

CN-9454

Record of Executive Business and Manager's Orders

PL 6/5/85822

P/211/92

FINANCIAL CONTRIBUTION:-	
AMOUNT £	
F	

Standard  
£1500

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Security  
ousted by  
an order  
*[Signature]*

Planning Register Reference Number: 91A/309

APPEAL by Knocklyon Community Council of 70 Lansdowne Park, Knocklyon, Dublin against the decision made on the 7th day of May, 1991 by the Council of the County of Dublin to grant subject to conditions a permission to Tony O'Donoghue care of Manahan and Associates of 38 Dawson Street, Dublin for development comprising the construction of two two-storey detached dwellings on site to the side of "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road, Dublin in accordance with plans and particulars lodged with the said Council:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, it is hereby decided, for the reason set out in the First Schedule hereto, to grant permission for the said development in accordance with the said plans and particulars, subject to the conditions specified in the Second Schedule hereto, the reasons for the imposition of the said conditions being as set out in the said Second Schedule and the said permission is hereby granted subject to the said conditions.

FIRST SCHEDULE

It is considered that, subject to compliance with the conditions set out in the Second Schedule hereto, the proposed development would be in accordance with the proper planning and development of the area.

SECOND SCHEDULE

- The design and construction of the site entrance, front boundary wall and treatment of the area in between the new front boundary wall and the roadside kerb shall be in accordance with the detailed requirements of the planning authority.

Reason: In the interest of visual amenity and traffic safety.

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SECOND SCHEDULE (CONTD.)

- 2. The developer shall pay a sum of money to Dublin County as a contribution towards expenditure incurred by the said Council in the provision of a water supply and sewerage facilities which will facilitate the proposed development. The amount of the contribution and the arrangements for payment shall be as agreed between the developer and the Council or, in default of agreement, shall be determined by An Bord Pleanála.

**Reason:** It is considered reasonable that the developer should contribute towards the expenditure incurred by the Council in the provision of a water supply and sewerage facilities which facilitate the proposed development.



*Ann Cow. Quinn*

Member of An Bord Pleanála duly  
authorised to authenticate the  
seal of the Board.

Dated this 6<sup>th</sup> day of November, 1991.

Contd/.....

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AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/309

With regard to condition no. 2 the financial contribution towards cost of providing a public water and piped draining is assessed at £1,500.

Order Noted:	L.D.
Dated:	7 <sup>th</sup> <del>1991</del> 1992 17 <sup>th</sup> 1992
ASST. COUNTY MANAGER	
to whom the appropriate powers have been delegated by order of the Dublin City and County Manager.	
Dated	10 <sup>th</sup> day of FEBRUARY 1992

COMHAIRLE CHONTAE ATHA CLIATH

TO: M. O'Shee,  
Executive Planner.

REG. REF. 91A/0309

RE: Proposed construction of 2 no. two storey detached dwellings on site to the side of "Sarafand", Knocklyon Road, with new shared access onto Knocklyon Road for Mr. T. O'Donoghue.

I attach for your observations memo/letter dated 4th & 5th June, 1991 from An Bord Pleanala.

Please reply before: 10th July, 1991

S. McMillan  
for Principal Officer

DATED: 21 June 1991

OBSERVATIONS:

no further comments to make  
NOT ISSUED

Signature of person making observations: M O'Shee

Countersigned: R. Cremius SEP  
(S.E.D.C.)

DATE: 16/8/91

DATE: 14.8.91

DUBLIN COUNTY COUNCIL

REG. REF: 91A/309.  
LOCATION: Sarafand", Knocklyon Rd.  
APPLICANT: T. O'Donoghue.  
PROPOSAL: 2 no. two storey dwellings.  
DATE LODGED: 8.3.91.



This application is for full permission for 2 no. <sup>two</sup> storey detached dwellings at "Sarafand", Knocklyon Road.

Two previous applications for 2 dwellings on this site with a shared access were refused by Dublin County Council and subsequently by An Bord Pleanala (Reg. Ref: 90A/1260 and 90A/224). The main reasons quoted by both Dublin County Council and by An Bord Pleanala were:-

1. It is considered that the turning movements which would be generated by the proposed development onto a substandard road with inadequate vision splays would endanger public safety by reason of a traffic hazard.
2. It is considered that the proposed development is premature pending the construction of the Knocklyon Road extension to the Templeroan roundabout.

Condition (2) may no longer be justifiable since this extension is presently under construction.

With regard to Condition (1) the applicant has submitted a land registry map of the neighbouring site directly to the east of the site in question. The map shows clearly that the portion of land over which the applicant requires, to gain adequate vision of traffic emerging from the Dargle Wood, is not under the control of his neighbour.

Therefore, the applicant can provide adequate vision at the proposed access to the west in Tallight direction and to the east both to the Dargle Wood entrance and to traffic emerging from the bend.

In any event upon completion of the <sup>Knocklyon Rd</sup> extension, this entrance to Dargle Wood <sup>would</sup> be closed and a superior horizontal alignment will be in existence.

~~If permission is being contemplated it should be subject to~~

1. A contribution of £1,850 per house towards the improvement of the existing road network and the provision of the necessary road infrastructure in the immediate area that will be of benefit to the development.

Contd./.....

2. Any roadside drains interfered with shall be fully re-instated and shall where necessary be culverted with pipes of adequate size and strength.
3. The gradient of the access shall not exceed 2.5% over the last 6 metres of approach to the public road.
4. The boundary shall be set back 3 metres from the edge of the existing carriageway. Entrance gate to be recessed a further 1.5 metres from the new boundary with wing walls splayed at 45°. Strip between edge of carriageway and new boundary to be levelled and grassed to County Council standards. Entrance gate to be located to the satisfaction of Roads Department.
5. Parking for 2 cars to be provided within curtilage of site with turning area.
6. Footpath and kerb to be dished to satisfaction of the Area Engineer, (Roads Maintenance).
7. All works to be carried out prior to the house being occupied.
8. All work to be carried out at the applicant's expense according to the Specification and Conditions of Dublin County Council.

**PLANNING DEPT.**  
**DEVELOPMENT CONTROL SECT.**  
 Date ..... 27/05/91 .....  
 Time ..... 9.30 A.M. ....

MA/BMcC  
29.4.91.

SIGNED: E. Wadden  
 DATE: 29<sup>th</sup> April '91

ENDORSED: [Signature]  
 DATE: 29/4/91

Dublin County Council Comhairle Chontae Atha Cliath

Engineering Department  
Roads Section



Bosca 174  
P. O. Box 174  
46 / 49 Sraid O'Connell Uacht,  
46 / 49 Upper O'Connell Street,  
Baile Atha Cliath  
Dublin 1.  
Telephone: (01)727777  
Fax: (01) 727434

F A X T R A N S M I S S I O N

Our Ref.  
Your Ref.  
Date

DATE: 5 . 5 . 91

TIME: \_\_\_\_\_

FROM: Maura Murphy

TO: Ian Tobin

No. of Pages to Follow: \_\_\_\_\_

Comments: \_\_\_\_\_

\_\_\_\_\_

DUBLIN COUNTY COUNCIL

REG. REF: 91/A/309  
 LOCATION: On site to the side of Sarfaand, Knocklyon Road  
 APPLICANT: T. O'Donoghue.  
 PROPOSAL: Construction of 2 no. two storey detached dwellings  
 DATE LODGED: 8th March, 1991.

Addendum to report on 91/A/309

From inspections of planning control maps which show the lands in question as part of e-w Knocklyon Road realignment and inspection of land registry maps (encl in lodged plans) which concurs with above. It would seem unreasonable to assume that the lands over which the lands over which the required sight lines pass are other than a road reservation in the ownership of the original developer.

In the event of the Knocklyon Road e-w realignment not taking place these lands would be required for sight lines at the existing "temporary" connection.

I would recommend that in the event of permission being granted a condition requiring sight lines to be provided as per drg. No. 07 in the lodged plans be included to specifically cater for this.

EM/MM 3/5/91.

SIGNED: \_\_\_\_\_

DATE: \_\_\_\_\_

ENDORSED: *E. W. O'Brien*DATE: *3rd May '91*





Bosca 174  
P. O. Box 174  
5 Rae Gardinar,  
5 Gardiner Row,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)727777  
Fax. (01)727530

Mr. D. Drumgoole,  
Senior Administrative Officer,  
Planning Department,  
Dublin County Council.

Our Ref. PP 595  
Your Ref.  
Date 10/4/1991

*MAS*

Re: Application for 2 No. houses on site adjacent  
to 'Sarafand', Knocklyon Road  
Reg. Ref. 91A/309

With reference to this application, the Parks Department's  
comments are;

The applicant has not provided any public open space in  
accordance with the 1983 Development Plan Standards. The  
applicant should, therefore, be requested to submit  
additional information on how it is proposed to meet these  
requirements. Alternatively the applicant should be  
requested to pay a financial contribution of £1,000 per site  
towards the cost of provision and development of the open  
spaces in this area.

The tree survey and landscape plan lodged with this  
application are acceptable to this Department except  
for the use of *Griselinia littoralis* on the northern  
boundary. In this regard, the applicant should be  
requested to discuss alternatives with this Department.

*Lucaignu*

SENIOR PARKS SUPERINTENDENT

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date ... 15.4.91 .....
Time: ..... 12:00 .....

- 2. Any roadside drains interfered with shall be fully re-instated and shall where necessary be culverted with pipes of adequate size and strength.
- 3. The gradient of the access shall not exceed 2.5% over the last 6 metres of approach to the public road.
- 4. The boundary shall be set back 3 metres from the edge of the existing carriageway. Entrance gate to be recessed a further 1.5 metres from the new boundary with wing walls splayed at 45. Strip between edge of carriageway and new boundary to be levelled and grassed to County Council standards. Entrance gate to be located to the satisfaction of Roads Department.
- 5. Parking for 2 cars to be provided within curtilage of site with turning area.
- 6. Footpath and kerb to be dished to satisfaction of the Area Engineer, (Roads Maintenance).
- 7. All works to be carried out prior to the house being occupied.
- 8. All work to be carried out at the applicant's expense according to the Specification and Conditions of Dublin County Council.

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT

Date ..... 29.4.91 .....  
Time ..... 3.50 .....

MA/BMcC  
29.4.91.

SIGNED: E. Wadden  
DATE: 29<sup>th</sup> April '91

ENDORSED: [Signature]  
DATE: 29/4/91

DUBLIN COUNTY COUNCIL

REG. REF: 91A/309.  
 LOCATION: Sarafand", Knocklyon Rd.  
 APPLICANT: T. O'Donoghue.  
 PROPOSAL: 2 no. two storey dwellings.  
 DATE LODGED: 8.3.91.

<b>PLANNING DEPT.</b>	
<b>DEVELOPMENT CONTROL SECT</b>	
Date .....	29.4.91
Time .....	3.50

MOS.

This application is for full permission for 2 <sup>two</sup> no. <sup>1</sup> storey detached dwellings at "Sarafand", Knocklyon Road.

Two previous applications for 2 dwellings on this site with a shared access were refused by Dublin County Council and subsequently by An Bord Pleanala (Reg. Ref: 90A/1260 and 90A/224). The main reasons quoted by both Dublin County Council and by An Bord Pleanala were:-

1. It is considered that the turning movements which would be generated by the proposed development onto a substandard road with inadequate vision splays would endanger public safety by reason of a traffic hazard.
2. It is considered that the proposed development is premature pending the construction of the Knocklyon Road extension to the Templeroan roundabout.

Condition (2) may no longer be justifiable since this extension is presently under construction.

With regard to Condition (1) the applicant has submitted a land registry map of the neighbouring site directly to the east of the site in question. The map shows clearly that the portion of land over which the applicant requires, to gain adequate vision of traffic emerging from the Dargle Wood, is not under the control of his neighbour.

Therefore, the applicant can provide adequate vision at the proposed access to the west in Talight direction and to the east both to the Dargle Wood entrance and to traffic emerging from the bend.

In any event upon completion of the <sup>Knocklyon Rd</sup> extension, this entrance to Dargle Wood <sup>would</sup> be closed and a superior horizontal alignment will be in existence.  
~~If permission is being contemplated it should be subject to~~

1. A contribution of £1,850 per house towards the improvement of the existing road network and the provision of the necessary road infrastructure in the immediate area that will be of benefit to the development.

Contd./....

DUBLIN COUNTY COUNCIL

REG. REF: 91A/309.  
 LOCATION: Sarafand", Knocklyon Rd.  
 APPLICANT: T. O'Donoghue.  
 PROPOSAL: 2 no. two storey dwellings.  
 DATE LODGED: 8.3.91.

<b>PLANNING DEPT.</b>	
<b>DEVELOPMENT CONTROL SECT</b>	
Date .....	29.4.91
Time .....	3.50

MOS.

This application is for full permission for 2 <sup>two</sup> no. storey detached dwellings at "Sarafand", Knocklyon Road.

Two previous applications for 2 dwellings on this site with a shared access were refused by Dublin County Council and subsequently by An Bord Pleanala (Reg. Ref: 90A/1260 and 90A/224). The main reasons quoted by both Dublin County Council and by An Bord Pleanala were:-

1. It is considered that the turning movements which would be generated by the proposed development onto a substandard road with inadequate vision splays would endanger public safety by reason of a traffic hazard.
2. It is considered that the proposed development is premature pending the construction of the Knocklyon Road extension to the Templemoan roundabout.

Condition (2) may no longer be justifiable since this extension is presently under construction.

With regard to Condition (1) the applicant has submitted a land registry map of the neighbouring site directly to the east of the site in question. The map shows clearly that the portion of land over which the applicant requires, to gain adequate vision of traffic emerging from the Dargle Wood, is not under the control of his neighbour.

Therefore, the applicant can provide adequate vision at the proposed access to the west in Tallight direction and to the east both to the Dargle Wood entrance and to traffic emerging from the bend.

In any event upon completion of the <sup>Knocklyon Rd</sup> extension, this entrance to Dargle Wood ~~will~~ be closed and a superior horizontal alignment will be in existence.

If permission is being contemplated it should be subject to

1. A contribution of £1,850 per house towards the improvement of the existing road network and the provision of the necessary road infrastructure in the immediate area that will be of benefit to the development.

Contd./....



COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Ad 1500
Feb 1500
1500
S Sers
Open Space
Owner
SECURITY
1500
1500

Proposed construction of 2 no. two storey detached dwellings on site to the side of "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road for Mr. T. O'Donoghue

Anthony Manahan & Associates,  
"Fountain House",  
55, Main Street,  
Rathfarnham,  
Dublin 14.

Reg. Ref. 91A-0309  
Appl. Rec'd: 08.03.1991  
Floor Area: 118.26 sq. m. x 2  
Site Area: 0.30 acres approx.  
Zoning:

Report of the Dublin Planning Officer, dated 6 May 1991

This is an application for PERMISSION. The proposed development is for 2 no. two storey houses on site to the side of "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road. The applicant is Mr. T. O'Donoghue who is stated to have a freehold interest in the site.

There have been 2 previous applications and refusals on this site.

Reg. Ref. 90A-0224: Permission was refused by Dublin County Council and subsequently on appeal to An Bord Pleanala for the construction of 2 no. two storey detached dwellings on the site.

Reg. Ref. 90A-1260: Permission was refused by Dublin County Council and subsequently on appeal to An Bord Pleanala (order dated 22nd February, 1991) for the erection of 2 two storey detached dwellings on this site.

The reason for refusal was

"The proposed development would generate additional turning movements at a substandard access onto the Knocklyon Road. The applicant has not shown that adequate vision splays can be provided at the proposed entrance in accordance with the requirements of the Roads Department either within his site or on the adjoining public road and, therefore, it is considered that the proposed development would endanger public safety by reason of a traffic hazard."

The present application is very similar to that submitted under Reg. Ref. 90A-1260. The applicant in the two earlier applications was a Mr. J. Foley.

In this application it is maintained that adequate vision splays can be provided at the proposed entrance in accordance with the requirements of the Planning Authority. The applicant has submitted, as part of this application, a land registry title map for 113, Dargle Wood which the applicant maintains shows that the grass verge to the east of the site and through which sight lines are shown is not part

(Continued)

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed construction of 2 no. two storey detached dwellings on site to the side of "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road for Mr. T. O'Donoghue

(Continued)

of the site of No. 113, Dargle Wood. Drawing No. D 125/55 submitted as part of this application shows that there is a surface water drain and foul sewer running through this grass verge.

The proposed house types on the site are the same as those proposed in the earlier application lodged under Reg. Ref. 91A-1260.

The houses have been designed as dormer bungalows so as to eliminate the possibility of any overlooking of adjoining properties. There are no windows at first floor level in the eastern elevation. Velux roof lights are proposed in the rear elevation to serve the bedrooms nos. 3 and 4, as well as the bathroom and landing.

The proposed house on the eastern part of the site has been relocated slightly on site, so that a distance of 2.5 metres is maintained between it and the eastern boundary of the site.

The applicant has also submitted a tree survey of the site with particular reference to the eastern boundary of the site, together with landscaping proposals.

It is proposed to remove 2 no. trees on this boundary which are unsuitable for retention, to undertake replacement tree planting on this boundary as well as to reinforce the existing hedgerow by additional planting (46 no. CRATAEGUS MONOGYNA).

The site is zoned 'A' in the 1983 County Development Plan where it is the objective of the Planning Authority "to protect and/or improve residential amenity".

The site is stated to be 0.3 acres in area. "Sarafand" and adjoining dwellings on Knocklyon Road are set on large sites but adjoining development at the Rookery and Dargle Wood have densities of between 6 and 8 houses to the acre. Houses in the vicinity of the site fronting onto Knocklyon Road vary greatly in design and are either single storey or split level.

The southern and eastern boundaries of the site are defined by a band of high hedgerows and trees which presently screen the site from adjoining lands. It is also noted that there is a band of fir trees just inside the western boundary of the adjoining site to the east for most of its length (i.e. no. 113, Dargle Wood).

The Roads report dated 29th April, 1991, states that the land registry map submitted as part of this application shows clearly that the portion of land over which the applicant requires to gain adequate

(Continued)

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed construction of 2 no. two storey detached dwellings on site to the side of "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road for Mr. T. O'Donoghue

(Continued)

vision of traffic emerging from Dargle Wood is not under the *control* of his neighbour. It notes that the applicant can provide adequate vision to both the west and east of the site. Conditions are noted which the Roads department recommend should be attached in the event of a grant of permission being contemplated.

The Parks report dated 10th April, 1991, states that the tree survey and landscape plan lodged with this are acceptable subject to details being agreed.

The sanitary services report dated 24th October, 1990, on the earlier application (re 90A-1260) has been noted.

There have been letters of objection received in relation to this application. One of the letters is from an adjoining property owner who questions the applicant's ability to provide the sight lines shown and who maintains that the northern boundary of his <sup>own</sup> site is formed by the back of the footpath. The objector states that he has recently built a wall at this location. (I noted while on site that the wall in question has been built approx. 6-12" from the back of the footpath). The objector states that the map submitted as part of the application is not a legal document.

A supplementary roads report dated 3rd May, 1991, on this application states that from inspections of the planning control maps which show the lands in question as part of the E-W Knocklyon Road alignment and inspection of the Land Registry map submitted as part of this application, it would seem unreasonable to assume that the lands over which the required sight lines pass are other than a road reservation in the ownership of the original developer. The report goes on to say that in the event of the Knocklyon Road E-W realignment not taking place these lands would be required for sight lines at the existing "temporary" connection. The roads engineers recommend that in the event of permission being granted a condition requiring sight lines to be provided as per drawing 07 be included.

The proposed development of two houses on this site is considered acceptable from a planning point of view. It will not adversely affect the residential amenities enjoyed by property owners in the vicinity of the site. The houses have been designed so as to eliminate the possibility of overlooking. The proposed landscaping scheme together with the existence of tall trees on the adjoining site to the east will ensure that the proposed development will not be visually obtrusive when viewed from neighbouring properties.

(Continued)



# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed construction of 2 no. two storey detached dwellings on site to the side of "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road for Mr. T. O'Donoghue

(Continued)

The proposed development is considered acceptable from a planning point of view. Permission should be granted subject to a condition that sight lines are provided for both to the east and west of the proposed entrance as indicated in this application.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following <sup>(14)</sup> conditions:-

(MOS/DK)

(Conditions attached)

Endorsed:- [Signature]  
for Principal Officer

Richard Cernino SEP  
For Dublin Planning Officer  
6.8.91

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to GRANT PERMISSION for the above proposal subject to the <sup>(14)</sup> conditions set out above is hereby made.

Dated: <sup>(14)</sup> May, 1991.

K.O. Sullivan  
Assistant City and County Manager

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 26th April, 1991.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed construction of 2 no. two storey detached dwellings on site to the side of "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road for Mr. T. O'Donoghue

### CONDITIONS

### REASONS FOR CONDITIONS

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

2. In order to comply with the Sanitary Services Acts, 1878-1964.

3. That each house be used as a separate dwelling unit.

3. To prevent unauthorised development.

*omit*  
*check*  
~~4. That a financial contribution in the sum of £2,000 be paid by the proposer to the Dublin County Council towards the cost of public open space in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.~~

4. In the interest of the proper planning and development of the area.

*4* 5. That the water supply and drainage arrangements including the disposal of surface water be in accordance with the requirements of Sanitary Services Department. The applicant should note that a fire hydrant is to be fitted on to the County Council watermain at the applicants expense.

*4* 5. In order to comply with the Sanitary Services Acts, 1878-1964.

*omit*  
~~6. The applicant is to make a contribution of £3,700 (£1,850 per house) towards the improvement of the existing road network and the provision of the necessary road infrastructure that will be of benefit to the development.~~

~~6. In the interest of the proper planning and development of the area.~~

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed construction of 2 no. two storey detached dwellings on site to the side of "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road for Mr. T. O'Donoghue

CONDITIONS

REASONS FOR CONDITIONS

- |  |   |
|--|---|
| <p>5<br/>6 8. That the following requirements of the Roads Department be complied with.</p> <p>(a) the boundary shall be set back 3 metres from the edge of the existing carriageway. Entrance gate to be recessed a further 1.5 metres from the new boundary with wing walls splayed 45°. Strip between edge of carriageway and new boundary to be levelled and grassed to County Council standards. Entrance gate to be located to the satisfaction of Road Department.</p> <p>(b) Footpath and kerb to be dished to satisfaction of the Area Engineer, (Roads Maintenance).</p> | <p>5<br/>8. In the interest of the proper planning and development of the area.</p>   |
| <p>6 9. That the proposed site lines shown on Drawing No. 07 submitted as part of this application be provided prior to the commencement of any development on the site.</p>   | <p>6<br/>9. In the interest of the proper planning and development of the area.</p>   |
| <p>7 10. That the trees and hedgerows which it is proposed to retain on the site be protected during construction by means of fencing.</p>   | <p>7<br/>10. In the interest of the proper planning and development of the area.</p>  |
| <p>8 11. That any proposed planting on the site take place behind the proposed sight lines. No trees or hedgerows are to interfere with these sight lines.</p>   | <p>8<br/>11. In the interest of the proper planning and development of the area.</p>  |
| <p>9 12. That proposed houses be located on site in accordance with site layout plan (Drawing No. 05).</p>   | <p>9<br/>12. In the interest of the proper planning and development of the area.</p>  |
| <p>10 13. Details of front boundary treatment and <sup>wing walls and entrance gates</sup> gateposts, to be agreed with the Planning Authority prior to the commencement of development.</p>   | <p>10<br/>13. In the interest of the proper planning and development of the area.</p> |
| <p>11 14. Should the proposed development necessitate the relocation of any poles at the front of the site, the work is to be undertaken at the applicants expense.</p>  | <p>11<br/>14. In the interest of the proper planning and development of the area.</p> |
| <p>12 15 <u>Standard financial contribution</u></p>  | <p>(See next pages for conditions 13 and 14 and 15.)</p>                              |

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed construction of 2 no. two storey detached dwellings on site to the side of "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road for Mr. T. O'Donoghue

### CONDITIONS

### REASONS FOR CONDITIONS

**NOTE:** The attention of the applicant is drawn to Section 26(11) of the Local Government (Planning and Development) Act, 1963, which relates as follows:- "A person shall not be entitled solely by reason of a permission or approval under this section to carry out any development."

12  
13  
X  
15. That a financial contribution in the sum of £1,500. be paid by the proposer to the Dublin County towards the provision of public services in the area of the development and which facilitates this development; this contribution to be paid prior to the commencement of development on site.

12  
13  
15. In the interest of the proper planning and development of the area.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Re: Proposed construction of 2 no. two storey detached dwellings on site to the side of "Sarafand", Knocklyon Road, with new shared access onto Knocklyon Road for Mr. T. O'Donoghue.

Conditions

Reasons

13/14

16. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for roads, open spaces, car parks, sewers, watermains and drains, has been given by:

13/16

To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

(a) Lodgement with the Council of an approved Insurance Company Bond in the sum of £2,000.

~~which shall be renewed by the developer from time to time as the roads, open spaces, car parks, sewers, watermains and drains are taken in charge by the Council.~~

OR/....

(b) Lodgement with the Council of a cash sum of £2,000. ~~to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications.~~

(c) Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

24 is. - Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels

24 is. In the interest of reducing air pollution

13 MAY 1991

DUBLIN COUNTY COUNCIL

DEVELOPMENT CONTROL  
Date 16/5/91  
Time

REG. REF: 91/A/309  
LOCATION: On site to the side of Sarfaand, Knocklyon Road  
APPLICANT: T. O'Donoghue.  
PROPOSAL: Construction of 2 no. two storey detached dwellings  
DATE LODGED: 8th March, 1991.

Addendum to report on 91/A/309

From inspections of planning control maps which show the lands in question as part of e-w Knocklyon Road realignment and inspection of land registry maps (encl in lodged plans) which concurs with above. It would seem unreasonable to assume that the lands over which the lands over which the required sight lines pass are other than a road reservation in the ownership of the original developer.

In the event of the Knocklyon Road e-w realignment not taking place these lands would be required for sight lines at the existing "temporary" connection.

I would recommend that in the event of permission being granted a condition requiring sight lines to be provided as per drg. No. 07 in the lodged plans be included to specifically cater for this.

EM/MM 3/5/91.

SIGNED: \_\_\_\_\_

ENDORSED: E. W. O'Connell

DATE: \_\_\_\_\_

DATE: 3rd May '91

SS only

MOS

(P)

Register Reference : 91A/309

Date : 15/3/91

Development : Const. of 2 no. two storey det. dwellings

LOCATION : On site to the side of "Serafeid", Knocklyon Rd.

Applicant : T. O' Donoghue

App. Type : P/BBL

Planning Officer :

Date Recd. : 8/3/91

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN CO. COUNCIL  
21 MAR 1991  
SAN SERVICES

DUBLIN CO. COUNCIL  
SANITARY SERVICES  
PRINCIPAL OFFICER  
- 6 MAY 1991  
Returned *J.L.*

Date received in Sanitary Services .....

FOUL SEWER

*Refusal Recommended*

*The outfall drain proposed has a back fall - this is not acceptable.*

SURFACE WATER

Additional Information Required

*A surface water sewer exists between the existing foul sewer & the proposed development. This has not been indicated on the drawings. The applicant is requested to indicate the line of the s.w. sewer (approximately) & to indicate the distance between it & the nearest structure (proposed). The location of this sewer is to be verified with Engineering Services.*

SENIOR ENGINEER,  
SANITARY SERVICES DEPARTMENT  
46/49 UPPER O'CONNELL STREET  
DUBLIN 1

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT

Date ..... *02/05/91* .....

Time ..... *12.00 p.m.* .....

*J. Luce*  
*2/5/91*

Register Reference : 91A/309

Date : 15/3/91

.....  
ENDORSED \_\_\_\_\_

DATE \_\_\_\_\_

WATER SUPPLY

Available for zone one 24 hour storage to be provided on the highway at site in main on the opposite side of Rd to proposed dwellings.

*[Signature]*  
25/3/91

.....  
ENDORSED \_\_\_\_\_

DATE \_\_\_\_\_

*[Signature]* 27/3/91  
*[Signature]* 3/5/91



COMHAIRLE CHONTAE ATHA CLIATH

Tel: 724755  
Ext.: 268/269

Planning Department,  
Block 2,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

Ref. No.: 91A/0309

21 June 1991

H. Blune,  
Garthy,  
Knocklyon Road,  
Dublin 16.

Re: Proposed construction of 2 no. two storey detached dwellings on site to the side of "Sarafand", Knocklyon Road, with new shared access onto Knocklyon Road for Mr. T. O'Donoghue.

Dear Sir/Madam,

I wish to inform you that there is an appeal to An Bord Pleanala against the above decision. Any comment you wish to make on this decision should be forwarded direct to An Bord Pleanala, Blocks 6 & 7, Irish Life Centre, Lower Abbey Street, Dublin 1, accompanied by a fee of £15.00 quoting their Ref. PL6/5/85822.

Yours faithfully,

L. J.  
for Principal Officer.

BYE LAW APPLICATION FEES

REF. NO.: 91A/309 CERTIFICATE NO.: 15269B  
 PROPOSAL: 2 Dwellings  
 LOCATION: adj. Sarafand, Knocklyon Rd.  
 APPLICANT: T. O'Donoghue

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling x 2 (Houses/Flats)	@ £55	<u>£110</u>	<u>£110</u>	<u>-</u>		
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M <sup>2</sup> or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M <sup>2</sup> in excess of 300 M <sup>2</sup> Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Columns 2,3,4,5,6 & 7 Certified: Signed: N. Deane Grade: III Date: 11/6/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

91A/0309

069

DUBLIN COUNTY COUNCIL  
PLANNING DEPT.  
REC'D  
6 MAY 1991

GARTHY,  
KNOCKLYON RD  
DUBLIN 16.

4<sup>th</sup> May 1991

Principal Officer  
Planning Department  
Dublin Co. Council  
In the Life Centre  
Dublin 1

re.: Planning Application  
91A 0309  
Two dwellings adjacent  
to "Sarapand" Knocklyon  
Road Dublin 16.

Dear Sir,

I wish to strongly object to the above application on the following grounds:

- 1.) The area is zoned 'A' to protect and or improve residential amenity. Although this zoning may have been breached in nearby developments, this application, if granted would, lead to a serious diminution of local residential amenity as it would also mean destruction of part of the shelter hedge + trees from "Sarapand" to the Shelburne Road corner.
- 2.) The traffic on Knocklyon Road is so heavy that it would be irresponsible to allow further access from private houses. The recent opening of the Firhouse end of the Dolor Way has added to the already heavy traffic.

Consider that heavy local traffic is created by a Church, a Community Centre, a Supermarket with additional shops & a Post Office to be opened soon, and Knocklyon Parish School with 52 Class Rooms, one of the biggest in the country. Relate this to a generally inadequate road structure in the district, and take account of new building development taking place in the Scholarstown | Knocklyon area, which will generate even more traffic. It then becomes apparent how wrong it would be to allow more direct access to Knocklyon Road - even if satisfactory vision of play is possible.

In view of the foregoing I would therefore ask Dublin Co. Council to refuse permission for this speculative development.

Yours faithfully  
H. Blume.

H. BLUME.

COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/309

Letter No.: 178

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Christopher McGreal  
113 Dargle Wood,  
Knocklyon,  
Dublin 16.

Tel.: (01) 724755  
Fax.: (01) 724896

8 May 1991

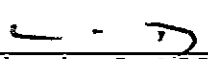
RE: Proposed construction of 2 no. two-storey detached dwellings on site to the side of "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road for Mr. T. O'Donoghue.

Date of decision to grant permission 7th May, 1991 subject to 14 conditions.

Dear Sir/Madam,

With reference to your representations/objections, I wish to inform you that a decision has been made on the above planning application. This decision has been entered in the Planning Register which is available for inspection at the Planning Department, Irish Life Centre, Lower Abbey Street, Dublin 1, during office hours (9 a.m. to 12.30 p.m. and 2.15 p.m. to 4.30 p.m.) A certified copy of the entry in the register may be purchased on payment of £5.00.

Yours faithfully,

  
for Principal Officer.

NOTE: An appeal against this decision by an aggrieved person must be made within the period of twenty one days beginning on the date of the decision to grant permission, indicated above. The appeal shall be in writing and shall state the subject matter of the appeal and the grounds of appeal and shall be addressed to An Bord Pleanala, Floor 3, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

1. An appeal by an aggrieved person to An Bord Pleanala will be invalid unless accompanied by a fee of £50.00
2. A party to an appeal making a request to An Bord Pleanala for an oral hearing of an appeal must, in addition to '1' above, pay to An Bord Pleanala, a fee of £50.00
3. A person who is not a party to an appeal must pay a fee of £15.00 to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/309

Letter No.: 236

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Anne Flynn,  
114 Dargle Wood,  
Knocklyon,  
Dublin 16.

Tel.: (01) 724755  
Fax.: (01) 724896

8 May 1991

RE: Proposed construction of 2 no. two-storey detached dwellings on site to the side of "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road for Mr. T. O'Donoghue.

Date of decision to grant permission 7th May, 1991 subject to 14 conditions.

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With reference to your representations/objections, I wish to inform you that a decision has been made on the above planning application. This decision has been entered in the Planning Register which is available for inspection at the Planning Department, Irish Life Centre, Lower Abbey Street, Dublin 1, during office hours (9 a.m. to 12.30 p.m. and 2.15 p.m. to 4.30 p.m.) A certified copy of the entry in the register may be purchased on payment of £5.00.

Yours faithfully,

L - - - - -  
for Principal Officer.

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COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/309

Letter No.: 259

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

H. Blune,  
Garthy,  
Knocklyon Road,  
Dublin 16.

Tel.: (01) 724755  
Fax.: (01) 724896

8 May 1991

RE: Proposed construction of 2 no. two-storey detached dwellings on site to the side of "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road for Mr. T. O'Donoghue.

Date of decision to grant permission 7th May, 1991 subject to 14 conditions.

Dear Sir/Madam,

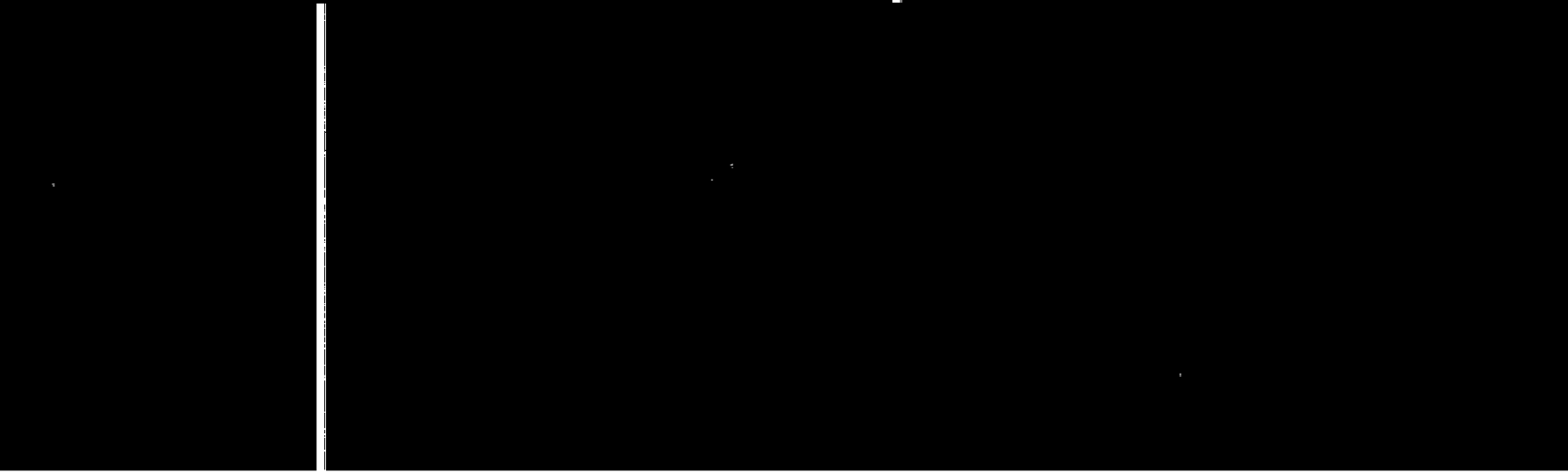
With reference to your representations/objections, I wish to inform you that a decision has been made on the above planning application. This decision has been entered in the Planning Register which is available for inspection at the Planning Department, Irish Life Centre, Lower Abbey Street, Dublin 1, during office hours (9 a.m. to 12.30 p.m. and 2.15 p.m. to 4.30 p.m.) A certified copy of the entry in the register may be purchased on payment of £5.00.

Yours faithfully,

  
for Principal Officer.

NOTE: An appeal against this decision by an aggrieved person must be made within the period of twenty one days beginning on the date of the decision to grant permission, indicated above. The appeal shall be in writing and shall state the subject matter of the appeal and the grounds of appeal and shall be addressed to An Bord Pleanala, Floor 3, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

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3. A person who is not a party to an appeal must pay a fee of £15.00 to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.





947717  
TELEPHONE 01-500344

Rose / Mc PK

DUBLIN CITY COUNCIL  
PLANNING DEPT.  
RECEIVED  
6 MAR 1991

GARTHY,  
KNOCKLYON ROAD,  
DUBLIN 16.

4<sup>th</sup> May 1991

Municipal Officer  
Planning Department  
Dublin Co. Council  
Trade Life Centre  
Dublin 1

re.: Planning Application  
GIA 0309  
Two dwellings adjacent  
to 'Sarapond' Knocklyon  
Road Dublin 16.

Dear Sir,

I wish to strongly object to the above application on the following grounds:

- 1) The area is zoned 'A' to protect and or improve residential amenity. Although this zoning may have been breached in nearby developments, this application, if granted would, lead to a serious diminution of local residential amenity, as it would also mean destruction of part of the shelter hedge & trees from 'Sarapond' to the Shelburne Road corner.
- 2) The traffic on Knocklyon Road is so heavy that it would be irresponsible to allow further access from private houses. The recent opening of the Firhouse end of the Dolor Way has added to the already heavy traffic.

GARTHY,  
KNOCKLYON ROAD,  
DUBLIN 16.

Consider that heavy local traffic is created by a Church, a Community Centre, a Supermarket with additional shops & a Post Office to be opened soon, and Knocklyon Parish School with 52 Class Rooms, one of the biggest in the country. Relate this to a generally inadequate road structure in the district, and take account of new building development taking place in the Scholarstown | Knocklyon area, which will generate even more traffic. It then becomes apparent how wrong it would be to allow more direct access to Knocklyon Road - even if satisfactory vision & play is possible

In view of the foregoing I would therefore ask Dublin Co. Council to refuse permission for this speculative development.

Yours faithfully  
H. Blune.

H. BLUNE.

91A/309

236

PK

Re 114 Dargle Wood  
2/1 Knocklyon  
Dublin 16  
30 April 1991

**OBJECTOR**

Mr A Smith  
Principal Officer  
Planning Department  
Dublin Co Council  
Block 2 - Irish Life Centre  
Dublin 2

DUBLIN COUNTY COUNCIL  
PLANNING DEPT.  
RECEIVED  
1 MAY 1991

Re: Planning application No 91A/0309  
"Sarafand", Knocklyon Road - Mr T O'Donoghue

Dear Sir

I have recently been made aware of the fact that a further application has been lodged in respect of the above development and would like to repeat my objection to so as in the case of the previous appeal to An R. Pleneada. My reasons are the follow:

1. The entrance to the site is situated on an already extremely dangerous road. People crossing to the stopping s

at this point do so with extreme caution due to the density of the traffic and the speed at which vehicles travel. One has to "make a run" for it.

2. Overcrowding of immediate area. The site concerned would appear extremely restricted and it is hard to imagine how two houses could be built on same without severe destruction to the hedgerow surrounding same, which in turn would encroach on privacy of gardens adjoining.
3. I originally chose my site because of its location which was conducive to tranquility. The building of the Rookery and the erection of a 20 ft wall has already partly eroded the rural ambience and further building in close proximity with the inevitable loss to the hedgerow would I feel just create another concrete jungle.
4. I believe this development would necessitate the felling of a very old tree on the Knocklyon Road - what a pity.

I trust this new application will be looked at with a view to the above objections but particularly having regard to the dangerous bend and children and old people crossing the road. Cars emerging from this site would severely appreciate the danger.

Yours faithfully

Anne C Flynn

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 91A 309.

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
<p>BELGARD H+P <u>23/4/91</u></p>	<p>Refusal recommended by Cllrs Muldoon &amp; Omond.</p> <p>Traffic density sight lines not OK Good trees must be retained</p> <p>Map is incorrect shows 2 houses which don't exist</p> <p>Proposed exit from this dist is opposite exit from Sunderquinn - used by <u>hundreds of people.</u></p>		

91A/0309

178

Planning Dept.  
Dublin Co. Council  
Irish Life Centre  
Dublin 1.

DUBLIN COUNTY COUNCIL PLANNING DEPT. REGISTRY SECTION APPLICATION RECEIVED
17 APR 1991
REGISTRATION TYPE: OTHER BBL NO. 125

113 Dangle Wood  
Knocklyon  
Dublin 16  
16.4.91

Re: Two Detached houses to side garden of  
"Sarafand" Knocklyon Rd. D16 91A-0309

Dear Sir, Madam

In response to the above, (being the third application) for this parcel of ground I have the following response and observation.

To state once again the boundary of my property is to the back of the footpath on the Knocklyon Rd. I have now built a substantial wall to my boundary at this location and therefore there will be no sight line achievable across my property. The claims made again in A Mmahams letter regarding this matter are without substance.

The area in question is not open space and the services claimed to lie within consist only of 1 no. 9" concrete surface <sup>water</sup> sewers which is in fact located beneath the footpath. A manhole exists to verify this, (as manholes are built over the line of the drain.) I can say this without hesitation because I saw the pipe being laid by the Co. Council a few years ago.

I note with this application that the applicant is now a Mr A O Donohue who is a director/owner of Tower Homes, house builders.

cont:

For your information Town Homes were  
the developers for the adjoining Kooking estate.

Shortly after Mr Bond Pleasala had made  
its decision on the previous two appeals  
for this development, Mrs O Darobne called  
to my house and offered to purchase that  
portion of my garden causing the line of  
sight difficulty. Needless to say I turned down  
the offer and now I see that there is  
a third application in for the above.

I can only assume now that there is a  
concerted attempt to try and dispute my  
boundary. I am annoyed by this. Because  
I have delayed in building a wall at this  
location is <sup>now</sup> being exploited for what it is worth.

The history of this boundary, is that there  
was originally a tree growing there up  
until quiet recently until a car crashed  
into it and knocked it. Before this I was  
quite happy to leave it as it provided adequate  
screening into the garden plus the fact that  
I personally prefer trees than walls. This is  
obvious when you see my garden. So when the  
tree got knocked it left that boundary exposed  
and there lies the opportunity of the applicant  
to try and dispute my boundary because of  
this line of sight difficulty.

cont.



I note that A Manahon has supplied a part copy of the Dangle Wood estate developers site map with my site highlighted. This is not a legal document, it is a site layout drawing given to the Land Registry Office to facilitate them in their identification of lease maps for the purchasers of the estate houses. My solicitor has the legal lease map.

Now since the applicant / his agent has seen fit to submit a drawing from the Land Registry (which is the developers drawing) showing my boundaries highlighted. Then I would request that you seek proof from the applicant that he is the owner of the ground to the side of "zarafond" for which this application is about. I have good reason to believe that he is not the owner but that he has contracted to buy same from the previous applicant a Mr Foley subject to obtaining Planning Permission. On the Planning form Mr A O Donohue is stated as the freehold owner I don't think this is correct. The entry should have been "purchase subject to Planning Permission" would more accurately describe / answer the question. I urge you to dismiss this application and let me have no intrusion to my property.

yours faithfully

Christopher M. Lynch

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 91A 309

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
<p>BELGARD H+P 26<sup>TH</sup> MAR 1991</p> <hr/> <hr/>	<p>Mrs Muldoon Ree. Perm. he <u>REFUSED</u></p> <p>Two Hses on a very small site</p>		
	<p>Impact Badly on ady hses</p> <p>Poor sightlines</p> <p>egress dangerous</p> <p>Bad Bend</p> <p>Access to 90 Houses adjacent to this</p>		
	<p>Is grass verge in Public ownership as it is owned by occupant of 113 (?) Dangle Wood</p> <p>Mrs Cimonele also</p> <hr/>		

91A/0309

CERTIFICATE NO: 04501

2 houses

PROPOSAL: Site adjoining "Srafand" Knocklyon Rd 200  
LOCATION: Tony O'Donoghue  
APPLICANT: Tony O'Donoghue

1	2	3	4	5	6	7
Dwellings/AREA LENGTH/STRUCT	RATE	AMT. OF FEE REQ.	AMOUNT LODGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO
Dwellings	€232	fbc	fbc	—		
	€216					
	€500 per M <sup>2</sup> in excess of 300M <sup>2</sup> Min. 200					
metres <sup>2</sup>	€11.75 per M <sup>2</sup> or 200					
x .1 hect.	€225 per hect. or 2250					
x .1 hect.	€225 per hect. or 2250					
x .1 hect.	€225 per hect. or 2250					
x metres <sup>2</sup>	€10 per M <sup>2</sup> or 200					
x 1,000m <sup>2</sup>	€25 per 1,000m <sup>2</sup> or 250					
x .1 hect.	€25 per hect. or 250					

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_  
 Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_  
 Columns 2,3,4,5,6 & 7 Certified Signed: R. O'Donoghue Grade: S.O Date: 13/3/91  
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

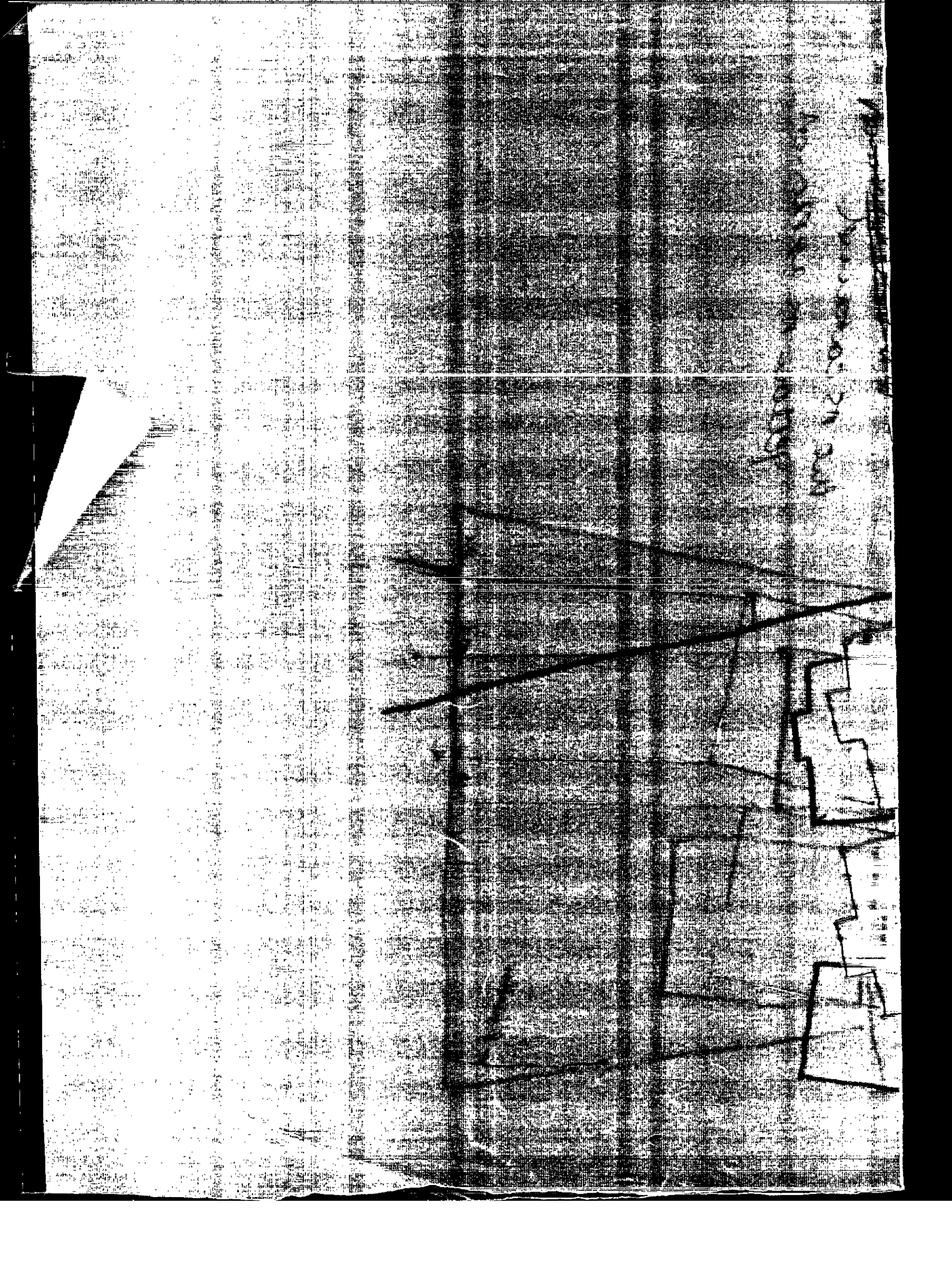
METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

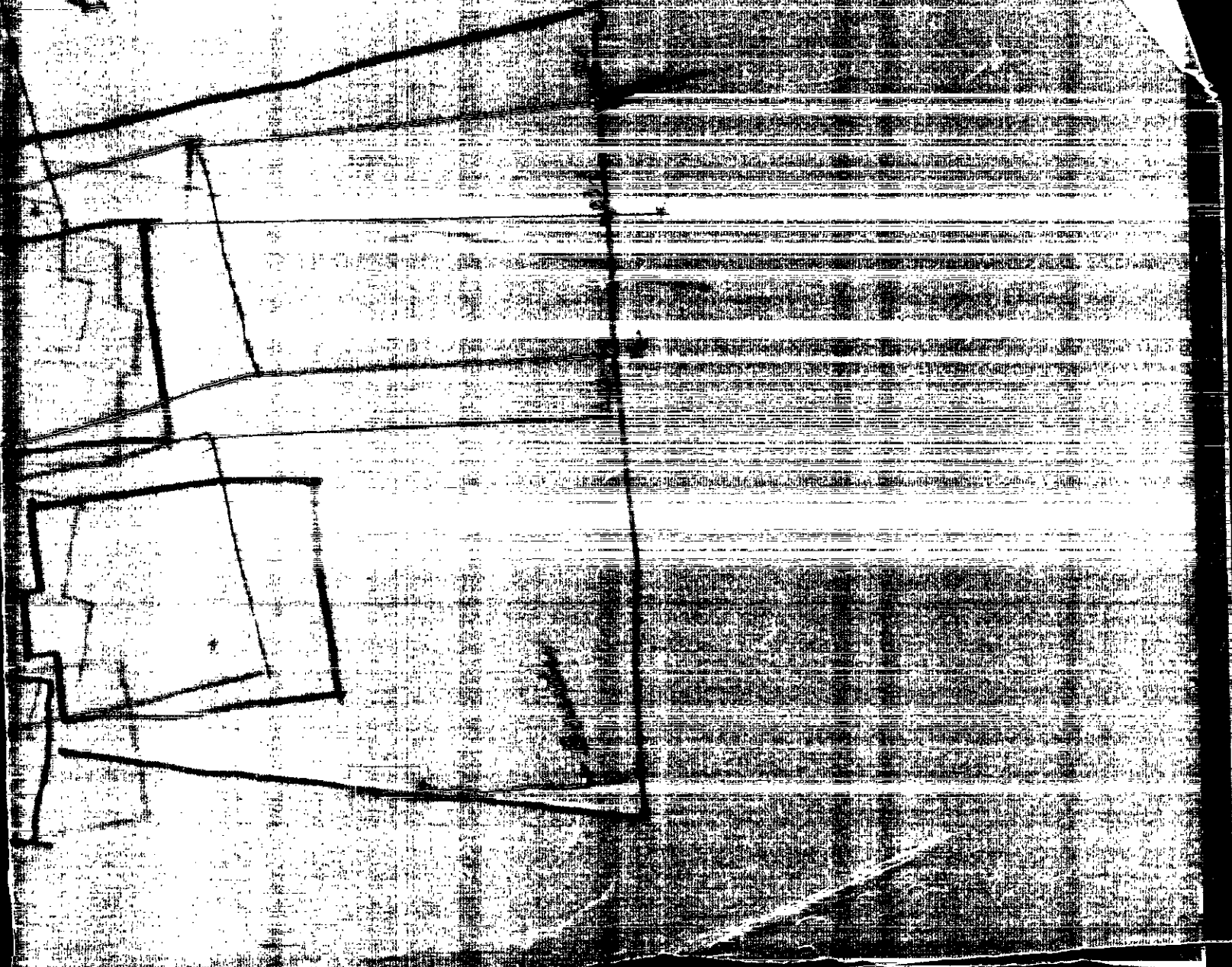
MANAGER'S ORDERED NO: P/ /  
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE



SEE US CONTACTED  
YELLOW IS APPROVED



Scott & MacNeill,  
5 Farmhill Road,  
Goatstown,  
Dublin 14.

91A-0309

6 October 1992

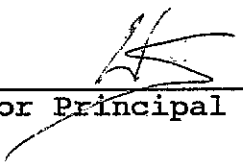
RE: Construction of 2 no. two storey detached dwellings on site to the side of "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road for Mr. T. O'Donoghue.

Dear Sirs,

I refer to your submission received on 13th July, 1992, to comply with the decision of An Bord Pleanala to grant permission by Reg. Ref. PL 6/.5/85822 dated 6th November, 1991, in connection with the above.

In this regard, I wish to inform you that the Dublin Planning Officer has reported that the development is not being constructed in accordance with the permission granted by An Bord Pleanala and that the situation must be regularised immediately.

Yours faithfully,

  
\_\_\_\_\_  
for Principal Officer.

## COMHAIRLE CHONTAE ÁTHA CLIATH

### Record of Executive Business and Manager's Orders

Construction of 2 no. two storey detached dwellings on site to the side of "Sarafand," Knocklyon Road with new shared access onto Knocklyon Road for Mr. T. O'Donoghue.

Scott & MacNeill,  
5, Farmhill Road,  
Goatstown,  
Dublin 14.

Reg. Ref. 91A-0309  
COMP. REC'D: 13.07.1992

Report of the Dublin Planning Officer, dated 2 September 1992.

This is a submission for COMPLIANCE with decision of An Bord Pleanála to Grant Permission by Ref. PL 6/5/85822 dated 6th November, 1991, in connection with the above.

In the submission lodged on 13th July, 1992, the agent for the applicant maintains that (i) the dwellings have been marginally relocated on site when compared to the approved position; (ii) the alteration to the western boundary is not materially different from that as approved.

The applicant has submitted a block plan of the site showing the proposed houses on site.

The dwellings are not being constructed in the position approved. It is my opinion that the development is not being constructed in accordance with the permission granted by An Bord Pleanála and that the applicant should be requested to regularise the situation.

The applicant should be accordingly advised.

*MOS*  
(MOS/DK)

Endorsed: *M. D. O'Sullivan*  
for Principal Officer

*Richard Cernius* *SR*  
For Dublin Planning Officer

3/9/92

Order:- Applicant to be informed as set out in the above report.

Dated: 11th September, 1992.

*Angela Hawley*  
Assistant County Manager

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated

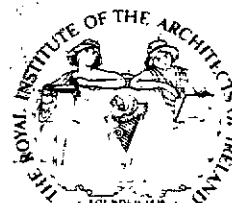


# SCOTT AND MACNEILL

5 Farmhill Road,  
Goatstown,  
Dublin 14.  
Ph: 298 1827, 298 8531  
Fax: 298 5949

The Principal Officer,  
Dublin County Council,  
Irish Life Centre,  
Middle Abbey Street,  
Dublin 2.

91A/309  
610  
SMW



ARCHITECTS

10th July 1992

Re: Proposed 2 No. dwellings on lands adjoining 'Sarafand' Knocklyon Road.

For: Mr. Tony O'Donoghue.

Reg. Ref: 91A 309

DUBLIN COUNTY COUNCIL  
PLANNING DEPT.

13 JUL 1992

RECEIVED

Dear Sir,

Following receipt of the County Council's letter dated 3.7.92 attaching a "Notice to Cease Development" we enclose a copy of our drawing No.900177/100 which outlines the position of the dwellings as constructed to damp course level.

With regard to the County Council stated reasons we report as follows:-

- a/ The dwellings have been marginally relocated primarily to avoid a mature ash tree to the front. We would strongly contend that the relocation of these dwellings is not materially different from the approved plans given the enclosed nature of the site and that such changes do not in fact effect the adjacent properties in anyway whatsoever.
- b/ The alteration to the western boundary at the rear of the West most dwelling has been undertaken in order to avoid a number of semi mature trees and this boundary as constructed is wholly within the approved site. The fencing along the Eastern boundary is erected generally along the line of the approved boundary. The Western boundary could thus be constructed under exempted development. We contend therefore that the Western boundary alteration does not materially differ from that as approved.

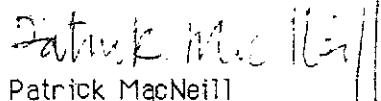
c/ The alterations to the approved house plans as noted refer to our clients discussion with Ms. Baxter indicating his intention to place a bay window to the front of the dwelling. Such is not however presently constructed and thus presently it cannot be stated that the approved plans have been altered.

Overall therefore we contend that the differences between the constructed and approved are of a very trivial nature and could not be considered materially different.

Finally it should be noted that as the objection raised to the Planning Department on these matters was undertaken in an anonymous manner and that as the alterations will not in any way effect the amenities of adjoining properties such can only be considered vexatious in the extreme.

Our client would thus request an immediate meeting with representatives of your department to agree a reasonable means of resolving this issue.

Yours sincerely,

  
Patrick MacNeill

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,  
Bloc 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone (01) 724755  
Fax (01) 724896

Register Reference : 91A/0309/C1

Date : 30th July 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1991

Dear Sir/Madam,

DEVELOPMENT : Compliance with conditions  
LOCATION : Sarafand, Knocklyon Road, Dublin 16  
APPLICANT : T. O'Donoghue  
APP. TYPE : Compliance with Conditions

With reference to the above, I acknowledge receipt of your submission to  
comply with conditions received on 13th July 1992.

Yours faithfully,

.....  
for PRINCIPAL OFFICER

Scott & MacNeill, Architects,  
5 Farmhill Road,  
Goatstown,  
Dublin 14

# SCOTT AND MACNEILL

5 Farmhill Road,  
Goatstown,  
Dublin 14.  
Ph: 298 1827, 298 8531  
Fax: 298 5949

The Principal Officer,  
Dublin County Council,  
Irish Life Centre,  
Middle Abbey Street,  
Dublin 2.

9114/309  
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Lomb



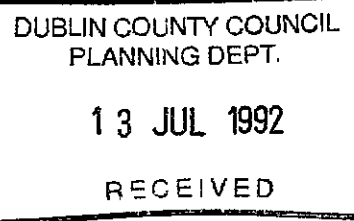
ARCHITECTS

10th July 1992

Re: Proposed 2 No. dwellings on lands adjoining 'Sarafand'  
Knocklyon Road.

For: Mr. Tony O'Donoghue.

Reg. Ref: 91A 309



Dear Sir,

Following receipt of the County Councils letter dated 3.7.92 attaching a "Notice to Cease Development" we enclose a copy of our drawing No.90017/100 which outlines the position of the dwellings as constructed to damp course level.

With regard to the County Council stated reasons we report as follows:-

- a/ The dwellings have been marginally relocated primarily to avoid a mature ash tree to the front. We would strongly contend that the relocation of these dwellings is not materially different from the approved plans given the enclosed nature of the site and that such changes do not in fact effect the adjacent properties in anyway whatsoever.
- b/ The alteration to the western boundary at the rear of the West most dwelling has been undertaken in order to avoid a number of semi mature trees and this boundary as constructed is wholly within the approved site. The fencing along the Eastern boundary is erected generally along the line of the approved boundary. The Western boundary could thus be constructed under exempted development. We contend therefore that the Western boundary alteration does not materially differ from that as approved.

William Scott B. Arch., M. Sec. I.I.

Patrick MacNeill B. Arch., M. Sec. I.I.

c/

The alterations to the approved house plans as noted refer to our clients discussion with Ms. Baxter indicating his intention to place a bay window to the front of the dwelling. Such is not however presently constructed and thus presently it cannot be stated that the approved plans have been altered.

Overall therefore we contend that the differences between the constructed and approved are of a very trivial nature and could not be considered materially different.

Finally it should be noted that as the objection raised to the Planning Department on these matters was undertaken in an anonymous manner and that as the alterations will not in any way effect the amenities of adjoining properties such can only be considered vexatious in the extreme.

Our client would thus request an immediate meeting with representatives of your department to agree a reasonable means of resolving this issue.

Yours sincerely,

*Patrick MacNeill*  
Patrick MacNeill

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Our client would thus request an immediate meeting with representatives of your department to agree a reasonable means of resolving this issue.

Yours sincerely,

  
Patrick MacNeill

Our Ref: PL 6/5/85822  
P.A. Ref: 91A/309

Dublin County Council,  
Planning Department,  
Block 2,  
Irish Life Centre.

Date: - 6 NOV 1991

Appeal re: Construction of two two-storey detached dwellings on site to the side of "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road, Dublin 16.

Dear Sir,

An order has been made by An Bord Pleanála determining the above-mentioned appeal under the Local Government (Planning and Development) Acts, 1963 to 1990. A copy of the order is enclosed.

Yours faithfully,

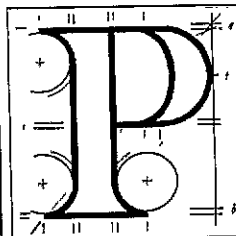
  
Miriam Baxter.

Encl.

BP 352

213

An Bord Pleanála



Floor 3 Blocks 6 & 7  
Irish Life Centre  
Lower Abbey Street  
Dublin 1  
tel (01) 728011

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/309

**APPEAL** by Knocklyon Community Council of 70 Lansdowne Park, Knocklyon, Dublin against the decision made on the 7th day of May, 1991 by the Council of the County of Dublin to grant subject to conditions a permission to Tony O'Donoghue care of Manahan and Associates of 38 Dawson Street, Dublin for development comprising the construction of two two-storey detached dwellings on site to the side of "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road, Dublin in accordance with plans and particulars lodged with the said Council:

**DECISION:** Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, it is hereby decided, for the reason set out in the First Schedule hereto, to grant permission for the said development in accordance with the said plans and particulars, subject to the conditions specified in the Second Schedule hereto, the reasons for the imposition of the said conditions being as set out in the said Second Schedule and the said permission is hereby granted subject to the said conditions.

FIRST SCHEDULE

It is considered that, subject to compliance with the conditions set out in the Second Schedule hereto, the proposed development would be in accordance with the proper planning and development of the area.

SECOND SCHEDULE

1. The design and construction of the site entrance, front boundary wall and treatment of the area in between the new front boundary wall and the roadside kerb shall be in accordance with the detailed requirements of the planning authority.

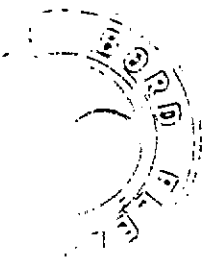
**Reason:** In the interest of visual amenity and traffic safety.



SECOND SCHEDULE (CONTD.)

2. The developer shall pay a sum of money to Dublin County as a contribution towards expenditure incurred by the said Council in the provision of a water supply and sewerage facilities which will facilitate the proposed development. The amount of the contribution and the arrangements for payment shall be as agreed between the developer and the Council or, in default of agreement, shall be determined by An Bord Pleanála.

**Reason:** It is considered reasonable that the developer should contribute towards the expenditure incurred by the Council in the provision of a water supply and sewerage facilities which facilitate the proposed development.



Ann Con. Quinn

Member of An Bord Pleanála duly  
authorised to authenticate the  
seal of the Board.

Dated this 6<sup>th</sup> day of November, 1991.

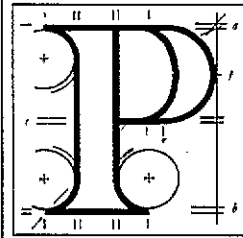
Our Ref: PL 6/5/85822  
P.A. Reg. Ref: 91A/309

*[Handwritten signature]*

*[Handwritten signature]*  
9/8

The Secretary,  
Dublin County Council,  
Planning Department,  
Block 2,  
Irish Life Centre.

An Bord Pleanála



09 AUG 91  
09 AUG 91

Floor 3 Blocks 6 & 7  
Irish Life Centre  
Lower Abbey Street  
Dublin 1  
Tel (01) 728011

Date: 7th August 1991.

**Appeal re:** Construction of 2 no. two-storey detached dwellings at 'Sarafand', Knocklyon Road with new shared access onto Knocklyon Road, Dublin 16.

Dear Sir/Madam,

Enclosed for your information is a copy of a letter received by the Board in relation to the above-mentioned appeal.

Please quote the above appeal reference number in any further correspondence.

Yours faithfully,

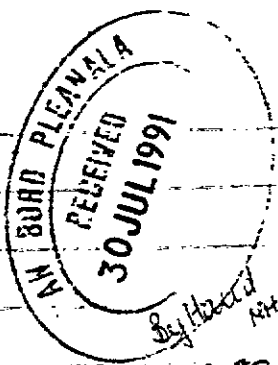
*Suzanne Lacey*  
Suzanne Lacey

DEVELOPMENT  
12 AUG 1991  
CONTROL

Encl.

BP 555

An Bord Pleanála  
Irish Rep Centre  
dn. Abbey St. D1.



113 Dangle North  
Knocklyon D16  
29.7.91

Re: Two detached houses to side of "Dangford" Knocklyon Rd  
Dublin 16 Planning Ref 91A/309 and PL 6/5/85822

Dear Sir, Madam.

I refer to my previous correspondence of 27. May. 91  
(Ref. 178) in which I made a number of  
observations regarding the above.

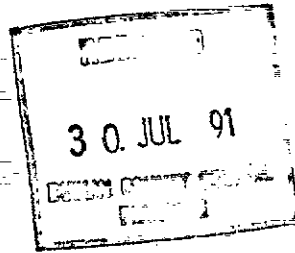
Having had further time to consider my  
earliest letter and an opportunity to examine the  
file more closely I would now like to revise my  
earlier comments to that of one point only  
namely point 3 of my previous letter. The remaining  
points mentioned by me in the letter are  
to be discarded as they do not affect me directly.  
In retrospect it is inappropriate for me to  
comment on the standards acceptable by the  
planning authority for the development.

My only concern is for the protection of  
the hedgerow which forms the boundary  
between myself and the above. In particular  
it is envisaged to remove a mature Ash  
tree from this boundary which would be a  
great loss to me. This tree is referred to  
as 104 in tree survey drawing.

Yours Faithfully  
Christopher McQueen

Our Ref: PL 6/5/85822  
P.A. Reg. Ref: 91A/309

The Secretary,  
Dublin County Council,  
Planning Department,  
Block 2,  
Irish Life Centre.



Date: 29th July 1991.

**Appeal re:** Construction of 2 number two-storey detached dwellings at 'Sarafand', Knocklyon Road with new shared access onto Knocklyon Road, Dublin 16.

Dear Sir/Madam,

Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within twenty-one days of the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Please quote the above appeal reference number in any further correspondence.

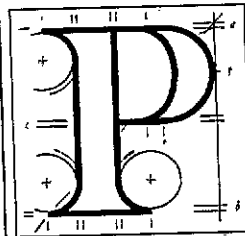
Yours faithfully,

Suzanne Lacey  
Suzanne Lacey

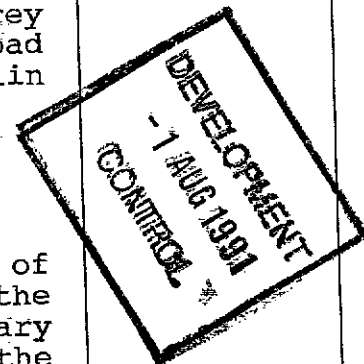
Encl.

BP 553

pk  
An Bord Pleanála



Floor 3 Blocks 6 & 7  
Irish Life Centre  
Lower Abbey Street  
Dublin 1  
tel (01) 728011



065



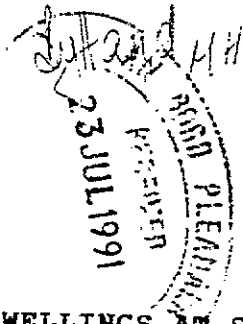
# MANAHAN & ASSOCIATES

Chartered Town Planners

38 Dawson Street, Dublin 2.  
Tel (01) 6799094, Fax (01) 6799284.

17th, July, 1991.

The Secretary,  
An Bord Pleanala,  
Irish Life Centre,  
Lower Abbey Street,  
DUBLIN



APPEAL RE : CONSTRUCTION OF 2 DWELLINGS AT SARAFAND, KNOCKLYON  
ROAD WITH NEW ACCESS ONTO KNOCKLYON ROAD, DUBLIN 16  
PL. 6/5/85822. PLAN NO. 91A/309.

Dear Sir,

We refer to the above appeal and wish to comment on the third party appeals against a Decision by Dublin County Council to Grant Permission to our client, Mr. Tony O'Donoghue.

1. This is the third application on this site. The first application was for a different house type which was refused by the Council for 5 reasons. On appeal these reasons were whittled down to one reason only in connection to entrance to the site. The second application was lodged for an amended house type and this was refused by the County Council because of difficulties with the entrance. These problems arose during the currency of the second application because the person in 113 Dargle Wood claimed ownership over the area required by our client for sight lines. At that time the County Council refused based on his submission. At the appeal stage An Bord Pleanala refused permission because our client had now shown that he had sufficient land to provide adequate sight lines.
2. In the current application our client submitted a title map of No. 113 Dargle Wood which clearly showed that the ownership of the land did not extend to the grass verge at the back of the footpath. The County Council Roads Section carried out further investigations and satisfied themselves that the area required for a sight line was available to our scheme. In view of these changed circumstances and in our view clarified circumstances the County Council proceeded to grant planning permission.

Contd/...

3. In this regard the report of the Roads Section of the County Council is particularly important in the consideration of this appeal. We would also like to draw to the Board's attention a copy of a land registry map for Sarafand (No. 71) which shows that the land registry map extends to include the road at the front of Sarafand. We also enclose a second copy of the land registry map which includes the Folio (10939F) for No. 113 Dargle Wood. This shows that the site for No. 113 does not extend out to include the existing roadway and in fact stops some way short of the back of the footpath. It is therefore possible to provide the necessary sight lines as required by Dublin County Council.
4. A letter of objection has been received from the residents of both 114 and 113 Dargle Wood. Both express a concern in relation to maintaining the hedgerow between their properties and the new houses proposed for this site. It is in our client's interest to maintain this hedgerow as the new occupants of the proposed houses will equally require privacy from the residents of 114 and 113 Dargle Wood. The new occupants will make every effort to maintain this hedgerow and have submitted a landscape plan as part of the application in which they have shown and indicated a planting programme to strengthen this hedge. It is our belief that the fears of the residents of 114 and 113 are misplaced in this regard.
5. It has been claimed that this is a speculative housing venture. We have been asked to point out by our client, Mr. Tony O'Donoghue, who lives in Willow Lodge, Scholarstown Road, and who built The Rookery, that these houses are for 2 of his children, who are currently residing in Willow Lodge. They are therefore not speculative in nature. There will therefore be no difficulty with the shared access arrangement as proposed.
6. We wish to point out that the site is located in an area zoned for housing development. The site has an area of .3 of an acre and the proposal to build 2 houses on this site is consistent with the density standards of the Dublin County Plan. It is our client's intention to retain and strengthen the hedgerow between this site and the neighbouring sites in the interest of maintaining both their own and their neighbour's privacy. The houses have been redesigned to ensure that no overlooking or overshadowing of neighbouring properties occurs. The County Council have carefully considered this application and as a consequence have reached a decision to grant permission. The planning report states that the proposal is acceptable from a planning point

Contd/...

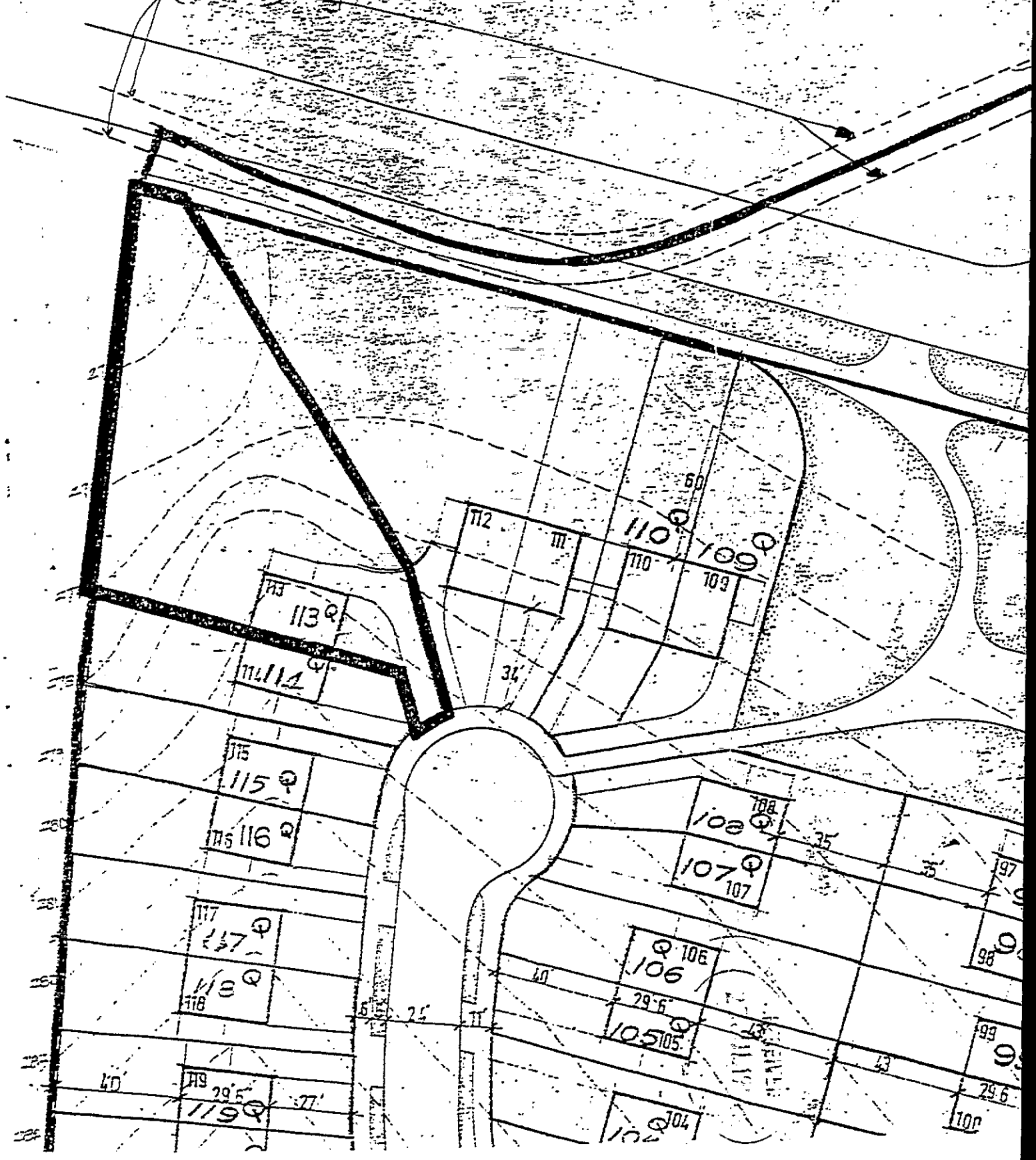
of view and the houses will not adversely affect the residential amenities of adjoining property owners nor will the proposed development be visually obtrusive when viewed from neighbouring properties.

7. In view of this we would ask An Bord Pleanála to support the decision of the County Council and to grant permission for this development.

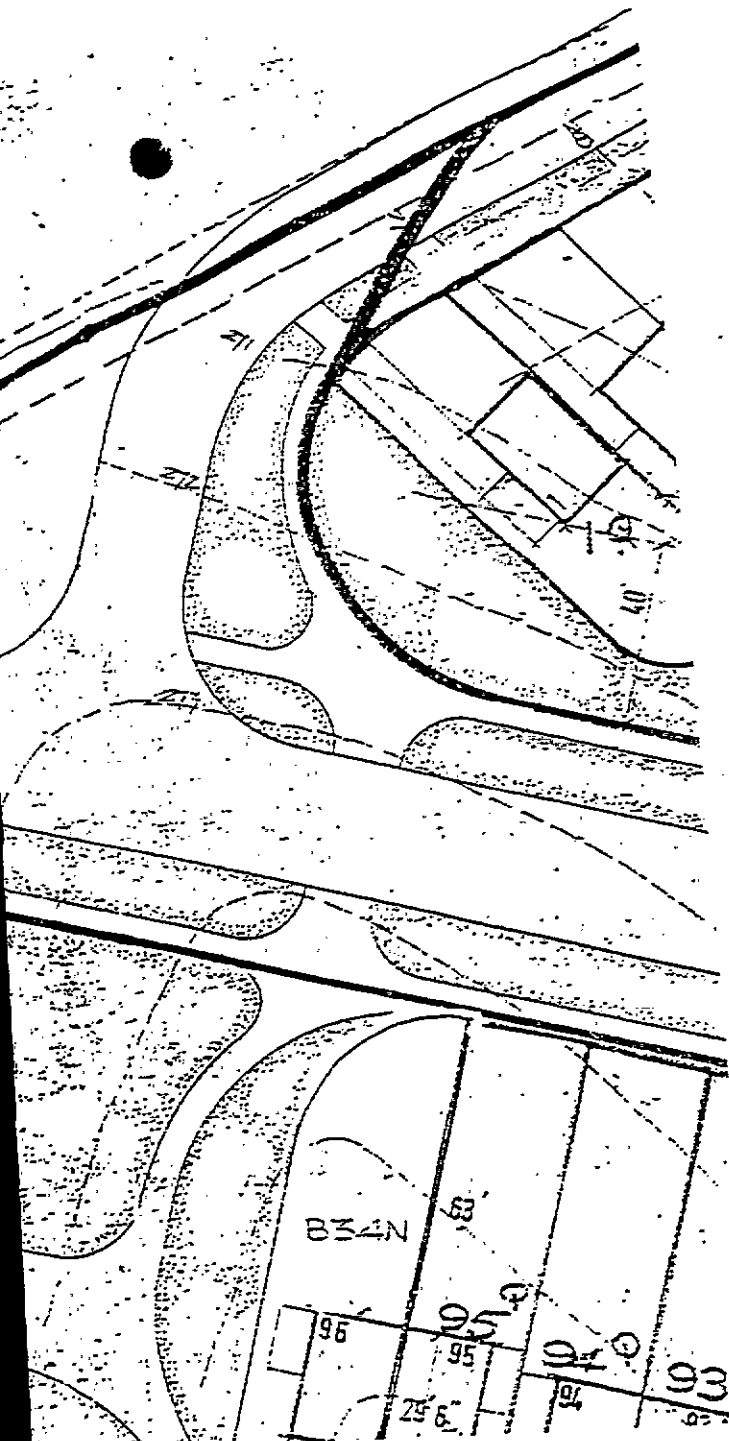
Yours faithfully,

  
-----  
MANAHAN & ASSOCIATES.

EXISTING-  
ROAD  
(DOTTED)







LAND REGISTRY

County Dublin  
 Folio 10239 O.S. Supply Map K8

This map should be read in conjunction with the folio.  
 (Plan No. on 1st page)

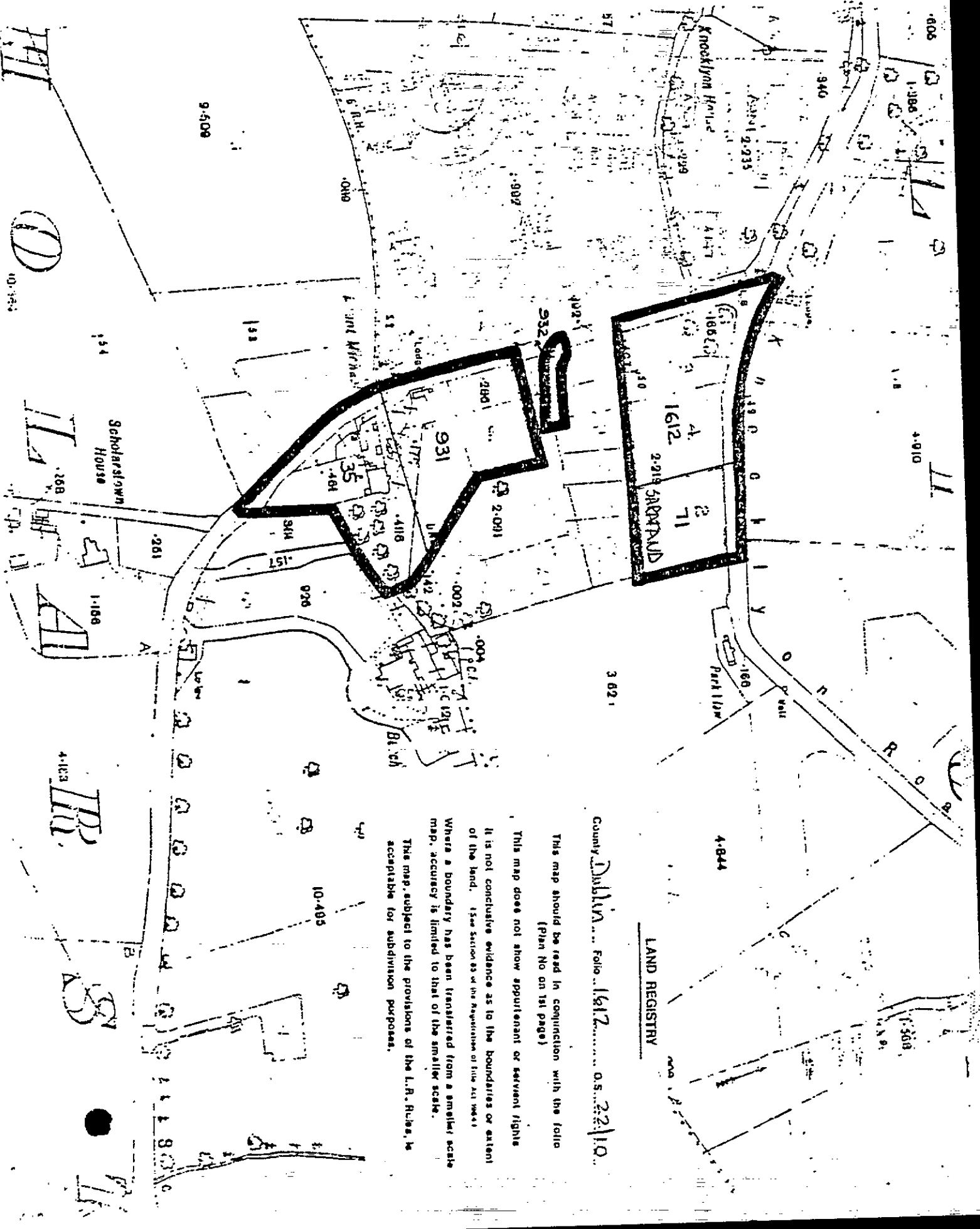
This map does not show appurtenant or servient rights.

It is not conclusive evidence as to the boundaries or extent  
 of the land. (See Section 85 of the Registration of Title Act 1954.)

Where a boundary has been transferred from a smaller  
 scale map, accuracy is limited to that of the smaller scale.

This map, subject to the provisions of the L.R. Rules,  
 is acceptable for subdivision purposes.

*[Signature]*  
 7/12/90  
 M. J. ...



LAND REGISTRY

County **Dublin**... folio **1612**... O.S. **22/10**.

This map should be read in conjunction with the folio  
(Plan No on 1st page)

This map does not show appurtenant or servient rights

It is not conclusive evidence as to the boundaries or extent  
of the land. (See section 3 of the Registration of Title Act 1924)

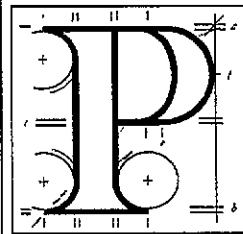
Where a boundary has been transferred from a smaller scale  
map, accuracy is limited to that of the smaller scale.

This map, subject to the provisions of the L.R. Rules, is  
acceptable for subdivision purposes.

Our Ref: PL 6/5/85822  
P.A. Reg. Ref: 91A/309

PA

An Bord Pleanála



Floor 3 Blocks 6 & 7  
Irish Life Centre  
Lower Abbey Street  
Dublin 1  
tel (01) 728011

The Secretary,  
Dublin County Council,  
Planning Department,  
Irish Life Centre.

18th July 1991.

**Appeal re:** construction of 2 no. two-storey detached dwellings at "Saraford", Knocklyon Road with new street access onto Knocklyon Road, Dublin 16.

Dear Sir/Madam,

Enclosed for your information is a copy of a letter received by the Board in relation to the above-mentioned appeal.

Please quote the above appeal reference number in any further correspondence.

Yours faithfully,

*Mary Kelly*

Mary Kelly.



Encl.

BP 555

24 JUL 91



GARTHY,

KNOCKYLON ROAD,

DUBLIN, 16.

9th July, 1991

An Bord Pleanála,  
Floor 3,  
Blocks 6 & 7,  
Irish Life Centre,  
Lr. Abbey Street,  
Dublin, 1.

re: Appeals: Construction of 2 no. two-storey detached dwellings  
at 'Sarafand', Knocklyon Road with new shared access onto  
Knocklyon Road, Dublin, 16. (Ref. PL 6/5/85822, 91A/309

AND

*Proposed house on site adjacent to 'Charbury'  
Knocklyon Road.*

*Plan. Reg. No. 90A/1339*

Dear Sirs,

Further to the observations and objections already lodged by me in regard to the above two appeals - the enclosed newspaper cutting gives details of the extra pressure put on the roads in Knocklyon by the recent opening of the Western Parkway Motorway.

Apart from any other consideration, it would be wrong to allow any additional access to Knocklyon Road, and also dangerous for pedestrians as there is only one footpath on Knocklyon Road from 'Sarafand' onwards. Any pedestrian, and particularly children, crossing to the Shopping Centre, are at considerable risk from fast moving traffic.

Please take these further considerations into account when deciding the above two appeals.

Yours faithfully,

*H. Blume.*

H. BLUME

*New road has brought commut*

# Curses on Parkway

**Rathfarnham** has a huge level of commuter traffic.

**David McCullagh**  
*Staff Reporter*

The completion of the Western Parkway has been a boon for residents of west Dublin.

But for those living in Rathfarnham it is rapidly proving to be a curse.

Because the Southern Cross, which should take traffic from the Parkway has not been started yet, people living in areas like Knocklyon and Rathfarnham have to put up with a huge level of commuter traffic passing through every day.

"It's like a jigsaw that hasn't been completed," said outgoing Fianna Fail councillor Ann Ormonde.

"We're going to go through hell for the next two years, until the other roads are built," she said. "But then people will be delighted as house prices start to go up and the area starts to blossom," said Cllr Ormonde.

Knocklyon has suffered a 60 per cent increase in



**Damien Fee (FF)**



**Vincent Kenny (Ind)**

traffic because of the west link bridge, according to independent candidate Vincent Kenny, and the structure of villages like Rathfarnham is being eroded.

"The Knocklyon area has three times the population it had in 1985 still being catered for on 19th-century roads," Mr Kenny said.

Overcrowding in Knocklyon is a theme Fine Gael councillor Mary Muldoon takes up with relish.

"The people are irate with Fianna Fail for allowing massive rezoning in Knocklyon — it is an area with 15,000 people and no secondary school," she said.

Boys from the area are going to 18 different schools, while girls are attending nine schools in the surrounding areas adding to the traffic chaos, says Cllr Muldoon.

The problem in Knocklyon is that too many

er chaos say residents

# the Western at Knocklyon



**Stephen Riney** (FF — sitting)



**Ann Ormonde** (FF — sitting)



**Ronnie McBrien** (PD)

houses were built without the proper infrastructure, creating a community without a heart, she said.

Cllr. Ormonde disputes this analysis, and denies that planning is a big issue in Thursday's poll for the Rathfarnham electoral area.

"Section Four motions had to be introduced to unlock land which was frozen because of delays in the new Development Plan. The land was needed for

residential use," she said.

"Urban sprawl has to and will stop somewhere. For instance Stocking Lane is a lovely rural road, and I will fight like hell against proposals for housing up there," Cllr Ormonde promised.

Making a strong push for a seat in the area is Ronnie McBrien of the PDs, who is expected to do better than opinion polls would suggest.

One of the big issues on

the doorsteps was the recent arrival of a number of travelling families on a site at the back of Rathfarnham village, he said.

"Something has to be done for these families — they have become a political football, and an independent body needs to be set up to decide where the halting sites should be put," Mr McBrien said.

Labour are running two candidates in the area,

concentrating on issues like unemployment and its effect on crime and vandalism, but realistically they don't have a great chance of a seat.

The wild card in the election is the Greens, who are running Maire Mullarney. Rathfarnham is part of the only constituency in the country with a Green Party TD, Roger Garland.

McBrien, Mullarney and Muldoon are likely to be left fighting for the last seat, with Alan Shatter topping the poll.

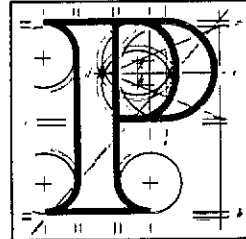
With no real "big name" Fianna Fail candidate, the two who get the most first preferences will probably be elected — a situation which has led to some party in-fighting.

**CANDIDATES:** Billy BYRNE (Lab); Graham CORCORAN (Lab); Damien FEE (FF); Vincent KENNY (Ind); Ronnie MCBRIEN (PD); Mary MULDOON (FG — sitting); Maire MULLARNEY (Green); Ann ORMONDE (FF — sitting); Stephen RINEY (FF — sitting); Alan SHATTER (FG — sitting).

Our Ref: PL 6/5/85822  
P.A. Reg. Ref: 91A/309

PA

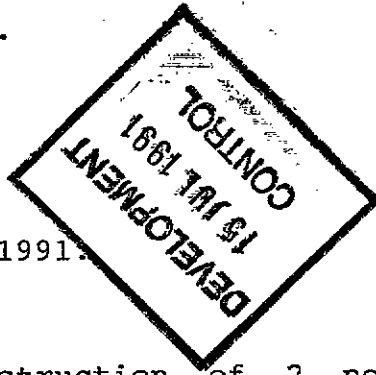
An Bord Pleanála



Floor 3 Blocks 6&7  
Irish Life Centre  
Lower Abbey Street  
Dublin 1  
tel (01) 728011

10 JUL 91

The Secretary,  
Dublin County Council,  
Planning Department,  
Block 2,  
Irish Life Centre.



Date: 3rd July 1991.

**Appeal re:** Construction of 2 no. two-storey detached dwellings at 'Sarafand', Knocklyon Road with new shared access onto Knocklyon Road, Dublin 16.

Dear Sir/Madam,

Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within twenty-one days of the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Please quote the above appeal reference number in any further correspondence.

Yours faithfully,

*Suzanne Lacey*  
Suzanne Lacey

Encl.

BP 553

Tel. 01-947717

'Garthy',  
Knocklyon Road,  
DUBLIN, 16.

28th June, 1991

An Bord Pleanála,  
Blocks 6 & 7,  
Irish Life Centre,  
Lr. Abbey Street,  
Dublin, 1.

re: Proposed construction of 2 no. two storey detached  
dwellings on site to side of 'Sarafand', Knocklyon Road,  
with new shared access onto Knocklyon Road for Mr. T.  
O'Donoghue. Your ref. PL6/5/85822

---

Dear Sirs,

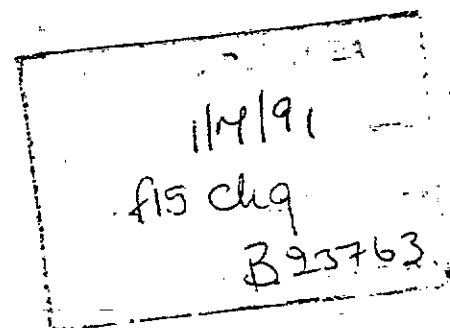
I wish to appeal against the decision to grant planning permission for the above two house development.

The site is zoned Residential A, and should not be further built up. The shared access to Knocklyon Road would be to an extremely busy road, which is too narrow for the traffic it carries. The access would be opposite a crossing point to the Superquinn Shopping Centre. This would appear to be a purely speculative development, of a house type out of character with the three bungalows to the corner of Scholarstown Road.

I am enclosing the fee of £15.00.

Yours faithfully,

*H. Blume*  
H. BLUME





COMHAIRLE CHONTAE ATHA CLIATH

Tel: 724755  
Ext.: 268/269

Planning Department,  
Block 2,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

Ref. No.: 91A/0309

21 June 1991


H. Blune,  
Garthy,  
Knocklyon Road,  
Dublin 16.

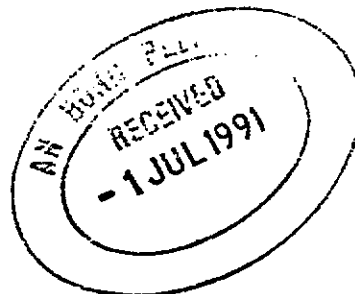
Re: Proposed construction of 2 no. two storey detached dwellings on site to the side of "Sarafand", Knocklyon Road, with new shared access onto Knocklyon Road for Mr. T. O'Donoghue.

Dear Sir/Madam,

I wish to inform you that there is an appeal to An Bord Pleanala against the above decision. Any comment you wish to make on this decision should be forwarded direct to An Bord Pleanala, Blocks 6 & 7, Irish Life Centre, Lower Abbey Street, Dublin 1, accompanied by a fee of £15.00 quoting their Ref. PL6/5/85822.

Yours faithfully,

  
for Principal Officer.

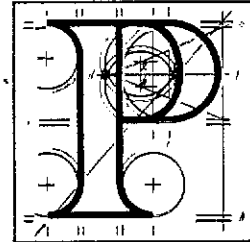


Our Ref: PL 6/5/85822  
P.A. Reg. Ref: 91A/309

*PK*

*27/6*

An Bord Pleanála



Floor 3 Blocks 6&7  
Irish Life Centre  
Lower Abbey Street  
Dublin 1  
tel (01) 728011

The Secretary,  
Dublin County Council,  
Planning Department,  
Block 2,  
Irish Life Centre.

25 JUN 91

Date: 24th June 1991.

**Appeal re:** Construction of 2 no. two-storey detached dwellings at "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road, Dublin 16.

Dear Sir/Madam,

Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within twenty-one days of the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Please quote the above appeal reference number in any further correspondence.

Yours faithfully,

*Suzanne Lacey*  
Suzanne Lacey

Encl.

BP 553

# Knocklyon community council

4 Mount Alton Court,  
Knocklyon  
Dublin 16.

Your Ref: PL6/5/85822  
P.A. Ref: 91a/309

The Secretary,  
An Bord Pleanála,  
Floor 3,  
Blocks 6 & 7,  
Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

19th June 1991

Planning Authority Decision Re:  
Construction of 2 no. two-storey detached dwellings at "Sarafand" Knocklyon Road, with new shared access onto Knocklyon Road, Dublin 16.

Dear Sir,

I refer to my previous letter dated 24th May 1991 and your reply dated 31st May 1991 re above.

The Knocklyon Community Council wishes to appeal under the Local Government (Planning and Development) Acts 1963 to 1990 against the above-mentioned decision. The grounds of the Community Council's appeal are as under:

1. The proposal which is the subject of the above decision is exactly the same as proposed P.A. Ref. 90a/224 both of which have been refused permission by the Dublin County Council and by An Bord Pleanála.
2. The proposed shared entrance for two houses is sited opposite the pedestrian entrance to the Knocklyon Shopping Centre, church, schools, Youth Centre and Community Centre. This entrance is used by the residents of the large housing estates, Dargle Wood, Templeroan, Scholarstown, Woodfield, Ashton and Knockcullen. Consequently, there is a very large amount of pedestrian crossing at this point. The turning movements which would be generated by the proposed development onto this substandard road with inadequate vision splays would further endanger existing road vehicular traffic and the above mentioned pedestrian traffic. It should be noted that traffic on the Knocklyon Road was substantially increased since the opening of the Western Parkway (M50) in December 1990.
3. The proposal will adversely affect the environment by reason of the proposed removal of trees including a very fine and large oak tree.
4. The proposed shared exit/entrance will be only 45 metres from the exit from Dargle Wood estate.

.../Contd.

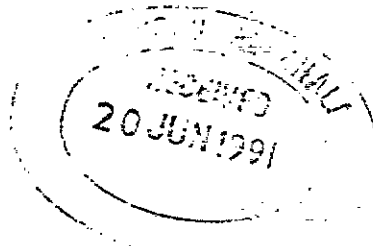
For the above reasons the Community Council strongly urges that permission be refused for this proposal.

Yours faithfully,

*Peter Rosenberg.*

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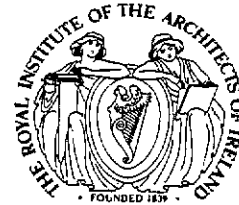
Peter Rosenberg,  
Planning Convenor



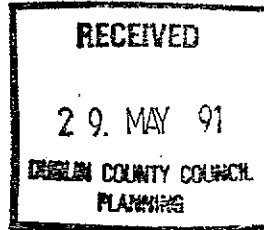
PM

# SCOTT AND MACNEILL

5 Farnhill Road,  
Goatstown,  
Dublin 14.  
Ph: 01-981827/988531  
Fax: 01-985949



ARCHITECTS



*30/5 - Bye-Laws direct?*

28th May 1991

**Principal Officer,**  
Dublin County Council,  
Building Control Section,  
Block 2, Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

**Re: 2 No. Detached dwellings at Sarafand, Knocklyon Road. Reg Ref. No. 91A/309.**

Dear Sir,

In reply to your correspondence dated 15.5.91 in respect of a Building Bye Law application for the above we wish to state that no such application under Building Bye Laws was lodged on the 8.3.91. On this date an application for Planning Permission only was submitted.

We do however thank you for your letter and wish to confirm that the points therein have been noted in our application for Building Bye Laws submitted on the 22.5.91.

Yours Faithfully,

*Patrick MacNeill*  
Patrick MacNeill

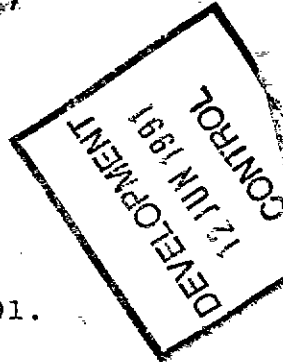
91A/0309  
L.O.O.

*copy sent to  
Bye-Laws 7/6*

PMN128/28.5.91

Our Ref: PL 6/5/85822  
P.A. Reg. Ref: 91A/309

The Secretary,  
Dublin County Council,  
Planning Department,  
Block 2,  
Irish Life Centre.



11/6  
07 JUN 91

Date: 5th June 1991.

Appeal re: Construction of two-storey detached dwellings at 'Sarafand', Knocklyon Road, with new access onto Knocklyon Road, Dublin 16.

Dear Sir/Madam,

Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within twenty-one days of the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Please quote the above appeal reference number in any further correspondence.

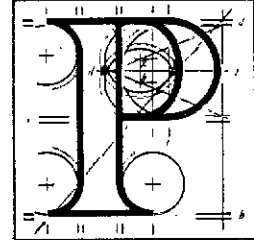
Yours faithfully,

  
Suzanne Lacey

Encl.

BP 553

An Bord Pleanála



Floor 3 Blocks 6&7  
Irish Life Centre  
Lower Abbey Street  
Dublin 1  
tel (01) 728011

do S

AN BORD PLEANALA  
DUBLIN 11/5/91  
No. 215-00 244  
No. B 23152

114 Dargle Wood  
Knocklyon Road  
Dublin 16  
16 May 1991

An Bord Pleanála  
Floor 3, Blocks 6 and 7  
Irish Life Centre  
Lower Abbey Street  
Dublin 1

Reg. Ref No. 91A/309

Re: Application by Mr T. O'Donoghue  
Site at "Sara's Land", Knocklyon Road

Dear Sirs

I have been notified by Dublin County Council of their Decision to grant permission in connection with the above-mentioned application and set out hereunder my objections to this decision.

1. I consider the proposed site to be far too small for the construction of two detached two-storey dwellings and feel this would lead to serious overcrowding.



of the immediate area.

2. At the moment the vegetation/hedgerows bordering the site which backs onto my back garden do a lot for the immediate environment. The development of this site would jeopardize this hedgerow as to utilize the ground to the best advantage would necessitate the removal of some leading in turn to the departure of the many species of birdlife which at the moment inhabit the hedgerow.

3. The proposed entrance is situated close to a dangerous bend at the point where pedestrians cross the road to the shopping centre/church/school. At the moment it is extremely difficult to cross this road due to the density and speed of the traffic. A further hazard, i.e. the proposed entrance, would only increase the danger, especially for children and old people. My own mother is 77 and crosses at this point every morning to go to mass.

4. I am informed that the development



would involve the felling of a very old tree located on the Knocklyon Road. In the 15 years I have lived in Knocklyon I have seen the loss of many old trees. It was once quite rural but is quickly changing into yet another concrete jungle. Although the County Council have been quite good in planting trees, it does take a good many years for these to mature and it seems a pity to cut down these magnificent trees.

5. The location of this site so close to my back garden with the necessary subsequent loss of the hedgerow would jeopardize the privacy which I have enjoyed over the years. I chose this site originally because of the fact that it was not overlooked. The building of the Rookery has already diminished the degree of privacy and further development would not but exacerbate this situation.

I ~~enclose~~ <sup>enclose</sup> cheque for £15 in support of this objection.

17 MAY 1991

Yours faithfully  
Anne C. Flynn

Our Ref: PL 6/5/85822  
P.A. Reg. Ref: 91A/309

The Secretary,  
Dublin County Council,  
Planning Department,  
Block 2,  
Irish Life Centre.

*RL*  
*11/6*  
07. JUN 91

Date: 4th June 1991.

Appeal re: Construction of 2 no. two-storey detached dwellings at Sarafand, Knocklyon Road with new access onto Knocklyon Road, Dublin 16.

Dear Sir/Madam,

Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within twenty-one days of the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Please quote the above appeal reference number in any further correspondence.

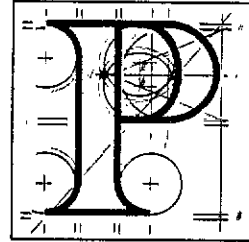
Yours faithfully,

*Suzanne Lacey*  
Suzanne Lacey

Encl.

BP 553

An Bord Pleanála



Floor 3 Blocks 6&7  
Irish Life Centre  
Lower Abbey Street  
Dublin 1  
tel (01) 728011

TOCHINOD  
1991 JUN 21  
DEVELOPMENT

*065*

An Bord Pleanála  
Flann 3 Bloks 6 x 7  
Irish Life Centre  
Green Abbey St

113 Longle Wood  
Knocklyon  
Dublin 16  
27.5.91

Re: Proposed two detached houses to side of Sarafovi  
Knocklyon Rd with shared access. Ref 91A/309

Dear Sir, Madam

I wish to be a party to the above appeal  
for the following reasons namely:-

1. The inconsistency of the Planning Dept. in granting a permission for this development, where previously on two separate applications they refused permission namely Ref nos 90A/224 and 90A 1260. The only difference that I can detect with regard to the present application over that of the previous one, is that the name of the applicant has changed from a Mr Foley to that of a Mr. A. C. Broaghue. I seek therefore to inquire what change has taken place in the interests for the ~~planners~~ to have reversed their decision. The ~~previous~~ <sup>previous</sup> two refusals for this development were appealed Ref nos PL 6/5/82487 & 90A 1260 to the Board & were subsequently upheld.
2. The development as proposed is not achievable in that the site width available is insufficient to accommodate the two houses, bearing in mind that there is a 5 metre reservation line to be

maintained from the edge of the nearest drain which is located within my garden. The exact location of this drain has not in my opinion been established correctly. The lodged drawings for this application show a 5 m reservation from the centre of the two drains which is not in keeping with the requirements of the drainage Dept. which requires the reservation to commence from the nearest edge of the pipe. This difference would amount to approx 1 metre. The side entrances or gap between the proposed two houses does not take account of the living room chimney stack which protrudes into the space thereby making the side passage width unusable for circulation.

3. A Tree survey was submitted (as part of this application) and it is understood that certain trees are to be removed from the shared boundary which has been decided without your agreement with me.

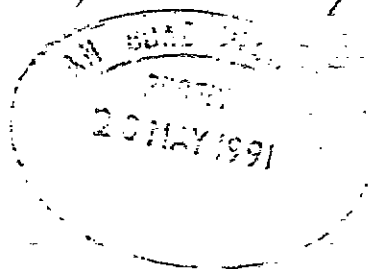
4. One of the sight lines used to achieve the entrance to this development runs through my garden and it is not therefore satisfactory. Condition No 7 of the grant of Permission regarding this matter is in my opinion an inadequate response to the fact of the matter.

5. The proposed shared access for the proposed two houses is not a practical arrangement in view of the fact that difficulties could arise between separate houses over blockages and restricted turning movements at the shared entrance. It is not good planning to design such an arrangement (and assuming cooperation between the unknown parties) into a speculative housing venture. There are numerous cases gone through the Law courts over disputes with shared entrances.

To conclude I would ask the board to refuse permission for this development and uphold a desirable standard of planning.

Yours Faithfully,

Christopher M. Speck.



COMHAIRLE CHONTAE ATHA CLIATH

Tel. 724766  
Ext. 268/269

Planning Department,  
Irish Life Centre,  
Lr. Abbey Street,  
Dublin 1.

Your Ref. 6/5/85822  
Our Ref. 91A-309

20.06.91

An Bord Pleanála,  
Blocks 6 and 7,  
Irish Life Centre,  
Lr. Abbey Street,  
Dublin 1.

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) ACTS, 1963 TO 1983

PROPOSAL : 2 dwellings on site to side of 'Sarafoanl'  
Knocklyon Rd.

APPLICANT : T O' Donoghue.

Dear Sir,

With reference to your letter dated 31.05.91 I enclose herewith:-

- (1) & (2) A copy of the application which indicated the applicant's interest in the land or structure.
- (3) A copy of the public notice given, i.e. IRISH PRESS 23/2/91
- (4) The plan(s) received from the applicant on 05.03.91
- (6) & (7) A certified copy of Manager's Order P/ 202/91 together with technical reports in connection with the application.

(8) For history docs 90A-224 see 6/5/82487  
- 90A-1260 see 6/5/84534.

Yours faithfully,

M. Mustafa  
for PRINCIPAL OFFICER

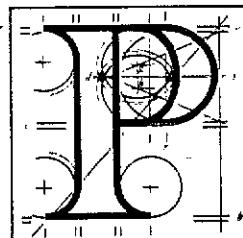
Our Ref: PL 6/5/85822  
Your Ref: 91a/309

*PC*

Dublin County Council,  
Planning Department,  
Block 2,  
Irish Life Centre.

*be*  
*6/6*  
16 JUN 91

An Bord Pleanála



Floor 3 Blocks 6&7  
Irish Life Centre  
Lower Abbey Street  
Dublin 1  
tel (01) 728011

Date: 31st May 1991

Planning authority decision re: Construction of 2 no. two-storey detached dwellings at "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road, Dublin 14.

DEVELOPMENT  
10 JUN 1991  
CONTROL

Dear Sir/Madam,

Enclosed is a copy of an appeal under the Local Government (Planning and Development) Acts, 1963 to 1990, in relation to the above-mentioned decision. So that consideration of the appeal may proceed, you are requested to forward to the Board within two weeks:

- (1) The application made to the planning authority.
- (2) Particulars of the applicant's interest in the land or structure, as supplied to the planning authority.
- (3) A copy of the public notice, whether published in a newspaper or on the site.
- (4) Any drawings, maps, particulars, information, evidence or written study received or obtained from the applicant, including the ordnance survey number.
- (5) Copies of requests (if any) to the applicant for further information relating to the application under appeal and copies of reply and documents (if any) submitted in response to such requests.
- (6) A certified copy of the relevant Manager's Order.
- (7) Copies of any technical or other reports relevant to the decision on the application.
- (8) Particulars and relevant documents relating to previous decisions affecting the same site or relating to applications for similar development close by.

Please note that the other party/parties to the appeal are being notified that copies of the planning authority documents relevant to the decision which gave rise to the above-mentioned appeal will be available for inspection at your offices after the expiration of a period of fourteen days from the date of this letter. It would be appreciated if parties could be facilitated in this regard.

Copies of the representations or observations made to the planning authority in relation to the application should not be sent to the Board. It is assumed that the planning authority has notified observers of the decision made and of the right of appeal.

The planning authority may make to the Board, in writing, such observations on the appeal as it thinks fit. Where practicable, any such observations should be submitted with the documents listed above but the furnishing of the documents should not be held up until observations are available. In any event, to ensure that they will be taken into account in the determination of the appeal, any such observations should be furnished within one month of the date of this letter.

Please quote the above appeal reference number in any further correspondence.

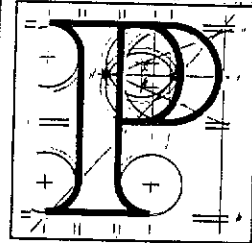
Yours faithfully,

  
 \_\_\_\_\_  
 Miriam Baxter.

Encl.

BP 005

An Bord Pleanála



Floor 3 Blocks 6&7  
 Irish Life Centre  
 Lower Abbey Street  
 Dublin 1  
 tel: (01) 728011



# Knocklyon community council

70 Lansdowne Park,  
Knocklyon  
Dublin 16.

24th May 1991.

An Bord Pleanála,  
Floor 3, Blocks 6 - 7,  
Irish Life Centre,  
Lower Abbey Street,  
DUBLIN 1.

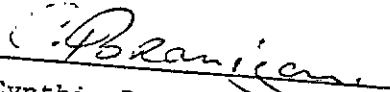
Dear Sir,

The Knocklyon Community Council wish to appeal the decision of Dublin County Council on Planning Application Reg. Ref. number 91A/0309 Sarafand, Knocklyon Road.

Details of our appeal will be forwarded to you at a later date.

Thank you.

Yours faithfully,

  
Cynthia Branigan (Sec.)

By Hand
24/5/91
f50 clg.
Rec. No. B23268

# knocklyon community council

70 Lansdowne Park,  
Knocklyon  
Dublin 16.

24th May 1991.

An Bord Pleanála,  
Floor 3, Blocks 6 - 7,  
Irish Life Centre,  
Lower Abbey Street,  
DUBLIN 1.

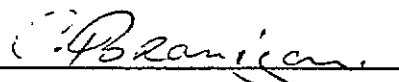
Dear Sir,

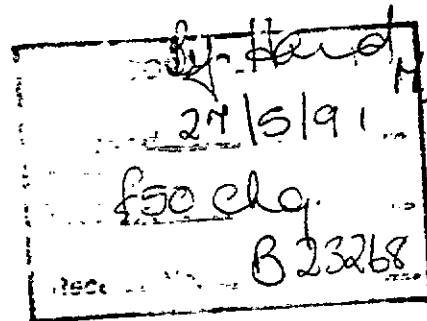
The Knocklyon Community Council wish to appeal the decision of Dublin County Council on Planning Application Reg. Ref. number 91A/0309 Sarafand, Knocklyon Road.

Details of our appeal will be forwarded to you at a later date.

Thank you.

Yours faithfully,

  
Cynthia Branigan (Sec.)



COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.

Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

Telephone: 773066

Telephone: 724755  
Extension: 231/234

13th June, 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: site adjoining Sarafand, Knocklyon Road, Dublin 16  
PROPOSED DEVELOPMENT: 2 no. detached houses  
APPLICANT: Mr. Tony O'Donoghue  
PLANNING REG. REF.: 91A/0309  
DATE OF RECEIPT  
OF SUBMISSION: 27th May, 1991

A Chara,

With reference to above, I acknowledge receipt of application for:

**Building Bye-Law Approval**

Mise, le meas

A. Smith

PRINCIPAL OFFICER

Scott & MacNeill,

5 Farmhill road,

Dublin 14



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place  in appropriate box. BUILDING BYE LAWS  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building SITE ADJOINING SARAFAND  
(If none, give description) KNOCKLYON ROAD DUBLIN 16

3. Name of applicant (Principal not Agent) MR Tony O'DONOGHUE  
Address WILLOW LODGE SCHOLARSTOWN RD Tel. No. 932673

4. Name and address of SCOTT & MAC NEILL  
person or firm responsible  
for preparation of drawings SPARMHILL ROAD D.14 Tel. No. 988531

5. Name and address to which  
notifications should be sent AS IN 4 ABOVE.

6. Brief description of  
proposed development 2 NO DETACHED DWELLINGS

7. Method of drainage TO EXIST. MAINS 8. Source of Water Supply FROM EXISTING MAINS

9. In the case of any building or buildings to be retained on site, please state:-  
(a) Present use of each floor  
or use when last used. ///  
(b) Proposed use of each floor ///

10 Does the proposal involve demolition, partial demolition  
or change of use of any habitable house or part thereof? NO.

11.(a) Area of Site 3 ACRES Sq. m.  
(b) Floor area of proposed development 118.26 x 2 Sq. m. 27 MAY 91  
(c) Floor area of buildings proposed to be retained within site Sq. m.

12.State applicant's legal interest or estate in site  
(i.e. freehold, leasehold, etc.) FREEHOLD BYE LAW APPLICATION.

13.Are you now applying also for an approval under the Building Bye Laws?  
Yes  No  Place  in appropriate box. YES. REC. No. N 39457

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:  
GENERAL REFERENCE TO £110.00

15.List of documents enclosed with 2 COPIES OF 1 SITE LOCATION MAP 90017-01  
application. DRAWINGS 90017-05B, 06,  
DRAINAGE DETAILS D123-55  
STRUCT. DETAILS 657/111  
STREET CLOSURE COVERING LETTER  
OUTLINE SPECIFICATION

16.Gross floor space of proposed development (See back) Sq. m.  
No of dwellings proposed (if any) 2 Class(es) of Development  
Fee Payable £ 59 x 2 Basis of Calculation £110 DOMESTIC DWELLINGS x 2  
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Patrick Muelcell Date 10.5 - 1991

Application Type ..... FOR OFFICE USE ONLY  
Register Reference .....  
Amount Received £ .....  
Receipt No .....  
Date .....

91A/0309  
3.10.2.2  
BBL

RECEIVED  
27 MAY 1991  
REC 51 P

**LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.**

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
  - (a) The address of the structure or the location of the land.
  - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
  - (c) The name of the applicant.

**NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
  - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
  - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
    - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
  - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m <sup>2</sup> (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.  
For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

[Empty box for Receipt Code]

CASH

CHEQUE

M.O.

B.L.

I.T.

BYE LAW APPLICATION.

REC. No. N 39457

£110.00

Received this 27th day of May 1991

from Seth MacNeill,  
5 Farmhill Rd,  
D. 14

the sum of one hundred and ten Pounds

being, being... Fee for bye-law application at Knocklyon Rd.

Maureen Deane Cashier

S. CAREY Principal Officer [Signature]

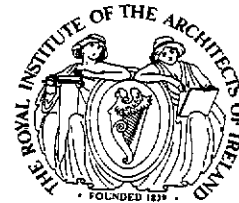
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# SCOTT AND MACNEILL

---

5 Farmhill Road,  
Goatstown,  
Dublin 14.  
Ph: 01-981827/988531  
Fax: 01-985949

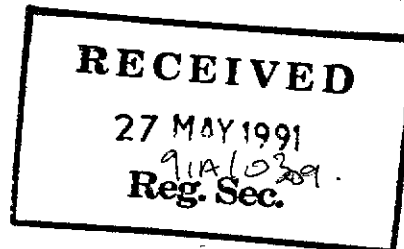
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ARCHITECTS

21st May 1991,

**Building Bye Law Officer,**  
Planning Department,  
Dublin County Council,  
Irish Life Centre,  
Middle Abbey Street,  
Dublin 1.



**Re: Proposed Construction of 2 No 2 storey Houses and Associated Site Works at Lands Adjoining Sarafand, Knocklyon Road, for Mr. T O'Donoghue.**

Dear Sir,

Planning permission under Reg Ref No. 91A0309 received on the 7th May 1991 in respect of the above dwellings.

We now wish to apply Building Bye Law Approval subsequent to this decision.

We therefore enclose in support of this application 2 copies of the following:

Drawing Nos. 90017/05 & 06, 90017/01.  
Drainage layout as prepared by Messrs McCarthy & Partners  
Structural details and calculations as prepared by Messrs Moloney and Miller.  
Outline specification.

We also enclose a copy of the Building Bye Law Application form and the Building Bye Law fee in the sum of £110.00.

We also wish to apply for a waiver of the Building Bye Laws in respect of a proposed single stack Drainage System.

If you have any queries in respect of this application we would be obliged if you would contact the undersigned for further clarifications.

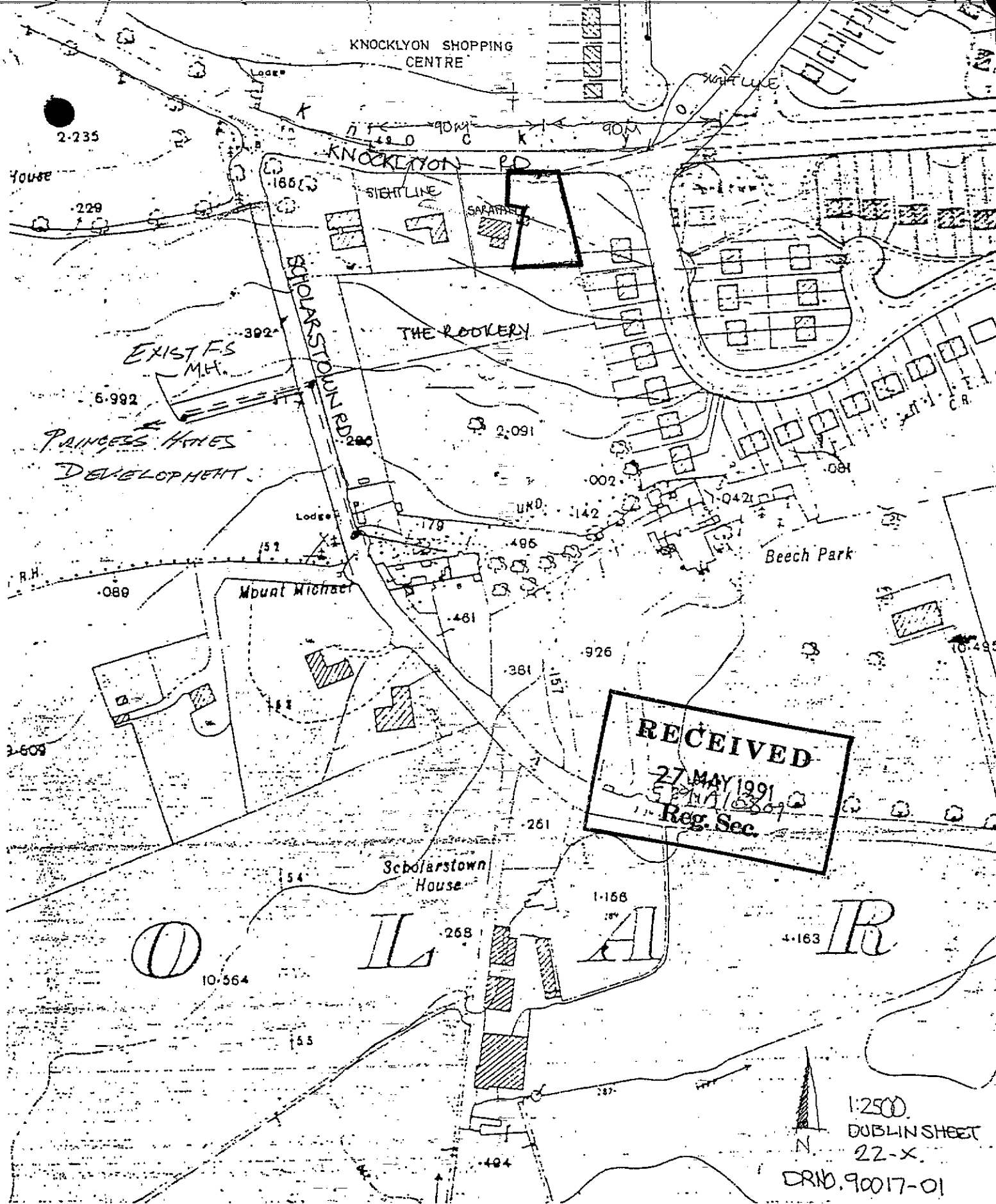
Your sincerely,

  
Patrick MacNeill

PMN125/21.5.91

William Scott B. Arch. MRIAI RIBA

Patrick MacNeill B. Arch. MRIAI RIBA



**SCOTT AND MACNEILL ARCHITECTS**

Client MR. TONY O'DONOGHUE	Drawing LOCATION MAP	Scale 1:2500	Date JULY 1990
Project 2 NO HOUSES AT KNOCKLYON, DUBLIN 16	Stage L.A. APPROVAL	Project no. 90017	Org. no. Rev. 01



5 Farnhill Road,  
Goatstown,  
Dublin 14.  
Telephone: (01)  
981827, 988531



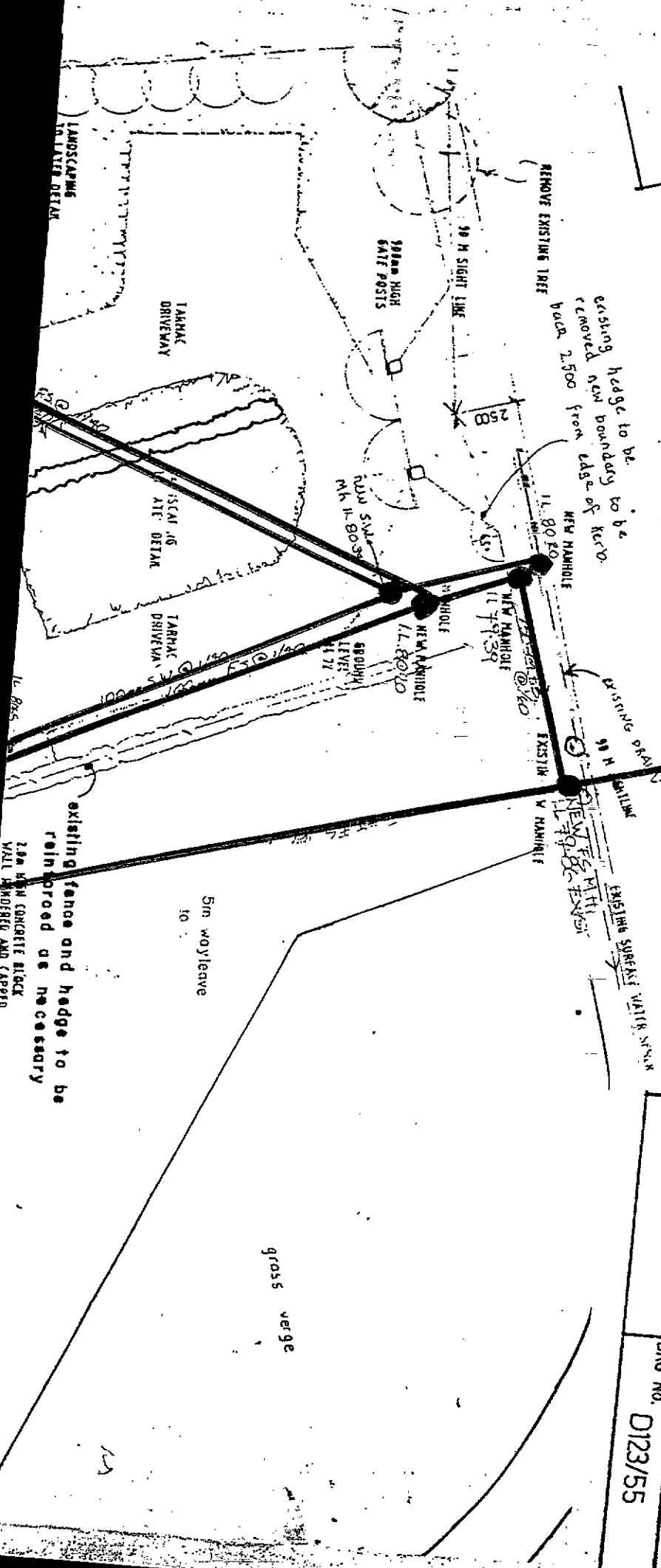


**RECEIVED**  
 27 MAY 1991  
 21/AL/2387  
 Reg. 588

EX-134MH  
 FL 08/98  
 IL-79

KEY:

- EXISTING FOU.
- EXISTING SURFACE WATER
- NEW FOU.
- NEW SURFACE WATER



TITLE <b>DRAINAGE LAYOUT</b>	
PROJECT CONSTRUCTION OF 2 NO. DWELLINGS ON LAND ADJOINING SARAFAND KNOCKLYON RD DUB16	
CLIENT MR. TONY O DONOGHUE	
D. MCCARTHY & Co. CONSULTING ENGINEERS LYNWOOD HOUSE BALLINTEER ROAD DUBLIN 16	
SCALE 1:200	PHONE 984147/988244
DRAWN BY	DATE APRIL 1990
	DRG No. D123/55

# MOLONY AND MILLAR

Consulting Civil & Structural Engineers

19 Terenure Road West Dublin 6W Ireland

Fax: 903380

Telephone: 903368

Your Ref:

Our Ref: 657/1 RG/HM

Date: 30th April, 1991

James S. Millar

B.E., M.Sc., C.Eng., M.I.C.E., M.I.E.I., Eur.Ing., M.Cons.E.I.

Raymond D. Goggin

B.E., C.Eng., M.I.E.I., Eur.Ing.

Chief Planning Officer,  
Dublin County Council,  
Block 2, Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

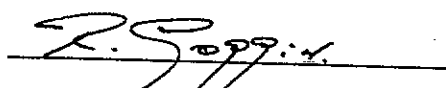
Dear Sir,

PROPOSED 2 No. DWELLINGS ON LANDS  
ADJOINING SARAFAND, KNOCKLYON ROAD,  
DUBLIN 16, FOR MR. TONY DONOGHUE.



We have been appointed Civil/Structural Consulting Engineers for the above project, and we hereby certify that the structural design is in accordance with the requirements of the current relevant Irish and British Standard Specifications and Codes of Practice.

Yours faithfully,

  
RAYMOND GOGGIN



Member of the Association of Consulting Engineers of Ireland

PROJECT No: 657/1  
PROJECT TITLE: \_\_\_\_\_  
REFERENCE: \_\_\_\_\_  
SHEET: \_\_\_\_\_  
DATE: \_\_\_\_\_

**MOLONY & MILLAR**  
CONSULTING ENGINEERS  
19 Terenure Road West  
Dublin 6W Tel: 01-903368  
Fax: 01-903380

REF.	CALCULATIONS	OUTPUT
	<p style="text-align: center;"><b>RECEIVED</b> 27 MAY 1991 91A12309 Reg. Sec.</p> <p style="text-align: center;">PROPOSED 2 No. Dwellings AT 'SAZAFAND', Knocklyon Road</p> <p style="text-align: center;">STRUCTURAL CALCULATIONS FOR ROOF &amp; FIRST FLOOR.</p>	<p style="text-align: right;">PREPARED <i>[Signature]</i> CHECKED</p>

PROJECT No: 657/1  
 PROJECT TITLE: HOUSE AT SARAFED  
 REFERENCE: KNOCKLYON ROAD D.16  
 SHEET: 1  
 DATE: \_\_\_\_\_

**MOLONY & MILLAR**  
 CONSULTING ENGINEERS  
 19 Terenure Road West  
 Dublin 6W Tel: 01-903368  
 Fax: 01-903380

REF.	CALCULATIONS	OUTPUT
------	--------------	--------

Roof Structure

Roof Rafters:

D.L. =  $0.75 \text{ kN/m}^2 \times 0.707 \text{ (slope)} = 0.53 \text{ kN/m}^2$

L.L. =  $\frac{0.75}{1.28} \text{ kN/m}^2$

W =  $1.28 \times 35 = 0.448 \text{ kN/m}$

U =  $0.448 \times \frac{4.5}{8} = 1.134 \text{ kN/m}$

125 R35:  $744 \times \frac{1}{6} \times 35 \times 175 = 0.179 \times 10^6 \text{ mm}^3$

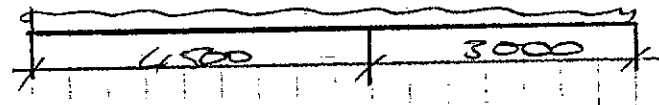
$\sigma_{m, a, II} = \frac{1.134 \times 10^6}{0.179 \times 10^6} = 6.35 \text{ N/mm}^2$

ALL TIMBER SHALL BE STRENGTH CLASS PC I.

$\Rightarrow \sigma_{m, adm, II} = 5.3 \times 1.1 \times 1.25 = 7.3 \text{ N/mm}^2 > 6.35 \text{ O.K.}$

PUR LINS

7.0 kN/m



W =  $1.50 \text{ kN/m}^2 \times \left( \frac{4.5}{2} + 2.0 \right) = 6.375 \text{ kN/m}$

BEAM =  $\frac{0.625}{2.0} \text{ kN/m}$

PREPARED J.G.  
 CHECKED \_\_\_\_\_

PROJECT No: 653/1  
 PROJECT TITLE: \_\_\_\_\_  
 REFERENCE: \_\_\_\_\_  
 SHEET: 2.  
 DATE: \_\_\_\_\_

**MOLONY & MILLAR**  
 CONSULTING ENGINEERS  
 19 Terenure Road West  
 Dublin 6W Tel: 01-903368  
 Fax: 01-903380

REF.	CALCULATIONS	OUTPUT
	$W = 9.0 \times \frac{4.5}{8} = 17.7 \text{ kPa}$ $203 \times 133 \times 25 \text{ U.S. } Z_{eff} = 232 \text{ cm}^3$ $f_{bc} = \frac{17.70 \times 10^6}{232 \times 10^3} = 76.4 \text{ N/mm}^2$ <p>TOP OF GIRDER RESTRAINED BY            RAFTERS <math>\Rightarrow f_{bc} = 165 \text{ N/mm}^2 &gt; 76.4 \text{ O.K.}</math></p> <p>VALLEY BEAM SHORTER SPAN <math>\Rightarrow</math> USE 203X133X25 U.S.</p> <p><u>FLOOR JOISTS</u></p> $\text{MAX. SPAN} = 3.0 \text{ m}$ $\text{D.C.} = 0.25 \text{ kPa/m}$ $\text{LL} = \frac{1.50}{2.75} \text{ kPa/m}$ $\text{TD} = 2.25 \times 350 = 0.79 \text{ kPa/m}$ $W = 0.99 \times \frac{3.0}{8} = 0.89 \text{ kPa/m}$ $175 \times 35: \sigma_{m, ed, II} = \frac{0.89 \times 10^6}{0.179 \times 10^6} = 4.94 \text{ N/mm}^2$ $\sigma_{m, ed, II} = 5.3 \times 1.1 = 5.83 \text{ N/mm}^2 > 4.94 \text{ O.K.}$	
		PREPARED
		CHECKED

PROJECT No: 657/1  
 PROJECT TITLE: HOUSES AT 'SARAFAND' D16  
 REFERENCE: \_\_\_\_\_  
 SHEET: 2  
 DATE: \_\_\_\_\_

**MOLONY & MILLAR**  
 CONSULTING ENGINEERS  
 19 Terenure Road West  
 Dublin 6W Tel: 01-903368  
 Fax: 01-903380

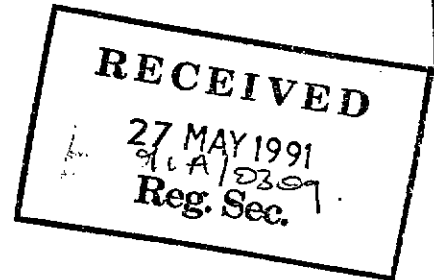
REF.	CALCULATIONS	OUTPUT
	<p><u>ROOF STRUCTURE:</u></p> <p>Roof RAFTERS:</p> <p>DL = 0.25 k/m            LL = 0.25            1.50 k/m</p> <p>W = 1.50 x 0.350 = 0.525</p> <p>M = 0.525 x <math>\frac{4.5^2}{8}</math> = 1.33 kNm</p> <p>175 x 35: 244. <math>\frac{1}{6} \times 35 \times 175^3</math> = <math>0.178 \times 10^6</math> mm<sup>3</sup></p> <p>→ <math>\sigma_{m, a, 11}</math> = <math>\frac{1.33 \times 10^6}{0.178 \times 10^6}</math> = 7.47 N/mm<sup>2</sup></p>	
		PREPARED
		CHECKED

OUTLINE SPECIFICATION FOR

PROPOSED CONSTRUCTION OF 2 NO. TWO STOREY HOUSES AND  
ASSOCIATED SITE WORKS

AT

LANDS ADJOINING  
'SARAFAND',  
KNOCKLYON ROAD,  
DUBLIN 16..



FOR

MR. T O'DONOGHUE

Scott & MacNeill,  
Architects,  
5, Farmhill Road,  
Goatstown,  
Dublin 14.

Tel: 988531/981827  
Fax: 985949

15th FEBRUARY 1991



## OUTLINE SPECIFICATION FOR CONSTRUCTION OF DWELLINGS

### 1.00 EXCAVATION OF SITE

- 1.01 Remove approximately 300mm of top soil from under the proposed dwellings extensions and footpaths, etc. Store excavated topsoil for further use in predetermined compound area.
- 1.02 Excavate for foundation trenches to approximately 950mm deep to good bearings to the widths of foundations shown.

### 2.00 FOUNDATIONS

- 2.01 External wall foundations to be 900 x 300 Grade 20 concrete to all external walling. Provide min. 300 x 600 Grade 20 concrete strip foundation to all internal blockwork partitions.
- 2.02 Foundations to be formed on good bearing soil at minimum depth 950mm below finished ground level.

Foundation to be designed in accordance with:

BS CP 2004 : 1972. Ref. No. AMD 1755  
BS CP 101 : 1972. Ref. No. AMD 1754 2471

- 2.03 All foundation trenches to be kept free of moisture and before placing concrete.
- 2.04 All concrete to be deposited as quickly as possible after delivery (if ready mix) or after mixing and shall proceed continuous to ensure that complete sections are undertaken in one operation. Concrete cube tests to be undertaken during works to ensure consistency of concrete quality.
- 2.05 Concrete work shall not be undertaken when the temperature is less than 3°C.

### 3.00 DPC

- 3.01 Vertical and horizontal DPC's to be IS 57 with 150mm mix laps.
- 3.02 DPC's to be located as follows:  
Horizontally to block walls at approximately 150mm above finished ground level.  
Vertically to all cavity closures at reveals door opes etc.  
Under at side of and behind all window cills.  
Across cavities in stepped formation as cavity trays above canopies etc.  
Instepped and overlapping pattern across cavities at canopy hips etc. (All cavity trays to be formed continuous with lead flashings).  
  
In stepped pattern across entire chimney stack at junction with roof and to be formed continuous with chimney flashings.  
Under chimney cappings across entire chimney stack.  
Vertically at floor slab edge under external door thresholds (to be formed continuous with vertical cavity DPC at cavity closure.)
- 3.03 Horizontal DPC to walling to be continuous with under floor DPM.  
Vertical DPC at window reveals to be formed continuous with cill DPC.

3.04 Underfloor DPM to be 1000 gauge 'visqueen' laid on blinding. DPM at joints to be lapped and folded and entire floor to be covered with continuous DPM sheeting.

#### **4.00 FLOOR SLAB**

4.01 Floor slab to be 50mm screed on 150mm grade 20 concrete on 1000 gauge visqueen on 150mm blinding and well compacted hardcore.

4.02 Hardcore to be DOE Clause 803, or as approved by County Council Building Bye-Law Department.

4.03 Spread hardcore in maximum layers of 200mm and compact with vibrating roller. Protect rising walls during compaction and backfill on external side of external walls prior to compaction.

4.04 Provide 1000mm wide perimeter insulation to entire external walling.

#### **5.00 BLOCK WALLING**

5.01 External walling to consist of:

(a) 100mm clay brick outer leaf  
50mm clear cavity  
50mm rigid insulation  
100mm blockwork inner leaf

or

(b) 215mm concrete hollow blockwork rendered externally with insulated drylining to inner face.

5.02 Where situation (a) prevails:

Cavity to be closed 225mm below horizontal DPC level and weephole drainage to be provided.

Stainless steel wall ties suitable for use with rigid polystyrene insulation to be built into blockwork and brickwork at 900mm horizontal centres and 450mm vertical centres in staggered pattern.

Blockwork to be evenly raised and no portion to be constructed to greater than 900mm above adjoining blockwork.

Solid blockwork only to be used below wall DPC level.

5.03 Brick and blockwork to comply with BSCP 111 1970 AMD 744 and 2031

5.04 Heads of window and door apes in brick situation to be formed with MS 'Catnic' or similar approved lintels. Heads of windows, external and internal doors in block situation to be formed with precast concrete lintels with minimum bearing of 225mm to either side. Precast lintels to be provided with mid span central support for minimum 14 days after installation and to bear on solid concrete bearing pads.

5.05 Chimneys to be constructed on minimum 300mm deep base formed at foundation level. Chimney blockwork to be bonded to gable walling at every second course. Provide DPC to chimney breast continuous with horizontal wall DPC at ground floor slab level.

Provide stepped DPC to chimney stack at junction of roof. Stepped DPC to be continuous with and lapped with external No. 5 lead flashing.

Provide horizontal DPC under brickwork capping to stack.

Chimney stack to be carried minimum 900mm above ridge height.

Form head to fireplace with precast head and gathering. Flues to fireplace with precast head and gathering. Flues to be socket and spigot parged all round with weak lime mortar mix.

Provide minimum 225mm solid blockwork between adjacent chimney flues.

No timbers to be built into chimney blockwork and to be located minimum 35 mm from same.

- 5.06 Party walls to be carried tight to under side of roof finish to all locations and to be fire stopped with tightly packed fibre glass. Any voids to party wall to be filled with lean mix concrete. Soffit boxes at party walls to be fire stopped.
- 5.07 Provide precast lintel over all pipework ducts in rising walls.
- 5.08 All extension block walls to be bonded to rere wall at each alternate course.

## **6.00 UPPER FLOOR**

- 6.01 Upper floor joists to be imported stress graded to BS 4978 and designed in accordance with the requirements of CP 112. Boarding generally to be formed with tongued and grooved flooring on joists.
- Floor joists to be doubled and bridged with solid bridging at 300 centres under upper floor partitions parallel to joist span.
- 6.02 Joist ends where built into walling to be treated with suitable wood preservative by overnight immersion rather than brushing on at time of construction.
- 6.03 All upper floor joists to be provided with solid bridging at minimum centres 1500mm.
- 6.04 25mm marine ply or similar water resistant boarding to all upper floor bathroom and ensuites.

## **7.00 ROOFING**

- 7.01 Roofs to be selected concrete interlocking tiles on 50 x 38mm treated timber battens on untearable sarking felt on trusses/rafters to Engineers specification.
- 7.02 Battens to be nailed broken jointed to rafters with no more than 2 batten joints to each rafter.
- 7.03 Provide 100 x 75mm treated timber wall plate on DPC bedded in mortar.
- 7.04 Rafters to be fixed to wall plate with twisted mild steel 'bat' straps fixed to each rafter and wall plate at 450 centres. Bat straps to be 700mm long with minimum 4 fixings to masonry.

- 7.05 Cut roof construction to Engineers details.
- 7.06 Provide 75 gallon capacity cold water storage tank on supports to IS 193. Tank to have lid and be insulated with minimum 100mm fibre glass insulation. No insulation to be located under tank.
- 7.07 Provide 2 No. patent ridge ventilators to each house.  
Provide 2 No. ventilators to soffits at each side of house. Alternatively allow 19mm continuous air gap with mesh insect barrier at soffit. Install insulation to ensure free flow ventilation to attic space.
- 7.08 Provide 100mm approved insulation on vapour barrier between ceiling joists.  
Insulation to stop short of wall plate and not to hinder free ventilation of roof space.
- 7.09 Tank base to consist of 35 x 100 spreader beams spanning over 7 joists, supporting 75 x 150 secondary bearers, supporting 35 x 100 partitions located parallel to trusses.

## 8.00 JOINERY

- 8.01 Window generally to be hardwood with top hung opening sections.
- 8.02 Fascias and soffits to be 150 x 25mm treated softwood.
- 8.03 Skirtings to be 125 x 25 splayed.

## 9.00 DRAINAGE

- 9.01 Gutters to be 100mm SQ Section PVC secured on brackets to falls.  
Rainwater pipes to be 100mm drain PVC secured with holderbats or fitted lugs so to stand 25mm clear of the finished wall and having all necessary toes etc.
- 9.02 Lay in trenches under drain-pipes, gullies, junctions etc. layer of mix A concrete to minimum thickness of 100mm laid to falls and width of twice the external diameter of the pipe resting thereon and haunched half way up pipe. Expansion joint to be provided at minimum 15 metre centres to base concrete.
- 9.03 Drain pipes to be PVC to IS 6.
- 9.04 Lay all drains to the necessary falls and connect them to gully junctions, soil pipes and manholes in such a manner that every line of drain is straight and true from point to point with a regular gradient throughout its length.
- 9.05 Armstrong Junctions to be 225 x 225 PVC with galvanised steel cover and frame set on and surrounded with 150 x 150 thick concrete mix A.
- 9.06 Gully traps to be 250mm PVC back type used where fittings drain below floor slab level. Heavy galvanised grating to be set on and surrounded by 150 x 150 concrete mix A well dished down to grating.

- 9.07 Manhole to be of dimensions to allow all junctions to be made with an easy radius curve. Manhole bases and roofs to be in mix A reinforced concrete 150mm thick. Channels haunched in concrete. Walls are to be constructed in 225 solid block plastered inside with 10mm water proof rendering.
- 9.08 Manhole covers to be deep seat pattern galvanised cast iron. Air tight cover and frame weighting a minimum of 114kg to BS 497 (1967) grade B to driveways. Frame to be bedded in mastic.
- 9.09 All drains when passing under buildings to be covered with minimum 150mm concrete.
- 9.10 Wastes from WC, WHB and bath to be connected to soil stack with approved collar boss fitting. Base of soil stack to be fitted with easy bend and cleaning eye to be fitted to stack at first floor level. Accessible full height panel to soil stack. Sound proof stack with in dwelling by surrounding fibreglass.

## **10.00 ELECTRICAL INSTALLATION**

- 10.01 Electrical installation to be in accordance with the rules of the ETCI and to the requirements of the ESB. Test certificate to be provided by electrical contractor on completion of installation.

---

Patrick MacNeill. B.Arch.MRIAI.RIBA.

PG



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Anthony Manahan & Associates,  
"Fountain House",  
55, Main Street,  
Rathfarnham,  
Dublin 14.

Reg. Ref. 91A-0309

7 May 1991

Re: Proposed construction of 2 no. two storey detached dwellings on site to the side of "Sarafand", Knocklyon Road with new shared access onto Knocklyon Road for Mr. T. Donoghue.

I, the undersigned, hereby acknowledge receipt of Notification of Decision, dated 7 May 1991, in connection with the above.

Signed: \_\_\_\_\_

On behalf of: (Name) \_\_\_\_\_  
(Address) \_\_\_\_\_

I hereby certify that the above Notification, dated 7 May 1991, was handed by me to the above signed today.

SIGNED: Paul J. O'Brien  
DATED: 7/5/91

*Dropped in  
letter box 4-15pm*

# DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,  
BLOCK 2,  
IRISH LIFE CENTRE,  
LR. ABBEY STREET,  
DUBLIN 1.

Notification of Decision to Grant Permission/  
Local Government (Planning and Development) Acts, 1963-1983

To Anthony Manahan & Associates, Decision Order  
Number and Date 15/2021/91 - 007.05.1991  
"Fountain House", Register Reference No. 91A-0309  
55, Main Street, Planning Control No.   
Rathfarnham, Dublin 14. Application Received on 08.03.1991  
Applicant Mr. T. O'Donoghue. Floor Area: 118.26 sq. m. x 2

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-  
construction of 2 no. two storey detached dwellings on site to  
the side of "Sarafand", Knocklyon Road with new shared access  
onto Knocklyon Road.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
<p>1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.</p> <p>2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.</p> <p>3. That each house be used as a separate dwelling unit.</p> <p>4. That the water supply and drainage arrangements including the disposal of surface water be in accordance with the requirements of Sanitary Services Department. The applicant should note that a fire hydrant is to be fitted on to the County Council watermain at the applicants expense.</p>	<p>1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.</p> <p>2. In order to comply with the Sanitary Services Acts, 1878-1964.</p> <p>3. To prevent unauthorised development.</p> <p>4. In order to comply with the Sanitary Services Acts, 1878-1964.</p>

(Continued)

Signed on behalf of the Dublin County Council

*Rose [Signature]*  
For Principal Officer

Date 7th May, 1991.

IMPORTANT: Turn overleaf for further information

(Continued) CONDITIONS

REASONS FOR CONDITIONS

5. That the following requirements of the Roads Department be complied with.

(a) the boundary shall be set back 3 metres from the edge of the existing carriageway. Entrance gate to be recessed a further 1.5 metres from the new boundary with wing walls splayed 45°. Strip between edge of carriageway and new boundary to be levelled and grassed to County Council standards. Entrance gate to be located to the satisfaction of Road Department.

(b) Footpath and kerb to be dished to satisfaction of the Area Engineer, (Roads Maintenance).

6. That the proposed site lines shown on Drawing No. 07 submitted as part of this application be provided prior to the commencement of any development on the site.

7. That the trees and hedgerows which it is proposed to retain on the site be protected during construction by means of fencing.

8. That any proposed planting on the site take place behind the proposed sight lines. No trees or hedgerows are to interfere with these sight lines.

9. That proposed houses be located on site in accordance with site layout plan (Drawing No. 05).

10. Details of front boundary treatment, wing walls, gateposts and entrance gates to be agreed with the Planning Authority prior to the commencement of development.

5. In the interest of the proper planning and development of the area.

6. In the interest of the proper planning and development of the area.

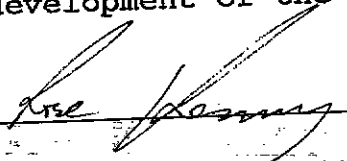
7. In the interest of the proper planning and development of the area.

8. In the interest of the proper planning and development of the area.

9. In the interest of the proper planning and development of the area.

10. In the interest of the proper planning and development of the area.

(Continued)



NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—  
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.



# DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,  
BLOCK 2,  
IRISH LIFE CENTRE,  
LR. ABBEY STREET,  
DUBLIN 1.

Notification of Decision to Grant Permission/  
Local Government (Planning and Development) Acts, 1963-1983

To Anthony Manahan & Associates, Decision Order  
"Fountain House", Number and Date P/2021/91 - 007.05.1991  
55, Main Street, Register Reference No. 91A-0309  
Rathfarnham, Dublin 14. Planning Control No. \_\_\_\_\_  
Applicant Mr. T. O'Donoghue. Application Received on 08.03.1991  
Floor Area: 118,26 sq. m. x 2

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-

construction of 2 no. two storey detached dwellings on site to  
the side of "Sarafand", Knocklyon Road with new shared access  
onto Knocklyon Road.

SUBJECT TO THE FOLLOWING CONDITIONS

(Continued)	CONDITIONS	REASONS FOR CONDITIONS
<p>11. Should the proposed development necessitate the relocation of any poles at the front of the site, the work is to be undertaken at the applicants expense.</p>	<p>NOTE: The attention of the applicant is drawn to Section 26(11) of the Local Government (Planning and Development) Act, 1963, which relates as follows:- "A person shall not be entitled solely by reason of a permission or approval under this section to carry out any development."</p>	<p>11. In the interest of the proper planning and development of the area.</p>
<p>12. That a financial contribution in the sum of £1,500 be paid by the proposer to the Dublin County <sup>council</sup> towards the provision of public services in the area of the development and which facilitates this development; this contribution to be paid prior to the commencement of development on site.</p>	(Continued)	<p>12. In the interest of the proper planning and development of the area.</p>

Signed on behalf of the Dublin County Council \_\_\_\_\_  
For Principal Officer

Date 7th May, 1991.

IMPORTANT: Turn overleaf for further information

(Continued)

CONDITIONS

REASONS FOR CONDITIONS

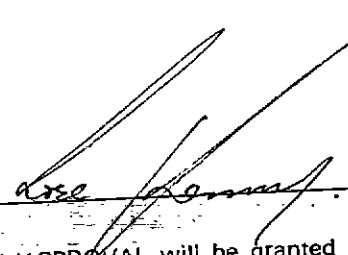
13. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, has been given by:-

- a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £2,000.  
OR.....
- b. Lodgement with the Council of a Cash Sum of £2,000.  
OR.....
- c. Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

14. Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

13. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

14. In the interest of reducing air pollution.



**NOTE:**

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

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(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/0309

Date : 8th March 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Construction of 2 no. two story detached dwellings.

LOCATION : On site to the side of "Sarafand" Knocklyon Road with  
new shared access onto Knocklyon Road.

APPLICANT : T. O' Donoghue,

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received  
on 8th March 1991.

Yours faithfully,

.....

PRINCIPAL OFFICER

Anthony Managan & Associates,  
"Fountain House",  
55 Main Street,  
Rathfarnham,  
Dublin 14.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place / in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building ..... Site adjoining "Sarafand", Knocklyon Road.  
(If none, give description .....  
sufficient to identify) ..... Dublin 16.

3. Name of applicant (Principal not Agent) ..... Mr. Tony O'Donoghue.  
Address ..... Willow Lodge, Scholarstown Road, Dublin 16. .... Tel. No. ....

4. Name and address of ..... Scott and MacNeill, Architects,  
person or firm responsible .....  
for preparation of drawings ..... 5 Farmhill Road, Goatstown, Dublin 14. .... Tel. No. ....

5. Name and address to which ..... Anthony Manahan & Associates, "Fountain House", 55 Main  
notifications should be sent ..... Street, Rathfarnham, Dublin 14. Tel. 907997/908437.

6. Brief description of .....  
proposed development ..... 2 no. Detached Houses.

7. Method of drainage ..... Co. Co. Drains. .... 8. Source of Water Supply ..... Co. Co. Mains.

9. In the case of any building or buildings to be retained on site, please state:-  
(a) Present use of each floor .....  
or use when last used. ....  
(b) Proposed use of each floor .....

10 Does the proposal involve demolition, partial demolition .....  
or change of use of any habitable house or part thereof? ..... No.

11. (a) Area of Site ..... 0.30 acres approx. .... Sq. m.  
(b) Floor area of proposed development ..... 118.26 sq.m. x 2. .... Sq. m.  
(c) Floor area of buildings proposed to be retained within site ..... Sq. m.

12. State applicant's legal interest or estate in site ..... Freehold.  
(i.e. freehold, leasehold, etc.) .....

13. Are you now applying also for an approval under the Building Bye Laws?  
Yes  No  Place  in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:  
Have been taken into account.

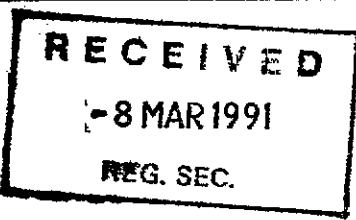
15. List of documents enclosed with ..... 4 copies drwgs. 01, 05, 06, 103 & 104, D123-65, outline  
application. .... specifications, land registry map, covering letter, newspaper  
advertisement, cheque.

16. Gross floor space of proposed development (See back) ..... Sq. m.

No of dwellings proposed (if any) ..... 2 ..... Class(es) of Development ..... 1  
Fee Payable £ 64.00 ..... Basis of Calculation ..... £32.00 x 2  
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) ..... Manahan ..... Date 2/2/91

Application Type ..... P/B/L ..... FOR OFFICE USE ONLY  
Register Reference ..... 91A/0309 .....  
Amount Received £ ..... 22-10 ..... 2,32.8  
Receipt No .....  
Date .....



Shirley  
23/2/91

64  
8/3  
N 34121

DUBLIN 16 Permission sought for the construction of 2 no. two story detached dwellings on site to the side of "Sarafand" Knocklyon Rd with new shared access onto Knocklyon Road for Mr T O'Donoghue.

**LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.**

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
  2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
  3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
    - (a) The address of the structure or the location of the land.
    - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
    - (c) The name of the applicant.
- NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
  5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
    - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
    - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
      - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
    - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
  6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat,	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m <sup>2</sup> (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00
		Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

# COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY

DUBLIN COUNTY COUNCIL  
46/49 UPPER O'CONNELL STREET  
DUBLIN 1.

CASH  
CHEQUE  
M.O.  
B.L.  
I.T.

Issue of this receipt is not an acknowledgement that the fee tendered is the prescribed application fee. N. 34121

RECEIPT CODE

€61.00

8th

day of

March

1991

Received this

from

A. Mahahan  
55 Mahahan  
Rathfarnham

Notes

Pounds

the sum of

sixty four

Pence, being

receipt application of Mahahan

Ms. Dean

Dean

Cashier

S. CAREY  
Principal Officer

100 x 2

# Anthony Manahan & Associates

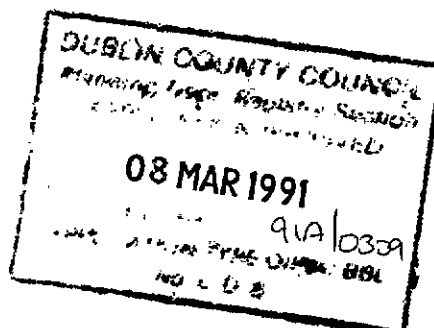
CHARTERED  
TOWN PLANNING &  
REGIONAL PLANNING  
CONSULTANTS

FOUNTAIN HOUSE  
55 MAIN ST.,  
RATHFARNHAM  
DUBLIN 14

Tel: (01) 907997  
(01) 908437  
Fax: (01) 905076

7th, March, 1991.

The Principal Officer,  
Dublin County Council,  
Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
DUBLIN 1.



RE : 2 DWELLING HOUSES ON SITE ADJOINING "SARAFAND", KNOCKLYON  
ROAD, DUBLIN 16.

Dear Sir,

On behalf of our client, Tony O'Donoghue, we wish to apply for permission for 2 dwelling houses on lands adjoining "Sarafand", Knocklyon Road, Dublin 16.

Planning permission was previously sought for 2 houses on this site (Reg. Ref. 90a/224) and the Planning Authority refused permission for 5 reasons. This decision was appealed to An Bord Pleanala who refused permission for 2 reasons only. A second concurrent application (Reg. Ref. 90a/1260) was lodged and the Planning Authority refused permission for one reason only. This decision was upheld on appeal by An Bord Pleanala who refused permission on the 22nd February 1991 for one reason only. This was, inter alia, "that the applicant has not shown that adequate vision splays can be provided at the proposed entrance in accordance with the requirements of the Planning Authority". It is in response to this refusal that the current application is being lodged.

During the previous application the owner of the adjoining dwelling 113 Dargle Wood wrote to the Planning Authority and claimed ownership of the grass verge along his site and indicated that it was his intention to plant trees on it. It was over this verge that our client proposed to provide a clear sight line. In view of this submission the Roads Department issued a negative report which was accepted by both the Planning Authority and An Bord Pleanala.

The owner of No. 113 does not own this grass verge but rather it

Contd/...

ANTHONY MANAHAN BA M Phil (Edln) MIPI MRTPI  
J BRENDAN O'DEA B ENG MIPI  
FIONA O'CALLAGHAN BA (Mod) MRUP MIPI

VAT No 2850391 E

is in public ownership. There is a surface water drain and foul sewer running through the grass verge (see coloured engineering drawings D125/55 attached). Furthermore we enclose four copies of the Land Registry Title Map for 113 Dargle Wood which shows that the grass verge in question is not part of the site of No. 113. It is obvious on examination that this grass verge is in public ownership and its future use will not inhibit the achievement of satisfactory sight lines on this site.


In this regard we enclose a further drawing by Scott and MacNeill showing the location of two 60 metre sight lines drawn from a distance of 2.5 metres from the carraigeway. This distance complies with Dublin County Council Traffic Department standards for Local Distributor Roads. It can be seen that there is a clear line of vision in both directions for the required distance.

Concern has also been expressed to maintain the screening effect of the hedgerow between No. 113 and the site. In this regard we enclose 4 copies of a Tree Evaluation Survey of this site prepared by P. C. Roche and Associates, Landscape Architects. In addition four copies of the plan showing landscaping proposals are also enclosed. These proposals allow for the reinforcing of the hedgerow where necessary. In addition the location of the two houses on the site are moved so as to give greater clearance to the hedgerow.

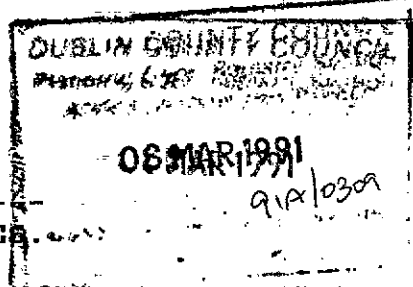
This application also contains drawings showing a housetype designed to have minimal impact on adjoining sites. The existing and proposed services are also shown on the attached engineering drawings.

This application is accompanied by a completed application form, four copies of the relevant drawings, a statutory newspaper advertisement, a cheque for the required amount, and outline specifications. Any queries should be directed to the undersigned firm.

Yours faithfully,



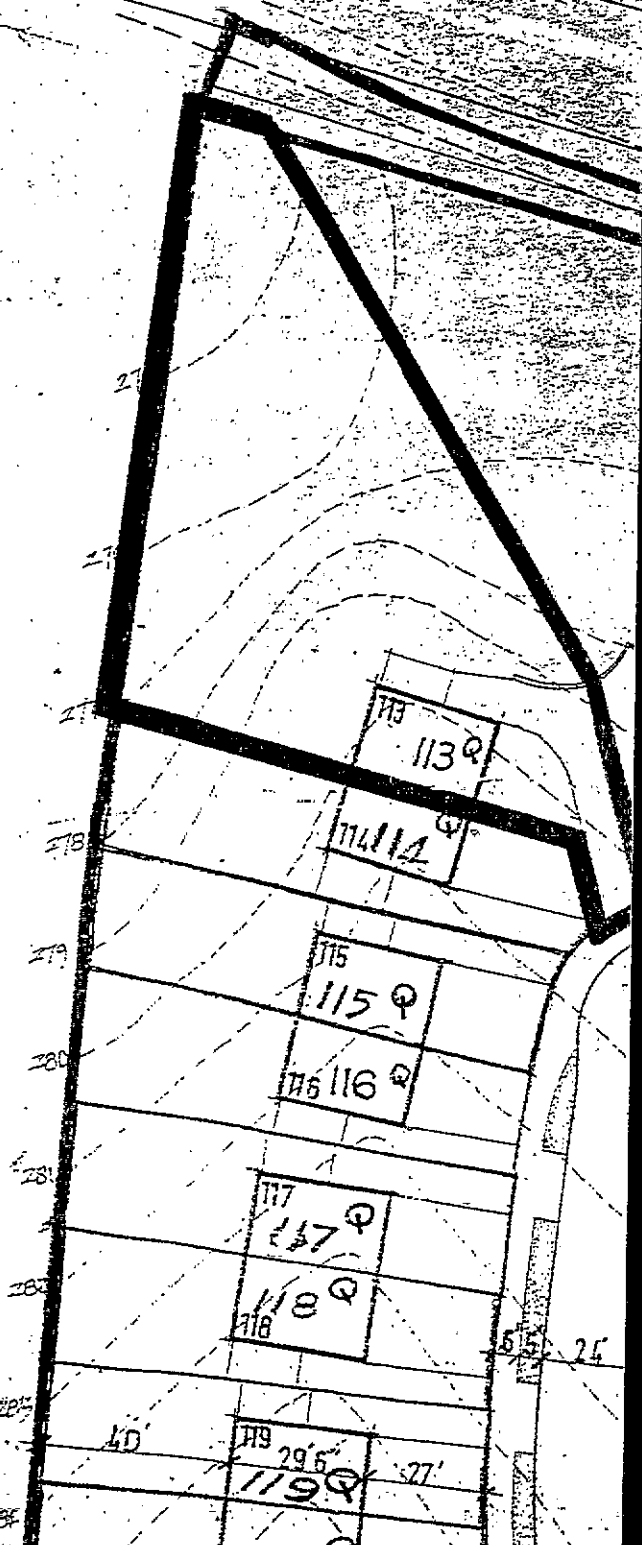
ANTHONY MANAHAN & ASSOCIATES



Encls.



2/



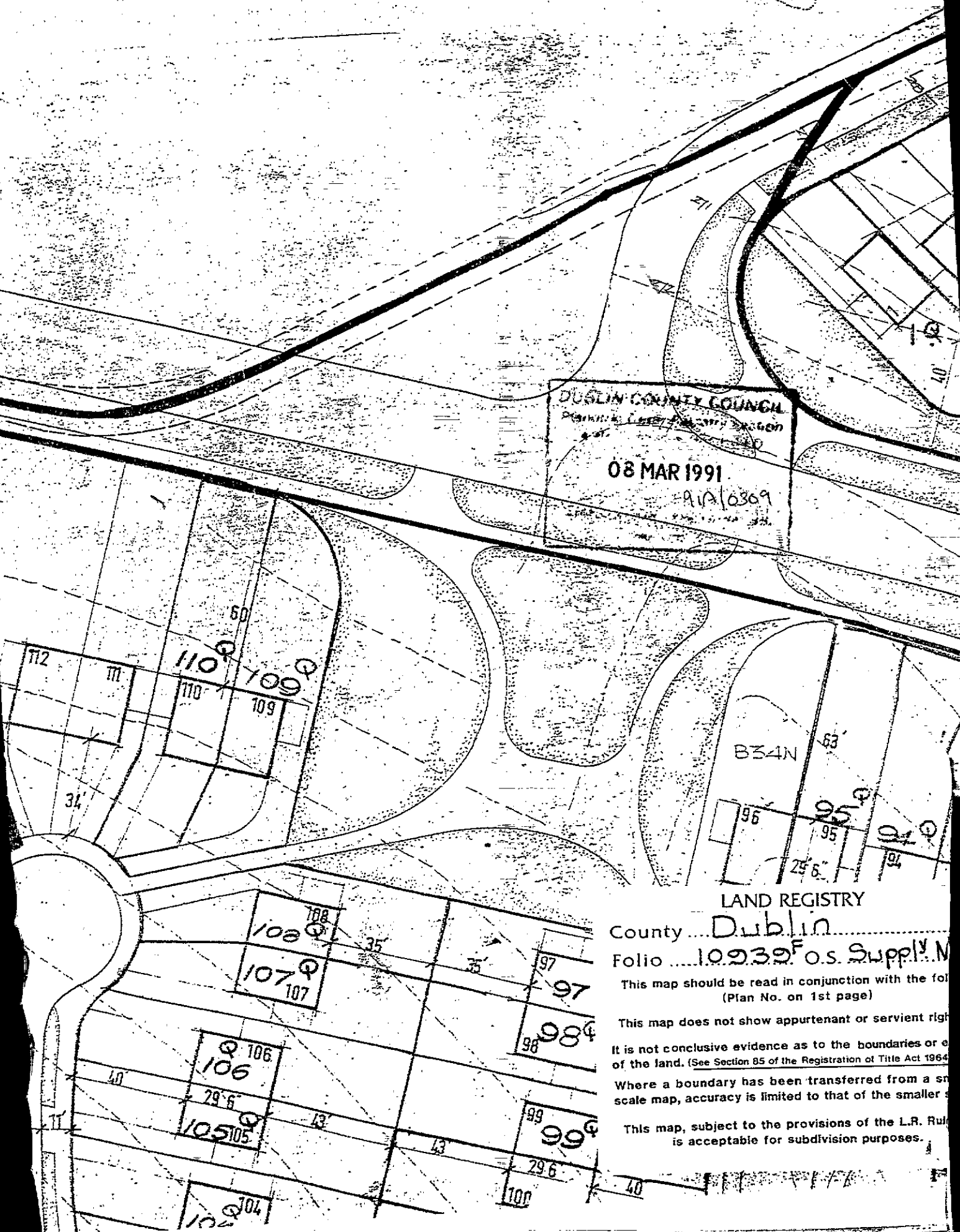
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7/14/90  
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DUBLIN COUNTY COUNCIL  
Planning & Land Management  
08 MAR 1991  
91A/0369



LAND REGISTRY

County Dublin  
Folio 10939 F.O.S. Supply M

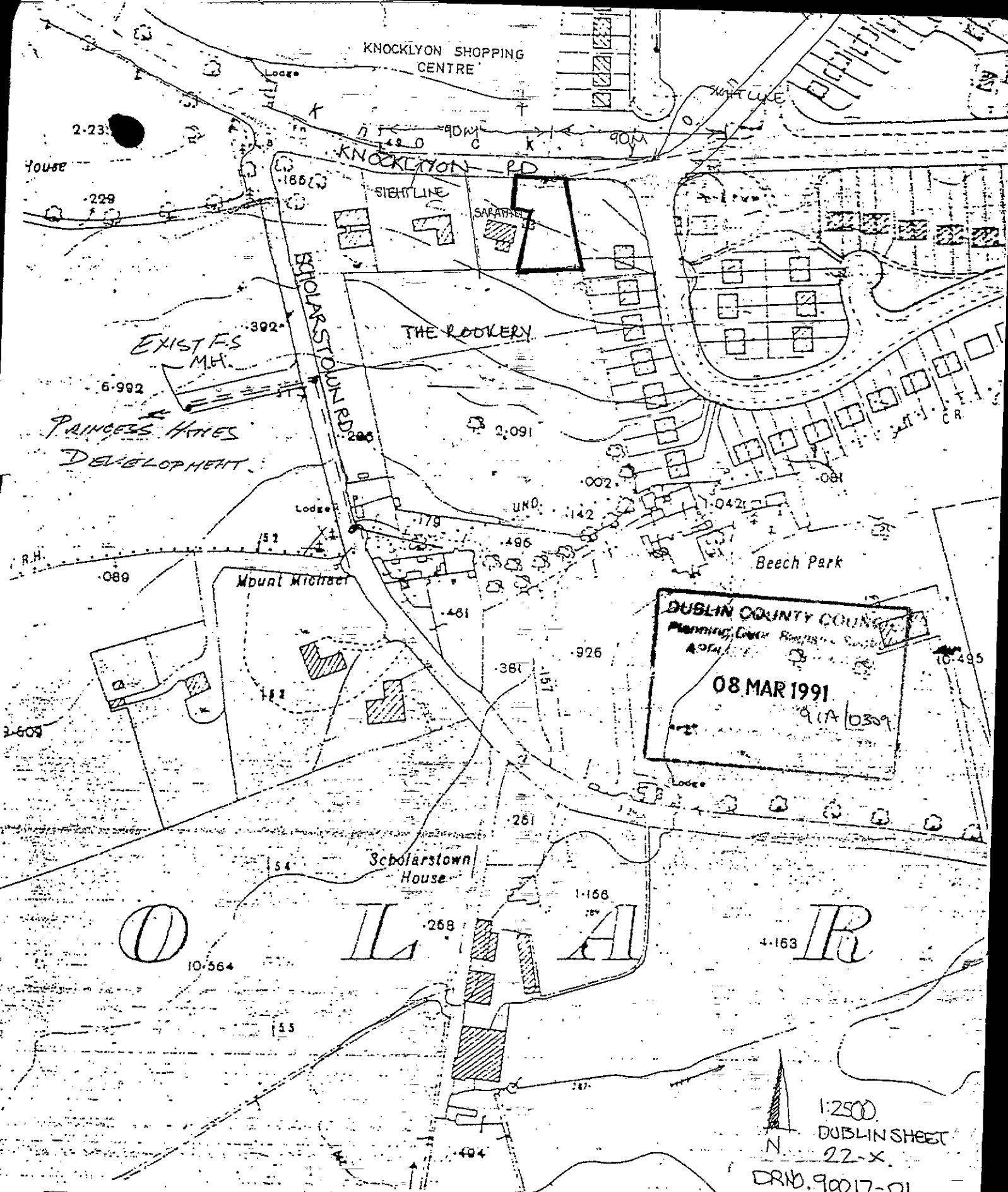
This map should be read in conjunction with the folio  
(Plan No. on 1st page)

This map does not show appurtenant or servient rights

It is not conclusive evidence as to the boundaries or extent  
of the land. (See Section 85 of the Registration of Title Act 1964)

Where a boundary has been transferred from a smaller scale map, accuracy is limited to that of the smaller scale map

This map, subject to the provisions of the L.R. Rules, is acceptable for subdivision purposes.



DUBLIN COUNTY COUNCIL  
 Planning, Civic Regeneration and Services  
 08 MAR 1991  
 91A 0309

1:2500  
 DUBLIN SHEET  
 N 22-X  
 DR10.90017-01

SCOTT AND MACNEILL ARCHITECTS

Client MR. TONY O'DONOGHUE	Drawing LOCATION MAP	Scale 1:2500	Date JULY 1990
Project 2 NO HOUSES AT KNOCKLYON, DUBLIN 16	Stage L.A. APPROVAL	Project no. 90017	Drz. no. Rev. 01



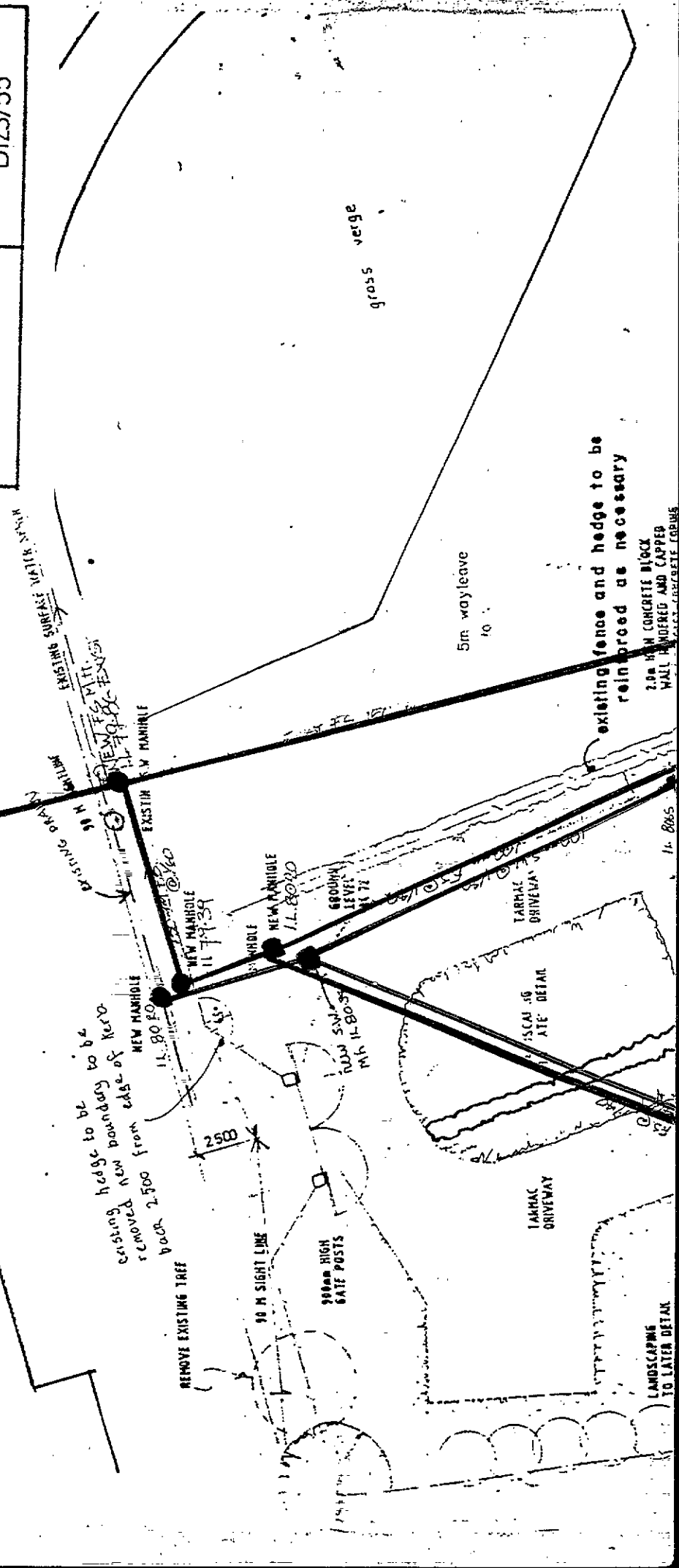
5 Farnhill Road,  
 Goatstown,  
 Dublin 14.  
 Telephone: (01)  
 981827, 988531

TITLE <b>DRAINAGE LAYOUT</b>	
PROJECT CONSTRUCTION OF 2 NO. DWELLINGS ON LAND ADJOINING SARAFAND KNOCKLYON RD. DUB.16	
CLIENT MR. TONY O DONOGHUE	
D. MCCARTHY & Co. CONSULTING ENGINEERS LYNWOOD HOUSE BALLINTEER ROAD DUBLIN 16	
PHONE 984147/988244	DATE APRIL 1990
SCALE 1:200	DRG No. D123/55
DRAWN BY	

DUBLIN COUNTY COUNCIL  
 Planning Dept.  
 11/11/89  
 08 MAR 1991  
 9/11/89

KEY:

- EXISTING FOLIE
- EXISTING SURFACE WATER
- NEW FOLIE
- NEW SURFACE WATER

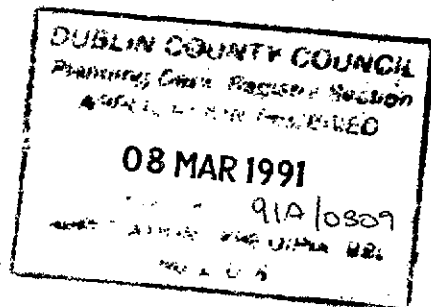




OUTLINE SPECIFICATION FOR  
PROPOSED CONSTRUCTION OF 2 NO. TWO STOREY HOUSES AND  
ASSOCIATED SITE WORKS

AT

LANDS ADJOINING  
"SARAFAND",  
KNOCKLYON ROAD,  
DUBLIN 16..



FOR

MR. T O'DONOGHUE

Scott & MacNeill,  
Architects,  
5, Farmhill Road,  
Goatstown,  
Dublin 14.

Tel: 988531/981827  
Fax: 985949

15th FEBRUARY, 1991

## OUTLINE SPECIFICATION FOR CONSTRUCTION OF DWELLINGS

### 1.00 EXCAVATION OF SITE

- 1.01 Remove approximately 300mm of top soil from under the proposed dwellings extensions and footpaths, etc. Store excavated topsoil for further use in predetermined compound area.
- 1.02 Excavate for foundation trenches to approximately 950mm deep to good bearings to the widths of foundations shown.

### 2.00 FOUNDATIONS

- 2.01 External wall foundations to be 900 x 300 Grade 20 concrete to all external walling. Provide min. 300 x 600 Grade 20 concrete strip foundation to all internal blockwork partitions.
- 2.02 Foundations to be formed on good bearing soil at minimum depth 950mm below finished ground level.

Foundation to be designed in accordance with:  
BS CP 2004 : 1972. Ref. No. AMD 1755  
BS CP 101 : 1972. Ref. No. AMD 1754 2471

- 2.03 All foundation trenches to be kept free of moisture and before placing concrete.
- 2.04 All concrete to be deposited as quickly as possible after delivery (if ready mix) or after mixing and shall proceed continuous to ensure that complete sections are undertaken in one operation. Concrete cube tests to be undertaken during works to ensure consistency of concrete quality.
- 2.05 Concrete work shall not be undertaken when the temperature is less than 3°C.

### 3.00 DPC

- 3.01 Vertical and horizontal DPC's to be IS 57 with 150mm mix laps.
- 3.02 DPC's to be located as follows:  
Horizontally to block walls at approximately 150mm above finished ground level.  
Vertically to all cavity closures at reveals door opes etc.  
Under at side of and behind all window cills.  
Across cavities in stepped formation as cavity trays above canopies etc.  
Instepped and overlapping pattern across cavities at canopy hips etc. (All cavity trays to be formed continuous with lead flashings).  
  
In stepped pattern across entire chimney stack at junction with roof and to be formed continuous with chimney flashings.  
Under chimney cappings across entire chimney stack.  
Vertically at floor slab edge under external door thresholds (to be formed continuous with vertical cavity DPC at cavity closure.)
- 3.03 Horizontal DPC to walling to be continuous with under floor DPM.  
Vertical DPC at window reveals to be formed continuous with cill DPC.





3.04 Underfloor DPM to be 1000 gauge 'visqueen' laid on blinding. DPM at joints to be lapped and folded and entire floor to be covered with continuous DPM sheeting.

#### 4.00 FLOOR SLAB

4.01 Floor slab to be 50mm screed on 150mm grade 20 concrete on 1000 gauge visqueen on 150mm blinded and well compacted hardcore.

4.02 Hardcore to be DOE Clause 803, or as approved by County Council Building Bye-Law Department.

4.03 Spread hardcore in maximum layers of 200mm and compact with vibrating roller. Protect rising walls during compaction and backfill on external side of external walls prior to compaction.

4.04 Provide 1000mm wide perimeter insulation to entire external walling.

#### 5.00 BLOCK WALLING

5.01 External walling to consist of:

(a) 100mm clay brick outer leaf  
50mm clear cavity  
50mm rigid insulation  
100mm blockwork inner leaf

or

(b) 215mm concrete hollow blockwork rendered externally with insulated drylining to inner face.

5.02 Where situation (a) prevails:

Cavity to be closed 225mm below horizontal DPC level and weephole drainage to be provided.

Stainless steel wall ties suitable for use with rigid polystyrene insulation to be built into blockwork and brickwork at 900mm horizontal centres and 450mm vertical centres in staggered pattern.

Blockwork to be evenly raised and no portion to be constructed to greater than 900mm above adjoining blockwork.

Solid blockwork only to be used below wall DPC level.

5.03 Brick and blockwork to comply with BSCP 111 1970 AMD 744 and 2031

5.04 Heads of window and door opes in brick situation to be formed with MS 'Catnic' or similar approved lintels. Heads of windows, external and internal doors in block situation to be formed with precast concrete lintels with minimum bearing of 225mm to either side. Precast lintels to be provided with mid span central support for minimum 14 days after installation and to bear on solid concrete bearing pads.

5.05 Chimneys to be constructed on minimum 300mm deep base formed at foundation level. Chimney blockwork to be bonded to gable walling at every second course. Provide DPC to chimney breast continuous with horizontal wall DPC at ground floor slab level.

Provide stepped DPC to chimney stack at junction of roof. Stepped DPC to be continuous with and lapped with external No. 5 lead flashing.

Provide horizontal DPC under brickwork capping to stack.

Chimney stack to be carried minimum 900mm above ridge height.

Form head to fireplace with precast head and gathering. Flues to fireplace with precast head and gathering. Flues to be socket and spigot parged all round with weak lime mortar mix.

Provide minimum 225mm solid blockwork between adjacent chimney flues.

No timbers to be built into chimney blockwork and to be located minimum 35 mm from same.

5.06 Party walls to be carried tight to under side of roof finish to all locations and to be fire stopped with tightly packed fibre glass. Any voids to party wall to be filled with lean mix concrete. Soffit boxes at party walls to be fire stopped.

5.07 Provide precast lintel over all pipework ducts in rising walls.

5.08 All extension block walls to be bonded to rere wall at each alternate course.

## 6.00 UPPER FLOOR

6.01 Upper floor joists to be imported stress graded to BS 4978 and designed in accordance with the requirements of CP 112. Boarding generally to be formed with tongued and grooved flooring on joists.

Floor joists to be doubled and bridged with solid bridging at 300 centres under upper floor partitions parallel to joist span.

6.02 Joist ends where built into walling to be treated with suitable wood preservative by overnight immersion rather than brushing on at time of construction.

6.03 All upper floor joists to be provided with solid bridging at minimum centres 1500mm.

6.04 25mm marine ply or similar water resistant boarding to all upper floor bathroom and ensuites.

## 7.00 ROOFING

7.01 Roofs to be selected concrete interlocking tiles on 50 x 38mm treated timber battens on untearable sarking felt on trusses/rafters to Engineers specification.

7.02 Battens to be nailed broken jointed to rafters with no more than 2 batten joints to each rafter.

7.03 Provide 100 x 75mm treated timber wall plate on DPC bedded in mortar.

7.04 Rafters to be fixed to wall plate with twisted mild steel 'bat' straps fixed to each rafter and wall plate at 450 centres. Bat straps to be 700mm long with minimum 4 fixings to masonry.

- 7.05 Cut roof construction to Engineers details.
- 7.06 Provide 75 gallon capacity cold water storage tank on supports to IS 193. Tank to have lid and be insulated with minimum 100mm fibre glass insulation. No insulation to be located under tank.
- 7.07 Provide 2 No. patent ridge ventilators to each house.  
  
Provide 2 No. ventilators to soffits at each side of house. Alternatively allow 19mm continuous air gap with mesh insect barrier at soffit. Install insulation to ensure free flow ventilation to attic space.
- 7.08 Provide 100mm approved insulation on vapour barrier between ceiling joists.  
  
Insulation to stop short of wall plate and not to hinder free ventilation of roof space.
- 7.09 Tank base to consists of 35 x 100 spreader beams spanning over 7 joists, supporting 75 x 150 secondary bearers, supporting 35 x 100 partitions located parallel to trusses.

## **8.00 JOINERY**

- 8.01 Window generally to be hardwood with top hung opening sections.
- 8.02 Fascias and soffits to be 150 x 25mm treated softwood.
- 8.03 Skirtings to be 125 x 25 splayed.

## **9.00 DRAINAGE**

- 9.01 Gutters to be 100mm SQ Section PVC secured on brackets to falls.  
  
Rainwater pipes to be 100mm drain PVC secured with holderbats or fitted lugs so to stand 25mm clear of the finished wall and having all necessary toes etc.
- 9.02 Lay in trenches under drain-pipes, gullies, junctions etc. layer of mix A concrete to minimum thickness of 100mm laid to falls and width of twice the external diameter of the pipe resting thereon and haunched half way up pipe. Expansion joint to be provided at minimum 15 metre centres to base concrete.
- 9.03 Drain pipes to be PVC to IS 6.
- 9.04 Lay all drains to the necessary falls and connect them to gully junctions, soil pipes and manholes in such a manner that every line of drain is straight and true from point to point with a regular gradient throughout its length.
- 9.05 Armstrong Junctions to be 225 x 225 PVC with galvanised steel cover and frame set on and surrounded with 150 x 150 thick concrete mix A.
- 9.06 Gully traps to be 250mm PVC back type used where fittings drain below floor slab level. Heavy galvanised grating to be set on and surrounded by 150 x 150 concrete mix A well dished down to grating.

- 9.07 Manhole to be of dimensions to allow all junctions to be made with an easy radius curve. Manhole bases and roofs to be in mix A reinforced concrete 150mm thick. Channels haunched in concrete. Walls are to be constructed in 225 solid block plastered inside with 10mm water proof rendering.
- 9.08 Manhole covers to be deep seat pattern galvanised cast iron. Air tight cover and frame weighting a minimum of 114kg to BS 497 (1967) grade B to driveways. Frame to be bedded in mastic.
- 9.09 All drains when passing under buildings to be covered with minimum 150mm concrete.
- 9.10 Wastes from WC, WHB and bath to be connected to soil stack with approved collar boss fitting. Base of soil stack to be fitted with easy bend and cleaning eye to be fitted to stack at first floor level. Accessible full height panel to soil stack. Sound proof stack with in dwelling by surrounding fibreglass.

## **10.00 ELECTRICAL INSTALLATION**

- 10.01 Electrical installation to be in accordance with the rules of the ETCI and to the requirements of the ESB. Test certificate to be provided by electrical contractor on completion of installation.

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Patrick MacNeill. B.Arch.MRIAI.RIBA.

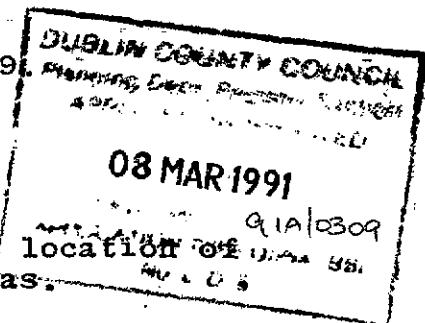
OUTLINE SPECIFICATION FOR PLANTING OF TREES AND SHRUBS.

1.0 PREPARATORY OPERATIONS.

Such operations to conform to BS. 4428, 1969.

2.0 EXISTING SERVICES.

The contractor to satisfy himself as to the location of service runs, before preparing planting areas.



3.0 PROTECTION.

The contractor to safeguard and protect all existing and completed works by others including kerbs, paths and grassing. He shall be responsible for making good any such damage at his own expense.

4.0 GRADING.

The contractor shall finish cultivated top soil 25mm above adjoining pavings and 150mm below damp course level of buildings, after reasonable consolidation. Final grading to be carried out to avoid dishing or other depressions.

4.1 ROLLERS.

The use of rollers to roll out lumps will not be permitted, any area which becomes unduly compacted shall be loosened by forking and harrowing.

5.0 CULTIVATION.

The contractor to remove all stones with a dimension greater than 38mm and rubbish and cart off site.

5.1 PLANTING AREAS.

All planted areas to be dug over to a minimum depth of 300 and cleaned free of weeds, grass, rubbish and stones. Planted areas to be raked out and graded as before.

5.2 SOIL ADDITIVES/MULCH.

Peat used as an additive or as mulch to be BS. 4156, 1967. Organic material shall be procured from an approved source, with a grass clipping content and exceeding 25%. Apply at rate of 70g/m<sup>2</sup> and incorporated into the soil by roughly raking.

6.0 PLANTS.

Trees and shrubs shall be true to name. They shall be substantially free from pest and diseases. Torn or lacerated roots to be pruned back and treated. No roots shall be subjected to adverse conditions such as prolonged exposure or drying winds.

6.1 TREES.

Trees shall be best nursery stock to BS. 3936 Part 1965 and Part 4 1966. Minimum tree sizes are indicated on drawing. The contractor is responsible for complying with these sizes. Trees shall have a well balanced branching system. Rootballs to be a minimum 10 times the diameter of the stem measured 450 above the ground.

6.2 SHRUBS.

Shrubs to be of best nursery stock and BS. 3936 Part 1. Minimum sizes are indicated on drawing. The contractor is responsible for complying with these. Shrubs shall have a strong, clean root system and a well branched head.

7.0 PLANTING.

Planting to be carried out in accordance with BS. 4428: 1969.

7.1 TREE PLANTING.

Trees to be planted to original soil depth. Bare roots to be spread evenly in planting pit.

Tree pits to be 200 wider than rootball. The pit depth to be 100 greater than the depth of the root system. The bottom 150 of the pit to be dug over.

A prepared backfill of 0.75 cubic metres with best quality top soil, 1.25 litres of general purpose fertilizer and 10 litres of moist moss peat or approved organic material well mixed, to be spread around the roots. Backfill to be firmed as filling proceeds.

7.2 SHRUB PLANTING.

Shrubs to be planted to original soil depth. All non-perishable containers to be removed before planting.

Shrubs to receive a prepared backfill of 6 litres of moist moss peat and 0.5 litres of general purpose fertilizer well mixed with good quality top soil. Backfill to be firmed as filling proceeds.

7.3 WATERING.

The contractor is to water thoroughly all planting on completion of planting.

7.4 WEATHER CONDITIONS.

No planting to be carried out during periods of frost, persistent winds, when the site is waterlogged or when ground is frozen.

7.5 MULCH.

Mulch all plants with a 50mm deep layer of moist moss peat or approved organic material.

8.0

IMPORTED SOIL.

Imported soil to conform to BS 3882 be from an approved source and obtained from the top 150 mm of ground. It shall have a medium texture and approved before use. Imported soil to be spread in layers not exceeding 150 mm consolidated.

The pH reaction shall be the same as the existing.

9.0

GRASSED AREAS.

Areas shown to be grassed to be cultivated to a depth of 150 mm min. and all stones and sods removed. Levels to be true, even flowing and be without humps and hollows.

All work to conform to BS 4428;1969.

10.0

MOLE PLOUGHING.

All areas to be deep ploughed to a min. depth of 450mm using a 75 dia. mole at 1200 c/c.

11.0

SEED/SEEDING.

Grass seed to be :-

chewings fescue	10%
browntop bent	10%
perennial ryegrass	60%
crested dogstail	10%
rough stalked meadow grass	10%

Seed spread in transverse directions at rate of 45g/m<sup>2</sup>. during calm weather.

After sowing the ground is to be raked or chain harrowed.

12.0

CUTTING.

Grass to be cut so as to maintain a sward height between 25 to 50 mm.

13.0

DEFECTS.

~~Areas which fail shall be~~ reseeded as directed.



18.0

MAINTENANCE.

All plants and shrub planted areas to be maintained weed free for a period of 18 months. All defects due to materials or workmanship shall be rectified by the contractor. The maintenance to include weeding, watering, replacement if required, control of insects, fungus and other diseases by means of spraying with approved insecticide or fungicide.

The contractor is responsible for keeping the planted areas neat in appearance.

21. 0

AMELIORATION OF SOIL AT EXISTING TREES

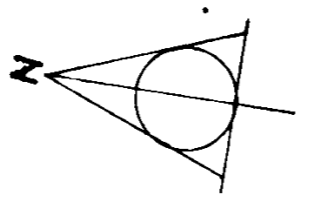
The landscape contractor is to fork prick an area 3000 wide, centred on the line of the branch spread (edge), to a minimum depth of 300. Spread fertilizer at rate of 250g/m<sup>2</sup>. Brush into holes and water at rate of 10 litres per m<sup>2</sup>. To B.S. 3998 (1966).

Fertilizer to be  
5 parts by volume. ammonium sulphate (20%N)  
5 parts by volume. superphosphate (18% P<sub>2</sub>O<sub>5</sub>)  
1½ parts by volume. potassium sulphate (48% K<sub>2</sub>O)

The contractor shall form a new grassing edge, determined on site and agreed with Landscape Architect.

The contractor is to locate an adequate power supply if required and shall seek approval for use of same from Landscape Architect.

NOTE  
DUE TO THE RELOCATION OF THE EXISTING  
BOUNDARY ADJACENT TO THE ENTRANCE,  
VISION TO THE EXIT ROAD OF  
DARGLE WOOD IS ACHIEVABLE.



ANTHONY MANAHAN & ASSOCIATES  
PLANNING CONSULTANT  
FOUNTAIN HOUSE  
55 MAIN STREET  
RAHEENHAM (I)  
DUBLIN 14  
08 MAR 1991

GENERAL NOTES  
7/6/91  
NOTE: RELOCATION OF FENCE TO  
SEAL OFF BOUNDARY NOTED  
No. 1000  
Date

SCOTT AND MACNEILL  
ARCHITECTS  
5, FERRISILL ROAD, CO. DUBLIN 14, TEL: (01) 9083798/9



Client	MR. EDW. O'DOUGHER
Project	CONSTRUCTION OF 2 NO. DWELLINGS ON LANDS ADJOINING SARAFAND, KNOCKLYON ROAD, DUBLIN 15
Drawing	SITE PLAN
Stage	LOCAL AUTHORITY APPROVAL
Scale	1:200
Date	JUNE 1990
Drawn by	A.D.
Project No.	9/0017
Drawn on	05
Rev.	5



KNOCKLYON ROAD

DARGLE WOOD

SARAFAND

GRASS VERGE

CENTRE LINE OF ROAD

LINE OF SIGHT TO JUNCTION

EXISTING SURFACE WATER FROM

EXISTING 100mm

EXISTING 100mm

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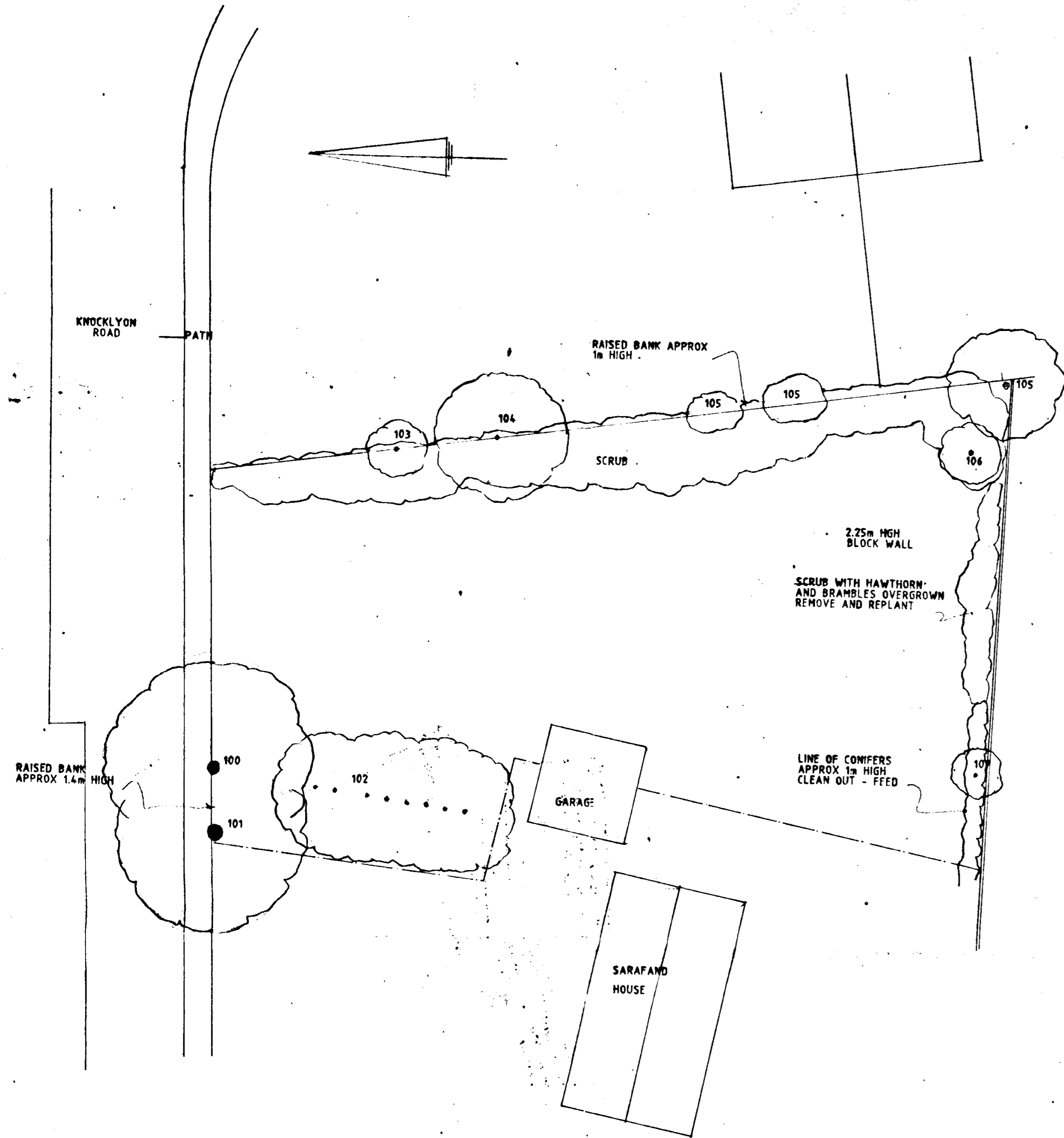
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**SURVEY**

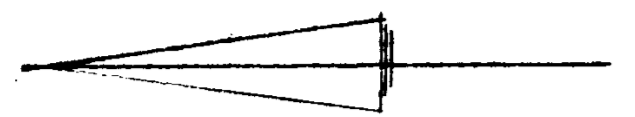
No.	name	age	condition	height	remarks	category
100	OAK	M	FAIR/POOR	14+	TREE DOMINANT TO ROADWAY - ON DITCH LEAN NORTH OVER ROADWAY - SERVICES IN ROADWAY/PATH MAY HAVE UNDERMINED ROOT SYSTEM - NO LONG TERM POTENTIAL RECOMMEND TO RETAIN FOR SHORT TERM RESURVEY AT DEVELOPMENT - REDUCE BRANCH SYSTEM BY 15% - REMOVE IVY AND ROOT FEED	B/C
101	OAK	M	FAIR	12+	DOMINANT TO ROADWAY - ON DITCH - SERVICES IN ROAD/PATH MAY HAVE UNDERMINED ROOT SYSTEM - NO LONG TERM POTENTIAL RECOMMEND TO RETAIN FOR MEDIUM TERM RESURVEY AT DEVELOPMENT STAGE - REDUCE BRANCH SYSTEM BY 10% - REMOVE IVY AND ROOT FEED	B/C
102	CUPRESSUS ROW OF 8	M	FAIR	10 Av.	ROW OF CUPRESSUS REQUIRING TO BE CLEANED OF DEAD WOOD - RETAIN AS GROUP PROVIDES SCREEN TO ADJOINING SITE	B
103	DEAD - REMOVE					
104	ASH	M	FAIR/POOR	9	MULTI-STEM - IVY COVERED UNSUITABLE IN PRESENT LOCATION AS THIS TREE WILL GROW LARGER. NO LONG TERM POTENTIAL	B/C
105	CRATAEGUS	M	FAIR/POOR	6 Av	APPEARS TO BE PART OF HEDGEROW - ON BANK - RETAIN TO PROVIDE PROTECTION TO ADJOINING HOUSE - CLEAN OUT - REMOVE IVY - ROOT FEED ON COMPLETION OF DEVELOPMENT	B
106	CONIFER	SM	FAIR	7	REMOVE SCRUB AT BASE REMOVE SCRUB AT BASE - CLEAN OUT DAMAGED BRANCHES - ROOT FEED	B
107	PINE	SM	FAIR	7+	REMOVE SCRUB AT BASE TO ALLOW TREE DEVELOP CLEAN OUT DAMAGED BRANCHES AND ROOT FEED	B

DUBLIN COUNTY COUNCIL  
 Planning Department  
 08 MAR 1991  
 9/11/03

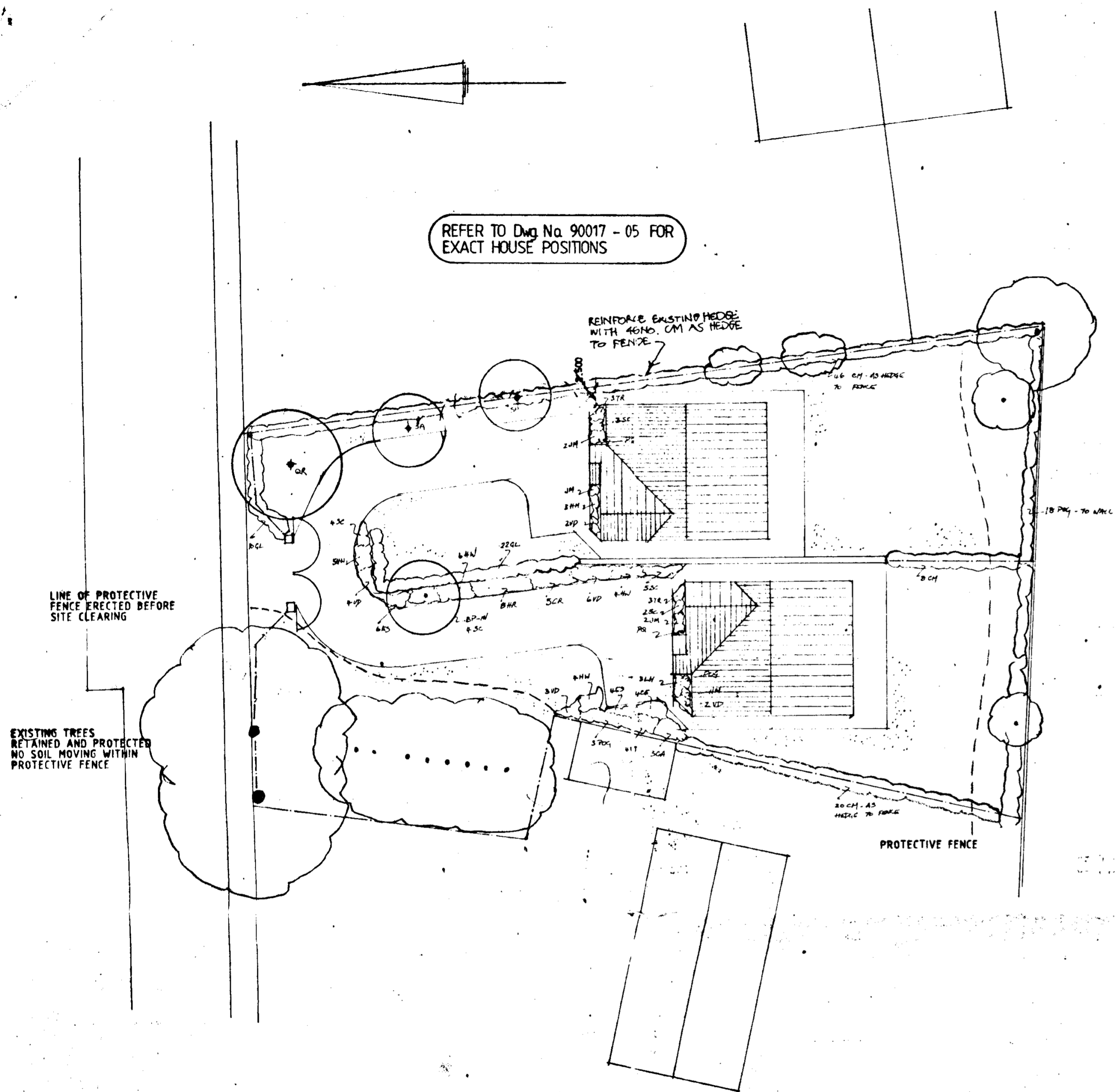
NOTES  
 M=MATURE  
 SM=SEMIMATURE  
 CATEGORY SYSTEM  
 A=INDICATES AN OUTSTANDING TREE WHICH SHOULD BE RETAINED  
 A/B=INDICATES THE BEST OF CATEGORY B OR A TREE WHICH WOULD BE WORTHY OF CATEGORY A IF IT WERE GIVEN REMEDIAL TREATMENT  
 B=INDICATES AN AVERAGE FOR THE SITE THOSE TREES WHICH SHOULD BE KEPT UNLESS THERE IS A SPECIFIC REASON FOR THEIR REMOVAL  
 B/C=INDICATES THE WORST OF CATEGORY B OR A TREE WHICH ALTHOUGH HEALTHY NOW MAY SUCCUMB TO DISEASE OR DECAY IN THE NEAR FUTURE  
 C=INDICATES A TREE WHICH IS DEAD DYING OR DANGEROUS AND WHICH SHOULD BE REMOVED

TREE EVALUATION  
 TO SITE AT KNOCKLYON ROAD  
 FOR MR. TONY O'DONOGHUE

P.C. ROCHE AND ASSOCIATES  
 LANDSCAPE ARCHITECTS AND SITE PLANNERS  
 120 ST LAWRENCE ROAD  
 CLONTARF  
 DUBLIN 3 TEL 337242



REFER TO DWG No. 90017 - 05 FOR EXACT HOUSE POSITIONS



**PLANT SCHEDULE**

symbol	description	size in cm	remarks
CM	CRATAEGUS MONOGYNA	65+	AS HEDGE TO FENCE TO REAR WALL
POG	PYRACANTHA DRANGE GLOW	65+	AS HEDGE TO FENCE
GL	GRISSELINA LITTORALIS	60+	
SC	SANTOLINA CHAMAECYPARISSUS	40+	
VD	VIBURNUM DAVIDII	35+	
ES	EUONYMUS SILVER QUEEN	30+	
CA	CORNUS A ELEGANTISSIMA	45+	
VT	VIBURNUM TINUS	50+	
HM	HEBE MIDSUMMER BEAUTY	45+	
HW	HEBE MRS WINDER	40+	
HR	HEBE RAKAIENSIS	30+	
CR	CEANOTHUS REPEMS	35+	
JM	JUNPERUS M OLD GOLD	40+	
TR	THUJA RHINEGOLD	45+	
LH	LAVANDULA HICOTE	35+	SET AGAINST WALL
PD	PARTHENOCISSUS QUINQUEFOLIA	65+	
QR	QUERCUS ROBUR	14-16	WITH DOUBLE STAKES
SA	SORBUS AUCUPARIA	12-14	WITH SINGLE STAKE
BP	BETULA PAPHYRIFERA	8-10	DITTO

**NOTES**

ALL PLANTS PLACED INTO PREPARED PITS WITH TOP SOIL, 10 LITRES MOSS PEAT AND 300g OF GENERAL PURPOSE FERTILIZER  
 ALL MULCH TO BE APPROVED BARK  
 FENCING ON BOUNDARIES TO BE TREATED POST 75 DIA. WITH PLASTIC COATED CHAIN LINK NETTING WITH HEDGING SET WITHIN 300 OF FENCE  
 RETAINED TREES TO RECEIVE FERTILIZER TO ROOTS

--- LINE OF TEMPORARY PROTECTIVE FENCE 1.2 HIGH TO PROTECT EXISTING TREES  
 FENCE TO BE TIMBER POST AND RAIL NOTE NO SOIL MOVING WITHIN 2m OUT FROM OUTER EDGE OF BRANCH SPREAD

⊙ EXISTING TREES RETAINED

⊕ PROPOSED TREES

DUBLIN COUNTY COUNCIL  
 Planning Dept. Planning Section  
 63/94 P.C. 11/100 1000 11/11/91  
 08 MAR 1991  
 91A 10307

LANDSCAPING PROPOSALS  
 TO SITE AT KNOCKLYON ROAD  
 FOR MR. TONY O DONOGHUE

P.C. ROCHE AND ASSOCIATES  
 LANDSCAPE ARCHITECTS AND SITE PLANNERS  
 120 ST LAWRENCE ROAD  
 CLONTARF  
 DUBLIN 3 TEL 337242

SCALE: 1:200 DRWG NO: 104

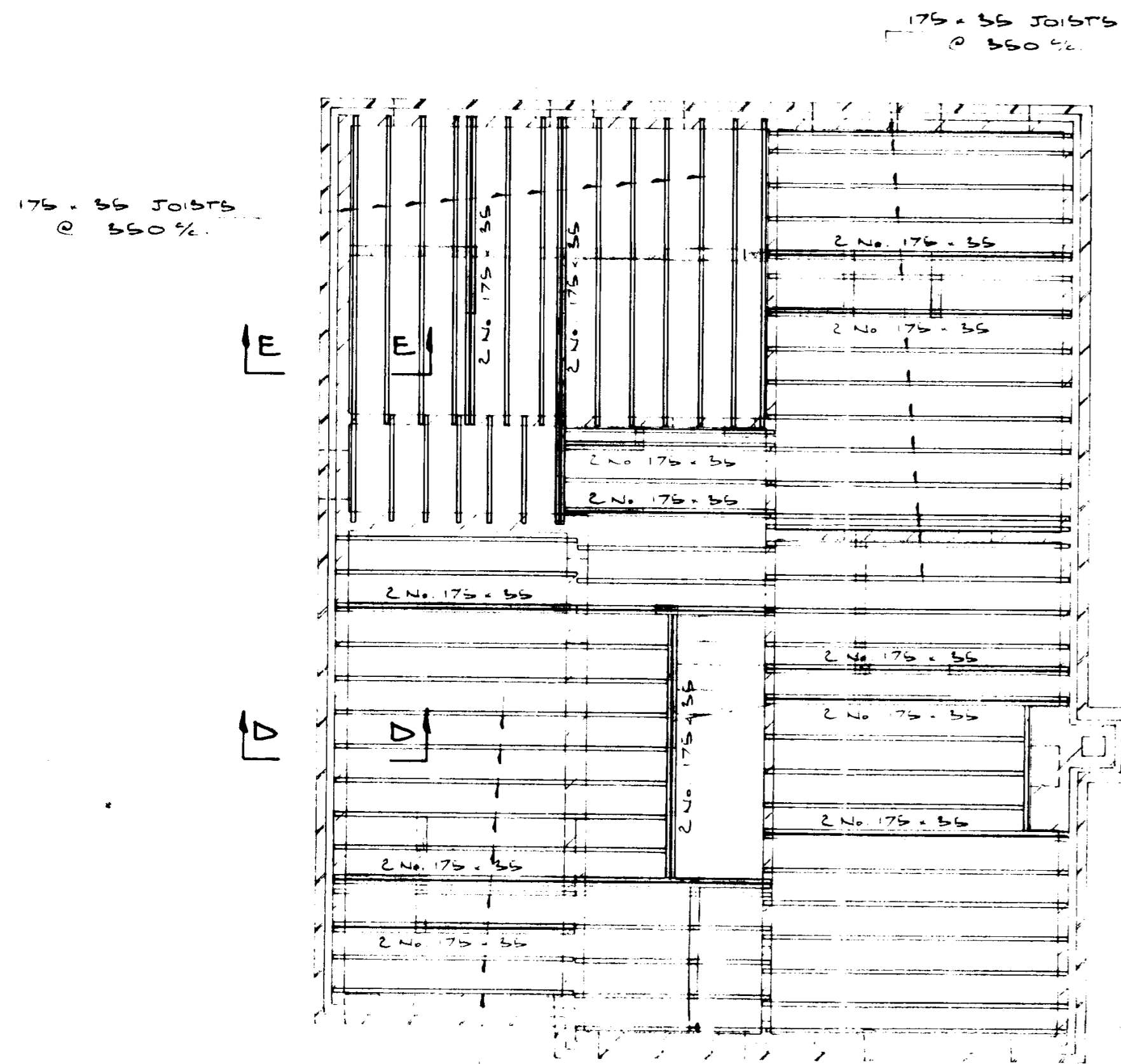


**NOTES:**

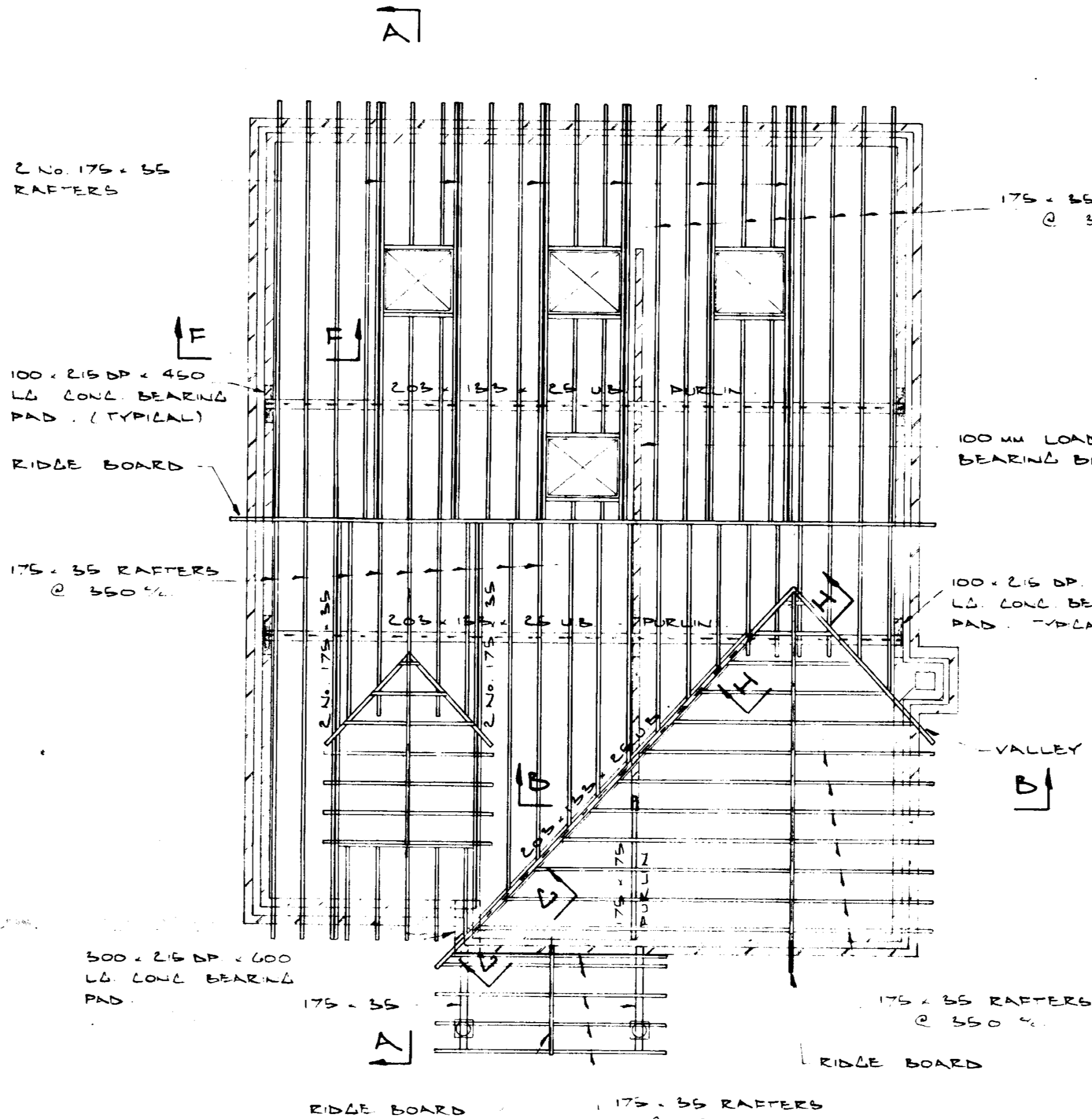
1. THIS DRG. TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHIT. DRGS.
2. CONC. TO BE GRADE 50/20 & HAVE A MIN. CRUSHING STRENGTH OF 50N/MM<sup>2</sup> AT 28 DAYS.
3. ALL TIMBER TO BE IMPORTED REDWOOD / WHITEWOOD, STRENGTH CLASS SCS OR BETTER.

**NOTE:**

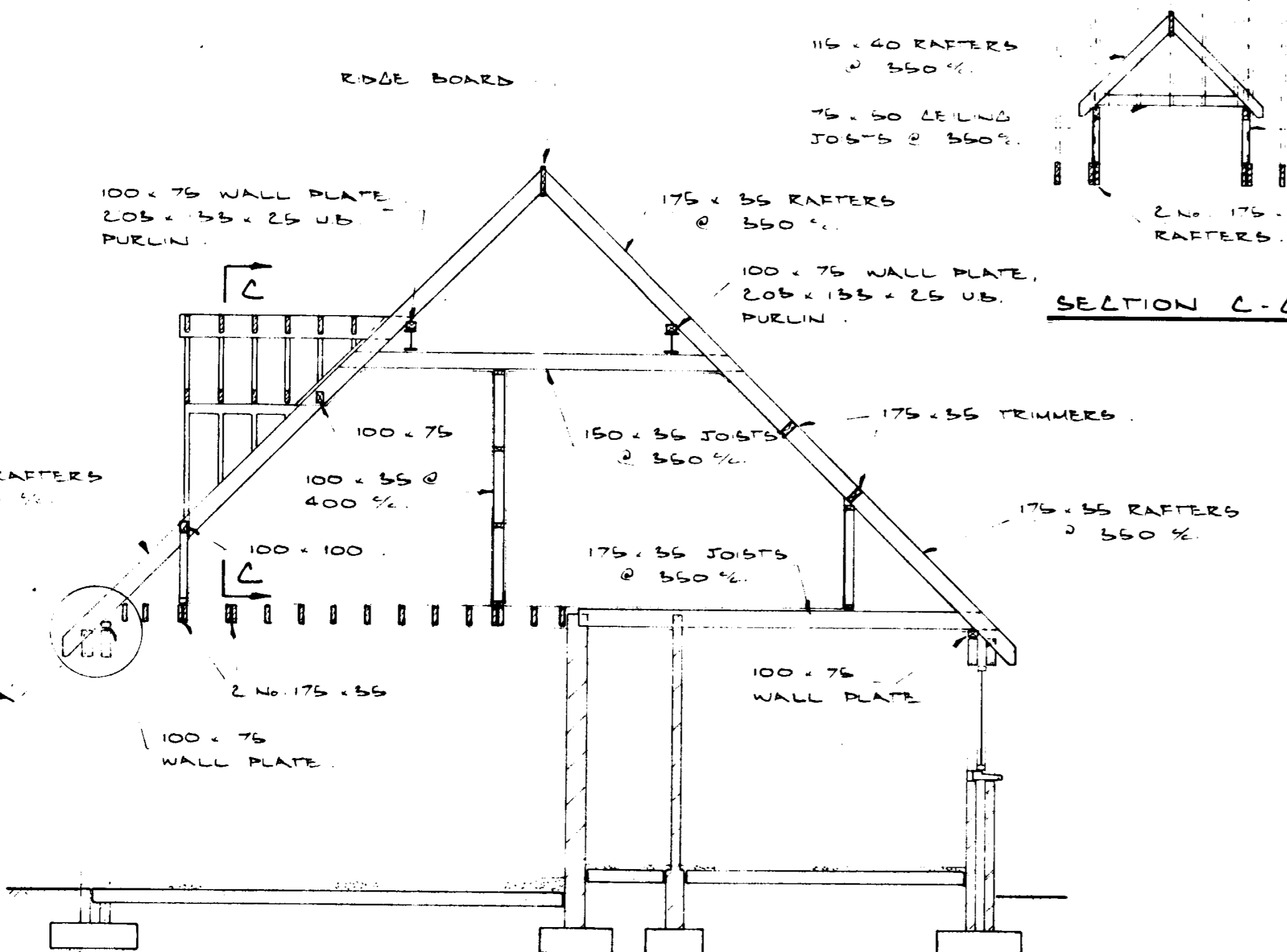
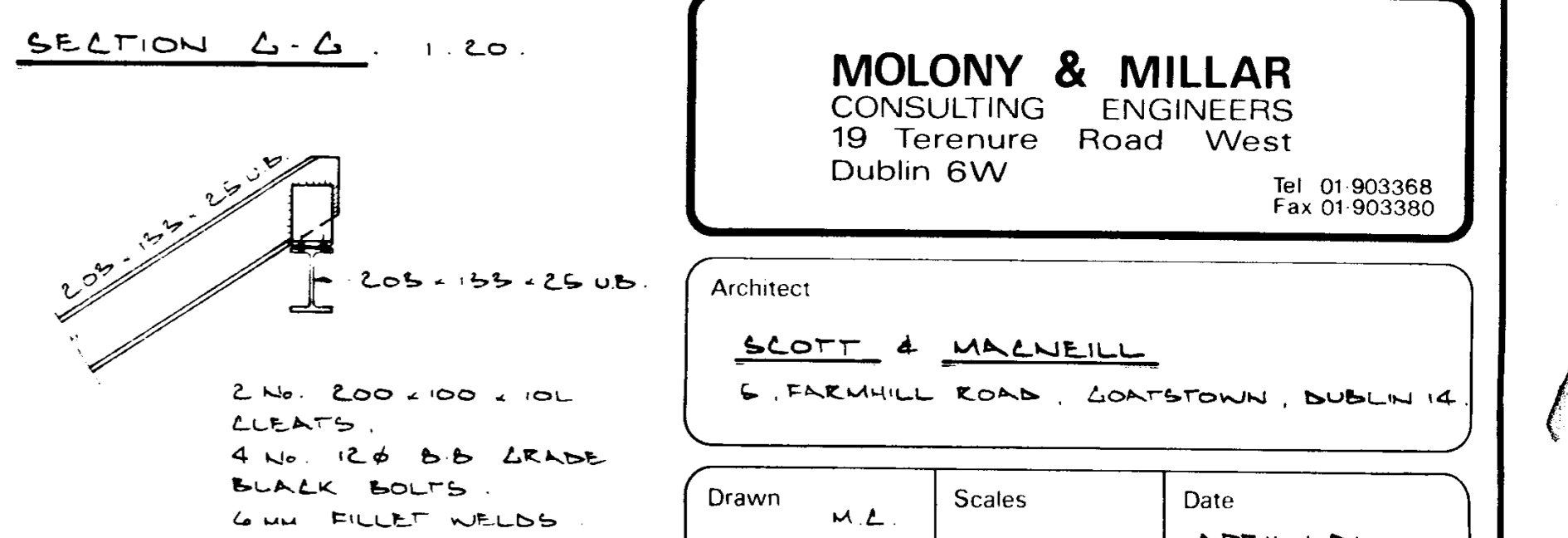
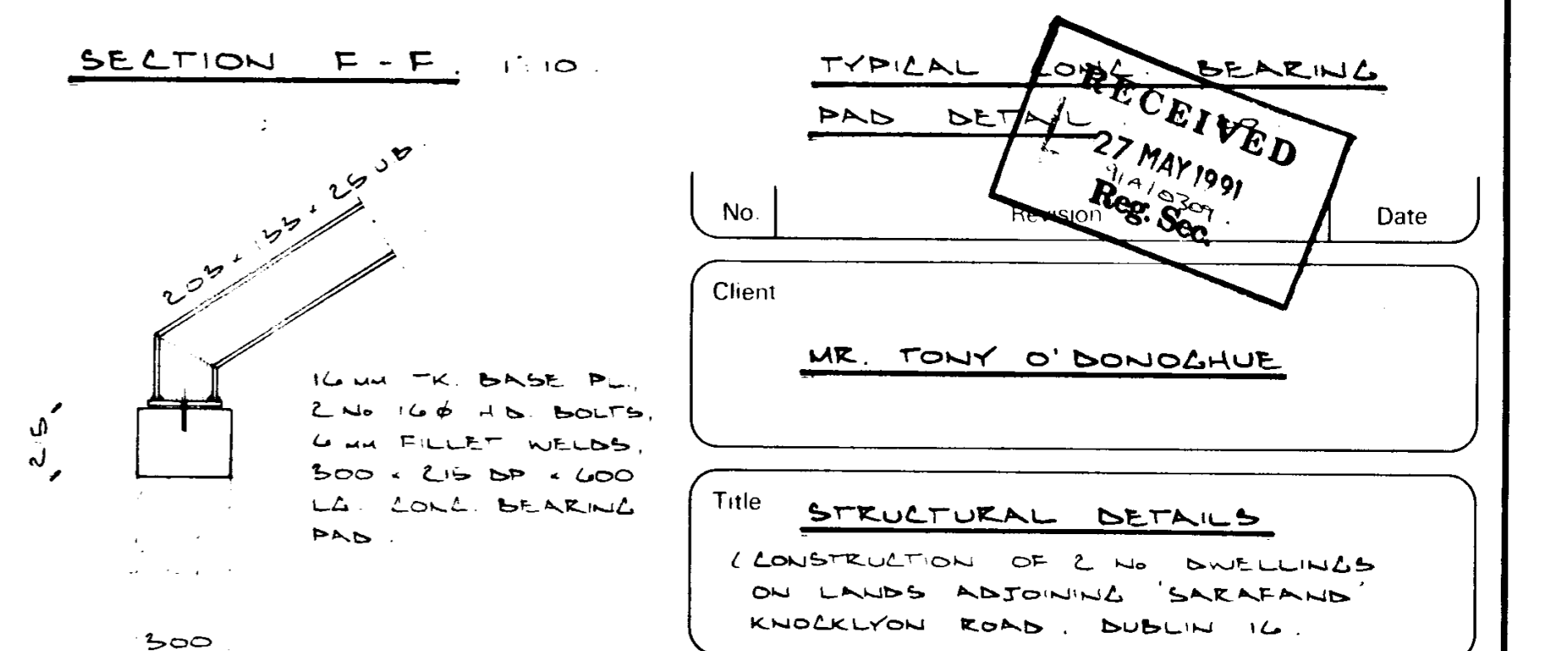
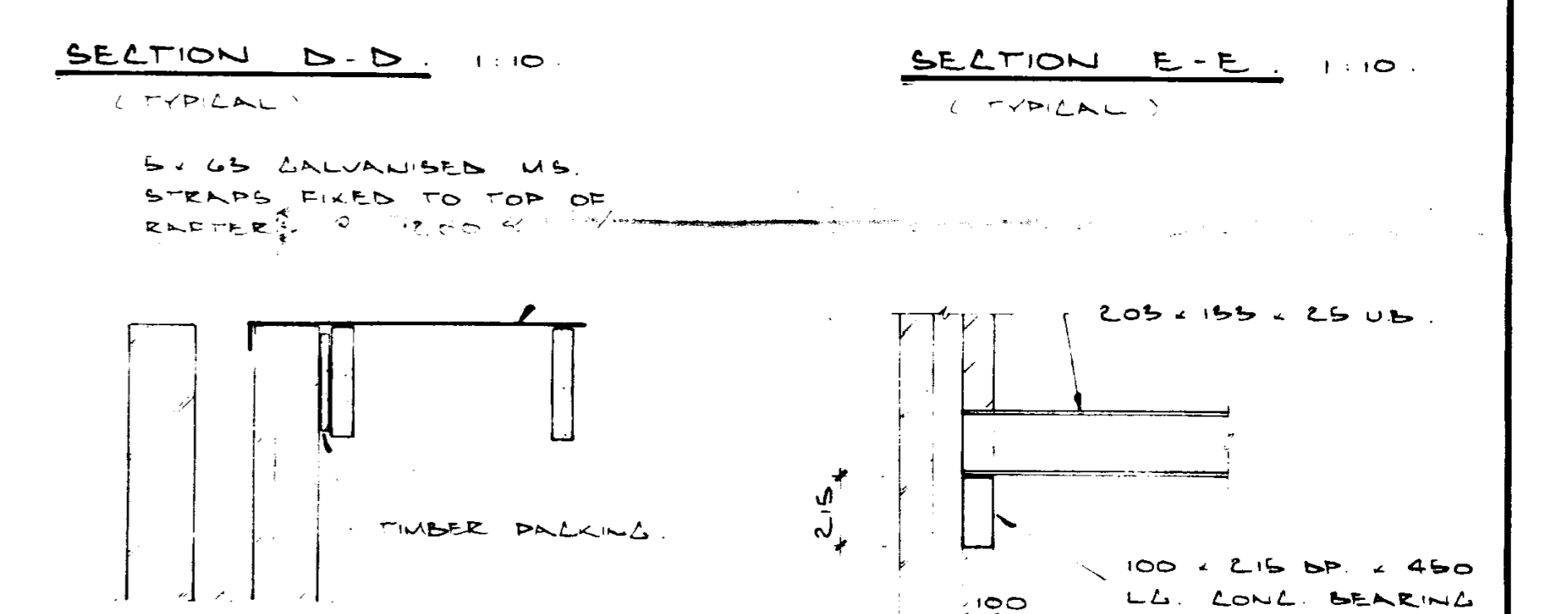
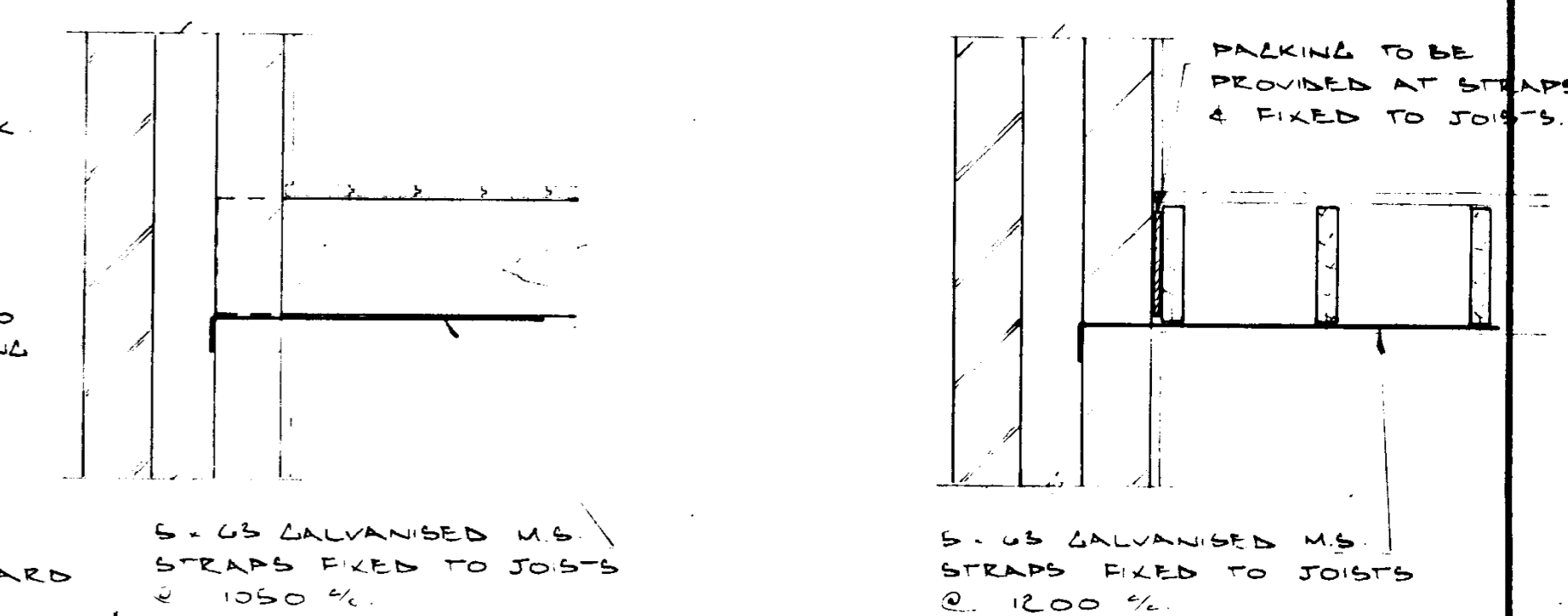
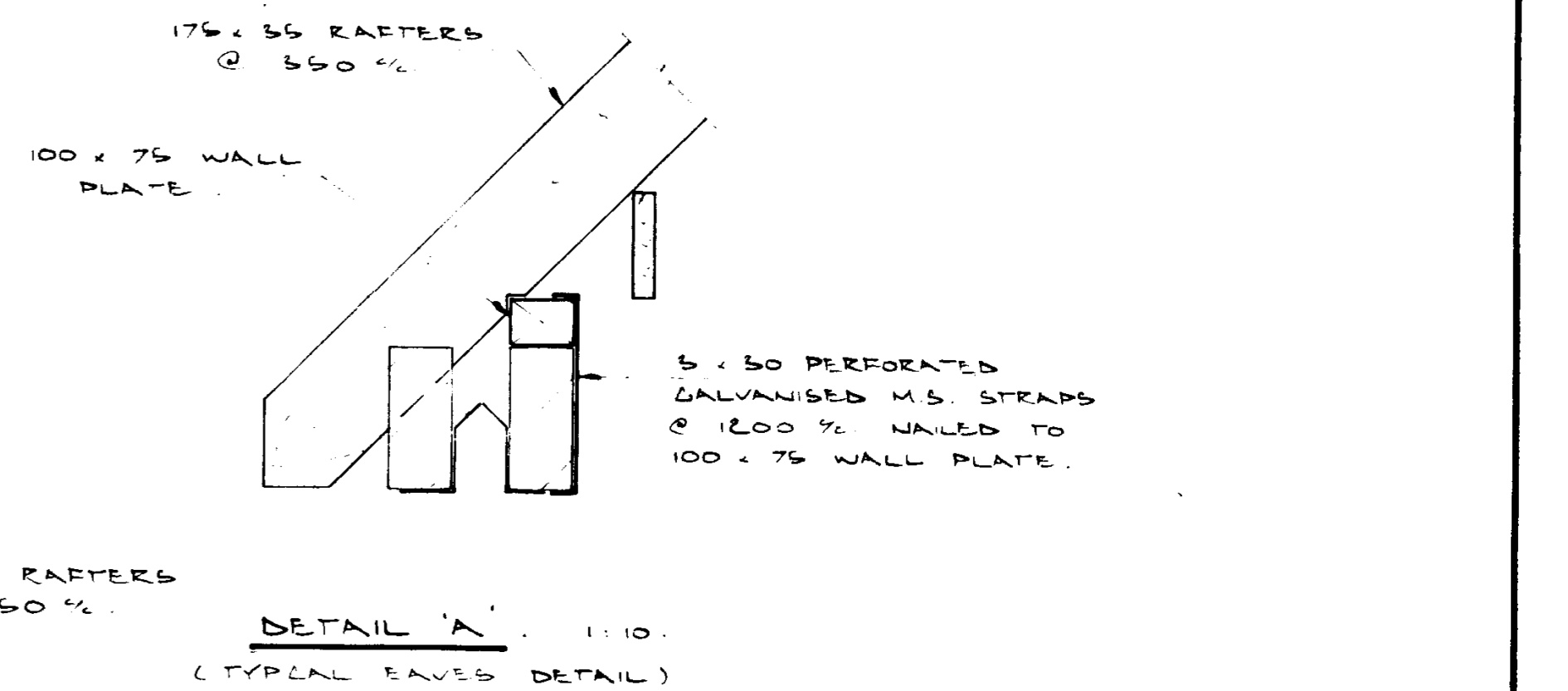
JOISTS TO BE DOUBLED UNDER PARTITION WALLS.



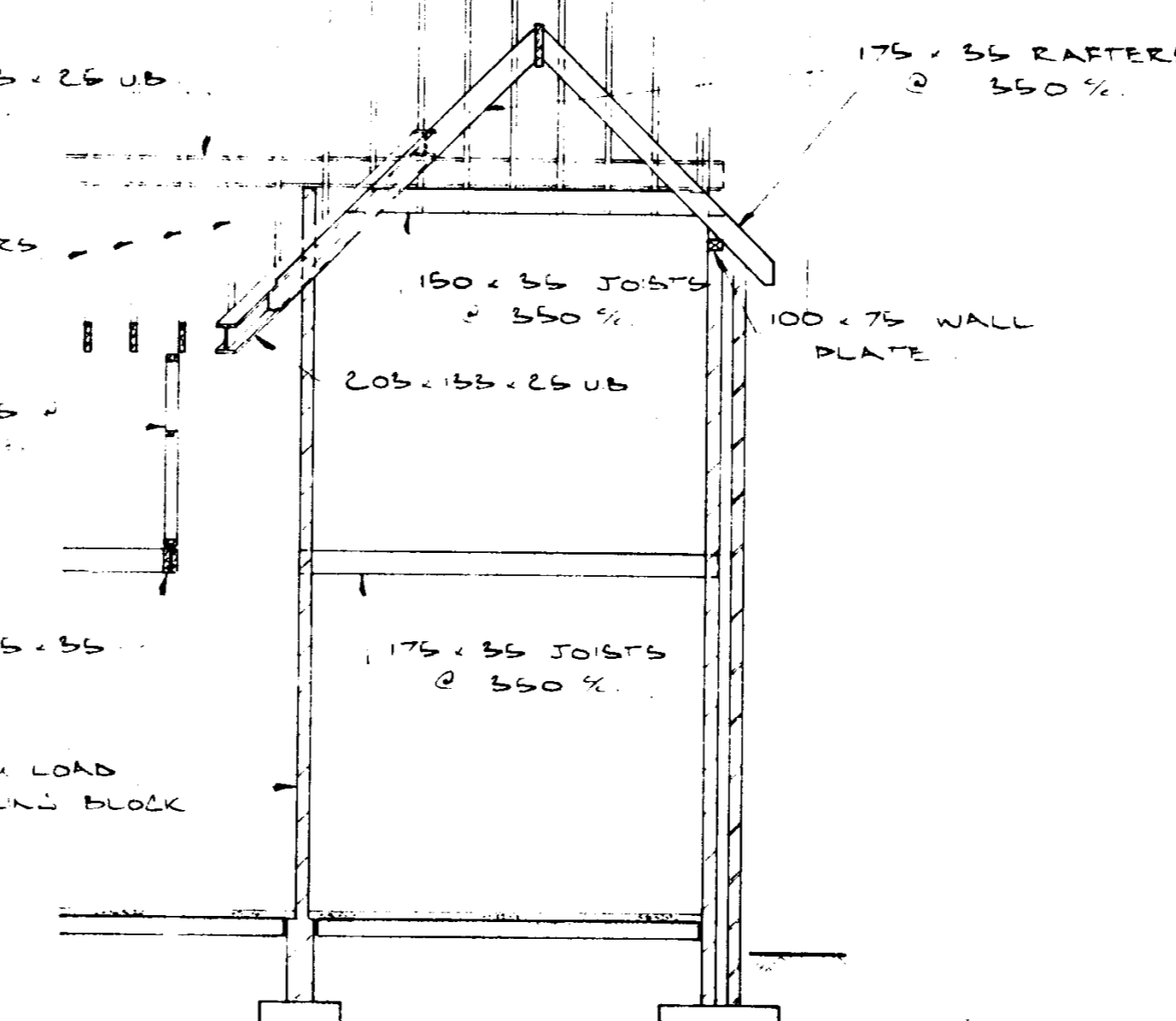
**FIRST FLOOR PLAN** 1:50  
(LAYOUT OF FLOOR JOISTS)



**ROOF PLAN** 1:50



**SECTION C-C** 1:50



**SECTION B-B** 1:50

**RECEIVED**  
27 MAY 1991  
REG. SEC.

No. \_\_\_\_\_ Date \_\_\_\_\_  
Client **MR. TONY O'DONOGHUE**

Title **STRUCTURAL DETAILS**  
(CONSTRUCTION OF 2 No. DWELLINGS ON LANDS ADJOINING 'SARAFAND' KNOCKLYON ROAD, DUBLIN 16.)

**MOLONY & MILLAR**  
CONSULTING ENGINEERS  
19 Terenure Road West  
Dublin 6W  
Tel: 01 903368  
Fax: 01 903380

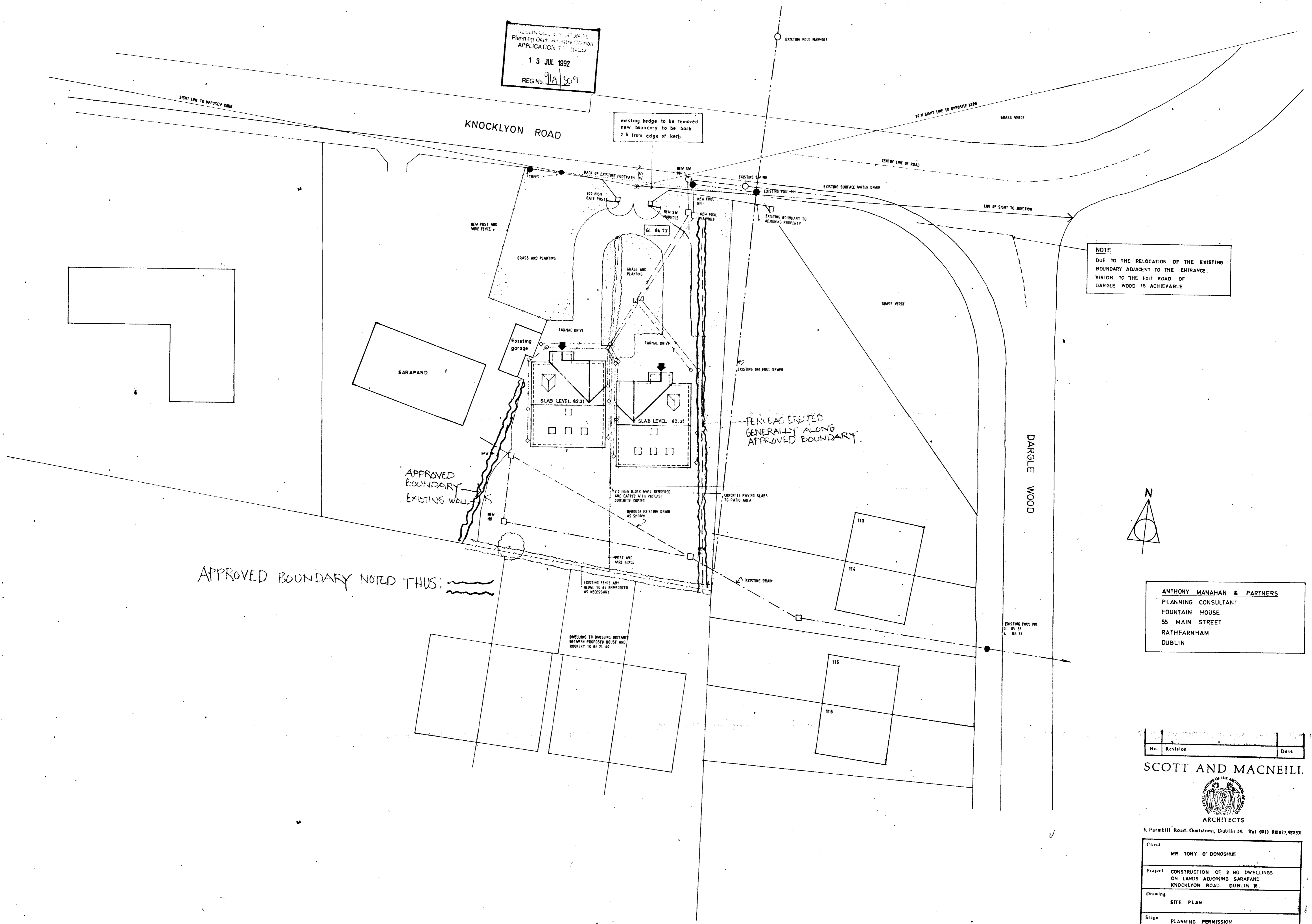
Architect **SCOTT & MAENEILL**  
6, FARMHILL ROAD, COASTTOWN, DUBLIN 14

Drawn M.L.	Scales 1:50, 1:20 & 1:10	Date APRIL '91
Chkd.		Drg. No. 657/1/1





Planning Dept. Planning Permission Application 13 JUL 1992  
 REG No. 91A 509



existing hedge to be removed  
 new boundary to be back  
 2.5 from edge of kerb

**NOTE**  
 DUE TO THE RELOCATION OF THE EXISTING  
 BOUNDARY ADJACENT TO THE ENTRANCE,  
 VISION TO THE EXIT ROAD OF  
 DARGLE WOOD IS ACHIEVABLE

FENCE TO BE ERECTED  
 GENERALLY ALONG  
 APPROVED BOUNDARY.

APPROVED BOUNDARY NOTED THUS:



**ANTHONY MANAHAN & PARTNERS**  
 PLANNING CONSULTANT  
 FOUNTAIN HOUSE  
 55 MAIN STREET  
 RATHFARNHAM  
 DUBLIN

No.	Revision	Date

**SCOTT AND MACNEILL**



ARCHITECTS  
 5, Parnhill Road, Goatstown, Dublin 14. Tel (01) 90127, 90551

Client MR TONY O'DONOGHUE		
Project CONSTRUCTION OF 2 NO. DWELLINGS ON LANDS ADJOINING SARAFAND KNOCKLYON ROAD, DUBLIN 16.		
Drawing SITE PLAN		
Stage PLANNING PERMISSION		
Scale 1:200	Date 9.7.92	Drawn by A.D.
Project no. 90017	Dwg. no. 100	Rev.

Results of the Planning Application  
 13 JUL 1992  
 REG No. 91A/509

existing hedge to be removed  
 new boundary to be back  
 2.5 from edge of kerb

NOTE  
 DUE TO THE RELOCATION OF THE EXISTING  
 BOUNDARY ADJACENT TO THE ENTRANCE  
 VISION TO THE EXIT ROAD OF  
 DARGLE WOOD IS ACHIEVABLE

ANTHONY MANAHAN & PARTNERS  
 PLANNING CONSULTANTS  
 FOUNTAIN HOUSE  
 55 MAIN STREET  
 RATHFARNHAM  
 DUBLIN

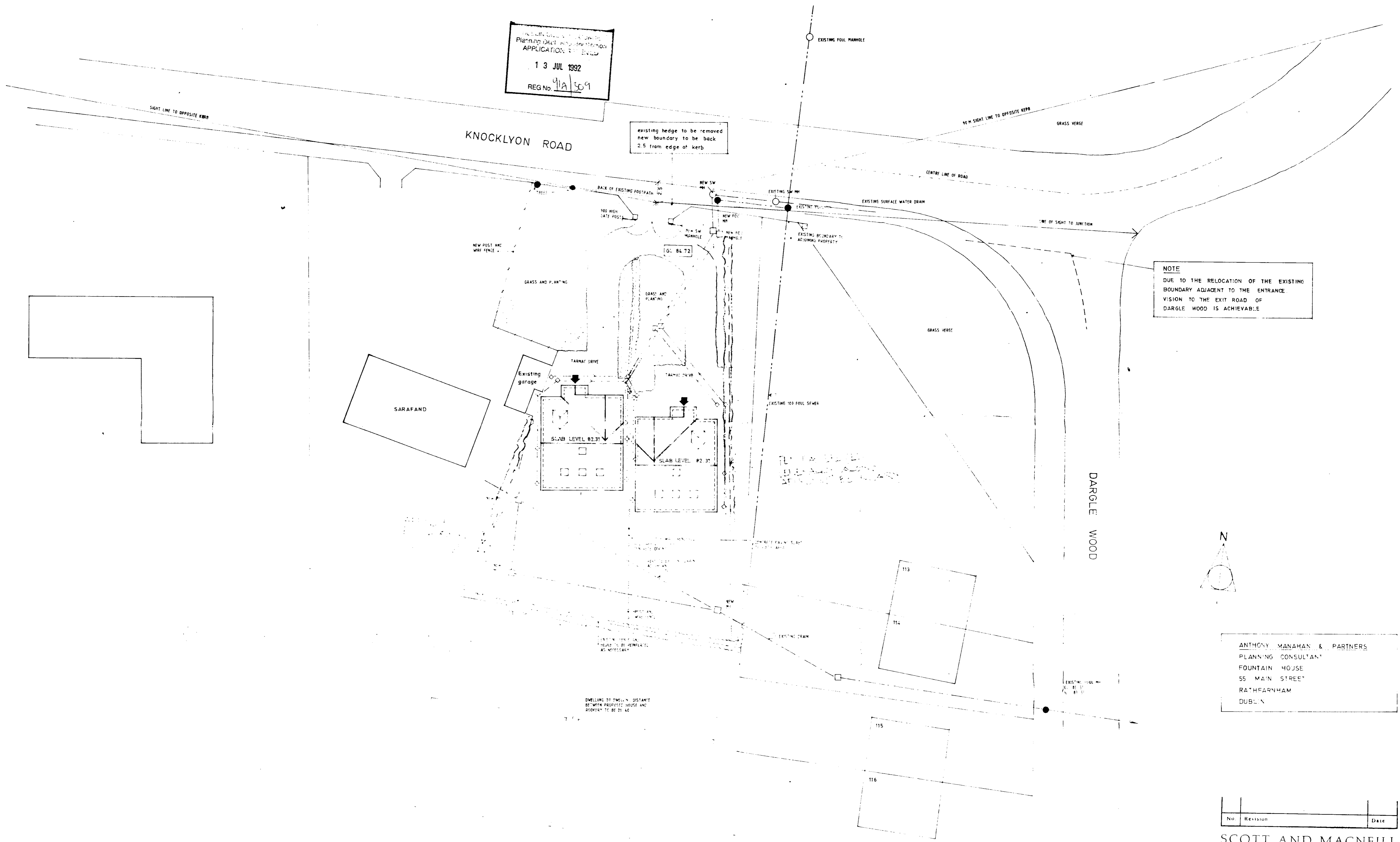
No.	Revision	Date

SCOTT AND MACNEILL



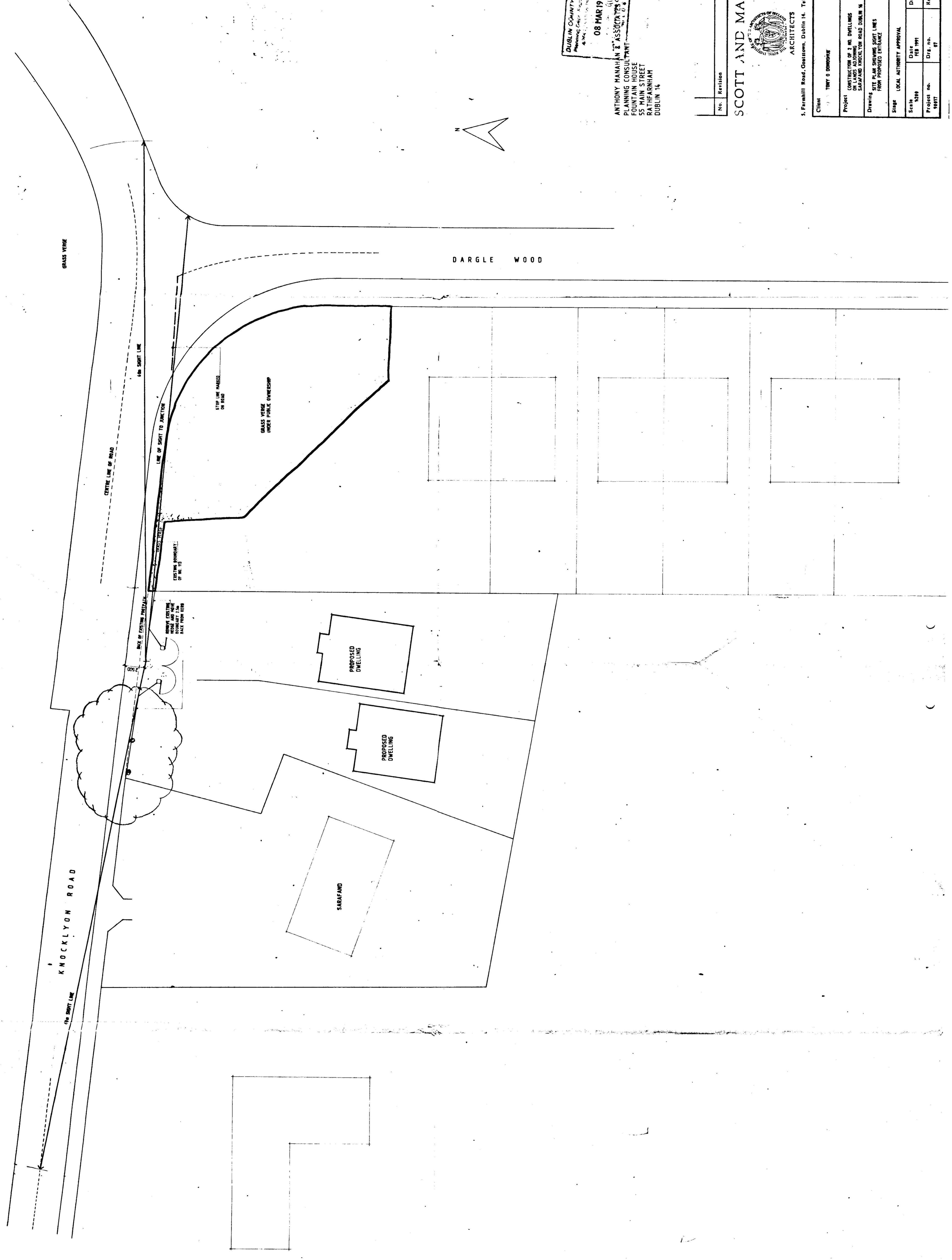
5, Farnhill Road, Gnatstown, Dublin 14. Tel: (01) 90827, 90853

Client	MR. TONY O'DONOGHUE		
Project	CONSTRUCTION OF 2 NO. DWELLINGS ON LANDS ADJOINING SARAFAND KNOCKLYON ROAD DUBLIN 16		
Drawing	SITE PLAN		
Stage	PLANNING PERMISSION		
Scale	1:200	Date	9 - 92
Drawn by	A.D.		



DWELLING TO DWELLING DISTANCE  
 BETWEEN PROPOSED HOUSE AND  
 WORKING TO BE 21.40

NOTES:  
 THIS DRAWING IS FOR LOCAL AUTHORITY APPROVAL.  
 ALL DIMENSIONS TO BE SCALED OFF THIS DRAWING.  
 PROPOSED DIMENSIONS ONLY TO BE USED.



DUBLIN COUNTY COUNCIL  
 Planning Department  
 08 MAR 1991  
 (via L234)

ANTHONY MAHAHAN & ASSOCIATES  
 ARCHITECTS  
 55 MAIN STREET  
 RATHFARNHAM  
 DUBLIN 14

No.	Revision	Date

SCOTT AND MACNEILL  
 ARCHITECTS



5, Finshill Road, Customhouse, Dublin 14. Tel: (01) 491221, 491222

Client:	THYR O'DONOGHUE
Project:	CONSTRUCTION OF 3 NO. DWELLINGS ON LANDS ADJOINING SARAFAND GARAGE ON ROAD DUBLIN 14
Drawing:	SITE PLAN SHOWING STOP LINES FROM PROPOSED ERFENCE
Scale:	LOCAL AUTHORITY APPROVAL
Drawn by:	
Checked by:	
Date:	18 FEB 1991
Project no.:	198/91
Draw. no.:	27
Rev.:	