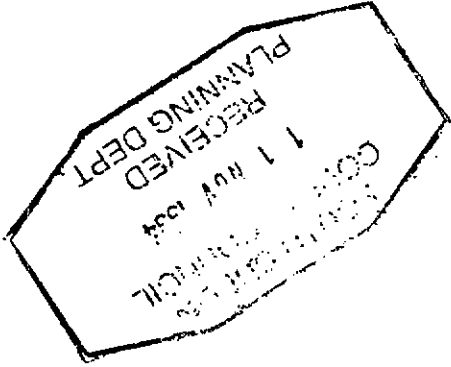




STATUTORY INSTRUMENTS.

S.I. No. 167 of 1975.

PUBLIC BODIES (AMENDMENT) ORDER, 1975.



S.I. No. 167 of 1975.

PUBLIC BODIES (AMENDMENT) ORDER, 1975.

The Minister for Local Government in exercise of the powers conferred on him by sections 9, 10 and 21 of the City and County Management (Amendment) Act, 1955 (No. 12 of 1955) hereby orders as follows:

1. This Order may be cited as the Public Bodies (Amendment) Order, 1975.
2. In this Order the expression "the Principal Order" means the Public Bodies Order, 1946 (S.R. and O. 1946. No. 273), as amended by the Public Bodies (Temporary Provisions) Order, 1947 (S. R. and O. 1947. No. 367), the Public Bodies (Temporary Provisions) Order, 1954 (S.I. No. 232 of 1954), the Public Bodies (Temporary Provisions) Order, 1955 (S.I. No. 155 of 1955), the Public Bodies (Temporary Provisions) Order, 1960 (S.I. No. 174 of 1960) and the Exchequer and Local Financial Years Act, 1974 (Adaptation of Local Government Enactments and Statutory Instruments) Order, 1974 (S.I. No. 323 of 1974).
3. This Order shall be construed as one with the Principal Order.
4. The Principal Order and this Order may be cited together as the Public Bodies Orders, 1946 to 1975.
5. This Order shall come into operation on the 1st day of August, 1975.
6. On the coming into operation of this Order the Principal Order shall have effect with the amendments specified in the Schedules to this Order.

FIRST SCHEDULE.

1. Article 53 of the Principal Order (as substituted therein by the Exchequer and Local Financial Years Act, 1974 (Adaptation of Local Government Enactments and Statutory Instruments) Order, 1974) shall be deleted and the following article substituted therefor:—

Notice of the making of this Statutory Instrument was published in the "Iris Officiail" of 1st August, 1975.

GIVEN under the Official Seal of the Minister for Local Government, this 28th day of July, 1975.



JAMES TULLY,
Minister for Local Government.

EXPLANATORY NOTE.

(This note is not part of the Instrument and does not purport to be a legal interpretation.)

This Order amends the Public Bodies Orders 1946 to 1960 and the Exchequer and Local Financial Years Act, 1974 (Adaptation of Local Government Enactments and Statutory Instruments) Order, 1974. It prescribes the period for the preparation of the estimates of expenses and the holding of the estimates meeting by local authorities, and, the form in which the estimates of expenses are to be prepared. It also makes some other minor consequential amendments.

THIRD SCHEDULE
TABLE

CALCULATION OF THE NET SUM REQUIRED FROM THE Borough Council/Urban District Council.

14 [1977]

PROGRAMME GROUP (1)	Balance on last 31st December		Estimated share of charges for		Total estimated charges (6)*	Amount demanded for Current Year:			Amount demanded for Year 1:		
	Against urban area (2)	In favour of urban area (3)	Current Year: (4)	Year 1: (5)		General charges (7)	Separate charges (8)	Total (7) + (8) (9)	General charges (10)	Separate charges (11)	Total (12)*
1. Housing and building	£	£	£	£	£	£	£	£	£	£	£
2. Road transportation and safety											
3. Water supply and sewerage											
4. Development incentives and controls											
5. Environmental protection											
6. Recreation and amenity											
7. Agriculture, education, health and welfare											
8. Miscellaneous services											
ALL PROGRAMME GROUPS TOTAL											

*NOTE (i) The figures in column 6 are the sum of columns 2, 4 and 5 less column 3.
(ii) The figures in column 12 are the sum of columns 10 and 11. They are also the difference between column 6 and column 9.

[1977] 3

"53-(1) The 1st August to 31st October in each local financial year shall be the prescribed period for the preparation of the estimate of expenses and the holding of the estimates meeting by a county council and by an elective body which is not a rating authority in respect of the local financial year next ensuing."

(2) The 1st August to 15th November in each local financial year shall be the prescribed period for the preparation of the estimate of expenses and the holding of the estimates meeting by the corporation of a county borough in respect of the local financial year next ensuing.

(3) The 1st August to 30th November in each local financial year shall be the prescribed period for the preparation of the estimate of expenses and the holding of the estimates meeting by an urban authority in respect of the local financial year next ensuing."

2. Article 54 of the Principal Order (as substituted therein by the Exchequer and Local Financial Years Act, 1974 (Adaptation of Local Government Enactments and Statutory Instruments) Order, 1974) shall be deleted and the following article substituted therefor:

"54. If the demand from any public body to which a rating authority is bound to supply money has not been received in sufficient time for inclusion in the estimate of expenses the estimates committee or, where the estimate of expenses is not prepared by an estimates committee, the manager, shall include in the estimate of expenses of such rating authority such sum by way of provision for the demand of the public body as the estimates committee or the manager shall determine to be sufficient."

3. Article 56A of the Principal Order (as substituted therein by the Public Bodies (Temporary Provisions) Order, 1975) shall be deleted and the following article substituted therefor:—

"56A-(1) The estimate of expenses of a county council shall be prepared in the form of Tables A, B1 (Part 1) and, where applicable, B1 (Part 2), C and D in the Second Schedule to the Public Bodies (Amendment) Order, 1975 or in the form of such tables to the like effect as the Minister may direct or approve from time to time.

(2) The estimate of expenses of a corporation of a county borough shall be prepared in the form of Tables A and B2 in the Second Schedule to the Public Bodies (Amendment) Order, 1975 or in the form of such tables to the like effect as the Minister may direct or approve from time to time.

(3) The estimate of expenses of an urban authority shall be prepared in the form of Tables A and B3 set forth in the Second Schedule to the Public Bodies (Amendment) Order, 1975 or in the form of such tables to the like effect as the Minister may direct or approve from time to time.

(4) At the estimates meeting of a rating authority, such authority shall adopt the estimate of expenses (with or without amendment) by passing the first of the resolutions referred to in the certificate at the foot of the prescribed form and shall determine in accordance with the estimate of expenses as so adopted, the rates in the pound to be levied for the several purposes, separate charges (if any) and town charges (if any) specified in the estimate of expenses by entering the said rates in the columns provided for the purpose in the prescribed form and passing the second of the resolutions referred to in the said certificate.

(5) Before the conclusion of the estimates meeting the Lord Mayor, Mayor or Chairman of the rating authority shall sign the certificate at the foot of the prescribed form and the secretary or clerk shall countersign the said certificate.

(6) As soon as may be after the conclusion of the estimates meeting of a rating authority the secretary or clerk shall send to the Minister a certified copy of the estimate of expenses as adopted by the authority and showing the rates in the pound as determined by the authority."

4. Article 57 of the Principal Order (as substituted therein by the Public Bodies (Temporary Provisions) Order, 1955) shall be deleted and the following article substituted therefor:

" 57 The estimates committee or, where the estimate of expenses is not prepared by an estimates committee, the manager shall annex to the estimate of expenses of each local authority such explanatory and comparative appendices as may be necessary."

5. The table annexed to Form E.8 (Demanded by County Council on Urban Authority) shall be deleted and the table in the Third Schedule to this Order substituted therefor:

6. In subparagraph (2) of paragraph 9 of Part I of the Schedule to the Public Bodies (Temporary Provisions) Order, 1955 the words "and of the estimate of expenses and the determination of the rates in the pound by a county council (Form E.1)" shall be deleted.

TABLE D: Calculation of the rate in the pound for town charges.

Name of Town (1)	Money demanded (or deemed to have been demanded) by the Commissioners		Irrecoverable rates and cost of collection		Total sum to be raised (sum of amounts in Col. (3) and Col. (5)) (6)	Rate in the pound required to raise the sum in Col. (6) (7)
	Estimated by Manager (2)	Adopted by Council (3)	Estimated by Manager (4)	Adopted by Council (5)		
	£	£	£	£	£	£

CERTIFICATE

I hereby certify that at (an adjournment of) the estimates meeting of the County Council held this day of 19, the Council by resolution adopted for the financial year ending 31st December 19, the estimate of expenses set out in Tables A, B1, C* and D* and by resolution determined in accordance with the said estimate the rates set out in Column (1) of Table B1 (Part 1), Column (1) of Table C* and Column (7) of Table D* to be the rates in the pound to be levied for that year for the purposes set out in Column (1) of Table B1 (Part 1) and in Tables C* and D*.

Signed..... Chairman Countersigned..... Secretary Date.....

*Delete if not applicable.

TABLE C: Calculation of the rates in the pound for separate charges.

..... Co. Council.

Number in separate charges register (1)	Nature of separate charge (2)	Number of the programme in TABLE A in which included (3)	Area of charge (4)	Estimated gross expenditure (5)	Estimated income (6)	Estimated net expenditure (7)	Estimated balances at beginning of year		Amounts to be levied (10)	Rate in the pound (11)
							Debit (8)	Credit (9)		
				£	£	£	£	£	£	£

SECOND SCHEDULE

ESTIMATE OF EXPENSES.

TABLE A: EXPENDITURE AND INCOME for the local financial year 19

LOCAL AUTHORITY:

PROGRAMME GROUP and PROGRAMMES (1)	Year 1:		Current Year:			
	Expenditure	Income	Expenditure	Income	Expenditure	Income
	Estimated by Council (2)	Adopted by Council (3)	Estimated by Council (4)	Adopted by Council (5)	Estimated by Council (6)	Adopted by Council (7)
1. Housing and Building	£	£	£	£	£	£
1.1 Local authority housing						
1.2 Assistance to persons housing themselves						
1.3 Assistance to persons improving houses						
1.8 Administration and miscellaneous						
TOTAL						
2. ROAD TRANSPORTATION AND SAFETY						
2.1 Road upkeep						
2.2 Road improvement						
2.3 Road traffic						
2.8 Administration and miscellaneous						
TOTAL						
3. WATER SUPPLY AND SEWERAGE						
3.1 Public water supply schemes						
3.2 Public sewerage schemes						
3.3 Private installations						
3.8 Administration and miscellaneous						
TOTAL						

TABLE A (contd.): EXPENDITURE AND INCOME for the local financial year 19

PROGRAMME GROUP and PROGRAMMES (1)	Year 1:				Current Year:			
	Expenditure Incurred by Manager (2)	Adopted by Council (3)	Incurred by Manager (4)	Adopted by Council (5)	Expenditure incurred (6)	Adopted by Council (7)	Income (8)	Incurred (9)
4. DEVELOPMENT INCENTIVES AND CONTROLS								
4.1 Land use planning								
4.2 Industrial development								
4.3 Other development and promotion								
4.8 Administration and miscellaneours								
TOTAL	£	£	£	£	£	£	£	£
5. ENVIRONMENTAL PROTECTION								
5.1 Waste disposal								
5.2 Burial grounds								
5.3 Safety of structures and places								
5.4 Fire protection								
5.5 Pollution control								
5.8 Administration and miscellaneours								
TOTAL								
6. RECREATION AND AMENITY								
6.1 Swimming pools								
6.2 Libraries								
6.3 Parks, open spaces, recreation centres etc.								
6.4 Other recreation and amenity								
6.8 Administration and miscellaneours								
TOTAL								

TABLE B3: Calculation of the rates in the pound for the local financial year 19

Borough Council/Urban District Council.

PROGRAMME GROUP (Purpose of expenditure; source of income) (1)	Estimated gross revenue expenditure (2)	Estimated revenue income (3)	Estimated net revenue expenditure (4)	Services provided by the County Council		Estimated balances at beginning of year		Amounts to be levied (9)	Rate in the pound (10)
				General charges (5)	Separate charges (6)	Debit (7)	Credit (8)		
1. Housing and building	£	£	£	£	£	£	£	£	£
2. Road transportation and safety									
3. Water supply and sewerage									
4. Development incentives and controls									
5. Environmental protection									
6. Recreation and amenity									
7. Agriculture, education, health and welfare									
8. Miscellaneous services									
ALL PROGRAMME GROUPS: TOTAL									

CERTIFICATE

I hereby certify that at (an adjournment of) the estimates meeting of the Borough/Urban District Council held this day of 19 .., the Council by resolution adopted for the financial year ending 31st December 19 .. the estimate of expenses set out in Tables A and B3 and by resolution determined in accordance with the said estimate the rates in the pound set out in Column (10) of Table B3 to be the rates in the pound to be levied for that year for the purposes set out in Column (1) of Table B3.

Signed Mayor/Chairman Countersigned Town Clerk Date

TABLE B2: Calculation of the rates in the pound for the local financial year 19 ..

County Borough of

PROGRAMME GROUP (Purpose of expenditure/ source of income) (1)	Estimated gross revenue expenditure (2)	Estimated revenue income (3)	Estimated net revenue expenditure (4)	Estimated balances at beginning of year		Amounts to be levied (7)	Rate in the pound (8)
				Debit (5)	Credit (6)		
	£	£	£	£	£	£	£
1. Housing and building							
2. Road transportation and safety							
3. Water supply and sewerage							
4. Development incentives and controls							
5. Environmental protection							
6. Recreation and amenity							
7. Agriculture, education, health and welfare							
8. Miscellaneous services							
ALL PROGRAMME GROUPS: TOTAL							

CERTIFICATE

I hereby certify that at (an adjournment of) the estimates meeting of the County Borough Council held this day of 19 .. the council by resolution adopted for the financial year ending 31st December, 19 .. the estimate of expenses set out in Tables A and B2 and by resolution determined in accordance with the said estimate the rates set out in Column (8) of Table B2 to be the rates in the pound to be levied for that year for the purposes set out in Column (1) of Table B2.

Signed Lord Mayor/Mayor Countersigned City Manager and Town Clerk Date

TABLE A (contd.): EXPENDITURE AND INCOME for the local financial year 19 ..

PROGRAMME GROUP and PROGRAMMES (1)	Year 1:				Current Year:			
	Expenditure Estimated by Manager (2)	Adopted by Council (3)	Income Estimated by Manager (4)	Adopted by Council (5)	Expenditure Adopted by Council (6)	Expenditure Estimated Council (7)	Income Adopted by Council (8)	Income Estimated Council (9)
7. AGRICULTURE, EDUCATION, HEALTH AND WELFARE	£	£	£	£	£	£	£	£
7.1 Agriculture								
7.2 Education								
7.3 Health and welfare								
7.8 Administration and miscellaneous								
TOTAL								
8. MISCELLANEOUS SERVICES								
8.1 Land acquisition and development								
8.2 Plant and materials								
8.3 Financial management								
8.4 Elections								
8.5 Administration of justice and consumer protection								
8.6 Property damage								
8.7 Markets, fairs and abattoirs								
8.8 Administration and miscellaneous								
TOTAL								
ALL PROGRAMME GROUPS: TOTAL								

*Note: The amount shown for programme 8.2 is a balance only, i.e. gross expenditure less amounts recharged to other programmes.

TABLE B1 (Part 1): Calculation of the rates in the pound for general charges for the local financial year 19 ..

Co. Council										
PROGRAMME GROUP (Purpose of expenditure/ source of income)	Estimated gross revenue expenditure	Estimated revenue income	Estimated net revenue expenditure	Net amounts chargeable			County Health District			Rate in the pound
				As separate charges (Table C)	To Urban Area(s) *(Note 1)	To County Health District	Estimated balan- ces at beginning of year		Amounts to be levied	
							Debit (8)	Credit (9)		
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
1. Housing and building	£	£	£	£	£	£	£	£	£	£
2. Road transportation and safety										
3. Water supply and sewerage										
4. Development incentives and controls										
5. Environmental protection										
6. Recreation and amenity										
7. Agriculture, education, health and welfare										
8. Miscellaneous services										
ALL PROGRAMME GROUPS: TOTAL										

Note 1: Where there is only one urban area situate in the county, the name of that area should be inserted at * and the amount chargeable to that urban area for each programme group should be shown in this column. Where there are two or more than two urban areas situate in a county, the amount to be shown in this column for each programme group is the combined total for those urban areas.

TABLE B1 (Part 2): Net revenue expenditure chargeable to Urban Areas.

Co. Council										
PROGRAMME GROUP (1)	Borough/Urban District									Total for Urban Areas in County (Note 1) (6)
	(6a)	(6b)	(6c)	(6d)	(6e)	(6f)	(6g)	(6h)	(6j)	
1. Housing and building	£	£	£	£	£	£	£	£	£	£
2. Road transportation and safety										
3. Water supply and sewerage										
4. Development incentives and controls										
5. Environmental protection										
6. Recreation and amenity										
7. Agriculture, education, health and welfare										
8. Miscellaneous services										
ALL PROGRAMME GROUPS: TOTAL										

*Insert name of Borough or Urban District as appropriate.

NOTE 1: This total should be the same as that shown in Col. 6 of Table B1 (Part 1).

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/Approval
Local Government (Planning and Development) Acts, 1963-1983

To **Reede Fanning Archs. & Interior Designs,**
16 Mount Street Upper,
Dublin 2.

Decision Order
Number and Date **P/396/90 - 31/1/90**
Register Reference No. **89A-2133**
Planning Control No.
Application Received on **1/12/89**

Applicant **Willwright Ltd.**

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/Approval for:-

11 no. two storey detached 4 bedroom houses, 30 no. two storey semi-detached 4 bedroom houses and 24 no. 2 storey semi-detached 3 bedroom houses on site at Ballycullen Road, Knocklyon.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
2. That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.
3. That each proposed house be used as a single dwelling unit.
4. That a financial contribution in the sum of £40,800. be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASONS FOR CONDITIONS

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. In order to comply with the Sanitary Services Acts, 1878-1950.
3. To prevent unauthorised development.
4. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

Contd.....

Signed on behalf of the Dublin County Council

For Principal Officer

Date **31st January, 1990.**

IMPORTANT: Turn overleaf for further information

CONDITIONS

REASONS FOR CONDITIONS

5. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains, has been given by:-

a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £60,000. which shall be renewed by the developer from time to time as required during the course of the development and kept in force by him until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.
Or./...

b. Lodgement with the Council of a Cash Sum of £40,000. to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications.
Or./...

c. Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

6. That details of brick colour and roof tiles be submitted to and agreed with the Planning Authority before any development commences on site.

7. That full details of proposed boundaries along Wycullen Road and to the south of the site adjoining the reservation for the proposed new road be submitted to and agreed with the Planning Authority before any development commences on site.

8. That full details of proposed screen walls to the side of house nos. 10, 29, 30 and 54 and the screen wall to the side of house no. 9 adjoining the public open space be submitted to and agreed with the Planning Authority before any development commences on site.

5. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

6. In the interest of visual amenity.

7. In the interest of the proper planning and development of the area.

8. In the interest of the proper planning and development of the area.

Contd.....

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:-
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/Approval
Local Government (Planning and Development) Acts, 1963-1983

To **Reede Panning Archs & Interior Designs,** Decision Order
Number and Date **P/396/90 - 31/1/90**
..... **16 Mount Street Upper,** Register Reference No. **89A-2133**
..... **Dublin 2.** Planning Control No.
..... Application Received on **1/12/89**
Applicant **Willwright Ltd.**

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/Approval for:-

..... **11 no. two storey detached 4 bedroom houses, 30 no. two storey semi-detached 4 bedroom houses and 24 no. 2 storey semi-detached 3 bedroom houses on site at Ballycullen Road, Knocklyon.**

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
<p>9. That the area of land shown to the south of house plot no. 19 be incorporated into the garden of that house.</p> <p>10. That details of proposed front boundary treatment for all houses be submitted to and agreed by the Planning Authority before any development commences on site.</p> <p>11. That the area of land indicated graphically as open space on Drawing No. 89/10/01, namely the north east portion of the site, be reserved as public open space and that this area be fenced off and protected from site development works and not used for the storage of builders materials, spoil etc.</p> <p>12. That a scheme of street tree planting be submitted and agreed with the Planning Authority prior to commencement of development.</p>	<p>9. In the interest of the proper planning and development of the area.</p> <p>10. In the interest of the proper planning and development of the area.</p> <p>11. In the interest of the proper planning and development of the area.</p> <p>12. In the interest of the proper planning and development of the area.</p>

Contd....

Signed on behalf of the Dublin County Council



For Principal Officer

31st January, 1990.

Date.....

IMPORTANT: Turn overleaf for further information

CONDITIONS

REASONS FOR CONDITIONS

13. A landscape plan for the site with full works specification and bill of quantities etc., shall be submitted to and agreed with the Planning Authority before the commencement of development. Such plan shall include proposals for regrading, drainage, topsoiling, seeding, tree and shrub planting, pedestrian paths and details of maintenance.

13. In the interest of the proper planning and development of the area.

Or/....
In lieu of the open space being developed by the applicants, a financial contribution of £300. per house shall be paid to the County Council to enable this work to be carried out. This cost to be paid on a phased basis as agreed with the Planning Authority.

14. That details of a permanent boundary treatment along the eastern boundary of the public open space be submitted to and agreed by Planning Authority before any development commences on site.

14. In the interest of the proper planning and development of the area.

15. That the line of the Ballycullen Road Reservation set out on site by the applicant and be checked by Engineer from the Councils Roads Department. The position of the line to be determined by the applicant the Councils Roads Department prior to commencement of development and no development to take place within this reservation.

15. In the interest of the proper planning and development of the area.

16. That houses nos. 40, 41 and 65 be omitted subject to the wayleave requirements of the E.S.B. with respect of the relocation of the electricity line (Application Reg. Ref. 89A-1779).

16. In the interest of the proper planning and development of the area.

17. That the road reservation south of the site be set out and agreed with the Councils Roads Department prior to commencement of development.

17. In order to comply with the requirements of the Roads Department.

18. That a contribution of £1,550. per house be paid to the County Council towards the cost of improvement of Ballycullen Road, which will directly facilitate this development. This contribution to be paid prior to the commencement of the proposal.

18. In the interest of the proper planning and development of the area.

19. That no garden sheds or other structures shall be constructed directly onto the rear garden walls of houses nos. 3-9 inclusive, and nos. 10-19 inclusive.

19. In the interest of the proper planning and development of the area.

NOTE:

Contd.....

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

Tel: 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/Approval
Local Government (Planning and Development) Acts, 1963-1983

To **Reede Fanning Archs & Interior Designs,**
... **16 Mount Street Upper,**
... **Dublin 2.**

Decision Order
Number and Date **P/396/90 - 31/1/90**
Register Reference No. **89A-2133**
Planning Control No.
Application Received on **1/12/89**

Applicant **Willwright Ltd.**

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/Approval for:-

... **11 no. two storey detached 4 bedroom houses, 30 no. two storey semi-detached 4 bedroom houses and 24 no. 2 storey semi-detached 3 bedroom houses on site at Ballycullen Road, Knocklyon.**

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS

20. That the requirements of the Sanitary Services Department be ascertained and strictly adhered to in the development.

REASONS FOR CONDITIONS

20. In order to comply with the Sanitary Services Acts, 1878-1964.

Signed on behalf of the Dublin County Council



For Principal Officer

Date **31st January, 1990.**

IMPORTANT: Turn overleaf for further information

CONDITIONS

REASONS FOR CONDITIONS

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/~~Application~~

Local Government (Planning and Development) Acts, 1963-1983

To: Martin Murray, Architect, Decision Order P/5321/91 28.11.91
10 Mountpleasant Parade, Number and Date
Ranelagh, Register Reference No. 91A/1579
Dublin 6. Planning Control No.
Application Received on 01.10.91
Applicant: Willwright Ltd. Floor Area: 2,987 sq.m.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/~~Application~~ for:-

change of house types of previously approved scheme for 65 houses on Sites 1 to 29 on site adjacent to Ballycullen House, Ballycullen Road, Knocklyon.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
6. The development shall be carried out in conformity with Conditions Nos. 6-8, 10-17 incl. & 20 of the decision to grant permission by Order No. P/396/90, dated 31.01.90, Reg. Ref. 89A/2133, save as amended to conform with the revisions indicated in the plans lodged with Dublin County Council in connection with this application.	6. In the interest of the proper planning and development of the area.
7. That no garden sheds or other structures shall be constructed directly onto the rear garden walls of House Nos. 3-9, and 10-19 inclusive.	7. In the interest of the proper planning and development of the area.
8. That the roof finishes on all the proposed 65 houses on this site consist of grey/black concrete roof tiles.	8. In the interest of visual amenity.

Over

Signed on behalf of the Dublin County Council


For Principal Officer

Date

28/11/91

IMPORTANT: Turn overleaf for further information

CONDITIONS

REASONS FOR CONDITIONS

9. Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

9. In the interest of reducing air pollution.

10. That the road reservation lines for the Ballycullen Road and the proposed road to the south of the site be set out on site by the applicant and be checked by an engineer from the Roads Department prior to the commencement of development on the site. The exact location of the proposed boundary walls along these reservations is to be agreed with the Roads Department on site prior to the commencement of development.

10. In the interest of the proper planning and development of the area.

11. That a financial contribution in the sum of £1,500. per house be paid by the proposer to Dublin County Council towards the cost of improvement of Ballycullen Road which will directly facilitate this proposal; this contribution to be paid prior to commencement of development on site.

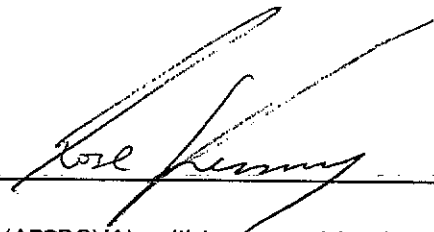
11. In the interest of the proper planning and development of the area.

12. A landscape plan for the site with full works specification and bill of quantities etc., shall be submitted to and agreed with the Planning Authority before the commencement of development. Such plan shall include regrading, drainage, topsoiling, seeding, tree and shrub planting, pedestrian paths and details of maintenance.

12. In the interest of the proper planning and development of the area.

OR....

In lieu of the open space being developed by the applicants, a financial contribution of £300. per house shall be paid to the county Council to enable this work to be carried out. This cost to be paid on a phased basis as agreed with the Planning Authority.



NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

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An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

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Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To **Martin Murray, Architect,**
10 Mountpleasant Parade,
Ranelagh,
Dublin 6.

Decision Order P/5321/91 28.11.91
Number and Date
Register Reference No. 91A/1579
Planning Control No.
Application Received on 01.10.91

Applicant **Willwright Ltd.** Floor Area: 2,987 sq.m.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-
change of house types of previously approved scheme for 65 houses
on Sites 1 to 29 on site adjacent to Ballycullen House, Ballycullen
Road, Knocklyon.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

NOTE: The applicant is requested to contact the Sanitary Services Department and Bye-Law Department with regard to their specific requirements prior to the commencement of development on the site.

3. That each proposed house be used as a single dwelling unit.

Over

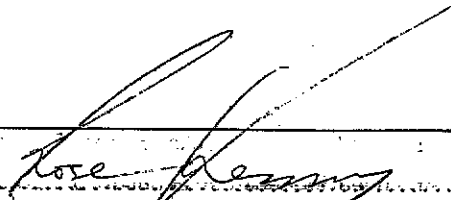
REASONS FOR CONDITIONS

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. In order to comply with the Sanitary Services Acts, 1878-1964.

3. To prevent unauthorised development.

Signed on behalf of the Dublin County Council


For Principal Officer

28 November 1991

Date

IMPORTANT: Turn overleaf for further information

CONDITIONS

4. That a financial contribution in the sum of £40,800 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

5. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car parks, Sewers, Watermains and Drains, has been given by:-

a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £60,000 which shall be renewed by the developer from time to time as required during the course of the development and kept in force by him until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.

OR.....

b. Lodgement with the Council of a Cash Sum of £40,000 to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specification.

OR.....

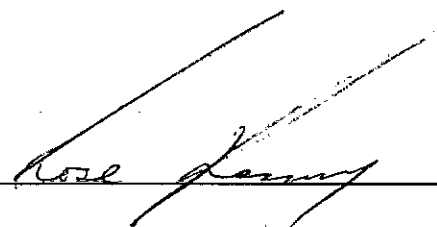
c. Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

REASONS FOR CONDITIONS

4. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

5. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

Over



NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:-
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

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Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.

Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Telephone: 773066

Telephone: 724755
Extension: 231/234

24 October 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: Site adj. to Ballycullen House, Ballycullen Road, Knocklyon
PROPOSED DEVELOPMENT: Change of house types to sites 1-29 of app. scheme for 65 houses
APPLICANT: Willwright Ltd
PLANNING REG.REF.: 91A/1579
DATE OF RECEIPT
OF SUBMISSION: 8 October 1991

A Chara,

With reference to above, I acknowledge receipt of application for:

Building Bye Law Approval.

Mise, le meas

A. Smith

PRINCIPAL OFFICER

Martin Murray, Architect,

10 Mountpleasant Parade,

Ranelagh,

Dublin 6.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box. **BYE-LAW.**
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building **Site Adjacent to Ballycullen House**
(If none, give description sufficient to identify) **Ballycullen Road, Knocklyon.**

3. Name of applicant (Principal not Agent) **Willwright Ltd.**

Address **#2 Parkumberland Rd, D.4** Tel. No. **682069**

4. Name and address of **MARTIN MURRAY, ARCHITECT, 10 MOUNT PLEASANT**
person or firm responsible for preparation of drawings **DARNOZ, RANELAGH, D.6** Tel. No. **970668**

5. Name and address to which notifications should be sent **AS '4' ABOVE**

6. Brief description of proposed development **Change of House typed to Sites 1-29 of previously approved Scheme for 65 houses**

7. Method of drainage **SEWERS** 8. Source of Water Supply **SEWERS**

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used **N/A** **BYE LAW APPLICATION**
(b) Proposed use of each floor **N/A** **REF. No. N 50311**

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? **N/A** **£1595.00**

11.(a) Area of Site **As Before REF BBL/2004/90 - (Co. Tax approx) 27225.0 Sq. m.**

(b) Floor area of proposed development **29 Houses: 1 @ 119m²; 10 @ 109m²; 10 @ 90m²; 2 @ 97m²; 6 @ 100m²** **TOTAL 2987m²**

(c) Floor area of buildings proposed to be retained within site **N/A** Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) **FREEHOLD.**

13.Are you now applying also for an approval under the Building Bye Laws? **- BYE-LAW APPLICATION -**
Yes No Place in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
It is the policy of this office to utilize the guidance of the Building Regs (Draft) whenever possible.

15. List of documents submitted with **application forms, Cheque £1595, copy newspaper ad.**
Cover letter, Specification, Byelaw Requirements, dgs 91026/01-09 incl. + Eng dgs 9239 12-15c-16 + calcs in duplicate

16. Gross floor space of proposed development (See back) **As 11(b) above** Sq. m.

No of dwellings proposed (if any) **29** Class(es) of Development **Residential**

Fee Payable **£1595** Basis of Calculation **55 x 29 = £1595.00** **0-8-OCT 91**

Signature of Applicant (or his Agent) **Martin Murray** Date **1/10/91**

Application Type **FOR OFFICE USE ONLY**
Register Reference **91A/1579**
Amount Received £ **2,252.22**
Receipt No **BB2**
Date

DUBLIN Permission sought for change of use of sites 1 to 29 of previously approved scheme for 65 houses on site adjacent to Ballycullen House, Ballycullen Road, Knocklyon for Willwright Ltd.

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated to include the number of employees, (male and female). Details of trade effluents, if any, should be stated.

Applicants to comply in full with the requirements of the Local Government (Planning & Development) Regulations 1977 to 1984 in particular the licencing provisions of Sections 4 and 16.

New Charges Effective 15/2/88

PLANNING APPLICATIONS		
CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min. £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW A/		
CLASS NO.	DESCRIPTION	CHARGE
A	Dwelling (House/Flat)	£55 each
B	Domestic Extension (improvement/alteration)	£30 each
C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70)
D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. £70) (max. £300)
E	Petrol Filling Station Development or Proposals not coming within any of the foregoing classes.	£200
F		£9.00 per 0.1 ha. (£70 min.)

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external wall. For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

Min. Fee £30.00
Max. Fee £20,000.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

BYE LAW APPLICATION.

REC. No. N 50311

£ 1595.00

8th

day of

October

19 91

Received this

Melmanor Hd.

the sum of one thousand five hundred and ninety five Pounds

Pence, being

eye-law application at Ballyculen House

Anders Deane

Cashier

S. CAREY (Sax 11x)
Principal Officer 29

MARTIN A MURRAY

■ ARCHITECT ■

10 Mountpleasant Parade,
Ranelagh, Dublin 6.
tel : 01 970668

Principal Officer
Dublin County Council
Building Control Department
Planning Department
Irish Life Centre
Lower Abbey Street
Dublin 1

1st October 1991

Re: Revised House Types to Previously Approved Scheme of
65 Houses at Ballycullen Road, Knocklyon, Co Dublin
Ref.: BBL/2884/90

08 OCT 91

Dear Sirs,

Please find enclosed full documentation in support of a Byelaw Application for revised house types to sites 1 - 29 inclusive. The purpose of the revisions is to create a broad range of more appealing and marketable house types. The developers feel that this is necessary given the changes which have occurred in the housing market since the previous Application was submitted.

The new house types proposed consist of:-

1) Type A1 - 4 bed Semi-Detached (6 No.)

Similar to type A within previous Application with minor variations.

2) Type A2 - 4 Bed Semi-Detached (10 No.)

New house type similar to type A1 above but incorporating garage and kitchen extension to side.

3) Type B1 - 3 Bed Semi-Detached (10 No.)

Similar to type B within previous Application with slight internal variations and kitchen extension. Permission is sought for the completion of all type B1 houses with or without this kitchen extension.

MARTIN MURRAY
Dipl Arch & ArchSc MRIAI
Dipl Proj Mang M Arch UD



4) Type B2 - 3 Bed Semi-Detached (2 No.)

Similar house type to type B1 above but with kitchen extension to side with garage in lieu of rear extension.

5) Type C2 - 4 Bed Detached (1 No.)

Similar to type C within previous Application but with additional garage to side.

The development otherwise is unchanged except for a redesigned cul-de-sac adjacent to houses 19 and 20

I enclose in support of this Application the following documentation:-

- a) Completed Application Form.
- b) Newspaper Notice (copy) (Irish Press - 27th September 1991).
- c) Cheque to cover Byelaw Fee (£1,595.000).
- d) Drawing Nos. 91026 / 1 - 9 inclusive in duplicate.
- e) Engineer's Drawings 9239 12/15/16 and calculations in duplicate.
- f) General Specification / Byelaw requirements in duplicate.

My Client is anxious to commence the development and the building of show houses, a prompt and favourable decision would therefore be much appreciated. I would emphasise that the vast proportion of the works remain unchanged from the previous Byelaw Application and that even the new house types have similar footprint dimensions as the previously approved scheme. I have therefore only included the general arrangement drawings of the Engineers.

Please do not hesitate to contact the undersigned should you have any queries.

Yours faithfully,



Martin Murray
Architect



APPLICATION RECEIVED
 08 OCT 1991
 REG No. 91A/1579

garage as type B

E A (4 BED) WITH GABLE

CLIENT : WILLWRIGHT LTD.	
JOB TITLE : PROPOSED HOUSING AT BALLYCULLEN ROAD KNOCKLYON CO DUBLIN.	
DRAWING TITLE : GABLED ELEVATION HOUSE TYPE A.	
SCALE 1:50	DATE. 26.9.91
DRWN: MM	DRW NO. 91026 - 08

MARTIN A MURRAY
 * ARCHITECT *
 10 Mountpleasant Parade,
 Ranelagh, Dublin 6.
 tel : 01. 970658

COUNTY OF DUBLIN
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 08 OCT 1991
 REG No. 91A/1579



BED) WITH GABLE

garage type B 2

CLIENT : WILLWRIGHT LTD.	
JOB TITLE : PROPOSED HOUSING AT BALYCULLEN ROAD KNOCKLYON CO. DUBLIN	
DRAWING TITLE : ELEVATION TO HOUSE TYPE B.	
SCALE : 1:50	DATE : 26.9.91
DRWN. BY : MM	DRG. NO. 91026-9

MARTIN A MURRAY
 ARCHITECT
 10 Mountpleasant Parade,
 Ranelagh, Dublin 6.
 tel : 01 970668



COUNTY OF DUBLIN
 Building Dept. Registry Section
 APPLICATION RECEIVED
 08 OCT 1991
 REG No. 91A/1579

FRONT ELEVATION

CLIENT : WILLWRIGHT LTD.

JOB TITLE : PROPOSED HOUSING AT BALLYCULLEN ROAD
 KNOCKLYON CO DUBLIN.

DRAWING TITLE : GABLED ELEVATION HOUSE TYPE C

SCALE 1:50

DATE. 26.9.91

DRWN : MM

DRW NO. 91026 - 10

MARTIN A MURRAY

✱ ARCHITECT ✱

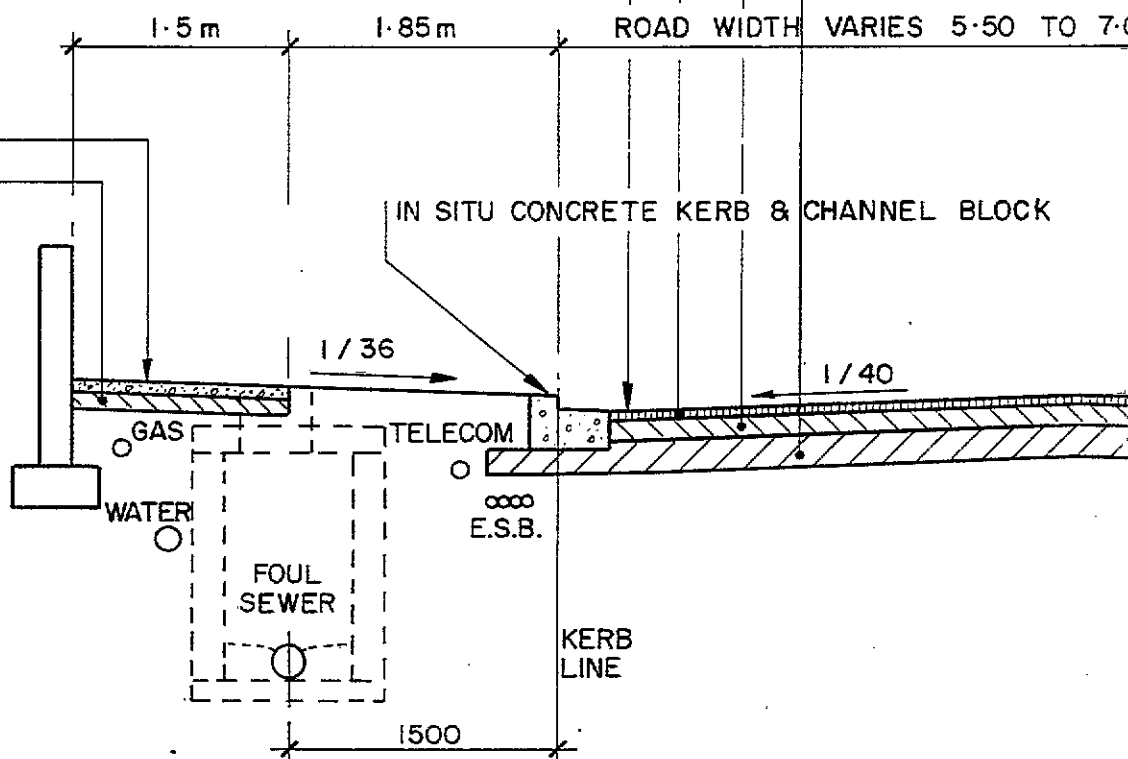
10 Mountpleasant Parade,
 Ranelagh, Dublin 6.
 Tel : 01. 970658

ROAD CONSTRUCTION

- 20mm DENSE BITUMEN (TABLES 45 -
- 40mm DENSE BITUMEN (TABLES 25 -
- 75mm DENSE BITUMEN
- 230mm MIN. CLAUSE (SUB-BASE

FOOTPATH CONSTRUCTION

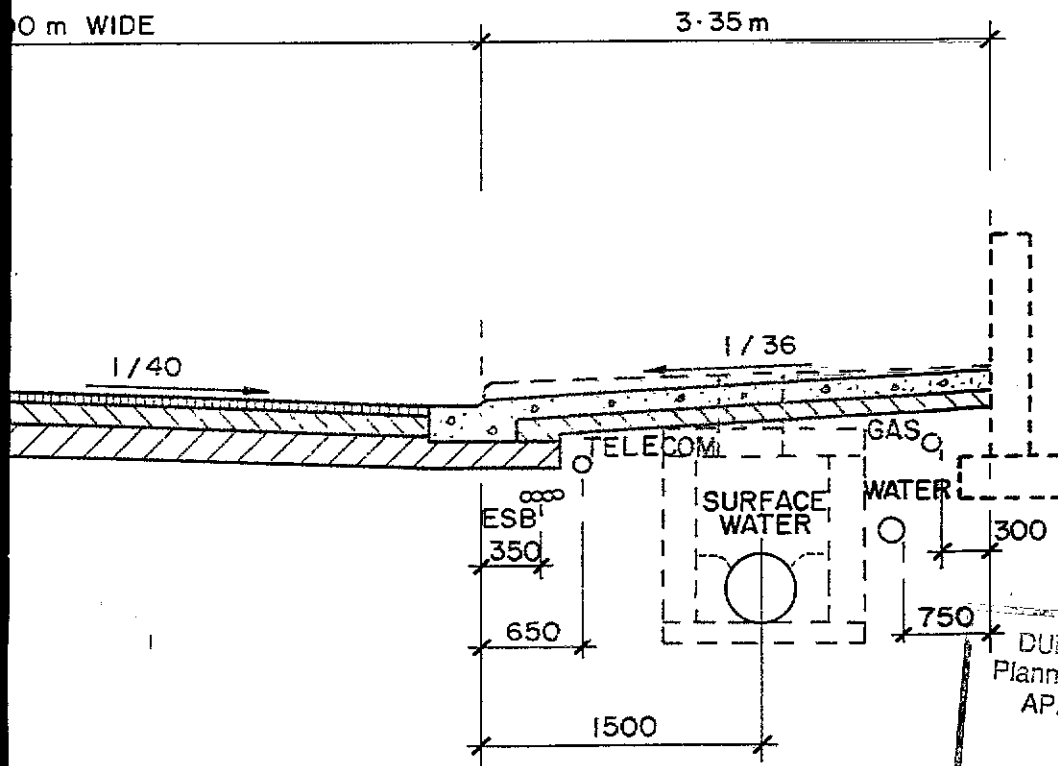
100mm CONCRETE ON 100mm HARDCORE.
(AT VEHICULAR ACCESS DEPTH OF CONCRETE IS TO BE 175mm)



TYPICAL ROAD CROSS SECTION

SECTION

MACADAM WEARING COURSE TO B.S. 4987
 (48 10mm MAX. NOMINAL AGGREGATE SIZE) ON
 MACADAM BASE COURSE TO B.S. 4987
 (28 20mm MAX. NOMINAL AGGREGATE SIZE) ON
 MACADAM ROAD BASE ON
 804 TYPE B GRANULAR SUB BASE MATERIAL
 (DEPTH WILL BE FINALISED ON THE BASIS OF C.B.R. TEST RESULTS.)

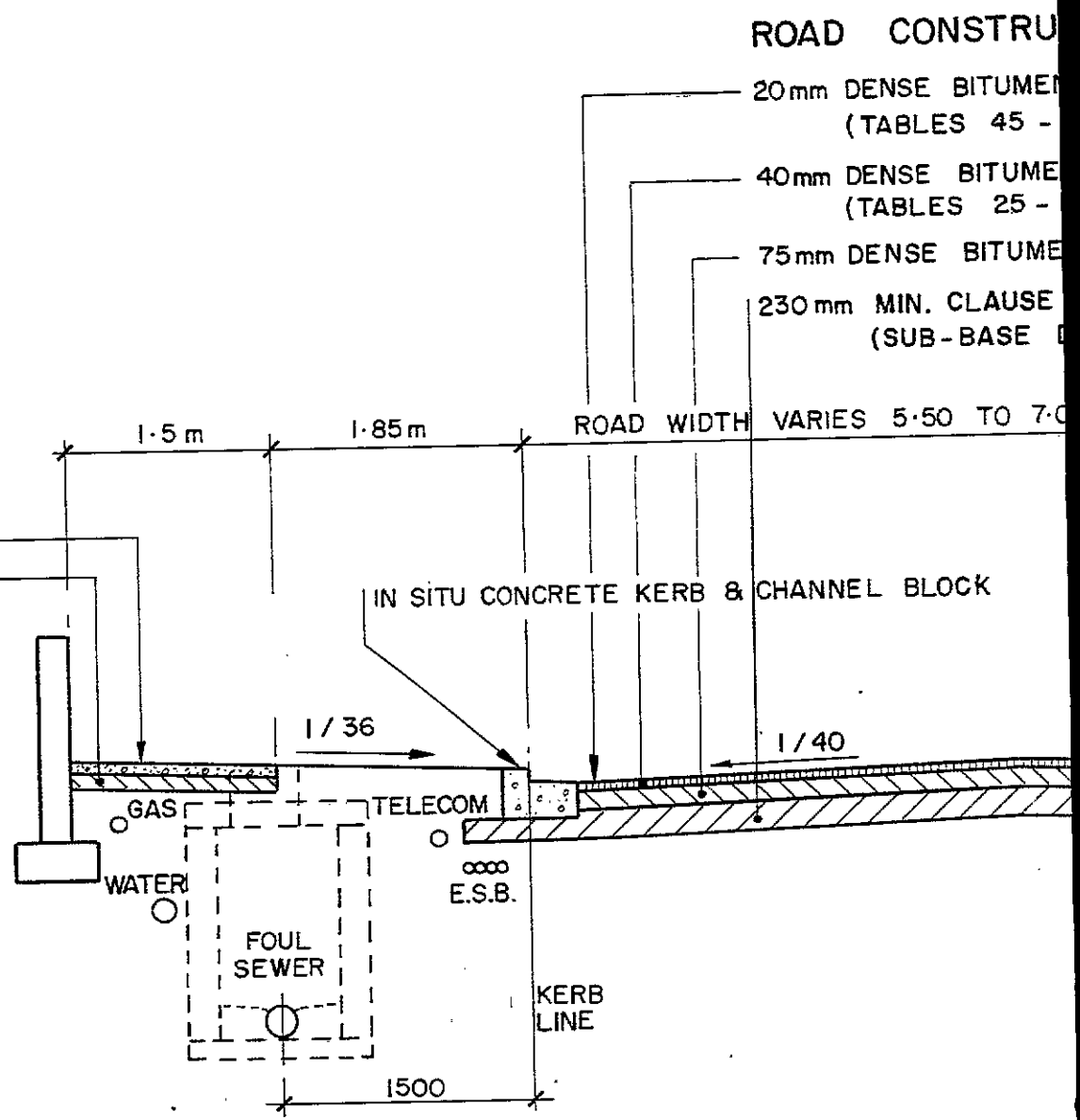


DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 08 OCT 1991
 REG No. 91A/1579

CIARAN FAHY + ASSOCIATES Consulting Engineers 25 Phoenix Street, Smithfield, Dublin 7. Tel. 734066 Fax. 734259		
CLIENT: WILLWRIGHT LTD.		
TITLE: PROPOSED HOUSING AT BALLYCULLEN ROAD		
SUBJECT: TYPICAL ROAD CROSS SECTION		
SCALE 1: 50	DRG BY R.O'H.	DRG No
DATE SEPT '89	CHECKED C.F.	9239 / 12

**FOOTPATH
CONSTRUCTION**

100mm CONCRETE ON
100mm HARDCORE.
(AT VEHICULAR ACCESS
DEPTH OF CONCRETE
IS TO BE 175mm)



ROAD CONSTRUCTION

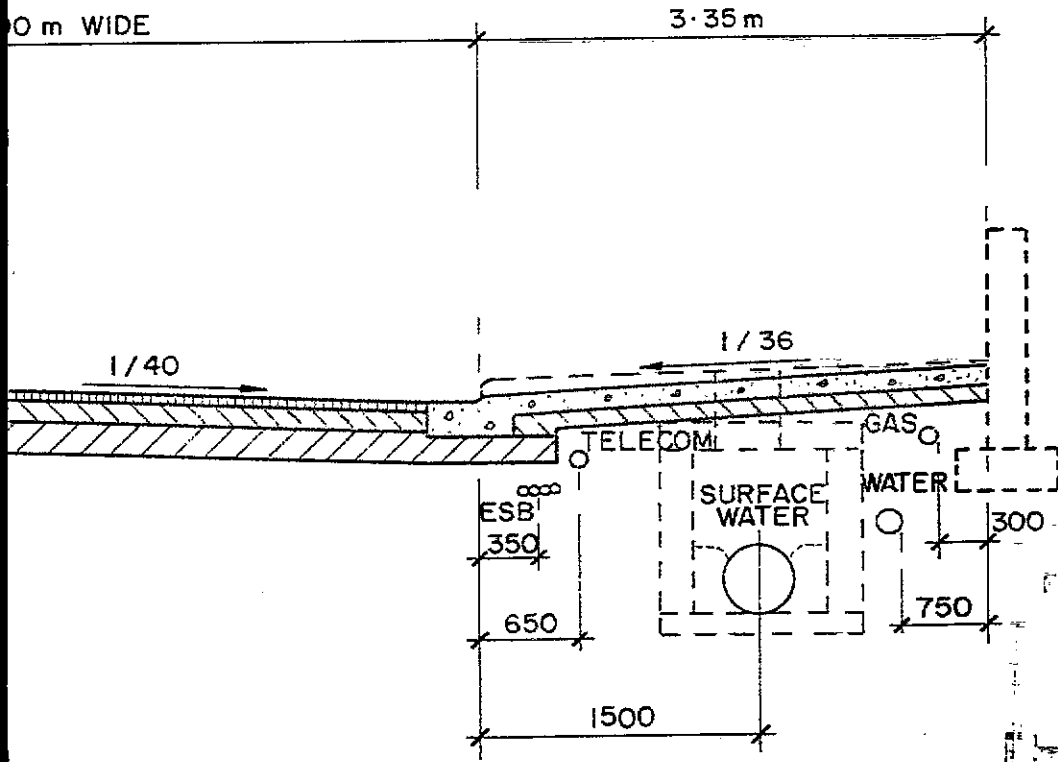
- 20mm DENSE BITUMEN (TABLES 45 - 47)
- 40mm DENSE BITUMEN (TABLES 25 - 27)
- 75mm DENSE BITUMEN (TABLES 230mm MIN. CLAUSE)
- (SUB-BASE)

ROAD WIDTH VARIES 5.50 TO 7.00

TYPICAL ROAD CROSS SECTION

SECTION

100 mm MACADAM WEARING COURSE TO B.S. 4987
 (48 10mm MAX. NOMINAL AGGREGATE SIZE) ON
 100 mm MACADAM BASE COURSE TO B.S. 4987
 (28 20mm MAX. NOMINAL AGGREGATE SIZE) ON
 100 mm MACADAM ROAD BASE ON
 100 mm 804 TYPE B GRANULAR SUB BASE MATERIAL
 (DEPTH WILL BE FINALISED ON THE BASIS OF C.B.R. TEST RESULTS.)



Planning & Development
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 08 OCT 1991
 REG No. 91A/1579

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STRUCTURAL CALCULATIONS

FOR

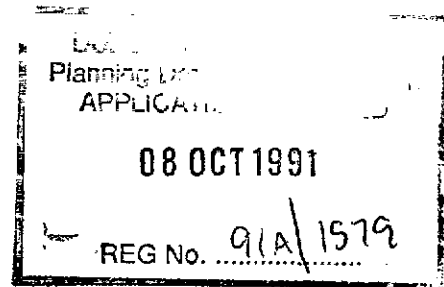
HOUSING DEVELOPMENT

AT

**BALLYCULLEN ROAD
KNOCKLYON
CO DUBLIN**

FOR

WILLWRIGHT LTD



FAHY FITZPATRICK
Consulting Engineers
Lincoln House
Lincoln Lane
Smithfield
Dublin 7

3 October 1991

Project <i>Bolly Cotton House</i>		Ref.No.	
Subject			
Calc'd <i>Hoda</i>	Checked	Date <i>Oct 91</i>	Page of

40 Points

Concrete to be grade 30 N/20mm

Reinforcement to be: high grade 450 $\frac{mm^2}{mm^2}$
mild. 250 $\frac{mm^2}{mm^2}$

Blockwork to be 5.0 MPa compressive strength

Codes of Practice

Impact Code to CP 3 Chapter 4 Part 1

Concrete to BS 8110: Part 1: 1985 Structural
Use of Concrete in Building

Blockwork to BS 5628: Part 1: 1989 Structural
Use of Unreinforced Masonry

Manual for design of Reinforced concrete
Building Structures - ISE Publication

Garage beam

$l_{eff} = 2.0m$
 Loading v. $St\ wood = 0.25 \times 2.0 \times 0.30 = 150$
 $Self wt = 0.25 \times 0.25 \times 2.0 = 125$
 roof: $1.4k = 0.50$

others
 $+ floor = 0.10$
 $+ 1.5k = 0.15$
 $0.75k/m^2$ on slope
 $= \frac{0.75}{\cos 36} = 0.87k/m^2$ on plan

$q_{imposed} = 0.75k/m^2$ on plan.

$\rightarrow Dead load = \frac{0.87 \times 2.0}{2} = 0.87k/m$
 $\rightarrow Imposed load = \frac{0.75 \times 2.0}{2} = 0.75k/m$

ceiling: $Insulation = 0.05$
 $Plaster sb = 0.20$
 $Joist = 0.10$
 $0.35k/m^2$

$q_{imposed} = 0.35k/m^2$

$\rightarrow Dead load = \frac{0.35 \times 5.8}{2} = 1.01k/m$
 $\rightarrow Imposed load = \frac{0.25 \times 5.8}{2} = 0.73k/m$

$\therefore Total Dead = 0.87 + 1.80 \times 2 + 1.0 = 4.97k/m$

$Total Imposed = 0.75 + 0.73 = 1.48k/m$

Concrete beam

$\rightarrow design load = 1.4 \times 4.97 + 1.6 \times 1.48$
 $= 8.63k/m$

$Span = 2.54$

$M = \frac{8.63 \times 2.54^2}{8} = 6.74kNm$

$V = \frac{8.63 \times 2.54}{2} = 10.91kN$

3 bed with garage

H/Asa

Sept. 91

2

Centering by 215W x 200dp beam

$$d = 60 - (35 + 8) = 17 \text{ mm}$$

$$M_u = 24.8 \text{ kNm}$$

$$k = \frac{0.156 \times 6.74}{24.8} = 0.042$$

$$z = 0.944$$

$$A_s = 114 \text{ mm}^2 > A_{smin} = 50 \text{ mm}^2$$

Provide 2no. 42mm bottom $A_s = 226 \text{ mm}^2$

2no. 42mm top.

$$\text{Shear: } V = \frac{10.9 \text{ kN}}{25 \times 157} = 0.0274 \text{ /mm}^2$$

$$\frac{100A_s}{b d} = 0.37\% \Rightarrow V_c = 0.604 \text{ /mm}^2$$

$$V < 0.5 V_c \Rightarrow \frac{A_{sv}}{S_v} > \frac{0.4 \times 215}{0.37 \times 250} = 0.40$$

Provide 2B-links @ 200 c/c

Deflection -

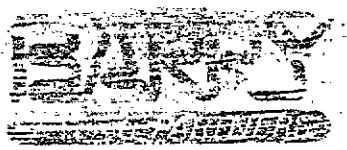
$$\frac{M}{EI} = 1.27$$

$$\Rightarrow \text{Def. Factor} = 1.29$$

$$\text{allow. } \frac{L}{d} = 20 \times 1.29 = 25.8$$

$$\text{actual } \frac{L}{d} = \frac{2500}{157} = 15.9 \checkmark$$

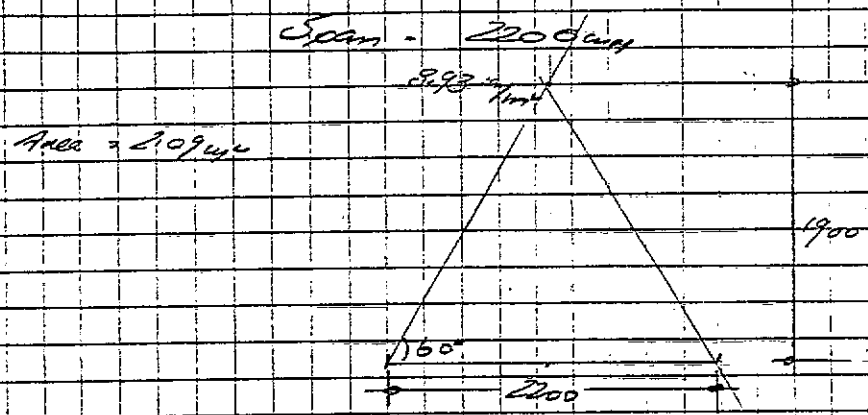
Use 215W x 200 dp beam



Project		Ref.No.	
Subject 3 bed well gauge			
Calc'd Hodes	Checked	Date Sept. 91	Page 3 of

Circle 5004

loading: triangular loading of blowdown above.



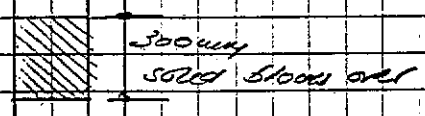
$$\text{Wt blowdown} = 0.235 \times 20 = 4.7 \text{ kg}$$

$$\text{Total Wt} = 4.7 \times 2.09 = 9.82 \text{ kg}$$

$$H_{\text{max}} = \frac{Wt}{G} = \frac{9.82 \times 0.2}{6} = 0.65 \text{ mm}$$

$$V = \frac{W}{Z} = 4.91 \text{ mm}$$

Provide preferred concrete limit 62



$$\text{Capacity} = 500 \frac{\text{kg}}{\text{ft}} \text{ min}$$

$$= 7.5 \frac{\text{kg}}{\text{ft}}$$

$$\text{actual vol} = \frac{9.82}{0.2} = 49.1 \text{ kg} \checkmark$$

Project		Ref.No.	
Subject 3 bed with garage			
Calc'd H. H. H.	Checked	Date Apr. 91	Page 4 of

Beam and Soud deck.

Loading similar to garage beam

Provide similar concrete beam.

Span = 2.04

UDL = 8.63 kN/m² e See 7.1

By observation ~

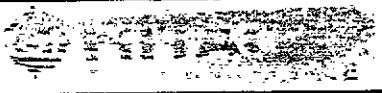
Provide 250 x 200 dp beam

- 1 no. 42mm top
- 1 no. 42mm bottom
- 28 links @ 200 c/c.

Note ~

These beams are inadequate for the following garage

- types:
- 4 bed + garage and kitchen extension
- detached 4 bed with garage



Kitchen Beam

Roofing - 4m span roof: Dead = 0.87 kN/m^2

Live = 0.75 kN/m^2

UDL = $0.87 \times 9.0 = 7.83 \text{ kN/m}$ DL

UDL = $0.75 \times 9.0 = 6.75 \text{ kN/m}$ LL

Kitchen roof: UDL = $0.87 \times 2.5 = 2.175 \text{ kN/m}$ DL

UDL = $0.75 \times 2.5 = 1.875 \text{ kN/m}$ LL

Kitchen ceiling UDL = $0.35 \times 2.5 = 0.875 \text{ kN/m}$ DL

UDL = $0.25 \times 2.5 = 0.625 \text{ kN/m}$ LL

First Floor: Dead = Carpet = 0.05
boards = 0.20
joists = 0.15
plaster CB = 0.20
0.60 kN/m²

Imposed = 1.50 kN/m^2

UDL = $0.60 \times 3.5 = 2.10 \text{ kN/m}$ DL

UDL = $1.50 \times 3.5 = 5.25 \text{ kN/m}$ LL

Beam self wt = $0.25 \times 0.3 \times 24 = 1.80 \text{ kN/m}$ DL

Slab load = $0.235 \times 14 \times 3.0 = 9.90 \text{ kN/m}$ DL

Design load = $1.4(3.9 + 1.1 + 0.87 + 1.05 + 1.55 + 9.90)$
 $+ 1.6(2.4 + 0.94 + 0.63 + 2.63)$
 $= 36.8 \text{ kN/m}$

Span = 2.7m

$M = 36.8 \times 2.7^2 = 335 \text{ kNm}$

$V = 36.8 \times \frac{2.7}{2} = 50.0 \text{ kN}$

Try concrete beam = 250 x 300 dp.

3 bed with ladder only

$$\text{banding} \quad d = 300 - (35 \times 8) = 272 \text{ mm}$$

$$H_4 = 66.57 \text{ mm}$$

$$k = \frac{0.156}{66.5} \times 33.5 = 0.079$$

$$z = 0.904$$

$$A_1 = 362 \text{ mm}^2$$

$$\text{Provide } \underline{2 \times 4 \text{ B} \times 4 \text{ bottom}} \quad A_2 = 402 \text{ mm}^2$$

$$\underline{2 \times 4 \text{ B} \times 4 \text{ top}}$$

Shear

$$V = \frac{300 \text{ E} 3}{257 \times 257} = 0.904 \text{ /mm}^2$$

$$\frac{100A}{SA} = 0.73\% \Rightarrow v_c = 0.684 \text{ /mm}^2$$

$$V < v_c + 0.4 \Rightarrow \frac{A_{sv}}{S_v} > \frac{0.4 \times 25}{0.87 \times 250} = 0.46$$

$$\text{Provide } \underline{2 \text{ B links @ } 250 \text{ Co.}}$$

$$\text{Deflection} \quad \frac{H}{SA} = 2.86$$

$$\text{Mod. factor} = 1.04$$

$$\text{allowable } \frac{L}{d} = 20 \times 1.04 = 20.8$$

$$\text{actual } \frac{L}{d} = \frac{2700}{257} = 10.5 \checkmark$$

$$\text{Provide } \underline{25 \times 300 \text{ dp } 6 \text{ B} \times 4}$$

GENERAL SPECIFICATION FOR REVISED 29 HOUSES

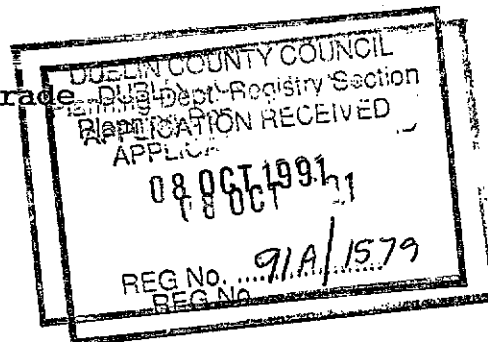
AT

**BALLYCULLEN ROAD,
KNOCKLYON, CO DUBLIN**

FOR

WILLWRIGHT LTD

Martin Murray
Architect
10 Mountpleasant Parade, Ranelagh
Dublin 6



30th September 1991

1. PRELIMINARIES

1.1 Labour

Only fully qualified and competent tradesmen, together with their necessary labourers or helpers shall be employed.

1.2 Materials

Where national standards to which equipment or materials must comply are cited, goods meeting other authoritative standards which ensure an equal or higher quality than the standards mentioned will also be accepted. Where reference is made to specific brand names offers of alternatives which have similar characteristics and provide equal performance and quality to those specified may also be accepted.

1.3 Adjoining Property

The contractors shall take all precautions for the protection and safety of adjoining or adjacent properties while carrying out the works.

1.4 Tests, Samples and Regulations

Contractor shall at his own expense deliver samples of materials for testing. All test results should comply to specification. The Contractor shall also provide for complying with all Garda and Local Authority Regulations and Byelaws. In this regard an addendum to this specification describes the principal standard Byelaw Requirements. However this should not be read as being complete or inexhaustive.

1.5 Setting out of Works

The Contractor shall provide for all preliminary and final setting out of the works including checking proposed and existing drainage invert levels, services, corrections etc. All dimensions should be checked prior to setting out.

1.6 Drawings and Specification

Architect's drawings shall take precedence. However should any variance occur between drawings the Architect should be notified immediately.

1.7 Insurances

The Contractor shall be responsible for the implementation of all necessary insurances.

2. EXCAVATIONS AND EARTHWORK

2.1 Work shall be carried out in accordance with the B.S. C.P. 2004 "Foundations" together with other relevant codes of practice CP003 and CP 101.

2.2 Excavation

The site of the buildings is to be excavated to a depth of 250 mm minimum. The excavation for the foundations to external walls and internal walls, concrete floors etc., shall be excavated to the general depths shown on the section or to such greater or lesser depths as may be directed in order to obtain a solid stratum, finished perfectly level. Actual foundation depths and sizes to be approved on site by the Local Authority Inspector before any concrete is poured, to ensure adequate bearing capacity. Any site difficulties encountered to be referred to Engineer to confirm foundation requirements. All excavations to be blinded. No foundations to be laid on frozen ground.

2.3 Foundations

To be 1:2:4 concrete mix strip foundations generally under all load bearing walls. Foundation strips to be 900 mm wide by 300 mm deep or 790 mm x 300 mm. All foundations to be a minimum of 900 mm below ground level generally and to be reinforced to Engineer's requirements.

2.4 Hardcore

To be good quality broken stone or brick and to be layed as a level bed well rambled and consolidated with 3050 Kg. roller.

2.5 Blinding

50 mm sand blinding to be layed and rolled over hardcore to completely blind hardcore.

2.6 Settlement

Contractor shall be responsible for making good any settlement of filling which may occur. All supports to excavations to be properly timbered and supported.

3.0 Concrete

- 3.1 All concrete installed in accordance with B.S.C.P. 110 1972 and its recommendations.
- 3.2 All cement to be manufactured in Ireland and to be normal Portland Cement to Engineer's requirements. Cement to be delivered in standard bags and stored under dry conditions. Test cubes to be prepared to B.S. 1881 and C.P. 110.
- 3.3 All materials shall be obtained from approved manufacturers or suppliers and shall comply to latest Irish or British standards. Water shall be clean potable quality to B.S. 3148.
- 3.4 All concrete to be thoroughly compacted. Concreting in cold weather to be to C.I. 6.11 of C.P. 110 curing to C.P. 110.
- 3.5 Window cills shall be precast concrete (as Clondalkin Concrete) vibrated; finished fine to waterproof cement and sand and reinforced.
- 3.6 Lintols shall be pre-stressed precast concrete (as Spanlite) vibrated. They shall have 200 bearing each side of ope and be reinforced.
- 3.7 Beam filling between rafters shall be insitu concrete grade 20.
- 3.8 All reinforcement details to Engineer's requirements and specification. Attention is drawn to the requirements of B.S.4449/4461/4482 and 4483.
- 3.9 150 mm steel trowel finished concrete slab on 50 mm polystyrene insulation on 1000 gauge visqueen d.p.m. on 50 mm sand blinding on compacted hardcore minimum 150 mm thickness. Suspended concrete floors to be reinforced as per engineers details.

4 BLOCKWORK

- 4.1 All blocks to be dense aggregate solid blocks of density not less than 1500 Kgs./m and shall comply to I.S. 20. 1987. Blocks shall be minimum 7 days old prior to delivery and a minimum of 28 days old prior to being laid.
- 4.2 Hydrated lime to comply to I.S.8 1973 or B.S. 890.
- 4.3 Sand for mortar to comply to B.S. 1198 - 1200 (1976).
- 4.4 Portland Cement to comply to I.S.1. or B.S. 12 1971.
- 4.5 Wall tiles to comply to B.S. 1243 1972.
- 4.6 Ventilaters or wall gratings to be galvanised steel to B.S. 493 1970.
- 4.7 Damp proof membrane to be 1000 gauge visqueen with proper laps at all junctions and turned up around edges of slab, and also lapped vertically on the outer faces of rising walls where shown.
- 4.8 Damp proof course shall be 3 ply bitumen on jute or canvas base D.P.C. and shall be laid to full thickness of walls and incorporated under and around all cills and at door and window jambs, vertically all to I.S. 57 1978.
- 4.9 All block and brick partitions shall be properly bonded to one another and to existing walls. Workmanship to comply to C.P. 121.
- 4.10 Provide fixing plugs to take all timber fixtures. In hollow block walling timber, plugs are to be wedged into joints for fixing of timber fixtures.
- 4.11 Bed and point external door and window frames with mastic. Bed and point timber window cills in mastic.

5.0 ROOFING

- 5.1 Lead flashings to B.S.1178 1969.
- 5.2 All flashings shall be neatly dressed and clipped. Aluminium shall not be in contact with copper. Ferrous materials to be kept away from sheet metal work. All lead flashings in mortar to be painted with bitumen paint.
PROVIDE LATERAL SUPPORT TO FLOORS AND GABLES TO B.S. 5268/P.3. WITH SUITABLE METAL STRAPS AND PACKING.

- 5.3 Roofs generally to consist of concrete interlocking tiles laid strictly in accordance to manufacturers instructions with all necessary proprietary ridge tiles , vent tiles etc.
- 5.4 All tiling fixed in accordance to I.C.P.2 1982 on battens on untearable sarking felt to I.S.36 1987 on prefabricated roof trusses to manufacturer's instructions. Provide 100 mm glassfibre insulation throughout to attic.
- 5.5 All shafts to rooflights to have 12.5 mm foil backed plaster board unto timber framework with 100 mm fibre glass insulation. Timber framework and trimming to trusses to facilitate roof light to truss manufacturer's details.

6.0 Woodwork

- 6.1 Timber shall be sound, well conditioned and seasoned with moisture content appropriate to its useage.
- 6.2 Plywood shall be to B.S.1455 and chipboard to B.S.2604 1970.
- 6.3 All doors shall be fitted to B.S.459 with safety glass to all glazed doors and screens.
- 6.4 Glues shall be synthetic resin adhesive to B.S.1204.
- 6.5 All softwood to be pressure treated. All subsequent crosscutting, boring etc. to be liberally swabbed with preservative. All screws to B.S.1210 1963 and nails to B.S.1202 1974.
- 6.6 Workmanship shall be to B.S.1186 P.2. 1971. All external exposed joinery doors etc. shall be coated with a waterproof glue prior to framing up so as to be made perfectly watertight.

7.0 PLUMBING INSTALLATION

- 7.1 The whole of the plumbing, copper piperwork, fittings to sanitary ware and appliances, soil and waste pipes and rainwater goods shall be carried out in accordance with the regulations of the Local Water Authority.
- 7.2 Copper tubing to B.S.2871 with capillary type fittings to B.S.864. All open ends to be plugged off during course of works with proprietary fittings.

- 7.3 Thermal insulation shall be provided to B.S.1334 1969 and shall be of uniform thickness.
- 7.4 The complete hot/cold and mains installation and branches shall be inspected and tested in accordance with C.P.10. 1965 and C.P.342 1950.
- 7.5 Rainwater goods shall be provided in U.P.V.C. to B.S.4576. Sizes to suit runoffs and to the Local Water Authority requirements.
- 7.6 All U.P.V.C. soil and waste pipes to B.S.4514 1969.
- 7.7 On completion all sanitary fittings to be tested and left in good working order.
- 7.8 Provide hot water system to bath, washhand basin and sink. 12 mm supplies except to bath which is to have 19 mm hot supply.
- 7.9 Supply and fit sanitary fittings complete with traps, fittings, wastes, overflows, stainless steel sink unit, wash-hand basin, low level combination WC suites with cistern and plastic seat, suitably sized copper cylinder and approved standard 5'6" bath.

8.0 ELECTRICAL INSTALLATION

- 8.1 Entire electrical installation to be carried out to current E.T.C.I. rules.

9.0 PLASTERING, FINISHINGS

- 9.1 All gypsum lath to comply to B.S.1230 1970. Gypsum plaster shall comply to I.S.27 1975/87.
- 9.2 Ordinary Portland Cement shall comply to B.S.12. Sand for cement and lime mixes shall be to B.S.1199. Sand for gypsum plaster mixes shall be to B.S.1198 1955.
- 9.3 All finished plastered surfaces shall be to a true plane surface of uniform colour, hardness and texture.
- 9.4 External walls to be finished in sand/cement 'nap' plaster finish with Bellcast to bottom edge. Provide 2 coat work to areas shown on elevation. External walls internally to be carefully drylined with 12.5 mm plaster board on approved vapour barrier on battens with 50 mm thermal insulation between. All partitions to be covered

with approved slabs and rendered with gypsum plaster in accordance with manufacturer's instruction. Alternatively, dry lining may be used, in accordance with the instructions issued by and to the satisfaction of the manufacturer.

- 9.5 Jamb and heads to door/window opens to have sand/cement patent reveals 22 mm thick.
- 9.6 All ceilings to be covered with approved plaster slabs, each slab nailed along the edge and centre to manufacturer's instructions and joints to be filled and finished with a plastic compound to give a stippled finish in accordance with maker's instructions.
- 9.7 Provide for all accessories in connection to plasterwork including angle beads, stops etc. as manufactured by Expamet or equivalent.

10.0 FINISHES

- 10.1 Vinyl asbestos tiles shall be to B.S.3260 1969. Quarried tiles to B.S.1286 1945.
- 10.2 Glazed ceramic tiles to B.S.1281.
- 10.3 White spirit to B.S.245 1956 and turpentine to B.S.3416 1961.

11.0 GLAZING

- 11.1 Glazing should comply to B.S.952. Linseed oil putty shall be to B.S.544.
- 11.2 All rebates and beads shall be primed prior to glazing.
- 11.3 All glazing fixed by beads shall have both glass and beads bedded and back puttied and trimmed.
- 11.4 Patent rooflights shall be double-skinned/glazed of approved manufacture.

12.0 DRAINAGE

- 12.1 Contractor shall give all requisite notices to Local Authority. All drains to be tested to satisfaction of Local Authority.
- 12.2 All invert levels, manholes, falls, details and testing

to Engineer's detailed drawings and specifications.

12.3 All drains under buildings to be surrounded in 150 mm concrete. The excavation shall be back filled with sub-base material Type 1 to D.O.E. Specification for Road and Bridge Works, Clause 803.

12.4 All connections to existing sewers to be to Engineer's and Local Authority satisfaction.

13.0 SITWORKS

13.1 All designated open space to be protected during course of works.

13.2 All filling materials used in earthworks to be compacted to Engineer's requirements and specification.

13.3 All roads and associated works to Engineer's details.

13.4 All hard areas to fall away from buildings and to meet the area requirements of the Dublin County Council Byelaws.

STANDARD BYELAW REQUIREMENTS

- BYE LAW 7 (a) - Remove top soil.
- BYE LAW 8 - Concrete blocks to 1.S.20.
- BYE LAW 9 - Cement sand mortar, 6 sand, 1 cement
- Cement lime sand mortar 1 : 1 : 6
- (Cavity Walls) - Cavity not less than 50 mm
- Ties not more than 900 apart horizontally
- Ties every 450 vertically and staggered
- Ties within 150 of all openings
- Cavity to extend 75 below D.P.C.
- Provide weep holes in outer leaf for seepage of moisture.
- (Hollow blocks) - Shall not be used in rising walls.
- " " " " " party walls.
- BYE LAW 13 (1) - Foundation shall rest on firm ground.
(3) - Every wall to rest on concrete.
- Concrete strength not less than 1,000 lbs/in at 28 days.
- BYE LAW 14 - Damp-proof membrane to be provided in ground floor slab.
- Provide damp course in all walls a min. of 150 above ground level.
- BYE LAW 15 - Party wall at back-to-back fireplaces shall be 215 thick.
- BYE LAW 22 - External walls to be plastered (except cavity walls).
- BYE LAW 23 - Party walls to be built up to underside of slates/tiles.
- BYE LAW 25 (2) - Provide horizontal D.P.C. in chimney stack at the lower level of junction of stack with pitched roof.
- BYE LAW 25 (3) - Damp proof floor membrane to be turned up at edge of slab at junction with external walls (and internal walls).
- BYE LAW 25 (4) - D.P.C. under concrete or bench cills to be turned up at back and ends of cill
- BYE LAW 26 - No opening to be left in party wall.
- BYE LAW 29 - Timber (or other combustible material) shall not extend beyond the middle of party wall and to be encased in solid fire-resisting material.
- Timber built into concrete shall be treated with preservative.

- BYE LAW 30
- Min. bearing of 113 at either end of steel beams.
 - Steel beam supports shall be approved fire-resisting material on solid foundation.
- BYE LAW 31
- Structural steel to be protected against damage.
 - Steel columns and beams to be encased in approved fire-resisting material. (except single-storey buildings).
- BYE LAW 32
- Open spaces between joists in any wall to be stopped with approved fire-resisting material at every floor and ceiling.
- BYE LAW 34
- Chimney to be constructed of hard and approved fire-resisting material, solidly put together.
- BYE LAW 35
- Chimney to be bonded to structural walling with concrete foundation and D.P.C.
- BYE LAW 36
- Lintel of hard, fire-resisting material to be built over fireplace opening.
- BYE LAW 37
- Chimney joints to be at least 215 at either side of fireplace opening.
- BYE LAW 38
- Chimney breast, chimney and glue surround to be at least 115.
- BYE LAW 39
- Back of Chimney opening in parity wall to be at least 215 mm.
- BYE LAW 40(1)
- Chimney stack to be formed in minimum 115 brick or block at sides and 215 at ends.
- 40(2)
- Chimney stack not back to back, to be 215 at fireplace back up to upper side of roof.
- BYE LAW 41
- Max. height of chimney above roof to be not greater than 6 times the least width.
- BYE LAW 42
- No metal fixing permitted in wall of chimney nearer than 50 mm to inside of flue or fireplace opening.
- BYE LAW 43 (1)
- No timber allowed in chimney nearer than 215 to inside of flue or fireplace opening.
- BYE LAW 43 (2)
- No wooden plugs allowed in chimneys nearer than 150 to inside of flue or fireplace opening.
- BYE LAW 47 (1)
- Every flue to be enclosed in brickwork or concrete at least 115 thick.

- BYE LAW 48 - No flue to be connected with more than one fireplace.
- BYE LAW 49 - Minimum internal measurement of any flue to be 190 mm.
- BYE LAW 50 - Flue to be lined with fireclay not less than 19 mm. thick.
- BYE LAW 57 - Hearth in front of fireplace opening to be not less than 150 thick. Hearth to extend at least 230 beyond such opening at the sides and project at least 460 in front.
- BYE LAW 59 (1) - Floor under open gas fire to be min. 50 thick slab and to extend min. 150 on all sides.
- BYE LAW 61 - Roof covering to be of approved fire-resisting material.
 - Roof tiles to be fixed with two galvanized nails at least 45 long. Nailing every third course with interlocking tiles is permitted.
- BYE LAW 62 - Every floor, staircase, ceiling and roof to be of stable construction.
 62 (b) - Timber pitched roofs to have timber of good quality and of such strength to ensure due stability and every member to be properly fixed and supported.
- BYE LAW 70 (a) - Garage to be separated from house by solid block walls at least 215 thick (including roof space).
 70 (b) - Roof of garage to be covered with incombustible material.
- BYE LAW 71 - Buildings to be separated parity wall.
- BYE LAW 74 - Suitable and adequate means of ventilation to be provided.
- BYE LAW 76 (1) - Every habitable room to have at least one window opening directly into open air. Total area of glass to equal at least 10% of floor area. Opening sections in windows to be at least 5% floor area. Top of opening to be at least 1.8 m above floor level.
- BYE LAW 76 (5) - All habitable rooms without fireplaces to have aperture or air shaft for additional ventilation of area:
 50 ins. of opening directly to open air;
 100 ins. of opening to lobby or corridor.
 Rooms with open gas fires to have aperture.

- BYE LAW 76 (6) - Bathroom to be adequately ventilated.
- BYE LAW 76 (7) - Room with gas consuming appliance to be adequately vented to open air.
- BYE LAW 77 - Floor to ceiling height of habitable rooms to be at least 2.438 m. (8 ft.)
- BYE LAW 80 - Yard at rear to be paved (150 sq.ft.), to extend to least 1.5m. from building, and laid to fall to trapped gulley.
- BYE LAW 83 - Roofs to be drained to gutters and downpipes.
- BYE LAW 84 - Rainwater downpipes not to be connected to soil pipe or SVP and to discharge over a gulley trap.
- BYE LAW 85 (2) - Surface water and sewage drains to be laid to proper falls and where practical in a direct line and with suitable watertight joints. All drains to be provided with adequate means of access.
- 85 (3) - Sewage drains to be at least 100 diameter.
- 85 (4) - Drains to be laid on a bed of concrete. Drain to be haunched in concrete.
- BYE LAW 86 (a) - Drains not to be laid under buildings except where any other situation is impracticable.
- 86 (b) - Drains under buildings to be laid in a direct line where practical and be provided with adequate means of access.
- BYE LAW 86 (b) - Drains under buildings to be encased in at least 150 concrete.
- BYE LAW 87 - Drains not to have right-angled junctions. All branch drains to join other drains obliquely in direction of flow of such drain.
- BYE LAW 88 - Drains passing through or under walls to have arch framed over to prevent settlement damage (or insert lintel).
- BYE LAW 90 - Inlets to drains to be trapped with water seals:
50 deep seal where inlet not less than 75;
75 deep seal where inlet less than 75.
- BYE LAW 91 - Intercepting trap to be provided. Manhole to be provided to intercepting trap.

BYE LAW 92

- Drains to be ventilated at highest point of drain. Ventilation pipe to have diameter not less than 90. Soil pipe to be circular and min. diameter of 90. Also to be easily accessible. Open end of ventilation pipe to be fitted with suitable grating or cover.

BYE LAW 94

- Soil pipes and soil vents. pipes not to be connected to rainwater pipes.

BYE LAW 96

- Waste pipes to discharge over a gully trap and to be trapped.

BYE LAW 104

- Flushing system to be provided to w.c.'s.

BYE LAW 112

- Notice of commencement of work of 2 clear days to be given to Building Control Department, Tara Street, Dublin 2.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1579

Date : 2nd October 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Change of house types of previously approved scheme
for 65 houses

LOCATION : Sites 1 to 29 on site adjacent to Ballycullen House,
Ballycullen Road, Knocklyon

APPLICANT : Willwright Ltd

APP. TYPE : PERMISSION

With reference to the above, I acknowledge receipt of your application
received on 1st October 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Martin Murray, Architect,
10 Mountpleasant Parade,
Ranelagh,
Dublin 6.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
 Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building SITE ADJACENT TO BALLYCULLEN HOUSE,
 (If none, give description sufficient to identify) BALLYCULLEN ROAD, KNOCKLYON.

3. Name of applicant (Principal not Agent) KILLWRIGHT LTD.

Address 42 NORTHUMBERLAND RD, D.4. Tel. No 682069

4. Name and address of MARTIN MURRAY, ARCHITECT, 10 MOUNT PLEASANT
 person or firm responsible for preparation of drawings PARADE, RANELAGH D.6 Tel. No 970668

5. Name and address to which AS 'H' ABOVE.
 notifications should be sent

6. Brief description of CHANGE OF HOUSE TYPES TO SITES 1-29
 proposed development OF PREVIOUSLY APPROVED SCHEME FOR 65 HOUSES.

7. Method of drainage MAINS 8. Source of Water Supply MAINS

9. In the case of any building or buildings to be retained on site, please state:-
 (a) Present use of each floor or use when last used N/A

(b) Proposed use of each floor N/A

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? N/A

11. (a) Area of Site AS BEFORE REF 89A/2133 - (G.T. AC APPROX) (27225.0) Sq. m.

(b) Floor area of proposed development 29 houses: 1 @ 119m²; 10 @ 109m²; 10 @ 98m²; 2 @ 99m² @ 100sq. m. TOTAL: 2987m²

(c) Floor area of buildings proposed to be retained within site N/A Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD.

13. Are you now applying also for an approval under the Building Bye Laws?
 Yes No Place / in appropriate box (BYE LAW WITH BE APPLIED FOR IMMEDIATELY)

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
it is the policy of this office to utilize the guidance of the proposed draft building regulations whenever possible.

15. List of documents enclosed with application Application form, cheque 904.00, newspaper advertise, cover letter, specification and drgs 91/026/01-09 (ARCH) & 9239 - 12+15C+16 (ENG) in quadruplicate

16. Gross floor space of proposed development (See back) AS 11(b) above Sq. m.

No of dwellings proposed (if any) 29 Class(es) of Development RESIDENTIAL.

Fee Payable £ 904-00 Basis of Calculation 28 x 32 = 896 + 1 x 8 (garage site 1) = 904.

If a reduced fee is tendered details of previous relevant payment should be given
reduced fee to site / based on previous application 89A/2133.

Signature of Applicant (or his Agent) MARTIN MURRAY Date 30/9/91.

Application Type P FOR OFFICE USE ONLY

Register Reference 91A/1579

Amount Received £ 22-9/13 2.48.4

Receipt No

Date

RECEIVED
 - 10 OCT 1991
 REG. SEC

Irish
 even
 27/9/91

CO. DUBLIN Permission sought for change of house types to Sites 1 to 29 of previously approved scheme for 65 houses on site adjacent to Ballycullen House, Ballycullen Road, Knocklyon for Killwright Ltd.

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should

Applicants to comply in full with the requirements of the Local Government (Water) Act 1947 in particular the licencing provisions of Sections 4 and 16.

New Charges
Effective 15/2/88

PLANNING APPLICATIONS			BUILDING BYE-LAW APPL		
CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension	£30 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Domestic Extension (improvement/alteration)	£3.50 per m ² (min. £70)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Building — Office/Commercial Purposes	£1.00 per m ² in excess of 300 sq. metres (min. £70)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)	E	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. £70)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Petrol Filling Station Development or Proposals not coming within any of the foregoing classes.	£200 (max. £300)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			
8.	Petrol Filling Station.	£100.00			
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

fees etc. should be made payable to: Dublin County Council.

Min. Fee £30.00

gross floor space is to be taken as the total floor space on each floor measured from the inside of the external wall.

Max. Fee £20,000

(full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1.

Issue of this receipt is not an
admission that the fee
tendered is the prescribed amount.

N° 50786

£ 901.00

Received this 21st day of October 1971

from Malinver ID

The sum of nine hundred and four Pounds

Pence being

for the planning applications at Callaghan's Rd

Noelce O'Keefe

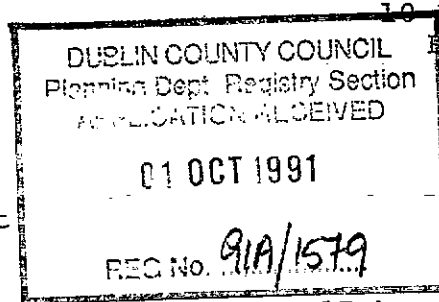
Cashier

S. CAREY

Principal Officer

MARTIN A MURRAY

■ ARCHITECT ■



10 Mountpleasant Parade,
Ranelagh, Dublin 6.
tel : 01 970668

Chief Planning Officer
Co Dublin Planning Department
Irish Life Centre
Lower Abbey Street
Dublin 2

27th September 1991

Re: Revised House Types to Previously Approved Scheme of
65 Houses at Ballycullen Road, Knocklyon, Co Dublin

Dear Sirs,

Please find enclosed full documentation in support of a Planning Application for revised house types to sites 1 - 29 inclusive. The purpose of the revisions is to create a broad range of more appealing and marketable house types. The developers feel that this is necessary given the changes which have occurred in the housing market since the previous Application was submitted.

The new house types proposed consist of:-

1) Type A1 - 4 bed Semi-Detached (6 No.)

Similar to type A within previous Application with minor variations.

2) Type A2 - 4 Bed Semi-Detached (10 No.)

New house type similar to type A1 above but incorporating garage and kitchen extension to side.

3) Type B1 - 3 Bed Semi-Detached (10 No.)

Similar to type B within previous Applications with slight internal variations and kitchen extension. Permission is sought for the completion of all type B1 houses with or without this kitchen alteration.

4) Type B2 - 3 Bed Semi-Detached (2 No.)

Similar house type to type B1 above but with kitchen extension to side with garage in lieu of rear extension.

MARTIN MURRAY
Dipl Arch B ArchSc MRIAI
Dipl Proj Mang M Arch UD



5) Type C2 - 4 Bed Detached (1 No.)

Similar to type C within previous Application but with additional garage to side.

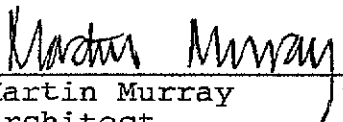
The proposed new types will differ visually from the proposed house types on sites 30 - 65. However, we would feel that this is justifiable in terms of their visual separation. All road layouts and open spaces are as per the previous Application. Boundary treatments are also as previously agreed.

I enclose in support of this Application the following documentation:-

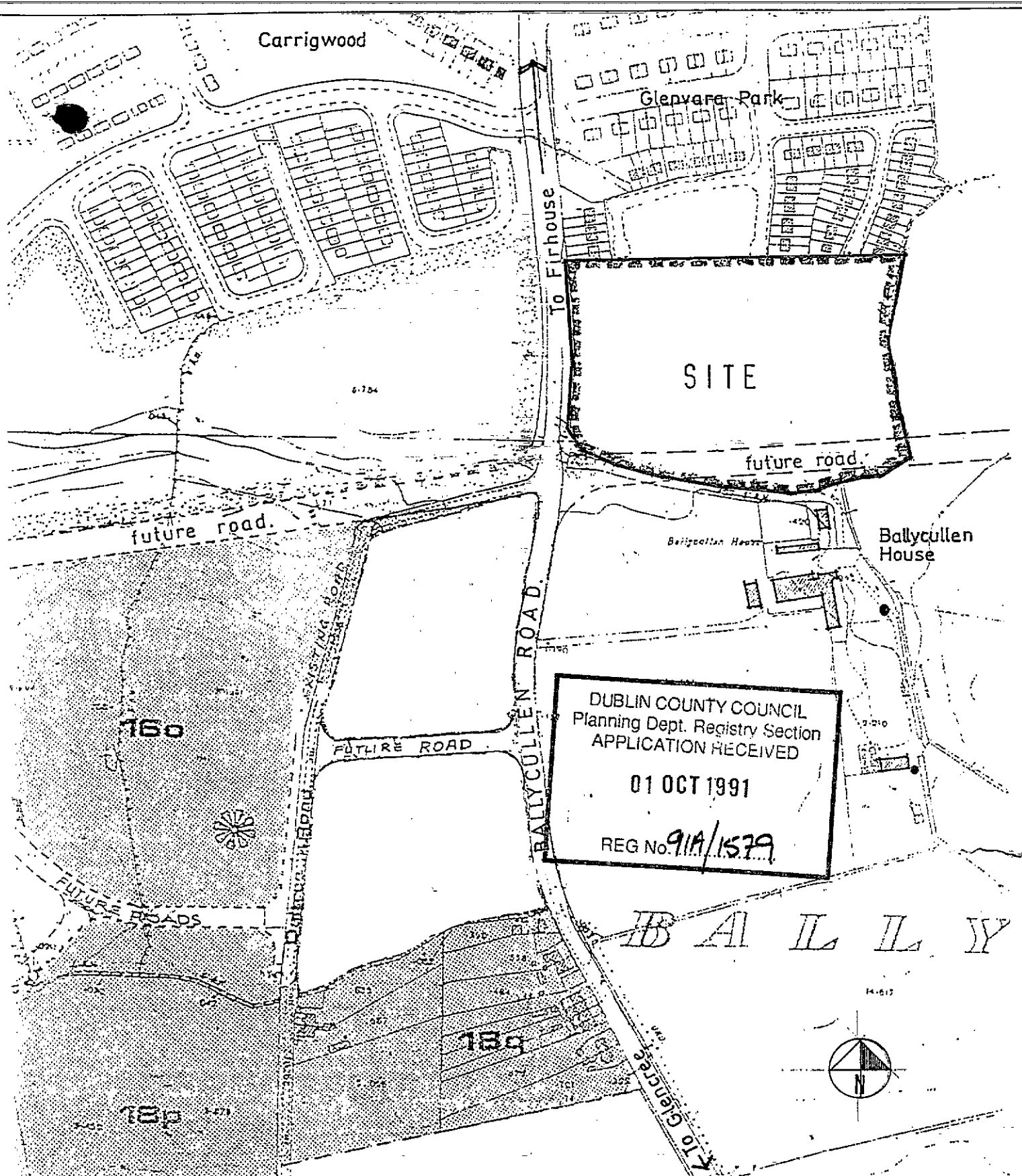
- a) Completed Application Form.
- b) Newspaper Notice (Irish Press - 27th September 1991).
- c) Cheque to cover Planning Fee (£904.00).
- d) Drawing Nos. 91026 / 1 - 9 inclusive in quadtriplicate.
- e) Engineer's Drawings in quadtriplicate.
- f) General Specification.

Please contact the undersigned should you have any queries.

Yours faithfully,



Martin Murray
Architect



CLIENT : WILLWRIGHT LTD.	
JOB TITLE : PROPOSED HOUSING AT BALLYCULLEN ROAD KNOCKLYON CO. DUBLIN	
DRAWING TITLE : SITE PLAN	
SCALE : 1:2500	DATE : 26.9.91
DRWN BY : M M	DRG. NO. 91026 - 01

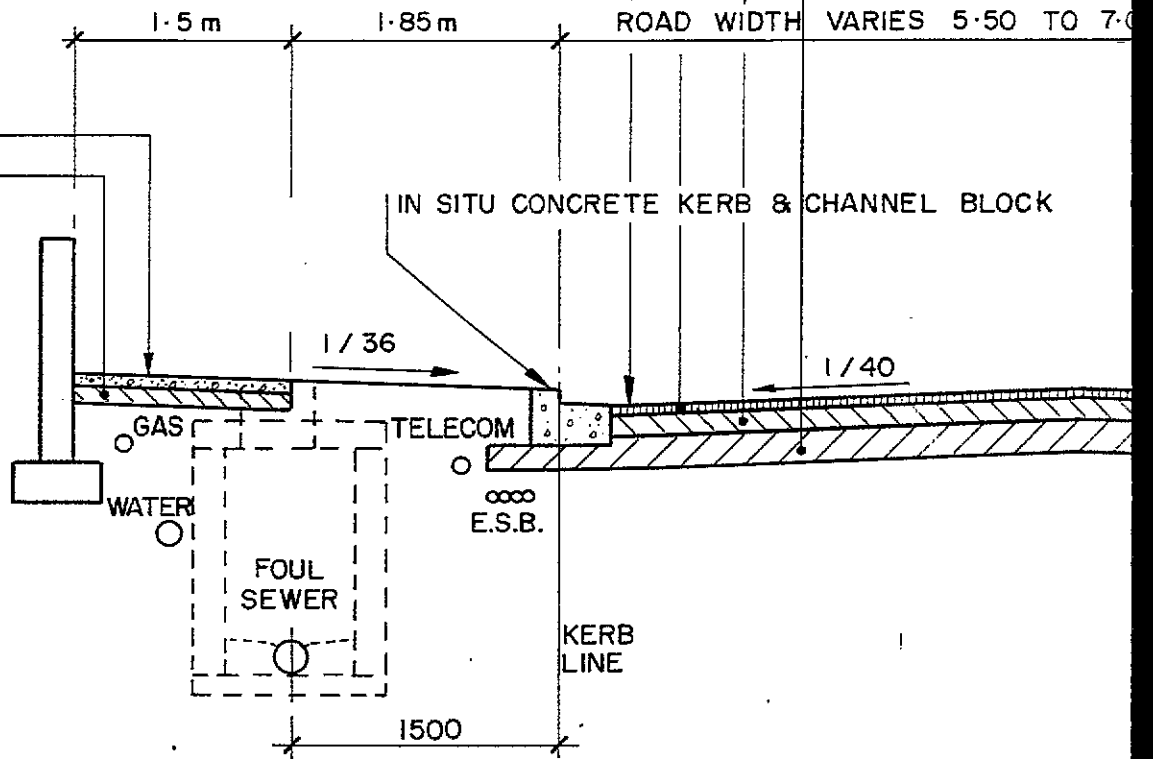
MARTIN A MURRAY
 ARCHITECT
 10 Mountpleasant Parade,
 Ranelagh, Dublin 6.
 tel : 01 970668

ROAD CONSTRUCTION

- 20mm DENSE BITUMEN (TABLES 45 -
- 40mm DENSE BITUMEN (TABLES 25 -
- 75mm DENSE BITUMEN
- 230mm MIN. CLAUSE (SUB-BASE

FOOTPATH CONSTRUCTION

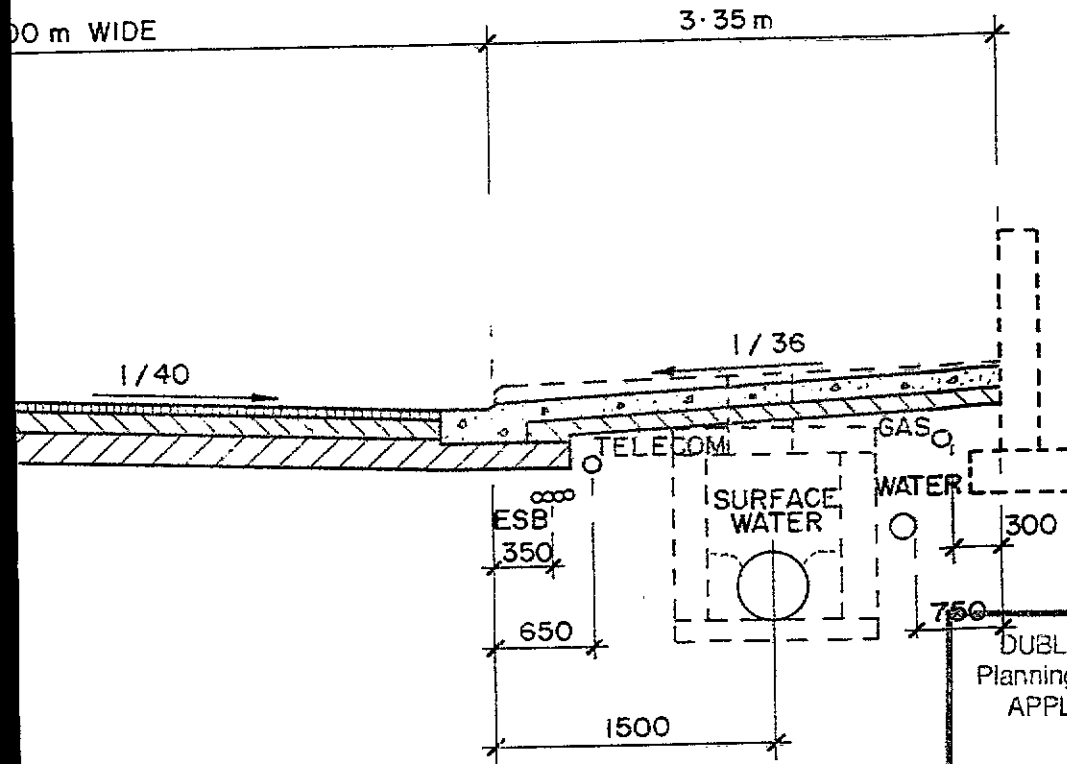
100mm CONCRETE ON 100mm HARDCORE.
(AT VEHICULAR ACCESS DEPTH OF CONCRETE IS TO BE 175mm)



TYPICAL ROAD CROSS SECTION

CTION

ON MACADAM WEARING COURSE TO B.S. 4987
 (48 10mm MAX. NOMINAL AGGREGATE SIZE) ON
 ON MACADAM BASE COURSE TO B.S. 4987
 (28 20mm MAX. NOMINAL AGGREGATE SIZE) ON
 ON MACADAM ROAD BASE ON
 ON 804 TYPE B GRANULAR SUB BASE MATERIAL
 (DEPTH WILL BE FINALISED ON THE BASIS OF C.B.R. TEST RESULTS.)



DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 01 OCT 1991
 REG No. 91A/1579

CIARAN FAHY + ASSOCIATES Consulting Engineers 25 Phoenix Street, Smithfield, Dublin 7.			Tel. 734066 Fax. 734259
CLIENT			
WILLWRIGHT LTD.			
PROJECT			
PROPOSED HOUSING AT BALLYCULLEN ROAD			
TITLE			
TYPICAL ROAD CROSS SECTION			
SCALE	1:50	DRG BY	R.O'H.
DATE	SEPT '89	CHECKED	C.F.
		DRG No	9239 / 12

ON

DUBLIN COUNTY COUNCIL
 Planning Dept. Reg. No. 31001
 APPLICATION RECEIVED
 01 OCT 1991
 REG. NO. 91A/1579



3 BED) WITH GABLE ← garage type B 2 →

CLIENT : WILLWRIGHT LTD.
 JOB TITLE : PROPOSED HOUSING AT BALYCULLEN ROAD
 KNOCKLYON CO. DUBLIN
 DRAWING TITLE : ELEVATION TO HOUSE TYPE B.
 SCALE : 1:50
 DRWN. BY : MM

MARTIN A MURRAY
 ARCHITECT
 10 Mountpleasant Parade,
 Ranelagh, Dublin 6.
 tel : 01 970668

DATE : 26.9.91
 DRG. NO. 91026-9



DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 01 OCT 1991
 REG No. 91A/1579

garage as type B

TYPE A (4 BED) WITH GABLE

CLIENT : WILLWRIGHT LTD.

JOB TITLE : PROPOSED HOUSING AT BALLYCULLEN ROAD
 KNOCKLYON CO DUBLIN.

DRAWING TITLE : GABLED ELEVATION HOUSE TYPE A.

SCALE 1:50

DATE. 26.9.91

DRWN: MM

DRW NO. 91026 - 08

MARTIN A MURRAY

ARCHITECT

10 Mountpleasant Parade,
 Ranelagh, Dublin 6.
 - tel : 01. 970658

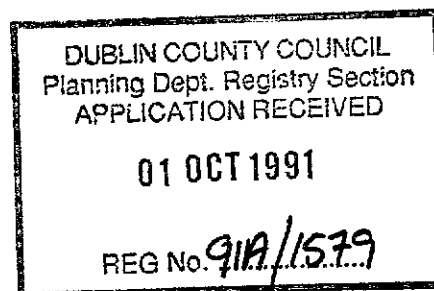
GENERAL SPECIFICATION FOR REVISED 29 HOUSES

AT

**BALLYCULLEN ROAD,
KNOCKLYON, CO DUBLIN**

FOR

WILLWRIGHT LTD



Martin Murray
Architect
10 Mountpleasant Parade
Ranelagh
Dublin 6

30th September 1991

PRELIMINARIES

1.1 Labour

Only fully qualified and competent tradesmen, together with their necessary labourers or helpers shall be employed.

1.2 Materials

Where national standards to which equipment or materials must comply are cited, goods meeting other authoritative standards which ensure an equal or higher quality than the standards mentioned will also be accepted. Where reference is made to specific brand names offers of alternatives which have similar characteristics and provide equal performance and quality to those specified may also be accepted.

1.3 Adjoining Property

The contractors shall take all precautions for the protection and safety of adjoining or adjacent properties while carrying out the works.

1.4 Tests, Samples and Regulations

Contractor shall at his own expense deliver samples of materials for testing. All test results should comply to specification. The Contractor shall also provide for complying with all Garda and Local Authority Regulations and Byelaws. In this regard an addendum to this specification describes the principal standard Byelaw Requirements. However this should not be read as being complete or inexhaustive.

1.5 Setting out of Works

The Contractor shall provide for all preliminary and final setting out of the works including checking proposed and existing drainage invert levels, services, corrections etc. All dimensions should be checked prior to setting out.

1.6 Drawings and Specification

Architect's drawings shall take precedence. However should any variance occur between drawings the Architect should be notified immediately.

1.7 Insurances

The Contractor shall be responsible for the implementation of all necessary insurances.

2. EXCAVATIONS AND EARTHWORK

2.1 Work shall be carried out in accordance with the B.S. C.P. 2004 "Foundations" together with other relevant codes of practice CP003 and CP 101.

2.2 Excavation

The site of the buildings is to be excavated to a depth of 250 mm minimum. The excavation for the foundations to external walls and internal walls, concrete floors etc., shall be excavated to the general depths shown on the section or to such greater or lesser depths as may be directed in order to obtain a solid stratum, finished perfectly level. Actual foundation depths and sizes to be approved on site by the Local Authority Inspector before any concrete is poured, to ensure adequate bearing capacity. Any site difficulties encountered to be referred to Engineer to confirm foundation requirements. All excavations to be blinded. No foundations to be laid on frozen ground.

2.3 Foundations

To be 1:2:4 concrete mix strip foundations generally under all load bearing walls. Foundation strips to be 900 mm wide by 300 mm deep or 790 mm x 300 mm. All foundations to be a minimum of 900 mm below ground level generally and to be reinforced to Engineer's requirements.

2.4 Hardcore

To be good quality broken stone or brick and to be layed as a level bed well rambled and consolidated with 3050 Kg. roller.

2.5 Blinding

50 mm sand blinding to be layed and rolled over hardcore to completely blind hardcore.

2.6 Settlement

Contractor shall be responsible for making good any settlement of filling which may occur. All supports to excavations to be properly timbered and supported.

3.0 Concrete

- 3.1 All concrete installed in accordance with B.S.C.P. 110 1972 and its recommendations.
- 3.2 All cement to be manufactured in Ireland and to be normal Portland Cement to Engineer's requirements. Cement to be delivered in standard bags and stored under dry conditions. Test cubes to be prepared to B.S. 1881 and C.P. 110.
- 3.3 All materials shall be obtained from approved manufacturers or suppliers and shall comply to latest Irish or British standards. Water shall be clean potable quality to B.S. 3148.
- 3.4 All concrete to be thoroughly compacted. Concreting in cold weather to be to C.I. 6.11 of C.P. 110 curing to C.P. 110.
- 3.5 Window cills shall be precast concrete (as Clondalkin Concrete) vibrated: finished fine to waterproof cement and sand and reinforced.
- 3.6 Lintols shall be pre-stressed precast concrete (as Spanlite) vibrated. They shall have 200 bearing each side of ope and be reinforced.
- 3.7 Beam filling between rafters shall be insitu concrete grade 20.
- 3.8 All reinforcement details to Engineer's requirements and specification. Attention is drawn to the requirements of B.S.4449/4461/4482 and 4483.
- 3.9 150 mm steel trowel finished concrete slab on 50 mm polystyrene insulation on 1000 gauge visqueen d.p.m. on 50 mm sand blinding on compacted hardcore minimum 150 mm thickness. Suspended concrete floors to be reinforced as per engineers details.

4 BLOCKWORK

- 4.1 All blocks to be dense aggregate solid blocks of density not less than 1500 Kgs./m and shall comply to I.S. 20. 1987. Blocks shall be minimum 7 days old prior to delivery and a minimum of 28 days old prior to being laid.
- 4.2 Hydrated lime to comply to I.S.8 1973 or B.S. 890.
- 4.3 Sand for mortar to comply to B.S. 1198 - 1200 (1976).
- 4.4 Portland Cement to comply to I.S.1. or B.S. 12 1971.
- 4.5 Wall tiles to comply to B.S. 1243 1972.
- 4.6 Ventilaters or wall gratings to be galvanised steel to B.S. 493 1970.
- 4.7 Damp proof membrane to be 1000 gauge visqueen with proper laps at all junctions and turned up around edges of slab, and also lapped vertically on the outer faces of rising walls where shown.
- 4.8 Damp proof course shall be 3 ply bitumen on jute or canvas base D.P.C. and shall be laid to full thickness of walls and incorporated under and around all cills and at door and window jambs, vertically all to I.S. 57 1978.
- 4.9 All block and brick partitions shall be properly bonded to one another and to existing walls. Workmanship to comply to C.P. 121.
- 4.10 Provide fixing plugs to take all timber fixtures. In hollow block walling timber, plugs are to be wedged into joints for fixing of timber fixtures.
- 4.11 Bed and point external door and window frames with mastic. Bed and point timber window cills in mastic.

5.0 ROOFING

- 5.1 Lead flashings to B.S.1178 1969.
- 5.2 All flashings shall be neatly dressed and clipped. Aluminium shall not be in contact with copper. Ferrous materials to be kept away from sheet metal work. All lead flashings in mortar to be painted with bitumen paint.

5.3 Roofs generally to consist of concrete interlocking tiles laid strictly in accordance to manufacturers instructions with all necessary proprietary ridge tiles , vent tiles etc.

5.4 All tiling fixed in accordance to I.C.P.2 1982 on battens on untearable sarking felt to I.S.36 1987.

6.0 Woodwork

6.1 Timber shall be sound, well conditioned and seasoned with moisture content appropriate to its useage.

6.2 Plywood shall be to B.S.1455 and chipboard to B.S.2604 1970.

6.3 All doors shall be fitted to B.S.459 with safety glass to all glazed doors and screens.

6.4 Glues shall be synthetic resin adhesive to B.S.1204.

6.5 All softwood to be pressure treated. All subsequent crosscutting, boring etc. to be liberally swabbed with preservative. All screws to B.S.1210 1963 and nails to B.S.1202 1974.

6.6 Workmanship shall be to B.S.1186 P.2. 1971. All external exposed joinery doors etc. shall be coated with a waterproof glue prior to framing up so as to be made perfectly watertight.

7.0 PLUMBING INSTALLATION

7.1 The whole of the plumbing, copper piperwork, fittings to sanitary ware and appliances, soil and waste pipes and rainwater goods shall be carried out in accordance with the regulations of the Local Water Authority.

7.2 Copper tubing to B.S.2871 with capillary type fittings to B.S.864. All open ends to be plugged off during course of works with proprietary fittings.

7.3 Thermal insulation shall be provided to B.S.1334 1969 and shall be of uniform thickness.

7.4 The complete hot/cold and mains installation and branches shall be inspected and tested in accordance with C.P.10. 1965 and C.P.342 1950.

- 7.5 Rainwater goods shall be provided in U.P.V.C. to B.S.4576. Sizes to suit runoffs and to the Local Water Authority requirements.
- 7.6 All U.P.V.C. soil and waste pipes to B.S.4514 1969.
- 7.7 On completion all sanitary fittings to be tested and left in good working order.
- 7.8 Provide hot water system to bath, washhand basin and sink. 12 mm supplies except to bath which is to have 19 mm hot supply.
- 7.9 Supply and fit sanitary fittings complete with traps, fittings, wastes, overflows, stainless steel sink unit, wash-hand basin, low level combination WC suites with cistern and plastic seat, suitably sized copper cylinder and approved standard 5'6" bath.

8.0 ELECTRICAL INSTALLATION

- 8.1 Entire electrical installation to be carried out to current E.T.C.I. rules.

9.0 PLASTERING, FINISHINGS

- 9.1 All gypsum lath to comply to B.S.1230 1970. Gypsum plaster shall comply to I.S.27 1975/87.
- 9.2 Ordinary Portland Cement shall comply to B.S.12. Sand for cement and lime mixes shall be to B.S.1199. Sand for gypsum plaster mixes shall be to B.S.1198 1955.
- 9.3 All finished plastered surfaces shall be to a true plane surface of uniform colour, hardness and texture.
- 9.4 External walls to be finished in sand/cement 'nap' plaster finish with Bellcast to bottom edge. Provide 2 coat work to areas shown on elevation. External walls internally to be carefully drylined with 12 mm plaster board on battens with 50 mm thermal insulation. All partitions to be covered with approved slabs and rendered with gypsum plaster in accordance with manufacturer's instruction. Alternatively, dry lining may be used, in accordance with the instructions issued by and to the satisfaction of the manufacturer.
- 9.5 Jams and heads to door/window opes to have sand/cement patent reveals 22 mm thick.

9.6 All ceilings to be covered with approved plaster slabs, each slab nailed along the edge and centre to manufacturer's instructions and joints to be filled and finished with a plastic compound to give a stippled finish in accordance with maker's instructions.

9.7 Provide for all accessories in connection to plasterwork including angle beads, stops etc. as manufactured by Expamet or equivalent.

10.0 FINISHES

10.1 Vinyl asbestos tiles shall be to B.S.3260 1969. Quarried tiles to B.S.1286 1945.

10.2 Glazed ceramic tiles to B.S.1281.

10.3 White spirit to B.S.245 1956 and turpentine to B.S.3416 1961.

11.0 GLAZING

11.1 Glazing should comply to B.S.952. Linseed oil putty shall be to B.S.544.

11.2 All rebates and beads shall be primed prior to glazing.

11.3 All glazing fixed by beads shall have both glass and beads bedded and back puttied and trimmed.

11.4 Patent rooflights shall be double-skinned/glazed of approved manufacture.

12.0 DRAINAGE

12.1 Contractor shall give all requisite notices to Local Authority. All drains to be tested to satisfaction of Local Authority.

12.2 All invert levels, manholes, falls, details and testing to Engineer's detailed drawings and specifications.

12.3 All drains under buildings to be surrounded in 150 mm concrete. The excavation shall be back filled with sub-base material Type 1 to D.O.E. Specification for Road and Bridge Works, Clause 803.

12.4 All connections to existing sewers to be to Engineer's and Local Authority satisfaction.

13.0

SITWORKS

- 13.1 All designated open space to be protected during course of works.
- 13.2 All filling materials used in earthworks to be compacted to Engineer's requirements and specification.
- 13.3 All roads and associated works to Engineer's details.
- 13.4 All hard areas to fall away from buildings and to meet the area requirements of the Dublin County Council Byelaws.

STANDARD BYELAW REQUIREMENTS

- BYE LAW 7 (a) - Remove top soil.
- BYE LAW 8 - Concrete blocks to I.S.20.
- BYE LAW 9 - Cement sand mortar, 6 sand, 1 cement
- Cement lime sand mortar 1 : 1 : 6
- (Cavity Walls) - Cavity not less than 50 mm
- Ties not more than 900 apart horizontally
- Ties every 450 vertically and staggered
- Ties within 150 of all openings
- Cavity to extend 75 below D.P.C.
- Provide weep holes in outer leaf for seepage of moisture.
- (Hollow blocks) - Shall not be used in rising walls.
- " " " " " party walls.
- BYE LAW 13 (1) - Foundation shall rest on firm ground.
(3) - Every wall to rest on concrete.
- Concrete strength not less than 1,000 lbs/in at 28 days.
- BYE LAW 14 - Damp-proof membrane to be provided in ground floor slab.
- Provide damp course in all walls a min. of 150 above ground level.
- BYE LAW 15 - Party wall at back-to-back fireplaces shall be 215 thick.
- BYE LAW 22 - External walls to be plastered (except cavity walls).
- BYE LAW 23 - Party walls to be built up to underside of slates/tiles.
- BYE LAW 25 (2) - Provide horizontal D.P.C. in chimney stack at the lower level of junction of stack with pitched roof.
- BYE LAW 25 (3) - Damp proof floor membrane to be turned up at edge of slab at junction with external walls (and internal walls).
- BYE LAW 25 (4) - D.P.C. under concrete or bench cills to be turned up at back and ends of cill
- BYE LAW 26 - No opening to be left in party wall.
- BYE LAW 29 - Timber (or other combustible material) shall not extend beyond the middle of party wall and to be encased in solid fire-resisting material.
- Timber built into concrete shall be treated with preservative.

BYE LAW 30

- Min. bearing of 113 at either end of steel beams.
- Steel beam supports shall be approved fire-resisting material on solid foundation.

BYE LAW 31

- Structural steel to be protected against damage.
- Steel columns and beams to be encased in approved fire-resisting material. (except single-storey buildings).

BYE LAW 32

- Open spaces between joists in any wall to be stopped with approved fire-resisting material at every floor and ceiling.

BYE LAW 34

- Chimney to be constructed of hard and approved fire-resisting material, solidly put together.

BYE LAW 35

- Chimney to be bonded to structural walling with concrete foundation and D.P.C.

BYE LAW 36

- Lintel of hard, fire-resisting material to be built over fireplace opening.

BYE LAW 37

- Chimney joints to be at least 215 at either side of fireplace opening.

BYE LAW 38

- Chimney breast, chimney and glue surround to be at least 115.

BYE LAW 39

- Back of Chimney opening in parity wall to be at least 215 mm.

BYE LAW 40(1)

- Chimney stack to be formed in minimum 115 brick or block at sides and 215 at ends.

40(2)

- Chimney stack not back to back, to be 215 at fireplace back up to upper side of roof.

BYE LAW 41

- Max. height of chimney above roof to be not greater than 6 times the least width.

BYE LAW 42

- No metal fixing permitted in wall of chimney nearer than 50 mm to inside of flue or fireplace opening.

BYE LAW 43 (1)

- No timber allowed in chimney nearer than 215 to inside of flue or fireplace opening.

BYE LAW 43 (2)

- No wooden plugs allowed in chimneys nearer than 150 to inside of flue or fireplace opening.

BYE LAW 47 (1)

- Every flue to be enclosed in brickwork or concrete at least 115 thick.

- BYE LAW 48

 - No flue to be connected with more than one fireplace.
- BYE LAW 49

 - Minimum internal measurement of any flue to be 190 mm.
- BYE LAW 50

 - Flue to be lined with fireclay not less than 19 mm. thick.
- BYE LAW 57

 - Hearth in front of fireplace opening to be not less than 150 thick. Hearth to extend at least 230 beyond such opening at the sides and project at least 460 in front.
- BYE LAW 59 (1)

 - Floor under open gas fire to be min. 50 thick slab and to extend min. 150 on all sides.
- BYE LAW 61

 - Roof covering to be of approved fire-resisting material.
 - Roof tiles to be fixed with two galvanized nails at least 45 long. Nailing every third course with interlocking tiles is permitted.
- BYE LAW 62

 - Every floor, staircase, ceiling and roof to be of stable construction.
- 62 (b)

 - Timber pitched roofs to have timber of good quality and of such strength to ensure due stability and every member to be properly fixed and supported.
- BYE LAW 70 (a)

 - Garage to be separated from house by solid block walls at least 215 thick (including roof space).
- 70 (b)

 - Roof of garage to be covered with incombustible material.
- BYE LAW 71

 - Buildings to be separated parity wall.
- BYE LAW 74

 - Suitable and adequate means of ventilation to be provided.
- BYE LAW 76 (1)

 - Every habitable room to have at least one window opening directly into open air. Total area of glass to equal at least 10% of floor area. Opening sections in windows to be at least 5% floor area. Top of opening to be at least 1.8 m above floor level.
- BYE LAW 76 (5)

 - All habitable rooms without fireplaces to have aperture or air shaft for additional ventilation of area:
50 ins. of opening directly to open air;
100 ins. of opening to lobby or corridor.
Rooms with open gas fires to have aperture.

- BYE LAW 76 (6) - Bathroom to be adequately ventilated.
- BYE LAW 76 (7) - Room with gas consuming appliance to be adequately vented to open air.
- BYE LAW 77 - Floor to ceiling height of habitable rooms to be at least 2.438 m. (8 ft.)
- BYE LAW 80 - Yard at rear to be paved (150 sq.ft.), to extend to least 1.5m. from building, and laid to fall to trapped gulley.
- BYE LAW 83 - Roofs to be drained to gutters and downpipes.
- BYE LAW 84 - Rainwater downpipes not to be connected to soil pipe or SVP and to discharge over a gulley trap.
- BYE LAW 85 (2) - Surface water and sewage drains to be laid to proper falls and where practical in a direct line and with suitable watertight joints. All drains to be provided with adequate means of access.
- 85 (3) - Sewage drains to be at least 100 diameter.
- 85 (4) - Drains to be laid on a bed of concrete. Drain to be haunched in concrete.
- BYE LAW 86 (a) - Drains not to be laid under buildings except where any other situation is impracticable.
- 86 (b) - Drains under buildings to be laid in a direct line where practical and be provided with adequate means of access.
- BYE LAW 86 (b) - Drains under buildings to be encased in at least 150 concrete.
- BYE LAW 87 - Drains not to have right-angled junctions. All branch drains to join other drains obliquely in direction of flow of such drain.
- BYE LAW 88 - Drains passing through or under walls to have arch framed over to prevent settlement damage (or insert lintel).
- BYE LAW 90 - Inlets to drains to be trapped with water seals:
50 deep seal where inlet not less than 75;
75 deep seal where inlet less than 75.
- BYE LAW 91 - Intercepting trap to be provided. Manhole to be provided to intercepting trap.

BYE LAW 92

- Drains to be ventilated at highest point of drain. Ventilation pipe to have diameter not less than 90. Soil pipe to be circular and min. diameter of 90. Also to be easily accessible. Open end of ventilation pipe to be fitted with suitable grating or cover.

BYE LAW 94

- Soil pipes and soil vents. pipes not to be connected to rainwater pipes.

BYE LAW 96

- Waste pipes to discharge over a gully trap and to be trapped.

BYE LAW 104

- Flushing system to be provided to w.c.'s.

BYE LAW 112

- Notice of commencement of work of 2 clear days to be given to Building Control Department, Tara Street, Dublin 2.

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 91A 1579

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
Belgard 29/9/91 31/10/91	Noted by Cllr Hamner Cllr Muldoon → Keep close eye on kitchen type apples - Reduce Reas gardens B. Cross also		

REF. NO.: 91A/1579 CERTIFICATE NO.: 16591
 PROPOSAL: 29 houses
 LOCATION: Ballyculter Rd.
 APPLICANT: Willwright Ho.

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling X 29 (Houses/Flats)	@ £55	<u>£15915</u>	<u>£15915</u>	—		
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M ² or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: N. O'Keefe Grade: III Date: 17/10/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

PLANNING APPLICATION FEES

Smith
BBL

Reg. Ref. *9.12/1579*

Cert. No. *26759*

PROPOSAL *Change house types*

LOCATION *Site adj. Ballyculen House, Ballyculen road, Knockron*

APPLICANT *Willwright Ltd*

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings <i>29</i>	@£32	<i>£232</i>	<i>£904</i>	<i>£672</i>	<i>over budget</i>
2	Domestic,	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres	@£1.75 per m2 or £40				
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

No B.
Reduced fee allowed on 9/2/1139
MA
5/8/12

Column 1 Certified: Signed: Grade: Date:

Column 1 Endorsed: Signed: Grade: Date:

Columns 2,3,4,5,6 & 7 Certified: Signed: *MA* Grade: *6/0* Date: *4/10*

Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade: Date:



ELECTRICITY SUPPLY BOARD
BORD SOLÁTHAIR AN LEICTREACHAIS

Dublin Region, Leopardstown Road, Foxrock, Dublin 18, Ireland.
Telephone: 01-956833. Telex: 93727 ESB EI. Telefax: 01-956833-3387 (M).
Réigiún Átha Cliath, Bóthar Bhaile na Lobhar, Carraig an tSionnaigh, Baile Átha Cliath 18, Éire.

302/Tymon Old Bawn

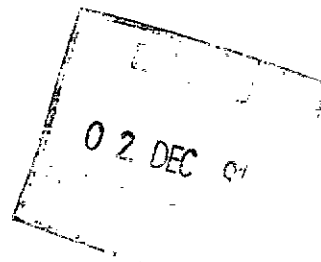
89a - 2133

28th November, 1991.

Ms. M. O'Shee,
Block 2, Irish Life Centre,
Lower Abbey St.,
Dublin 1.

MA. 1579.

89a/2133
1-1-0
ref to M O'Shee



Dear Ms. O'Shee,

I refer to our meeting on the 25th November re change of House type on plans submitted by Willwrights for housing on Ballycullen Road.

Having checked dimensions on site in relation to our 38kV overhead line and based on the revised site plan No. 91026-02, house No. 19 will be approximately 15 metres from the centre of our 38kV overhead line at its nearest point and will not pose any problems for us. I enclose a copy of the above drawing which shows the line in relation to the house in question.

Yours sincerely,

Pat Somers.
PAT SOMERS
TECHNICAL SERVICES

Encl.

P/5321/91.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/1579

Date Received : 1st October 1991

Correspondence : Martin Murray, Architect,
Name and : 10 Mountpleasant Parade,
Address Ranelagh,
Dublin 6.

Development : Change of house types of previously approved scheme for 65 houses

Location : Sites 1 to 29 on site adjacent to Ballycullen House, Ballycullen Road, Knocklyon

CN 8692
AN 1217

Applicant : Willwright Ltd

App. Type : Permission

Zoning : A1

Floor Area : 2987 Sq.metres

MOS
(MOS/AC)

<u>CONTRIBUTION:</u>	
Standard:	40,800
Roads:	1550
S. Sers:	Per MRA
Open Space:	000
Other:	300 per MRA
<u>SECURITY:</u>	
Bond / C.I.F.:	60,000
Cash:	40,000

Report of the Dublin Planning Officer dated 15 November 1991.

This is an application for PERMISSION. The proposed development consists of a change of house types of previously approved scheme for 65 houses at site Nos. 1-29 on site adjacent to Ballycullen House, Ballycullen Road, Knocklyon. The applicant is Willwright Ltd. who is stated to be the freehold owner of the site.

PLANNING HISTORY

Under Reg. Ref. 89A/2133 permission was granted for 11 no. two-storey detached four bedroomed houses, 30 no. two-storey semi-detached four bedroom houses and 24 no. two-storey semi-detached 3 bedroom houses on site at Ballycullen Road, Knocklyon (Decision Order P/396/90, dated 31.01.90).

In a letter dated 01.11.90 the applicant was informed that a submission lodged in this Department on 03.09.90 to comply with Condition Nos. 6, 7, 8, 10 and 14 of Decision Order P/396/90, dated 31.01.90 was acceptable and complied with these conditions.

PROPOSAL

In this application 5 different house types are proposed as follows:

- A1 - 4 bed semi-detached (6 no.)
- A2 - 4 bed semi-detached with garage and kitchen extension to side (10 no.)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1579

Page No: 0002

Location: Sites 1 to 29 on site adjacent to Ballycullen House,
Ballycullen Road, Knocklyon

- B1 - 3 bed semi-detached with or without a small kitchen extension at the rear (10 no.)
- B2 - 3 bed semi-detached with kitchen and garage extension to side (2 no.)
- C2 - 4 bed detached with kitchen and garage extension to side (1 no.)

The houses have pitched roofs. Some of the houses have gable roofs at the front. The proposed house types have a smooth rendered finish, with brick plinth, and decorative plaster bands on the front elevations. The proposed roof finish is to consist of grey/black concrete roof tiles.

While house nos. 19 & 20 are located closer to the proposed new district distributor road to the south, they are no closer than house nos. 40, 41 and 65 already approved under Reg. Ref. 89A/2133. It is noted that the line of the proposed boundary walls adjoining Ballycullen Road and the proposed new road to the south of the site do not coincide exactly with the road reservation drawings for these roads as shown on the Road Department Maps. *(The design shows the Southern Cross)* A condition should be attached to the permission requiring the applicant to agree on site with the Roads Department the reservation lines for these roads as well as the exact location of the proposed boundary walls.

The proposed development is considered acceptable when compared to the house types approved on the remaining sites.

County Development Plan standards with regard to the provision of space about dwellings have been complied with. It is noted that the design of the cul-de-sac head opposite house nos. 19 & 20 has been altered to that approved under Reg. Ref. 89A/2133 which is acceptable.

The ESB, in agreement, has noted that the proposed development is considered acceptable, subject to the erection of houses nos. 18 & 19.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990, subject to the following (1) conditions:-

As a condition of the ESB, the proposed development is considered acceptable, subject to the erection of houses nos. 18 & 19. The ESB (para 26/22/91) advised that the proposed development is considered acceptable, subject to the erection of houses nos. 18 & 19. The proposed houses are located within 15 metres of the existing E.S.B line.

CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 91A/1579

Page No: 0003

Location: Sites 1 to 29 on site adjacent to Ballycullen House,
Ballycullen Road, Knocklyon

development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

- NOTE - The applicant is to contract the S. Services Dept. & pay 1000 Dept. with regard to their Specific Management Plan. To be commenced at development on the site.*
- 03 That each proposed house be used as a single dwelling unit.

REASON: To prevent unauthorised development.

- 04 That a financial contribution in the sum of £ 40,800 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 05 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Water-mains and Drains, has been given by:-

A. Lodgement with the Council of an approved Insurance Company Bond in the sum of £ 60,000 which shall be renewed by the developer from time to time as required during the course of the development and kept in force by him until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council. OR./..

B. Lodgement with the Council of a cash sum of £ 40,000 to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications. Or./...

C. Lodgement with the Planning Authority of a letter of guarantee by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

- 05 REASON: To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

- 06 The development shall be carried out in conformity with Condition Nos. 6-8 10-17 & 20 of the decision to grant permission by Order No. P/396/90 dated 31.01.90 Reg. Ref. ^{89A 2153} save as amended to conform with the revisions indicated in the plans lodged with Dublin County Council in connection with this application.

REASON: In the interest of the proper planning and development of the

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 91A/1579

Page No: 0004

Location: sites 1 to 29 on site adjacent to Ballycullen House,
Ballycullen Road, Knocklyon

area.

quilt
~~07~~ That arrangements made for the payment of the financial contribution in the sum of £1550.00 per house in respect of the overall development required by Condition No. 18 of planning permission granted under Reg. Ref. 89A/2133 be strictly adhered to in respect of the above proposal.
REASON: In the interest of the proper planning and development of the area.

~~08~~ That no garden sheds or other structures shall be constructed directly onto the rear garden walls of House Nos. 3-9, and 10-19 inclusive.

~~REASON~~: In the interest of the proper planning and development of the area.

~~09~~ That the roof finishes on all the proposed 65 houses on this site consist of grey/black concrete roof tiles.
REASON: In the interest of visual amenity.

~~10~~ Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.
REASON: In the interest of reducing air pollution.

~~11~~ That the road reservation lines for the Ballycullen Road and the ^{Proposed} road to the south of the site be set out on site by the applicant and be checked by an engineer from the Roads Department prior to the commencement of development on the site. ~~The exact location of the proposed boundary walls along the reservations is to be agreed with the Roads Dept, on site, prior to~~
REASON: In the interest of the proper planning and development of the area.

the commencement of development

~~12~~ That houses nos 18 & 19 be omitted from the prop. development. ~~NOTE - The applicant is advised to consult with the Planning Dept & the ESB. prior to lodging a new application on sites 18 & 19.~~
Reason: house no 19 is located less than the required 15 metre distance from the existing ESB line.

P.C.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref. 91A/1579

Location: Sites 1 to 29 on site adjacent to Ballycullen House, Ballycullen Road, Knocklyon.

11/12/13 That a financial contribution in the sum of £1,550. per house be paid by the proposer to Dublin County Council towards the cost of improvement of Ballycullen Road which will directly facilitate this proposal; this contribution to be paid prior to commencement of development on site.

13 REASON: In the interest of the proper planning and development of the area.

17/13 A landscape plan for the site with full works specification and bill of quantities etc., shall be submitted to and agreed with the Planning Authority before the commencement of development. Such plan shall include proposals for regrading, drainage, topsoiling, seeding tree and shrub planting, pedestrian paths and details of maintenance.

Or/.....

In lieu of the open space being developed by the applicants, a financial contribution of £300. per house shall be paid to the County Council to enable this work to be carried out. This cost to be paid on a phased basis as agreed with Planning Authority.

12/14 REASON: In the interest of the proper planning and development of the area.

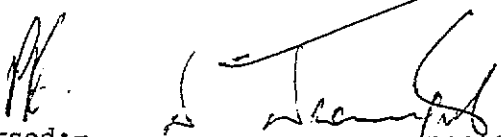
COMHAIRLE CHONTAE ÁTHA CLIATH

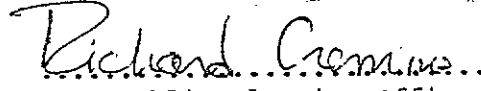
Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1579

Page No: 0005

Location: Sites 1 to 29 on site adjacent to Ballycullen House,
Ballycullen Road, Knocklyon


Endorsed:.....
for Principal officer

 SEP
.....
for Dublin Planning Officer 25/11/91

Order: A decision pursuant to Section 26(1) of the Local Government
(Planning and Development) Acts, 1963-1990 to GRANT PERMISSION
for the above proposal subject to the (12) conditions set out above
is hereby made.

Dated : 23rd NOVEMBER 1991


.....
ASSISTANT COUNTY MANAGER/APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin
City and County Manager dated 6th November 1991.

Magdali O'Shea

SSauly

PLANNING DEPARTMENT

BOOK FOLIO

(1) Date Lodged
8 Oct 1991

LOCATION: Site adj. to Ballycullen House, Ballycullen Rd, Knocklyon

REG. REF. 91A/1579

APPLICANT: Willwright Ltd

PROPOSAL: change of house types to sites 1-29 of app. scheme for 65 houses

(2) Date referred: 6/11

FOUL SEWER

In sufficient information

The applicants have not submitted the information requested at item 3 of B.B.L. approval dated 10/9/1990 (Details of the foul sewer down stream of MH 16 have not been submitted)

SURFACE WATER

Insufficient information (1) the applicants have not complied with condition 3b of the B.B.L. approval notice. (The culverting details of the outfall stream to Castlefield have not been agreed.)

(2) There is no evidence within this submission that the sum of £54,800 has been lodged.

(3) No work is to commence on house nos 57, 60, 61, 62, 63, 64 and 65 pending completion of 1050mm surface water sewer to a satisfactory outfall.

Rec'd San. Serv. DUBLIN Co. COUNCIL
6/11/91
- 8 NOV 1991
(4) Dispatched by SAN SERVICES
SANITARY SERVICES
22 NOV 1991
Returned to Planning

(6) Date to Planner

(7) D.P.O. report to be submitted before:

(8) D.P.O. report submitted to S.A.O.:

(9) Decision due:

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 25. 11. 91
Time 12.45

M. Morris 18. 11. 91

Mrs P. C. Kelly
Ad. return
21/10/91

ENDORSED

DATE

6/11 89A/233 attached.

AKD 30/10

J.R. 19/11/91

89A/2133

PLANNING DEPARTMENT

BOOK FOLIO

(1) Date Lodged

LOCATION: Site adj. to Ballycullen House, Ballycullen Rd, Knocklyon REG. REF. 91A/1579

APPLICANT: Willwright Ltd

8 Oct 1991

PROPOSAL: change of house types to sites 1-29 of app. scheme for 65 houses

WATER SUPPLY

Available for zoned use. 24 hour storage to be provided.

L. J. Spai
13/11/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 25.11.91
Time 12.45.

[Signature]
14/11/91

ENDORSED:

[Signature]

DATE

20/11/91

26 NOV. 1991.

MR. PAT. SOMERS ESB.

PHoned to say that none of
the prop. houses are located
less than 15 metres from the
existing ESB line. The ESB
therefore has no objection to the
prop. development.

Maureen O'Shea

26/11/91.

A. Hinchy,
Senior Executive Draughtsman/Technician

RE: Change house type at Ballinellen road, Knockyan

REG. REF.: 910/1579

RE: LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) (FEES AND AMENDMENT)
REGULATIONS, 1983 - ARTICLE 6.1

A reduced fee (i.e. $\frac{1}{2}$) has been paid in respect of the above application.
Please confirm this is the correct fee under Article 6.1 of the Local
Government (Planning and Development) (Fees and Amendment) Regulations, 1983.
File Reg. Ref.: 89A/2133 on which a full fee was paid is attached.

Michael O'K
Richard Whelan,
Staff Officer,
Registry Section.

Mr. R. Whelan,
Registry Section.

*Overall site is larger than original. (See copy of
site map) It appears to include road reservation
slight alterations to some individual sites. No
increase in number of houses.*

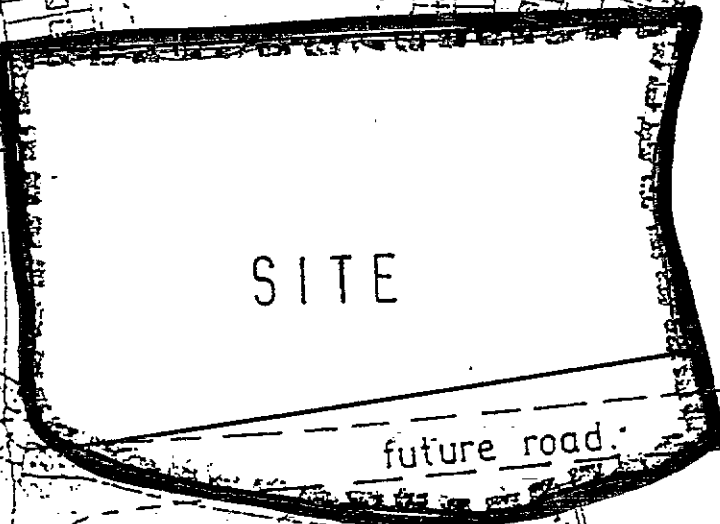
J.Y. 15/10/91.

A. Hinchy,
Senior Executive Draughtsman/Technician.

Glenvara Park

TO FIRHOUSE

BALLYCULLEN ROAD



SITE

future road.

89A/2133

91A/1579







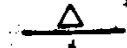
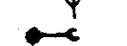

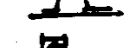




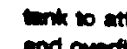


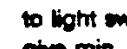
Ballycullen House

Ballycullen House

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
01 OCT 1991
REG No. 91A/1579

BALLYCULLEN

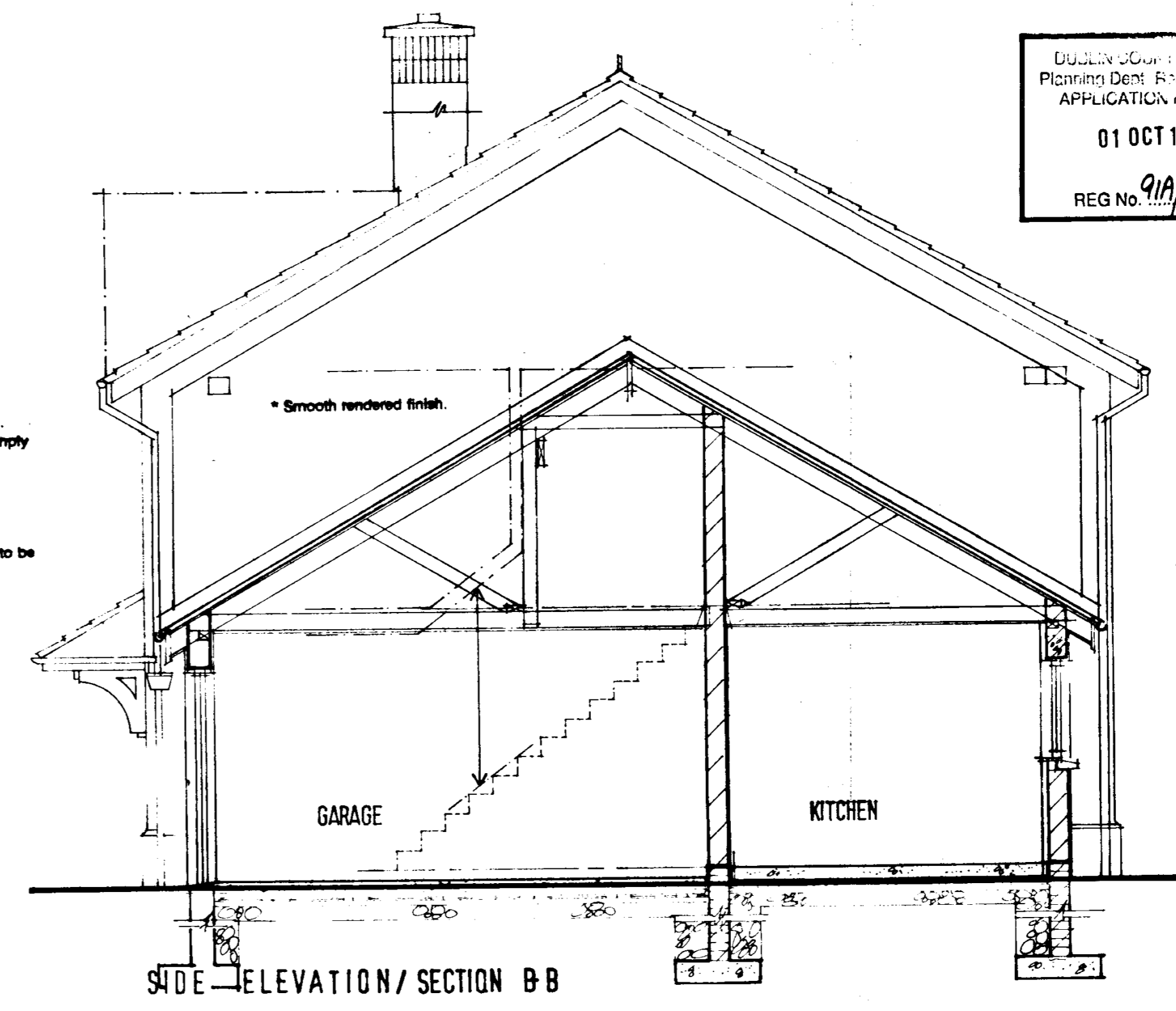
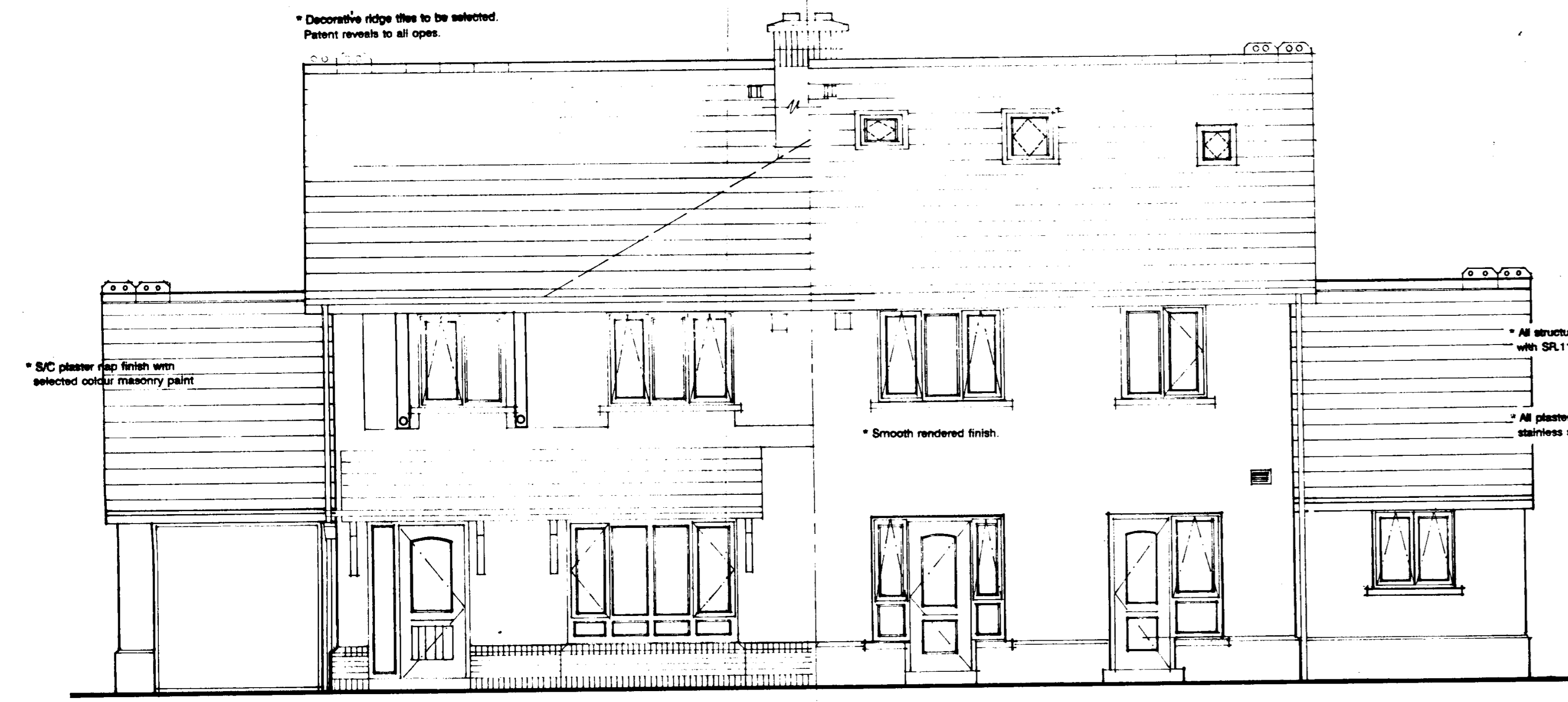
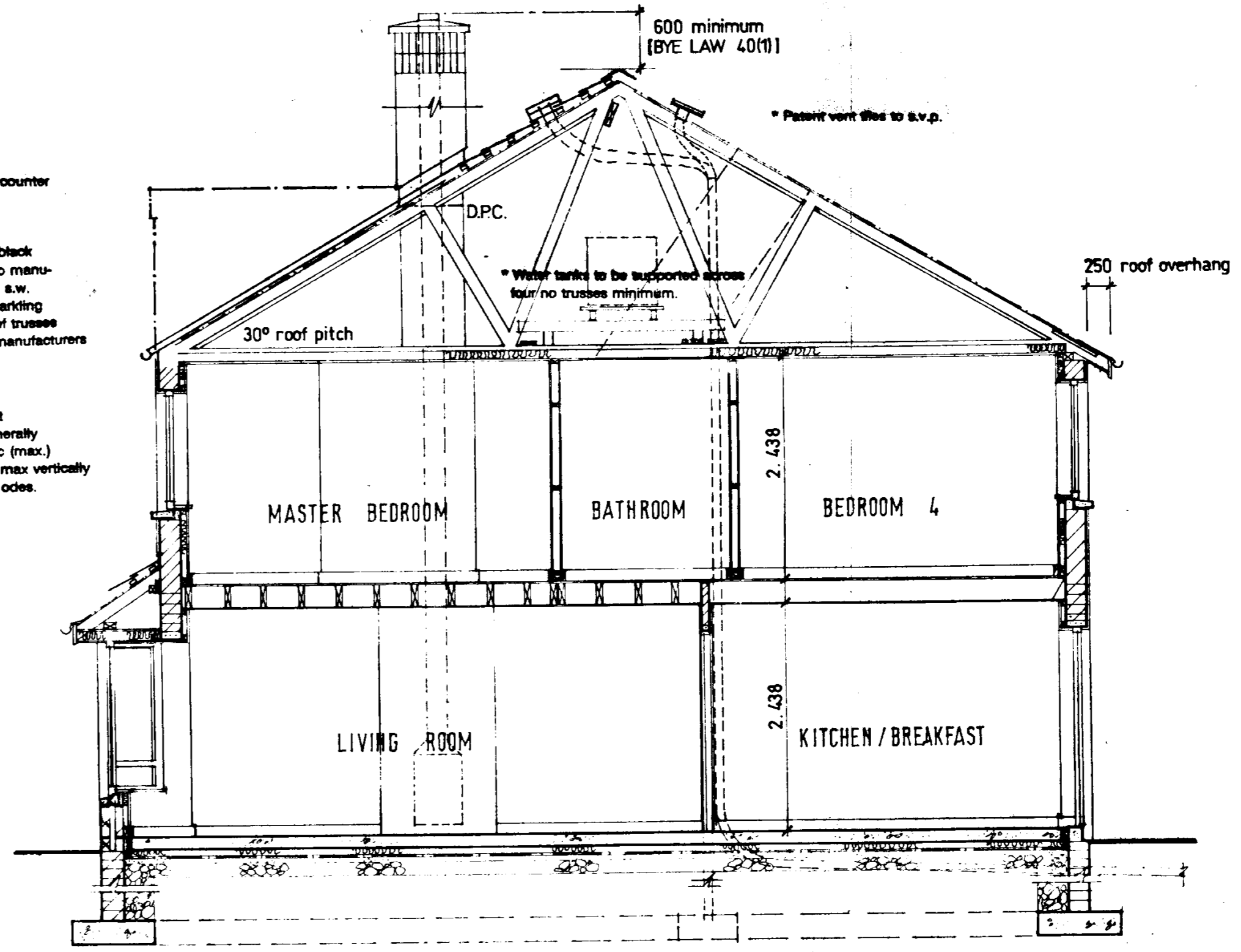
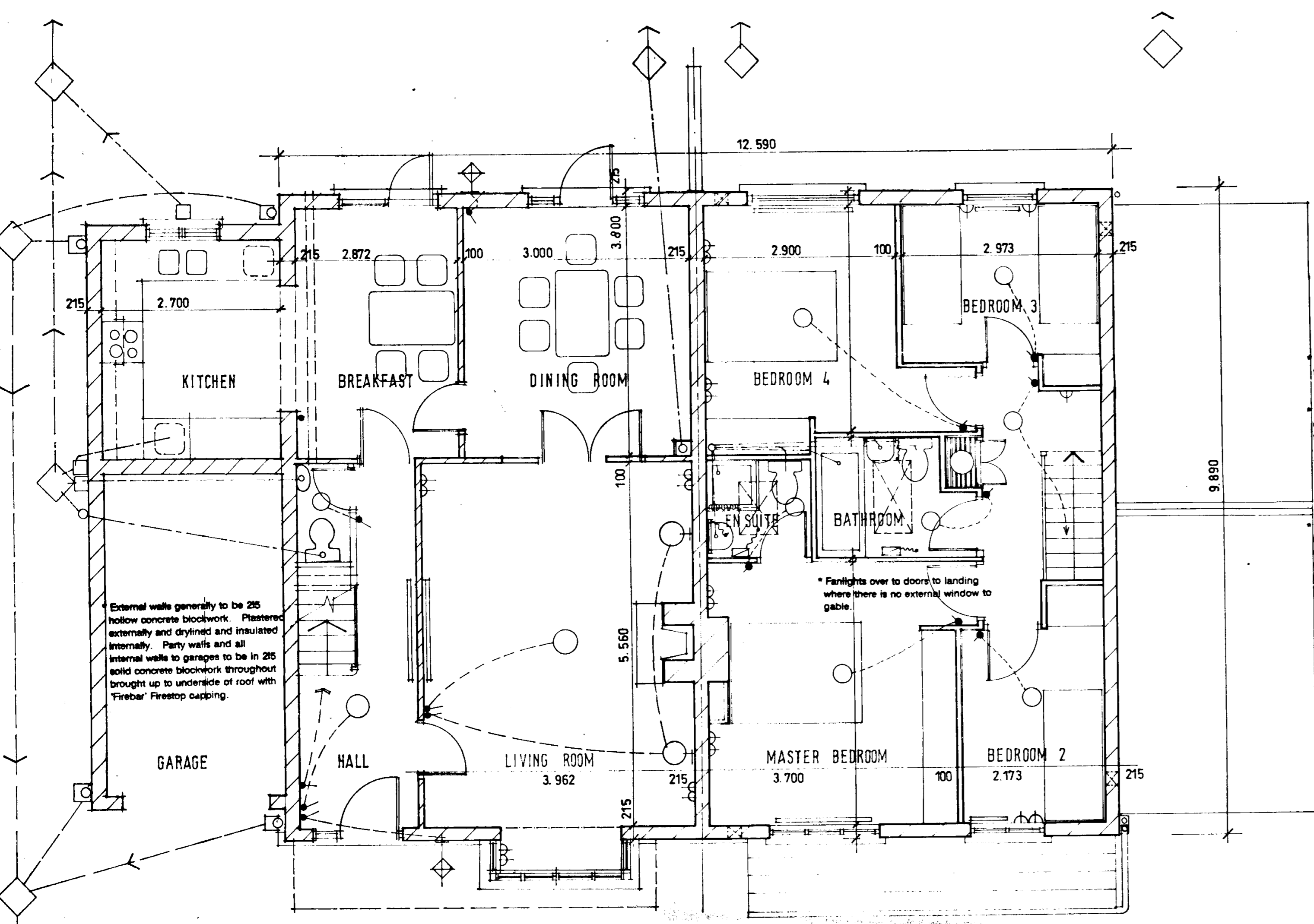
NOTES
 All dimensions must be checked on site and not scaled from this drawing.

-  Pendant light
-  Wall light
-  Strip fluorescent
-  Pull Switch
-  Electric heater
-  Light switch
-  Double socket UL
-  Double socket M.L.
-  Shaving Socket
-  T.V. point
-  Telephone
-  External light fitting
-  Cooker outlet (switched and indicator)
-  Fan outlet
-  Ball push
-  Bell
-  Immersion switch and indicator
-  Immersion heater

* 24 hour insulated cold water storage tank to attic with associated pipework and overflows, all to be insulated.

* Internal bedrooms without windows to have extract fan wired to light switch with over run to give min. 3 no. air changes per hour.

* Internal partitions to ground floor to consist of 100 mm solid concrete blockwork scoured, rendered and skimmed brought down onto founds.



DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 01 OCT 1991
 REG No. 91A/15/29

Date	Revisions

MARTIN A MURRAY
 ARCHITECT
 10 Mountpleasant Parade,
 Ranelagh, Dublin 6
 tel : 01 970668

MARTIN MURRAY
 Dual Arch & Electric Member
 Dual Prof. Membr M. Arch. I.D.

Client
WILLWRIGHT LTD.

Job Title
**PROPOSED HOUSING AT
 BALLYCULLEN ROAD
 KNOCKLYON
 CO. DUBLIN.**

Drawing Title
**HOUSE TYPE A.2.
 Plans
 Section
 Elevations.**

Scale
1:50.

Date
19.9.91 Drawn by
MM.

Org. No.
91026 - 03 Rev.

Note:
Principal changes to site No. 1 involves provision of garage only. Location of house remains unchanged.

New block levels as shown to be confirmed with engineer's details.

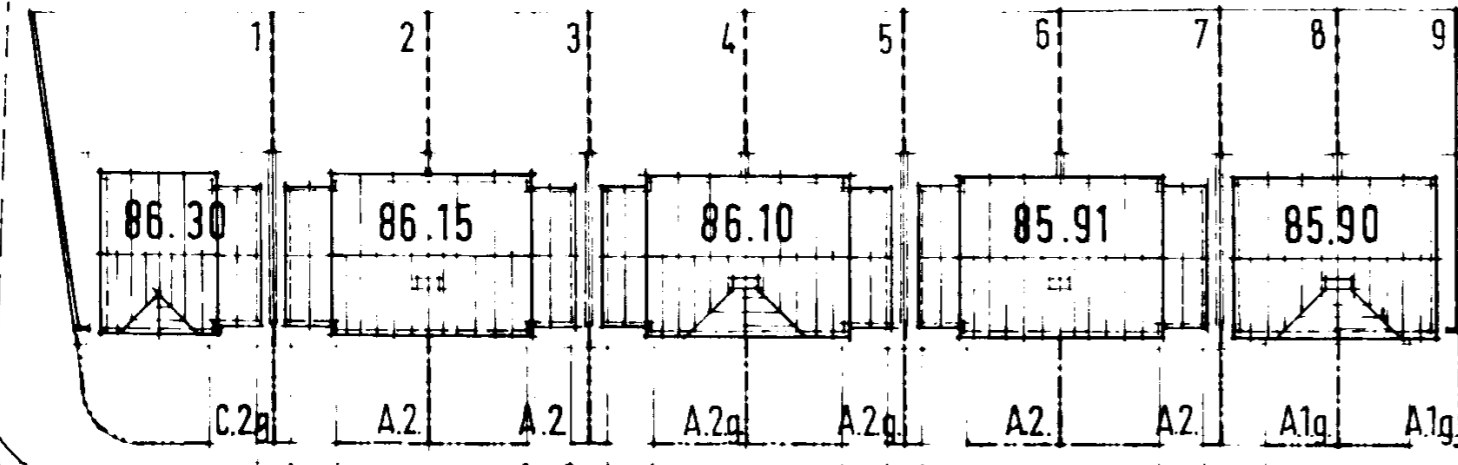
To Finhouse

BALLYCULLEN ROAD

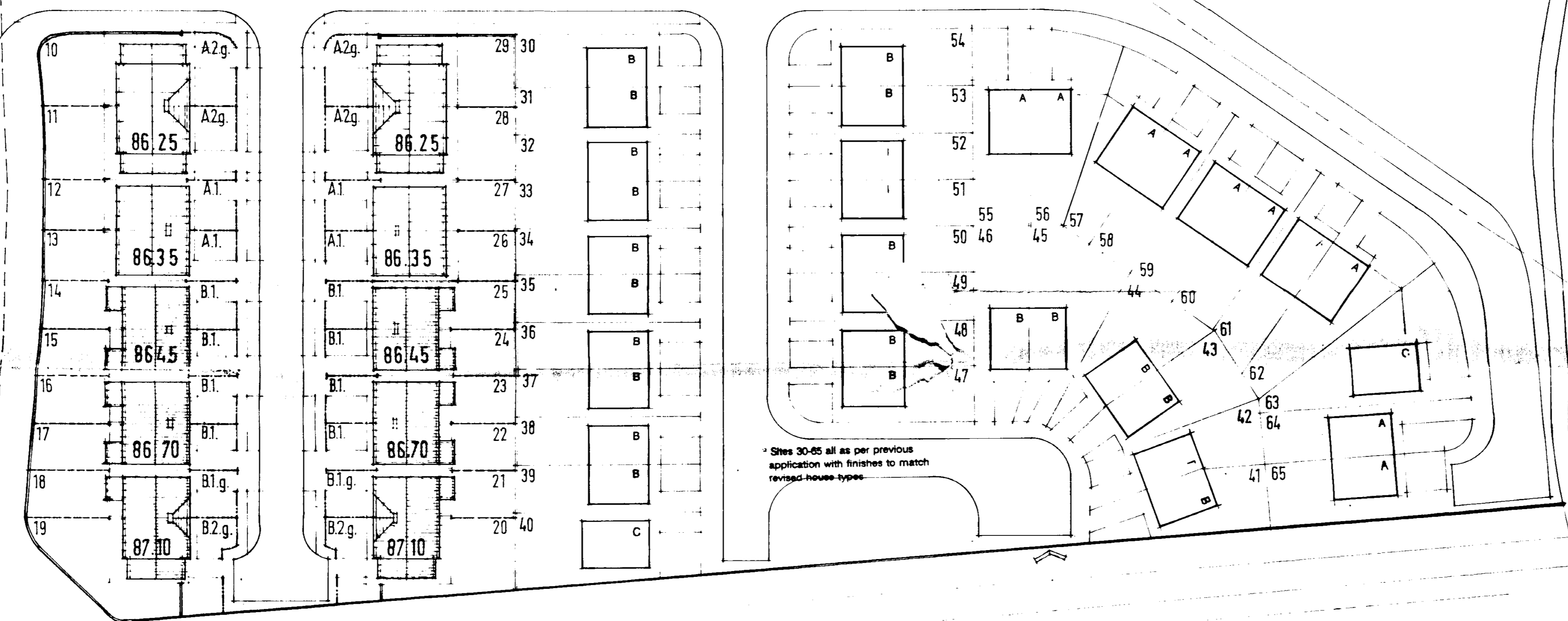
* New roundabout

To Glenroe

ESB 110 KV line



OPEN SPACE
* Open space as per previous application (Ref. 88A-2133) to be fenced off and protected during site development works.



* Sites 30-35 all as per previous application with finishes to match revised house types.

All setbacks as per previous approved application 39A/2133 and BBL 2884/90

Proposed New Road Reservation.

S I T E L A Y O U T 1 : 5 0 0

NOTES
All dimensions must be checked on site and not scaled from this drawing.

- * Type A - 4 bed semi-detached
- * Type B - 3 bed semi-detached
- * Type C - 4 bed detached

- * 2M high concrete block wall rendered to public side with brick piers at 3m centres all with precast concrete capping. Expansion joints to detail.
- * 1.5m high concrete block walls with brick piers to side entrances.
- * .9m high concrete block wall.
- * .45m high concrete block wall rendered.
- * .45m high brick wall and piers.

Revised Sites 1 - 29

House Type A1 (4 Bed without garage)	6 No.
House Type A2 (4 Bed with garage)	10 No.
House Type B1 (3 Bed with/without extension)	10 No.
House Type B2 (3 Bed with garage)	2 No.
House Type C2 (4 Bed detached with garage)	1 No.
Total Revised House Types	29 No.

* All house types referenced "g" to have gabled feature to front elevation.

* All roads and external details are as per previous application (Ref. 88A-2133) with the exception of cul-de-sac adjacent to houses 19 and 20 which has been revised as indicated.

All block levels shown to be confirmed by engineer prior to commencement on site.

A	Date	Revisions

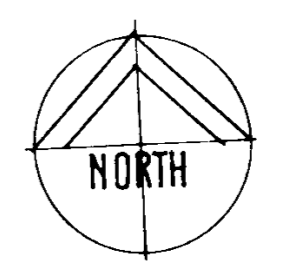
MARTIN A MURRAY
ARCHITECT
10 Mountpleasant Parade,
Ranelagh, Dublin 6.
tel : 01 970668

MARTIN MURRAY
Dipl Arch & Archt; MR/Arch
Dipl Proj; Mang M Arch UD

Client
WILLWRIGHT LTD.

Job Title
PROPOSED HOUSING AT
BALLYCULLEN ROAD
KNOCKLYON
CO. DUBLIN.

DUBLIN COUNTY COUNCIL
Planning Dept. Reg. Sec. 5 Section
APPLICATION RECEIVED
01 OCT 1991
REG No. 91A/1579



Drawing Title
SITE LAYOUT.
with
Revised House Types
(Sites 1 - 29)

Scale 1:500

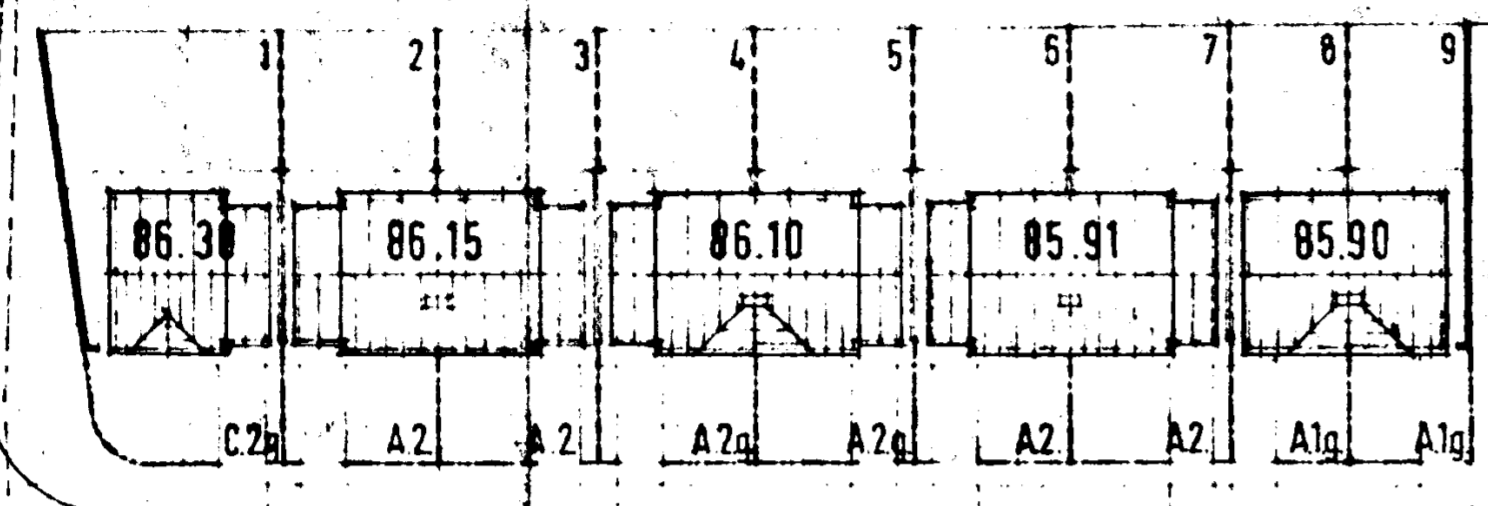
Date 20.9.91. Drawn by M.M.

Drw. No. 91026 - 02 Rev.

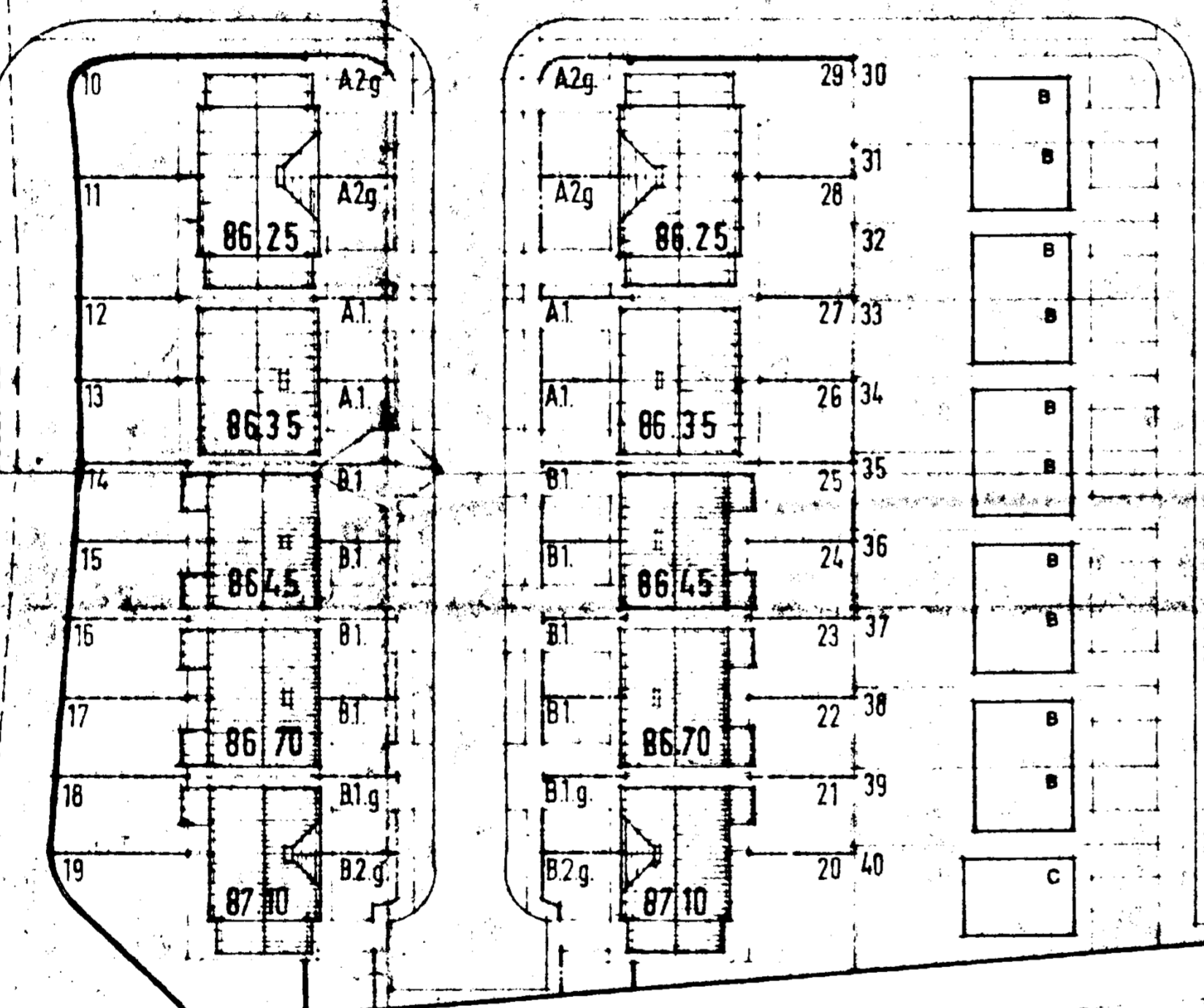
2/12/91
 89A/2133
 01n.1579

Note:
 Principal changes to site No. 1 involves provision of garage only. Location of house remains unchanged.

New block levels as shown to be confirmed with engineer's details



OPEN SPACE
 * Open space as per previous application (Ref. 89A-2133) to be fenced off and protected during site development works



* Sites 30-35 as per previous application with finishes to match revised house types

All setbacks as per previous approved application 89A/2133 and DEL 2594/90

BALLYCULLEN ROAD

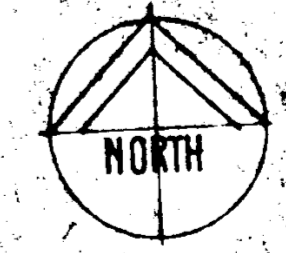
B6NTS

Proposed New Road Reservation
 Boundary Ditch 1162 012
 EX. 2440 O.M.L. 2440 012

S I T E L A Y O U T

1 : 5 0 0

New layout
 Nov. 91.



NOTES
 All dimensions must be checked on site and not scaled from this drawing.
 * Type A - 4 bed semi-detached
 * Type B - 3 bed semi-detached
 * Type C - 4 bed detached

- 300 high concrete block wall rendered to public side with brick piers at 3m centres all with precast concrete capping. Expansion joints to detail.
- 1.5m high concrete block wall with brick piers to side entrances.
- 3m high concrete block wall.
- 2.0m high concrete block wall rendered.
- 400 high brick wall and piers.

Revised Sites 1 - 29

House Type A1 (4 Bed without garage)	8 Nos.
House Type A2 (4 Bed with garage)	10 Nos.
House Type B1 (3 Bed with/without extension)	10 Nos.
House Type B2 (3 Bed with garage)	2 Nos.
House Type C2 (4 Bed detached with garage)	1 No.
Total Revised House Types	39 Nos.

* All house types referenced to have gabled feature to front elevation.
 * All walls and external details are as per previous application (Ref. 89A-2133) with the exception of out-to-eac adjacent to houses 19 and 20 which has been revised as indicated.

All block levels shown to be confirmed by engineer prior to commencement on site.

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COUNTY COUNCIL
 Dept. Registry Section
 REGULATION 447/1987

1 OCT 1991
 91A/1579

MARTIN MURRAY
 ARCHITECT

10 Mountpleasant Parade,
 Ranelagh, Dublin 6.
 tel : 01 970668

MARTIN MURRAY
 Dept. ARCH & ARCH. SURV.
 Dept. Proj. Mngt. 10 Arch. LD

Client
WILLWRIGHT LTD.

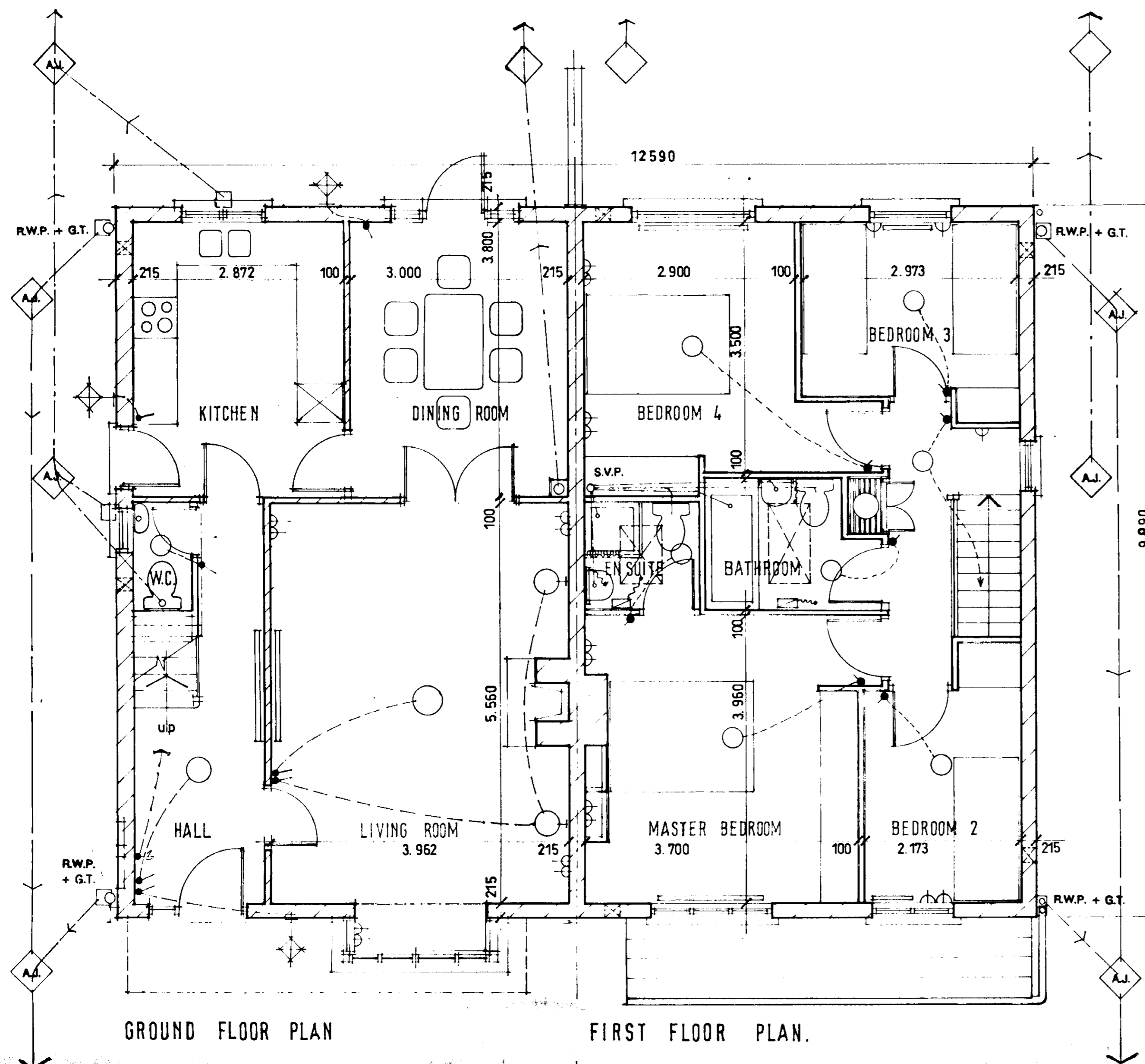
Job Title
**PROPOSED HOUSING AT
 BALLYCULLEN ROAD
 KNOCKLYON
 CO. DUBLIN.**

Drawing Title
**SITE LAYOUT
 with
 Revised House Types
 (Sites 1 - 29)**

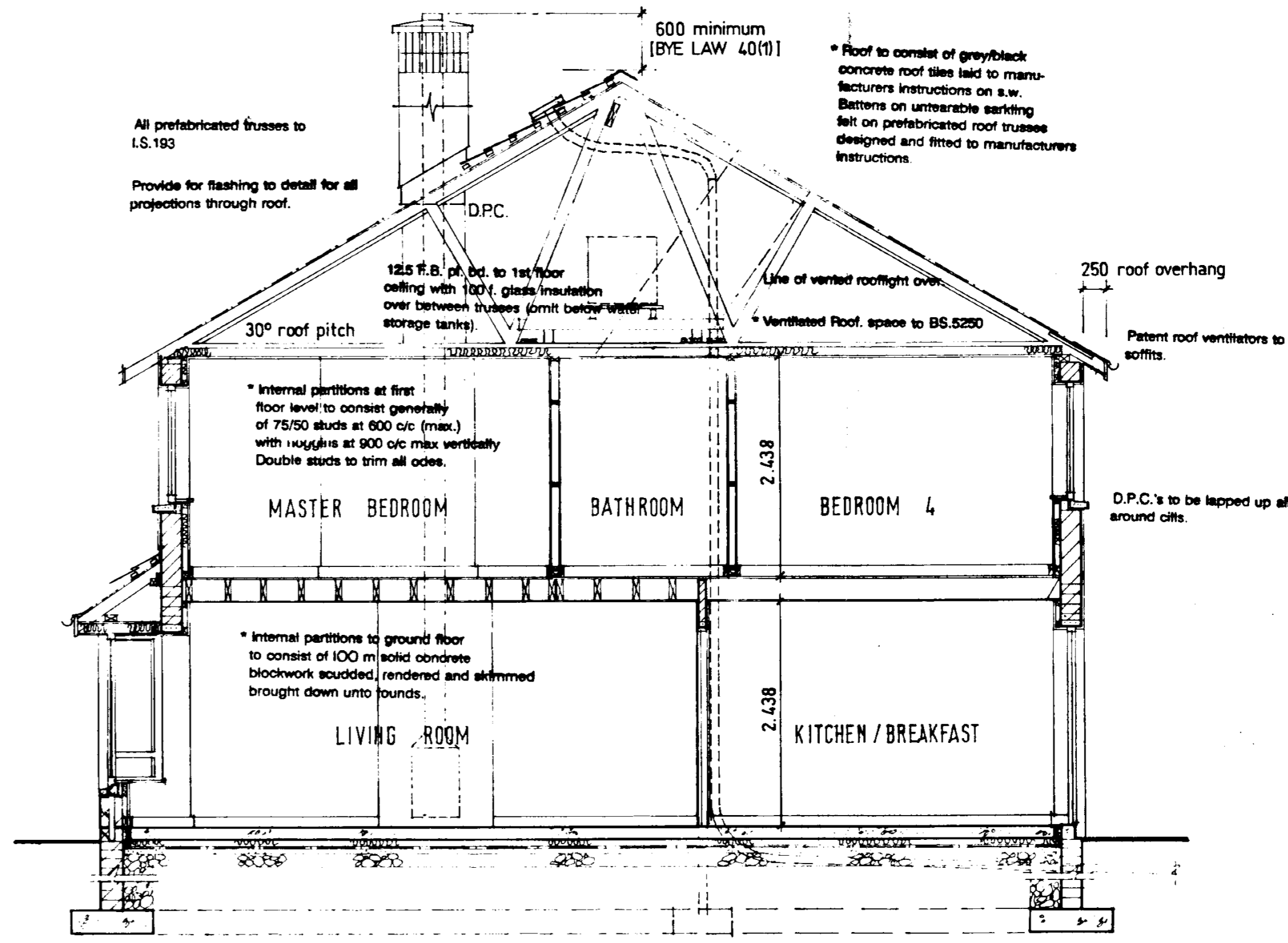
Scale 1:500

Date 20.9.91. Drawn by M.M.

Drw. No. 91026-02 Rev.



GROUND FLOOR PLAN FIRST FLOOR PLAN.



SECTION A-A

- NOTES**
All dimensions must be checked on site and not scaled from this drawing.
- Pendant light
 - Wall light
 - Strip fluorescent
 - Pull Switch
 - Electric heater
 - Light switch
 - Double socket L/L
 - Shaving Socket
 - T.V. point
 - External light fitting (switched and indicator)
 - Cooker outlet (switched and indicator)
 - Fan outlet
 - Bell push
 - Bell
 - Immersion switch and indicator
 - Immersion heater
 - Radiator
 - Fuse Board

Date	Revisions

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MARTIN A MURRAY
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Ranelagh, Dublin 6.
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MARTIN MURRAY
Dipl Arch & Assoc Instm
Dipl Proj Mang M Jch UD

Client
WILLWRIGHT LTD.

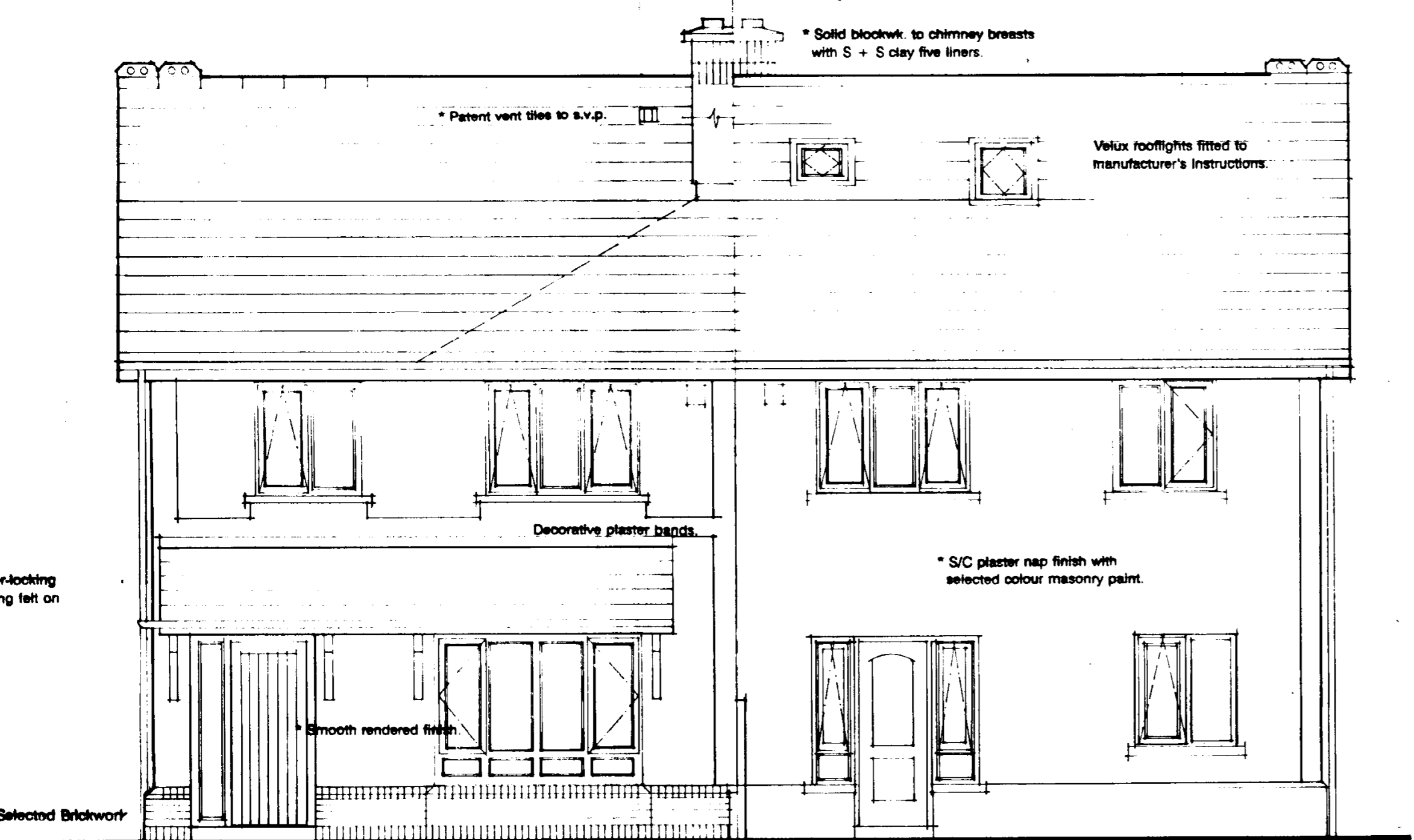
Job Title
**PROPOSED HOUSING AT
BALLYCULLEN ROAD
KNOCKLYON
CO. DUBLIN.**

Drawing Title
**HOUSE TYPE A.1.
Plans
Section
Elevations.**

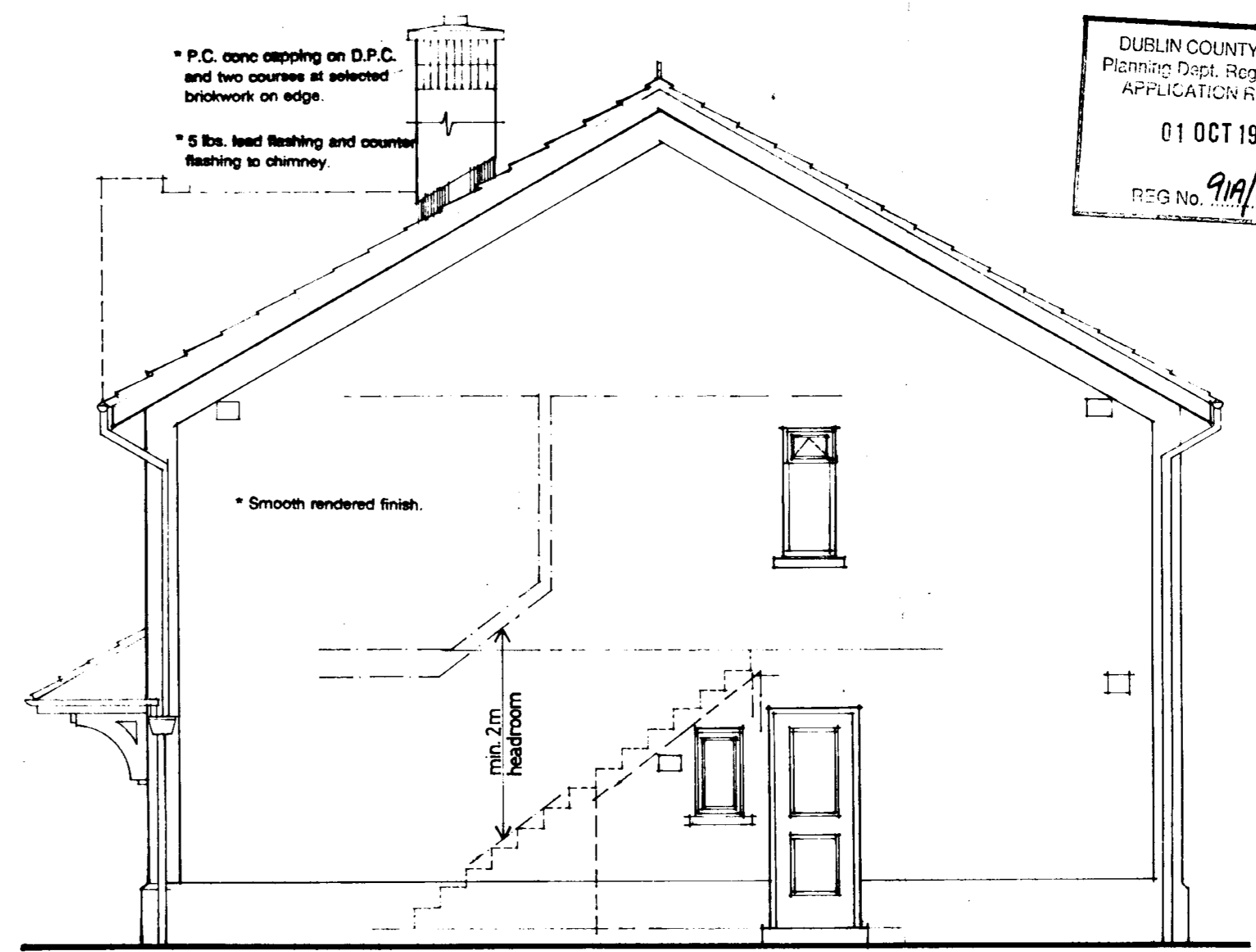
Scale
1:50.

Date
19.9.91 Drawn by
MM.

Drg. No.
91 026 - 04 Rev.

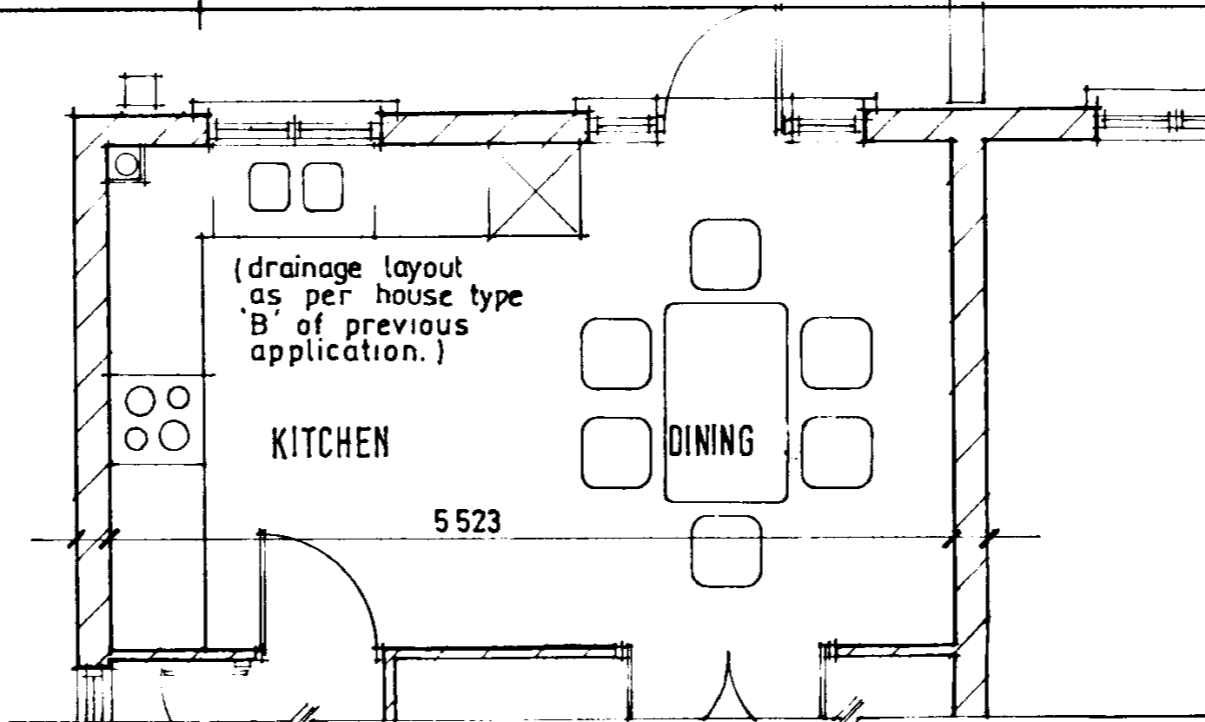
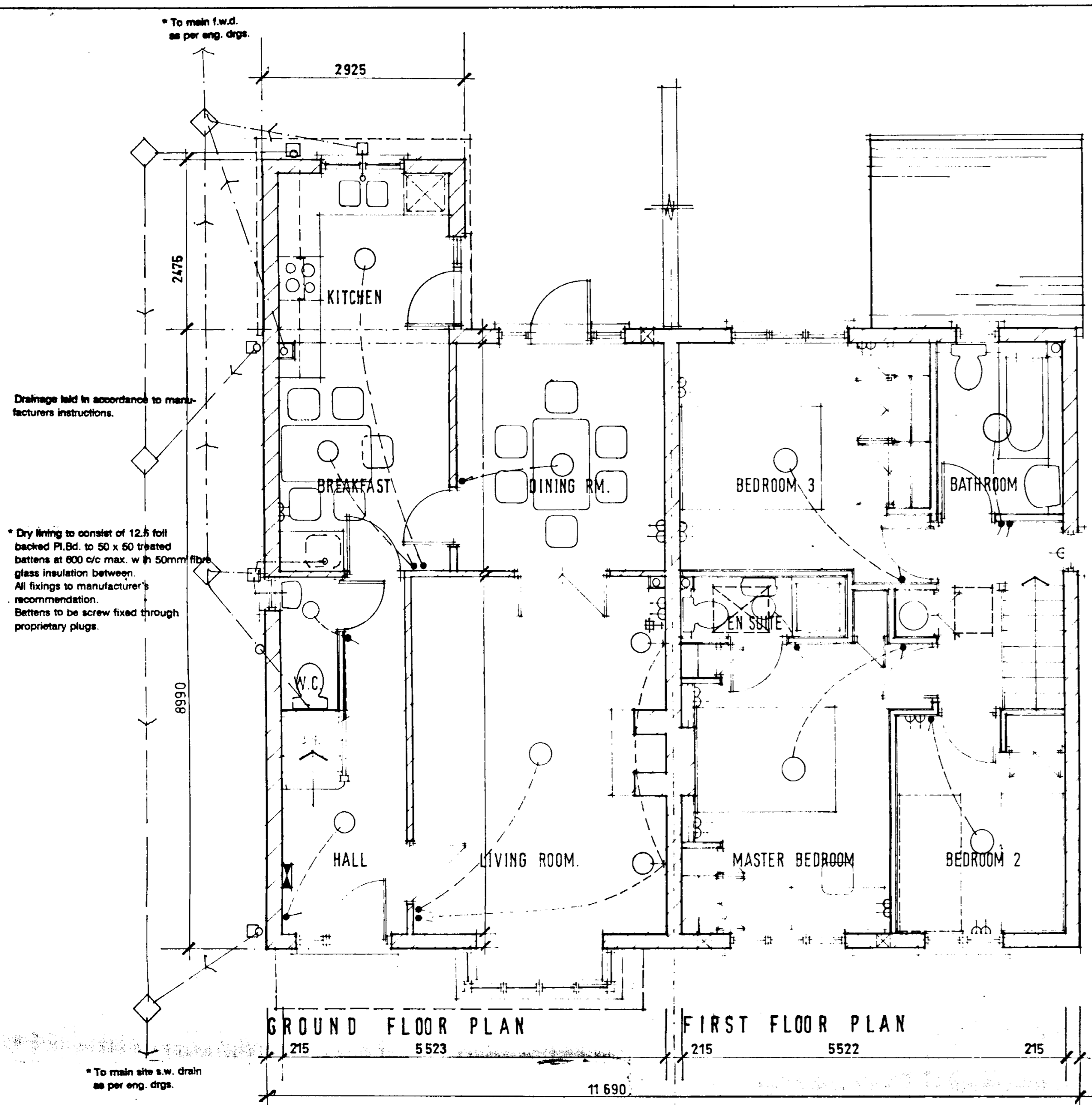


FRONT ELEVATION REAR ELEVATION

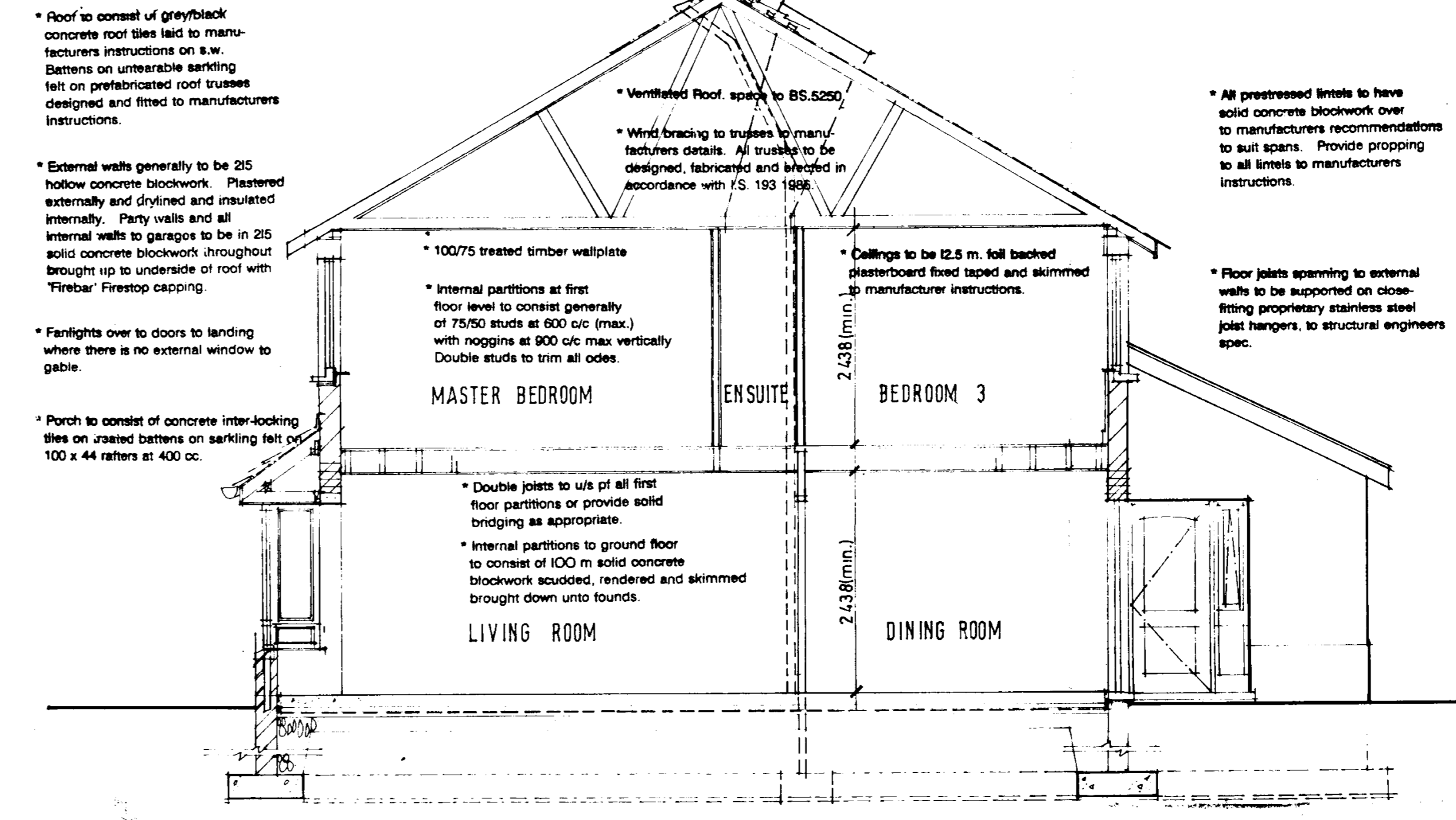


SIDE ELEVATION.

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
01 OCT 1991
REG No. 91A/1579



ALTERNATIVE KITCHEN LAYOUT WITHOUT REAR EXTENSION



* Foundation depths and widths to engineer's details.
 * Ground floor to consist of 150 mm power floated concrete slab on 50 m rigid polystyrene board on 1000 m gauge visqueen D.P.M. on 50 m sand blinding on 150 mm (min) well compacted hardcore.

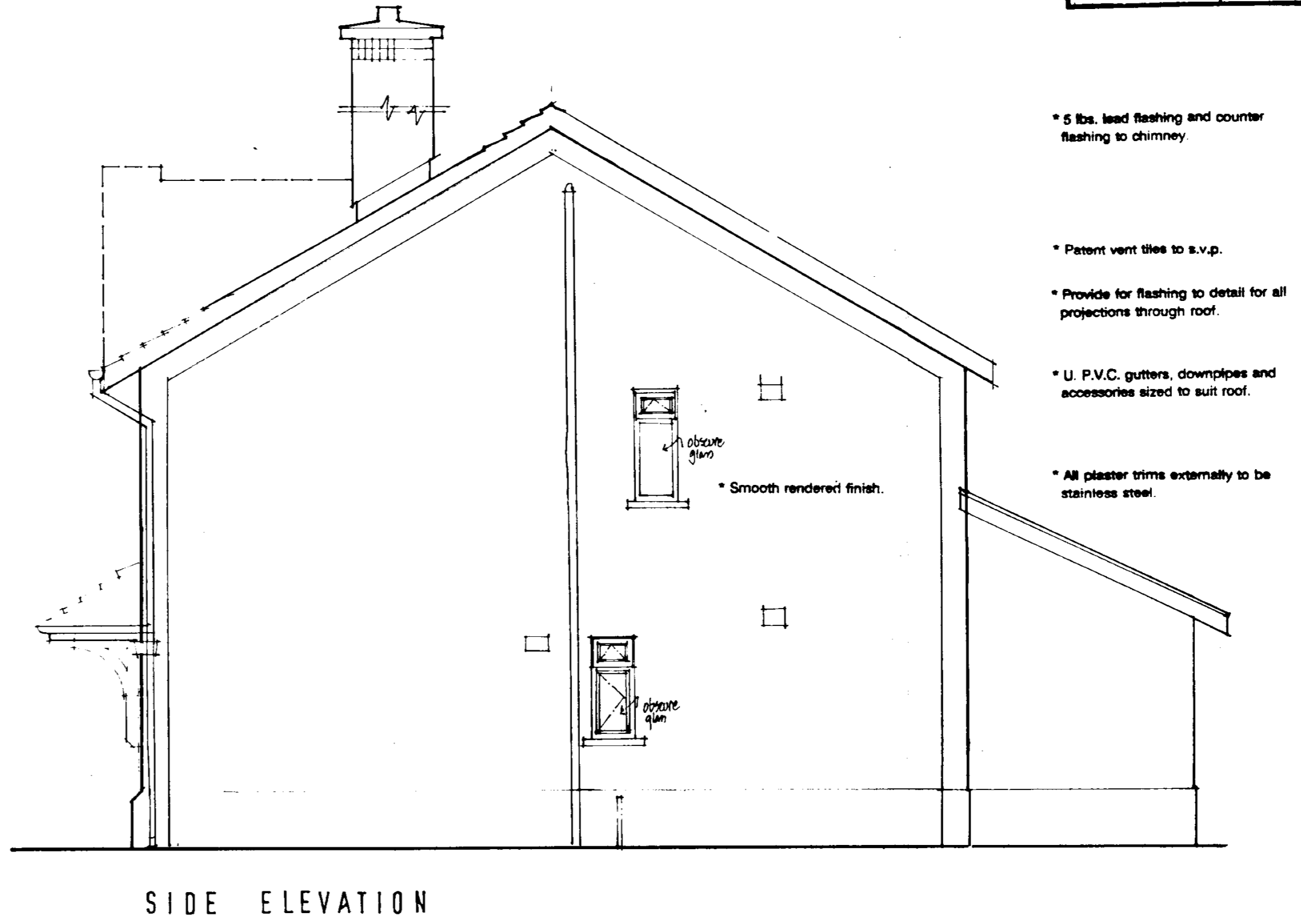
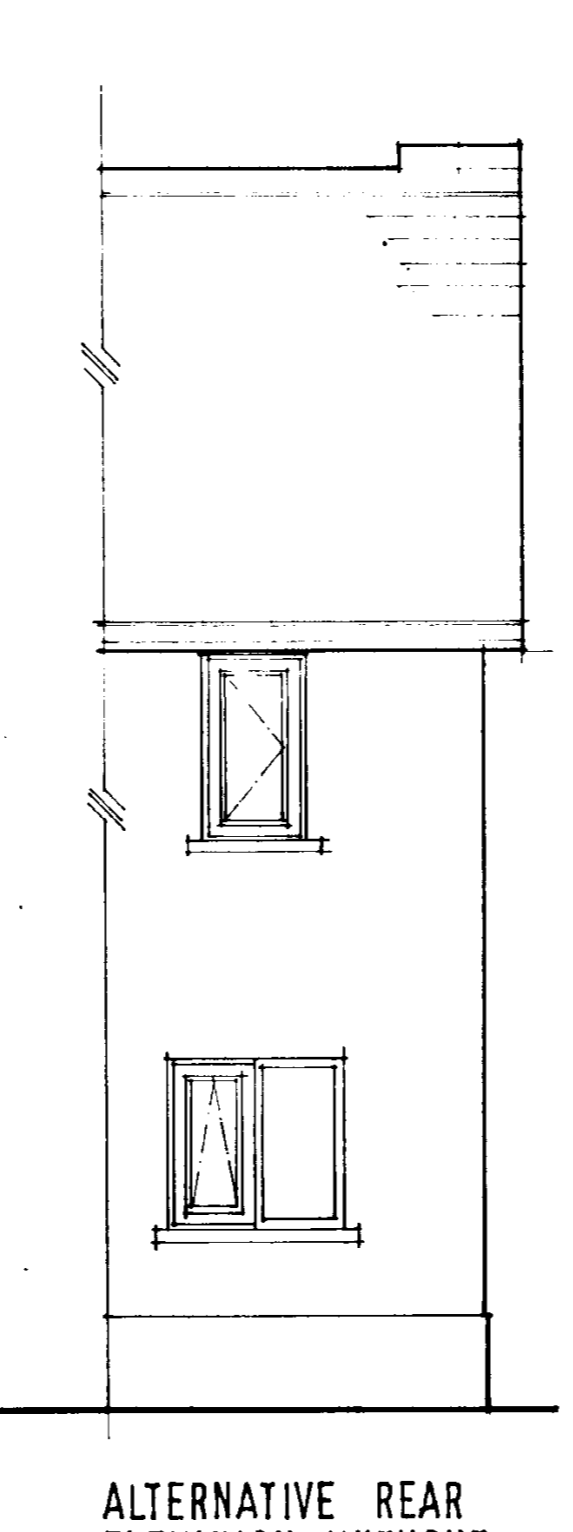
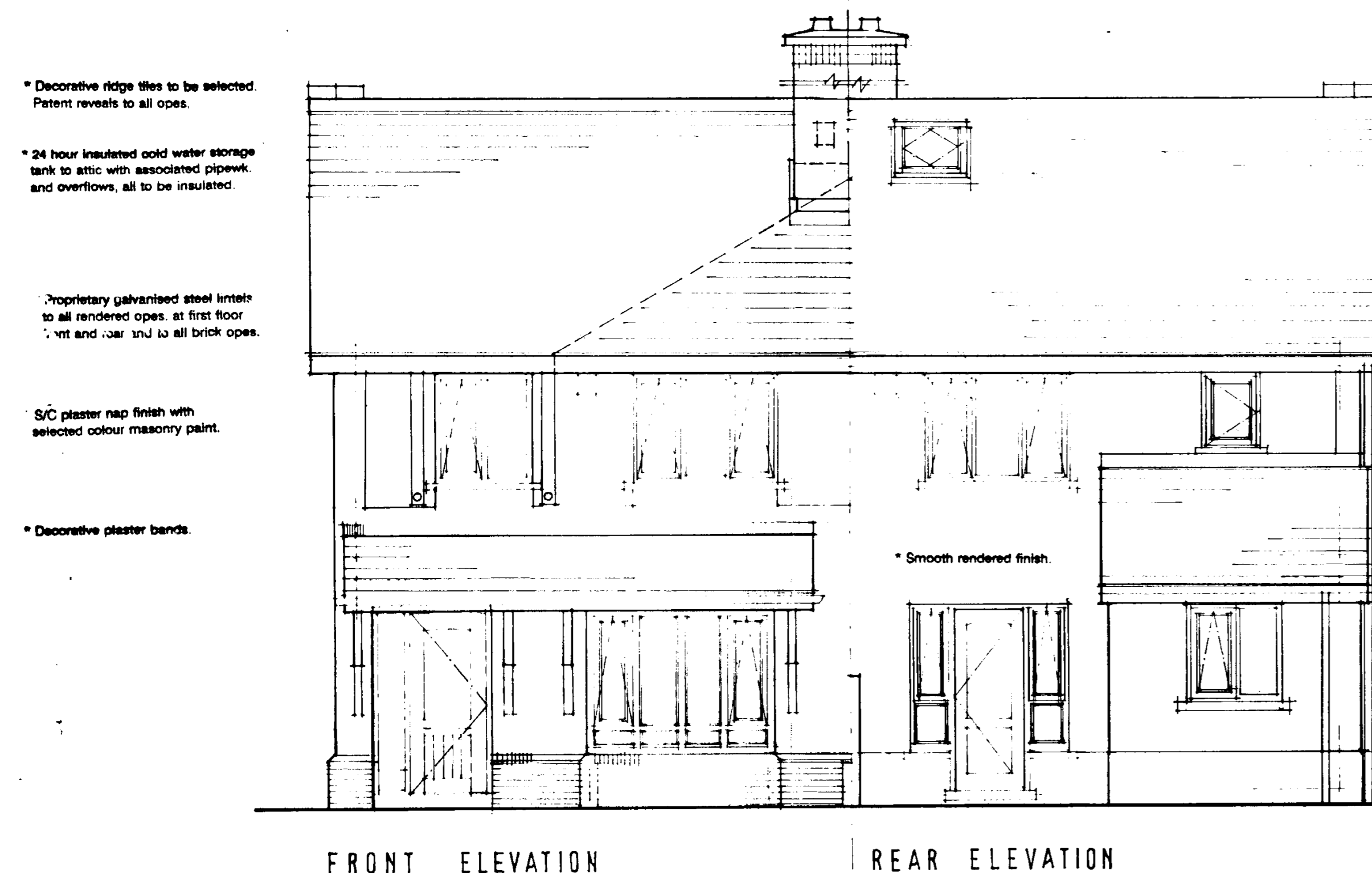
NOTES
 All dimensions must be checked on site and not scaled from this drawing.
 * All windows and opening sashes to habitable rooms to have areas respectively equal to 10% and 5% of the floor areas.
 * Water tanks to be supported across four no trusses minimum.
 * Internal bathrooms without windows to have extract fan wired to light switch with over run to give min. 3 no. air changes per hour.
 * Drainage laid in accordance to manufacturers instructions.
 * 25 sq. permavents to all rooms without fireplaces.

- Pendant Light
- Wall Light
- Strip fluorescent
- Full Switch
- Electric heater
- Light switch
- Double socket L.L.
- Double socket H.L.
- Shaving Socket
- T.V. point
- Telephone
- External light fitting
- Cooler outlet (switched and in/out)
- Fan outlet
- Bell push
- Bell
- Immersion switch and indicator
- Immersion heater
- Radiator
- Fuse Board

Date	Revisions

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 01 OCT 1991
 REG No. 91A/15/91

MARTIN A MURRAY
 ARCHITECT
 10 Mountpleasant Parade,
 Ranelagh, Dublin 6.
 tel : 01 970668



MARTIN MURRAY /
 Dip Arch & Assoc. Membr
 Dip Proj Mang M Arch Inst

Client
WILLWRIGHT LTD.

Job Title
**PROPOSED HOUSING AT
 BALLYCULLEN ROAD
 KNOCKLYON
 CO. DUBLIN.**

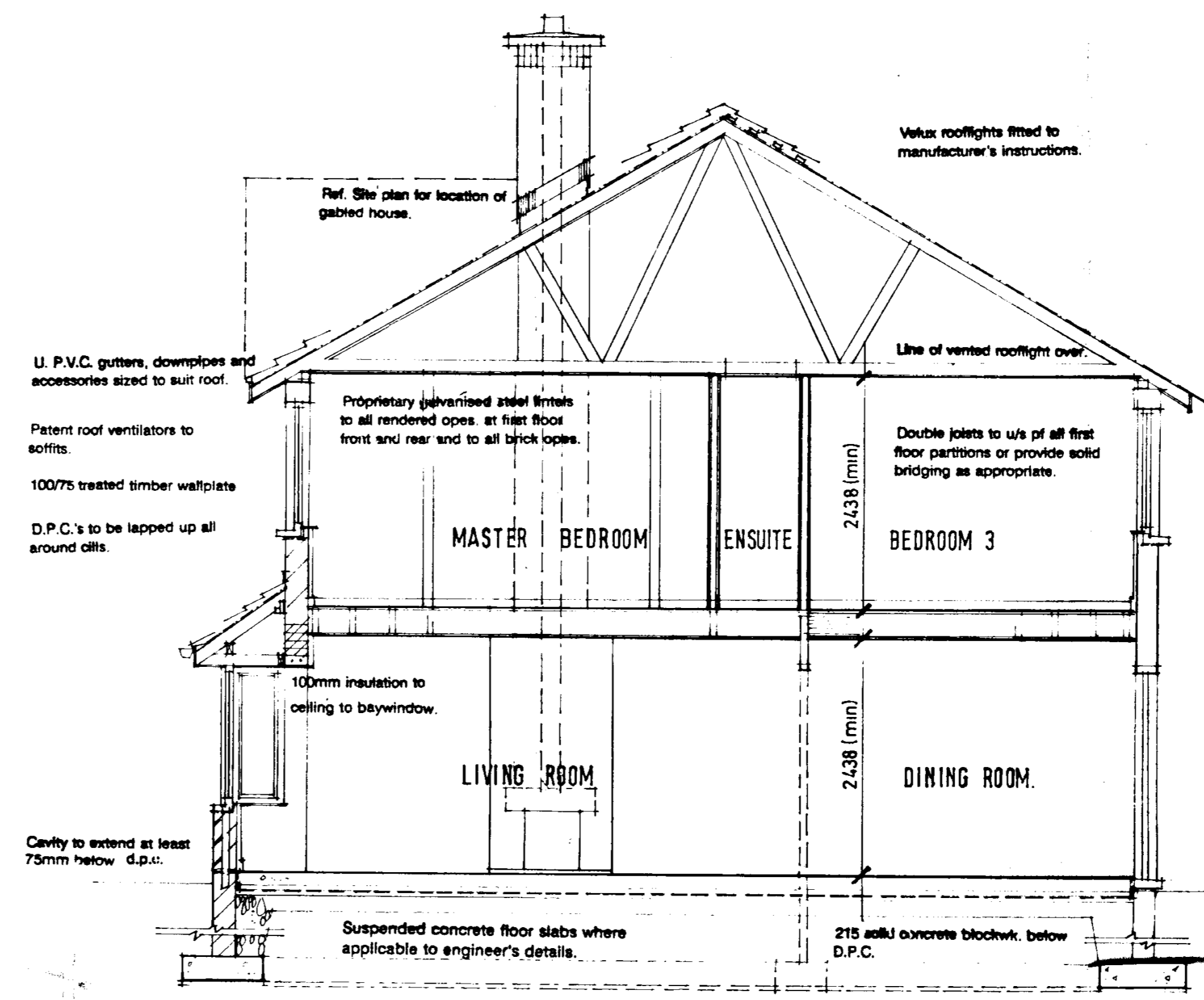
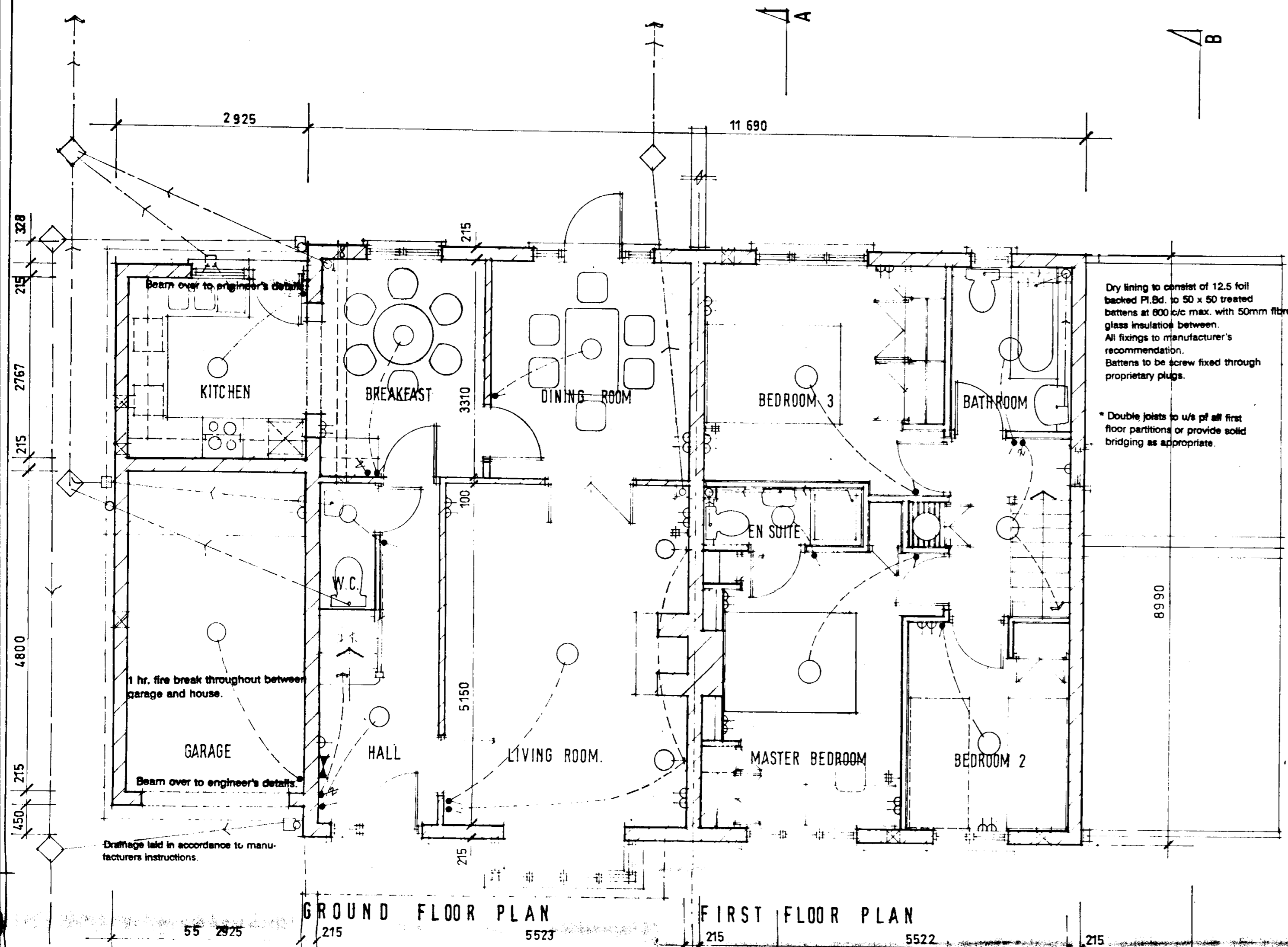
Drawing Title
**HOUSE TYPE B.1.
 Plans
 Section
 Elevations**

Scale
 1:50

Date 20.9.91 Drawn by M.M.

Drg. No. 91026 - 05 Rev.

NOTES
All dimensions must be checked on site and not scaled from this drawing.



12.5 F.B. pl. bd. to 1st floor ceiling with 100 l. glass insulation over between trusses (omit below water storage tanks).

Wind bracing to trusses to manufacturer's details. All trusses to be designed, fabricated and erected in accordance with I.S. 193 1986.

Stainless steel truss hangers - fitted to manufacturer's instructions.

Ceilings to be 12.5 m. full backed plasterboard fixed taped and skimmed to manufacturer instructions.

Floor joists spanning to external walls to be supported on close-fitting proprietary stainless steel joint hangers, to structural engineers spec.

All prestressed lintels to have solid concrete blockwork over to manufacturer's recommendations to suit spans. Provide propping to all lintels to manufacturer's instructions.

Ground floor to consist of: 150 mm power floated concrete slab on 50 mm rigid polystyrene board on 1000 m gauge visqueen D.P.M. on 50 mm sand blinding on 150 mm (min) well compacted hardcore.

Min trench depth to founds to be 750mm subject to engineers and L.A. requirements, upon opening up of ground. Refer to foundation, etc. eng. requirements.

All structural timbers to comply with SR11 1988.

All internal drainage to comply with BS.572 1978.

All external free standing walls to IS.325.

Ref. Site plan for location of gabled house.

Date	Revisions

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DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
01 OCT 1991
REG No. 91A/1539-

MARTIN A MURRAY
ARCHITECT
10 Mountpleasant Parade,
Ranelagh, Dublin 6.
tel : 01 970668

MARTIN MURRAY
Dipl Arch & Arch (S.M.A.I.)
Dipl Proj Mang M Arch UD

Client
WILLWRIGHT LTD.

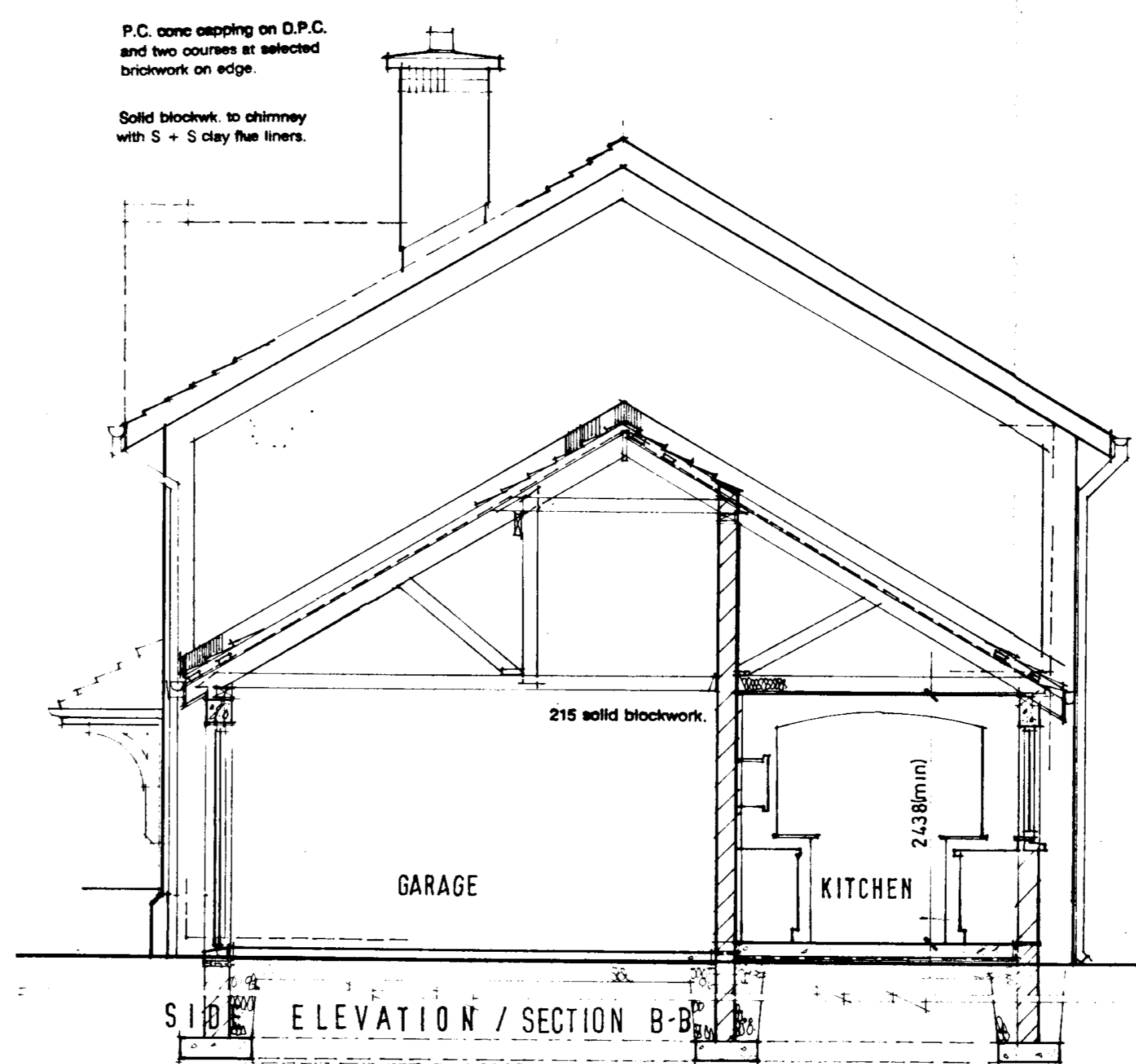
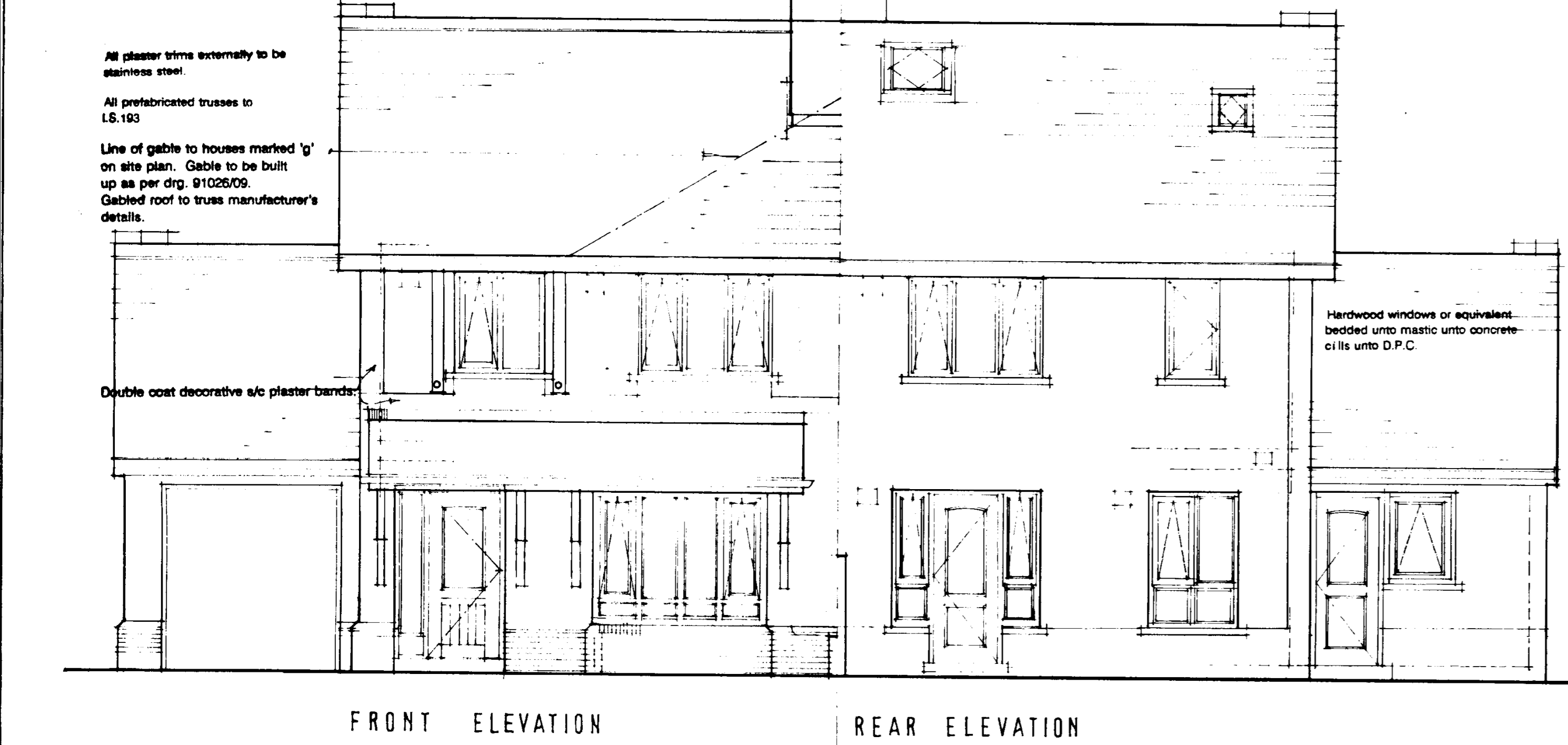
Job Title
**PROPOSED HOUSING AT
BALLYCULLEN ROAD
KNOCKLYON
CO. DUBLIN.**

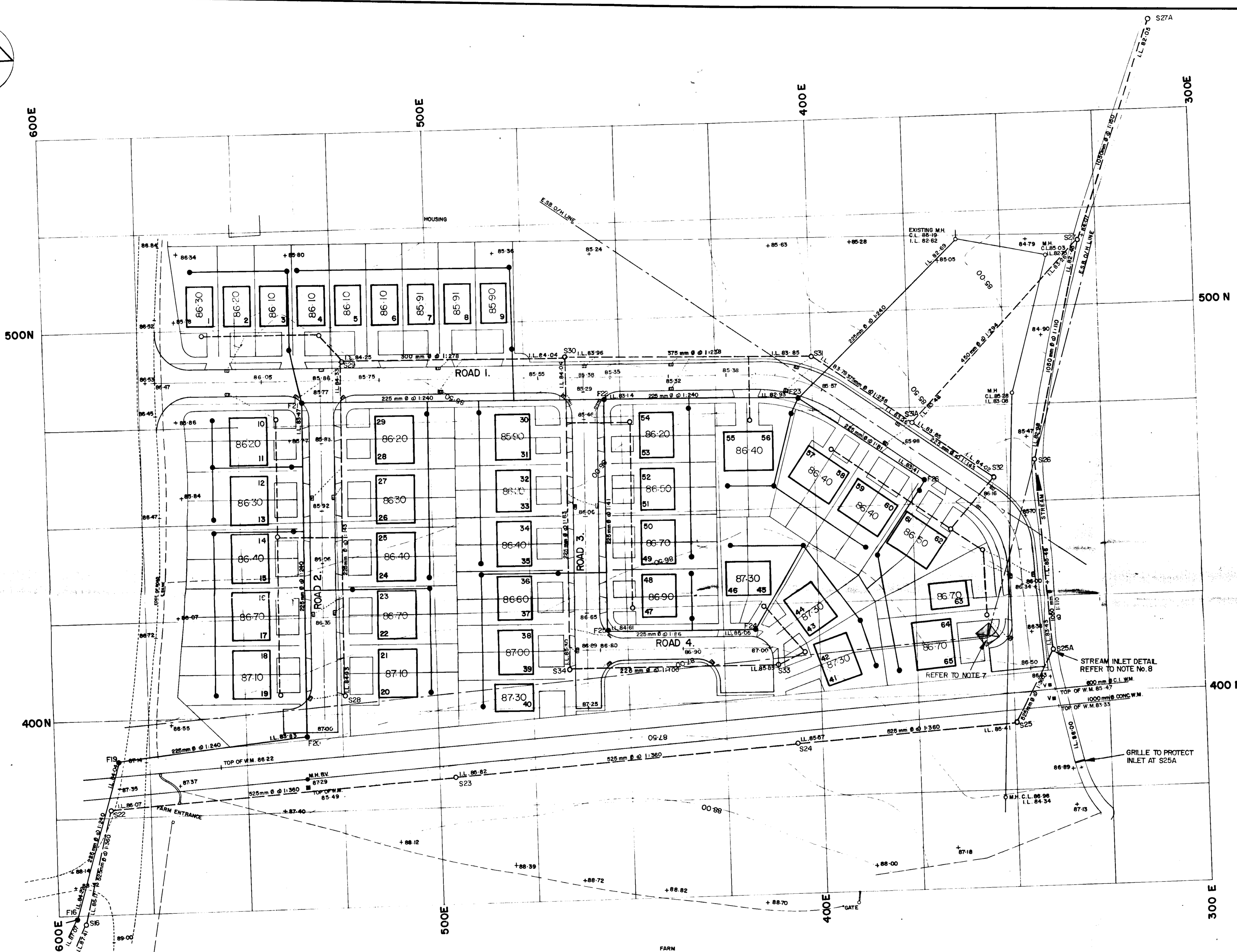
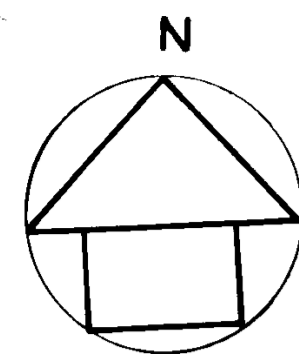
Drawing Title
**HOUSE TYPE B.2.
Plans
Section
Elevations**

Scale
1:50

Date 20.9.91 Drawn by M.M.

Drg. No. 91026 - 06 Rev.





- NOTES**
- FIGURED DIMENSIONS ONLY TO BE USED. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF THE WORKS.
 - ALL LEVELS ARE IN METRES AND RELATE TO ORDNANCE DATUM AT
 - REFER TO ARCHITECT'S DRAWINGS FOR WORKS WITHIN THE CURTILAGE OF THE HOUSES, BOUNDARY WALLS, LANDSCAPING ETC...
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS:
 - 9239 / 17B LONGITUDINAL ROAD SECTIONS
 - 9239 / 18C FOUL SEWER SECTIONS
 - 9239 / 19A & 20C STORM SEWER SECTIONS SHEET 1 & 2.
 - 9239 / 10 AND 11. TYPICAL DETAILS SHEET 1 & 2.
 - 9239 / 12 TYPICAL ROAD CROSS SECTION.
 - WHERE HOUSES ARE LOCATED OVER EXISTING DITCHES, THE DITCH SHALL BE CLEANED DOWN TO FIRM FOUNDATION AND PIPED IN 225 mm Ø TO THE NEAREST S.W. SEWER AND THE TRENCH SHALL BE BACKFILLED WITH LEAN MIX CONC. TO EXISTING GROUND.
 - ALL SEWER LINES WITHIN THE CURTILAGE TO BE 150 mm Ø uPVC WITH 1-80 MM GRADE UNLESS OTHERWISE STATED.
 - THE ESB HIGH TENSION OVERHEAD LINE ALONG THE EASTERN AND SOUTHERN SIDE OF THE SITE (INCLUDING THE PYLON AT HOUSES 64 / 65) TO BE REMOVED PRIOR TO START OF CONSTRUCTION WORK.
 - EXISTING DUBLIN CORPORATION WASHOUT CHAMBER TO BE CONNECTED TO M.H. S25A BY MEANS OF 300 mm Ø PIPE COMPLETE WITH FLAP VALVE.

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 01 OCT 1991
 REG No. 91A/1529

STORM SEWERS, ROADS AND BLOCK LEVELS REVISED.	ROH	FEB '91	C.
STORM SEWERS REVISED. ROADS 1, 2 & 3 REVISED. BLOCK LEVELS REVISED.	ROH	JUN '90	B
INVERT LEVELS REVISED. NOTE No. 8 ADDED.	R.O.H.	APR '90	A
REVISIONS	INCL	DATE	REV

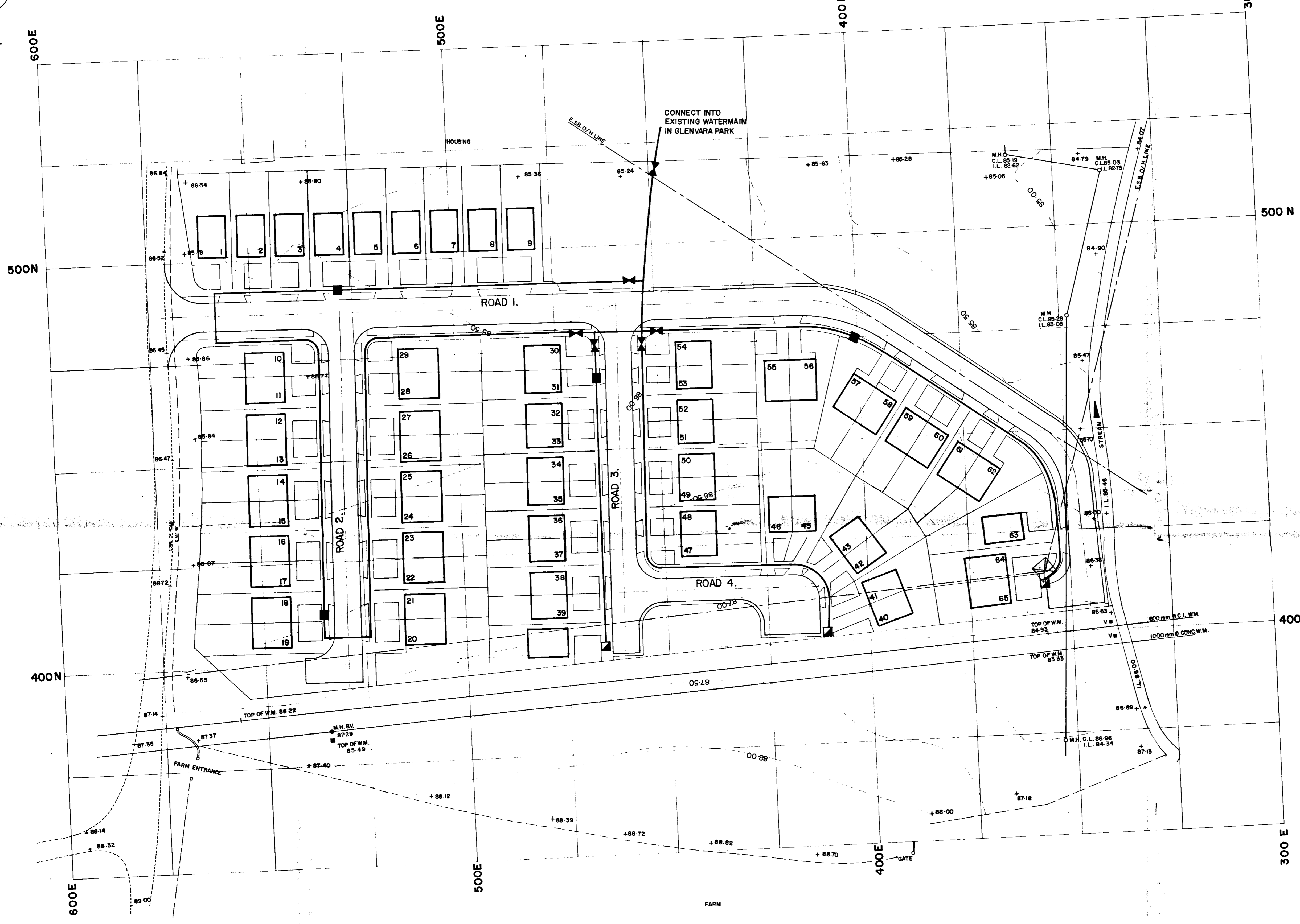
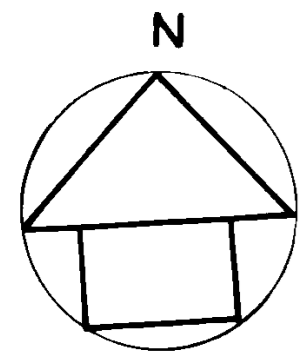
CIARAN FAHY + ASSOCIATES
 Consulting Engineers
 25 Phoenix Street, Smithfield, Dublin 7. Tel. 734066 Fax. 734259

CLIENT
 WILLWRIGHT LTD.

JOB
 PROPOSED HOUSING AT BALLYCULLEN ROAD

TITLE
 ROAD & BLOCK LEVELS AND SEWERS LAYOUT - SITE C

DRAWN	ROH.	CHECKED	C.F.
SCALE	1:500	DRG. No.	9239/15
DATE	DEC '89		

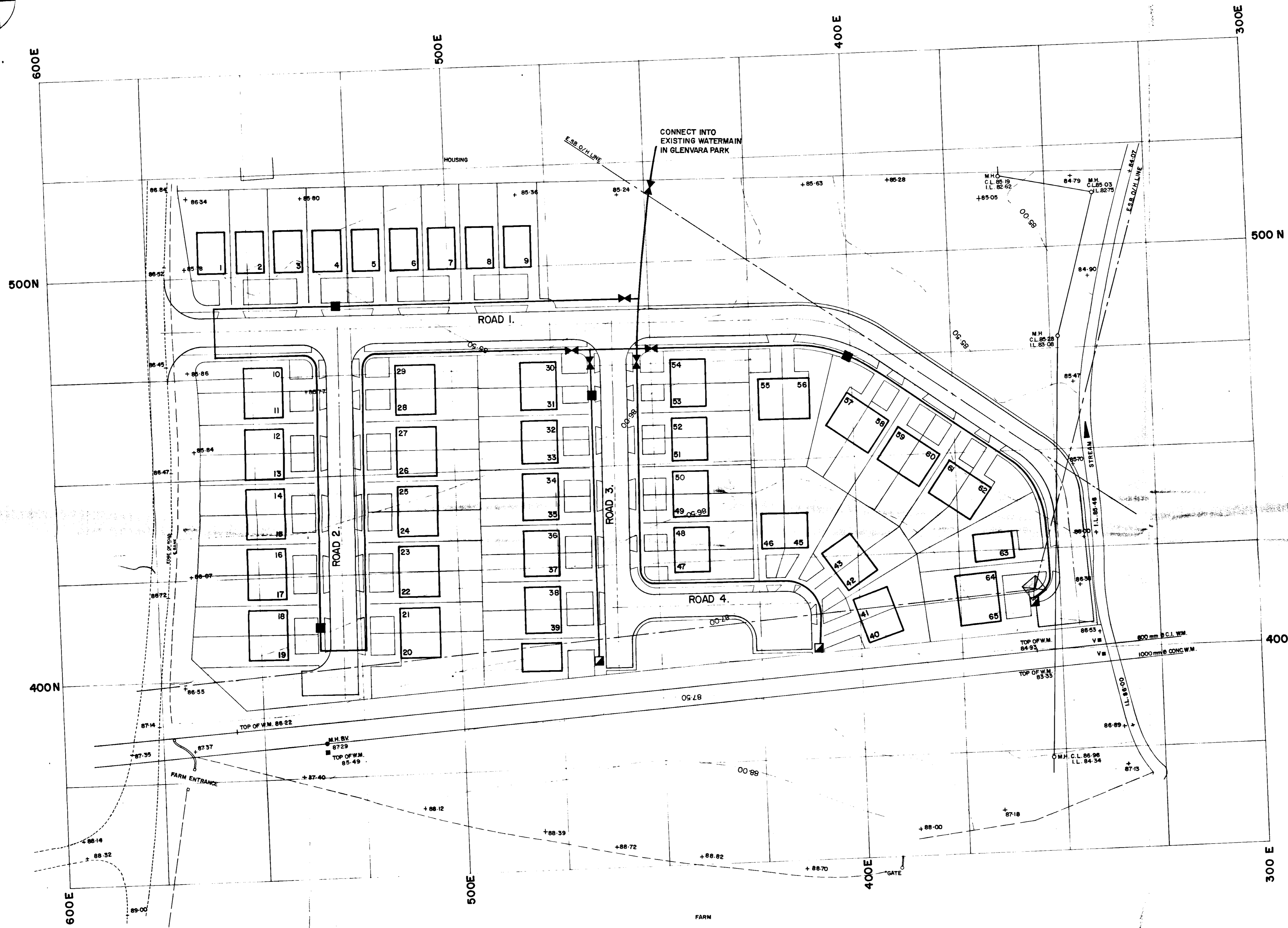
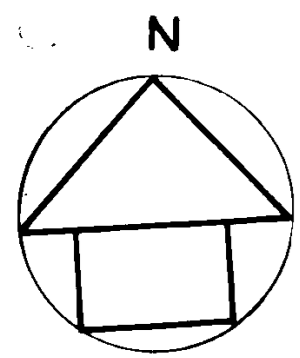


- NOTES**
1. FIGURED DIMENSIONS ONLY TO BE USED. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF THE WORKS.
 2. COVER TO WATERMAIN SHALL GENERALLY BE 1.0m.
 3. WHEN COVER TO WATERMAIN IS LESS THAN 1.0m UNDER THE ROAD AND ROAD CROSSINGS, THE PIPE IS TO BE SURROUNDED IN CONC. WITH ITS JOINTS EXPOSED.
 4. ALL CHANGES IN HORIZONTAL & VERTICAL ALIGNMENT OF MAINS GREATER THAN 4° MUST HAVE A BEND. ALL SUCH BENDS MUST BE ANCHORED ACCORDING TO SPECIFICATION.
 5. WATERMANS TO HAVE SANDBED & SURROUND.
 6. COVER TO HYDRANT OUTLETS TO BE 300mm MAX. UNDER FOOTPATH LEVEL.

- LEGEND**
- 100mm Ø P.V.C. CLASS 'C' WATERMAIN
 - ⊗ SLUICE VALVE
 - HYDRANT
 - ▣ DUCKSFOOT HYDRANT

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 01 OCT 1991
 REG No. 91A/1579

REVISIONS	INCL	DATE	REV
CIARAN FAHY + ASSOCIATES Consulting Engineers 25 Phoenix Street, Smithfield, Dublin 7. Tel. 734066 Fax. 734259			
CLIENT WILLWRIGHT LTD.			
JOB PROPOSED HOUSING AT BALLYCULLEN ROAD			
TITLE WATERMANS LAYOUT SITE C.			
DRAWN	ROH.	CHECKED	C.F.
SCALE	1:500	DRG. No.	9239/16
DATE	DEC '89		

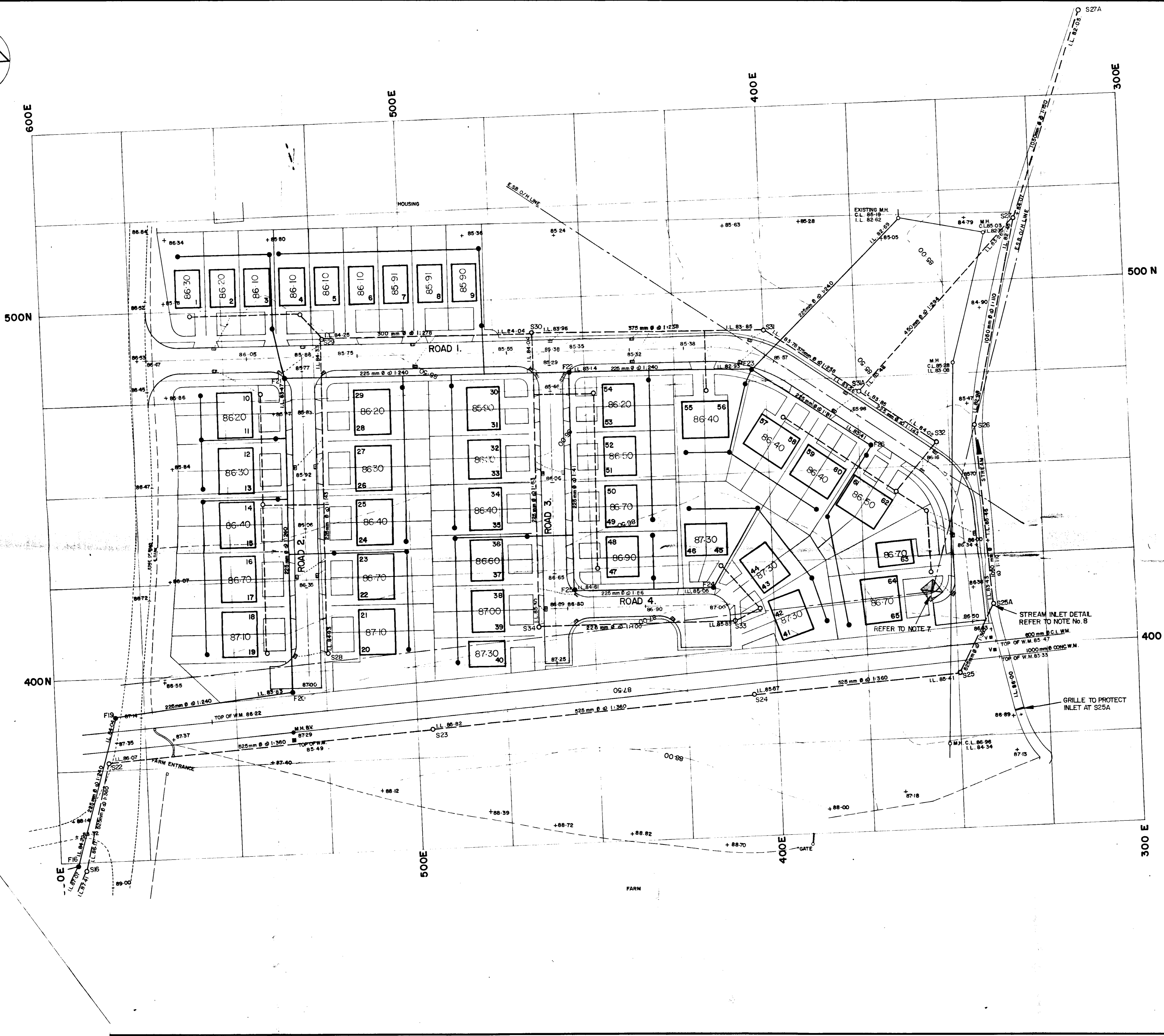
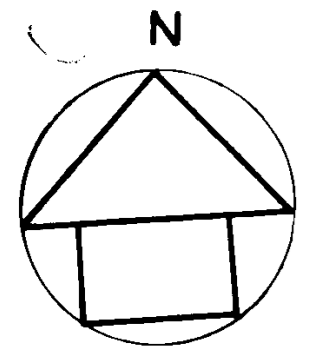


- NOTES**
- FIGURED DIMENSIONS ONLY TO BE USED. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF THE WORKS.
 - COVER TO WATERMAIN SHALL GENERALLY BE 1.0m.
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- LEGEND**
- 100mm Ø P.V.C. CLASS 'C' WATERMAIN
 - SLUICE VALVE
 - HYDRANT
 - DUCKSFOOT HYDRANT

REG No 9A/1579

REVISIONS	INCL	DATE	REV
<p>CIARAN FAHY + ASSOCIATES Consulting Engineers 25 Phoenix Street, Smithfield, Dublin 7. Tel. 734066 Fax. 734259</p>			
<p>CLIENT WILLWRIGHT LTD.</p>			
<p>JOB PROPOSED HOUSING AT BALLYCULLEN ROAD</p>			
<p>TITLE WATERMANS LAYOUT SITE C.</p>			
DRAWN	ROH.	CHECKED	C.F.
SCALE	1:500	DRG. No.	9239/16
DATE	DEC '89		



- NOTES**
- FIGURED DIMENSIONS ONLY TO BE USED. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF THE WORKS.
 - ALL LEVELS ARE IN METRES AND RELATE TO ORDNANCE DATUM AT
 - REFER TO ARCHITECT'S DRAWINGS FOR WORKS WITHIN THE CURTLAGE OF THE HOUSES, BOUNDARY WALLS, LANDSCAPING ETC...
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS:
 9239 / 17B LONGITUDINAL ROAD SECTIONS
 9239 / 18C FOUL SEWER SECTIONS
 9239 / 19A & 20C STORM SEWER SECTIONS SHEET 1 & 2.
 9239 / 10 AND 11 TYPICAL DETAILS SHEET 1 & 2.
 9239 / 12 TYPICAL ROAD CROSS SECTION.
 - WHERE HOUSES ARE LOCATED OVER EXISTING DITCHES, THE DITCH SHALL BE CLEANED DOWN TO FIRM FOUNDATION AND PIPED IN 225 mm Ø TO THE NEAREST S.W. SEWER AND THE TRENCH SHALL BE BACKFILLED WITH LEAN MIX CONC. TO EXISTING GROUND.
 - ALL SEWER LINES WITHIN THE CURTLAGE TO BE 150 mm Ø uPVC WITH 1:80 MN GRADE UNLESS OTHERWISE STATED.
 - THE ESB HIGH TENSION OVERHEAD LINE ALONG THE EASTERN AND SOUTHERN SIDE OF THE SITE (INCLUDING THE PYLON AT HOUSES 64 / 65) TO BE REMOVED PRIOR TO START OF CONSTRUCTION WORK.
 - EXISTING DUBLIN CORPORATION WASHOUT CHAMBER TO BE CONNECTED TO M.H. S25A BY MEANS OF 300 mm Ø PIPE COMPLETE WITH FLAP VALVE.

08 OCT 1991
 REG No. 41A 1522

REVISIONS	INCL	DATE	REV	
STORM SEWERS, ROADS AND BLOCK LEVELS REVISED.		ROH	FEB '91	C.
STORM SEWERS REVISED. ROADS 1, 2 & 3 REVISED. BLOCK LEVELS REVISED.		ROH	JUN '90	B.
INVERT LEVELS REVISED. NOTE No. 8 ADDED.		R.O.H.	APR '90	A.

CIARAN FAHY + ASSOCIATES
 Consulting Engineers
 25 Phoenix Street, Tel. 734066
 Smithfield, Dublin 7. Fax. 734259

CLIENT
WILLWRIGHT LTD.

JOB
PROPOSED HOUSING AT BALLYCULLEN ROAD

TITLE
ROAD & BLOCK LEVELS AND SEWERS LAYOUT - SITE C

DRAWN	ROH.	CHECKED	C.F.
SCALE	1:500	DRG. No.	9239 / 15
DATE	DEC '89		

NOTES
 All dimensions must be checked on site and not scaled from this drawing.

- * Type A - 4 bed semi-detached
- * Type B - 3 bed semi-detached
- * Type C - 4 bed detached

* 4m high concrete block wall with brick piers to side entrances
 * 4m high concrete block wall with brick piers to side entrances
 * 4m high concrete block wall with brick piers to side entrances
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Revised Sites 1 - 29
 House Type A1 (4 Bed without garage) 6 No.
 House Type A2 (4 Bed with garage) 10 No.
 House Type B1 (3 Bed without extension) 10 No.
 House Type B2 (3 Bed with extension) 2 No.
 House Type C2 (4 Bed attached with garage) 1 No.

Total Revised House Types 39 No.

* All house types referenced 'Y' to have garages to front elevation

* All roads and external details are as per previous application (Ref. 00A/2133) and shall be confirmed by the engineer to houses 19 and 20 which have been revised as indicated.

All block levels shown to be confirmed by engineer prior to commencement on site.

A	Date	Revisions

MARTIN A MURRAY
 ARCHITECT
 10 Mountpleasant Parade,
 Ranelagh, Dublin 6.
 Tel. : 01 970668

MARTIN MURRAY
 Director
 10 Mountpleasant Parade,
 Ranelagh, Dublin 6.
 Tel. : 01 970668

Client
 WILLWRIGHT LTD.

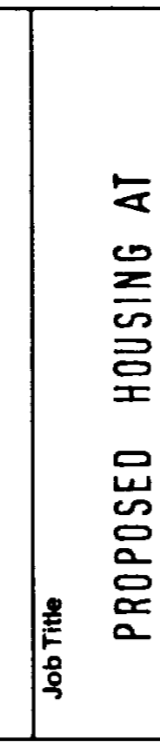
Job Title
 PROPOSED HOUSING AT
 BALLYCULLEN ROAD
 KNOCKLYON
 CO. DUBLIN.

Drawing Title
 SITE LAYOUT.
 with
 Revised House Types
 (Sites 1 - 29)

Scale 1:500
 Date 20.9.91. Drawn by M.M.
 Date 9.10.91. Drawn by M.M.

Dwg. No. 91026 - 02
 Rev.

08 OCT 1991
 REG. NO. 91A/1579
 DUBLIN COUNTY COUNCIL
 PLANNING DEPARTMENT
 APPLICATION RECEIVED



1 : 5 0 0

S I T E L A Y O U T

Proposed New Road Reservation.

BALLYCULLEN ROAD

To Garage

New roundabout

OPEN SPACE
 * Open space as per previous application (Ref. 00A/2133) to be removed off and protected during site development works.

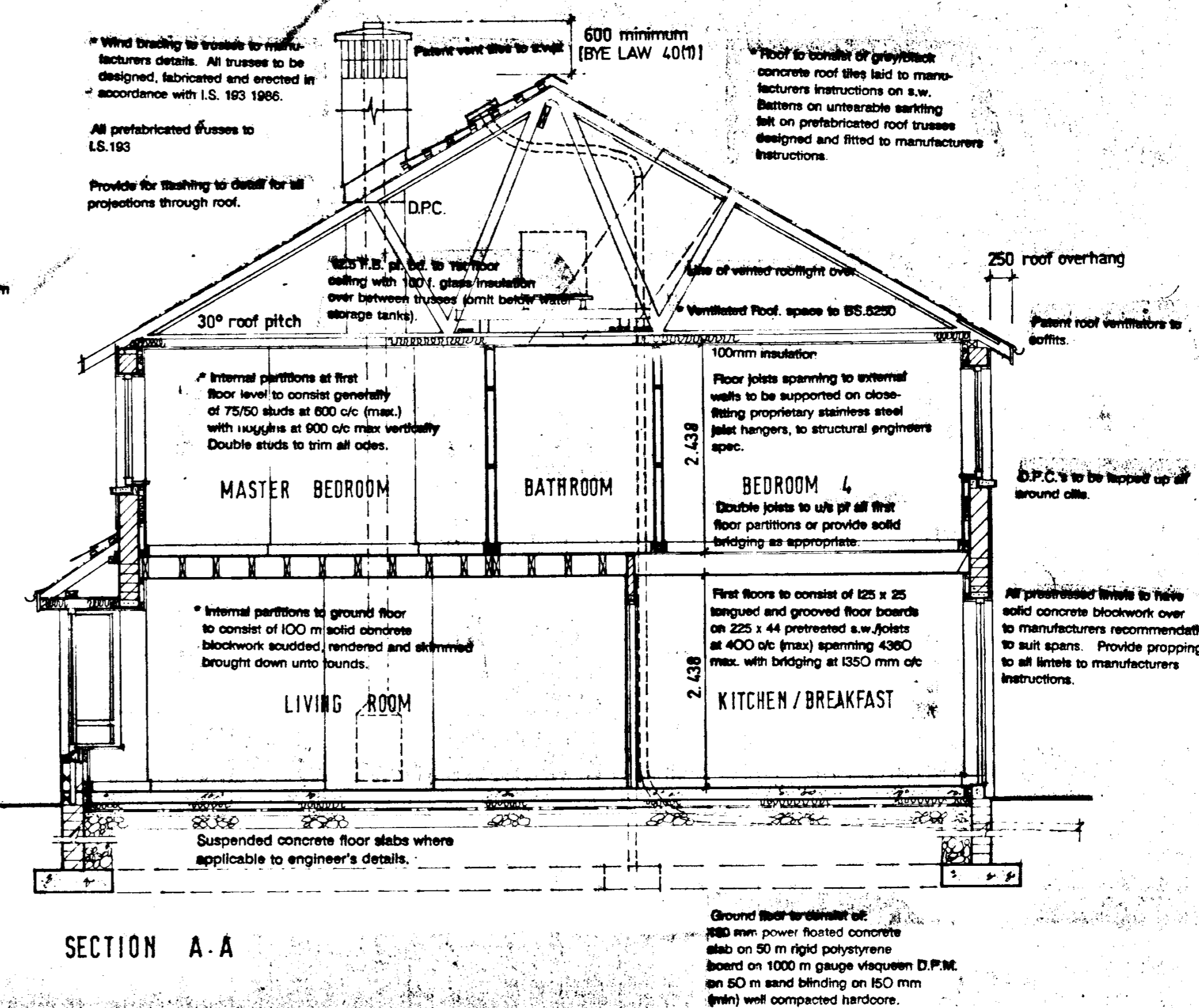
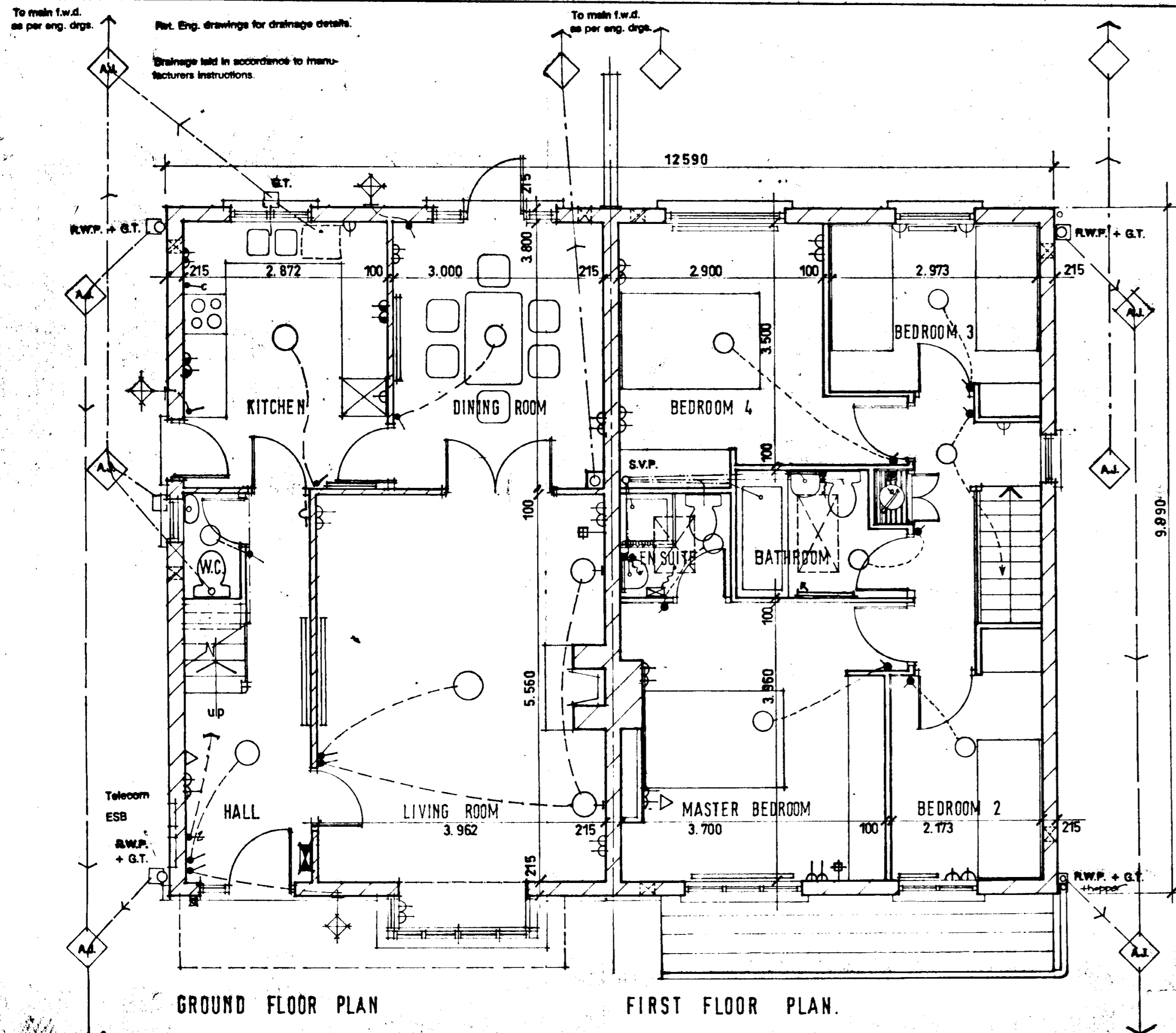
* Sites 20-28 as per previous application (Ref. 00A/2133) to be removed off and protected during site development works.

All setbacks as per previous approved application 00A/2133 and 00B/208900

Note:
 Principal changes to site No. 1 involves provision of garage only. Location of house remains unchanged.

New block levels as shown to be confirmed with engineer's details.





- NOTES**
- All dimensions must be checked on site and not scaled from this drawing.
- Pendant light
 - Wall light
 - Strip fluorescent
 - Pull Switch
 - Electric heater
 - Light switch
 - Double socket L.L.
 - Double socket M.L.
 - Shaving Socket
 - T.V. point
 - Telephone
 - External light fitting
 - Door outlet (switched and inducto)
 - Fan outlet
 - Ball push
 - Ball
 - Immersion switch and indicator
 - Immersion heater
 - Radiator
 - Fuse Board

All structural drawings to comply with SR 11 1985.

All internal drainage to comply with BS 5572 1978.

Date	Revisions

MARTIN A MURRAY
ARCHITECT

10 Mountpleasant Parade,
Banelagh, Dublin 6.
tel : 01 970668

MARTIN MURRAY
Dist Arch & Arch's MURRAY
Dist Proj Mng M. J. O'UB

Client
WILLWRIGHT LTD.

Job Title
**PROPOSED HOUSING AT
BALYCULLEN ROAD
KNOCKLYON
CO. DUBLIN.**

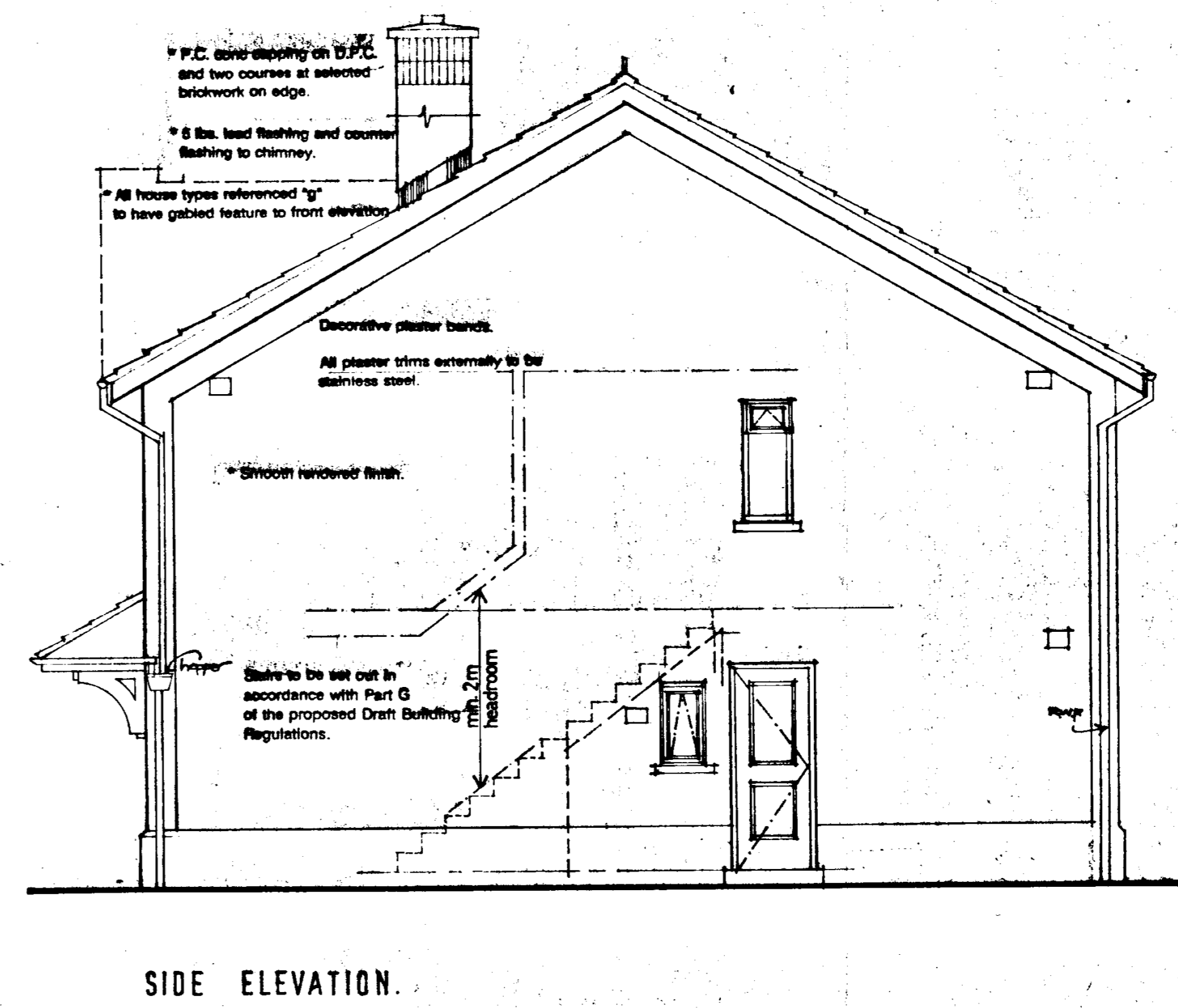
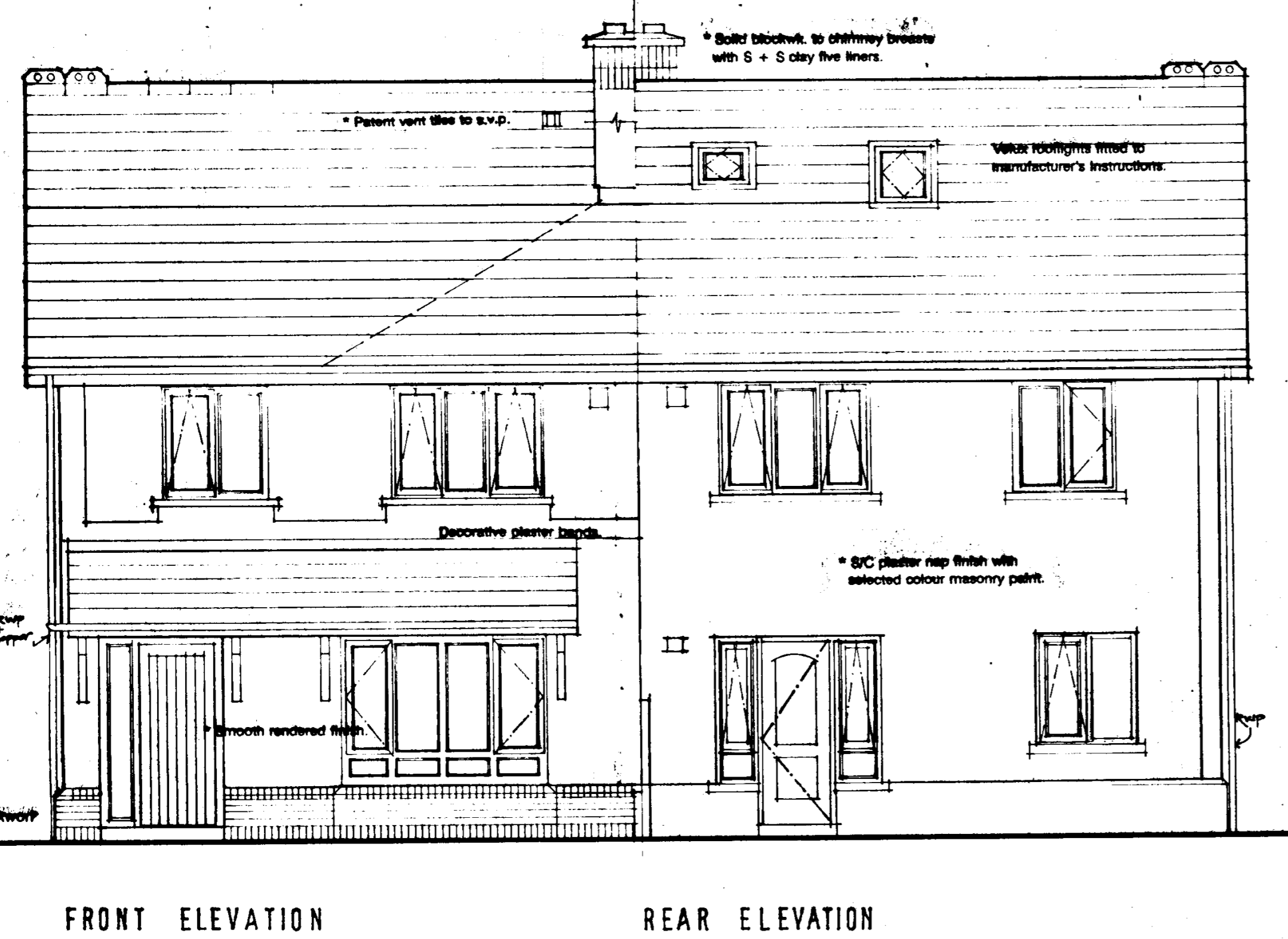
Drawing Title
**HOUSE TYPE A.1.
Type A - 4 bed semi-detached
Plans
Section
Elevations.**

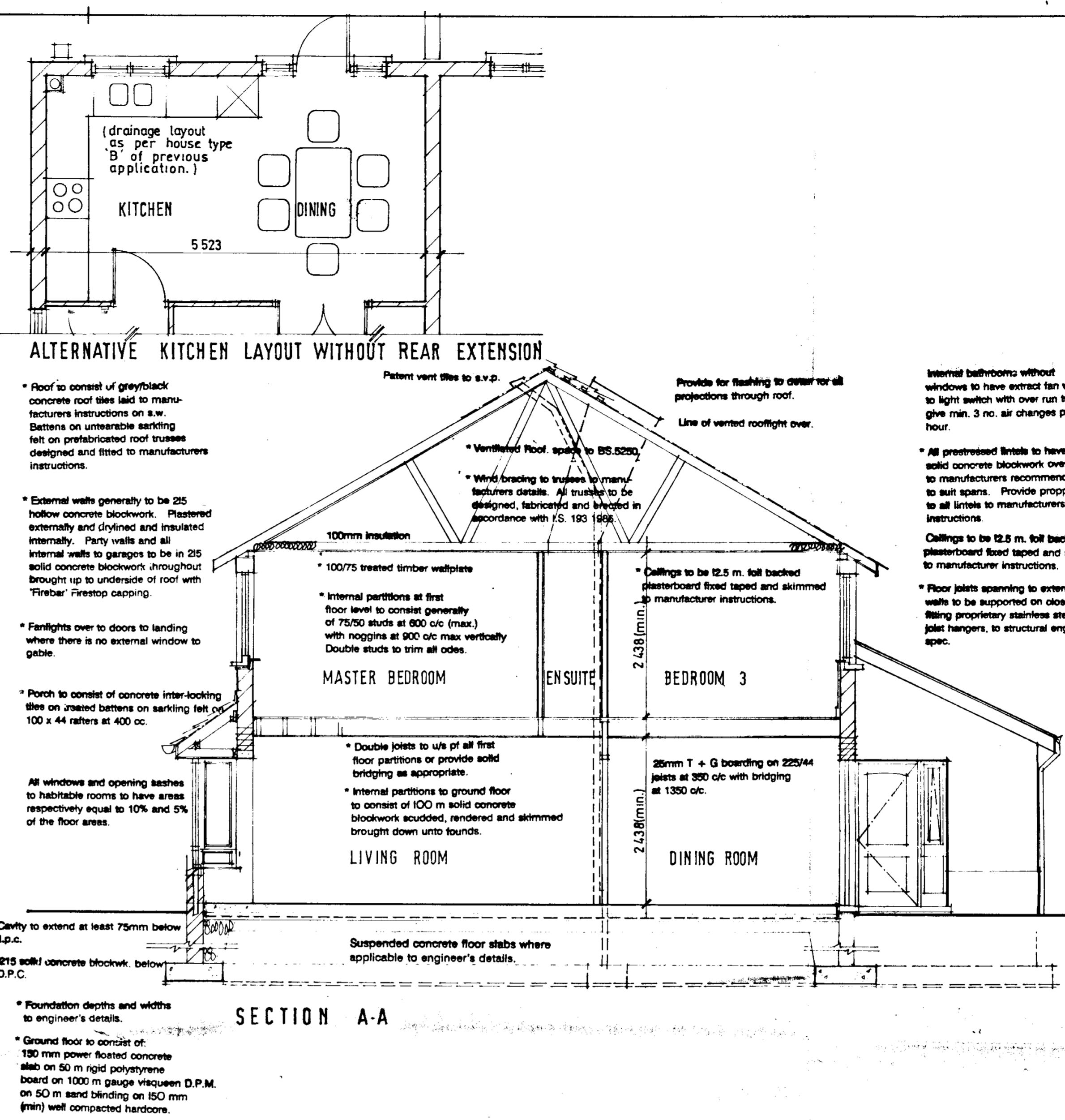
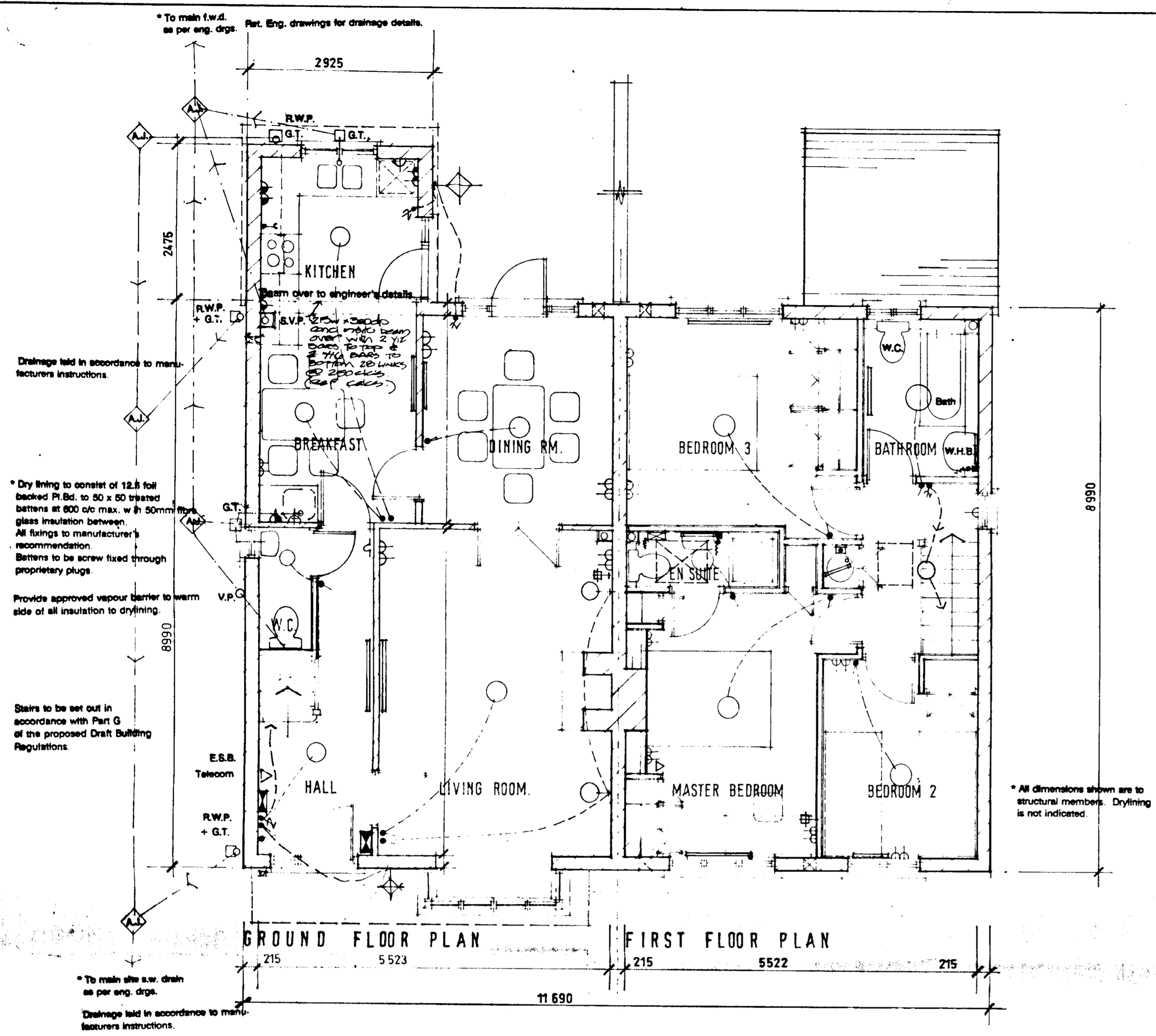
08 OCT 1991
91A/1579

Scale
1:50.

Date 19.9.91 Drawn by MM.

Drg No. 91026 - 04 Rev.

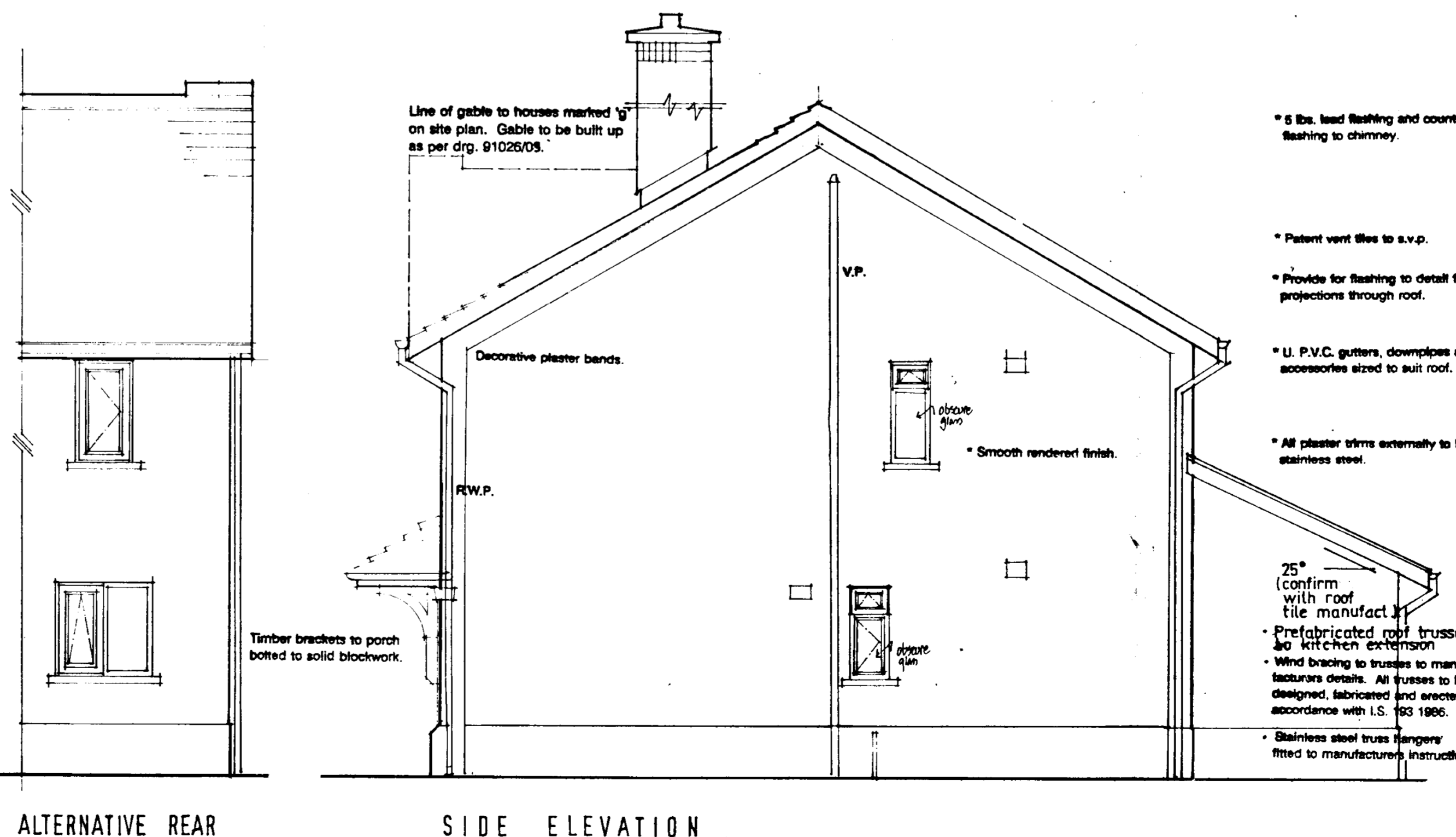
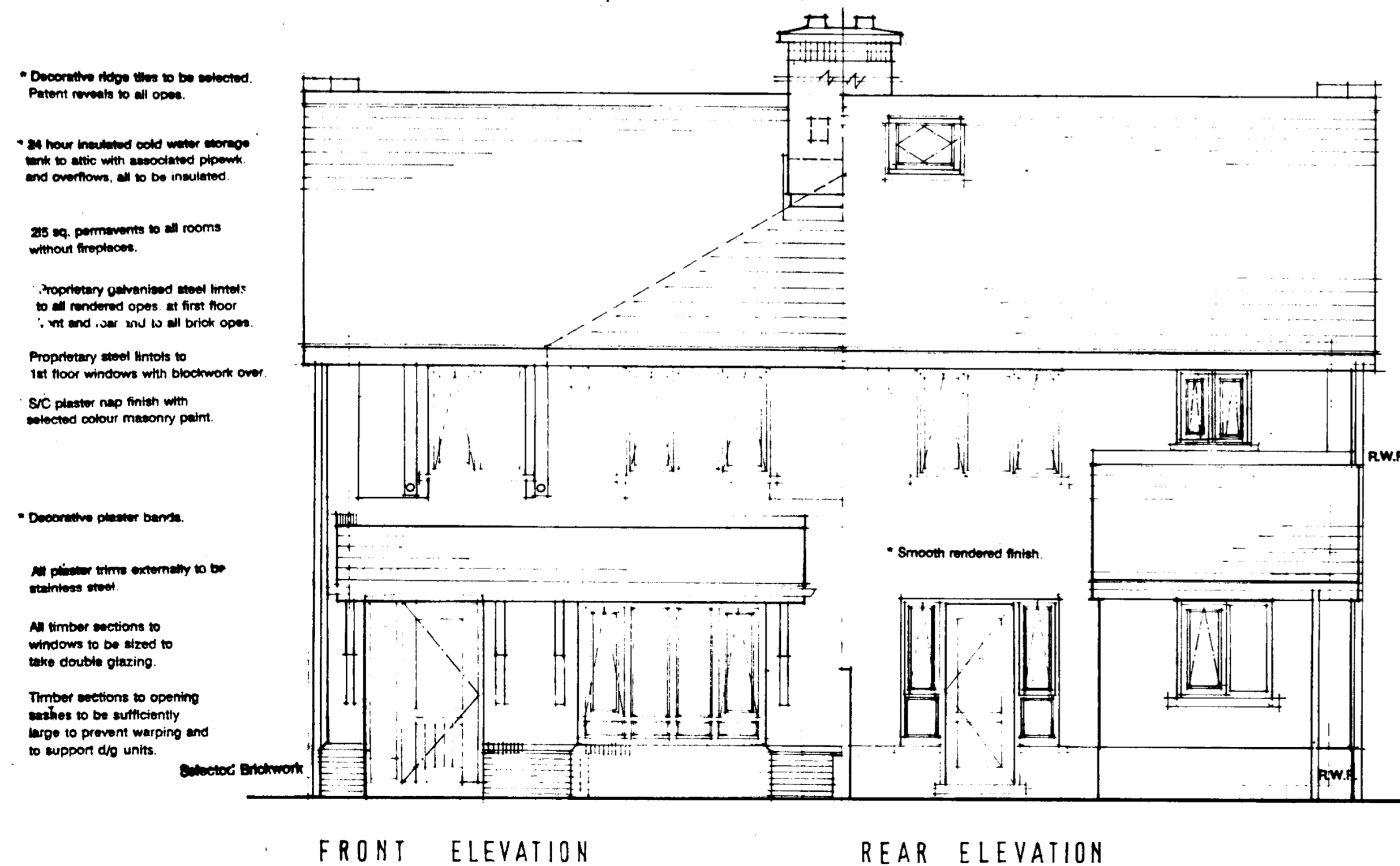




- NOTES**
- All dimensions must be checked on site and not scaled from this drawing.
 - All windows and opening sashes to habitable rooms to have areas respectively equal to 10% and 5% of the floor areas.
 - All structural timbers to comply with SR.11 1986.
 - Water tanks to be supported across four no trusses minimum.
 - Internal bathrooms without windows to have extract fan wired to light switch with over run to give min. 3 no. air changes per hour.
 - Drainage laid in accordance to manufacturers instructions.
 - 25 sq. permittances to all rooms without fireplaces.
 - All internal drainage to comply with BS.5572:1976.
- Decorative ridge tiles to be selected. Patent reveals to all open.
 - 24 hour insulated cold water storage tank to attic with associated pipework and overflows, all to be insulated.
 - 25 sq. permittances to all rooms without fireplaces.
 - Proprietary galvanised steel lintels to all rendered opens at first floor vent and car and to all brick opens.
 - Proprietary steel lintels to 1st floor windows with blockwork over.
 - S/C plaster nap finish with selected colour masonry paint.
 - Decorative plaster bands.
 - All plaster trims externally to be stainless steel.
 - All timber sections to windows to be sized to take double glazing.
 - Timber sections to opening sashes to be sufficiently large to prevent warping and to support dig units.
 - Select brickwork.

Date	Revisions

MARTIN A MURRAY
 ARCHITECT
 10 Mountpleasant Parade,
 Ranelagh, Dublin 6.
 tel. 01 970666



MARTIN MURRAY
 Draft Arch & Architect, Interior
 Draft Proj. Manag. of Arch. Ltd.

Client
WILLWRIGHT LTD.

Job Title
**PROPOSED HOUSING AT
 BALLYCULLEN ROAD
 KNOCKLYON
 CO. DUBLIN.**

Drawing Title
HOUSE TYPE B.1
 Type B - 3 bed semi-detached, 21/2 storey
 Plans Section
 Registrars
 Elevations
 08 OCT 1991
 REG No. 91A/1579

Scale
1:50

Date
20.9.91

Drawn by
M.M.

Drg. No.
91026 - 05

Rev.

