

BYE LAW APPLICATION FEES

REF. NO.: 91A/293      CERTIFICATE NO.: 15969 B

PROPOSAL: Ext.

LOCATION: 80 Western Ind. Est.

APPLICANT: Nolan Kitchens Ltd.

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55					
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose <i>Sec 244B9 139.4m<sup>2</sup></i>	@ £3.50 per M <sup>2</sup> or £70	<i>£4910</i>	<i>£487.90</i>	<i>2.10</i>	<i>not sought</i>	
D	Building or other structure for purposes of agriculture	@ £1.00 per M <sup>2</sup> in excess of 300 M <sup>2</sup> Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Columns 2,3,4,5,6 & 7 Certified: Signed: M. O'Connell Grade: III Date: 7/8/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

91A/0293

CERTIFICATE NO: 24469

PROPOSAL: Recr extension to Factory  
LOCATION: Unit 80 Western Industrial Estate D12  
APPLICANT: Valon Kitchens Ltd

1	2	3	4	5	6	7
DWELLINGS/AREA LENGTH/STRUCT	RATE	AMT. OF FEE REQ.	AMOUNT LODGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO
Dwellings	£252					
	£216					
	£500 per M <sup>2</sup> in excess of 300M <sup>2</sup> Min. £40					
metres <sup>2</sup> 139.40	£21.75 per M <sup>2</sup> or £40					
x .1 hect.	£225 per hect. or £250					
x .1 hect.	£225 per hect. or £40					
x .1 hect.	£225 per hect. or £40					
	£2100					
x metres <sup>2</sup>	£210 per M <sup>2</sup> or £40					
x 1,000M <sup>2</sup>	£205 per 1,000M <sup>2</sup> or £40					
x .1 hect.	£25 per hect. or £40					

£225 + 243.95 £1.05 not sought

Loan 1 Certified: Signed: *[Signature]* Date: 11/3/91

Loan 1 Endorsed: Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Loans 2,3,4,5,6 & 7 Certified: Signed: *[Signature]* Date: 8/3/91

Loans 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Date: \_\_\_\_\_

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: 91A/293

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL. SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL: 1501 sqm

MEASURED BY:

J.Y.  
11/3/91

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ /  
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

STO:

$$\begin{array}{r} 1501 \times 750 \\ \hline 1000 = 1125-75 \end{array}$$

say 2 1126

WE 3/7/91

P/3061/91

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Register Reference : 91A/0293

Date Received : 14th May 1991

CONTRIBUTION:	
Standard:	£ 1126
Roads:	
Sers:	
Open Space:	
Other:	
Bond / C.I.F.:	
Cash:	

Correspondence : Mark O'Reilly & Associates  
 Name and : Greenmount House  
 Address : Harold's Cross Road  
 Dublin 6W

Development : Rear extension to existing premises  
 Location : 80 Western Industrial Estate Dublin 12  
 Applicant : Nolan Kitchens Ltd  
 App. Type : Permission  
 Zoning :

*Not*  
*MCN*

(MG/BB)

Report of Dublin Planning Officer dated 27th June, 1991.

This is an application for PERMISSION for a rear extension to an existing premises at 80 Western Industrial Estate, Dublin 12 for Nolan Kitchen's.

The proposed site (stated area 1664.5 sq. m.) is located to the west of Hawthorn Road in the Western Industrial Estate. The existing unit is a detached unit of area 598.2 sq. m. (stated).

*MC* Reg. Ref. No. 88A/1633 refers to a grant of permission by An Bord Pleanala (following a refusal by the County Council) for a canopy to the side of Unit No. 80. The applicants, Nolan Kitchens, stated that they required this canopy for shelter for loading operations. The Council's reasons for refusal in this instance <sup>reference</sup> to the fact that the proposed development would involve excessive site coverage and would reduce the area available for off-street car parking. The Board's decision however pointed out that the proposed development would facilitate loading and unloading and would not be contrary to the proper planning and development of the area.

The current application provides for a 139.4 sq. m. extension to the rear of the existing premises. This site was inspected on 24.04.1991. The forecourt area to the front of the premises is used for car parking and loading.

The abovementioned canopy has been constructed. There are a number of container units located within the canopy area and to the rear of the premises (one at the location of the proposed extension). There is no reference on the planning register to planning permission having been sought/granted for these units

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0293

Page No: 0002

Location: 80 Western Industrial Estate Dublin 12

which appear to be used for permanent storage purposes.

The proposed site adjoins the site of units 70 and 90. There is an existing cottage and garden to the rear. Lodged plans identify 16 no. car spaces, ~~at site No. 6~~ to the front of the building and the remainder under the canopy and to the rear of the existing premises. It is considered that car parking within the covered canopy area might conflict with the use of this area for loading/unloading etc. (as was its stated requirement under Reg. Ref. No. 88A/1633). Loading in this area is already restricted by the presence of aforementioned containers.

The proposed development shall involve site coverage of approximately 76% at this location. This is greatly in excess of that normally in areas zoned "E", i.e. 45%.

The Roads Department report states no objection to the proposed extension.

Given the restricted nature of this site the applicants were requested to submit additional information in order to ascertain the level of activity on site in terms of numbers employed, how it is intended to cater for loading on site and the position of the abovementioned containers as follows:-

1. The lodged plans identify an area of car parking to serve the development within the area covered by the existing canopy to the side of Unit 80. Planning permission for this canopy was granted under Reg. Ref. No. 88A/1633 (applicant: Nolan Kitchens). Documentation submitted with that application stated that the covered area was to be used for loading purposes. It is considered that its use for car parking would conflict with this purpose. The applicant is, therefore, requested to submit details as to how it is intended to cater for truck parking/loading on site.
2. The applicant is requested to submit details of the numbers employed on site together with details of any likely increase in the numbers employed arising out of the construction of the proposed extension.
3. From site inspection it was noted that there are a number of containers located to the side and rear of the existing premises. These containers appear to be in use for permanent storage. The applicant is requested to submit details regarding the use of these containers and whether or not any planning application have been made in respect of these structures. If not the applicant is advised to regularise this situation. It is noted that those containers located within the area covered by the canopy would conflict with the use of this area for either car parking or loading.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0293

Page No: 0003

Location: 80 Western Industrial Estate Dublin 12

Additional Information was submitted by the applicants on 14th May, 1991 as follows:-

The applicants state that the proposed extension will not result in the reduction of available car parking space on site and that the current Nolan Kitchen's operation does not result in car parking or lorry parking on the adjoining estate road.

The submission states that a total of 14 no. persons are employed at the premises. of these 4 no. bring cars to work. According to the applicants the proposed extension is required to house a larger machine and will not result in any increase in the numbers employed at the site. With regard to car parking the applicants state that additional parking facilities are available at Nolan Kitchen's unit on the opposite side of Hawthorn Road.

With regard to the existing containers on site the applicants note that no planning application has been made for the retention of these structures. The applicants indicate that they are for temporary storage only and that it is the applicants intention to transfer <sup>the containers</sup> them to their unit opposite in the near future.

The proposed development is considered acceptable.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (17) conditions:-

### CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0293

Page No: 0004

Location: 80 Western Industrial Estate Dublin 12

- REASON: In order to comply with the Sanitary Services Act, 1878-1964.
- 03 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.  
REASON: In the interest of safety and the avoidance of fire hazard.
- 04 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.  
REASON: In the interest of health.
- 05 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.  
REASON: In order to comply with the Sanitary Services Acts, 1978 - 1964.
- 06 That no industrial effluent be permitted without prior approval from Planning Authority.  
REASON: In the interest of health.
- 07 That off-street car parking facilities and parking for trucks be provided in accordance with the Development Plan Standards.  
REASON: In the interest of the proper planning and development of the area.
- 08 That the area between the building and roads must not be used for truck parking or other storage or display purpose, but must be reserved for car parking and landscaping as shown on lodged plans.  
REASON: In the interest of the proper planning and development of the area.
- 09 That details of landscaping and boundary treatment be submitted and approved by the Planning Authority and work thereon completed prior to the occupation of the proposed extension.  
REASON: In the interest of the proper planning and development of the area.
- 10 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority.  
REASON: In the interest of the proper planning and development of the area.
- 11 That the existing containers located to the side and rear of unit no. 80 and used by the applicants for temporary storage purposes be removed from the site prior to the commencement of development on site.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0293

Page No: 0005

Location: 80 Western Industrial Estate Dublin 12

REASON: To prevent unauthorised development.

12. That a financial contribution in the sum of £1,120 be paid by the proposer to the Dublin County Council towards the provision of public services in the area of the development and which will facilitate the proposed development; this contribution to be paid prior to the commencement of development on site.

12. REASON: In the interest of the proper planning and development of the area.

ms  
Endorsed:.....  
for Principal Officer

.....  
for Dublin Planning Officer

Order: A decision pursuant to section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (12) conditions set out above is hereby made.

Dated : ..... 10 July 1991. .... K.O. Sullivan  
APPROVED OFFICER - *City & County Manager*

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 19 June 1991.

8th July 1991.



DUBLIN COUNTY COUNCIL

REG. REF: 91A/293.  
 LOCATION: 80 Western Industrial Estate.  
 APPLICANT: Nolan Kitchens Ltd.  
 PROPOSAL: Rear ext. to existing premises.  
 DATE LODGED: 6.3.91.

MG

No Roads objection.

**PLANNING DEPT.**  
**DEVELOPMENT CONTROL SECT**  
 Date ..... 15/4/91 .....  
 Time ..... 5.00 .....

15/4/91

SIGNED: J. Poppy  
 DATE: 15/4/91

ENDORSED: C.R.L.  
 DATE: 15/4/91

SS only,

m & e

Register Reference : 91A/0293

Date : 12th March 1991

Development : Rear extension to existing premises

LOCATION : 80 Western Industrial Estate Dublin 12

Applicant : Nolan Kitchens Ltd

App. Type : PERMISSION

Planning Officer : M.GALVIN

Date Recd. : 6th March 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN Co. Council  
22 MAR 1991  
SAN SERVICES

DUBLIN Co. Council  
SANITARY SERVICES  
PRINTED AND PAID  
30 APR 1991  
Returned *JG*

Date received in sanitary services

FOUL SEWER

N/A

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 21.5/91  
Time ..... 12.30

SURFACE WATER

Available - existing system

SENIOR ENGINEER,  
SANITARY SERVICES DEPARTMENT,  
46/49 UPPER O'CONNELL STREET,  
DUBLIN 1

*J. Kie*  
24/4/91

1/FB32

Register Reference : 91A/0293

Date : 12th March 1991

.....  
ENDORSED \_\_\_\_\_ DATE \_\_\_\_\_

WATER SUPPLY..... Existing Supply - no objection.....

*[Signature]*  
25/3/91

.....  
ENDORSED *[Signature]* DATE 27/3/91.

*[Signature]* 09/4/91

DUBLIN COUNTY COUNCIL

REG. REF:

91A/293.

M6

LOCATION:

80 Western Industrial Estate.

APPLICANT:

Nolan Kitchens Ltd.

PROPOSAL:

Rear ext. to existing premises.

DATE LODGED:

6.3.91.

No Roads objection.

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 24.4.91 .....  
Time ..... 2.30 .....

TR/BMcC  
15.4.91.

SIGNED:

*J. Pops*

ENDORSED:

*4. B. L.*

DATE:

*15/4/91*

DATE:

*15/4/91*

Order No. P/1917/91  
**COMHAIRLE CHONTAE ÁTHA CLIATH**

**Record of Executive Business and Manager's Orders**

Proposed rear extension to existing premises at 80  
Western Industrial Estate, Naas Road, Dublin 12 for  
Nolan Kitchens Ltd.

Mark O'Reilly & Assocs.,  
Greenmount House,  
Harold's Cross Road,  
Dublin 6W.

Reg. Ref. - 91A/0293  
App. Recd: 06.03.91  
Floor Area: 139.4 sq.m.  
Site Area: 1664.5 sq.m.  
Zoning:

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Report of the Dublin Planning Officer, dated 30 April 1991

This is an application for PERMISSION for a rear extension to an existing premises at 80 Western Industrial Estate, Dublin 12 for Nolan Kitchen's.

The proposed site (stated area 1664.5 sq.m.) is located to the west of Hawthorn Road in the Western Industrial Estate. The existing unit is a detached unit of area 598.2 sq.m. (stated).

Reg. Ref. No. 88A/1633 refers to a grant of permission by An Bord Pleanála (following a refusal by the County Council) for a canopy to the side of Unit No. 80. The applicants, Nolan Kitchens, stated that they required this canopy for shelter for loading operations. The Council's reasons for refusal in this instance referred to the fact that the proposed development would involve excessive site coverage and would reduce the area available for off-street car parking. The Board's decision however pointed out that the proposed development would facilitate loading and unloading and would not be contrary to the proper planning and development of the area.

The current application provides for a 139.4 sq.m. extension to the rear of the existing premises. This site was inspected on 24.04.91. The forecourt area to the front of the premises is used for car parking and loading.

The abovementioned canopy has been constructed. There are a number of container units located within the canopy area and to the rear of the premises (one at the location of the proposed extension). There is no reference on the planning register to planning permission having been sought/granted for these units which appear to be used for permanent storage purposes.

The proposed site adjoins the sites of units 70 and 90.

There is an existing cottage and garden to the rear.

Over .....



Order No. P/1917/91  
**COMHAIRLE CHONTAE ÁTHA CLIATH**

**Record of Executive Business and Manager's Orders**

Proposed rear extension to existing premises at 80 Western Industrial Estate, Naas Road, Dublin 12 for Nolan Kitchens Ltd.

Lodged plans identify 16 no. car spaces at Site No. 6 to the front of the building and the remainder under the canopy and to the rear of the existing premises. It is considered ~~unlikely~~ that these areas (with the exception of the foresaid area) would be used for car parking. In addition it is considered that car parking within the covered canopy area would conflict with the use of this area for loading/unloading etc. (as was its stated requirement under Reg. Ref. No. 88A/1633). Loading in this area is already restricted by the presence of aforementioned containers.

The proposed development will involve site coverage of approximately 76% at this location. This is greatly in excess of that normally in areas zoned 'E', i.e. 45%.

Roads Department report noted.

Given the restricted nature of this site I recommend that additional information should be requested from the applicants in order to ascertain the level of activity on site in terms of numbers employed, how it is intended to cater for loading on site and the position of the abovementioned containers.

I recommend that **ADDITIONAL INFORMATION** be requested from the applicant with regard to the following:-

1. The lodged plans identify an area of car parking to serve the development within the area covered by the existing canopy to the side of Unit 80. Planning permission for this canopy was granted under Reg. Ref. No. 88A/1633 (applicant: Nolan Kitchens). Documentation submitted with that application stated that the covered area was to be used for loading purposes. It is considered that its use for car parking would conflict with this purpose. The applicant is, therefore, requested to submit details as to how it is intended to cater for truck parking/loading on site.
2. The applicant is requested to submit details of the numbers employed on site together with details of any likely increase in the numbers employed arising out of the construction of the proposed extension.
3. From site inspection it was noted that there are a number of containers located to the side and rear of the existing premises. These containers appear to be in use for permanent storage. The applicant is requested to submit details regarding the use of these containers and whether or not any planning application have been made in respect of these structures. If not the applicant is advised to regularise this situation. It is noted that those containers located within the area covered by the canopy would conflict with the use of this area for either car parking or loading.

(Over ....)

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed rear extension to existing premises at 80 Western Industrial Estate, Naas Road, Dublin 12 for Nolan Kitchens Ltd.

m8 (MG/AC)

Endorsed:-   
for Principal Officer

  
For Dublin Planning Officer

Order:- I direct that ADDITIONAL INFORMATION be requested from the applicant for planning permission as set out in the above report and that notice thereof be served on the applicant.

Dated: 2 May, 1991.

  
ASSISTANT CITY & COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 26th April, 1991.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/293.  
 LOCATION: 80 Western Industrial Estate.  
 APPLICANT: Nolan Kitchens Ltd.  
 PROPOSAL: Rear ext. to existing premises.  
 DATE LODGED: 6.3.91.

MG

No Roads objection.

**PLANNING DEPT.**  
**DEVELOPMENT CONTROL SECT**  
 Date ..... 15/4/91 .....  
 Time ..... 5.00 .....

TR/BMcC  
15.4.91.

SIGNED: J. Popen  
 DATE: 15/4/91

ENDORSED: 4.R.L.  
 DATE: 15/4/91



COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.

Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

Telephone: 773066

Telephone: 724755  
Extension: 231/234

14 August 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: Unit 80 Western Industrial Estate, Dublin 12.  
PROPOSED DEVELOPMENT: Extension to factory  
APPLICANT: Nolan Kitchens Ltd  
PLANNING REG. REF.: 91A/0293  
DATE OF RECEIPT  
OF SUBMISSION: 29 July 1991

A Chara,

With reference to above, I acknowledge receipt of application for:

**Building Bye Law Approval.**

Mise, le meas

A. Smith

PRINCIPAL OFFICER

Mark O'Reilly & Associates,

Greenmount House,

Harolds Cross Road,

Dublin 6W.

BYE LAW. JULY

Dublin County Council  
Comhairle Chontae Atha Cliath



~~Planning Application Form~~  
Bye - Law Application Form

PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place / in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building .....  
(If none, give description sufficient to identify)..... UNIT 80, WESTERN IND. ESTATE, DUBLIN 12.

3. Name of applicant (Principal not Agent)..... NOLAN KITCHNES LTD.  
Address..... UNIT 80, WESTERN IND. ESTATE, DUBLIN 12. Tel. No..... 507045

4. Name and address of ..... MARK O'REILLY + ASSOCIATES, GREENMOUNT HSE,  
person or firm responsible HAROLD'S CROSS ROAD, DUBLIN 6W. Tel. No ..... 534423  
for preparation of drawings

5. Name and address to which MARK O'REILLY + ASSOCIATES, GREENMOUNT HSE,  
notifications should be sent HAROLD'S CROSS ROAD, DUBLIN 6W.

6. Brief description of .....  
proposed development REAR EXTENSION TO EXISTING FACTORY PREMISES.

7. Method of drainage ..... PUBLIC MAIN. 8. Source of Water Supply ..... PUBLIC MAIN.

9. In the case of any building or buildings to be retained on site, please state:-  
(a) Present use of each floor ..... FACTORY  
or use when last used.  
(b) Proposed use of each floor ..... FACTORY.

BYE LAW APPLICATION.

N 45395

REG. NO. NO 218790

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof?

11. (a) Area of Site ..... 1664.5 ..... Sq. m.  
(b) Floor area of proposed development ..... 139.4 ..... Sq. m.  
(c) Floor area of buildings proposed to be retained within site ..... 598.2 ..... Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) ..... FREEHOLD.

13. Are you now applying also for an approval under the Building Bye Laws? Yes  No  Place  in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal: 29 JUL 91  
..... DRAFT BUILDING REGULATIONS COMPLIED WITH.....

15. List of documents enclosed with .....  
application. DRAWINGS AS PER LIST ATTACHED.  
CHEQUE FOR £ 487.90.

16. Gross floor space of proposed development (See back) ..... Sq. m.  
No of dwellings proposed (if any) ..... Class(es) of Development  
Fee Payable £ 487.90 ..... Basis of Calculation ..... £3.50 BBL x 139.4  
If a reduced fee is tendered details of previous relevant payment should be given

RECEIVED  
29 JUL 1991  
REG SEC

Signature of Applicant (or his Agent) ..... Date 25.7.91.

Application Type ..... FOR OFFICE USE ONLY  
Register Reference ..... 91A/0297  
Amount Received £ ..... 3,802  
Receipt No ..... DBL  
Date .....

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
  2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
  3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
    - (a) The address of the structure or the location of the land.
    - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
    - (c) The name of the applicant.
- NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1:2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
  5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
    - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
    - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
    - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
    - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
  6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m <sup>2</sup> (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls. For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

RECEIPT CODE

COMHAIRLE CHONTAE ÁTHA CLIATH  
DUBLIN COUNTY COUNCIL  
46/49 UPPER O'CONNELL STREET,  
DUBLIN 1

PAID BY BYE LAW APPLICATION  
REC. NO. N 45385

CASH £487.90  
cheques  
M.O.  
day of July 1981

Received this 19th day of July 1981  
from Robert Kitchens Ltd  
Unit 80, Western Ind Estate

the sum of four hundred eighty seven Pounds  
ninety Pence, being 100 Pounds  
bye law application at Unit 80 Western

Robert Kitchens Ltd  
Cashier  
S. CAREY  
Principal Officer  
WSS

**MARK O'REILLY + ASSOCIATES**

CONSULTING ENGINEERS

GREENMOUNT HOUSE  
HAROLD'S CROSS ROAD  
DUBLIN 6 W.

TEL: 53 44 23 FAX: 54 44 78

MARK O'REILLY, BE, CEEng, MICE, MIEI, CDipAF, ACIARB.

JOHN BAILEY, BA, BAI, DipPM, MSc, CEEng, MIEI.

Our Ref. R10/MOR/LM

Your Ref.

Date: 25 July 1991

Dublin County Council,  
Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.



**RE : UNIT 80 WESTERN INDUSTRIAL ESTATE, DUBLIN 12.**  
**NOLAN KITCHENS LTD.**  
**REG. REF : 91A/0293.**

Dear Sirs,

On behalf of our client Nolan Kitchens Ltd, we wish to apply for Bye-Law Approval for a rear extension to the above premises. Planning Permission Reg. Ref : 91A/0293, dated : 10th July, 1991 was recently granted for this development.

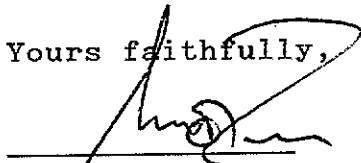
We enclose the following documents :

1. Completed Application Form.
2. Drawings - 2 Copies  
R10/01B : Site plan, Site Location.  
R10/02B : Ground floor plan section & Details.  
R10/03B : First floor plan section & Details.  
R10/A2/04A: Elevations (Proposed).
3. Structural Calculations & Design Certificate.
4. Cheque for £487.90 - Bye-Law Fees.

29 JUL 91

We will be glad to supply any further information you may require in considering this application.

Yours faithfully,

  
Mark O'Reilly.

GREENMOUNT HOUSE  
HAROLD'S CROSS ROAD  
DUBLIN 6 W.

TEL: 53 44 23 FAX: 54 44 78

MARK O'REILLY, BE, CEng, MICE, MIEI, CDipAF, ACIarb.  
JOHN BAILEY, BA, BAI, DipPM, MSc, CEng, MIEI.

Our Ref. **R10/MOR/LM**

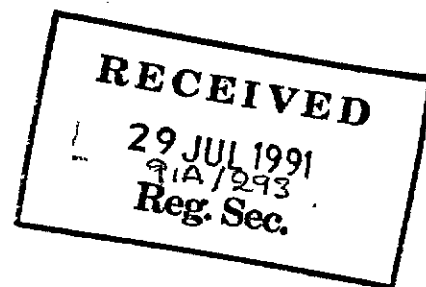
Your Ref.

Date: **25 July 1991**

**RE:**

**PROPOSED EXTENSION AT :**  
**UNIT 80, WESTERN IND. ESTATE, DUBLIN 12.**  
**NOLAN KITCHENS LTD.**

**DESIGN CERTIFICATE.**



This is to certify that the design of the foundations and the structure of the above building and the preparation of the specification for the material to be used have been executed under my supervision.

These are in conformity with current engineering standards and with relevant Standards and Codes of Practice.

Signed \_\_\_\_\_

Mark O'Reilly.

MARK O'REILLY + ASSOCIATES

CONSULTING ENGINEERS

GREENMOUNT HOUSE  
HAROLD'S CROSS ROAD  
DUBLIN 6 W.

TEL: 53 44 23 FAX: 54 44 78

MARK O'REILLY, BE, CEng, MICE, MIEI, CDipAF, ACI Arb.

JOHN BAILEY, BA, BAI, DipPM, MSc, CEng, MIEI.



PROPOSED WAREHOUSE AT :  
UNIT 80, WESTERN INDUSTRIAL ESTATE, DUBLIN 12.  
FOR NOLAN KITCHENS LTD.

STRUCTURAL CALCULATIONS.

PROJECT NO : R10.

DATE : JULY, 1991.

DESIGN AIDS USED IN THE CALCULATIONS.

1. B.S. 6399 DESIGN LOADING FOR BUILDINGS.
2. I.S. 325, PART 1, 1986 - STRUCTURAL USE OF UNREINFORCED MASONRY.
3. B.S. 5950 STRUCTURAL USE OF STEELWORK IN BUILDINGS.
4. STEELWORK DESIGN GUIDE TO B.S. 5950, PART 1, 1985, VOL.1, SECOND EDITION.
5. B.S. 8110 STRUCTURAL USE OF CONCRETE.
6. C.P. 3, CHAPTER 5, WIND LOADING.
7. CONCAST LOAD SPAN TABLES.
8. KINGSPAN MULTIBEAM CATALOGUE.
9. STEELWORK DESIGN GUIDE TO B.S. 5950, PART 1 1985. VOLUME 1, 2ND EDITION.



Title Nolan Kitchens Ad

Element Loading

Drawing

Calcs. by

DSD

Checked

Project No.

R10

Page No.

01

Date

24/7/91

Ref.

CALCULATIONS

OUTPUT

BS6399

Imposed Loadings

Service  
kN/m<sup>2</sup>

Ultimate  
kN/m<sup>2</sup>

Roof

$$0.75 \times 1.6 = 1.2$$

1<sup>st</sup> Floor

$$5.0 \times 1.6 = 8.0$$

Ground Floor

$$7.5 \times 1.6 = 12.0$$

Dead Load

The Dead loadings used in the calculations are taken either from Manufacturer catalogues or from the Densities of the materials concerned.

Wind Loading

height of building = 7.5m

length of building = 8.7m

CPS Chp V  
Pt 2, 1972

$$S = 1.0, S_1 = 0.695, S_2 = 1, V = 46 \text{ m/s}$$

$$V_e = S_1 S_2 S_3 V = 31.97 \text{ m/s}$$

$$q = k V_e^2 = 0.613 \times 31.97^2 = 627 \text{ N/m}^2$$

$$\Rightarrow q = 0.627 \text{ kN/m}^2$$

MARK O'REILLY + ASSOCIATES  
 CONSULTING ENGINEERS  
 GREENMOUNT HOUSE  
 HAROLD'S CROSS ROAD  
 DUBLIN 6  
 TEL: 53 45 25

Title *Nolan Kitchens Ltd.*  
 Element *Roof Design.*  
 Drawing  
 Calcs. by *PSD.*  
 Checked

Project No. *R10*  
 Page No. *02*  
 Date *24/07/91*

Ref.	CALCULATIONS	OUTPUT
	<p><u>Roof Design.</u>            Roof to be constructed of 25mm Profile metal outer sheet (0.55mm gauge) with PVC. plastisol colourcoat HP200 finish 50mm rigid polystyrene insulation board with steel backing tray, on multibeam Purlins at 1200%.</p>	
	<p><u>Purlin Design.</u>            Purlin Span = 8.2m  <math>Load = 0.75 kN/m^2 + 0.3 kN/m^2 = 1.05 kN/m^2</math></p>	
	<p>⇒ 254/225 Multibeam Purlins @ 1200%</p>	<p>254/225            Multibeam Purlins.            @ 1200%</p>

# Purlin Load Tables

**Safe Loads**  
The loads in this table are safe loads which may actually be applied i.e. PURLIN WEIGHT has been deducted.

**Fixing Conditions**  
Loads shown are valid only when the purlins are fixed exactly as indicated in the brochure.

**Lateral Restraint**  
Loads shown are based on lateral restraint being provided to the top flange of the purlin by the cladding.

**Wind Uplift**  
If wind uplift is critical please consult our Technical Services Department.

IMPOSED LOADS NORMAL TO ROOF  
Where no general access to roof is available.

ROOF SLOPE	5°	10°	15°	20°	25°	30°
LOADS kN/m <sup>2</sup>	0.75	0.74	0.72	0.71	0.69	0.65

**Other Conditions**  
For any other condition of loading or application not referred to in our literature, please consult our Technical Services Department.

**Flat Roof Construction**  
Please consult **Kingspan Sales Office**

EQUIVALENT SINGLE SPANNING END BAY SECTIONS

SECTION	END BAY	SECTION	END BAY	SECTION	END BAY
114/150	114/190	165/157	165/225	254/200	254/225
127/157	127/175	178/175	178/225	254/225	254/250
140/157	140/175	203/175	203/225	254/250	254/282
140/175	140/225	203/200	203/250	254/282	254/317
165/175	165/225	203/225	203/282		

## DOUBLE SPAN LOADS (kN/m<sup>2</sup>)

Loads over 8.0m are single span (sleeved) loads

End bay sections for 254mm purlins require sleeves.

SPAN	SECTION	U.D.L. kN	PURLIN CENTRES (mm)								
			1000	1200	1400	1600	1800	2000	2200	2400	2600
4.5m	114/150	7.193	1.59	1.33	1.14	1.00	0.88	0.79	0.72	0.66	0.61
	127/157	8.817	1.96	1.63	1.40	1.22	1.09	0.98	0.89	0.81	0.75
	140/157	10.015	2.22	1.85	1.59	1.39	1.28	1.11	1.01	0.92	0.85
	140/175	11.334	2.52	2.09	1.79	1.57	1.40	1.28	1.14	1.05	0.97
	165/175	14.176	3.15	2.62	2.25	1.97	1.75	1.57	1.43	1.31	1.21
5.0m	114/150	6.441	1.28	1.07	0.92	0.80	0.71	0.64	0.58	0.53	0.49
	127/157	7.900	1.58	1.31	1.13	0.98	0.87	0.79	0.71	0.65	0.60
	140/157	8.976	1.78	1.49	1.28	1.12	0.99	0.89	0.81	0.74	0.69
	140/175	10.159	2.03	1.69	1.45	1.27	1.13	1.01	0.92	0.81	0.78
	165/175	12.714	2.54	2.12	1.81	1.59	1.41	1.27	1.15	1.06	0.97
5.5m	127/157	7.146	1.29	1.08	0.92	0.81	0.72	0.65	0.59	0.54	0.50
	140/157	8.123	1.47	1.23	1.05	0.92	0.82	0.73	0.67	0.61	0.56
	140/175	9.195	1.67	1.39	1.19	1.04	0.93	0.83	0.78	0.69	0.61
	165/157	10.588	1.92	1.60	1.37	1.20	1.07	0.96	0.87	0.80	0.74
	165/175	11.514	2.09	1.74	1.49	1.30	1.16	1.01	0.95	0.87	0.80
6.0m	178/157	11.25	2.04	1.70	1.46	1.28	1.14	1.02	0.93	0.85	0.79
	178/175	12.729	2.31	1.93	1.65	1.44	1.28	1.15	1.05	0.96	0.89
	140/157	7.409	1.23	1.03	0.86	0.77	0.68	0.61	0.58	0.51	0.47
	140/175	8.387	1.39	1.16	0.95	0.87	0.77	0.70	0.63	0.58	0.53
	165/157	9.667	1.61	1.34	1.15	1.00	0.89	0.80	0.73	0.67	0.62
6.5m	165/175	10.510	1.75	1.46	1.25	1.09	0.97	0.87	0.79	0.73	0.67
	178/157	10.27	1.71	1.48	1.22	1.07	0.95	0.86	0.78	0.71	0.66
	178/175	11.622	1.93	1.61	1.38	1.21	1.07	0.96	0.88	0.80	0.74
	203/157	11.84	1.87	1.64	1.41	1.23	1.10	0.98	0.90	0.82	0.76
	203/175	13.620	2.27	1.89	1.62	1.42	1.26	1.13	1.03	0.94	0.87
7.0m	203/200	15.590	2.59	2.15	1.85	1.62	1.43	1.29	1.17	1.09	0.99
	203/225	17.520	2.92	2.43	2.09	1.82	1.62	1.48	1.33	1.22	1.12
	140/157	6.802	1.04	0.87	0.74	0.65	0.58	0.52	0.47	0.43	0.40
	140/175	7.700	1.18	0.98	0.84	0.74	0.65	0.59	0.53	0.49	0.45
	165/157	8.883	1.36	1.14	0.97	0.85	0.76	0.68	0.62	0.57	0.52
7.5m	165/175	9.657	1.48	1.23	1.06	0.93	0.82	0.74	0.67	0.62	0.57
	178/157	9.44	1.45	1.21	1.04	0.91	0.81	0.78	0.66	0.60	0.66
	178/175	10.682	1.64	1.37	1.17	1.02	0.91	0.82	0.74	0.69	0.63
	203/157	10.88	1.67	1.40	1.20	1.05	0.99	0.84	0.76	0.70	0.64
	203/175	12.523	1.92	1.60	1.37	1.20	1.07	0.96	0.87	0.80	0.74
8.0m	203/200	14.235	2.19	1.83	1.58	1.37	1.22	1.09	0.99	0.91	0.84
	203/225	16.120	2.48	2.06	1.77	1.55	1.37	1.24	1.12	1.03	0.95
	165/175	8.922	1.27	1.06	0.91	0.79	0.70	0.63	0.58	0.53	0.49
	178/157	8.72	1.25	1.04	0.89	0.78	0.69	0.62	0.57	0.52	0.49
	178/175	9.872	1.41	1.17	1.00	0.88	0.78	0.70	0.64	0.58	0.54
8.5m	203/157	10.06	1.44	1.20	1.03	0.90	0.80	0.72	0.66	0.60	0.56
	203/175	11.578	1.65	1.37	1.18	1.03	0.92	0.82	0.75	0.69	0.63
	203/200	13.160	1.88	1.57	1.34	1.17	1.04	0.94	0.85	0.78	0.72
	203/225	14.910	2.13	1.77	1.52	1.33	1.18	1.06	0.96	0.89	0.82
	254/200	17.149	2.44	2.04	1.74	1.53	1.36	1.22	1.11	1.02	0.94
9.0m	254/225	19.353	2.78	2.30	1.97	1.72	1.53	1.38	1.25	1.15	1.06
	178/157	8.10	1.08	0.90	0.77	0.67	0.60	0.64	0.49	0.45	0.42
	178/175	9.167	1.22	1.01	0.87	0.78	0.67	0.61	0.55	0.51	0.47
	203/157	9.34	1.25	1.04	0.89	0.78	0.69	0.62	0.57	0.52	0.48
	203/175	10.756	1.43	1.19	1.02	0.89	0.79	0.71	0.65	0.59	0.55
9.5m	203/200	12.225	1.85	1.58	1.16	1.02	0.90	0.81	0.74	0.68	0.62
	203/225	13.800	1.84	1.54	1.31	1.15	1.02	0.92	0.81	0.77	0.70
	254/200	15.941	2.12	1.77	1.51	1.32	1.18	1.06	0.96	0.88	0.81
	254/225	17.890	2.39	1.99	1.71	1.49	1.35	1.19	1.09	0.99	0.92
	203/200	11.325	1.41	1.18	1.01	0.88	0.78	0.70	0.64	0.59	0.54
10.0m	203/225	12.547	1.58	1.31	1.12	0.98	0.87	0.79	0.72	0.66	0.60
	254/200	14.879	1.85	1.54	1.32	1.16	1.03	0.92	0.84	0.77	0.71
	254/225	16.793	2.09	1.74	1.49	1.31	1.16	1.04	0.95	0.87	0.85
	254/200	13.713	1.61	1.34	1.15	1.00	0.89	0.80	0.73	0.67	0.62
	254/225	15.477	1.82	1.51	1.30	1.13	1.01	0.91	0.82	0.75	0.70
10.5m	254/250	17.231	2.02	1.68	1.44	1.26	1.12	1.01	0.92	0.84	0.77
	254/282	19.203	2.24	1.89	1.61	1.41	1.25	1.13	1.05	0.94	0.87
	254/200	12.886	1.43	1.19	1.07	0.89	0.79	0.71	0.65	0.59	0.55
	254/225	14.545	1.61	1.34	1.15	1.01	0.89	0.80	0.73	0.67	0.62
	254/250	16.192	1.79	1.49	1.28	1.12	0.99	0.89	0.81	0.74	0.69
254/282	18.076	2.00	1.68	1.43	1.25	1.16	1.00	0.91	0.83	0.77	

<b>MARK O'REILLY + ASSOCIATES</b> CONSULTING ENGINEERS GREENMOUNT HOUSE HAROLD'S CROSS ROAD DUBLIN 6 TEL: 53 45 25	Title <i>Nolan Kitchen's Htd</i>		Project No. R10
	Element <i>Steel Column Design</i>		Page No. 03
	Drawing	Calcs. by <i>DJD</i>	Checked

Ref.	CALCULATIONS	OUTPUT
	<p><u>Steel Columns</u> ~ 8m high Columns.</p> <p>Columns = 8m high.</p> <p>Design to take wind load in the horizontal direction</p> <p>⇒ Design as a beam with the UDL acting as a wind load.</p> <p><math>W = 0.627 \times \frac{8.7}{2} \times 14.7 = 3.82 \text{ kN/m}</math></p> <p>Column span = 8m</p> <p>⇒ <math>M = \frac{wL^2}{8} = \frac{3.82 \times 8^2}{8} = 30.55 \text{ kNm}</math></p> <p>taking <math>l_e = 8m</math> <math>n = 1.0</math></p> <p>⇒ <math>M_b = 30 \text{ kNm}</math> for a 152x152x30 kg ULS</p> <p><u>Deflection</u></p> <p>All the load must be taken as W.</p> <p>⇒ <math>\delta = \frac{5WL^3}{384EI} = \frac{5 \times 3.82 \times 4.15 \times 8000^3}{384 \times 205 \times 1740 \times 10^4}</math></p> <p style="margin-left: 150px;">= 21.1 mm</p> <p>Allowable = <math>L/360 = 22 \text{ mm}</math></p>	
		<p><u>Cols</u></p> <p>152x152x30 kg ULS</p>

Title

Nolan Kitchens Ltd

Element

Block Panel Design

Project No.

R10

Page No.

04

Drawing

Calcs. by

JJD

Checked

Date

24/07/91

Ref.

CALCULATIONS

OUTPUT

IS325

Block Panels

Wind

$$h/l = 0.904$$

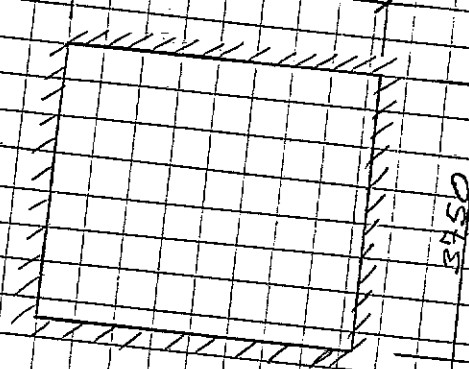
4.15

$$q = 0.627$$

$$\mu = 0.5$$

To 9.E

$$\alpha = 0.0518$$



Assuming Hollow  
 Block Walls

$$\Rightarrow M_{I1} = 1.24 \times 0.0518 \times 0.627 \times 4.15^2 = 0.783 \text{ kNm/m}$$

$$M_{I2} = 0.5 \times 0.783 = 0.3915 \text{ kNm/m}$$

$$Z = \frac{0.72 \times 10^3 \times 215^2}{6} = 5.547 \times 10^6 \text{ mm}^3/\text{m}$$

$$M_{r1} = 0.5/3.5 \times Z = 0.793 \text{ kNm/m}$$

$$M_{r2} = 0.5 \times 0.793 = 0.396 \text{ kNm/m}$$

Hollow Block  
 Panels OK

Block Panels Load Bearing

Hollow Block Wall ~215mm thick to carry  
 4.25m of 1st Floor + 8m of Wall

Concast  
 Catalogue

$$\text{Load} = \text{Floor} = (2.79 + 0.05 \times 24) \times 1.4 \times 4.15 = 23.2$$

$$S \times 1.6 \times 4.15 = 33.2$$

$$\text{Wall} = 22 \times 1.4 \times 0.215 \times 8 \times 0.72 = 38.14$$

$$94.54 \text{ kNm}$$

Ref.	CALCULATIONS	OUTPUT
------	--------------	--------

*IS325* Block Panels Wind  
 $h/L = 0.904$   
 $q = 0.627$   
 $\mu = 0.5$   
*To 9.E*  $d = 0.0518$

*Assuming Hollow Block Walls*

$$\Rightarrow M_{11} = 1.24 \times 0.0518 \times 0.627 \times 4.15^2 = 0.783 \text{ kNm/m}$$

$$M_{12} = 0.5 \times 0.783 = 0.3915 \text{ kNm/m}$$

$$\frac{Z}{6} = \frac{0.72 \times 10^3 \times 215^2}{6} = 5.547 \times 10^6 \text{ mm}^3/\text{m}$$

$$M_{c1} = 0.5/3.5 \times \frac{Z}{6} = 0.793 \text{ kNm/m}$$

$$M_{c12} = 0.5 \times 0.793 = 0.396 \text{ kNm/m}$$

*Hollow Block Panels OK*

Block Panels Load Bearing

*Hollow Block Wall ~215mm thick to carry 4.15m of 1<sup>st</sup> floor + 2m of wall*

*Concast. Catalogue*

$$\text{Load} = \text{floor} = (279 + 0.05 \times 24) \times 1.4 \times 4.15 = 23.2$$

$$5 \times 1.6 \times 4.15 = 33.2$$

$$\text{Wall} = 22 \times 1.4 \times 0.215 \times 8 \times 0.72 = 38.14$$

$$94.54 \text{ kN/m}$$

**MARK O'REILLY + ASSOCIATES**  
 CONSULTING ENGINEERS  
 GREENMOUNT HOUSE  
 HAROLD'S CROSS ROAD  
 DUBLIN 6

TEL: 53 45 25

Title *Nolan Kitchens Ltd.*  
 Element *Block Panel (Load Bearing)*  
 Drawing  
 Calcs. by *DJD*  
 Checked

Project No. *210*  
 Page No. *05*  
 Date *24/07/91*

Ref.	CALCULATIONS	OUTPUT
	<i>Block Panel (Load Bearing) Cont'</i>	
	<i>Capacity of 215mm TK Hollow Block Wall</i>	
<i>IS 325</i>	<i>Capacity = <math>\frac{AE F_k}{\gamma_m}</math></i>	
	<i>t = 215    <math>f_k = 1.9</math>    <math>\gamma_m = 3.5</math></i>	
	<i>2.7 / 0.215 = 12.56</i>	
<i>16.7</i>	<i><math>\Rightarrow \beta = 0.86</math></i>	
	<i><math>\Rightarrow \text{Capacity} = \frac{0.86 \times 215 \times 1.9}{3.5} = 100 \text{ kN/m}</math></i>	
	<i><math>\Rightarrow 100 &gt; 94.54</math></i>	
	<i>Provided &gt; Reqy</i>	<i>Hollow Block Panels ok</i>

**MARK O'REILLY + ASSOCIATES**  
 CONSULTING ENGINEERS  
 GREENMOUNT HOUSE  
 HAROLD'S CROSS ROAD  
 DUBLIN 6  
 TEL: 53 45 25

Title *Nolan Kitchens Ltd.*  
 Element *First Floor Construction*  
 Drawing  
 Calcs. by *DSD*  
 Checked

Project No. *RO*  
 Page No. *06.*  
 Date *24/07/91.*

Ref. CALCULATIONS OUTPUT

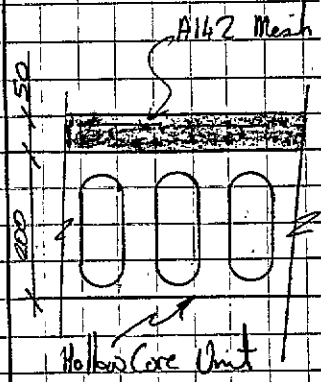
First Floor Construction

Floor to be Hollow Core Units  
 with a 50 mm TK structural  
 screed

Load =  $5 \text{ kN/m}^2 = \text{IL}$

Proposed  
 Load Span  
 Tables.

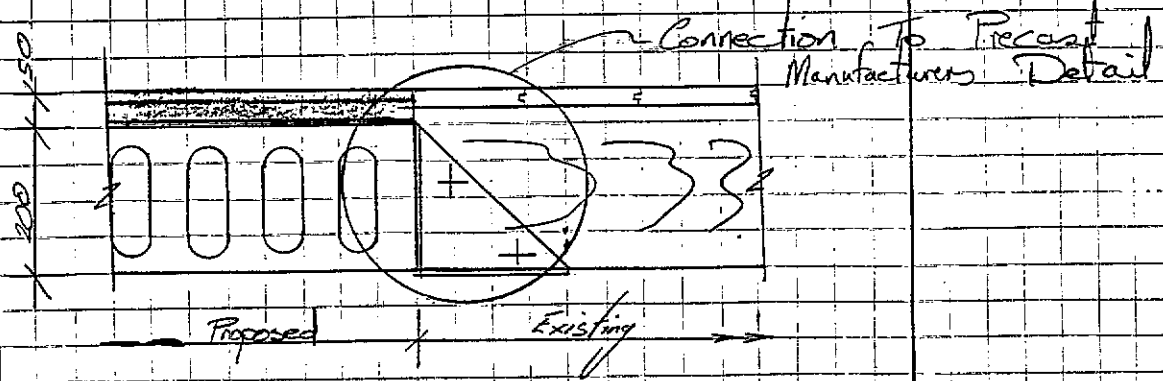
200mm TK Hollowcore Unit with  
 50 mm Conc Screed with A142 Mesh



New To Existing First Floor Const.

End Hollow-core unit to be designed  
 to carry 1.65 m of existing floor  
 +  $5 \text{ kN/m}^2$  IL on itself + DL of existing

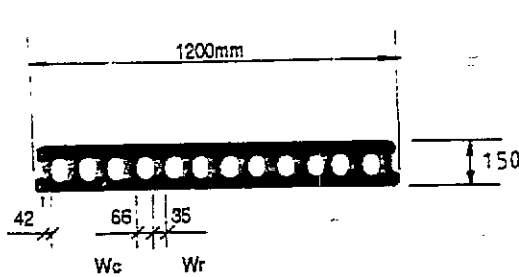
$\Rightarrow \text{Total} = 5 + (5 \times 1.65) + (0.5 \times 1.65) = 14.075 \text{ kN/m}$





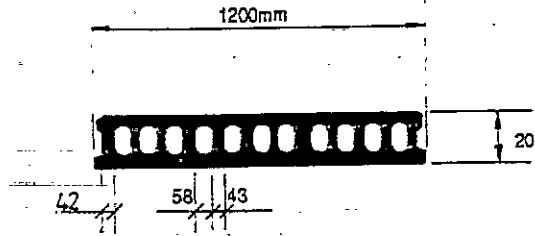
# CONCAST

## Hollowcore load span tables



### SECTION PROPERTIES 150mm deep.

A	119504 sq mm <sup>2</sup>
I	324714016 mm <sup>4</sup>
Z <sub>t</sub>	4154925 mm <sup>3</sup>
Z <sub>b</sub>	4225383 mm <sup>3</sup>
W <sub>t</sub>	2.34 kN/sq metre
W <sub>c</sub>	66mm core width
W <sub>r</sub>	35mm rib width



### SECTION PROPERTIES 200mm deep.

A	142267 sq mm <sup>2</sup>
I	629573953 mm <sup>4</sup>
Z <sub>t</sub>	6325985 mm <sup>3</sup>
Z <sub>b</sub>	6265781 mm <sup>3</sup>
W	2.79 kN/sq metre
	Core width 58mm
	Rib width 43mm

### MATERIALS PROPERTIES 150 & 200mm units.

#### Concrete

Transfer strength 35 N/sq mm  
 Strength at 28 days 50 N/sq mm  
 Fire rating 1 hour  
 Design to B.S. 8110 (1985)

#### Steel

Wire diameter 5mm  
 ApsFpu 34.7 kN

Unit depth	Structural Scribed depth	Ultimate bending moment kN-m *	Ultimate Shear force kN *	SAFE WORKING LOAD in kN/m <sup>2</sup> excl. self wt. for spans in metres.														
				SPANS IN METRES														
				4.0	4.5	5.0	5.5	6.0	6.5	7.0	7.5	8.0	8.5	9.0	9.5	10.0	10.5	11.0
150	none	63.08	92.05	14.3	10.8	8.4	6.5	5.2	4.1	3.2	2.5							
150	50mm	84.23	92.05	19.9	15.3	12.0	9.6	7.7	6.3	5.0	3.8	2.8						
200	none	137.1	157.9			20.3	16.4	13.3	11.0	9.1	7.6	6.3	5.3	4.5	3.7	3.1	1.5	
200	50mm	178.05	155.89			27.3	22.2	18.7	15.2	12.5	10.4	8.6	7.2	6.0	5.0	4.1	3.2	2.7

\*Note Ultimate moment and ultimate shear are given per standard unit 1200 wide.  
 For fire rating greater than that shown above please consult our design department.

## CONCAST

Hazelhatch, Newcastle, Co. Dublin.  
 Telephone: 6288055/6271138/6271346  
 Fax: 6273326.



Title  
*Nolan Kitchens*

Project No.  
 R10

Element  
 Foundations

Page No.  
 07

Drawing

Calcs. by  
*JSD*

Checked

Date  
 24/07/91

Ref.

CALCULATIONS

OUTPUT

Allowable Bearing Pressure =  $100 \text{ kN/m}^2$

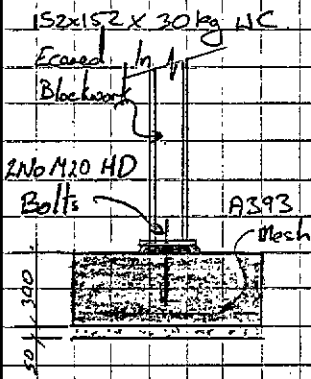
Column Pad Foundations

No vertical load except self weight.  
 $\Rightarrow$  Take off of strip foundation

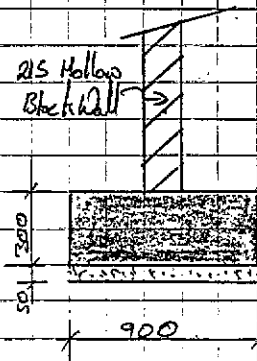
Strip Foundation

Max load on wall =  $94.54 \text{ Ultimate}$   
 $\Rightarrow$  Service load on strip  
 $= S.D. + 94.54 \div 1.5$   
 $= 0.3 \times 0.9 \times 24 + 94.54 \div 1.5$   
 $= 69.5 \text{ kN/m Run}$

$\Rightarrow$  Use a  $900 \times 300 \text{ mm deep}$  strip with  
 A393 Mesh in the bottom &  
 50mm thick blinding grade C20,  
 structural conc = C35.



Col Strip Detail



Title Nolan Kitchens

Project No. R10

Element Band Beam

Page No. 08

Drawing Calcs. by DSD

Checked

Date 24/07/91

Ref.	CALCULATIONS	OUTPUT
	<p><u>Band Beam</u> 215x215 mm dp.</p> <p>Beam to carry approx 4m of Wind load</p> <p>As a UDL.</p> <p><math>\Rightarrow 4 \times 0.627 \times 1.4 = 3.5112 \text{ kN/m.}</math></p> <p>Span of Beam = 4.15m.</p> <p><math>\Rightarrow M = \frac{wL^2}{8} = \frac{3.5112 \times 4.15^2}{8} = 7.6 \text{ kNm.}</math></p> <p><math>\frac{M}{bd^2} = 1.085 \Rightarrow k = \frac{1.085}{25} = 0.03</math></p> <p><math>\Rightarrow k &lt; k' \Rightarrow \frac{z}{d} = 0.95d = 171 \text{ mm.}</math></p> <p><math>\Rightarrow A_{s \text{ req}} = \frac{M}{0.87f_y z} = \frac{7.6 \times 10^6}{0.87 \times 460 \times 171} = 111 \text{ mm}^2</math></p> <p>Use 2T16 Top &amp; Bottom. <math>A_s = 402 \text{ mm}^2</math></p> <p><u>Shear</u></p> <p><math>V = \frac{wL}{2} = \frac{3.5112 \times 4.15}{2} = 7.28 \text{ kN}</math></p> <p><math>\frac{V}{bd} = \frac{7.28}{215 \times 180} = 0.188 \text{ N/mm}^2</math></p> <p><math>V_c = (0.79 (100f_c/bd)^{1/3} (400/d)^{1/4} / 1.25) \times (35/f_c)^{1/2}</math></p> <p><math>V_c = 0.69</math></p> <p><math>\Rightarrow</math> Min Links <math>\sim</math> Check for Min Links.</p> <p><math>A_s = 0.4 \frac{f_{yk} S_v}{0.87 f_y} \Rightarrow S_v = 163</math></p> <p><math>0.75d = 135 \text{ mm.}</math></p>	<p><math>d = 180 \text{ mm}</math></p> <p><math>b = 215</math></p> <p><math>A_s = 402 \div 2</math></p> <p>Links R6's @ 125%</p>

MARK O'REILLY + ASSOCIATES  
 CONSULTING ENGINEERS  
 GREENMOUNT HOUSE  
 HAROLD'S CROSS ROAD  
 DUBLIN 6

TEL: 53 45 25

Title  
*Nolan Kitchens*

Element  
*Band Beam*

Drawing

Calcs. by  
*DSD*

Checked

Project No.  
*R10*

Page No.  
*09*

Date  
*24/07/91*

Ref.

CALCULATIONS

OUTPUT

Deflection

Allowable  $l/d = 20$

Actual  $l/d = 4150 \div 180 = 23.1$

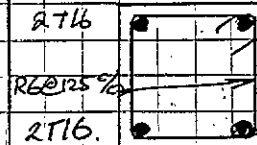
Tension Modification Factor

$f_s = \frac{5}{8} \times \frac{f_y \times A_{s req.}}{A_{s prov.}} = 159$

Mod factor =  $0.55 + \frac{(477 - 159)}{120 \left( \frac{0.9 + M}{bd^2} \right)} = 1.88$

$\Rightarrow$  Allowable  $l/d = 20 \times 1.88 = 37.7$

Deflection



Section Thru Band.  
 Beam.

MARK O'REILLY + ASSOCIATES  
 CONSULTING ENGINEERS  
 GREENMOUNT HOUSE  
 HAROLD'S CROSS ROAD  
 DUBLIN 6

TEL: 53 45 25

Title  
*Nolan Kidrens Ltd.*

Element  
*Bracing*

Drawing

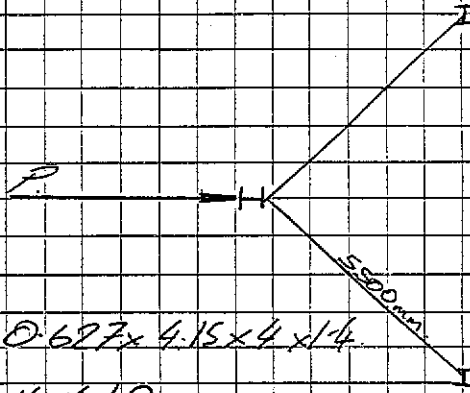
Calcs. by  
*DSD*

Checked

Project No.  
*R10*

Page No.  
*10*

Date  
*24/07/91*

Ref.	CALCULATIONS	OUTPUT
	<p><i>Bracing</i></p> <p><i>Bracing to Top of Steel Col.</i></p> <p><i>Span = 5.5m</i></p>  <p><math>P = 0.627 \times 4.15 \times 4 \times 14</math></p> <p><math>P = 14.6 kN</math></p> <p><i>Small load <math>\Rightarrow</math> Use 114.3 x 5 CHS Bracing</i></p>	<p><i>Bracing</i></p> <p><i>114.3 x 5 CHS</i></p>



Bloc 2, Ionad Bheatha na hEireann,  
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Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION  
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 3061 /91      Date of Decision : 10th July 1991

Register Reference : 91A/0293      Date Received : 14th May 1991

Applicant : Nolan Kitchens Ltd

Development : Rear extension to existing premises

Location : 80 Western Industrial Estate Dublin 12

Time Extension(s) up to and including :

Additional Information Requested/Received : 020591//140591

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

Subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- *12*....ATTACHED.

Signed on behalf of the Dublin County Council.....  
*[Signature]*  
for Principal Officer

Date: *11/7/91*.....

Mark O'Reilly & Associates  
Greenmount House  
Harold's Cross Road  
Dublin 6W

## NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.
2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,  
Blocks 6 and 7  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Reg.Ref. 91A/0293  
Decision Order No. P/ 3061 /91  
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
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Lower Abbey Street,  
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Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

C O N D I T I O N S / R E A S O N S

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.  
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.  
REASON: In order to comply with the Sanitary Services Act, 1878-1964.
- 03 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.  
REASON: In the interest of safety and the avoidance of fire hazard.
- 04 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.  
REASON: In the interest of health.
- 05 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.  
REASON: In order to comply with the Sanitary Services Acts, 1978 - 1964.
- 06 That no industrial effluent be permitted without prior approval from Planning Authority.  
REASON: In the interest of health.
- 07 That off-street car parking facilities and parking for trucks be provided in accordance with the Development Plan Standards.  
REASON: In the interest of the proper planning and development of the area.
- 08 That the area between the building and roads must not be used for truck parking or other storage or display purpose, but must be reserved for car parking and landscaping as shown on lodged plans.  
REASON: In the interest of the proper planning and development of the area.
- 09 That details of landscaping and boundary treatment be submitted and approved by the Planning Authority and work thereon completed prior to the occupation of the proposed extension.
- 09 REASON: In the interest of the proper planning and development of the area.



Reg.Ref. 91A/0293  
Decision Order No. P/ 3061 /91  
Page No: 0002



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- 09 REASON: In the interest of the proper planning and development of the area.

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Fax. (01)724896

Reg.Ref. 91A/0293  
Decision Order No. P/ 3061 /91  
Page No: 0003

10 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority.

REASON: In the interest of the proper planning and development of the area.

11 That the existing containers located to the side and rear of unit no. 80 and used by the applicants for temporary storage purposes be removed from the site prior to the commencement of development on site.

REASON: To prevent unauthorised development.

12 That a financial contribution in the sum of €1126.00 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

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Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/0293

Date : 15th May 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Rear extension to existing premises

LOCATION : 80 Western Industrial Estate Dublin 12

APPLICANT : Nolan Kitchens Ltd

APP. TYPE : Additional Information

With reference to above, I acknowledge receipt of your application received on 14th May 1991.

Yours faithfully,

.....  
PRINCIPAL OFFICER

Mark O'Reilly & Associates  
Greenmount House  
Harold's Cross Road  
Dublin 6W

**MARK O'REILLY + ASSOCIATES**

CONSULTING ENGINEERS

GREENMOUNT HOUSE  
HAROLD'S CROSS ROAD  
DUBLIN 6 W.

TEL: 53 44 23 FAX: 54 44 78

MARK O'REILLY, BE, CEng, MICE, MIEI, CDipAF, AGI Arb.  
JOHN BAILEY, BA, BAI, DipPM, MSc, CEng, MIEI.

Our Ref. R10/MOR/LM

Your Ref. -

Date: 10 May 1991

Dublin County Council,  
Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

91A/0293  
1.0.0  
A.1.

**RE : UNIT 80 WESTERN INDUSTRIAL ESTATE, DUBLIN 12.**

**NOLAN KITCHENS LTD.**

**REG. REF : 91A/0293.**

**"ADDITIONAL INFORMATION."**



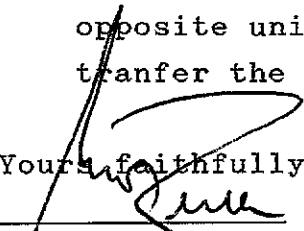
Dear Sirs,

I refer to your letter dated : 2nd May, 1991, requesting additional information on the above application.

Regarding the information requested, I reply as follows :

- 1 : The proposed extension will not result in any reduction in the available car-parking on the site.  
I am informed by Nolan Kitchens that their activities at present do not result in any car-parking or lorry parking on the estate road.
- 2 : At present there are 14 people employed at the premises 4 of whom bring cars to work.  
The proposed extension is to house a larger machine and will not result in any increase in the numbers employed. As well as the parking available at unit 80, there is also ample parking facilities in the unit on the opposite side of the road, which was recently purchased by Nolan Kitchens.
- 3 : A planning application has not been made for the containers on the site as these are only for temporary storage. Nolan kitchens have recently purchased the opposite unit and its hoped in the near future to transfer the storage into this unit.

Yours faithfully,

  
Mark O'Reilly.

Mark O'Reilly & Assocs.,  
Greenmount House,  
Harold's Cross Road,  
Dublin 6W.

Reg. Ref. No. 91A/0293

2 May 1991

Re: Proposed rear extension to existing premises at 80 Western Industrial Estate, Naas Road, Dublin 12 for Nolan Kitchens Ltd.

Dear Sir/Madam,

With reference to your planning application, received here on 6 March, 1991, in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts, 1963-1983, the following additional information must be submitted in quadruplicate:-


1. The lodged plans identify an area of car parking to serve the development within the area covered by the existing canopy to the side of Unit 80. Planning permission for this canopy was granted under Reg. Ref. No. 88A/1633 (applicant: Nolan Kitchens). Documentation submitted with that application stated that the covered area was to be used for loading purposes. It is considered that its use for car parking would conflict with this purpose. The applicant is, therefore, requested to submit details as to how it is intended to cater for truck parking/loading on site.
2. The applicant is requested to submit details of the numbers employed on site together with details of any likely increase in the numbers employed arising out of the construction of the proposed extension.

Over .....

3. From site inspection it was noted that there are a number of containers located to the side and rear of the existing premises. These containers appear to be in use for permanent storage. The applicant is requested to submit details regarding the use of these containers and whether or not any planning application have been made in respect of these structures. If not the applicant is advised to regularise this situation. It is noted that those containers located within the area covered by the canopy would conflict with the use of this area for either car parking or loading.

Please mark your reply "ADDITIONAL INFORMATION" and quote the Reg. Ref. No. given above.

Yours faithfully,

  
for Principal Officer.



Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/0293

Date : 6th March 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

---

Dear Sir/Madam,

DEVELOPMENT : Rear extension to existing premises

LOCATION : 80 Western Industrial Estate Dublin 12

APPLICANT : Nolan Kitchens Ltd

APP. TYPE : PERMISSION

With reference to above, I acknowledge receipt of your application received on 6th March 1991.

Yours faithfully,

.....

PRINCIPAL OFFICER

Mark O'Reilly & Associates  
Greenmount House  
Harold's Cross Road  
Dublin 6W



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place / in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building Unit 80, Western Industrial Estate, Dublin 12.  
(If none, give description sufficient to identify).....

3. Name of applicant (Principal not Agent)..... Nolan Kitchens Ltd.  
Address..... 80, Western Industrial Estate. Tel. No.....

4. Name and address of Mark O'Reilly + Associates, Greenmount House  
person or firm responsible Harold's Cross Road, Dublin 6W. Tel. No 53 44 23  
for preparation of drawings

5. Name and address to which Mark O'Reilly + Associates, Greenmount House,  
notifications should be sent Harold's Cross Road, Dublin 6W.

6. Brief description of Rear extension to existing factory premises.  
proposed development

7. Method of drainage Public Main 8. Source of Water Supply Public Main

9. In the case of any building or buildings to be retained on site, please state:-  
(a) Present use of each floor Factory  
or use when last used.  
(b) Proposed use of each floor Factory

FOR DUBLIN Permission sought for rear extension to existing premises at 80 Western Industrial Estate, Naas Road, Dublin 12 - Nolan Kitchens Ltd.

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No

11. (a) Area of Site 243.95 6/3 5 Sq. m.  
(b) Floor area of proposed development 139.4 Sq. m.  
(c) Floor area of buildings proposed to be retained within site N 34089 598.2 Sq. m.

Grid  
Press  
5/3/91

12.State applicant's legal interest or estate in site Freehold  
(i.e. freehold, leasehold, etc.)

13.Are you now applying also for an approval under the Building Bye Laws?  
Yes  No  Place  in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:  
Draft Building Regulations Complied With.

15. List of documents enclosed with application.  
Page of "Irish Press" Dated : 05.03.91  
Drawings - As List Attached.

16.Gross floor space of proposed development (See back) 139.4 Sq. m.

No of dwellings proposed (if any) ..... Class(es) of Development .....  
Fee Payable £ 243.95 Basis of Calculation 139.4 x £1.75 = £243.95  
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) [Signature] Date 5.3.91.

Application Type P FOR OFFICE USE ONLY  
Register Reference 91A/0293  
Amount Received £ 1.16.0  
Receipt No .....  
Date .....

RECEIVED  
- 6 MAR 1991  
REG. SEC.

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Act 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
  2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
  3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
    - (a) The address of the structure or the location of the land.
    - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
    - (c) The name of the applicant.
- NB. Applications must be received within 2 weeks from date of publication of the notice.**

4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
  - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
  - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
    - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
  - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/ Commercial Purposes	£3.50 per m <sup>2</sup> (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00
		Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls. For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

**AIRLE CHONTAE ÁTHA CLIAITH**

RECEIPT CODE

DUBLIN COUNTY COUNCIL  
46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

Issue of this receipt is not an  
acknowledgement that the fee  
tendered is the prescribed application  
fee. N° 34089

CASH  
CHEQUE  
M.O.  
B.L.  
I.T.

£243.95

Received this 6<sup>th</sup> day of March 1977

from Unit 80 Western Ind. Est.

2-12

the sum of two hundred and forty three and 95/100 Pounds

sixty five Pence, being

the application at above address

Michael Deane Cashier

**S. CAREY**  
Principal Officer

**MARK O'REILLY + ASSOCIATES**

CONSULTING ENGINEERS

GREENMOUNT HOUSE  
HAROLD'S CROSS ROAD  
DUBLIN 6 W.

TEL: 53 44 23 FAX: 54 44 78

MARK O'REILLY, BE, CEng, MICE, MIEI, CDipAF, ACIarb.

JOHN BAILEY, BA, BAI, DipPM, MSc, CEng, MIEI.

Our Ref. R10/MOR/LM

Your Ref.

Date: 4 March 1991

Dublin County Council,  
Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

**RE : UNIT 80 WESTERN INDUSTRIAL ESTATE, DUBLIN 12.  
NOLAN KITCHENS LTD.**

Dear Sirs,

On behalf of our client Nolan Kitchens Ltd, we wish to apply for planning permission to construct a two storey extension at the rear of the above premises.

We enclose the following documents :

1. Completed Application Form.
2. Page of "Irish Press" dated : 05.03.91.
3. Drawings - 4 Copies :

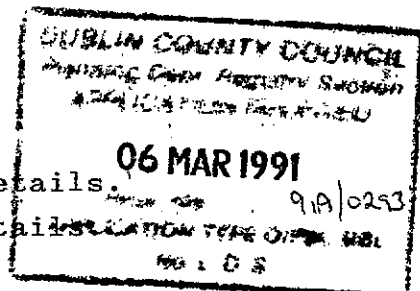
R10/01B - Site Plan, Site Location.

R10/02A - Ground Floor Plan, Section & Details.

R10/03A - First Floor plan, Section & Details.

R10/A2/03A - Elevations (Proposed).

4. Cheque for £243.95 - Planning Fees.



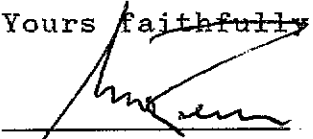
The extension is required to house in an edge banding machine as part of the existing kitchen fabrication process.

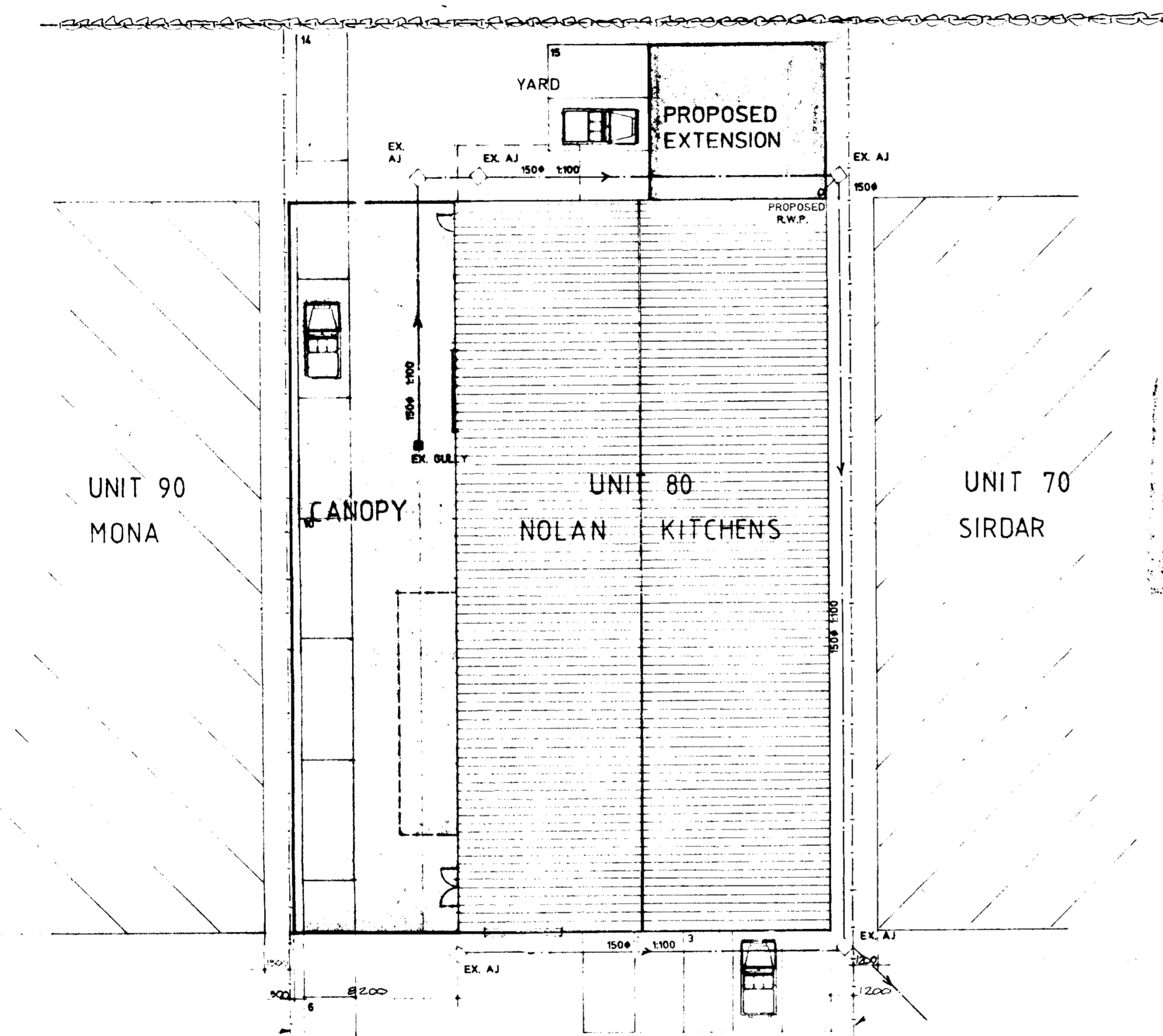
The air compressors will be located at first floor level.

The proposed extension will not reduce the available car-parking on the site.

We will be glad to supply any further information you may require in considering this application.

Yours faithfully,

  
Mark O'Reilly.



UNIT 90  
MONA

UNIT 80  
NOLAN KITCHENS

UNIT 70  
SIRDAR

CANOPY

PROPOSED  
EXTENSION

BOUNDARY FENCE

BOUNDARY FENCE

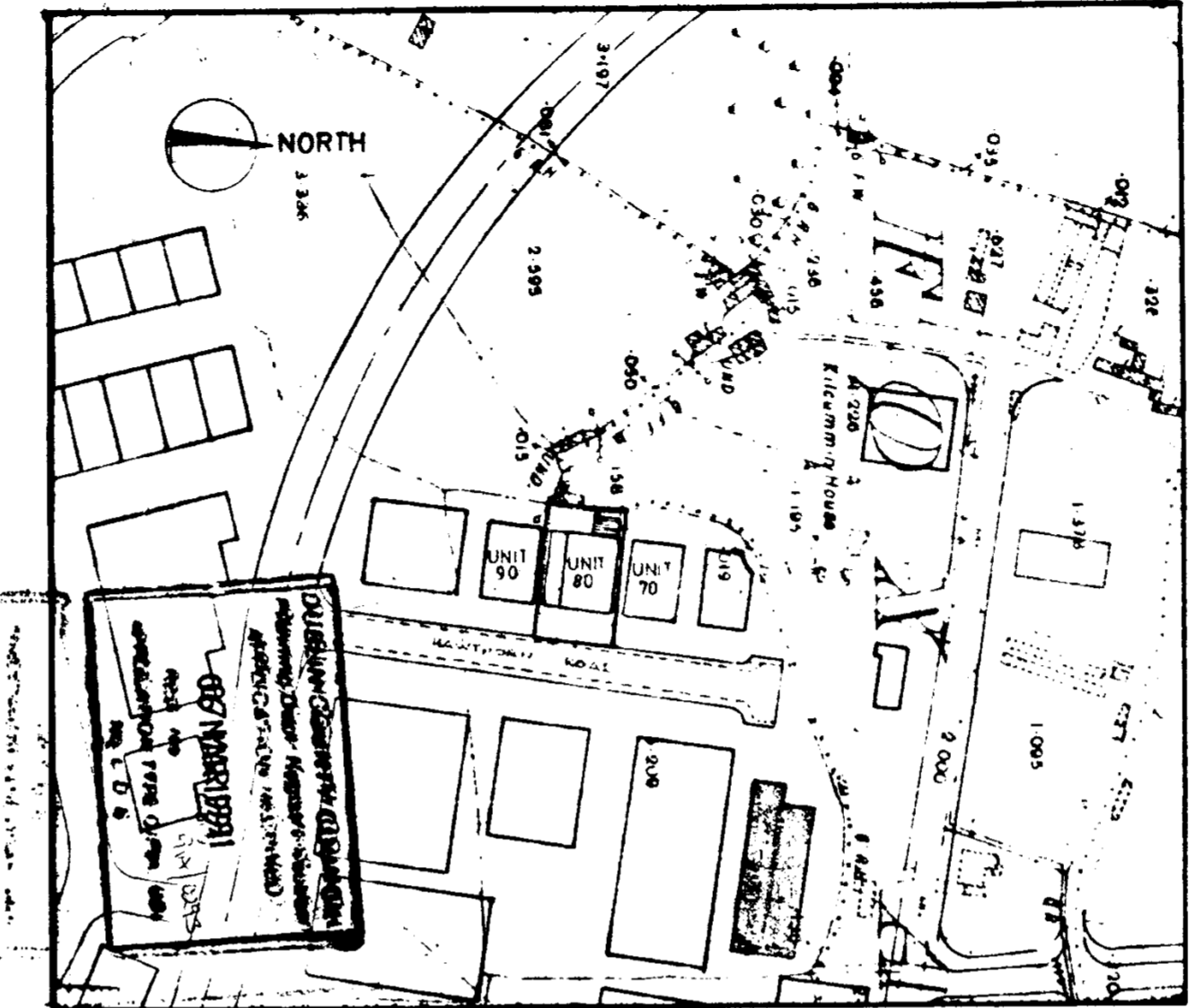


ENTRANCE

GRASS  
FOOTPATH  
GRASS

ROAD

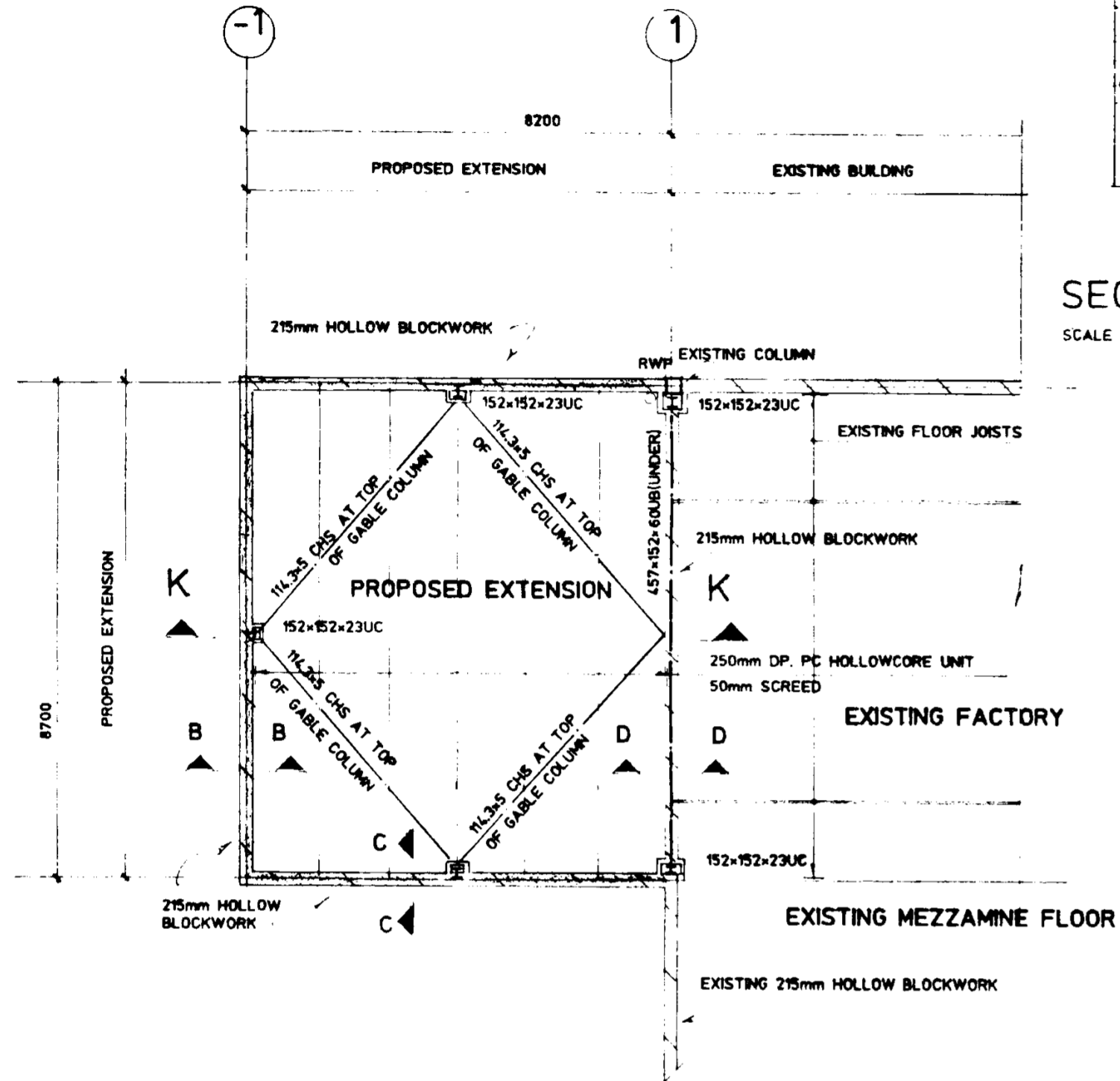
SITE PLAN scale 1:200



SITE LOCATION MAP scale 1:2500

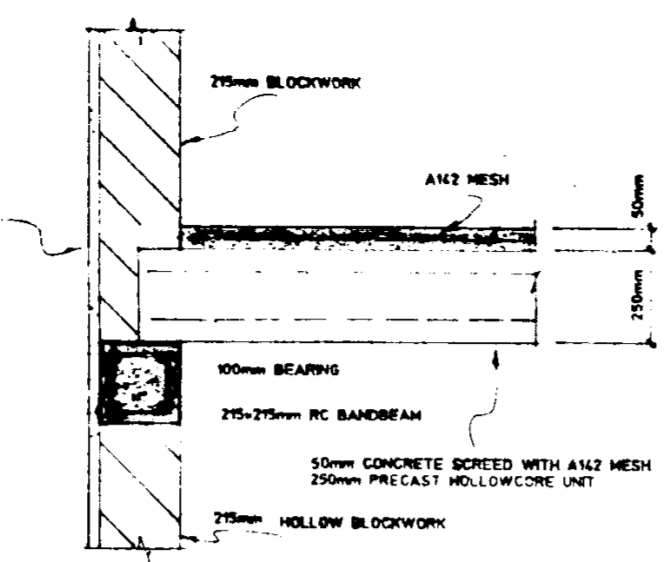
*9/11/02/13*

B	FEB 91	PLANNING APPLICATION	S.K.H.	
A	JAN 91	EXTENSION ADDED	S.K.H.	
REV	DATE	AMENDMENT	DRN	CHK
<b>MARK O'REILLY + ASSOCIATES</b> CONSULTING ENGINEERS GREENMOUNT HOUSE HAROLD'S CROSS ROAD DUBLIN 6 TEL 53 45 25 53 44 23				
CLIENT	NOLAN KITCHENS LTD			
PROJECT	UNIT 80 WESTERN INDUSTRIAL ESTATE PROPOSED EXTENSION			
TITLE	SITE PLAN, SITE LOCATION			
SCALE	1:200	1:2500	JOB NO P 10	DRWG NO 01
DRAWN LL.	CHECKED	DATE NOV 88	REVISION B	

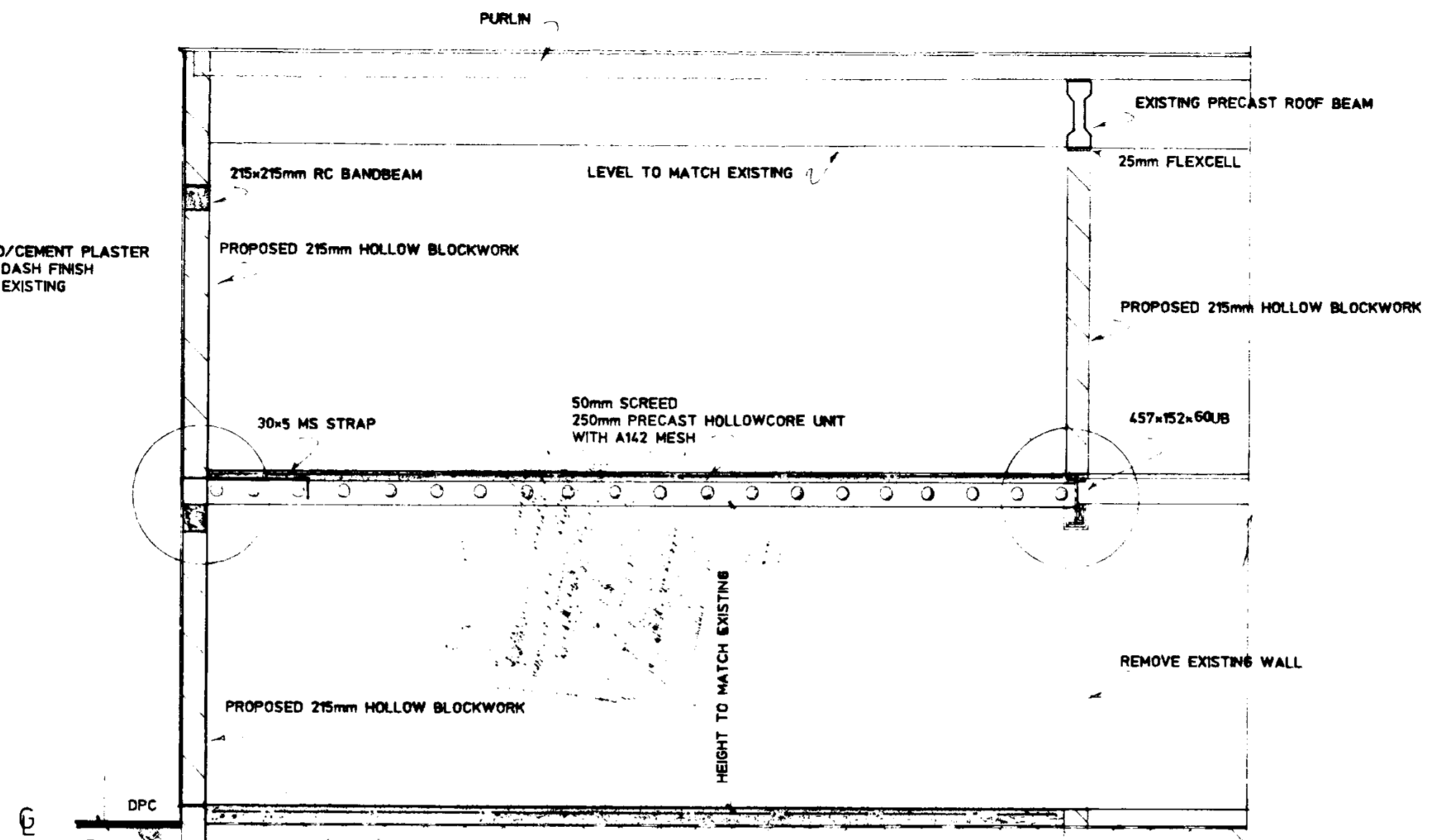


FIRST FLOOR PLAN Scale 1:100

SECTION C - C  
SCALE 1:20



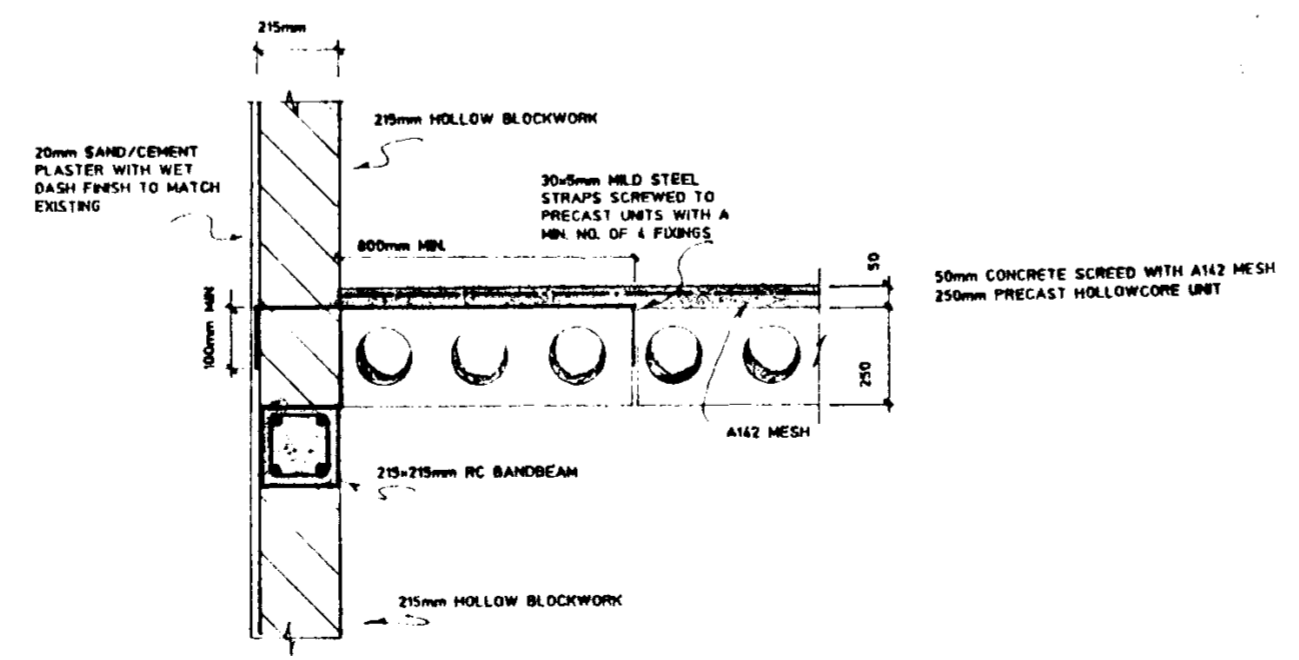
**ROOF CONSTRUCTION**  
 35mm PROFILE METAL OUTER SHEET (0.55mm GAUGE)  
 WITH P.V.C. PLASTISOL COLOURCOAT HP200 FINISH  
 50mm RIGID POLYURETHANE INSULATION BONDED WITH  
 STEEL BACKING TRAY  
 ON 254/282 MULTIBEAM PURLINS AT 1200mm c/c  
 NOTE: ROOF TO HAVE 10% DOUBLE SKIN  
 TRANSLUCENT SHEETING



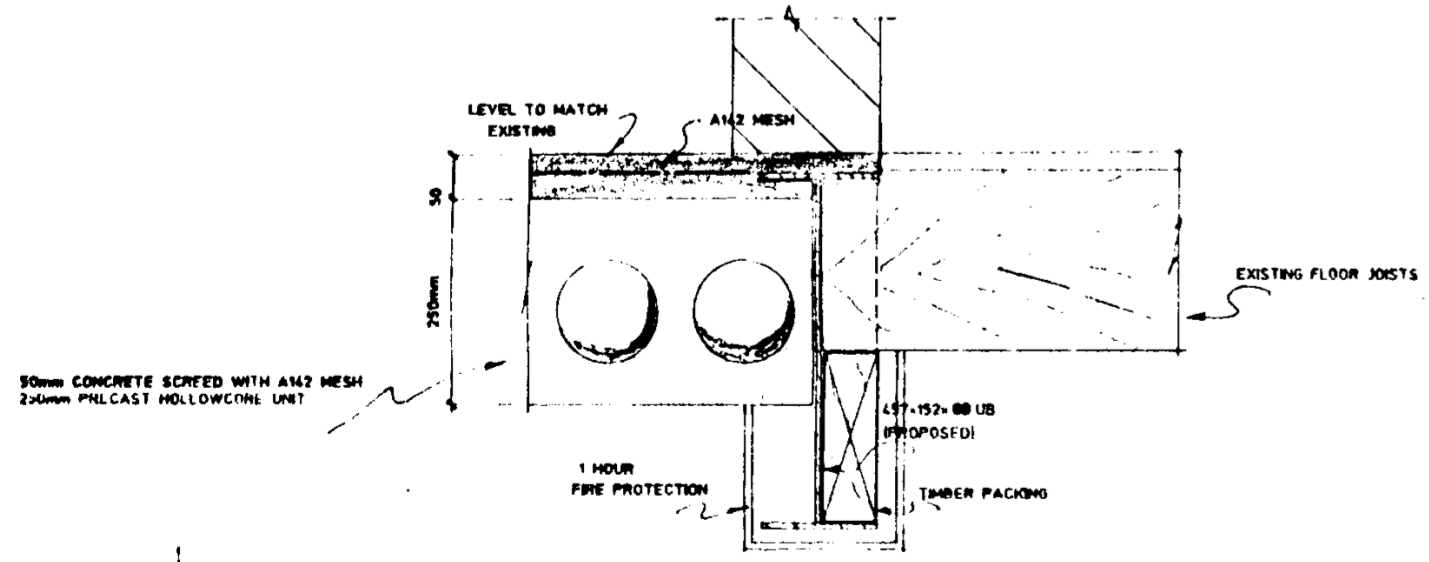
SECTION K - K Scale 1:50

**FLOOR CONSTRUCTION**  
 175mm CONCRETE FLOOR SLAB ON  
 WITH A142 MESH ON  
 100 GAUGE VISQUEEN DPM ON  
 225mm BLINDED & COMPACTED  
 HARDWARE

DUBLIN COUNTY COUNCIL  
 Planning Dept. Authority Section  
 APPLICATION NO. 11/1050  
 06 MAR 1991

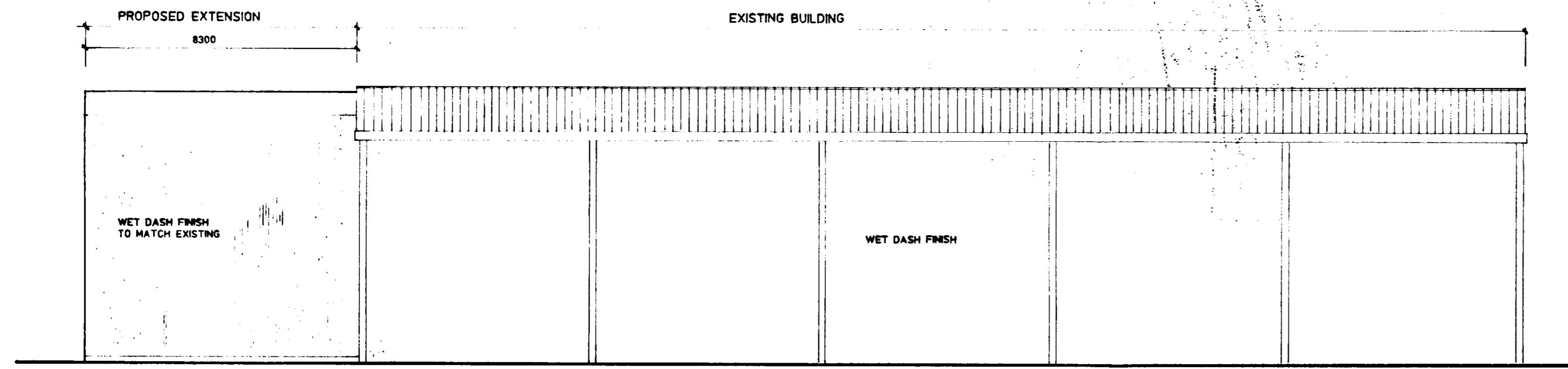


SECTION B - B  
SCALE 1:20

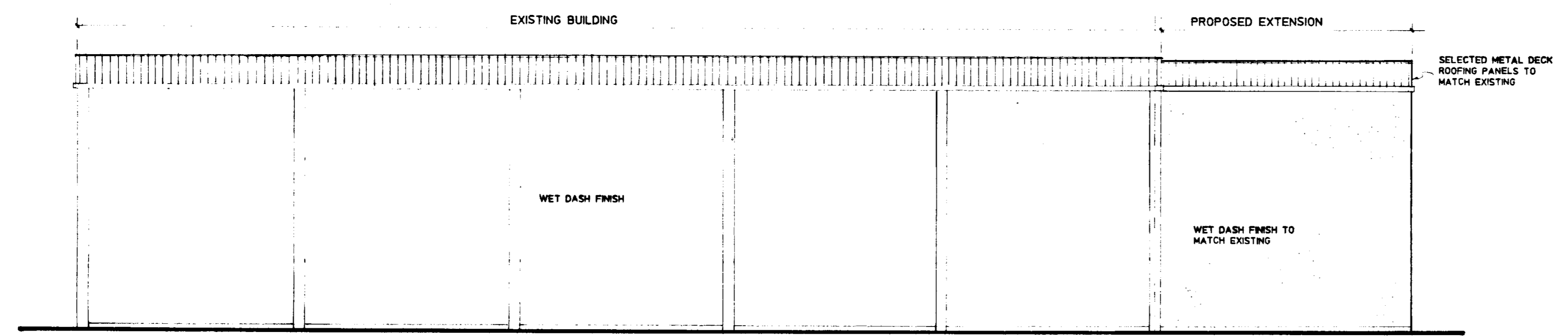


SECTION D - D  
SCALE 1:10

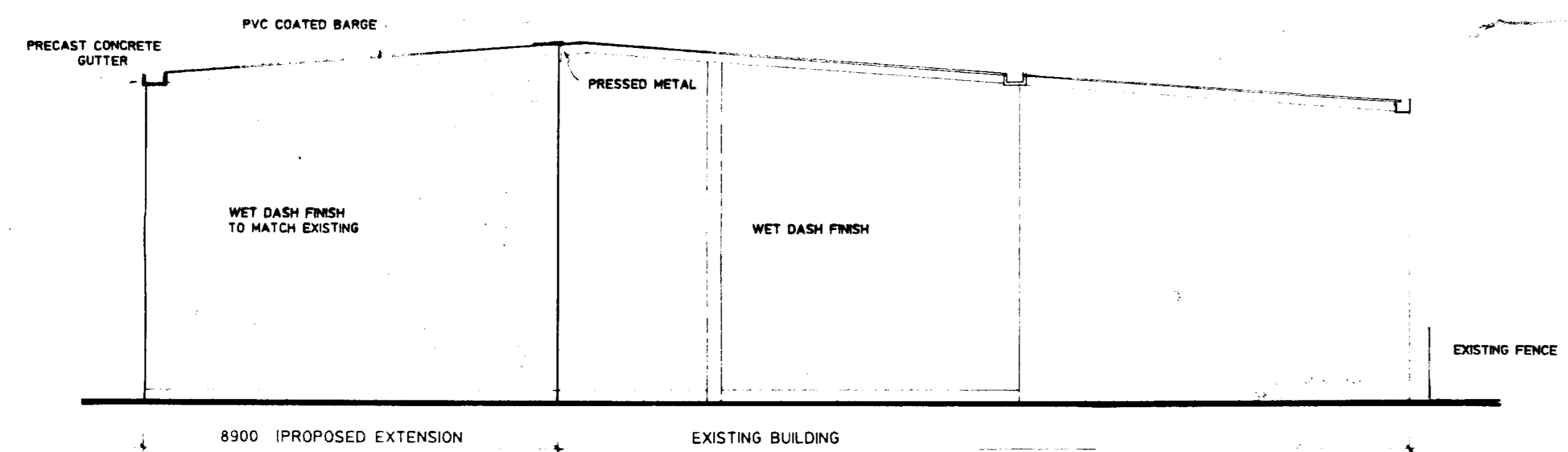
A	FEB 91	PLANNING APPLICATION	S.K.H.	
REV	DATE	AMENDMENT	DRN	CHK
<b>MARK O'REILLY + ASSOCIATES</b> CONSULTING ENGINEERS GREENMOUNT HOUSE HAROLD'S CROSS ROAD DUBLIN 6W TEL 53 45 25 FAX 54 44 78				
CLIENT <b>NOLAN KITCHENS LTD.</b>				
PROJECT <b>UNIT 10,          WESTERN INDUSTRIAL ESTATE,          PROPOSED EXTENSION</b>				
TITLE <b>FIRST FLOOR PLAN, SECTION &amp; DETAILS</b>				
SCALE 1:100, 1:50		DESIGNED P10	CHECKED 03	
DRAWN S.K.H.	CHECKED	DATE FEB '91	DRAWN A	



SOUTH ELEVATION Scale 1 : 100



NORTH ELEVATION Scale 1 : 100



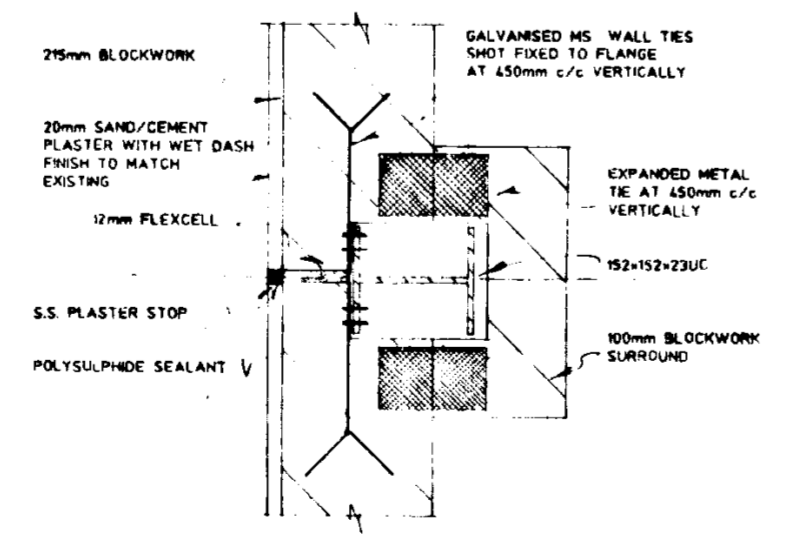
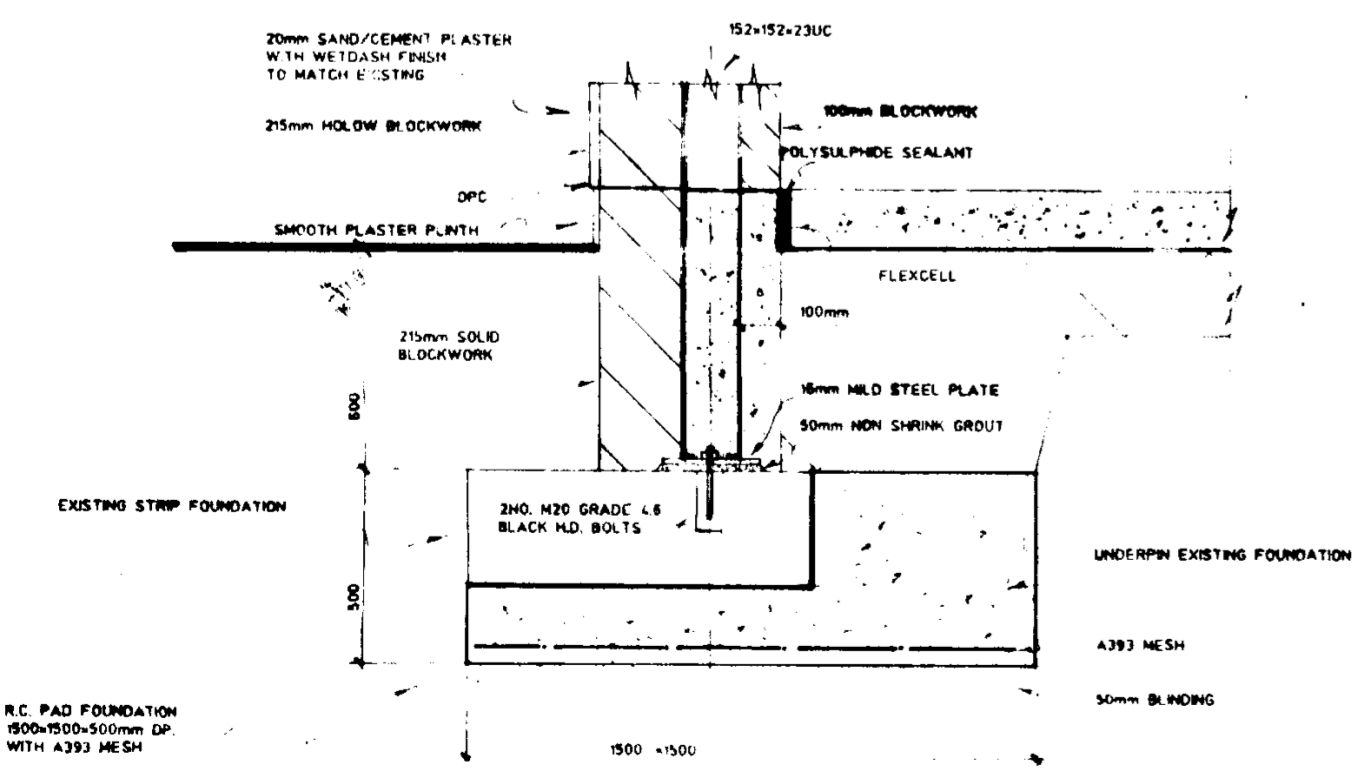
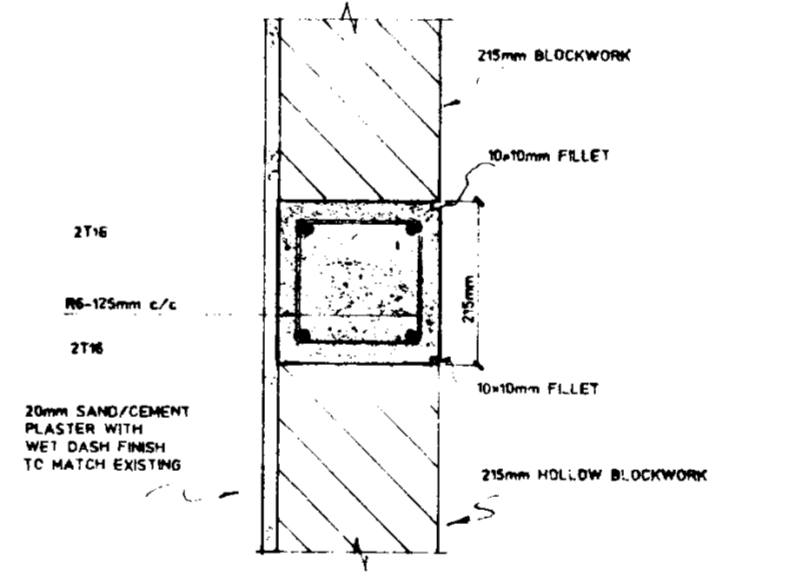
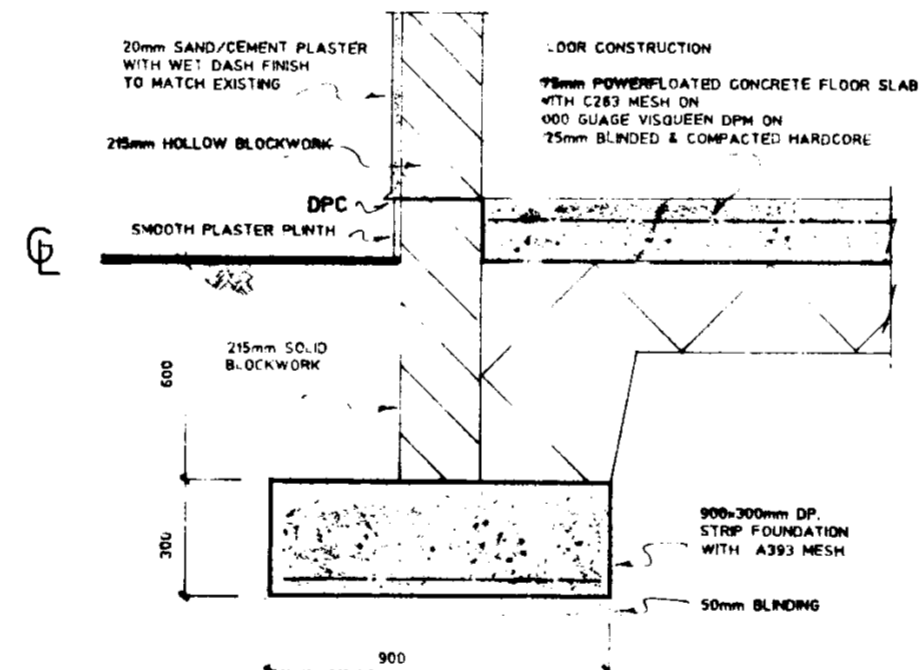
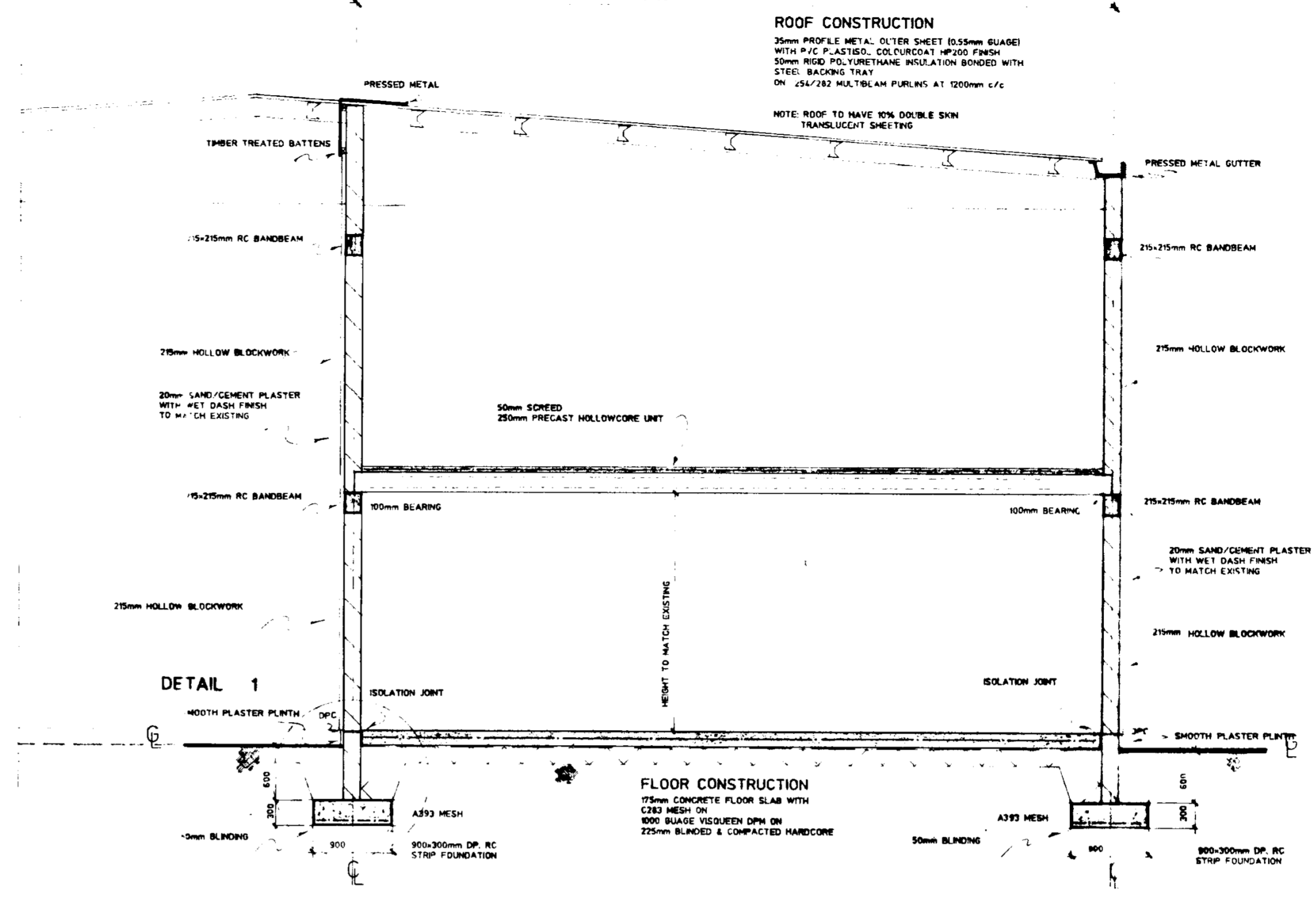
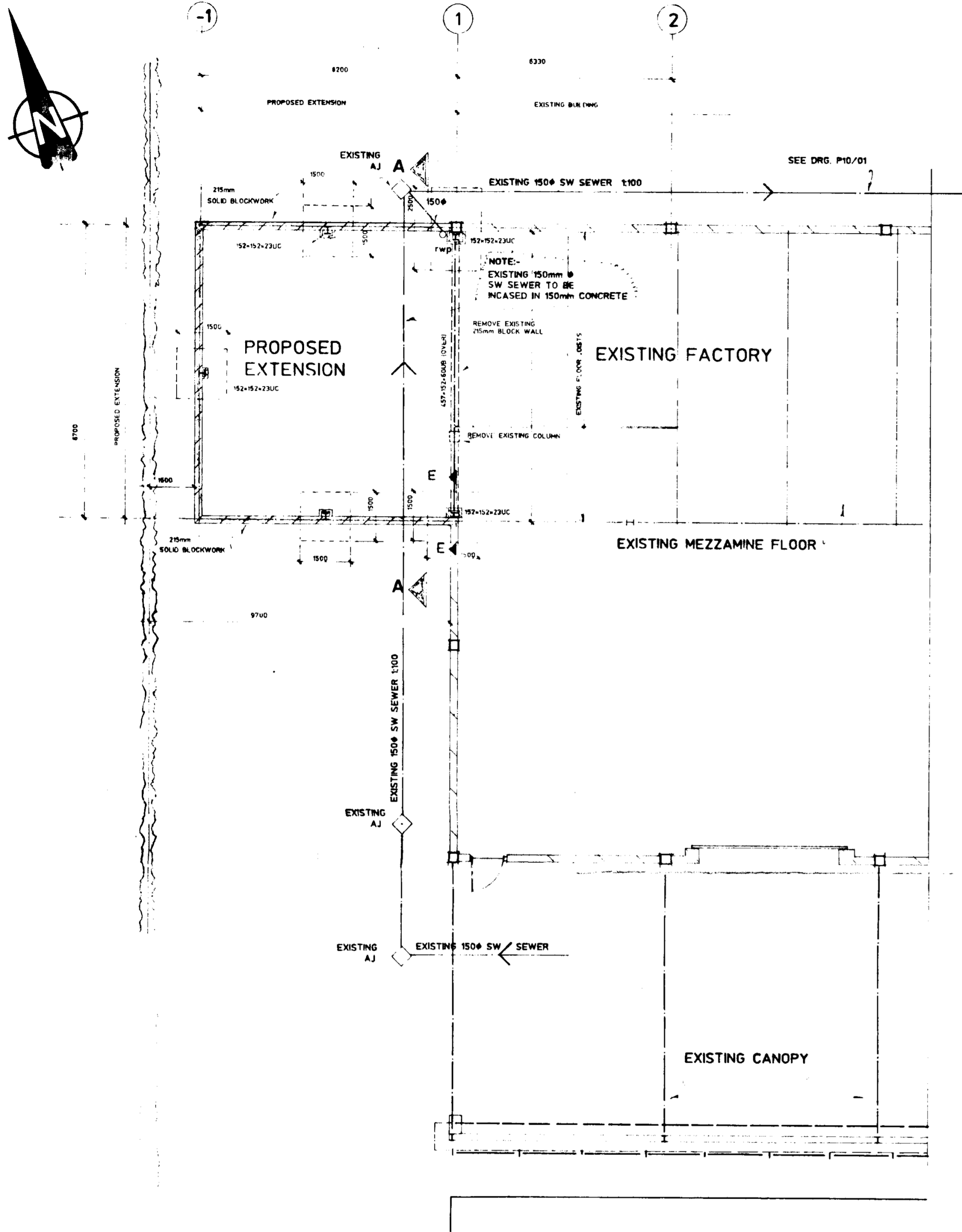
EAST ELEVATION Scale 1 : 100

REV	DATE	AMENDMENT	DRN	CHK
A	FEB 91	PLANNING APPLICATION	S.K.H.	
<b>MARK O'REILLY + ASSOCIATES</b> CONSULTING ENGINEERS GREENMOUNT HOUSE HAROLDS CROSS ROAD DUBLIN 6W TEL 53 45 25 FAX 54 44 78				
CLIENT NOLAN KITCHENS LTD				
PROJECT UNIT 80, WESTERN INDUSTRIAL ESTATE PROPOSED EXTENSION.				
TITLE ELEVATIONS (PROPOSED)				
SCALE 1:100		PROJECT P10	DRAWING A2/ 03	
DRAWN S.K.H.	CHECKED	DATE Jan '91	REVISION A	

DUBLIN COUNTY COUNCIL  
 Planning Dept. 4th Floor, 8-12  
 06 MAR 1991 01:11:05

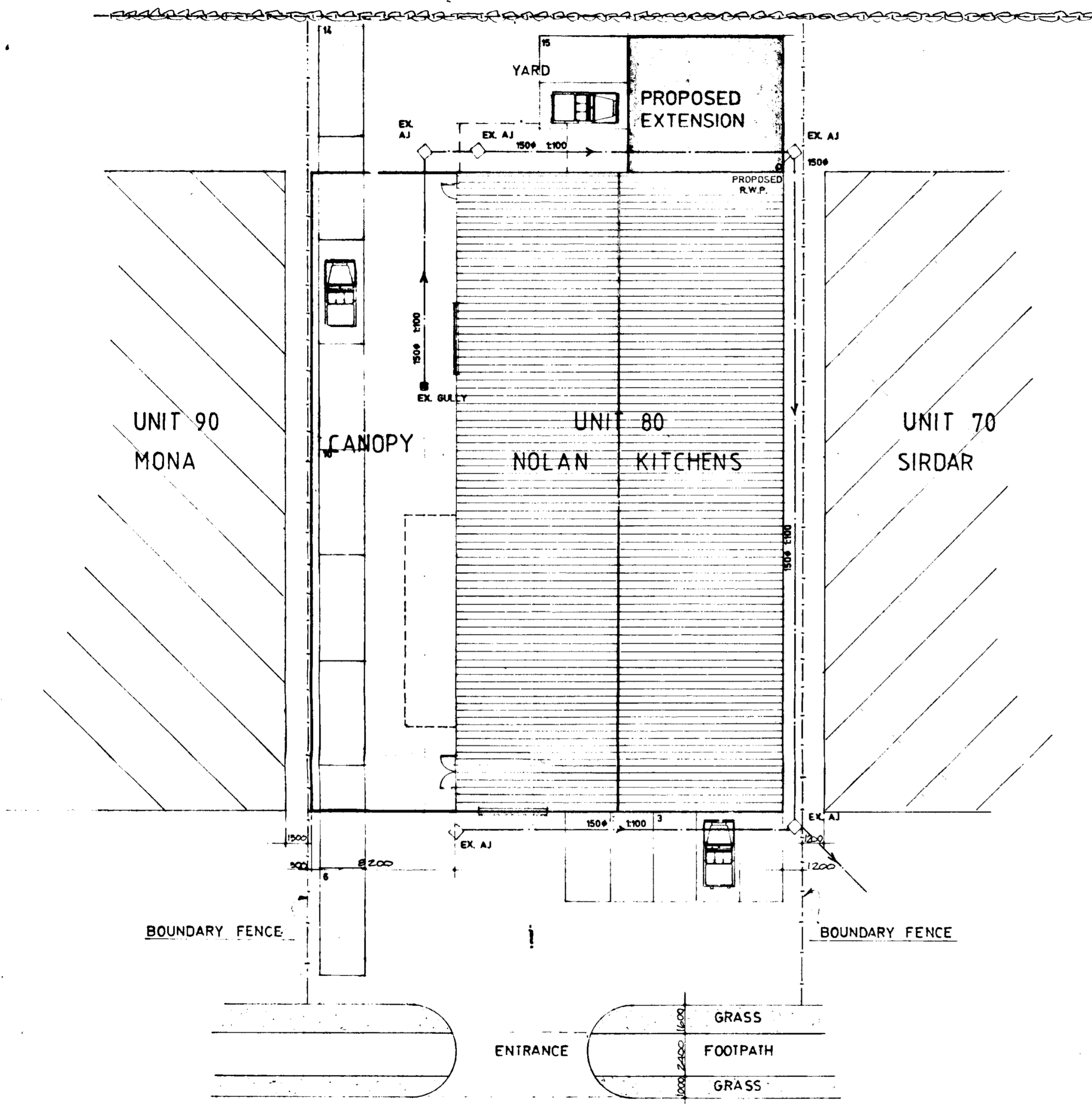


NOTES:-

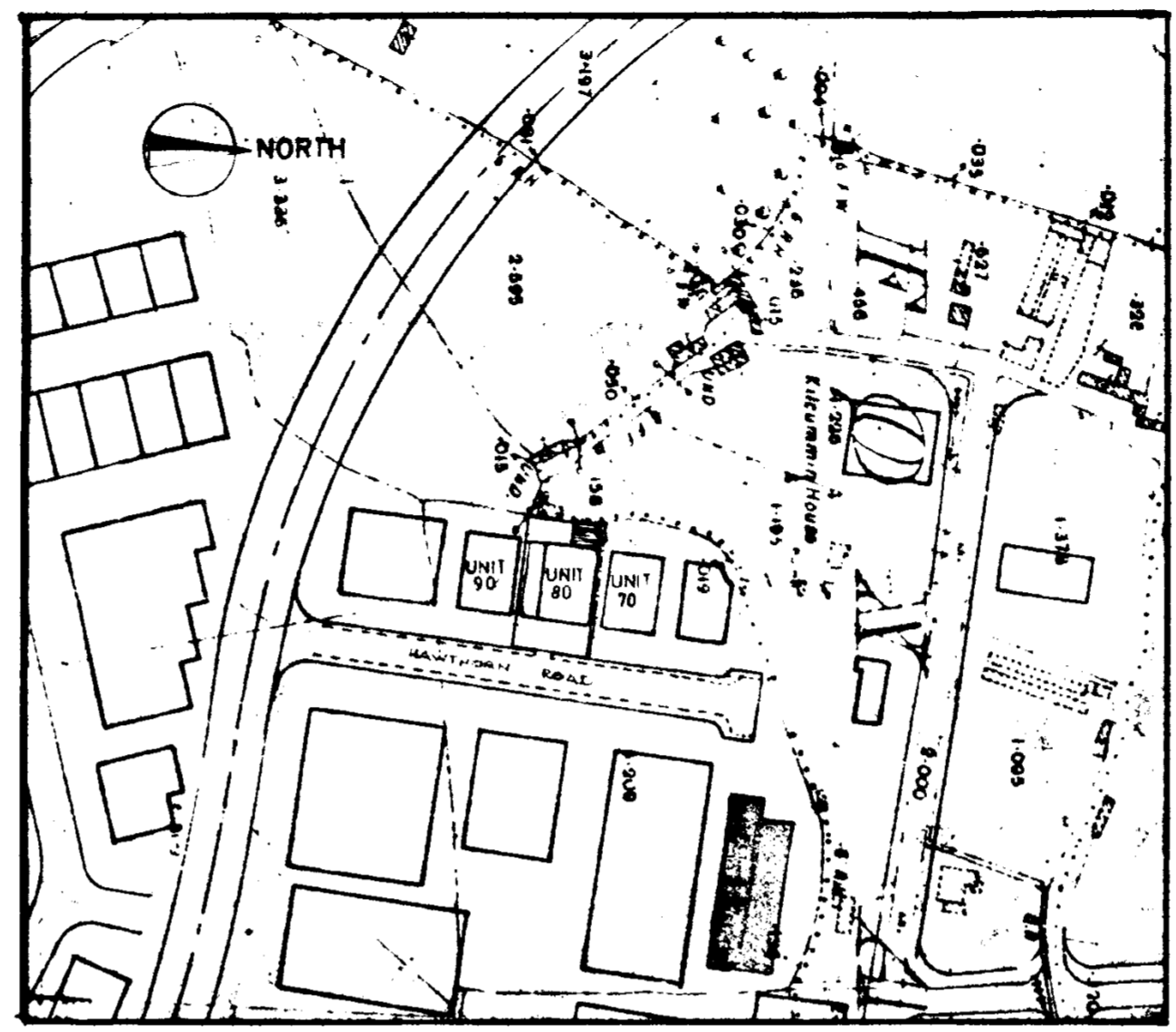


DUBLIN COUNTY COUNCIL  
 06 MAR 1991  
 91A [initials]

REV	DATE	PLANNING APPLICATION	SKH	DRN	CHK
A	FEB 91	PLANNING APPLICATION	SKH		
MARK O'REILLY + ASSOCIATES CONSULTING ENGINEERS GREENMOUNT HOUSE HAROLDS CROSS ROAD DUBLIN 6W. TEL: 53 45 25 FAX: 54 44 78					
CLIENT NOLAN KITCHENS LTD					
PROJECT UNIT 80, WESTERN INDUSTRIAL ESTATE PROPOSED EXTENSION					
TITLE GROUND FLOOR PLAN, SECTION & DETAILS					
SCALE as shown		JOB NO. P 10		DRWG NO. 02	
DRAWN S.K.H.	CHECKED	DATE JAN '91	REVISION	A	



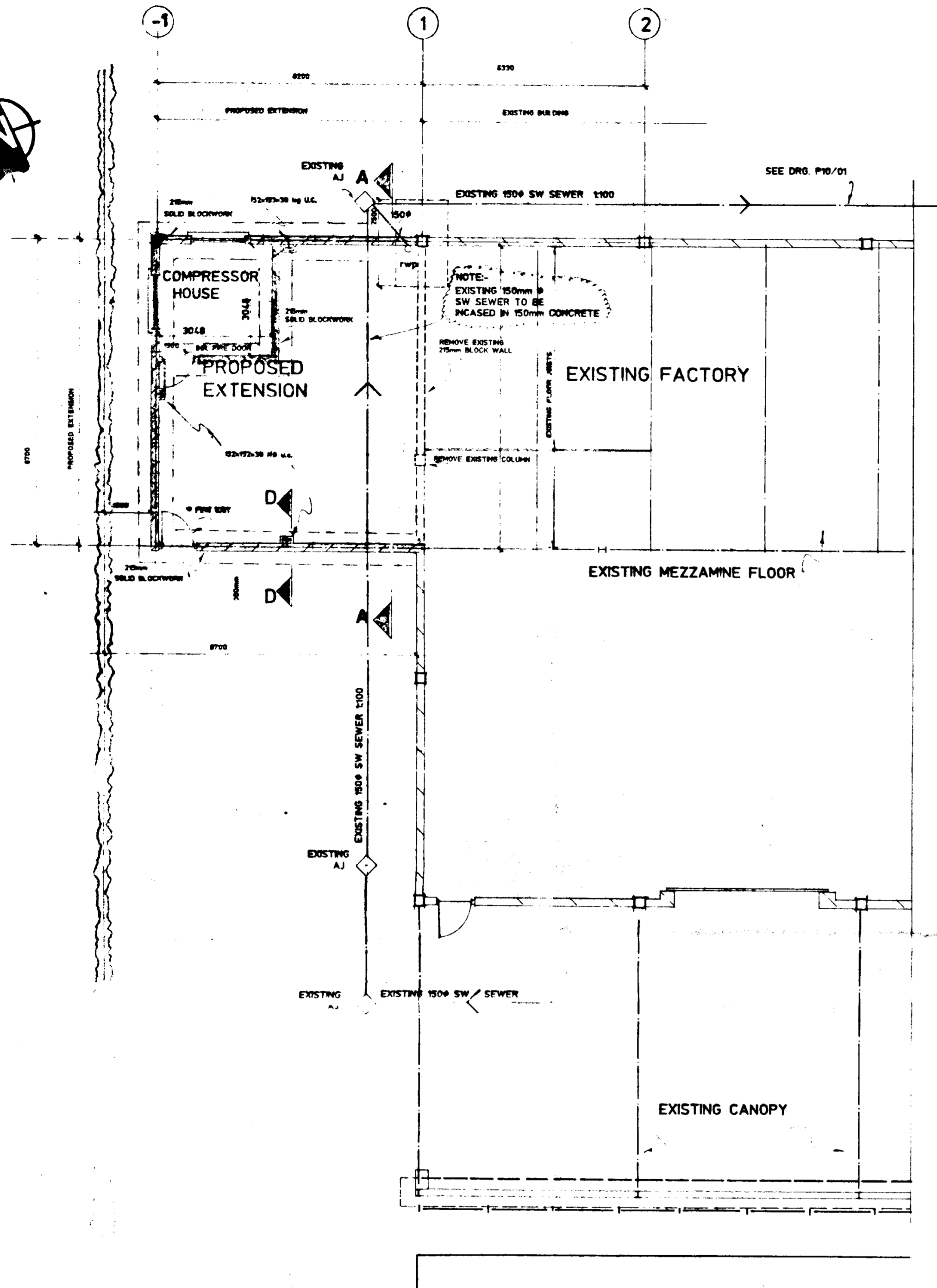
**SITE PLAN** scale 1:200



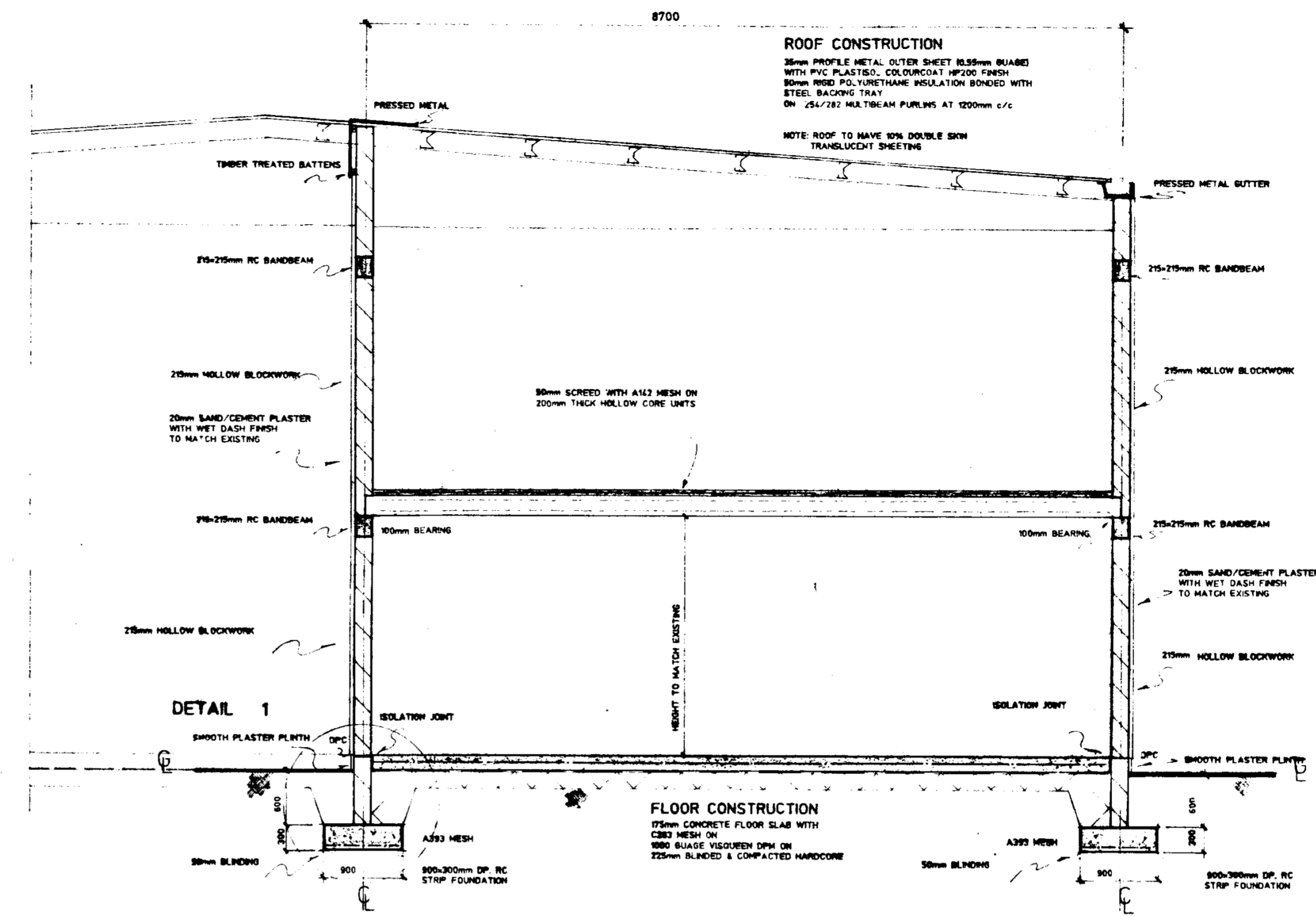
**SITE LOCATION MAP** scale 1:2500

**RECEIVED**  
29 JUL 1991  
9.17.93  
Reg. Sec.

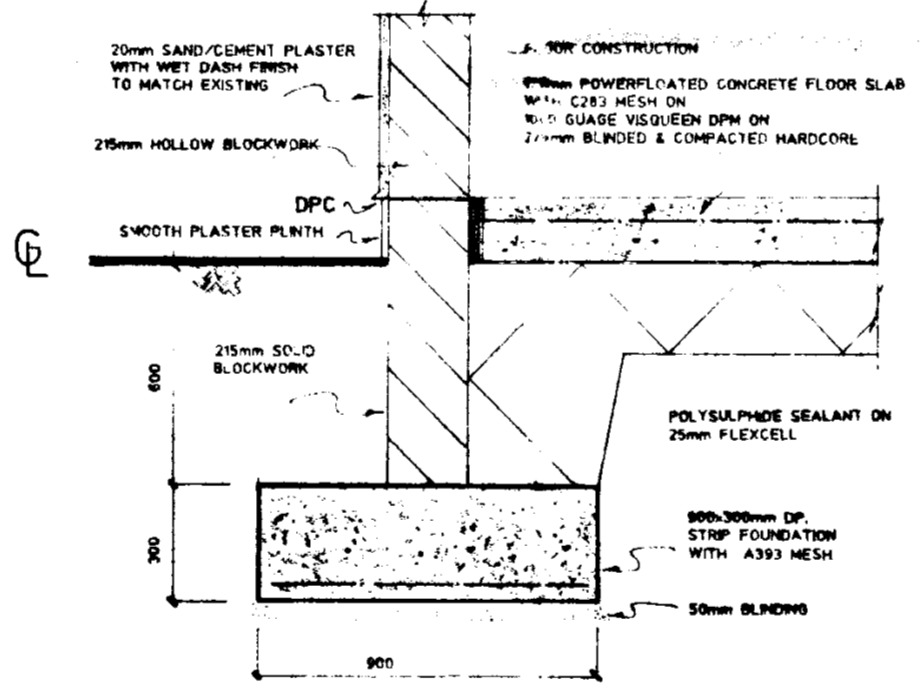
B	FEB 91	PLANNING APPLICATION	S.K.H.	
A	JAN 91	EXTENSION ADDED	S.K.H.	
REV	DATE	AMENDMENT	DRN	CHK
<b>MARK O'REILLY + ASSOCIATES</b> CONSULTING ENGINEERS GREENMOUNT HOUSE HAROLDS CROSS ROAD DUBLIN 6 TEL: 53 45 25 53 44 23				
CLIENT	NOLAN KITCHENS LTD			
PROJECT	UNIT 80 WESTERN INDUSTRIAL ESTATE PROPOSED EXTENSION			
TITLE	SITE PLAN, SITE LOCATION			
SCALE	1:200	1:2500	JOB NO R 10	DRWG NO 01
DRAWN L.L.	CHECKED	DATE NOV 88	REVISION B	



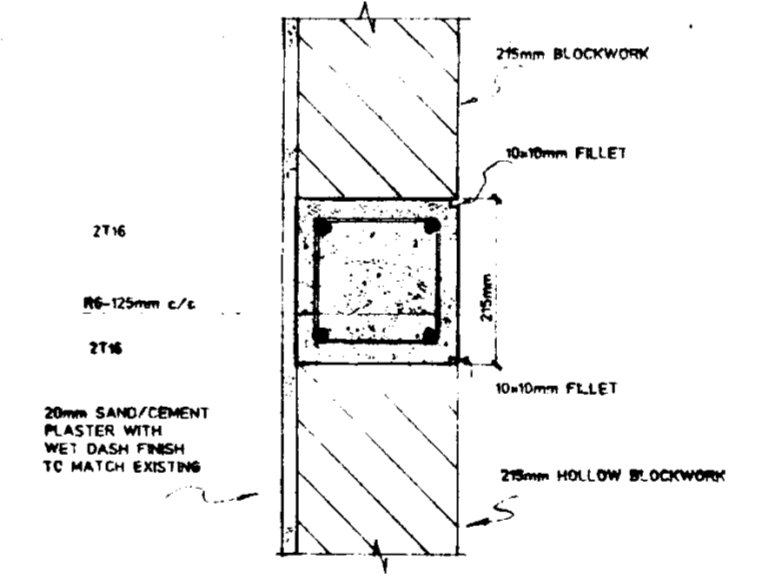
GROUND FLOOR PLAN Scale 1:100



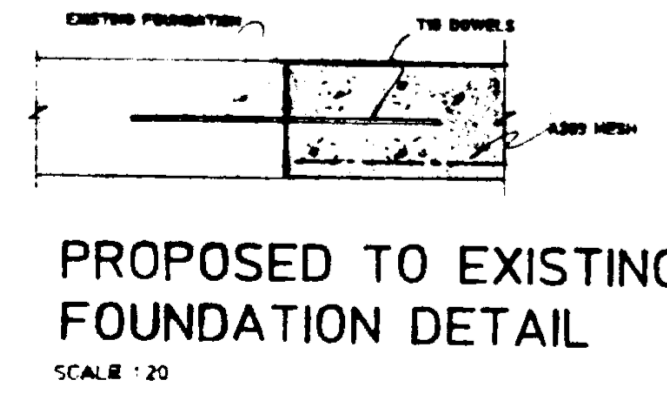
SECTION A - A Scale 1:50



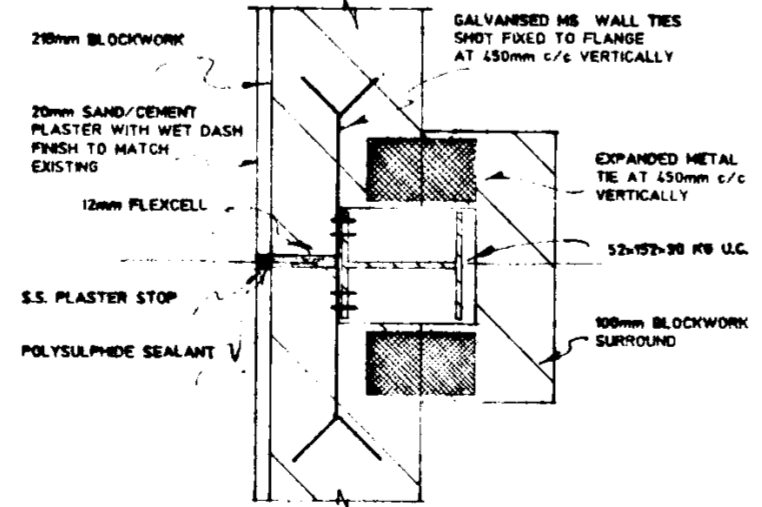
DETAIL 1 Scale 1:20



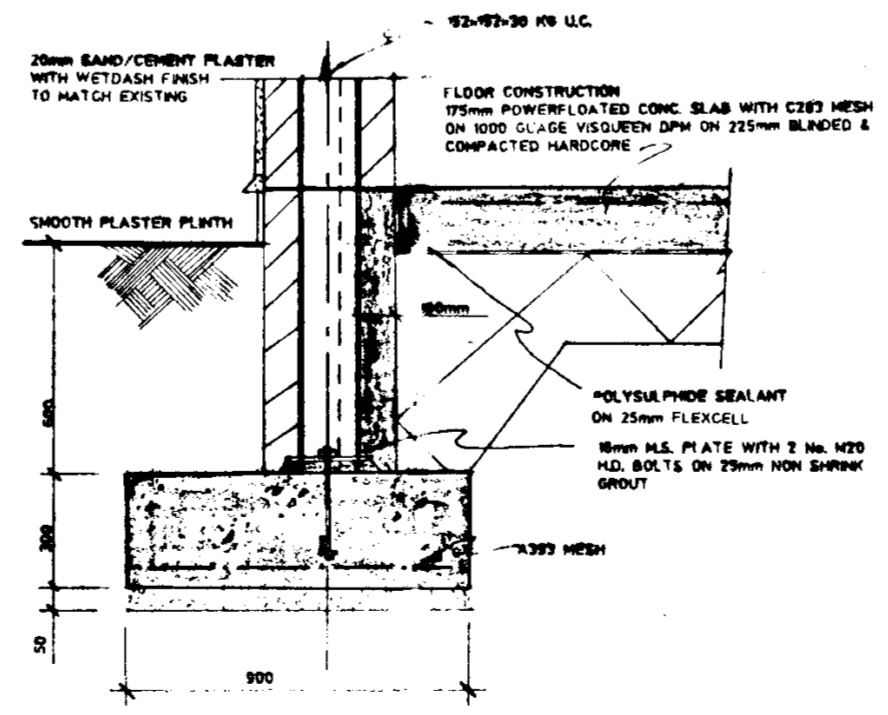
TYPICAL BANDBEAM DETAIL Scale 1:20



PROPOSED TO EXISTING FOUNDATION DETAIL Scale 1:20



TYPICAL COLUMN/BLOCKWORK DETAIL Scale 1:10



SECTION D-D Scale 1:20

- NOTES:-
- THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL ARCHITECTS, ENGINEERS AND SUBCONTRACTORS DRAWINGS.
  - ALL STEELWORK TO BE GRADE 43C TO B.S. 4360.
  - ALL STEELWORK TO BE SHOTBLASED TO S.A. 2 1/2.
  - ALL STEELWORK BELOW GROUND LEVEL TO BE SURROUNDED IN A MINIMUM OF 50mm CONCRETE.
  - ALL STEELWORK IN PERIMETER WALLS TO BE PAINTED WITH ONE COAT OF ISOCYANATE PITCH EPOXY PAINT TOTAL DRY FILM OF THICKNESS 150 MICRONS.
  - ALL EXPOSED STEELWORK TO BE PRIMED WITH H.B. ZINC PHOSPHATE MODIFIED ALKALINE PAINT WITH A MINIMUM THICKNESS OF 75 MICRON. FINISHED WITH A SITE APPLIED TOP COAT OF 60 MICRON HIGH BUILD ALKALINE PAINT SYSTEM, COLOUR TO LATER SPECIFICATION.
  - ALL BOLTS TO STRUCTURAL STEEL SHALL BE GRADE 8.8 BOLTS, BOLTS TO COLD ROLLED SECTION SHALL BE GRADE 4.6.
  - ALL WELDS TO BE 8mm FILLET WELDS UNLESS NOTED OTHERWISE.
  - ALL MASONRY UNITS TO BE IN ACCORDANCE WITH I.S. 20.
  - MASONRY TO BE ERRECTED STRICTLY IN ACCORDANCE WITH I.S. 325.
  - ALL STRUCTURAL CONCRETE TO BE GRADE C35 TO B.S. 8110.
  - ALL BLINDING CONCRETE TO BE GRADE C20 TO B.S. 8110, MINIMUM THICKNESS 50mm.
  - REINFORCING BARS TO BE HIGH YIELD TYPE 2 DEFORMED BARS TO B.S. 4449 OR PLAIN ROUND MILD STEEL BARS TO B.S. 4449.
  - REINFORCING MESH TO BE HIGH YIELD REINFORCING FABRIC TO B.S. 4483.
  - COVER TO REINFORCING BARS TO BE 50mm BELOW GROUND LEVEL 25mm ELSEWHERE.
  - WALL TIES TO BE GALVANISED MILD STEEL VERTICAL TWIST WITH SPLIT END TIES.
  - PRECAST CONCRETE SHALL BE MANUFACTURED AND ERRECTED STRICTLY IN ACCORDANCE WITH B.S. 8110.

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Reg. Sec.

B	25/9/91	Building Bye-Law Amendments	JSD
A	FEB 91	PLANNING APPLICATION	S.K.H.
REV	DATE	AMENDMENT	DRN CHK

MARK O'REILLY + ASSOCIATES  
CONSULTING ENGINEERS  
GREENMOUNT HOUSE  
HAROLDS CROSS ROAD  
DUBLIN 6W. TEL: 53 45 25  
FAX: 54 44 78

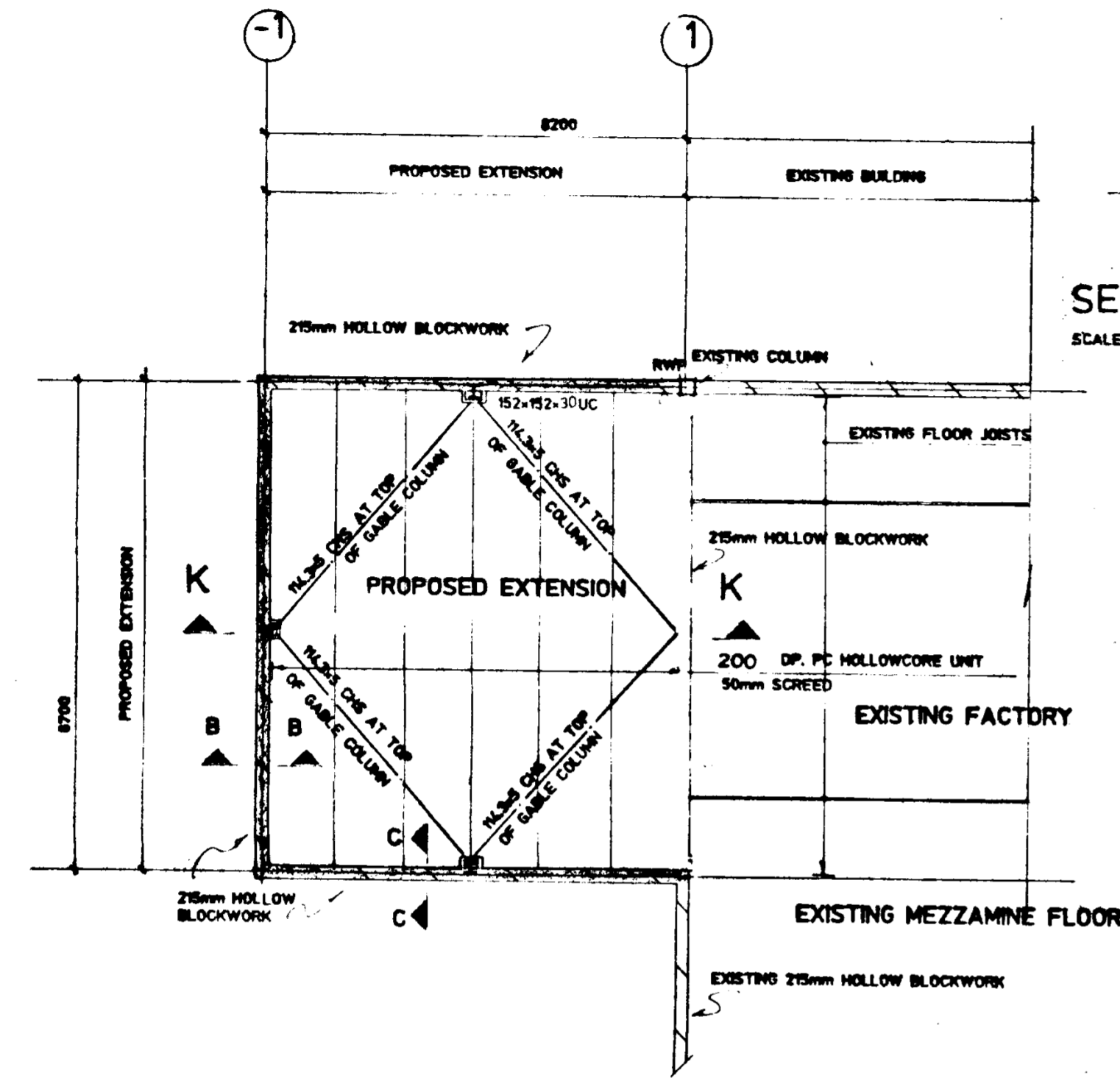
CLIENT NOLAN KITCHENS LTD

PROJECT UNIT 80, WESTERN INDUSTRIAL ESTATE PROPOSED EXTENSION

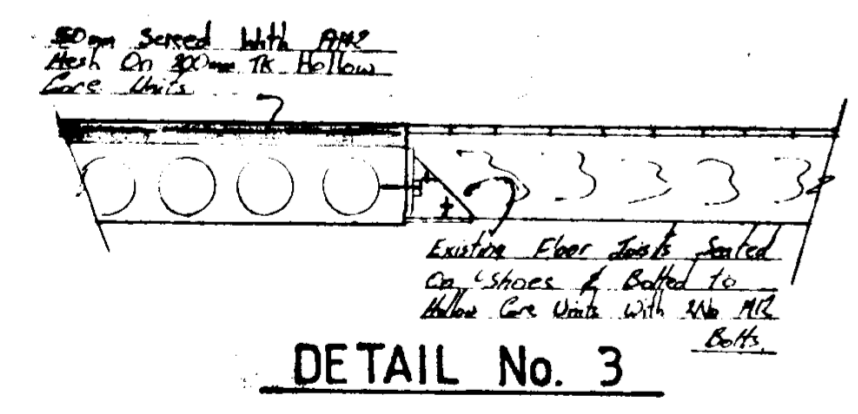
TITLE GROUND FLOOR PLAN, SECTION & DETAILS

SCALE	as shown	JOB NO.	RR 10	DRWG NO.	02
DRAWN	S.K.H.	CHECKED	DATE	REVISION	B
			JAN '91		

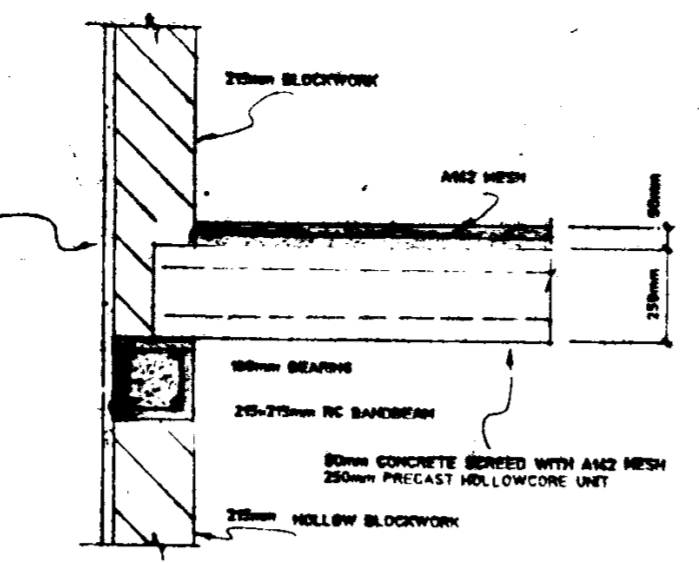
Notes Refer to Dwg 02



FIRST FLOOR PLAN Scale 1:100



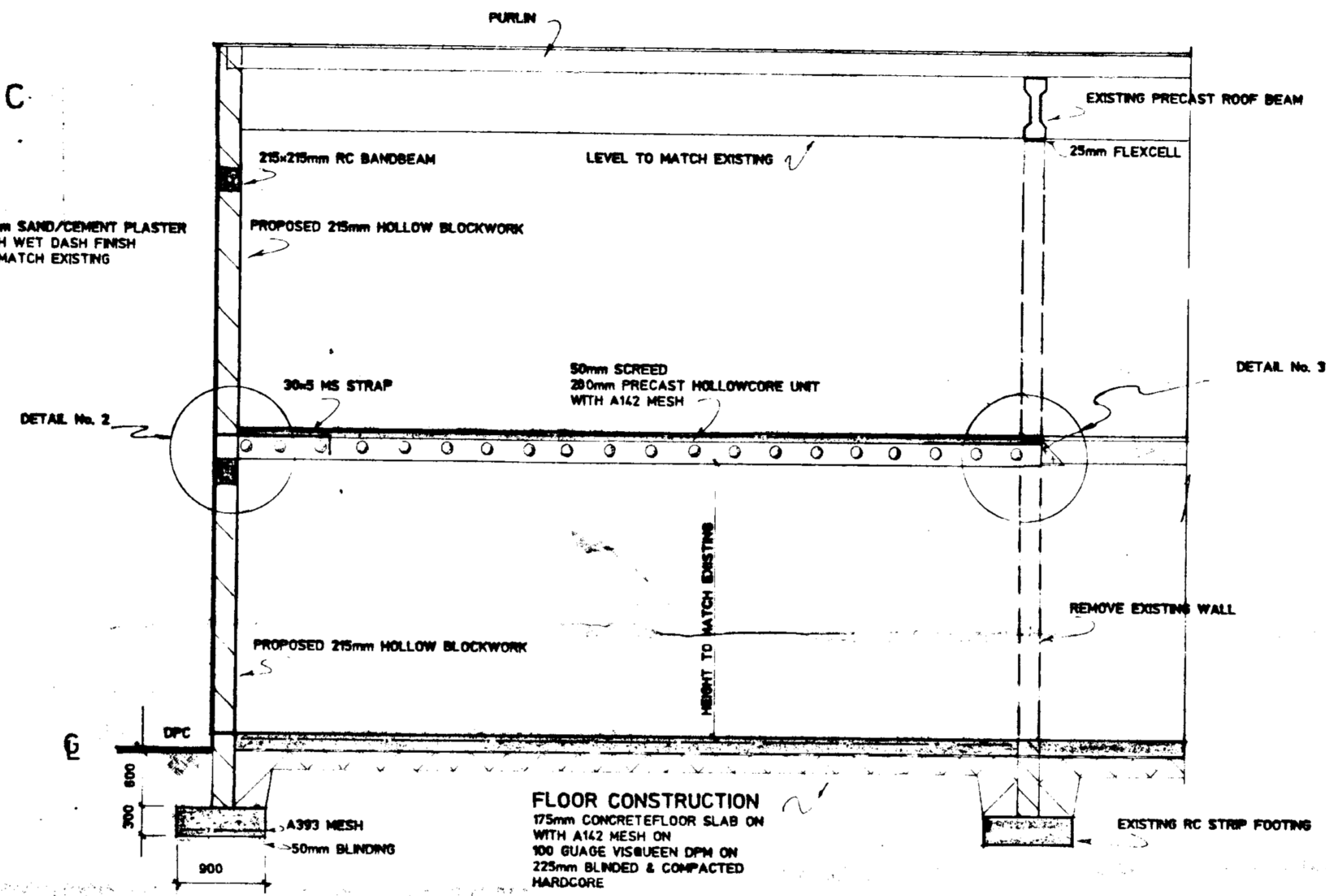
DETAIL No. 3



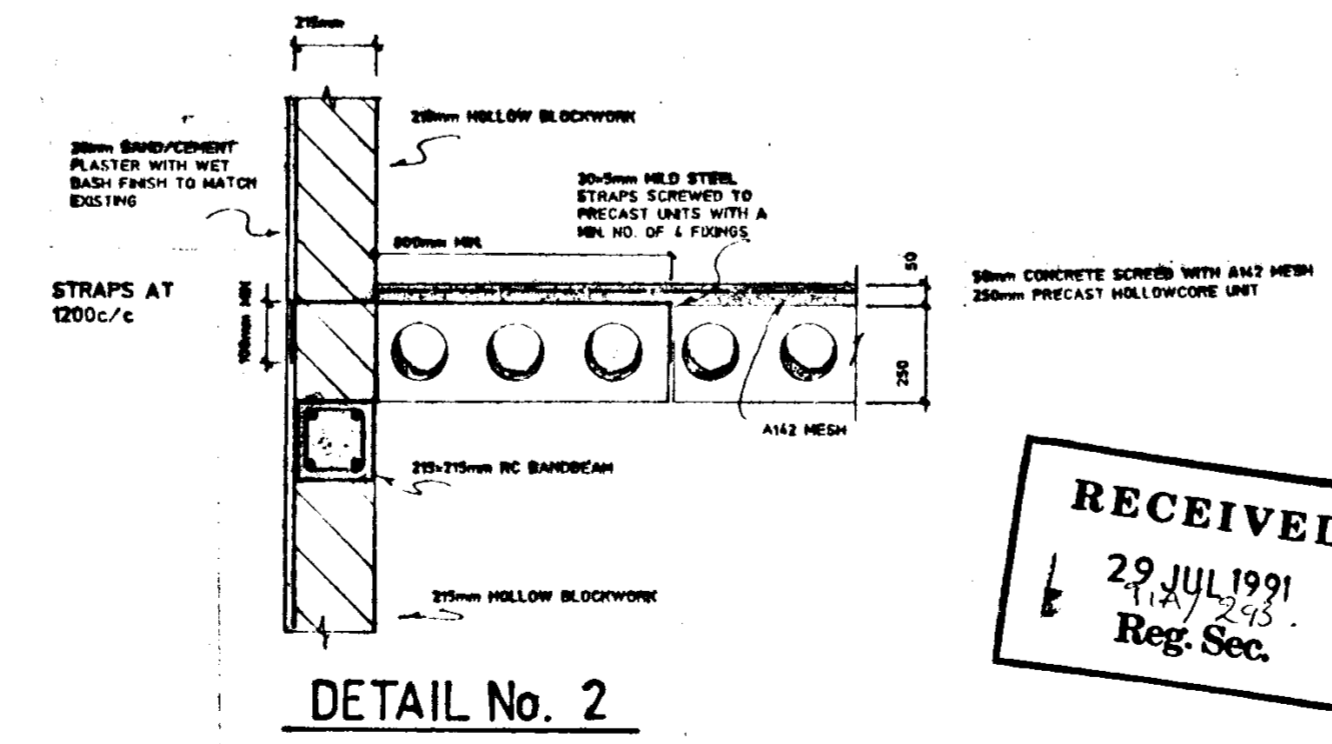
SECTION C - C Scale 1:20

**ROOF CONSTRUCTION**  
 35mm PROFILE METAL OUTER SHEET (0.95mm GAUGE) WITH P.V.C. PLASTISOL COLOURCOAT HP200 FINISH  
 50mm RIGID POLYURETHANE INSULATION BONDED WITH STEEL BACKING TRAY  
 ON 254/282 MULTIBEAM PURLINS AT 1200mm c/c  
 NOTE: ROOF TO HAVE 10% DOUBLE SKIN TRANSLUCENT SHEETING

20mm SAND/CEMENT PLASTER WITH WET DASH FINISH TO MATCH EXISTING



SECTION K - K Scale 1:50



DETAIL No. 2

SCALE 1:20

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 112/243  
 Reg. Sec.

B	25/9/91	Building Bye-Law Amendments	JSD
A	FEB 91	PLANNING APPLICATION	S.K.H.
REV	DATE	AMENDMENT	DRN CHK

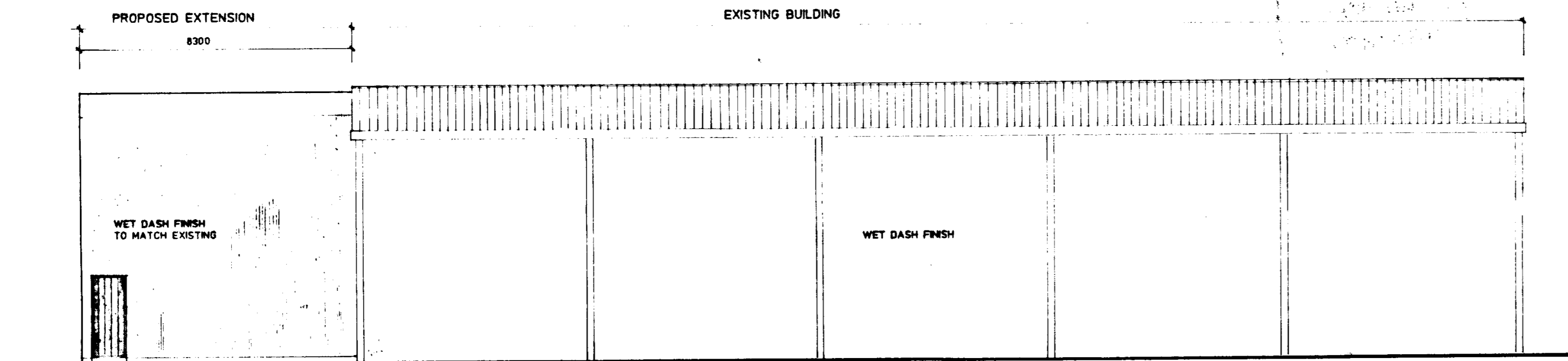
MARK O'REILLY + ASSOCIATES  
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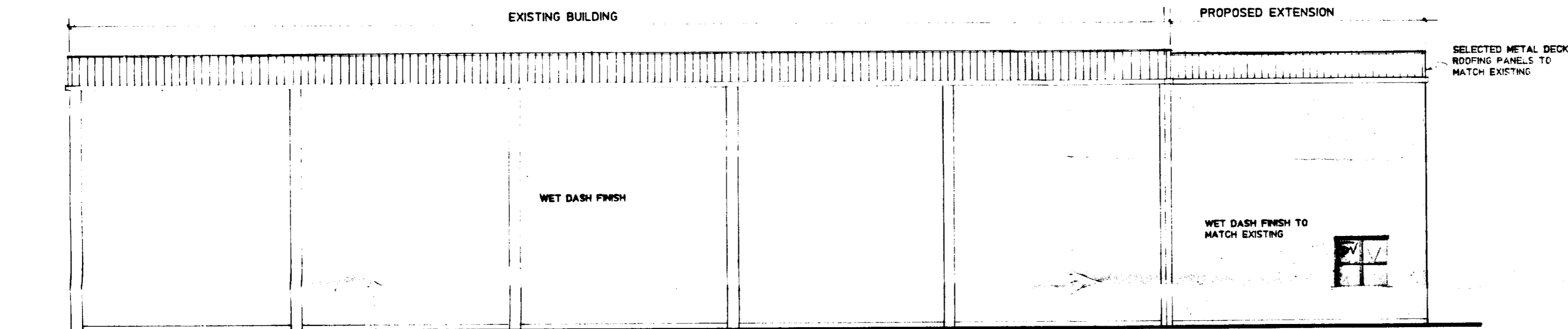
PROJECT  
 UNIT 10,  
 WESTERN INDUSTRIAL ESTATE,  
 PROPOSED EXTENSION

TITLE  
 FIRST FLOOR PLAN, SECTION & DETAILS

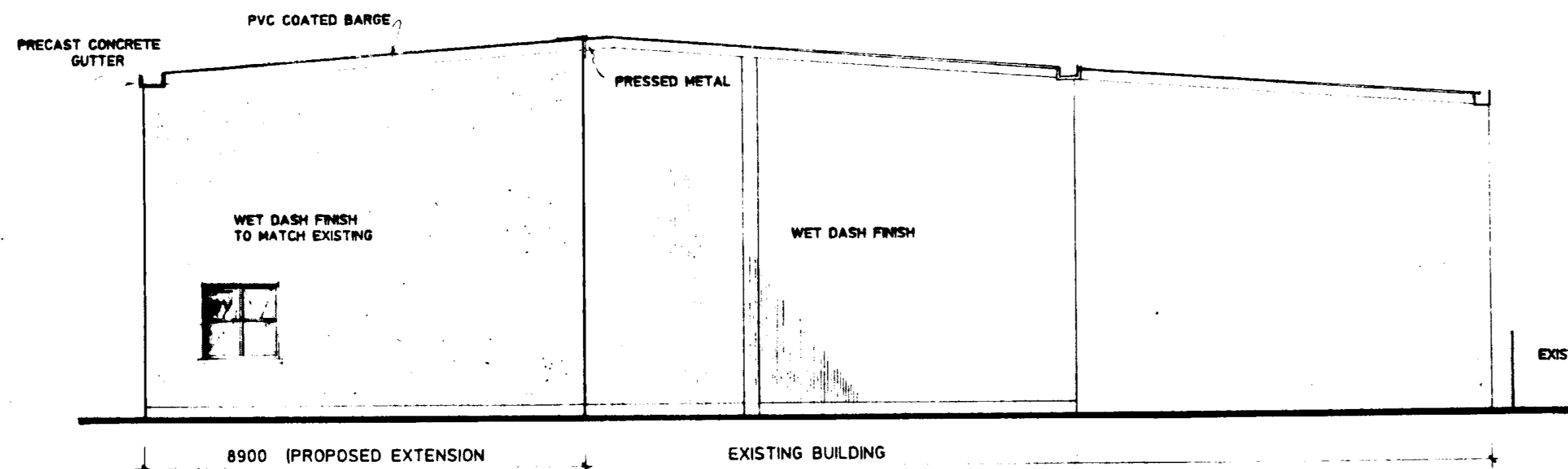
SCALE	DATE	DRWING NO.
1:100, 1:50	R10	03
DRAWN	CHECKED	DATE
S.K.H.		FEB '91
		REVISION
		B



SOUTH ELEVATION Scale 1 : 100



NORTH ELEVATION Scale 1 : 100



EAST ELEVATION Scale 1 : 100

pv : PERMAVENT

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Reg. Sec.

REV	DATE	AMENDMENT	DRN	CHK
A	FEB 91	PLANNING APPLICATION	S.K.H.	
<b>MARK O'REILLY + ASSOCIATES</b> CONSULTING ENGINEERS GREENMOUNT HOUSE HAROLDS CROSS ROAD DUBLIN 6W TEL 53 45 25 FAX 54 44 75				
CLIENT	NOLAN KITCHENS LTD			
PROJECT	UNIT 80, WESTERN INDUSTRIAL ESTATE PROPOSED EXTENSION.			
TITLE	ELEVATIONS (PROPOSED)			
SCALE	1:100	R10	AZ/ 04	
DRAWN	CHECKED	DATE	BY	APP'D
S.K.H.		Jan '91		A