJUNCTION WITH ALL RELEVANT PROJECTS & ENGINEERS DECS.
- 2 ALL ABANDONED DRAINS TO BE REMOVED OR GROUTED UP.

**LEGEND**

---	NEW FOUL SEWER
---	NEW STORM WATER DRAIN
---	EX. FOUL SEWER
---	EX. STORM WATER
□	NEW FOUL MANHOLE
■	NEW STORM WATER M.H.
○	EX. FOUL MANHOLE
●	EX. STORM WATER M.H.
EG	ROAD GULLY

REV	DATE	BY	DESCRIPTION
1/2	KS		ISSUED FOR BYE-LAW APPROVAL

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20 DEC 1991

**JOB TITLE**  
Extension to 'VIXENS'  
The Foxes Covert, Tallaght

**DRG. TITLE**  
Drainage Layout

Scales 1:250 Drawn KS

Date 4 DEC '91 Checked

**DRAWING NUMBER** KM/07/05 **REV.**