

BYE LAW APPLICATION FEES

REF. NO.: 91A/1554 ~~1878A~~

CERTIFICATE NO.: 16835^B

PROPOSAL: change of val to offices & alts. to elevations
 LOCATION: Landor building Hinton Rd., Tallaght
 APPLICANT: A.F.W. Invs. Ltd.

| | 1 | 2 | 3 | 4 | 5 | 6 | 7 |
|-------|--|---|--|-------------|-----------------|----------------|------------------|
| CLASS | DWELLINGS/AREA LENGTH/STRUCTURE | RATE | AMT. OF FEE REQUIRED | AMT. LODGED | BALANCE DUE | RED. FEE APPL. | AMT. OF RED. FEE |
| A | Dwelling (Houses/Flats) | @ £55 | | | | | |
| B | Domestic Ext. (Improvement/Alts.) | @ £30 | | | | | |
| C | Building for office or other comm. purpose <i>See plan 110.3m²</i> | @ £3.50 per M ² or £70 | £3860.50 3858.75 | | 1.75 not sought | | |
| D | Building or other structure for purposes of agriculture | @ £1.00 per M ² in excess of 300 M ² Min. £70 | | | | | |
| E | Petrol Filling Station | @ £200 | | | | | |
| F | Dev. of prop. not coming within any of the forgoing classes | £70 or £9 per .1 hect. whichever is the greater | | | | | |

Chq. R/O 6/12/91
relodged 9/12/91 as per Mary McEbray.
Chq. R/O again

£3860.50 on stand
£3858.75 paid 20/11/91
by B. Draft N 54419
PAID IN FULL

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: A. Deo Grade: III Date: 20/11/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

u

roll
B

PLANNING APPLICATION FEES

Reg. Ref. 9.12/554

Cert. No. 26740

PROPOSAL Part change to offices; alterations to elevations

LOCATION Sandoz Building, Airstan road, Tallash, D24

APPLICANT A.F.W. Investments Ltd

| CLASS | DWELLINGS/AREA LENGTH/STRUCT. | RATE | AMT. OF FEE REC. | AMOUNT LODGED | BALANCE DUE | BALANCE PAID |
|-------|-------------------------------|--|------------------|---------------|-------------|--------------|
| 1 | Dwellings | @£32 | | | | |
| 2 | Domestic, | @£16 | | | | |
| 3 | Agriculture | @50p per m2 in excess of 300m2. Min. £40 | | | | |
| 4 | Metres 1102.50m | @£1.75 per m2 or £40 | 1930.25 | 1929.37 | 88p netash | |
| 5 | x .1 hect. | @£25 per .1 hect. or £250 | | | | |
| 6 | x .1 hect. | @£25 per .1 hect. or £40 | | | | |
| 7 | x .1 hect. | @£25 per .1 hect. or £100 | | | | |
| 8 | | @£100 | | | | |
| 9 | x metres | @£10 per m2 or £40 | | | | |
| 10 | x 1,000m | @£25 per £1000m or £40 | | | | |
| 11 | x .1 hect. | @£5 per .1 hect. or £40 | | | | |

Column 1 Certified: Signed: *J. Y.* Grade: *D/11* Date: *2/10/91*

Column 1 Endorsed: Signed: Grade: Date:

Columns 2,3,4,5,6 & 7 Certified: Signed: *Mok* Grade: *C.12* Date: *30/9*

Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade: Date:

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1983 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

EG. REF.: *91M/1554*

INT. REG.:

SERVICES INVOLVED: WATER, FOUL SEWER, SURFACE WATER

REA. OF SITE:

TOTAL AREA OF PRESENT PROPOSAL: *11868 FT² J.Y. 2/10/91.*

MEASURED BY:

REVIEWED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

AWARDER'S ORDERED NO: P/
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE



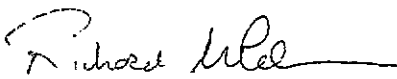
Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Control Section,
Finance Department,
7/8 Cavendish Row,
Dublin 1.

3rd January, 1992

Re: Airton Road, Tallaght - Reg. Ref. 91A/1554

I wish to inform you that receipt number N 51747 in the sum of
£3858.75 (now cancelled) has been replaced by receipt no. N 51907.


for PRINCIPAL OFFICER

RW/

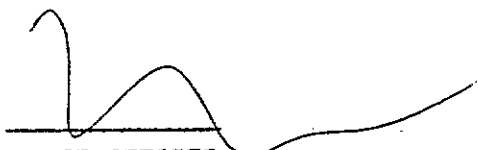
Mr. Jim Carson,
Building Control,
Liffey House,
Tara Street,
Dublin 1.

Our Ref. RW/GC

Date; 20/12/91

Re; Change of use of part of warehouse to offices and alterations
to elevations at Airton Road, Tallaght. Req.Ref. 91A/1554

I wish to inform you that the payment made by The Digital Telephone Co. Ltd. in respect of the above application has not yet been cleared by the Bank and accordingly no decision should be made on this application until further notice.



STAFF OFFICER


Mr. Jim Carson,
Building Control,
Liffey House,
Tara Street,
Dublin 1.

Our Ref. RW/GC

Date; 20/12/91

Re; Change of use of part of warehouse to offices and alterations
to elevations at Airton Road, Tallaght. Reg.Ref. 91A/1554

I wish to inform you that the payment made by The Digital Telephone Co.
Ltd. in respect of the above application has not yet been cleared by
the Bank and accordingly no decision should be made on this
application until further notice.


STAFF OFFICER

NOTIFICATION OF R/D CHEQUES

① Richard Whelan Planning
 ② Stephen Mulrony Finance

Dublin County Council
 Cash Office.

Date: 5-12-91

| Cheque Number | Amount | Receipt Number | Date of Receipt | Account No. of details of payment | Name of Section which issued receipt | Name of Person/ Company to whom receipt was issued | Reason for return of cheque | Name of Bank on which payment was drawn | Date Cash Office Receipt cancelled |
|---------------------|--------|----------------|-----------------|-----------------------------------|--------------------------------------|--|---------------------------------------|---|------------------------------------|
| 001434385875 N51747 | | | 19.11.91 | | Planning Dept | Dept of Telephone Co | not clear in account all made by hand | | |
| | | | | | | | | 91A/1554 | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |

Cheque re-logged 9/12/91
 as per verbal instruction from Mary Mc Elroy.

[Handwritten signature]

RECEIPT CODE

COMAIRLE CHONTAE ÁTHA CLIATH

PAID BY

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

BYE LAW APPLICATION.

REC. No. N 51747

CASH

CHEQUE

M.O.

B.L.

I.T.

£ 3858.75

Received this

19th

day of

November 19 91

from

The Digital Telephone Co. Ltd.

the sum of

three thousand eight hundred & fifty eight Pounds
seventy five Pence, being *fee for*
bye-law application at Airton Rd.

Maureen Deane Cashier

S. CAREY
Principal Officer

Class C

7.
mcelroy architects

11 braemar Park dublin 14 Ph. 979759 Fax. 978932

DUBLIN CO. COUNCIL
PLANNING DEPT.
BLOCK 2
IRISH LIFE CENTRE
DUBLIN 1.

11.12.91.

[Handwritten signature]
19/12

RE: BYE-LAW APPLICATION CHANGE OF USE OF PART
OF WAREHOUSE TO OFFICES AND ALTERATIONS
TO ELEVATIONS AT SANDSZ BUILDINGS
AIRTON RD TALLAGHT. REG REF 91A/1554.

DEAR SIRS

I REFER TO YOUR LETTER OF 10/12/91

IN CONNECTION WITH THE ABOVE AND ENCLOSE CANCELLED.
RECEIPT NO NS1747 AS REQUESTED.

YOURS SINCERELY.

M. McElroy

16 DEC 91

Mr. Jim Carson,
Building Control,
Liffey House,
Tara Street,
Dublin 2.

Our Ref. RW/GC

Date; 10/12/91

Re; Change of use of part of warehouse to offices and alterations
to elevations at Sandoz Building, Airtown Road, Tallaght.
Reg.Ref. 91A/1554

I enclose for your attention a copy of correspondence to McElroy Architects
regarding the above.

STAFF OFFICER

Mr. Jim Carson,
Building Control,
Liffey House,
Tara Street,
Dublin 2.

Our Ref. RW/GC

Date; 10/12/91

Re; Change of use of part of warehouse to offices and alterations
to elevations at Sandoz Building, Airtown Road, Tallaght.
Reg.Ref. 91A/1554

I enclose for your attention a copy of correspondence to McElroy Architects
regarding the above.

STAFF OFFICER

McElroy Architects,
11 Braemor Park,
Churchtown,
Dublin 14.

Our Ref. RW/GC


Date; 10/12/91

Re; Change of use of part of warehouse to offices and alterations
to elevations at Sandoz Building, Airton Road, Tallaght.
Reg.Ref. 91A/1554

Dear Sirs,

I refer to the above application for Building Bye-Law approval received in this department on 19/11/91. I wish to inform you that your cheque in the sum of £3,858.75 has been returned to us by the Bank marked "not drawn in accordance with mandate". At your request this cheque has been relodged to the Bank and I enclose herewith receipt number N51907 issued in respect of same and I would be grateful for the return of receipt number N51747 dated 19/11/91 as this receipt has now been cancelled.

Yours faithfully,


for PRINCIPAL OFFICER

P/5274/91

'COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/1554

Date Received : 25th September 1991

Correspondence : McElroy Architects,
Name and : 11 Braemor Park,
Address : Churchtown,
Dublin 14

Development : Change of use of part of existing warehouse to offices,
alterations to existing elevations and the provision of
extra car parking at warehouse section

Location : Sandoz (Ireland) Ltd. premises, Airton Road, Tallaght

Applicant : A.F.W. Investments Ltd.

App. Type : Permission

Zoning : 'E'

Floor Area : 1102.5sq.metres

(GB/DK)

Report of the Dublin Planning Officer dated 13th November, 1991.

This is an application for PERMISSION for change of use of part of existing warehouse to offices, alterations to existing elevations, provision of extra car parking at warehouse section of Sandoz (Irl.) Ltd. at Airton Road, Tallaght.

The site outlined in red is the major part of the existing Sandoz site.

This file should be seen in conjunction with 91A-1553, which is for the sub-division of the entire site.

The existing building is a well maintained standard warehouse and single storey office block. The proposed elevations consist of fairface concrete block (banded), used with panels of reflective glass in 'syntha pulvin' blue aluminium screen.

A section of the existing warehouse would be converted to office. This area is stated to be 505.7 sq. metres.

The planning history to this site indicates the following:

90A-0401 - Permission granted for 115 sq. metre store at rear of existing office block on original site.

CAR PARKING REQUIREMENTS

The office/warehouse space is stated to be as follows:

| | |
|------------------|------------|
| COND | Nil |
| Standard | |
| Trade Commercial | |
| 3 Store | use to |
| Open Store | Commercial |
| Other | |
| SECURITY: | use |
| Bond/C.I.F.: | |
| Cash: | |

[Handwritten signature]

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1554

Page No: 0003

Location: Sandoz(Ireland) Ltd. premises, Airton Road, Tallaght

out
~~public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.~~

~~REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.~~

06 Nineteen car parking spaces shall be marked out on site to the satisfaction of the County Council, and space for 27 additional spaces shall be reserved for use when required.

06 REASON: In the interest of the proper planning and development of the area.

07 Any proposed boundary treatment shall be agreed with the Planning Authority.

07 REASON: In the interest of the proper planning and development of the area.

07. That the office use be incidental to the use of the balance of the property as a residential
07. In the interest of the proper planning and development of the area.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

07

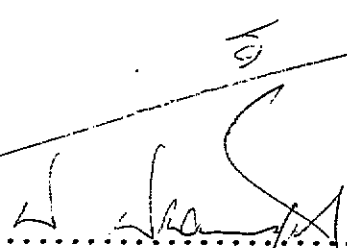
COMHAIRLE CHONTAE ÁTHA CLIATH

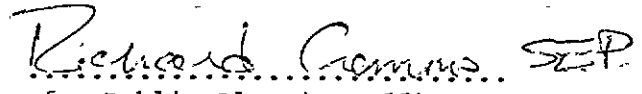
Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1554

Page No: 0004

Location: Sandoz (Ireland) Ltd. premises, Airton Road, Tallaght

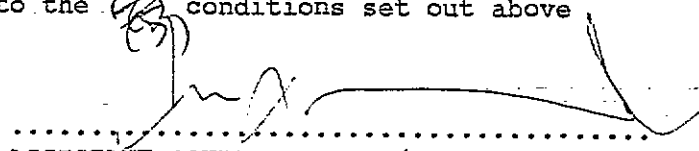
Endorsed: 
.....
for Principal Officer


.....
for Dublin Planning Officer 14.11.91

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the conditions set out above is hereby made.

Highly detailed plan 10/11/91

Dated : 21st NOVEMBER 1991


.....
ASSISTANT COUNTY MANAGER/APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 1991.

Geraldine Boothman.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1554.

DEVELOPMENT: Change of use of part of existing warehouse to offices, alterations to existing elevations and the provision of extra car parking at warehouse section.

LOCATION: Sandoz (Irl.) Ltd. premises, Airton Rd, Tallaght.

APPLICANT: A.F.W. Investments Ltd.

DATE LODGED: 25.9.91.

The proposal is for a change of use of part of an existing warehouse to offices. 19 car spaces are proposed to accommodate existing staff plus a reserve area of 19 spaces to comply with Development Plan standards. This is to be developed at a later stage.

From measurement of the floor areas 46 spaces would be needed to comply with standards. There is sufficient area available to provide for these extra spaces.

If permission is being granted it should be subject to:-

1. A reserve off-street parking area to be provided to cater to Development Plan Standards. Part or all of these extra spaces to be developed by applicant at his expense if requested by Dublin County Council.
2. Car parking spaces to be marked out on site to the satisfaction of the Roads Department.

GC/BMcC
18.10.91.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 4. 11. 91
Time 10.15

SIGNED: Ganett Lane
DATE: 18/10/91

ENDORSED: E. Wadden
DATE: 12th Oct 91

Geraldine Boothman.

PLANNING DEPT
DEVELOPMENT CONTROL SECT

Date 14.10.91
Time 10.00

Register Reference : 91A/1554

Date : 1st October 1991

Development : Change of use of part of existing warehouse to offices, alterations to existing elevations and the provision of extra car parking at warehouse section

LOCATION : Sandoz(Ireland) Ltd. premises, Airton Road, Tallaght

Applicant : A.F.W. Investments Ltd.

App. Type : PERMISSION

Planning officer : G. BOOTHMAN

Date Recd. : 25th September 1991

DUBLIN COUNTY COUNCIL
- 4 OCT 1991
ENVIRONMENTAL HEALTH OFFICERS

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Endorsed.
for John O'Keilly 9/10/91
SEHO

Yours faithfully,

.....
for PRINCIPAL OFFICER

THE ABOVE proposal is acceptable subject to.

1. Compliance with the Building By-Laws.
2. Compliance with the office Premises Act 1958 and regulations made thereunder
3. Compliance with the Safety, Health and welfare at work act 1989
4. Permanent ventilation shall be provided to all offices.
5. A system of Intake ventilation, communicating separately and directly to the external air, and capable of providing a minimum of 2 air changes per hour must be provided installed to the lobbies of the ground and first floor Sanitary accommodation.
6. Localized extraction shall be provided over all steam emitting equipment and ducted to the outer air. The lobby of the shower on the first floor is not a suitable location for a TGA station,
7. Adequate heating and Artificial lighting to be provided in all places of work.
8. Where visual Display units are utilized compliance with the requirements of the E.E.C Directive on V.D.U.'s ie: lighting, sitting, seating, breaks for staff etc.
9. DRAINAGE connections to be such as not to give rise to a public Health nuisance

SUPER. ENVIRON. HEALTH OFFICER,
33 GARDINER PLACE,
DUBLIN 1.

AFBL
8/10/91 Peter Whelan

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1554.

DEVELOPMENT: Change of use of part of existing warehouse to offices, alterations to existing elevations and the provision of extra car parking at warehouse section.

LOCATION: Sandoz (Irl.) Ltd. premises, Airton Rd, Tallaght.

APPLICANT: A.F.W. Investments Ltd.

DATE LODGED: 25.9.91.

The proposal is for a change of use of part of an existing warehouse to offices. 19 car spaces are proposed to accommodate existing staff plus a reserve area of 19 spaces to comply with Development Plan standards. This is to be developed at a later stage.

From measurement of the floor areas 46 spaces would be needed to comply with standards. There is sufficient area available to provide for these extra spaces.

If permission is being granted it should be subject to:-

1. A reserve off-street parking area to be provided to cater to Development Plan Standards. Part or all of these extra spaces to be developed by applicant at his expense if requested by Dublin County Council.
2. Car parking spaces to be marked out on site to the satisfaction of the Roads Department.

GC/BMcC
18.10.91.

PLANNING DEPT.
DEVELOPMENT CONTROL SEC.

Date 18.10.91

Time 12.00

SIGNED: Garrett
DATE: 18/10/91

ENDORSED: E. J. Madden
DATE: 18th Oct 91



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Mr. Jim Carson,
Liffey House,
Tara Street,
Dublin 2.

Re; Change of use of part of warehouse to offices and alterations
and elevations for A.F.W. Invs. Ltd. Reg.Ref. 91A/1554

Please find enclosed copy of letter regarding the above application for your
convenience.

A handwritten signature in black ink, appearing to be 'M.A.' or similar, written over a horizontal line.

STAFF OFFICER

McElroy Architects,
11 Braemor Park,
Dublin 14.

Our Ref; RW/GC

Date; 8/1/92

Re; Sandez Buildings, Airton Road, Tallaght.
Change of use of part of warehouse to offices and alterations and elevations
for A. F. W. Invs. Ltd. Reg.Ref. 91A/1554

Dear Sirs,

I refer to the above application for building bye-law received in this department on 19/11/91. I return herewith your cheque in the sum of £3858.75 which has been returned to us by the Bank marked "Not drawn in accordance with mandate held". I note that the full fee in the sum of £3858.75 has subsequently been paid by Bank Draft and I enclose your receipt number N54419 dated 20/12/91.

Please return receipt number N54419 dated 9/12/91 as this receipt has now been cancelled.

Yours faithfully,

for PRINCIPAL OFFICER

COMHAIRLE CHONTAE ATHA CLIATH

RECEIPT CODE

PAID BY
CASH
CHEQUE
M.O.
B.L.
I.T.

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

Balance

BYE LAW APPLICATION

REC. No. N 54419

£ 3858.75

Received this 20th day of December 1991
from The Digital Telephone Co. LD.

The sum of three thousand eight hundred and fifty eight Pounds
seventy five Pence, being balance of
fee on 91A/1554

Shelley Deane Cashier

S. CAREY
Principal Officer
Bal.
Chas C



mcElroy architects

11 braemar Park dublin 14 Ph. 979759 Fax. 978932

13.12.91. 91A/1554
1.6.0
Amend A.I. for BBL

DUBLIN COUNTY COUNCIL
BUILDING CONTROL
BLOCK 2
IRISH LIFE CENTRE
LOWER ABBEY ST
DUBLIN 2

RE: CHANGE OF USE OF PART OF WAREHOUSE
TO OFFICES AND ALTERATIONS TO ELEVATIONS
AT SANDOZ BUILDING, AIRTON RD TALLAGHT.
REG. REF. 91/A/1554. "ADDITIONAL INFORMATION"

DEAR SIRS.

WE REFER TO THE ABOVE APPLICATION
FOR BUILDING BYELAWS LODGED 19 NOV 1991.

WE ENCLOSE ADDITIONAL INFORMATION
COMPRISING OF TWO COPIES OF STRUCTURAL
ENGINEERS DRAWINGS No 225/1, 2, 3. IN
SUPPORT OF THIS APPLICATION.

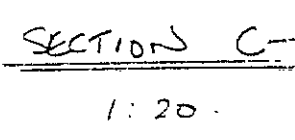
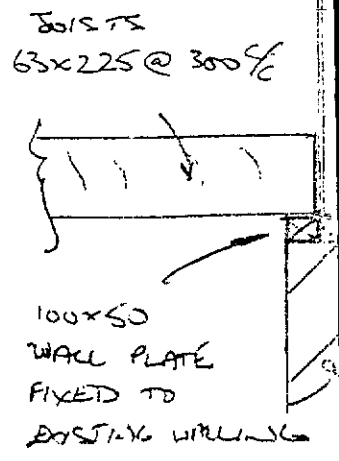
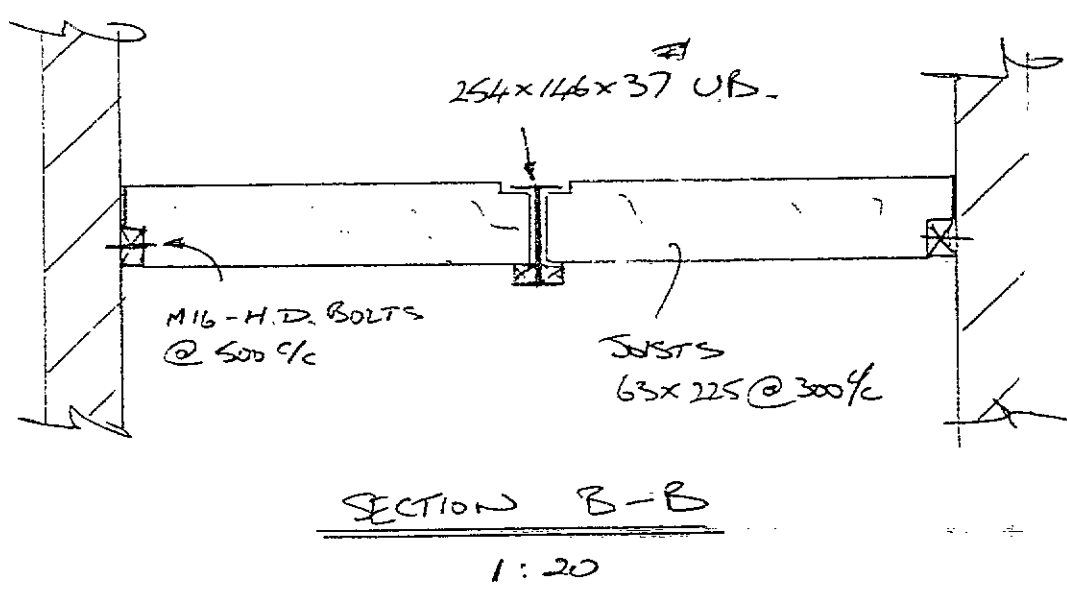
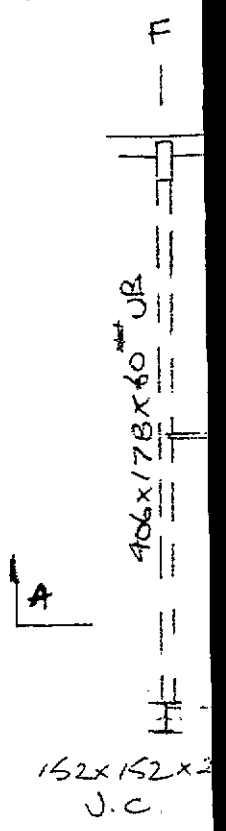
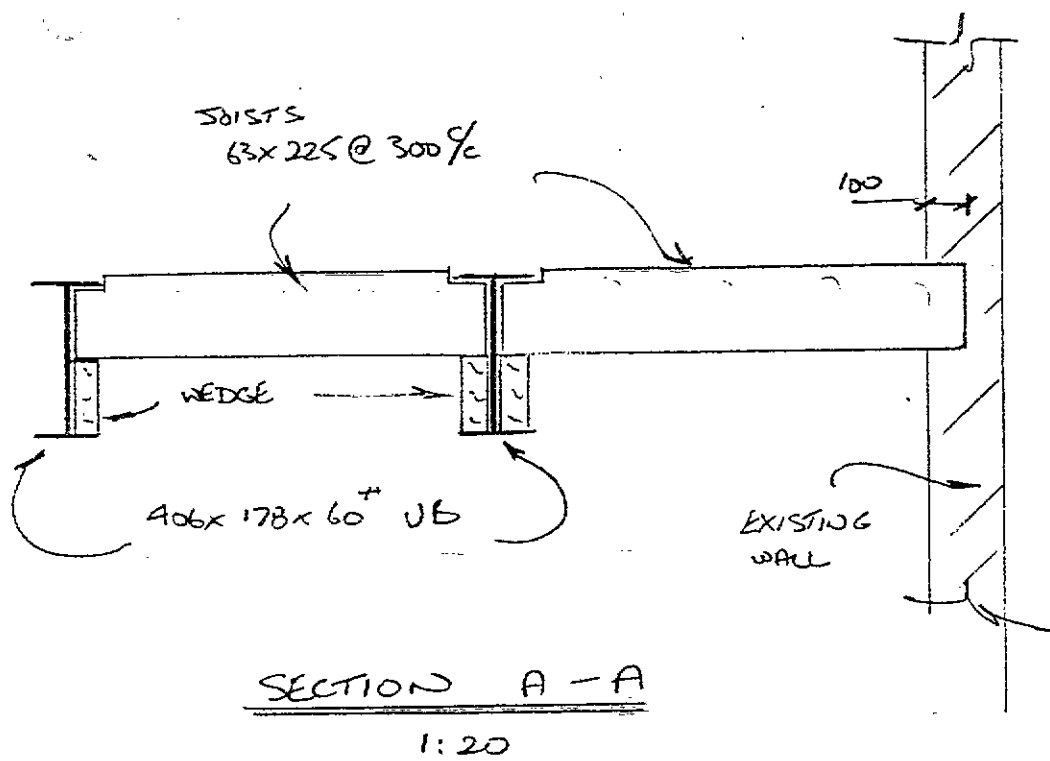
91A/1554

YOURS SINCERELY

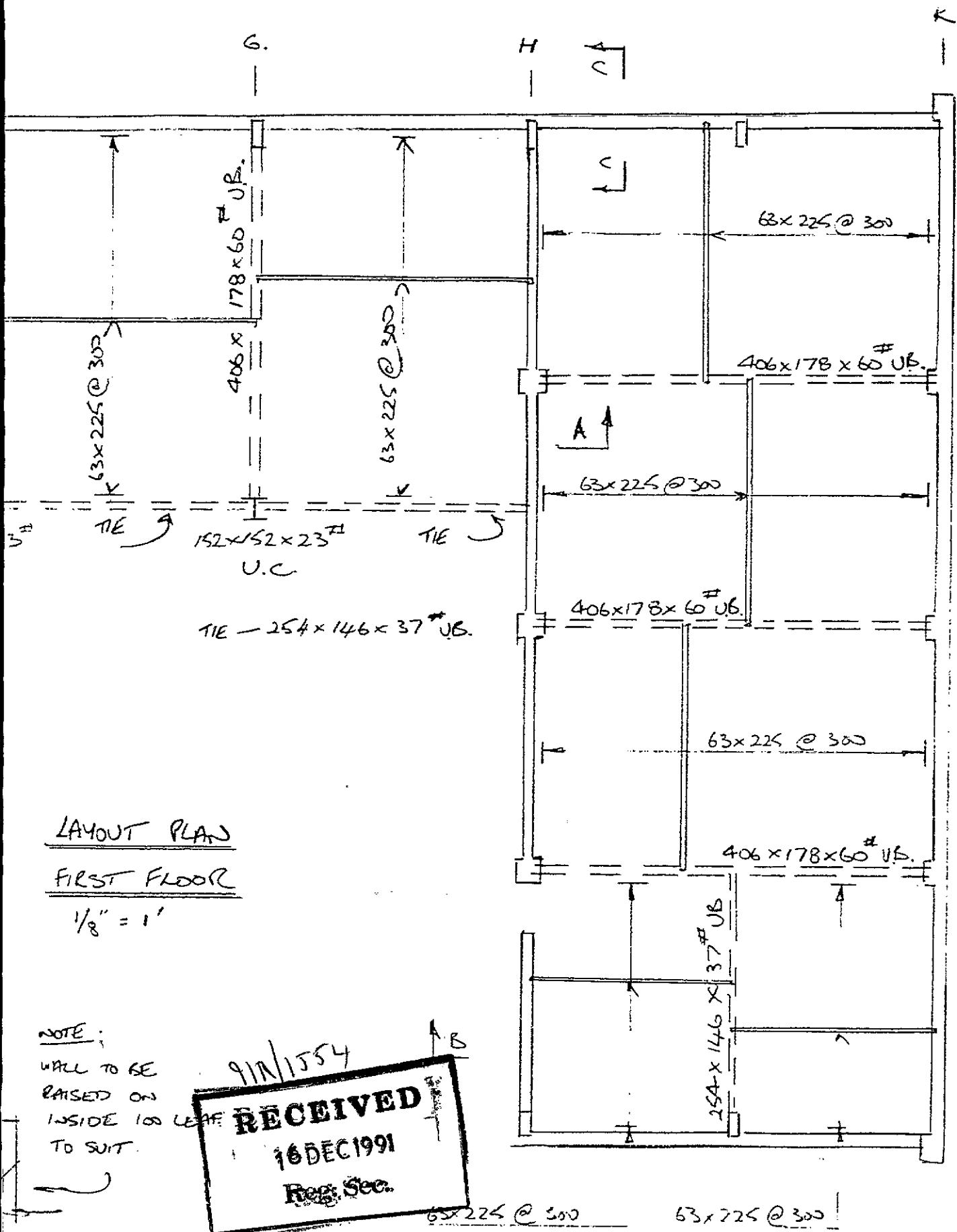
M. McElroy

16 DEC 91

circulated
Liffey Hse 18/12



| | | |
|--|------------------------|-------|
| PHILIP J. WARD ASSOCIATES CONSULTING ENGINEERS CELBRIDGE, CO KILDARE TEL 6271807 | | |
| CONVERSIONS OF WAREHOUSE TO OFFICES, AIRTON RD CELBRIDGE AS SHOWN | STRUCTURAL DETAILS (1) | |
| | NOV 91 | 225/1 |

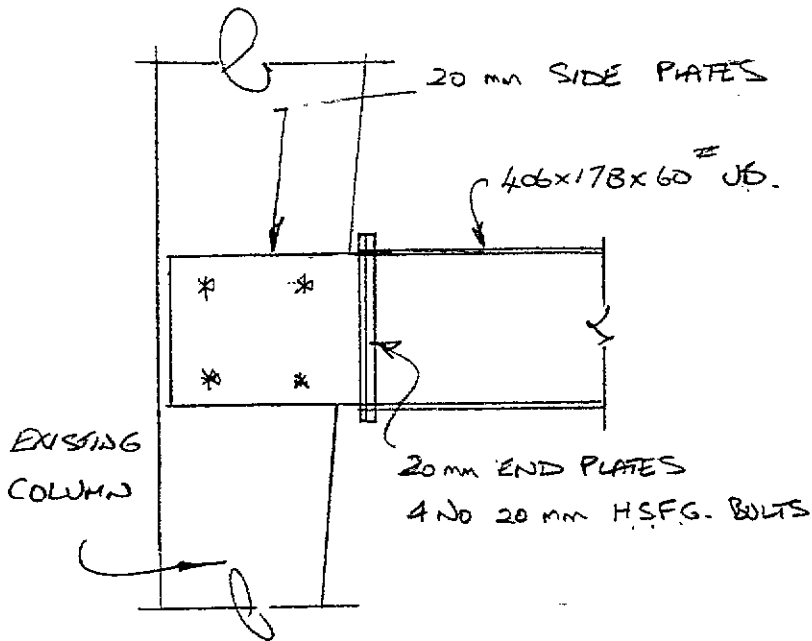


LAYOUT PLAN
FIRST FLOOR
 1/8" = 1'

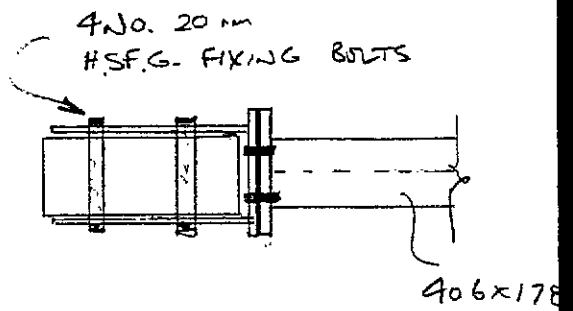
NOTE:
 WALL TO BE
 RAISED ON
 INSIDE 100 LEAF
 TO SUIT.

911/1554
RECEIVED
 16 DEC 1991
 Reg. Sec.

NOTE 1 FIREPROOFING TO ARCHITECTS
 SPECIFICATION AND DETAIL



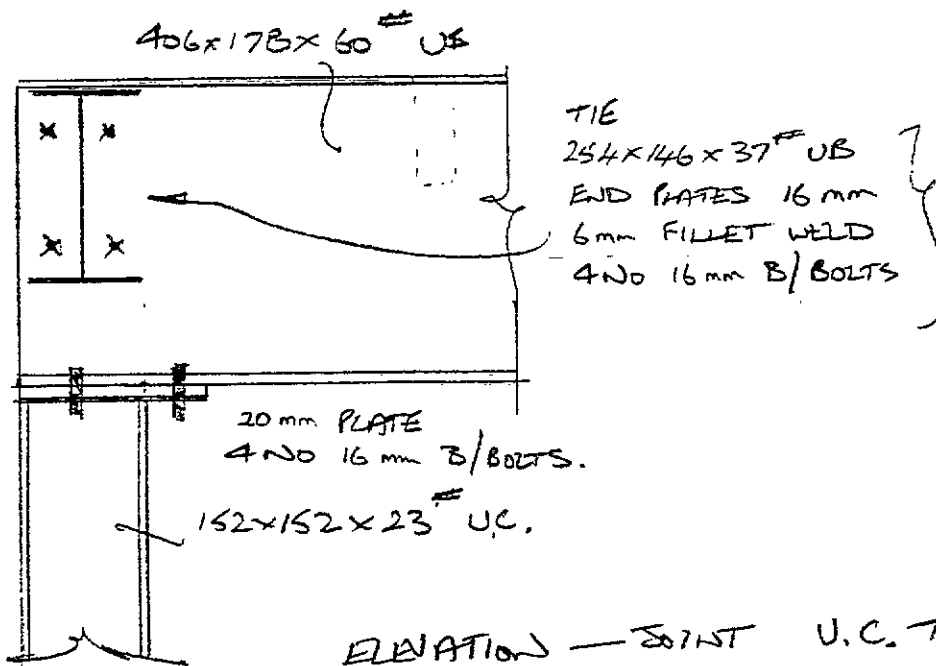
ELEVATION
1:20



PLAN
1:20

DETAIL OF FIXING FOR
NEW UB. TO EXISTING COLUMN

(NOTE: COLUMNS DIM TO BE SITE CHECKED)



ELEVATION — JOINT U.C. TO UB.
1:10

50 BLINDING

PHILIP J. WARD ASSOCIATES
CONSULTING ENGINEERS
CELBRIDGE, CO KILDARE TEL 6271807

INVERSION OF WAREHOUSE
TO OFFICES, AIRTON RD
SCALE AS SHOWN

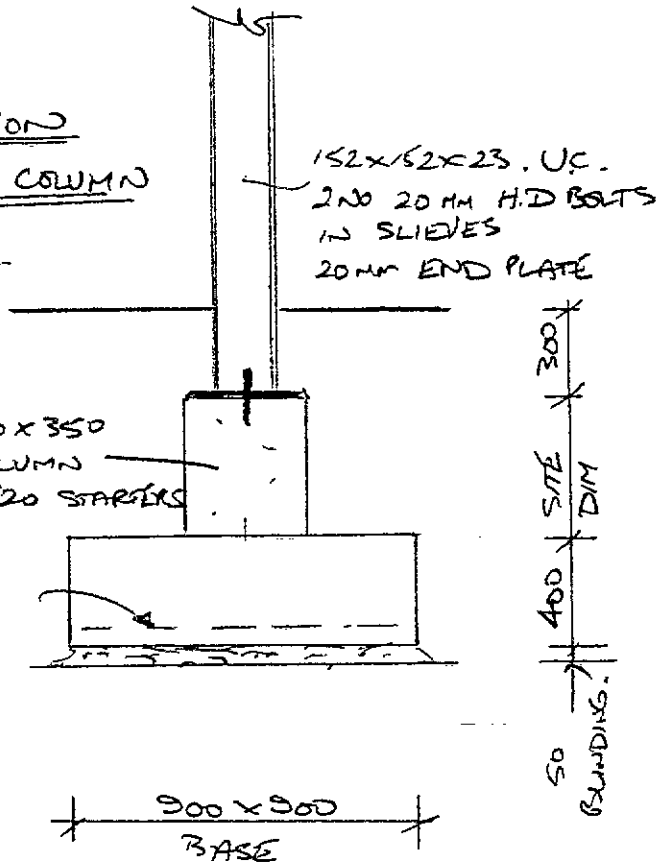
STRUCTURAL DETAILS (2)

NOV 91

225/2

ELEVATION
TO NEW COLUMN

1:20



NOTE:

1. CONCRETE GRADE 30N20
2. OVER 40 mm TO REINFORCEMENT
3. EXISTING FLOOR TO BE MADE GOOD
150 MIN BACKFILL
HARDCORE ROLLED
50 SAND BUNDING
150 CONCRETE SLAB
EXTENDED D.P.M.
4. DEPTH OF FOUND TO BE DETERMINED ON SITE
5. NEW FOOTING EXTENDS LENGTH OF NEW EXTERNAL WALLING.
6. ALL STEEL GRADE 43.

3x60# UB.

A393 MESH AND BOTTOM

NEW BLOCK WALL

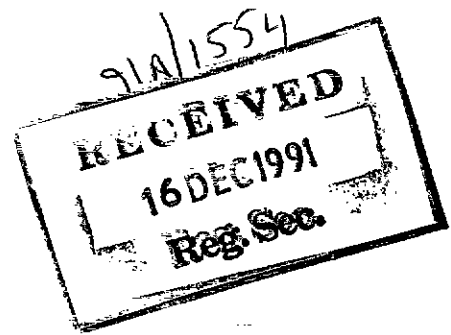
EX. WALL

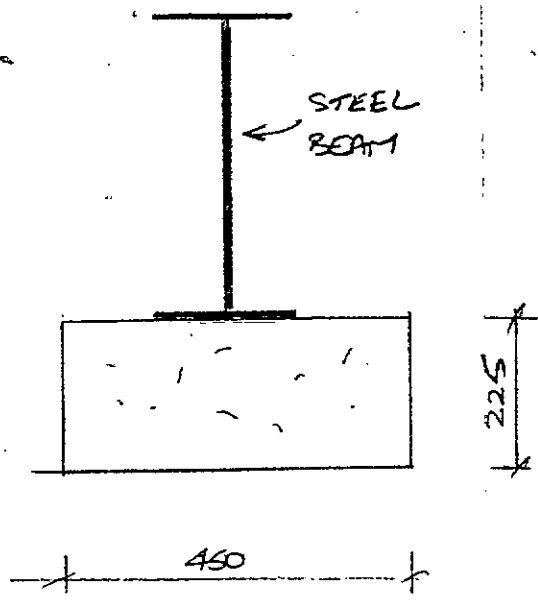
EXISTING FOOTING

SEPARATING MEMBRANE
20 mm.

SECTION THROUGH NEW FOOTING

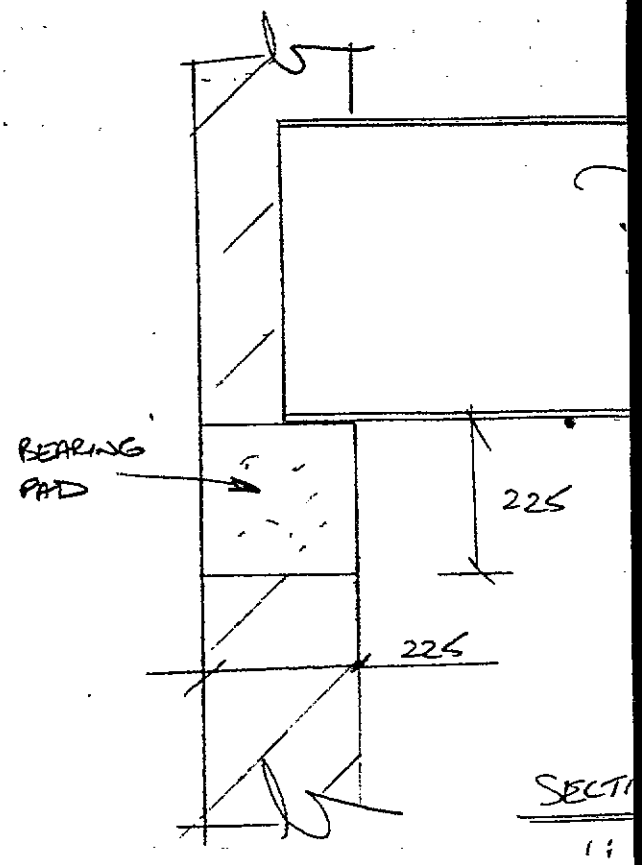
1:20





BEARING PAD DETAIL 1:10

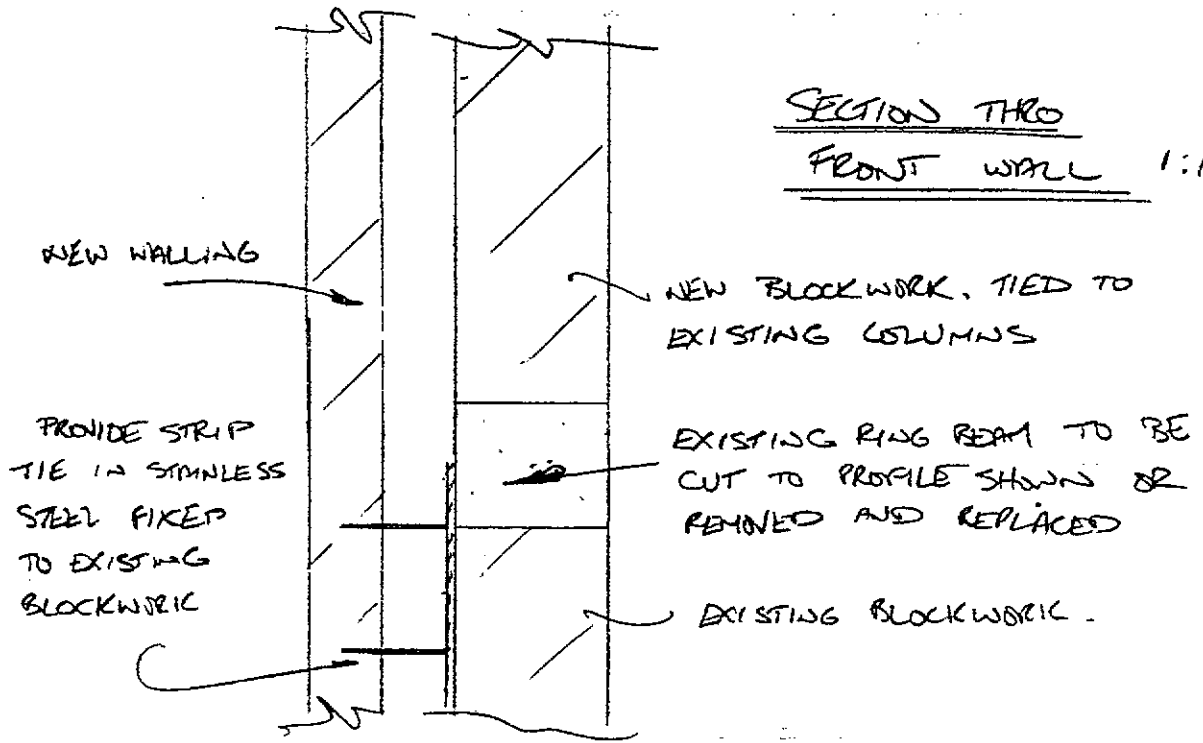
(ALL END BEARING FOR STEEL BEAMS SIMILAR)



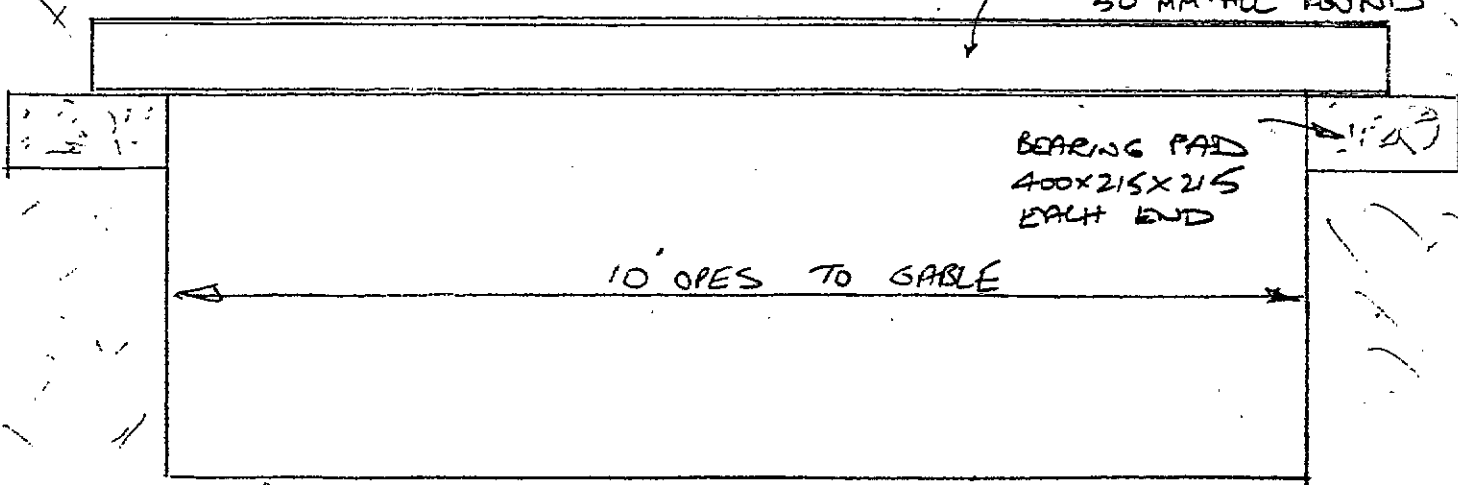
| | |
|---|------------------------|
| PHILIP J. WARD ASSOCIATES CONSULTING ENGINEERS CELBRIDGE, CO. KILDARE TEL 6271807 | |
| CONVERSION OF WAREHOUSE TO OFFICES, AIRTON RD SCALES AS SHOWN. | STRUCTURAL DETAILS (3) |
| | NW 91 225/3 |

STEEL BEAM.

SECTION THRO
FRONT WALL 1:10



BEAM 203X102 RSS.
ENCASED IN CONCRETE
50 MM ALL ROUND



ELEVATION TO OPES.

1:20

9/12/554
RECEIVED
 16 DEC 1955
 Eng. Sec.

Balance RECEIPT CODE

COMHAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET, DUBLIN 1.

[REDACTED]

BYE LAW APPLICATION.

REC. NO. N 51907

PAID BY
CASH
CHEQUE
M.O.
B.L.
I.T.

£ 3858.75

Received this *9th* day of *December* 19*91*

from *The Digital Telephone Co Ltd*

the sum of *three thousand eight hundred - fifty eight* Pounds
seventy five Pence, being *balance*

of fee on 9/11/554

Maureen Deane Cashier

S. CAREY *Class 4*
Principal Officer *P.O.*

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.

Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Telephone: 773066

Telephone: 724755
Extension: 231/234

25th November, 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: Sandoz Building Airton Road, Tallaght
PROPOSED DEVELOPMENT: Change of use of part of warehouse to offices + alterations to elevations
APPLICANT: A.F.W. Investments Ltd.
PLANNING REG. REF.: 91A/1554
DATE OF RECEIPT OF SUBMISSION: 19th November, 1991

A Chara,

With reference to above, I acknowledge receipt of application for:

Building Bye-Law Approval

Mise, le meas

A. Smith

PRINCIPAL OFFICER

McElroy Architects,

11 Bromor Park,

Churchtown,

Dublin 14

Dublin County Council
Comhairle Chontae Atha Cliath



Planning Application Form
Bye - Law Application Form

PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building SANDSZ BUILDING AIRTON RD.
(If none, give description sufficient to identify) TALLAGHT DUBLIN 24.

3. Name of applicant (Principal not Agent) A.F.W. INVESTMENTS LTD.
Address c/o McELROY ARCHITECTS 11 BREEMOR PK CHURCHTOWN DUBLIN 14. Tel. No 979759
CHURCHTOWN DUBLIN 14. FAX 978937

4. Name and address of McELROY ARCHITECTS 11 BREEMOR PK CHURCHTOWN
person or firm responsible for preparation of drawings DUBLIN 14. Tel. No

5. Name and address to which McELROY ARCHITECTS 11 BREEMOR PARK
notifications should be sent CHURCHTOWN DUBLIN 14

6. Brief description of CHANGE OF USE OF PART OF EXISTING WAREHOUSE
proposed development TO OFFICES + ALTERATIONS TO ELEVATIONS

7. Method of drainage MAINS 8. Source of Water Supply MAINS

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used. WARE HOUSE + OFFICES
(b) Proposed use of each floor WARE HOUSE + OFFICES

BYE LAW APPLICATION.

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No REC. No. N51747

11.(a) Area of Site £3858.75 c. 3253.75 Sq. m.
(b) Floor area of proposed development 1102.5 Sq. m.
(c) Floor area of buildings proposed to be retained within site 1102.5 Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) NEGOTIATING PURCHASE OF LEASE HOLD

13.Are you now applying also for an approval under the Building Bye Laws?
Yes No Place / in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
THE RELEVANT REGULATIONS HAVE BEEN TAKEN INTO ACCOUNT

15.List of documents enclosed with application. 2 COPIES OF DRG No 9131-1 to 91-31-5
OUTLINE SPECIFICATION ENGINEERS
CERTIFICATE + CALCULATIONS

16.Gross floor space of proposed development (See back) 1102.5 Sq. m.
No of dwellings proposed (if any) N/A Class(es) of Development 4
Fee Payable £ 3858.75 Basis of Calculation 1102.5 x 3.50
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) M. McElroy Date 15 NOV 91

Application Type BBL/EX FOR OFFICE USE ONLY
Register Reference 91A/155A
Amount Received £ 91A/155A 3.10.22
Receipt No
Date

RECEIVED
19 NOV 1991
REG. SEC.

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
 2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
 3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.
- NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
 5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b)
 - (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
 6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

SUMMARY OF CLASSES OF DEVELOPMENT/ FEES

| <u>CLASS NO.</u> | <u>DESCRIPTION</u> | <u>FEE</u> |
|------------------|--|------------------------------------|
| 1. | Provision of dwelling - House/Flat. | £32.00 each. |
| 2. | Domestic extensions/other improvements. | £16.00 each. |
| 3. | Provision of agricultural buildings (See Regs.) | £40.00 minimum. |
| 4. | Other buildings (i.e. office, commercial, etc.) | £ 1.75 per sq.metre (Min. £40.00). |
| 5. | Use of land (Mining, deposit or waste). | £25.00 per 0.1 ha. (Min. £250.00). |
| 6. | Use of land (Camping, parking, storage). | £25.00 per 0.1 ha. (Min. £40.00). |
| 7. | Provision of plant/machinery/tank or other structure for storage purposes. | £25.00 per 0.1 ha. (Min. £100.00). |
| 8. | Petrol filling station. | £100.00. |
| 9. | Advertising structures. | £ 10.00 per sq. m. (Min. £40.00). |
| 10. | Electricity transmission lines. | £ 25.00per 1,000m.(Min. £40.00). |
| 11. | Any other development. | £ 5.00 per 0.1ha. (Min. £40.00). |

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY —
CASH
CHEQUE
M.O.
B.L.
I.T.

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

[RECEIPT CODE BOX]

BYE LAW APPLICATION.

REC. No. N 51747

£ 3858.75

Received this 19th day of November 1991

from The Digital Telephone Co. Ltd.

the sum of three thousand eight hundred and ~~eighty~~ ^{seventy five} Pounds

bye-law application at 1100 Pct.

Maeleen O'Carne Cashier

(CANCELLED)
S. CAREY
Principal Officer

PHILIP J. WARD ASSOCIATES

CONSULTING ENGINEERS

Main Street, Celbridge, Co. Kildare.

Telephone: (01) 6271807

Your Ref.

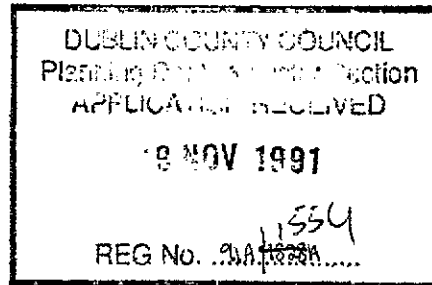
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre,
Dublin 1.

Our Ref.

D/30A.91

Date

5.11.91



Re: Office and Warehouse refurbishment at:
Airton Road,
Tallaght,
Dublin 24.

Dear Sirs,

Enclosed please find structural calculations in connection with the above project.

Yours Faithfully,

Philip J. Ward

Philip J. Ward,
B.E. C.Eng. MIEI.

PHILIP J. WARD ASSOCIATES

CONSULTING ENGINEERS

Main Street, Celbridge, Co. Kildare.

Telephone: (01) 6271807

Your Ref.

Our Ref.

D/30.91

Date 5.11.91

Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre,
Dublin 1.

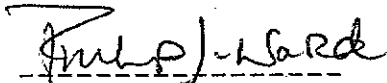
| |
|--|
| DUBLIN COUNTY COUNCIL Planning Dept. Registry Section APPLICATION RECEIVED 19 NOV 1991 REG No. ... 91A/1554/1991 ... |
|--|

Re: Office and Warehouse refurbishment at:
Airton Road,
Tallaght,
Dublin 24.

Dear Sirs,

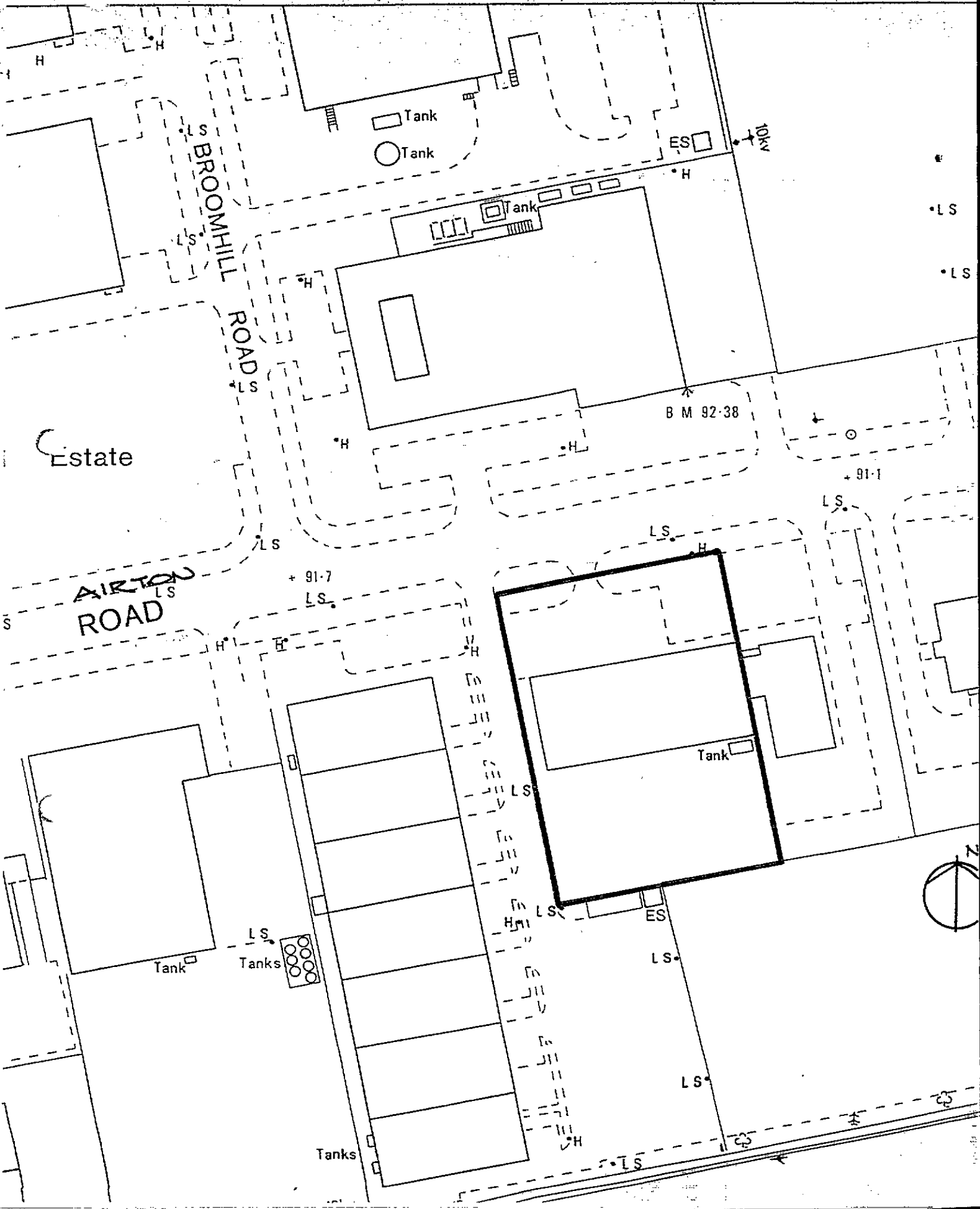
We have been appointed Civil/Structural Consulting Engineers for the above project and we hereby certify that the structural design has been carried out in accordance with the requirements of the current relevant Irish and British Standard Specifications and Codes of practice.

Yours Faithfully,



Philip J. Ward,
B.E. C.Eng. MIEI.

2 UERCROSS By



095

096

284

TYMON NORTH TP

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 19 NOV 1991
 REG No. 91A

+ 90.6

+ 90.1

283

Ramp Tank

Tank

Tank

ES

282

mcElroy architects

11 braemor Park dublin 14 Ph 979759 Fax 978932

Job

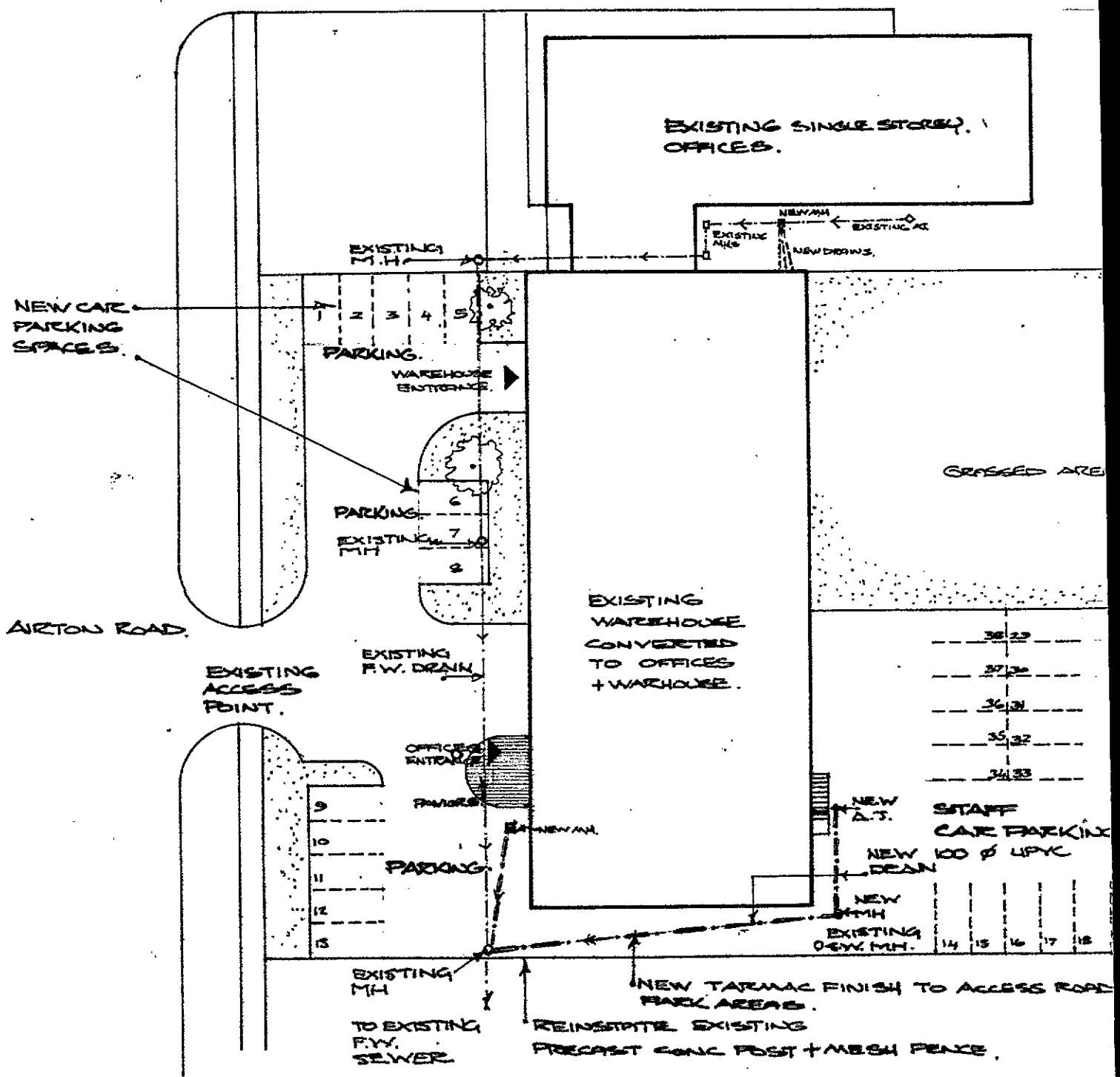
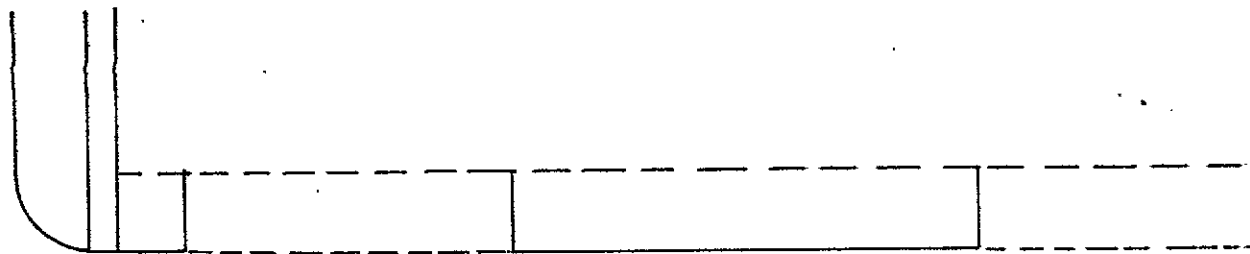
CONVERSION OF WAREHOUSE TO OFFICE +
 WAREHOUSE AT AIRTON RD TALLAGHT.
 LOCATION MAP.

SCALE 1:1000.

ORD REF 3390-7.

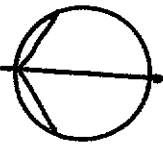
SEPT. 91

91-31-3



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NORTH



DUBLIN COUNTY COUNCIL
 Planning & Development Section
 APPLICATION RECEIVED

19 NOV 1991

PERM No. 91A/1554



REV. -A- NOV. 91 DRAINAGE

mcElroy architects

11 braemar Park dublin 14 Ph. 979759 FAX 978932

Job

CONVERSION OF WAREHOUSE TO OFFICE +
WAREHOUSE AT AIRTON RD TALLAGHT.

SITE PLAN.

SCALE 32" = 1'-0" SEPT. 91 9131-4 A

AIRTON RD. TALLAGHT

EXISTING ROOF
CURBING.

EXISTING
CONC. GUTTER.

PROPRIETARY ALUM.
GUTTING.
SET IN
MORTAR.

OUT.

215 X 215 CILL
BLOCK ON D.P.C.

INSULATED PLASTER
WITH GYPSUM SKIN
LINING TO 1/2 OF
EXISTING CONC. GUTTER.

100 MM
FIBREGLASS.
SUSPENDED
CEILING.

18 BLOCKBOARDED CILL
WITH ASH EDGE.

25 POLYURETHANE INSULATION.
GYPSUM PLASTER.

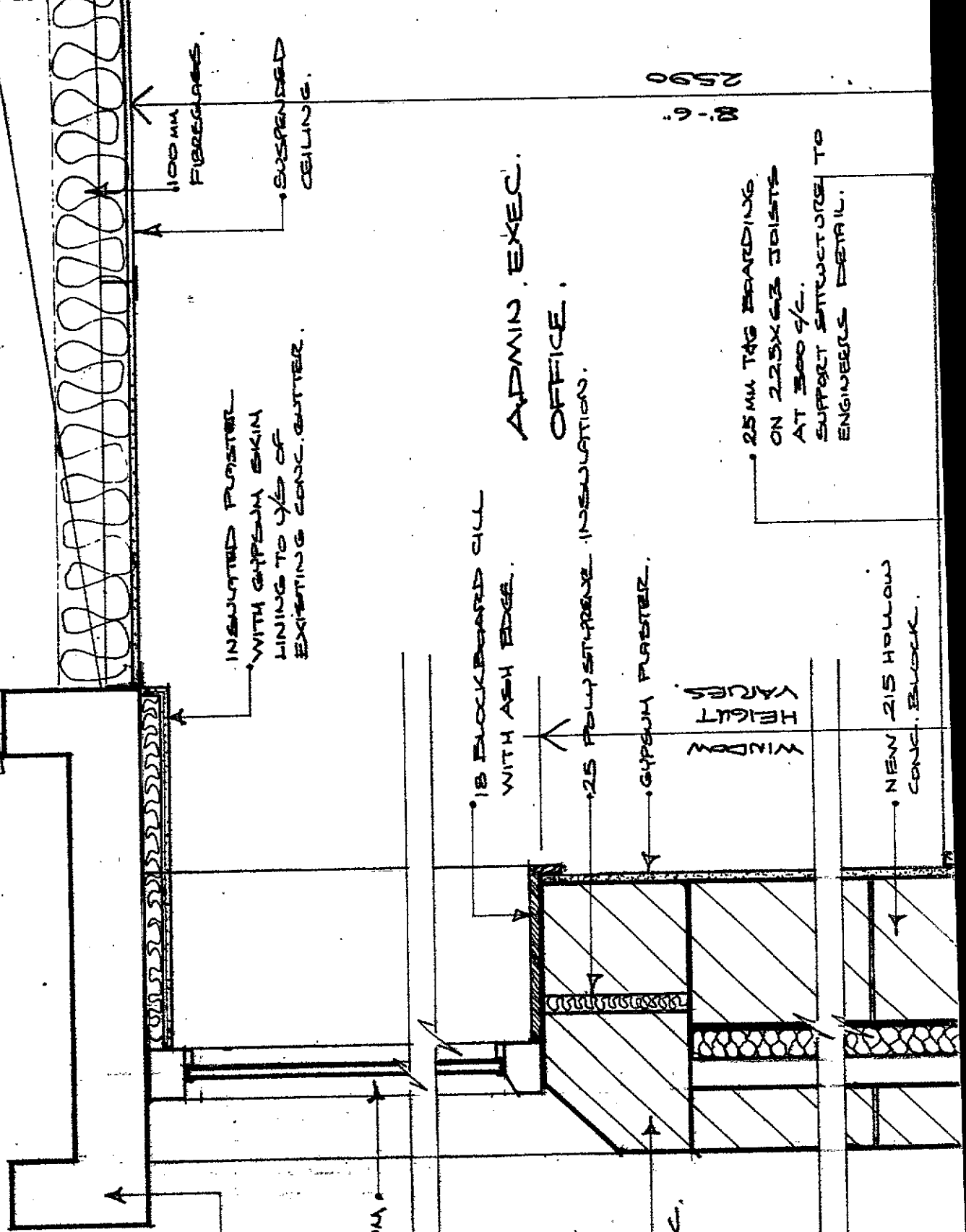
WINDOW
HEIGHT
MATCHES
YARDS.

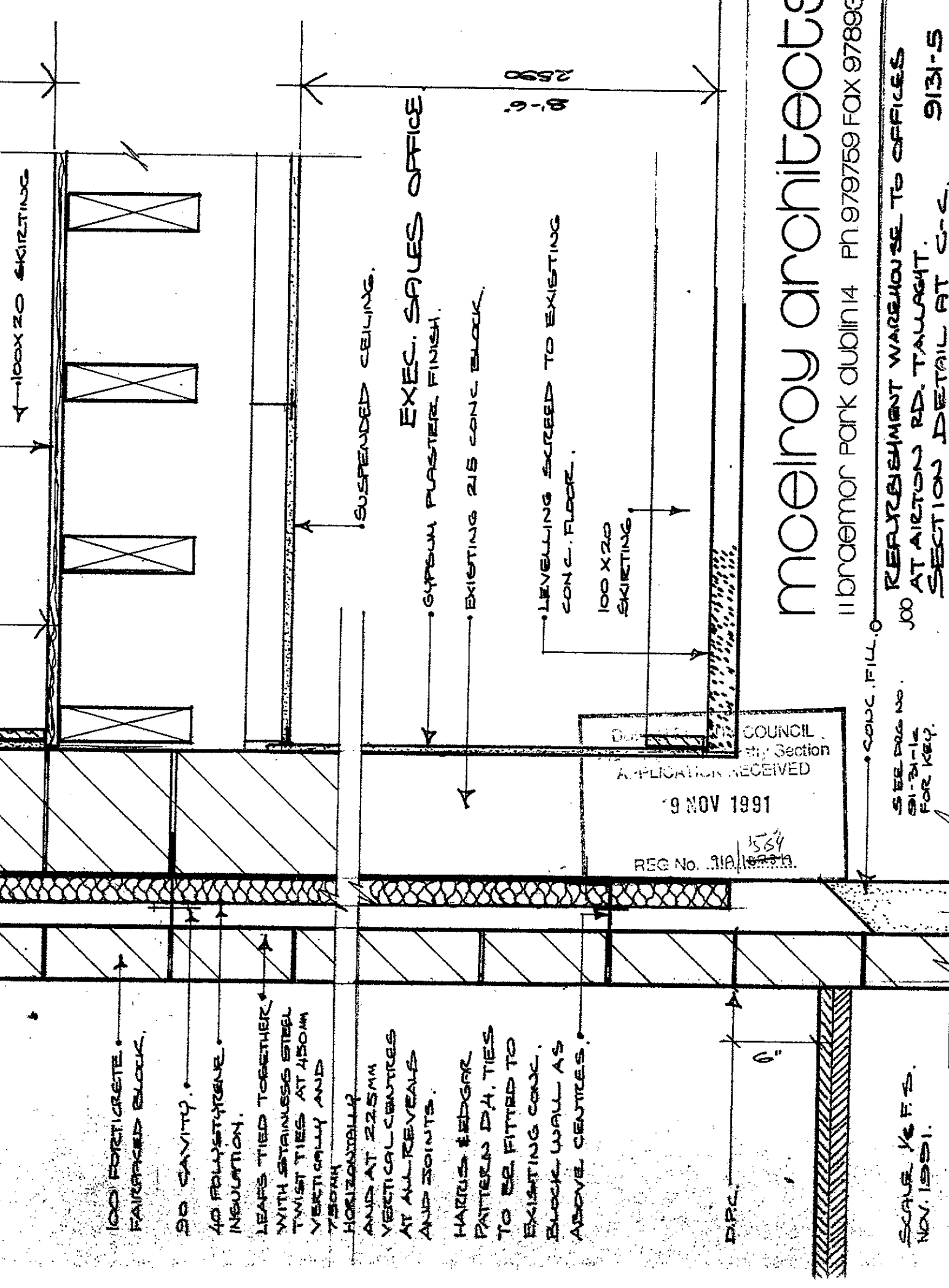
NEW 215 HOLLOW
CONC. BLOCK.

ADMIN. EXEC.
OFFICE.

25 MM TAG BOARDING
ON 2.25 X 6.25 JOISTS
AT 300 c/c.
SUPPORT STRUCTURE TO
ENGINEERS DETAIL.

2500
8'-6"





100 REINFORCED FAIRFACED BLOCK.

50 CAVITY.

40 POLYSTYRENE INSULATION.

LEAFS TIED TOGETHER WITH STAINLESS STEEL TWIST TIES AT 450MM VERTICALLY AND 750MM HORIZONTALLY AND AT 225MM VERTICAL CENTRES AT ALL REVEALS AND JOINTS.

HARDBOARD EDGECAP PATTERN D.H. TIES TO BE FITTED TO EXISTING CONC. BLOCK WALL AS ABOVE CENTRES.

SUSPENDED CEILING.

EXEC. SALES OFFICE.

GYPSUM PLASTER FINISH.

EXISTING 215 CONC. BLOCK.

LEVELLING SCREED TO EXISTING CONC. FLOOR.

100 X 20 SKIRTING.

DUBLIN CITY COUNCIL
 City Section
 APPLICATION RECEIVED
 9 NOV 1991
 REG No. 310/1584

SCALE 1/6 F.S.
 NOV. 1991.

moelroy architects
 11 BRADNOR PARK DUBLIN 14 PH 979759 FAX 978932
 REFURBISHMENT WAREHOUSE TO OFFICES
 AT AIRTON RD. TALLAGHT.
 SECTION DETAIL AT C-C.

CONC. FILL.

SEE DRAWING NO. 91-21-14 FOR KEY.

OUTLINE SPECIFICATION

CONVERSION OF PART OF EXISTING WAREHOUSE
TO OFFICES

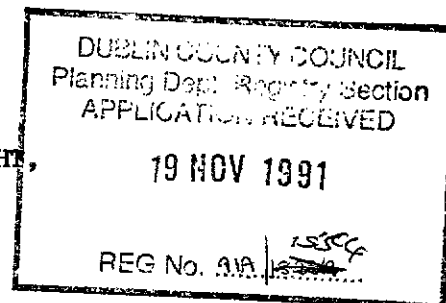
AT

SANDOZ PREMISES AIRTON ROAD, TALLAGHT,
DUBLIN 24.

FOR

A.F.W. INVESTMENTS LTD.

SEPTEMBER 1991.



1.0

PRELIMINARIES

1.1

Scope of Work

The work consists of the conversion of part of an existing warehouse to offices, alterations to existing elevations and new car parking.

1.2

Materials and Workmanship

The workmanship shall be of the best quality throughout and the materials in all cases shall be of the best quality of the kinds specified and shall be approved by the Architect.

Where relevant Irish Standards have been issued for materials these must be complied with.

2.0 EXTERNAL LANDSCAPING AND SITE WORKS

2.1 Excavation and Fill

Keep excavations free of water, cut back existing grass areas as indicated on the drawings.

Excavate for foundations to the levels, dimensions and profiles shown on the drawings. Level and consolidate foundation trenches with suitable fill. Lay hardcore in 150 mm layers and consolidate. Hardcore shall be of hard stone, coarse gravel, concrete or hard broken brick. It shall pass through 100 mm rings.

2.2 Foundations

Foundations will be provided under all new walls and columns and are to be of reinforced concrete construction and shall be constructed to the Structural Engineer's detail.

2.3 Drainage

The drainage from the new WC's and Wash-hand-basins will discharge into a new system of Armstrong junctions and manholes which in turn will connect into the existing drainage on site.

All foul drainage pipework to comprise 150mm diameter PVC haunched in 150mm concrete bed.

Armstrong junction to be 100mm diameter PVC soil vent pipes to be located at the head of the new drainage system.

Waste water from the new wash-hand-basins to discharge into new back inlet gully traps via 50mm diameter PVC pipework.

Manholes to be constructed in 225mm solid concrete blockwork and to be plastered smooth in sand and cement internally. Base of manhole to be in 150mm concrete with haunching to all channels. Heavy duty cast iron covers to be fitted to all manholes.

3.0 CONSTRUCTION ELEMENTS

3.1 Concrete

Cement to be normal Portland Cement. Aggregate shall comply with IS5 and shall be clean. Sand to be coarse river sand. Water shall be clean.

Concrete mix for use throughout the works shall be 1 part cement to 2 parts sand to 4 parts aggregate by volume.

Ready mixed concrete from an approved supplier may be used provided it is equal in all respects to the concrete specified for the works and complies with BS1926.

3.2 Foundations

Foundations to 112mm walls are to be 8.1 concrete. 700mm wide by 250mm thick foundations are to be used under 112mm concrete block walls, reinforced concrete pad foundations to be fitted to all steel columns. All to Engineers detail.

Minimum cover to all foundations to be 525mm.

3.3 Floors

Existing concrete floor in office area to be levelled in latex screed.

3.4 Forticrete "White" fairfaced concrete blockwork to be fitted to front of the building. Banding in "natural" colour.

3.5 Internal Walls

Ground & First floor internal partitions to be 100mm stud.

1 hour steel framed studs to be fitted between warehouse and office area.

3.6 Stairs

New staircases to be steel construction to Engineer's detail.

3.7 Insulation

100mm fibreglass insulation to be fitted over the first floor offices.

All new water tanks and plumbing will be insulated pipework in "Armourflex" and the tanks in expanded metal and fibreglass.

3.8 Ceilings

Suspended acoustic tile ceiling to the office areas.

3.9 DPC AND DPM

Approved PVC damp proof course to be fitted in all rising concrete block walls in the positions shown on the drawings (minimum 150mm above ground level) and under and behind all precast concrete cills.

1000 gauge Visqueen damp proof membrane to be fitted under all concrete slabs.

3.10 Windows and Doors

All new windows will be aluminium and will be fitted with a "Permavent" hinges will be the sliding/support type.

New one hour and half hour fire doors with self closers will be fitted as indicated on the drawings and will comply with BS476 Part 8. All other internal doors will be standard solid flush ply.

The new glazing at the front to be aluminium colour coated in "syntha pulvin" blue with reflective glass panels. The existing sliding folding door to be repositioned as indicated.

3.11 Skirtings and Architraves

All new skirtings and Architraves will be ex. 100mm x 18mm hardwood.

4.0 FINISHES

4.1 External Finishes

Cladding as per 3.4

Knap plaster finish painted to side elevation where new windows are positioned.

4.2 Internal Finishes

Existing concrete block surfaces in offices to be finished in gypsum plaster. Skim gypsum plaster to all stud partitions.

4.3 Floor Finishes

Apply one coat of floor sealant onto the new concrete surface in the warehouses.

Carpet and tile finish to the offices and toilet areas.

4.4 Painting Internal & External

All new timber to be knotted and primed and finished in two coats undercoat and one coat gloss paint.

New walls will be sealed before applying 3 coats of emulsion. Final coat on walls to be "eggshell" finish.

External wall plaster and gutter to be finished in three coats "Sandtex".

5.0 SERVICES

5.1 Plumbing

The unit to have separate metered water supply and 24 hour water storage capacity comprising a 225 litre plastic water tank located over the first floor offices.

5.2 Electrical

The electrical installations will be to IEE and ESB standards.

5.3 Heating

The heating system to be a gas fired radiator system with a balanced flue.

5.4 Fire Sprinkler System

A new fire sprinkler system will be installed to the warehouse.

5.5 Ventilation

All new toilets and tea stations to have extract fans operated by light switch to give three air changes per hour. 20 minute time delay on switch. Mechanical ventilation to be provided to the demonstration area and presentation room.

6.0 EXTERNAL WORKS

6.1 Parking Area

The new parking area at the front and part of rear of the building will comprise 2.5" macadam. 20mm dense base course on 150mm 804 stone aggregate.

Kerbing at the perimeter of the new surface to be 450 x 225mm in situ concrete. Lay to falls to road gullies as shown on the drawings. Spray all soil with proprietary weed killer prior to the laying of the new surface.

Car parking spaces to be marked in the new surface in white.

6.2 Boundary Fence and Walls

Precast concrete Kerbs will be fitted at the junction of the concrete paving with the grassed areas.

The existing fence at the side of the property to be reinstated and repaired.

6.3 Landscaping

Beech hedging to be planted at the northern boundary of the site.

Silver birch trees to be planted in the front area adjacent to the new car parking spaces.

OFFICES / WAREHOUSE

HIRTON RD

TALLAGHT.

PLANNING AND BUILDING CONTROL
PLANNING AND BUILDING CONTROL
PLANNING AND BUILDING CONTROL

APPROVED FOR RECEIVED

9 NOV 1991

REC NO 91A/182819

STRUCTURAL DESIGN CALCULATIONS

a) 1ST FLOOR OFFICES (GRIDS H-K.)

FLOORING.

SPAN = 4.85 m.

$$\text{LOADING} = \begin{matrix} \text{DEAD} = 0.5 \\ \text{LIVE} = \frac{3.0}{3.5} \end{matrix} \text{ kN/m}^2$$

$$M = 3.5 \times 4.85^2 / 8 = 3.08 \text{ kNm. @ } 300\%$$

$$Z_{\text{reqd}} = \frac{3.08}{5.83} = 0.52 \times 10^3 \text{ mm}^3$$

$$\text{TRY } 63 \times 225 \text{ @ } 300\% \rightarrow Z = \frac{63 \times 225^2}{6} = 0.53 \times 10^3 \text{ mm}^3$$

$$S_c = \frac{S}{384} \times \frac{1.05 \times 4.85 \times 10^3 \times 4.85^3 \times 10^9 \times 12}{9 \times 10^3 \times 63 \times 225^3} = 14 \text{ mm}$$

$$\text{ALLOWABLE} = 0.003 \times 4.85 \text{ m} = 14.5 \text{ mm.}$$

USE — 63 x 225 @ 300%

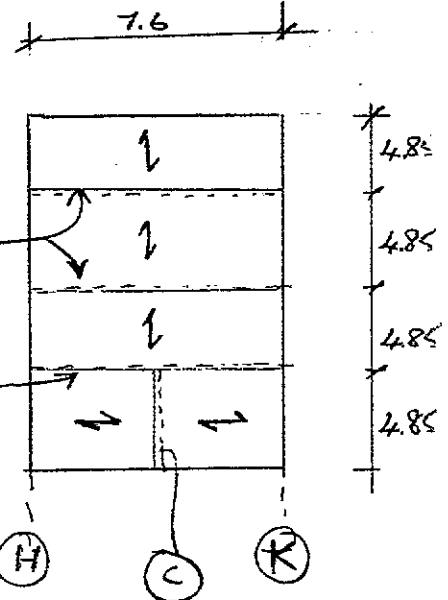
SPAN = 3.8 m

$$\text{LOADING} = \begin{matrix} \text{DEAD} = 0.5 \\ \text{LIVE} = 3.0 \\ \text{PARTITIONS} = \frac{1.0}{4.5} \end{matrix} \text{ kN/m}^2$$

$$M = 4.5 \times 0.3 \times 3.8^2 / 8 = 2.43 \text{ kNm}$$

$$Z_{\text{reqd}} = \frac{2.43}{5.83} = 0.42 \times 10^3 \text{ mm}^3$$

USE 63 x 225 @ 300%.



BEAMS

BEAM A

$$\text{LOADING} = 3.5 \times 4.85 = 17 \text{ kN/m}$$

$$\text{PARTITION} = 3.0 \times 1.0 = \frac{3}{20} \text{ kN/m}$$

$$M = 20 \times 7.6^2 / 8 = 144.4 \text{ kNm}$$

$$Z = \frac{144.4}{165} = 876 \times 10^3 \text{ mm}^3$$

$$s = \frac{5}{384} \times \frac{20 \times 7.6^3 \times 10^3 \times 7.6^3 \times 10^9}{210 \times 10^3 \times 21508 \times 10^4}$$

$$= 19.2 \text{ mm}$$

TRY $406 \times 178 \times 60 \text{ UB}$
 $(Z = 1058 \times 10^3 \text{ mm}^3)$

$$\frac{L}{360} = \frac{7600}{360} = 21 \text{ mm}$$

> 19.2 OK

USE $406 \times 178 \times 60 \text{ UB}$

BEAM B

$$\text{LOADING} = 3.5 \times \frac{4.85}{2} + 4.5 \times \frac{7.6}{2} \times \frac{4.85}{2}$$

$$\text{PARTITION} = 3 \times 1.0 = 11.5 + 41.5 \text{ kN (POINT)}$$

$$M = 11.5 \times 7.6^2 / 8 + 41.5 \times \frac{7.6}{4}$$

$$= 161.88 \text{ kNm}$$

$$Z_{reqd} = \frac{161.88}{165} = 981 \times 10^3 \text{ mm}^3$$

$$s = \frac{5}{384} \times \frac{11.5 \times 7.6^3 \times 10^3 \times 7.6^3 \times 10^9}{210 \times 10^3 \times 21508 \times 10^4}$$

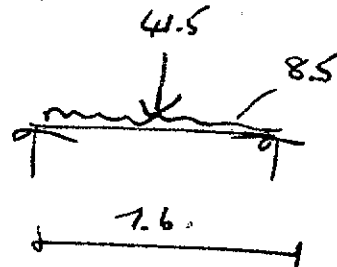
$$+ \frac{1}{48} \times \frac{41.5 \times 10^3 \times 7.6^3 \times 10^9}{210 \times 10^3 \times 21508 \times 10^4}$$

$$= 19.4 \text{ mm}$$

$$\frac{L}{360} = 21 \text{ mm}$$

TRY $406 \times 178 \times 60 \text{ UB}$
 $(Z = 1058 \times 10^3 \text{ mm}^3)$

USE $406 \times 178 \times 60 \text{ UB}$



BEAM C

$$\text{LOAD} = 4.5 \times \frac{7.6}{2} = 17.1 \text{ kN/m}$$

$$M = 17.1 \times \frac{4.85^2}{8} = 50.27 \text{ kNm}$$

$$Z_{reqd} = \frac{50.27}{165} = 304 \times 10^3 \text{ mm}^3$$

TRY 254 x 146 x 37 UB.

$$\sigma = \frac{5}{384} \times \frac{17.1 \times 4.85 \times 10^3 \times 4.85 \times 10^3}{210 \times 10^3 \times 5556 \times 10^4}$$

$$= 10.55 \text{ mm}$$

$$\frac{L}{360} = \frac{4850}{360} = 13.4 \text{ mm}$$

USE 254 x 146 x 37 UB.

c) FOOTINGS

MAX LOAD TO WALLING — FROM BEAM B.
= 53.05 kN.

SPREAD OF LOAD

IN FOOTING LENGTH

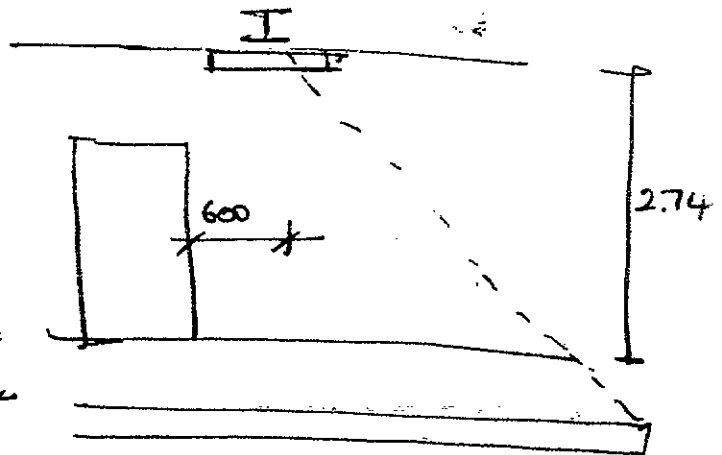
$$= 600 + 500 + 2740$$

$$= 3840$$

ADDITIONAL FOOTING LOAD

$$= \frac{53.05}{3.84} = 13.8 \text{ kN/m}$$

500 ↑



$$\text{EXISTING LOAD} = 6 \times 4.85 = 29.1 \text{ kN/m}$$

$$\text{TOTAL} = 42.9 \text{ kN/m}$$

ASSUMED WIDTH OF FOOTING = 600

$$\text{BEARING PRESSURE} = \frac{42.9}{0.6} = 71.5 \text{ kN/m}^2$$

1ST FLOOR STORAGE — GUIDS F-H

LOADING = DEAD = 0.5
 LIVE = $\frac{3.0}{3.5}$ kN/m²

JOISTS 63x225 @ 300 c/c.

BEAM A

LOADING = $3.5 \times \frac{0.1}{2} = 18$ kN/m

$M = 18 \times \frac{7.2^2}{8} = 117$ kNm

$Z = \frac{117 \times 10^3}{165} = 706 \times 10^3$ mm³

$S = \frac{5}{384} \times \frac{18 \times 7.2 \times 10^3 \times 7.2^3 \times 10^9}{210 \times 10^3 \times 21508 \times 10^4} = 14.5$ mm

TRY 406x178x60 # UB
 (Z = 1058 x 10³)

$\frac{L}{380} = \frac{7200}{360} = 20$ mm

BEAM B

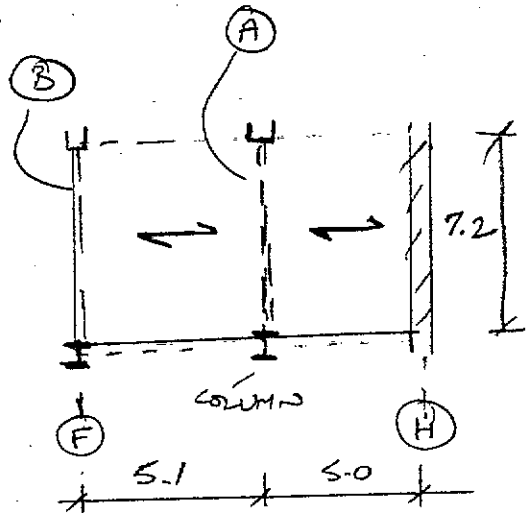
LOAD = $3.5 \times \frac{0.1}{2} = 9$ kN/m

PARTITION = $3 \times 1 = \frac{3}{12}$ kN/m

SPAN = 7.2 m.

LOADING LESS THAN ABOVE BEAM A IN SAME SPAN
 USE SAME BEAM AS A ABOVE.

406x178x60 # UB



COLUMN

$$\text{LOAD} = 18 \times 7.2 / 2 = 65 \text{ kN}.$$

$$f_c = \frac{W}{A} = \frac{65 \times 10^3}{2580} = 21.8 \text{ N/mm}^2$$

TRY $152 \times 152 \times 23 \#$ UC.

$$\frac{f}{f_y} = \frac{1 \times 3000}{36.8} = 81.5 \Rightarrow P_c = 101 \text{ N/mm}^2 > 21.8 \text{ OK.}$$

USE $152 \times 152 \times 23 \#$ UC.

F) FOOTING TO COLUMN

$$\text{LOAD} = 21.8 \text{ kN}.$$

$$\text{AREA} = \frac{21.8}{150} = 0.15 \text{ m}^2 \quad (\text{ASSUMED BEARING} = 150 \text{ kN/m}^2)$$

USE $900 \times 900 \times 400$ dp BASE (AREA = 0.81 m^2)

A333 MESH REINFORCEMENT.

G) NEW EXTERNAL WALL FACING BLOCKWORK.

FOOTING

$$\text{LOAD} = 4.9 \times 2.4 = 11.7 \text{ kN/m}$$

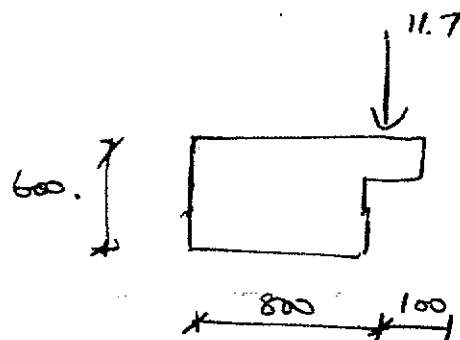
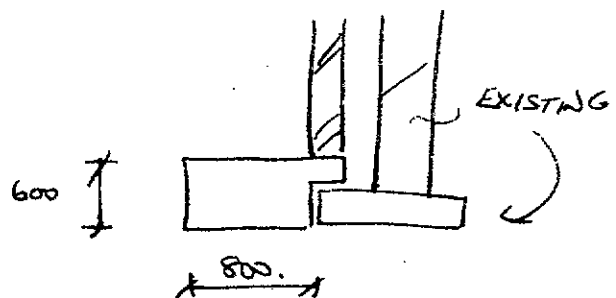
$$R = \frac{0.6 \times 0.8 \times 24 \times 0.4 + 11.7 \times 0.9}{23.2}$$

$$= 0.65$$

$$e = 0.65 - 0.4$$

$$= 0.25 \text{ m.}$$

$$f = \frac{4 \times 23.2}{3(0.8 - 0.15)} = 103 \text{ kN/m}^2.$$



(5)

ASSUMED BEARING PRESSURE = 150 kN/m²

⇒ TO BE CHECKED ON SITE BY EXCAVATION

DETAIL WILL BE AMENDED IF ASSUMED EXISTING FOOTING
DETAIL AND GROUND CONDITIONS VARY.

$$M = \frac{103}{2} \times 0.45 \times 0.45 \times \frac{2}{3} - \frac{0.6 \times 0.45 \times 24 \times 0.45}{2}$$

= 5.5 kNm.

⇒ NEGLIGIBLE → USE ASSD MESH

Philip J. Ward
B.E. C. Eng. M.I.E.I.

②

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983.

To McElroy Architects,
11. Braemor Park,
Churchtown,
Dublin 14.
Applicant A.F.W. Investments Ltd.

Decision Order P/5274/91 - 21.11.1991
Number and Date
Register Reference No. 91A/1554
Planning Control No.
Application Received on 25.09.1991

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for change of use of part of existing warehouse to offices, alterations to existing elevations and the provision of extra car parking at warehouse section at Sandoz (Ireland) Ltd. premises, Airton Road, Tallaght.

SUBJECT TO THE FOLLOWING CONDITIONS

| CONDITIONS | REASONS FOR CONDITIONS |
|---|---|
| <p>1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.</p> <p>2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.</p> <p>3. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.</p> <p>4. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.</p> | <p>1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.</p> <p>2. In order to comply with the Sanitary Services Acts, 1878-1964.</p> <p>3. In the interest of safety and the avoidance of fire hazard.</p> <p>4. In the interest of health.</p> |

Signed on behalf of the Dublin County Council

[Signature]
For Principal Officer

21st November, 1991.

Date

IMPORTANT: Turn overleaf for further information

CONDITIONS

REASONS FOR CONDITIONS

5. Nineteen car parking spaces shall be marked out on site to the satisfaction of the County Council, and space for 27 additional spaces shall be reserved for use when required.

6. Any proposed boundary treatment shall be agreed with the Planning Authority.

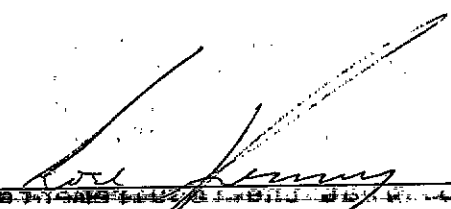
7. That the office use be incidental to the use of the balance of the property as warehousing.

5. In the interest of the proper planning and development of the area.

6. In the interest of the proper planning and development of the area.

7. In the interest of the proper planning and development of the area.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.



NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

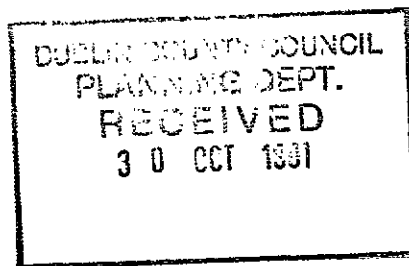
(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

mcelroy architects

11 braemor Park dublin 14 Ph. 979759 FAX. 978932

Dublin Co. Council,
Planning Department,
Block 2,
Irish Life Centre,
Dublin 1.



23rd October 1991

Re: Change of use of part of existing Warehouse to Offices, alterations to existing elevations and the provision of extra Car parking at Warehouse section Sandoz (Ireland) Ltd., Airton Road, Tallaght.
Reg. Reference. 91A/1554. UNSOLICITED. ADDITIONAL INFORMATION.

Dear Sirs,

We enclose four copies of Drawing No. 9131 - 1B and 9131 -2A showing a revision to the front elevation of the development.

These drawings supercede Drawing No. 9131 - 1A and 9131 - 2 of the original submission drawings.

Yours faithfully,

M. McELROY
DIP ARCH. TECH.

91A/1554

1.8.0

und A.!

Encl.,

Building Control Department,
Liffey House,
Fara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1554

Date : 26th September 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Change of use of part of existing warehouse to
offices, alterations to existing elevations and the
provision of extra car parking at warehouse section

LOCATION : Sandoz(Ireland) Ltd. premises, Airton Road, Tallaght

APPLICANT : A.F.W. Investments Ltd.

APP. TYPE : PERMISSION

With reference to the above, I acknowledge receipt of your application
received on 25th September 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

McElroy Architects,
11 Braemor Park,
Churchtown,
Dublin 14



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
 Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building SANDOZ BUILDING AIRTON RD
 (If none, give description sufficient to identify) TALLAGHT DUBLIN 24.

3. Name of applicant (Principal not Agent) A.F.W. INVESTMENTS LTD
 Address CO Mc ELROY ARCHITECTS 11 BRAEMOR PK. CHURCHTOWN DUBLIN 14. Tel. No. 979759

4. Name and address of person or firm responsible for preparation of drawings Mc ELROY ARCHITECTS 11 BRAEMOR PARK CHURCHTOWN DUBLIN 14. FAX. 978932 Tel. No. 979759

5. Name and address to which notifications should be sent Mc ELROY ARCHITECTS 11 BRAEMOR PARK CHURCHTOWN DUBLIN 14.

6. Brief description of proposed development CHANGE OF USE OF PART OF EXISTING WAREHOUSE TO OFFICES + ALTERATIONS TO ELEVATIONS

7. Method of drainage MAINS 8. Source of Water Supply MAINS

Link Press 25/9/91

9. In the case of any building or buildings to be retained on site, please state:-
 (a) Present use of each floor or use when last used. WAREHOUSE + OFFICES
 (b) Proposed use of each floor WAREHOUSE + OFFICES

FEE PAID: 1929.37 25/9
 RECEIPT NO: N50737

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No

11. (a) Area of Site 4. 325375 Sq. m.
 (b) Floor area of proposed development 1102.5 Sq. m.
 (c) Floor area of buildings proposed to be retained within site 1102.5 Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) NEGOTIATING PURCHASE OF LEASEHOLD

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place / in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
THE RELEVANT REGULATIONS HAVE BEEN TAKEN INTO ACCOUNT.

DUBLIN 24 Planning permission is sought for change of use of part of existing warehouse to offices, alterations to existing elevations and the provision of extra car parking at warehouse section of Sandoz (Ireland) Ltd premises, Airton Road, Tallaght. A.F.W Investments Ltd

used with 4 COPIES OF DRG Nos 91-31-1 to 91-31-7
OUTLINE SPECIFICATION, PLANNING FEE
NEWSPAPER ADVERT, COVER LETTER, PHOTOGRAPHS

16. Gross floor space proposed development (See back) 1102.5 Sq. m.

No of dwellings proposed (if any) N/A Class(es) of Development 4
 Fee Payable £ 1929.37 Basis of Calculation 1102.5 x 1.75 MM = 1929.37
 If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Maura Mc Elroy Date 25.9.91

Application Type P FOR OFFICE USE ONLY
 Register Reference 91A/1554
 Amount Received £
 Receipt No 21-8
 Date

RECEIVED
 25 SEP 1991
 REG. SEC.

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Act 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

SUMMARY OF CLASSES OF DEVELOPMENT/ FEES

| <u>CLASS NO.</u> | <u>DESCRIPTION</u> | <u>FEE</u> |
|------------------|--|------------------------------------|
| 1. | Provision of dwelling - House/Flat. | £32.00 each. |
| 2. | Domestic extensions/other improvements. | £16.00 each. |
| 3. | Provision of agricultural buildings (See Regs.) | £40.00 minimum. |
| 4. | Other buildings (i.e. office, commercial, etc.) | £ 1.75 per sq.metre (Min. £40.00). |
| 5. | Use of land (Mining, deposit or waste). | £25.00 per 0.1 ha. (Min. £250.00). |
| 6. | Use of land (Camping, parking, storage). | £25.00 per 0.1 ha. (Min. £40.00). |
| 7. | Provision of plant/machinery/tank or other structure for storage purposes. | £25.00 per 0.1 ha. (Min. £100.00). |
| 8. | Petrol filling station. | £100.00. |
| 9. | Advertising structures. | £ 10.00 per sq. m. (Min. £40.00). |
| 10. | Electricity transmission lines. | £ 25.00per 1,000m.(Min. £40.00). |
| 11. | Any other development. | £ 5.00 per 0.1ha. (Min. £40.00). |

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

HAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1

Issue of this receipt is not an
adjudgement that the fee
tendered is the prescribed application
fee. N 50730

€1929.37

Received this 25th day of September 1991

from The Digital Telephone Co. Ltd.

the sum of one thousand, nine hundred - twenty nine Pounds

thirty seven Pence, being for for

planning application at Airtown Rd.

Maeleen Deane Cashier

S. CAREY Class II
Principal Officer

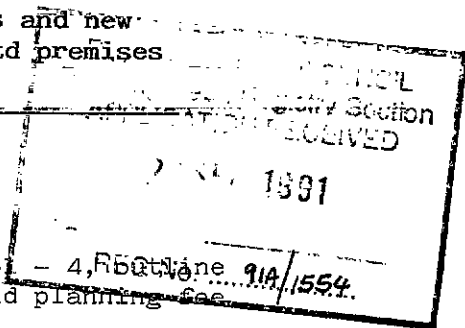
mcElroy architects

11 braemor Park dublin 14 Ph.979759 FAX.978932

Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

24th September 1991

Re: Change of use of part of existing warehouse to offices and new elevations at warehouse section of Sandoz (Ireland) Ltd premises at Airton Road, Tallaght for A.F.W. Investments Ltd.



Dear Sirs,

We enclose four copies of drawing no. 91 - 31 - 1 to 91 - 31 - 4, Rebuttal specification, application form, newspaper advertisement and planning fee for the above proposal.

The existing buildings on site consist of a single storey office block and a warehouse.

The subdivision of the single storey office building from the warehouse is covered by a separate planning application submitted on behalf of Sandoz Ltd by Integrated Development Services Ltd.

This application refers to the change of use of part of the warehouse to offices, alterations to the front, side and rear elevations of the warehouse and the provision of new car parking.

A joint meeting was held with the area Planning Officer on 9th September at which this proposal and the proposal being submitted by Integrated Development Services was discussed.

CAR PARKING:

We have also had discussions with the Area Engineer in the Roads and Traffic Section of Dublin County Council in connection with the car parking requirements for this proposal.

Under the current development plan the car parking requirements would be as follows:

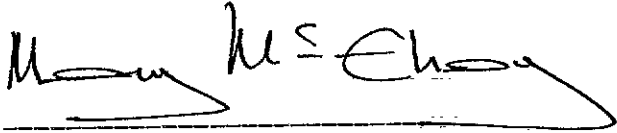
| | |
|---------------------------------|-------|
| Office - 505.7 sq.m ÷ 100 = | 5 |
| 5 x 4 (per 100 sq.m) = | 20.0 |
| Warehouse - 585.4 sq.m. ÷ 100 = | 5.85 |
| 5.85 x 3 (per 100 sq.m) = | 17.5 |
| | <hr/> |
| | 37.5 |

Say maximum 38 spaces

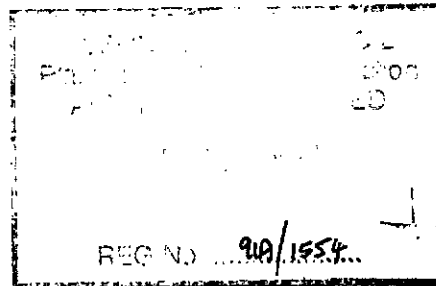
The maximum staff numbers will be nineteen and the car parking shown at the front and part of the rear will be provided for this number, however the area at the rear numbered 21 - 38 will be set aside for car parking to bring the development up to current standards although this will not be developed at this stage.

If you have any queries regarding this application please do not hesitate to contact us.

Yours faithfully,



M. McELROY
DIP. ARCH. TECH.



UPPERCROSS By

BROOMHILL ROAD

AIRTON ROAD

Estate

REG No. 91A/1554

B M 92-38

+ 91-7

+ 91-1

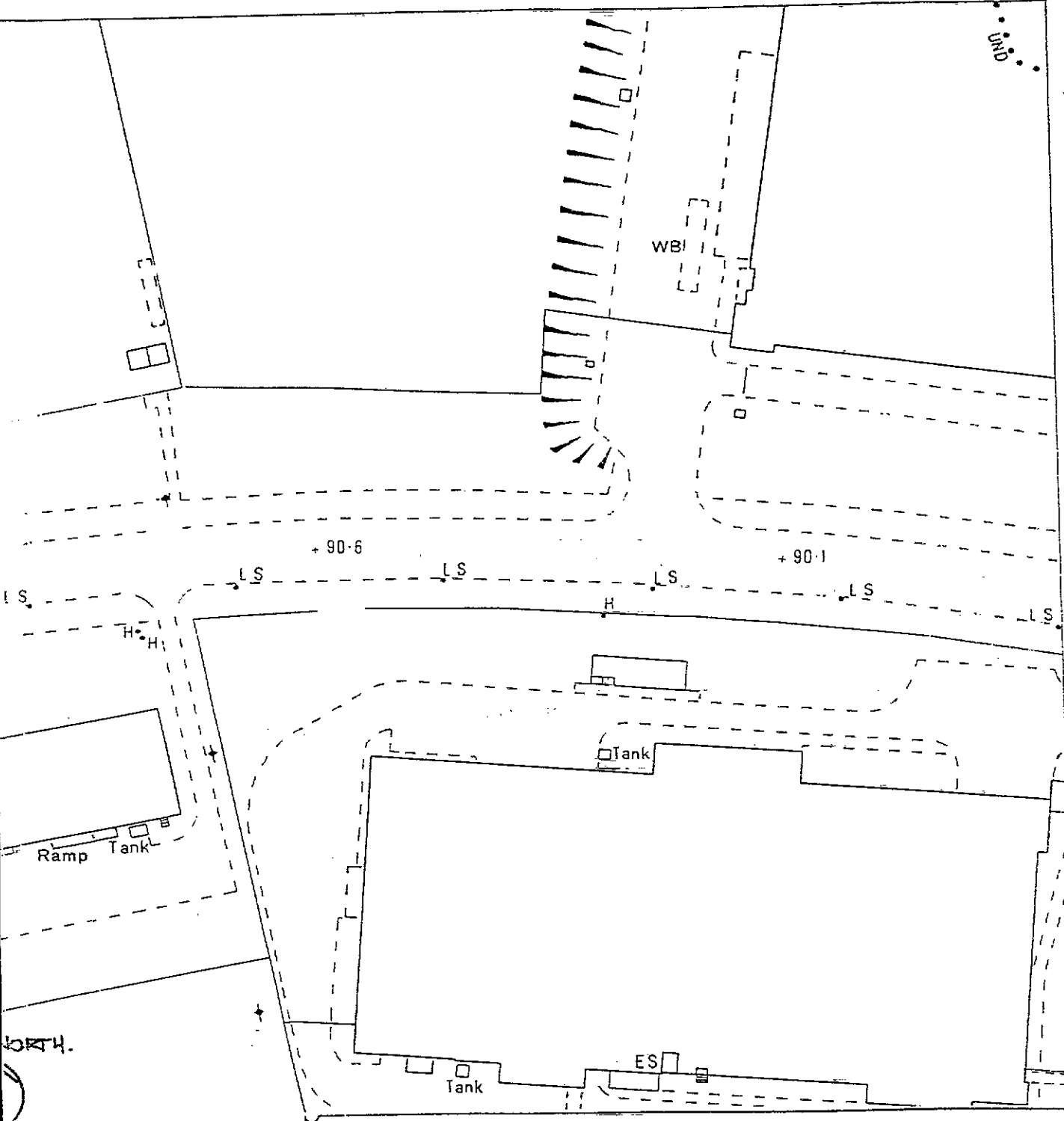


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096

284

TYMON NORTH TD



mcelroy architects

11 braemor Park dublin 14 Ph 979759 FAX 978932

JOB

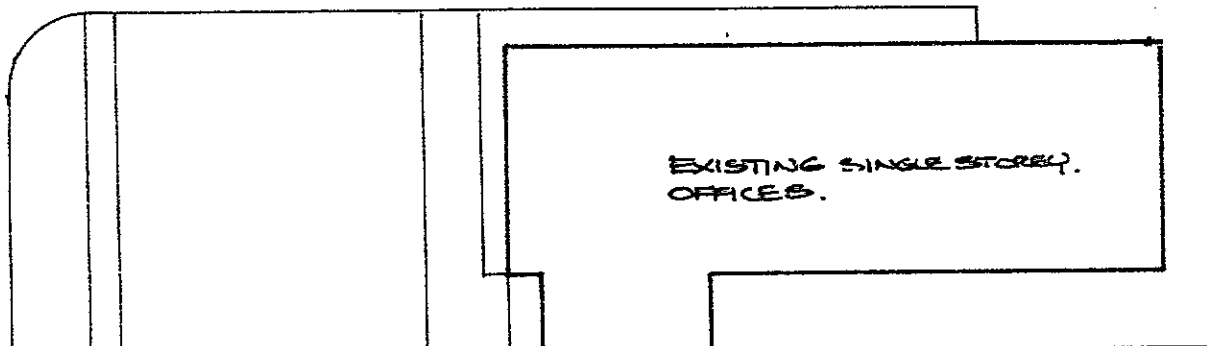
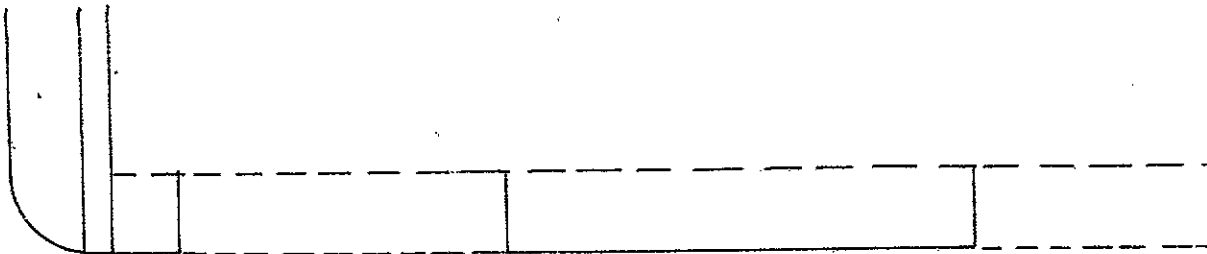
CONVERSION OF WAREHOUSE TO OFFICE +
 WAREHOUSE AT AIRTON RD TALLAGHT.
 LOCATION MAP.

SCALE 1:1000.

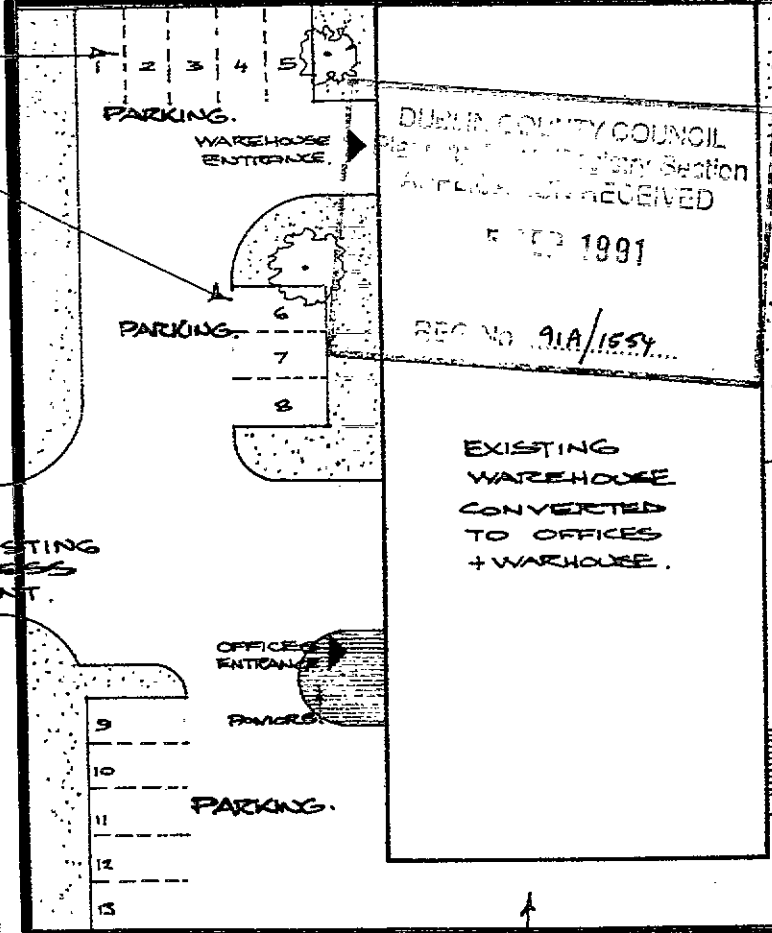
ORD REF 3390-7.

SEPT. 91

91-31-3



NEW CAR PARKING SPACES.



AIRTON ROAD.

EXISTING ACCESS POINT.



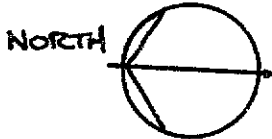
CROSSED A

| | |
|----|----|
| 38 | 29 |
| 37 | 30 |
| 36 | 31 |
| 35 | 32 |
| 34 | 33 |

STAFF CAR PARK

| | | | |
|----|----|----|----|
| 14 | 15 | 16 | 17 |
|----|----|----|----|

NEW TARMAC FINISH TO ACCESS PARK AREAS.
 REINSTATE EXISTING PRECAST CONC POST + MESH FENCE.



AREA

LINE

ROAD + NEW CAR

mcelroy architects

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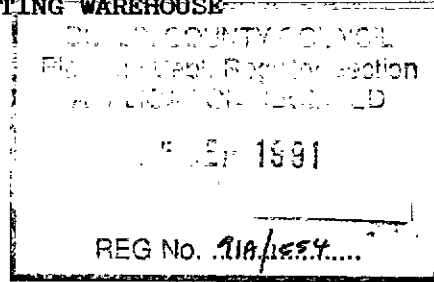
JOB
CONVERSION OF WAREHOUSE TO OFFICE +
WAREHOUSE AT AIRTON RD TALLAGHT

SITE PLAN. SCALE 32" = 1'-0" SEPT. 91 91-31-4

OUTLINE SPECIFICATION

CONVERSION OF PART OF EXISTING WAREHOUSE

TO OFFICES



AT

SANDOZ PREMISES AIRTON ROAD, TALLAGHT,
DUBLIN 24.

FOR

A.F.W. INVESTMENTS LTD.

SEPTEMBER 1991.

1.0 **PRELIMINARIES**

1.1 **Scope of Work**

The work consists of the conversion of part of an existing warehouse to offices, alterations to existing elevations and new car parking.

1.2 **Materials and Workmanship**

The workmanship shall be of the best quality throughout and the materials in all cases shall be of the best quality of the kinds specified and shall be approved by the Architect.

Where relevant Irish Standards have been issued for materials these must be complied with.

2.0 EXTERNAL LANDSCAPING AND SITE WORKS

2.1 Excavation and Fill

Keep excavations free of water, cut back existing grass areas as indicated on the drawings.

Excavate for foundations to the levels, dimensions and profiles shown on the drawings. Level and consolidate foundation trenches with suitable fill. Lay hardcore in 150 mm layers and consolidate. Hardcore shall be of hard stone, coarse gravel, concrete or hard broken brick. It shall pass through 100 mm rings.

2.2 Foundations

Foundations will be provided under all new walls and columns and are to be of reinforced concrete construction and shall be constructed to the Structural Engineer's detail.

2.3 Drainage

The drainage from the new WC's and Wash-hand-basins will discharge into a new system of Armstrong junctions and manholes which in turn will connect into the existing drainage on site.

All foul drainage pipework to comprise 150mm diameter PVC haunched in 150mm concrete bed.

Armstrong junction to be 100mm diameter PVC soil vent pipes to be located at the head of the new drainage system.

Waste water from the new wash-hand-basins to discharge into new back inlet gulley traps via 50mm diameter PVC pipework.

Manholes to be constructed in 225mm solid concrete blockwork and to be plastered smooth in sand and cement internally. Base of manhole to be in 150mm concrete with haunching to all channels. Heavy duty cast iron covers to be fitted to all manholes.

3.0 CONSTRUCTION ELEMENTS

3.1 Concrete

Cement to be normal Portland Cement. Aggregate shall comply with IS5 and shall be clean. Sand to be coarse river sand. Water shall be clean.

Concrete mix for use throughout the works shall be 1 part cement to 2 parts sand to 4 parts aggregate by volume.

Ready mixed concrete from an approved supplier may be used provided it is equal in all respects to the concrete specified for the works and complies with BS1926.

3.2 Foundations

Foundations to 112mm walls are to be 8.1 concrete. 700mm wide by 250mm thick foundations are to be used under 112mm concrete block walls, reinforced concrete pad foundations to be fitted to all steel columns. All to Engineers detail.

Minimum cover to all foundations to be 525mm.

3.3 Floors

Existing concrete floor in office area to be levelled in latex screed.

3.4 Forticrete "White" fairfaced concrete blockwork to be fitted to front of the building. Banding in "natural" colour.

3.5 Internal Walls

Ground & First floor internal partitions to be 100mm stud.
1 hour steel framed studs to be fitted between warehouse and office area.

3.6 Stairs

New staircases to be steel construction to Engineer's detail.

3.7 Insulation

100mm fibreglass insulation to be fitted over the first floor offices.

All new water tanks and plumbing will be insulated pipework in "Armourflex" and the tanks in expanded metal and fibreglass.

3.8 Ceilings

Suspended acoustic tile ceiling to the office areas.

3.9 DPC AND DPM

Approved PVC damp proof course to be fitted in all rising concrete block walls in the positions shown on the drawings (minimum 150mm above ground level) and under and behind all precast concrete cills.

1000 gauge Visqueen damp proof membrane to be fitted under all concrete slabs.

3.10 Windows and Doors

All new windows will be aluminium and will be fitted with a "Permavent" hinges will be the sliding/support type.

New one hour and half hour fire doors with self closers will be fitted as indicated on the drawings and will comply with BS476 Part 8. All other internal doors will be standard solid flush ply.

The new glazing at the front to be aluminium colour coated in "syntha pulvin" blue with reflective glass panels. The existing sliding folding door to be repositioned as indicated.

3.11 Skirtings and Architraves

All new skirtings and Architraves will be ex. 100mm x 18mm hardwood.

4.0 FINISHES

4.1 External Finishes

Cladding as per 3.4

Knap plaster finish painted to side elevation where new windows are positioned.

4.2 Internal Finishes

Existing concrete block surfaces in offices to be finished in gypsum plaster. Skim gypsum plaster to all stud partitions.

4.3 Floor Finishes

Apply one coat of floor sealant onto the new concrete surface in the warehouses.

Carpet and tile finish to the offices and toilet areas.

4.4 Painting Internal & External

All new timber to be knotted and primed and finished in two coats undercoat and one coat gloss paint.

New walls will be sealed before applying 3 coats of emulsion. Final coat on walls to be "eggshell" finish.

External wall plaster and gutter to be finished in three coats "Sandtex".

5.0 SERVICES

5.1 Plumbing

The unit to have separate metered water supply and 24 hour water storage capacity comprising a 225 litre plastic water tank located over the first floor offices.

5.2 Electrical

The electrical installations will be to IEE and ESB standards.

5.3 Heating

The heating system to be a gas fired radiator system with a balanced flue.

5.4 Fire Sprinkler System

A new fire sprinkler system will be installed to the warehouse.

5.5 Ventilation

All new toilets and tea stations to have extract fans operated by light switch to give three air changes per hour. 20 minute time delay on switch. Mechanical ventilation to be provided to the demonstration area and presentation room.

6.0 EXTERNAL WORKS

6.1 Parking Area

The new parking area at the front and part of rear of the building will comprise 2.5" macadam. 20mm dense base course on 150mm 804 stone aggregate.

Kerbing at the perimeter of the new surface to be 450 x 225mm in situ concrete. Lay to falls to road gullies as shown on the drawings. Spray all soil with proprietary weed killer prior to the laying of the new surface.

Car parking spaces to be marked in the new surface in white.

6.2 Boundary Fence and Walls

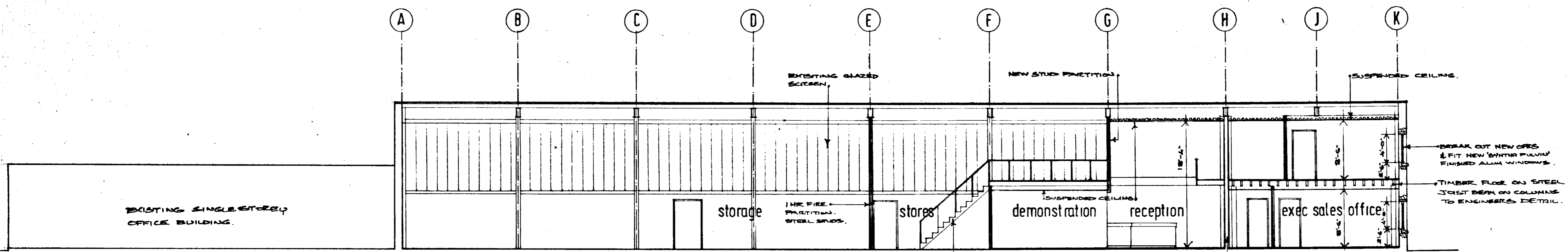
Precast concrete Kerbs will be fitted at the junction of the concrete paving with the grassed areas.

The existing fence at the side of the property to be reinstated and repaired.

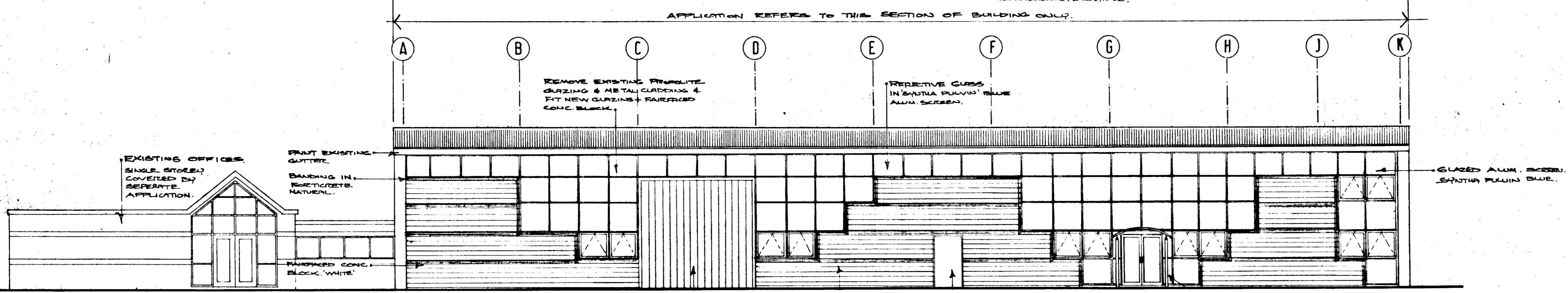
6.3 Landscaping

Beech hedging to be planted at the northern boundary of the site.

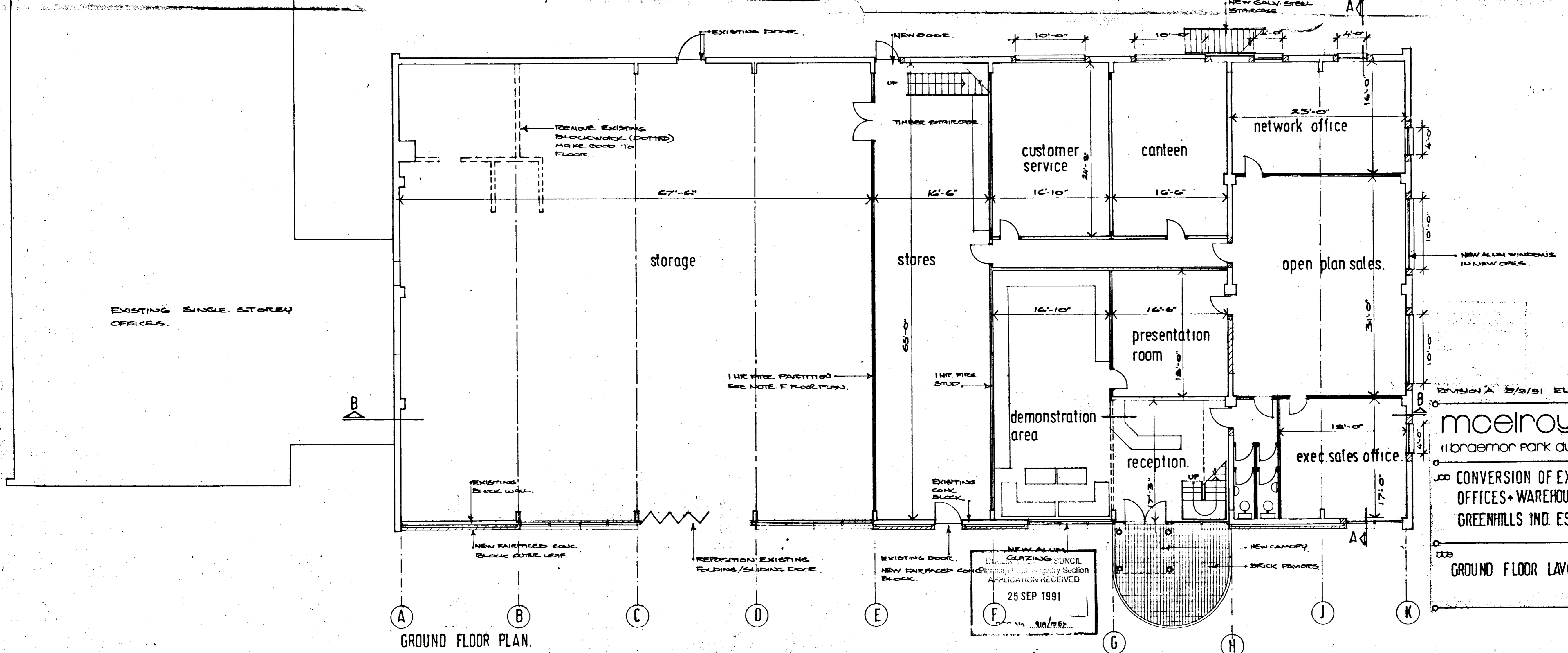
Silver birch trees to be planted in the front area adjacent to the new car parking spaces.



SECTION B-B



PROPOSED FRONT ELEVATION.



GROUND FLOOR PLAN.

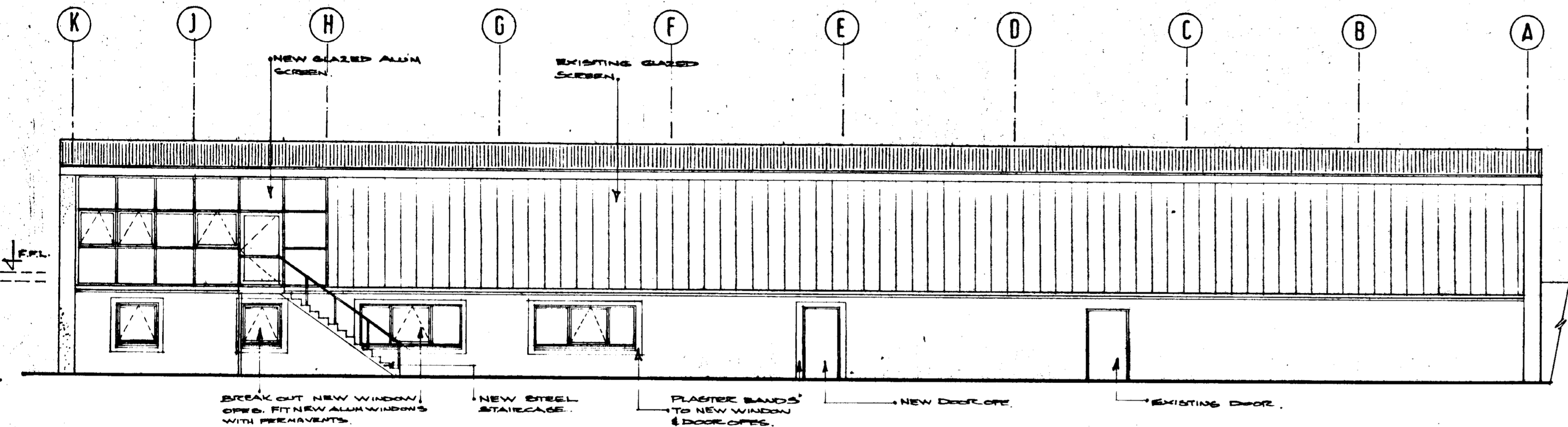
REVISION A 2/3/91 ELEV./PLAN REVISED

mcElroy architects
 11 braemor PARK dublin 14 PH 979759 FAX 978932

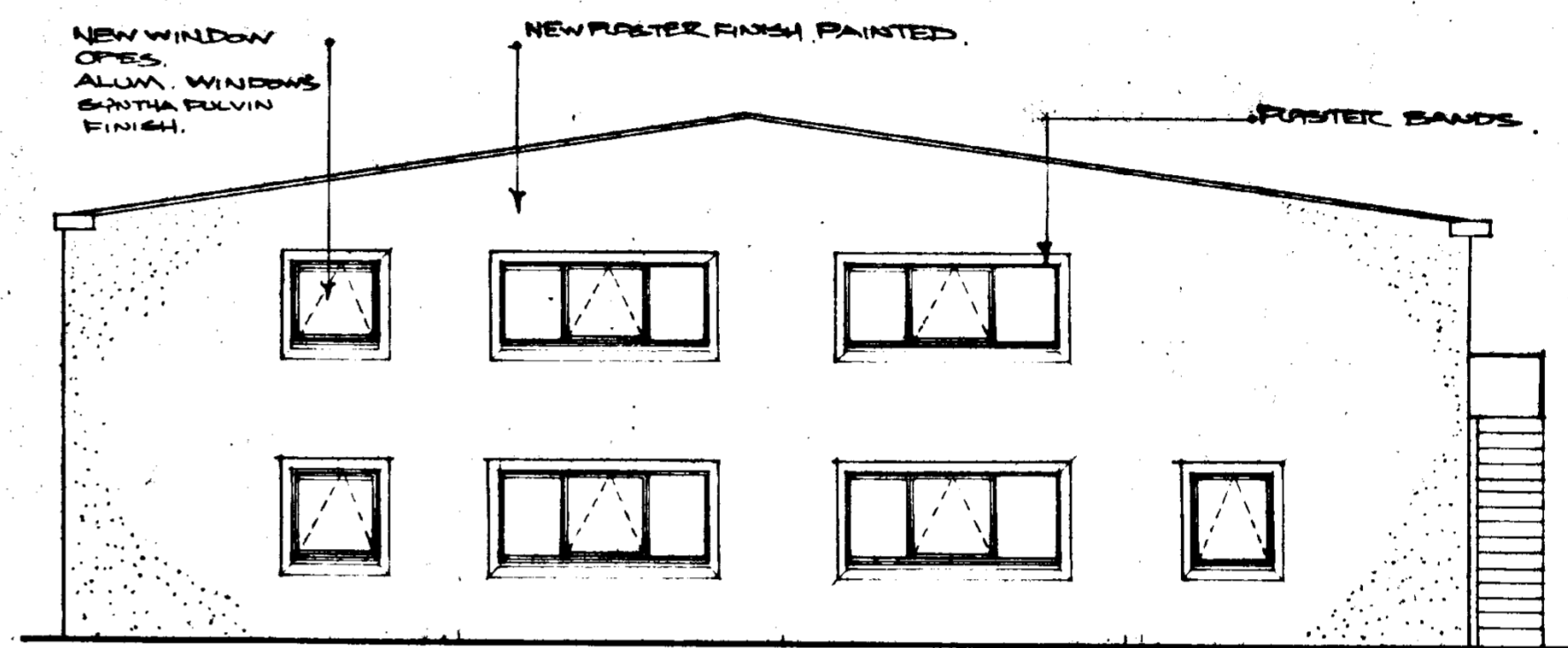
JOB CONVERSION OF EXISTING WAREHOUSE TO OFFICES + WAREHOUSE AMTON RD GREENHILLS IND. ESTATE TALLAGHT

GROUND FLOOR LAYOUT, ELEVATION

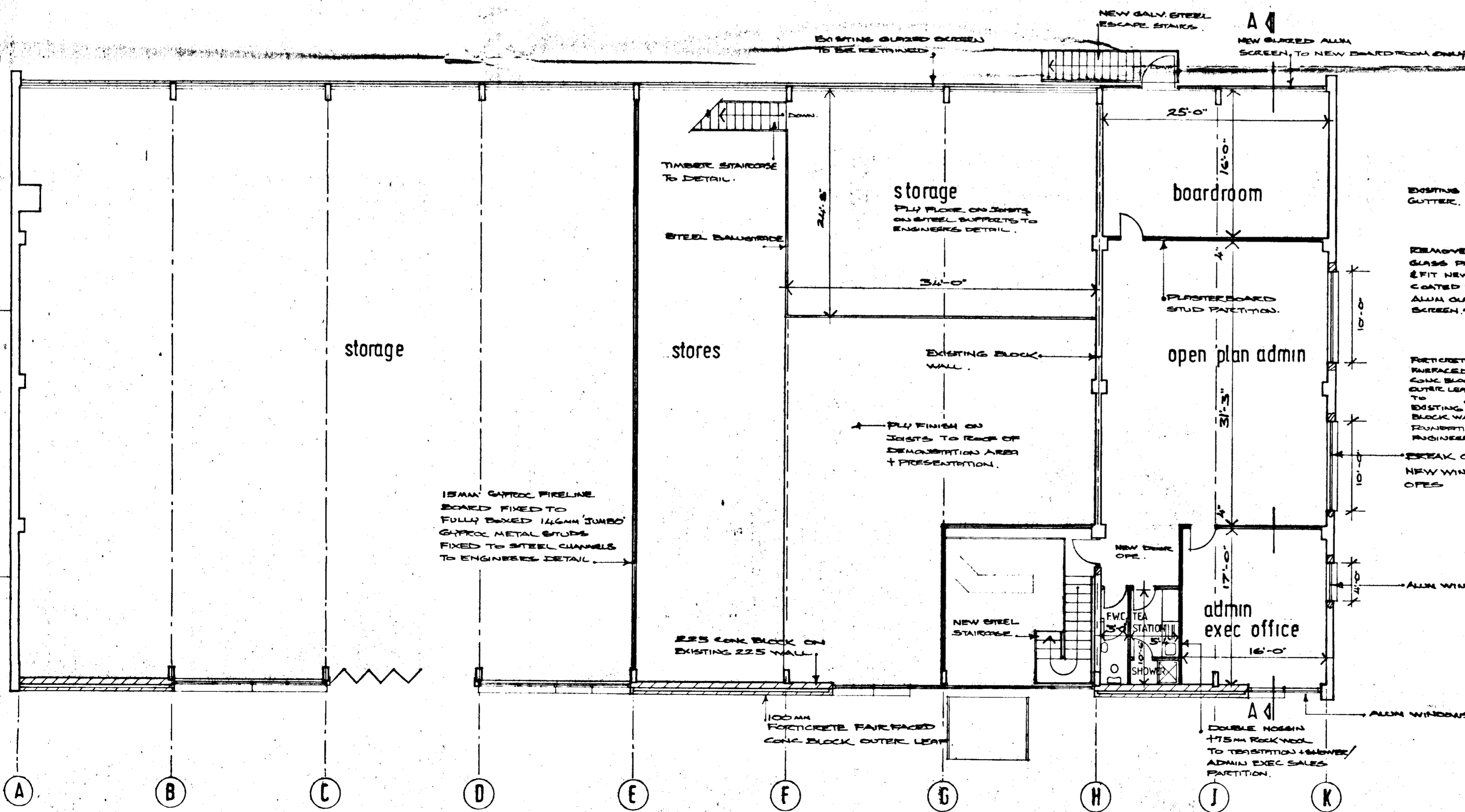
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| orig no | 91-31-1A |
| 8009 | 1/8" = 1'-0" |
| 0009 | 0009 |
| | SEP 91 |



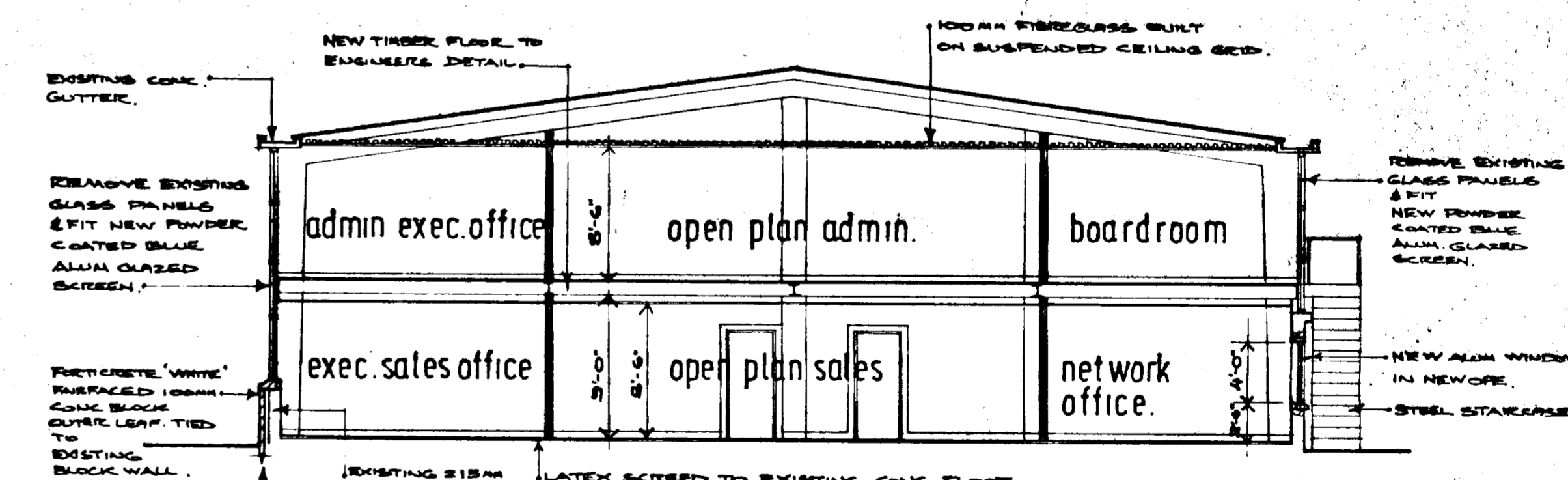
REAR ELEVATION.



SIDE ELEVATION



FIRST FLOOR PLAN.



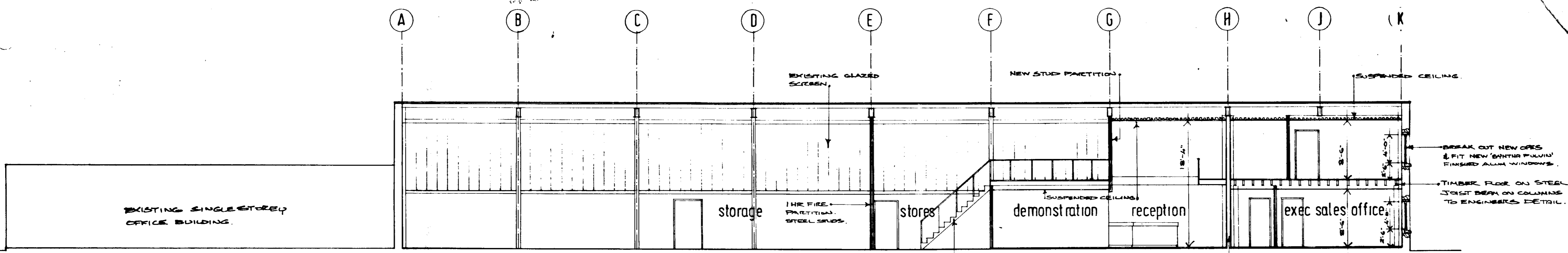
SECTION A-A.

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 25 SEP 1991
 REG No. .../1991...

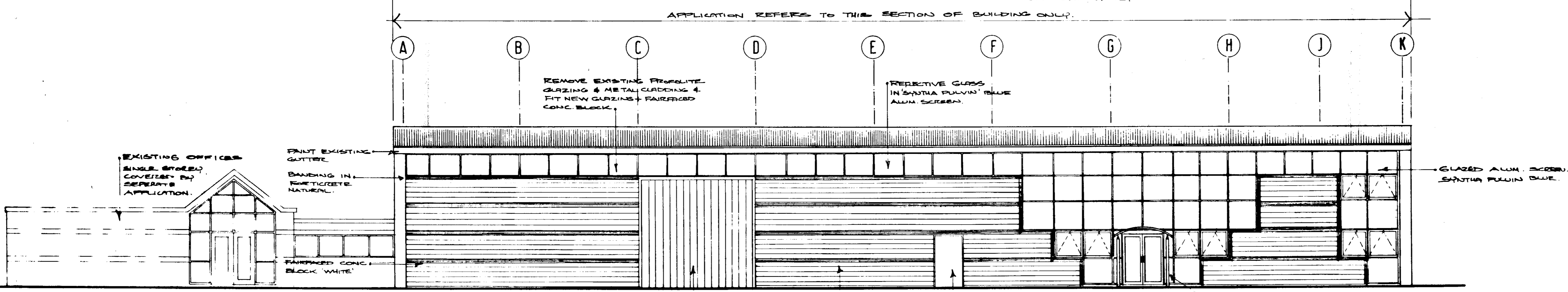
mcelroy architects
 11 braemor park dublin 14 PH 979759 FAX 978932

CONVERSION OF EXISTING WAREHOUSE TO OFFICES + WAREHOUSE AT AIRTON RD GREENHILLS IND. ESTATE TALLAGHT.

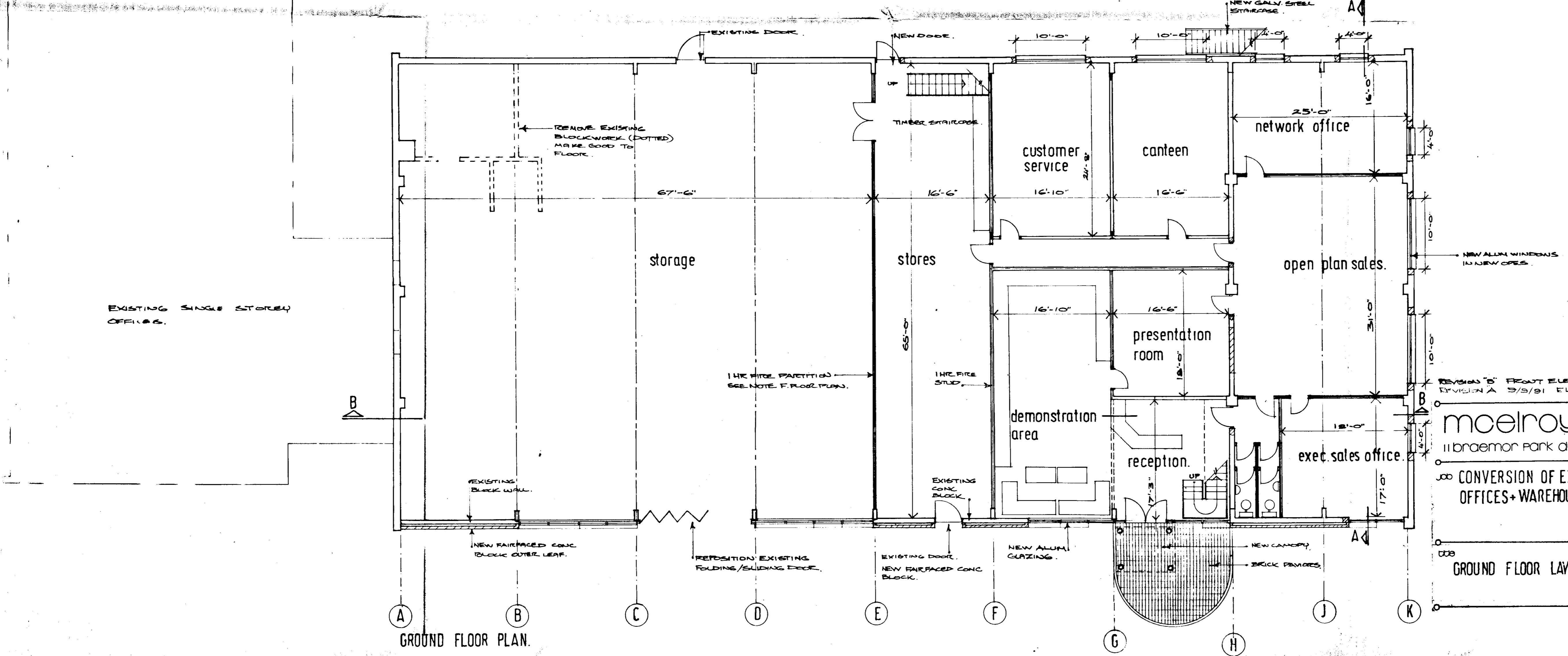
| | | |
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| FIRST FLOOR LAYOUT ELEVATIONS | 0000 | 91-31-2 |
| SECTION. | 8000 | 1/8" = 1'-0" |
| | 0000 | SEPT 91 |



SECTION B-B



PROPOSED FRONT ELEVATION.



GROUND FLOOR PLAN.

DUBLIN COUNTY COUNCIL
 Planning Dept. Application
 APPLICATION RECEIVED
 30 OCT 1991
 REC No. 91A/1591

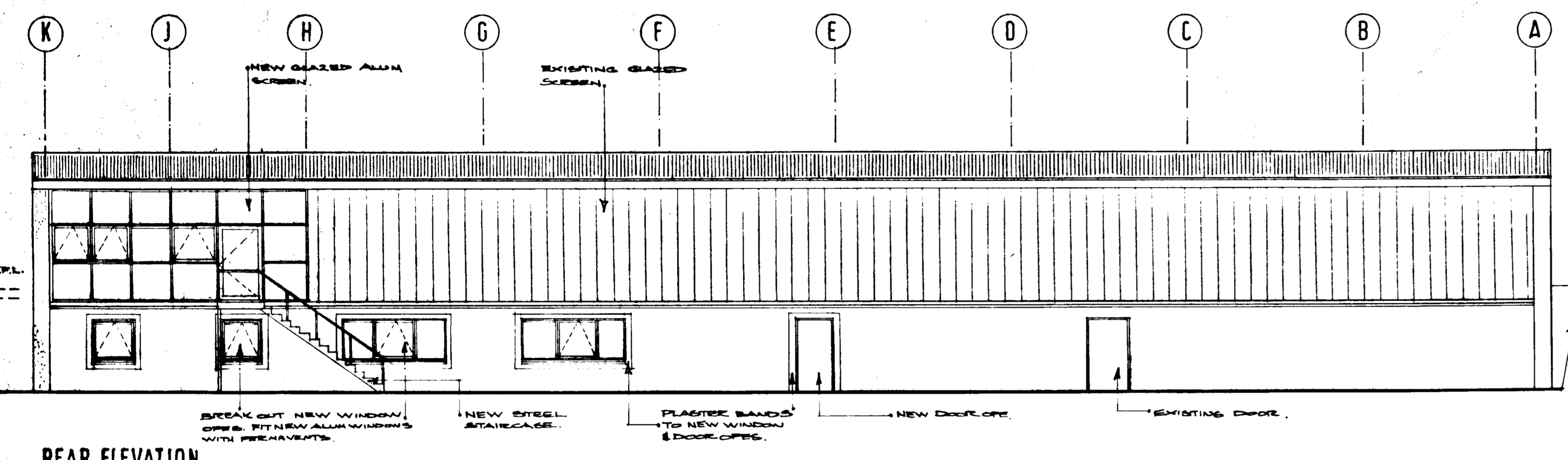
REVISION B FRONT ELEVATION REVISED 16/10/91
 REVISION A 3/9/91 ELEV/PLAN REVISED

mcelroy architects
 11 braemar park dublin 14 Ph 979759 FAX 978932

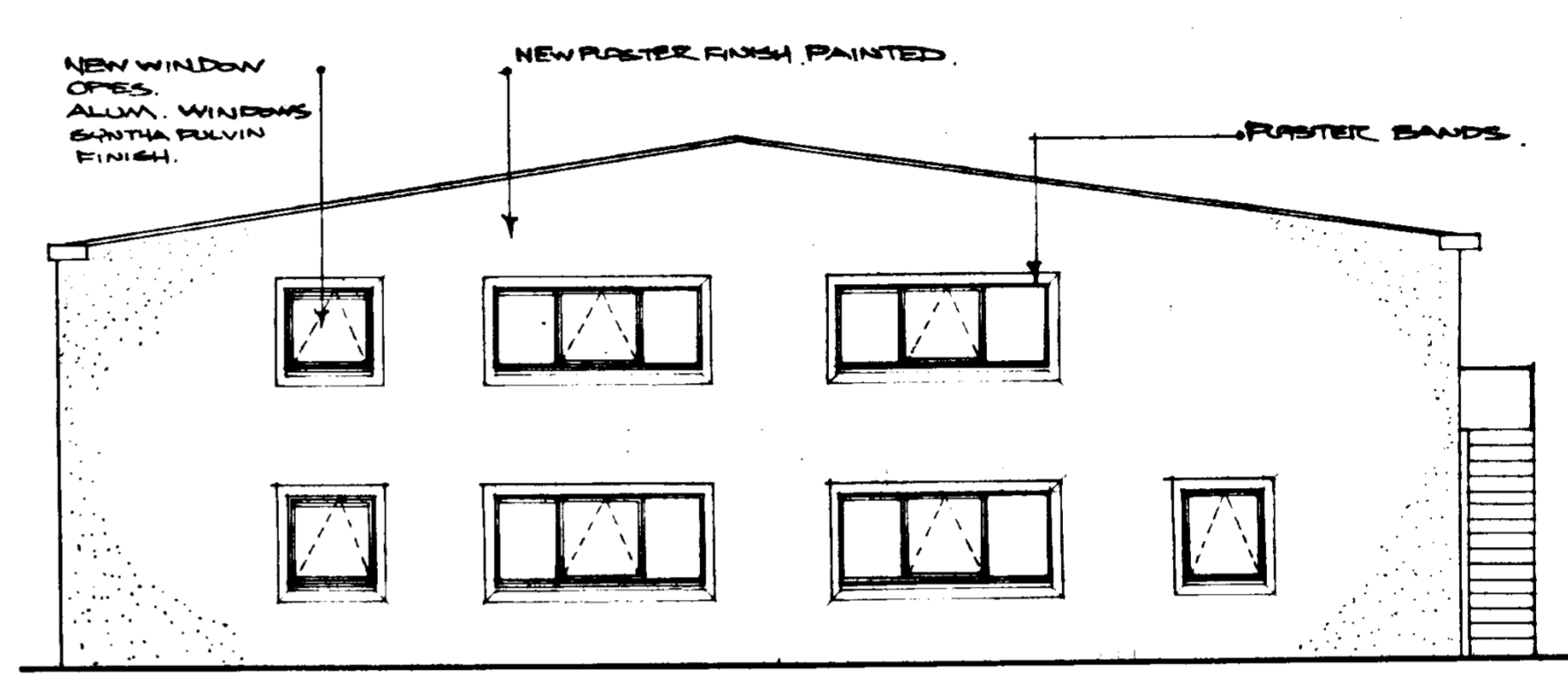
JOB CONVERSION OF EXISTING WAREHOUSE TO
 OFFICES + WAREHOUSE AIRTON RD
 TALLAGHT

GROUND FLOOR LAYOUT. ELEVATION

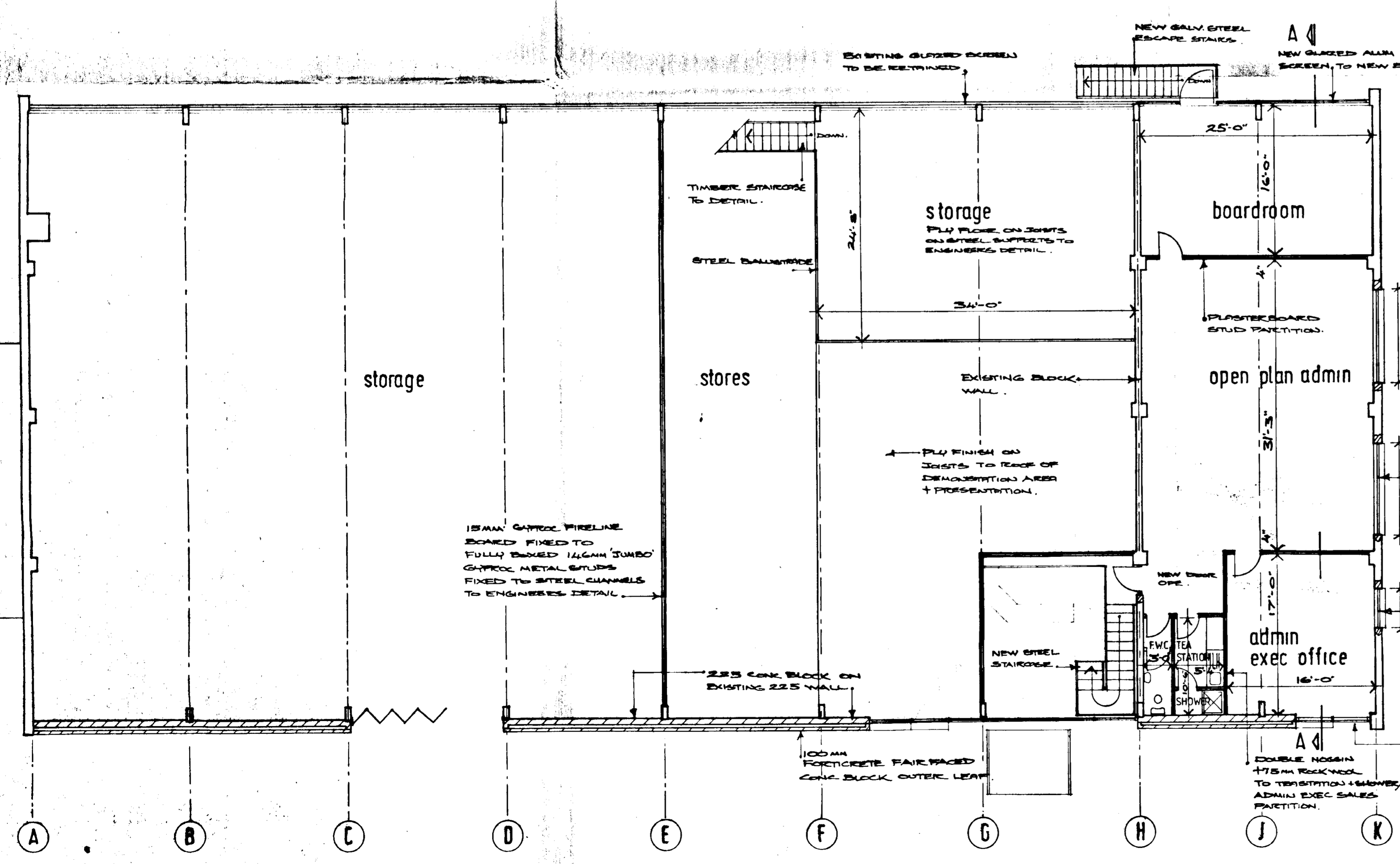
org no
91-31-1.B
 8006 1/8" = 1'-0"
 0008 6/27/91



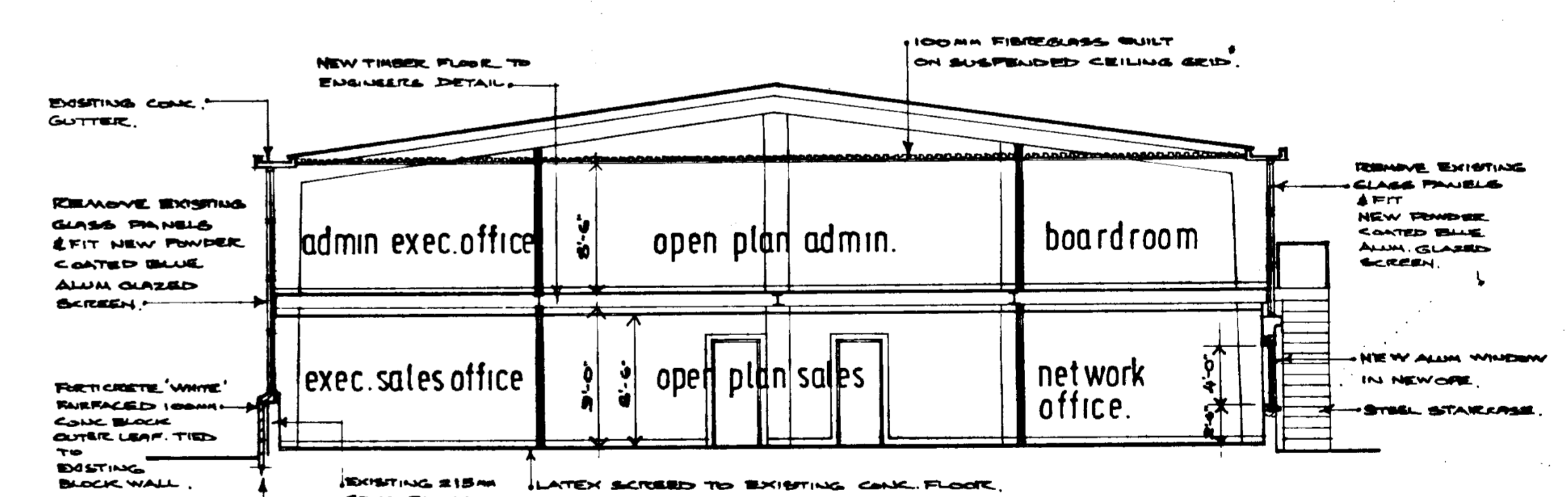
REAR ELEVATION.



SIDE ELEVATION



FIRST FLOOR PLAN.



SECTION A-A.

DUBLIN COUNTY COUNCIL
 Building Dept. Section 1
 REF: 91/1554
 30 OCT 1991
 REG No. 91/1554

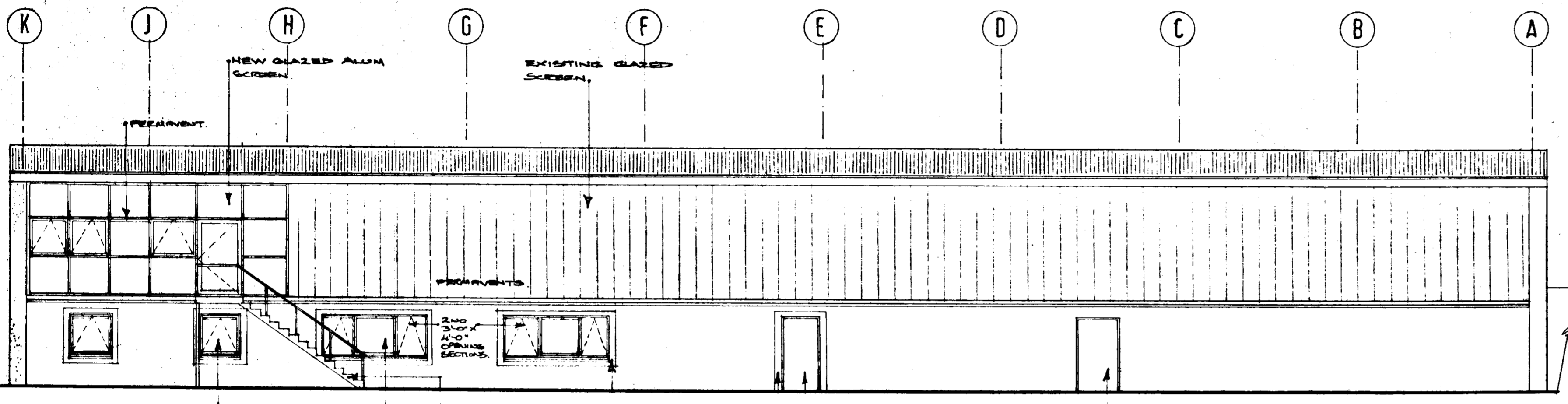
23/08/91 REVISION A. CURZING REMOVED AT FOLDING DOOR.

moelroy architects
 11 braemar Park dublin 14 Ph 979759 Fax 978932

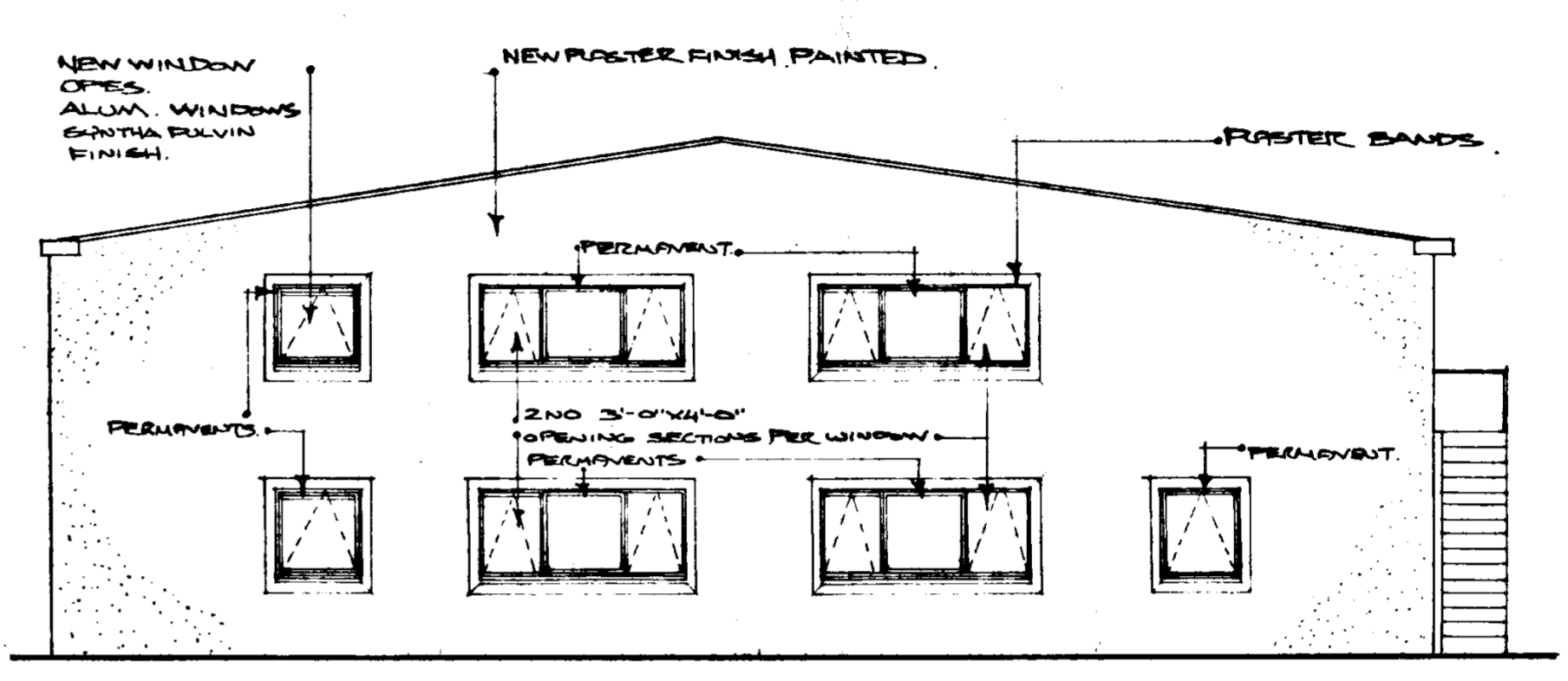
CONVERSION OF EXISTING WAREHOUSE TO
 OFFICES + WAREHOUSE AT AIRTON RD
 GREENHILLS IND. ESTATE TALLAGHT.

FIRST FLOOR LAYOUT. ELEVATIONS
 SECTION.

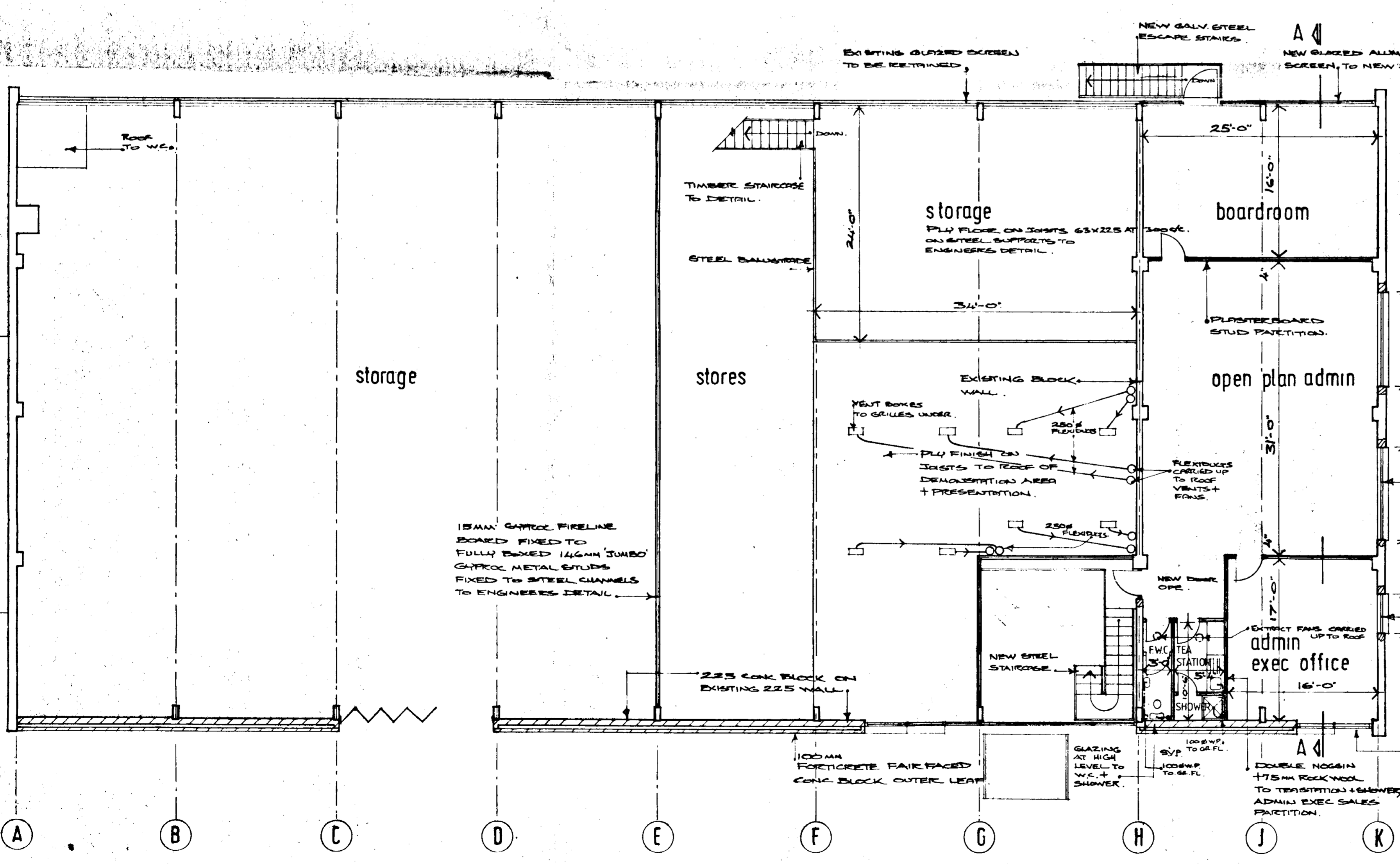
org no 91-31-2A
 scale 1/8" = 1'-0"
 date SEPT 91



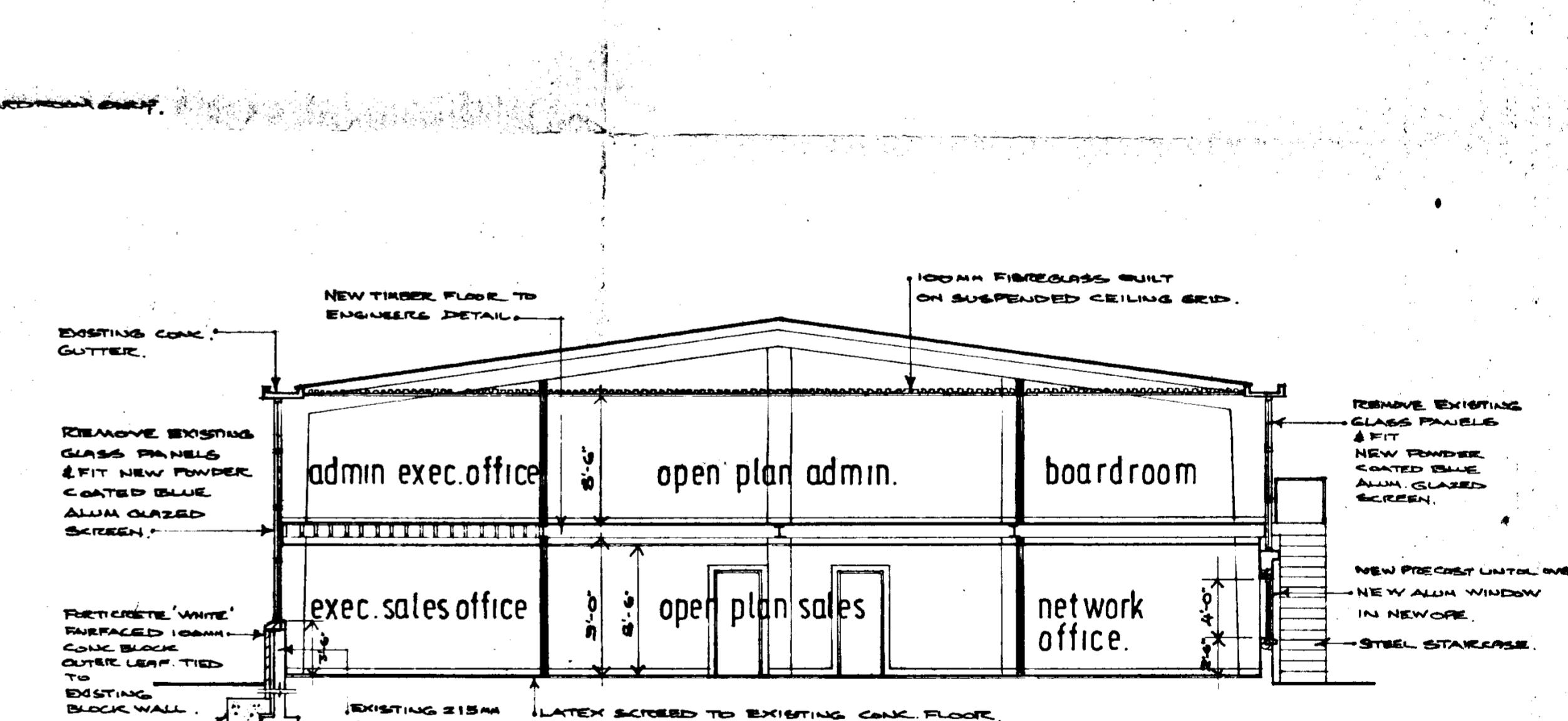
REAR ELEVATION.



SIDE ELEVATION



FIRST FLOOR PLAN.



SECTION A-A.

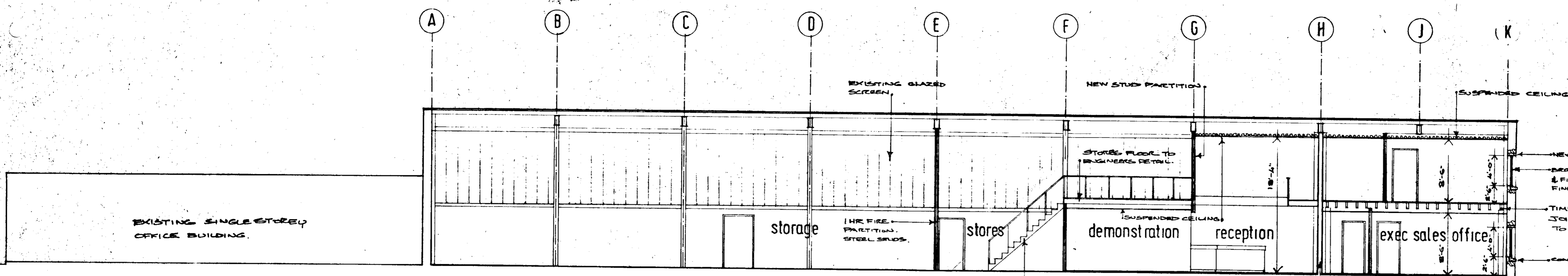
DUBLIN CITY COUNCIL
Planning Department
APPLICATION RECEIVED
19 NOV 1991
REG No. 91A/55V

B. NOV 91 DRAINAGE TO SHOWER & W.C.
BLOCKS 1 REVISION A. GLAZING REQUIRED AT FOLDING DOOR.

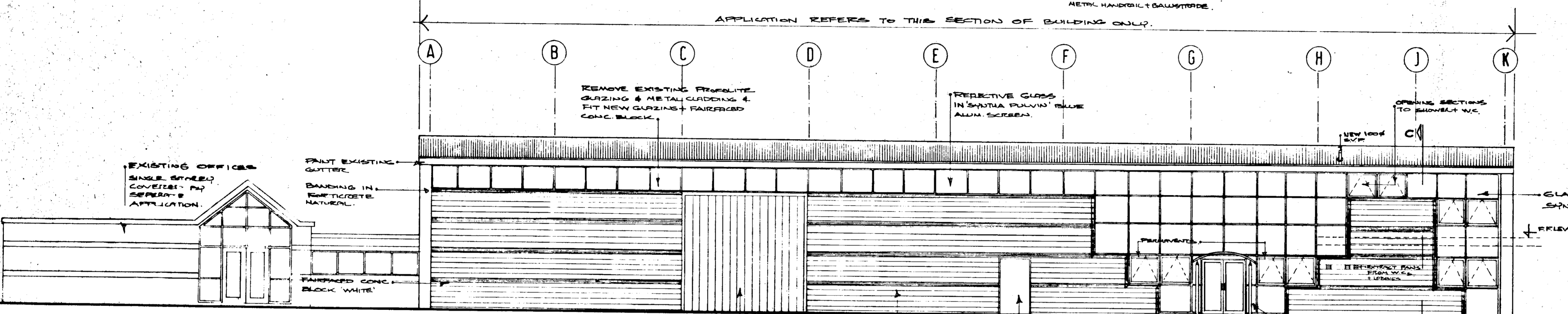
moelroy architects
11 braemar park dublin 14 PH 979759 FAX 978932

CONVERSION OF EXISTING WAREHOUSE TO OFFICES + WAREHOUSE AT AIRTON RD GREENHILLS IND. ESTATE TALLAGHT

| | | |
|---|------|--------------|
| FIRST FLOOR LAYOUT, ELEVATIONS SECTION. | 0000 | 91 31-2.F. |
| | 8008 | 1/8" = 1'-0" |
| | 0008 | SEPT 91 |

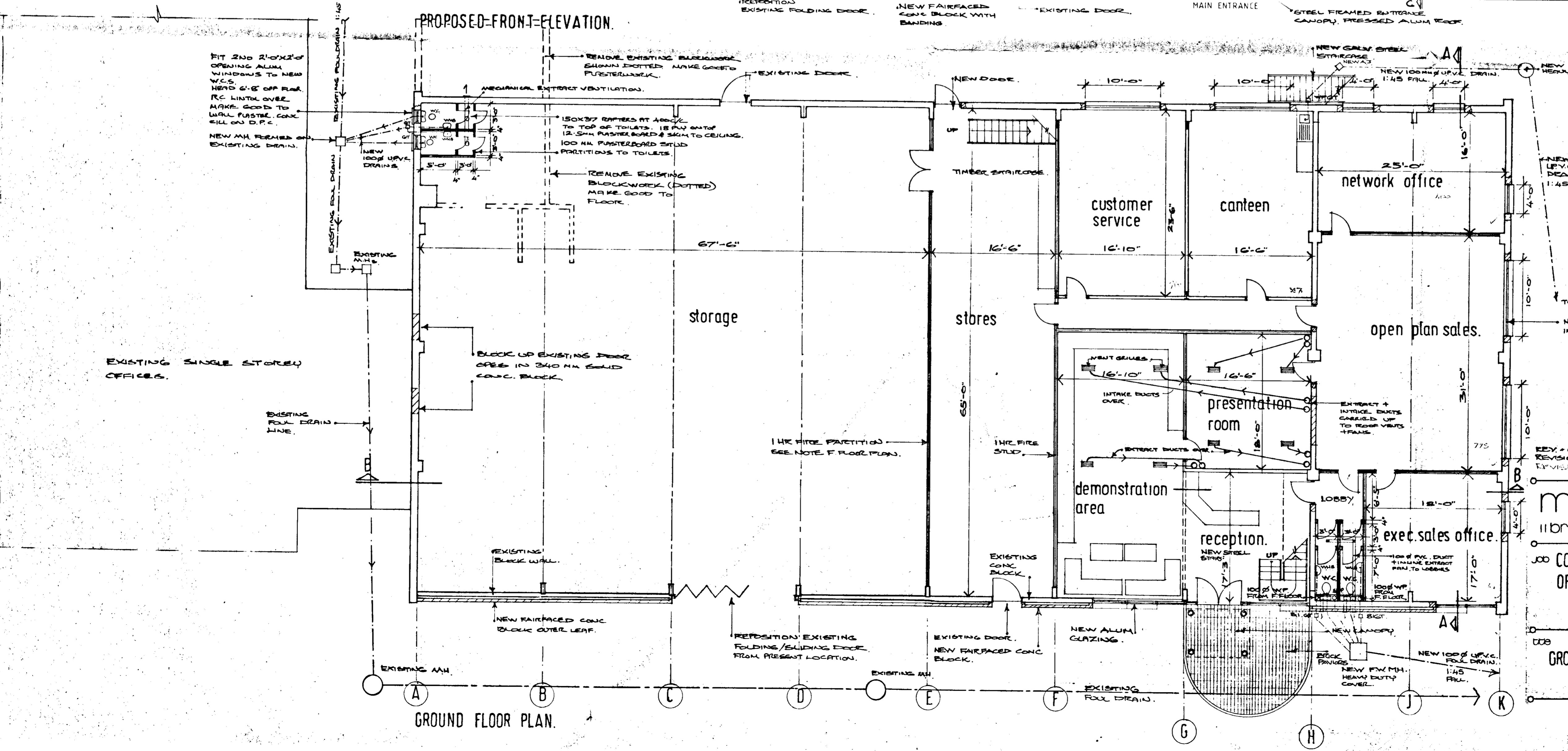


SECTION B-B



ventilation
 TOILETS - 2 AIRCHANGES PER HOUR
 TIME DELAY SWITCH.
 PRESENTATION ROOM + DEMONSTRATION AREAS - 20 AIR CHANGES PER HOUR.

drainage
 ALL DRAINS RUNNING THROUGH BUILDINGS TO BE EXCAVATED IN 6" CONC. ALL ROUND & LAID ON CONC. BED.
 ALL DRAINS TO BE BRANCHED & LAID ON A CONC. BED.
 DISCONNECT & SEAL ALL UNWANTED DRAINS.
 DRAINS THROUGH WALLS TO HAVE ADEQUATE R.S. PRECAST CONC. LINTOL OVER.



GROUND FLOOR PLAN.

DUBLIN COUNTY COUNCIL
 Planning & Property Section
 APPROVAL RECEIVED
 9 NOV 1991
 REG No 919 1534
 18/04/91

mcelroy architects
 11 braemor park dublin 14 PH 979759 FAX 978932
 JOB CONVERSION OF EXISTING WAREHOUSE TO OFFICES + WAREHOUSE AIRTON RD TALLAGHT

DBB
GROUND FLOOR LAYOUT ELEVATION
 org no 9131-1.c
 8008 1/8" = 1'-0"
 0008 SEP 91