

REF. NO.: 91A/0275

CERTIFICATE NO.: 14191

PROPOSAL: 62 houses

LOCATION: 181-194, 23-34 & 87-102, 61-80 Alcewood Drive

APPLICANT: Volland Homes Ltd Abundant

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	<u>£ 3410</u>	<u>£ 3410</u>	—		
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M <sup>2</sup> or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M <sup>2</sup> in excess of 300 M <sup>2</sup> Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: 510 Date: 8/3/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

91A/0275

CERTIFICATE NO: 24445

62 hours

PROPOSAL: 161-194-23-34 & 87-102, 61-80 Cherrywood Drive London  
APPLICANT: Kellomed Homes Ltd

1	2	3	4	5	6	7
Dwellings/Area Length/Struct	RATE	AMT. OF FEE REQ.	AMOUNT LODGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO
Dwellings	£232	2/1984	2/1984	—		
	£216					
	£500 per hect. in excess of 3000m <sup>2</sup> Min. £400					
retreat	£21.75 per hect. of 800					
x .1 hect.	£2.175 per hect. 1800 00 1800 00 1800 00					
x .1 hect.	£2.175 per hect. 1800 00 1800 00 1800 00					
x .1 hect.	£2.175 per hect. 1800 00 1800 00 1800 00					
	£2100					
x retreat	£21.75 per hect. 1800 00 1800 00 1800 00					
x 2000m <sup>2</sup>	£435 per hect. 1800 00 1800 00 1800 00					
x .1 hect.	£2.175 per hect. 1800 00 1800 00 1800 00					

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Columns 2,3,4,5,6 & 7 Certified Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

DUBLIN COUNTY COUNCIL

PLANNING DEPARTMENT

Register Reference : 91A/0275

Date Received : 4th March 1991

Applicant : Kelland Homes Limited,

Appl.Type : PERMISSION/BU

Development : Houses

LOCATION : Sites 181-194, 23-34, 87-102, 61-80 Cherrywood Drive  
Nangor Road Clondalkin.

O.S.REFS.

21/3	17/15		
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AREA REFERENCE

L	C	0	7	0	4
---	---	---	---	---	---

HISTORY

88A/617	90A/1077	91A/98		

FEES CERTIFICATE NO. \_\_\_\_\_

FEE CLASS

--	--	--	--

MEASUREMENT  
FOR FEES

--	--	--	--

SIGNED .....

DATE .....

SENIOR EXECUTIVE DRAUGHTSMAN

FEE PAID

FEE ASSESSED

BALANCE DUE

--

--

--

CERTIFIED \_\_\_\_\_

GRADE \_\_\_\_\_

DATE \_\_\_\_\_

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: ~~8~~ 91A - 275

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE: 10.75 A ~~acres~~

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

*M. Beatty*  
3-5-91

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ L  
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

STD:  $10.75 \times 6000 = 264,500$

ROADS:  $21,120$  per house

DEVELOPMENT CONTROL ASSISTANT GRADE

*Ben E. Cunningham, A.O.*

*[Signature]* 3/5/91

*[Signature]* 3/5/91

212  
**COMHAIRLE CHONTAE ÁTHA CLIATH**

**Record of Executive Business and Manager's Orders**

PL 6/5/85847

7/10/92

€3260

FINANCIAL CONTRIBUTION	
AMOUNT €	
F	64500
	45000
	19500

Notes: 80000  
10000

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/275

3260  
Sentry 27,000  
Carl: 110,000

APPEAL by Kelland Homes Limited of Monastery Road, Clondalkin, County Dublin against the decision made on the 3rd day of May, 1991 by the Council of the County of Dublin to grant subject to conditions a permission for a housing development on sites 181-194, 23-34, 87-102, 61-80 Cherrywood Drive, Nangor Road, Clondalkin, County Dublin in accordance with plans and particulars lodged with the said Council:

WHEREAS the said appeal relates only to conditions numbers 4, 15 and 19 subject to which the decision was made:

AND WHEREAS the Board is satisfied, having regard to the nature of the said conditions, that the determination by the Board of the relevant application as if it had been made to it in the first instance would not be warranted:

NOW THEREFORE An Bord Pleanála, in exercise of the powers conferred on it by subsection (1) of section 19 of the Local Government (Planning and Development) Act, 1983, hereby directs the said Council to amend the said conditions numbers 4, 15 and 19, so that they shall be as follows for the reasons set out:

4. The developer shall pay €6,000 (six thousand pounds) per acre to Dublin County Council as a contribution towards expenditure incurred by the Council in the provision of public services which facilitate the proposed development. This calculation shall be made on the basis of the gross area for development. The arrangements for payment of the contribution shall be as agreed upon between the developer and the Council or, in default of agreement, shall be determined by An Bord Pleanála.

Reason: It is considered reasonable that the developer should contribute towards expenditure incurred by the Council in the provision of public services that facilitate the proposed development.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

-2-

PL 6/5/85847

15. The developer shall pay £300 (three hundred pounds) per house to Dublin County Council as a contribution towards the expenditure that is proposed to be incurred by the Council in respect of open space development facilitating the proposed development. The arrangements for payment of the contribution shall be as agreed upon between the developer and the Council or, in default of agreement, shall be determined by An Bord Pleanála. The requirement to pay this contribution is subject to the stipulations set out in sub-paragraphs (i), (ii) and (iii) of Section 26 (2)(h) of the Local Government (Planning and Development) Act, 1963 and for the purposes of the said sub-paragraphs (i) and (ii) the specified period shall be the period of 7 years from the date of this order.

Reason: It is considered reasonable that the developer should contribute towards the expenditure proposed to be incurred by the Council in respect of open space development facilitating the proposed development.

19. The developer shall pay £800 (eight hundred pounds) per house to Dublin County Council as a contribution towards the expenditure that is proposed to be incurred by the Council in the provision of a public road network in the area facilitating the proposed development. The arrangements for payment of the contribution shall be as agreed upon between the developer and the Council or, in default of agreement, shall be determined by An Bord Pleanála. The requirement to pay this contribution is subject to the stipulations set out in sub-paragraphs (i), (ii) and (iii) of Section 26 (2)(h) of the Local Government (Planning and Development) Act, 1963 and for the purposes of the said sub-paragraphs (i) and (ii) the specified period shall be the period of 7 years from the date of this order.

Reason: It is considered reasonable that the developer should contribute towards the expenditure proposed to be incurred by the Council in the provision of a public road network in the area facilitating the proposed development.

T. D. *Suffly*

Member of An Bord Pleanála duly  
authorised to authenticate the  
seal of the Board.

Dated this 31<sup>st</sup> day of *December* 1991.

**COMHAIRLE CHONTAE ÁTHA CLIATH**  
**Record of Executive Business and Manager's Orders**

PL 6/5/85847

- 3 -

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

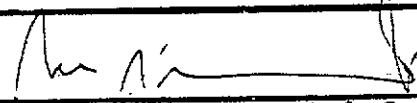
County Dublin

Planning Register Reference Number: - 91A/275

With regard to condition no. 4 the financial contribution towards the provision of water supplies and sewerage facilities is assessed at £64,500.

~~With regard to condition no. 15 the contribution towards the provision of open space is assessed at £300. per house.~~

~~With regard to condition no. 19 the contribution towards the provision of road improvement works in the area of the proposed development is assessed at £800. per house.~~

Order Noted: L.D.	
Dated: 1 <sup>st</sup> FEB 92. MARCH	ASST. COUNTY MANAGER
to whom the appropriate powers have been delegated by order of the Dublin City and County Manager.	
Dated 10 <sup>TH</sup> day of	FEBRUARY 92. DECEMBER 1991



Bloc 2, Ionad Bheatha na hÉireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

An Bord Pleanála,  
Floor 3,  
Blocks 6 & 7,  
Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Our Ref: 91A/0275

Your Ref.: PL6/5/85847

Re: Proposed houses on sites 181-194, 23-34, 87-102, 61-80,  
Cherrywood Drive, Nangor Road, Clondalkin for Kelland Homes  
Ltd.

Dear Sir/Madam,

I refer to your letter dated 30th May, 1991 & 10th July, 1991,  
enclosing correspondence with regard to the above appeal.

The Planning Authority's comments are as follows:-

Condition No. 4: All existing permissions on this site have  
lapsed. The current standard levy is £6,000. per acre and is  
applicable to this application. Any excess works carried out by  
the Developer in earlier permissions is being dealt with under  
separate excess works claims. These claims are currently with  
An Bord Pleanála, Refs. 6/3/81; 6/2/82; 6/3/83; 6/3/95; 6/3/96;  
6/3/97 & 6/3/98.

Condition No. 19: The current road levy applicable to the  
Lucan/Clondalkin area is £1,420. per house and this amount has  
been levied on adjoining site. Excess works claims for provision  
of roads are a separate matter and are being dealt with  
accordingly. The original amount £250. per house was first  
levied on 1981. Updating this amount to current values would  
arrive at the same amount.

Condition No. 15. The Council have re-examined the amount  
outstanding. The original planning permission was for 195  
dwellings, and this application increased this figure to a total  
of 253 dwellings; an increase of 58. Taking into account  
payments made to the Council along with an offset allowance of  
25 dwellings, an amount of £20,000. is now outstanding. These  
figures are presently being discussed with Kelland Homes Ltd.

Yours faithfully,

\_\_\_\_\_  
for Principal Officer.

*Decision  
made*



Our Ref: PLG/S/86324  
P.A. Ref : 91A/775

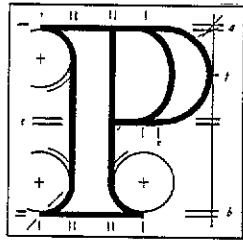
Dublin Co Cl,  
Planning Dept,  
Irish Life Mall

Date: 24 September, 1991.

Appeal re: Houth Lodge Hotel

h  
27/9

pa  
An Bord Pleanála



Floor 3 Blocks 6 & 7  
Irish Life Centre  
Lower Abbey Street  
Dublin 1  
tel (01) 728011

Dear Sir/Madam,

An Bord Pleanála has asked me to refer to the documents received from you in relation to the above-mentioned appeal.

To enable consideration of the appeal to proceed, the following further documents are required:-

Full documents including all drawings submitted with 90A/1022

Would you be good enough to have these documents forwarded within seven days, please.

Yours sincerely,

David Curran

BP 008

25 SEPT 91

+ 89A 1987

89A 1988

X Red Pt. missing.

issued  
12/12/91

issued  
12/12/91

R. BRADY

S.O.

Ref. Ref.:

91<sup>A</sup>-275

Re: Proposed Houses on Sites 181-194, 23-34 87-102, 61-80, Cherrywood Drive, Naingon Rd. Clonsilla

I attach for your observations memo/letter dated 10<sup>th</sup> July 1991 from An Bord Pleanála, AND OURS DATED 5/6/91

Please reply before at your earliest convenience for Principal Officer.

(Req. file Regd. as a History. P.C. attached.)

Dated: 25 July 91

## OBSERVATIONS:

Condition No 14.

All existing permissions on this site are lapsed. The current standard levy is £6,000 per acre and is applicable to this application.

Any excess works carried out by the Developer in earlier permissions is being dealt with under a separate code and any money payable will be paid. These claims are currently with the Bord Pleanála.

Cond 19

The code being applicable to the Luce/Clonsilla area is £1420 per house and this amount has been levied on adjoining sites. Excess works claims for provision of roads are a separate matter and are being dealt with accordingly. The original amount £250 per house was first levied in 1981. Updating this amount to current values would amount to the same amount.

Condition 15. The Council have reassessed the amount outstanding. The original planning permission was for 195 dwellings. This application together with those dwellings erected total 253 dwellings; an increase of 58. Taking into account payments and an allowance of 25 dwellings an amount of £20,000 is now outstanding. These figures are being discussed with Kellard Hayes Ltd.

Signature of person making observations: \_\_\_\_\_

Countersigned: \_\_\_\_\_

Date: \_\_\_\_\_

Date: 14/8/91

(S. E. D. C.)



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

An Bord Pleanála,  
Floor 3,  
Blocks 6 & 7,  
Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Our Ref: 91A/0275

Your Ref.: PL6/5/85847

1991

Re: Proposed houses on sites 181-194, 23-34, 87-102, 61-80, Cherrywood Drive, Nangor Road, Clondalkin for Kelland Homes Ltd.

Dear Sir/Madam,

I refer to your letter dated 30th May, 1991 & 10th July, 1991, enclosing correspondence with regard to the above appeal.

The Planning Authority's comments are as follows:-

Condition No. 4: All existing permissions on this site ~~are~~ <sup>have</sup> lapsed. The current standard levy is £6,000. per acre and is applicable to this application. Any excess works carried out by the Developer in earlier permissions is being dealt with under ~~a separate code, and any money payable will be paid.~~ <sup>separate works claims</sup> These claims are currently with An Bord Pleanála. <sup>REF</sup>

Condition No. 19: The <sup>current</sup> road levy applicable to the Lucan/Clondalkin area is £1,420. per house and this amount has been levied on adjoining sites. Excess works claims for provision of roads are a separate matter and are being dealt with accordingly. The original amount £250. per house was first levied on 1981. Updating this amount to current values would arrive at the same amount.

Condition No. 15. The Council have re-examined the amount outstanding. The original planning permission was for 195 dwellings. This application together with those dwellings erected total 253 dwellings; an increase of 58. Taking into account payments and an allowance of 25 dwellings, an amount of £20,000. is now outstanding. These figures are being discussed with Kelland Homes Ltd.

Yours faithfully,

for Principal Officer.

Handwritten notes: "REF. Nos.", "To CLARIFY", and a large handwritten "X" or "1" across the top left of the page.

6/3/81

TA 1663

6/2/82

TA 2015

6/3/83

195-

TA 1412

6/3/95

Added up to 253

6/3/96

(58 extra)

6/3/97

Paid some and

6/3/98

allowed an offset of 25 Hrs.

= \$38,000 Paid or offset

Now outstanding

\$20,000

*PK*

*Submitting to Post  
should be verified by  
PO or myself*

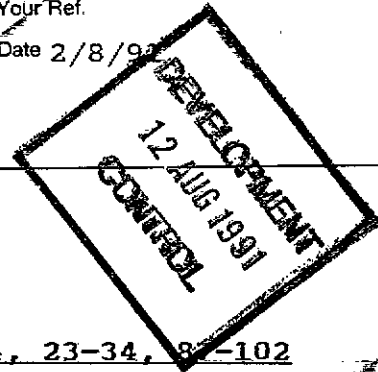


P.O. Box 174.  
Bosca 174.  
46 / 49 Sraid O'Connaill Uacht,  
46 / 49 Upper O'Connell Street,  
Baile Atha Cliath  
Dublin 1.  
Telephone. (01)727777.  
Fax. (01)727434

Mr. A. Smith,  
Principal Officer,  
Planning Department.

*9/8*

Our Ref.  
Your Ref.  
Date 2/8/91



RE: A.B.P. APPEAL - KELLAND HOMES,  
REG./REF: 91A/275 - HOUSES - SITES 181-194, 23-34, 87-102  
61-80, CHERRYWOOD DRIVE, NANGOR ROAD, CLONDALKIN  
CONDITION NO. 19 OF PLANNING DECISION ORDER NO. F/1923/91  
OF 3/5/91

The roads contribution sought under the above condition is based on the cost to the Local Authority of the very extensive road network planned and being installed in the whole Lucan-Clondalkin area. This is required to service the rapid development occurring in this area, a part of which is the above Kelland Homes Estate.

A current financial contribution of £1,420 per house has been calculated as that required to finance these road works. This levy has been applied to the more recent developments in the area without dissent.  
e.g.

90A/417 - Houses - Cappagh House, Ninth Lock Road, Clondalkin

91A/544 &

89A/982 - Houses - Esker Lane, Ballyowen, Lucan

91A/447 &

90A/2363 &

89A/2333 - Houses - Cannonbrook Park, Lucan

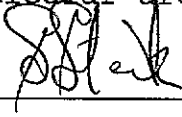
91A/852 - Houses - Doddsborough, Newcastle Road, Lucan

08. AUG. 91

89A/608 - Houses - Ballydavid, Lucan

89A/2029 - Houses - Ballyowen Park, Ballydavid, Lucan

An earlier permission expired on this site. Thus it is considered reasonable to deal with this application as a new submission and apply there to the financial burdens being requested of other similar developments, which are contributing to the development of the necessary road network for this particular area of the county.



*T. Brick*  
T. Brick,  
Senior Executive Engineer,  
Roads Planning Division.

TB/AW

John Henry,  
Senior Engineer,  
Roads Department.

26 July 1991

I wish to draw your attention to a number of files, listed hereunder, which have been forwarded to you by the Appeals Section for your comments.

It is noted that we have not received a reply to date and therefore should be obliged if you would submit your report at your earliest possible convenience.

REG. REF.	DEVELOPMENT	LOCATION
91A/275	Houses	181-194, 23-34, 87-102, 61-80 Cherrywood Drive, Nangor Road, Clondalkin.

Please mark you reply "for the attention of L. Doyle, Appeals".

*L. D.*

SENIOR STAFF OFFICER  
Asst.

COMHAIRLE CHONTAE ATHA CLIATH

Telephone: 724755  
Extension: 268/269

Planning Department,  
Block 2,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

Our Ref.: 91A/275

5 June 1991

Mr. M. McNamara,  
Senior Staff Officer,  
Bonds & Contributions Section,  
Planning Department.  
Dublin County Council.

Re: Proposed houses on sites 181-194, 23-34, 87-102, 61-80,  
Cherrywood Drive, Nangor Road, Clondalkin for Kelland Homes  
Ltd.

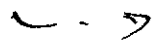
Dear Sir,

I attach copy of grounds of appeal and Planning Officers report in regard to the above.

I should be most obliged to received your comments on same before 19th June, 1991.

PLEASE MARK YOUR REPLY FOR THE ATTENTION OF LES DOYLE.

Yours faithfully,

  
\_\_\_\_\_  
for Principal Officer.



COMHAIRLE CHONTAE ATHA CLIATH

Telephone: 724755  
Extension: 268/269

Planning Department,  
Block 2,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

Our Ref.: 91A/275

5 June 1991

John Henry,  
Senior Engineer,  
Roads Department.

Re: Proposed houses on sites 181-194, 23-34, 87-102, 61-80,  
Cherrywood Drive, Nangor Road, Clondalkin for Kelland Homes  
Ltd.

Dear Sir,

I attach copy of grounds of appeal and Planning Officers report in regard to the above.

I should be most obliged to received your comments on same before 19th June, 1991.

PLEASE MARK YOUR REPLY FOR THE ATTENTION OF LES DOYLE

Yours faithfully,

for Principal Officer.

R. BRADY

COMHAIRLE CHONTAE ATHA CLIATH

*Appeals*

TO: M. Prendergast,  
S.E.D.C.

REG. REF. 91A/275

RE: Proposed houses on sites 181-194, 23-34, 87-102, 61-80,  
Cherrywood Drive, Nanor Road, Clondalkin for Kelland Homes Ltd.

I attach for your observations memo/letter dated 30th May, 1991 from An Bord Pleanala.

Please reply before: 19th June, 1991

S. McMillan  
for Principal Officer

DATED: 5 June 1991

OBSERVATIONS:

*Refer to Financial Certs + Rds Engineer by*

*ISSUED: 5/6/91*

*Report 7  
24/6/91*

Signature of person making observations: \_\_\_\_\_

Countersigned: \_\_\_\_\_  
(S.E.D.C.)

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DN 744 CN 3260

Order No. P/1923/91

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

CONTRIBUTION:	64,500
Standard:	<del>26,000</del> / <del>1420</del>
Roads:	<del>22,000</del> / <del>1420</del>
S Sers:	
Open Space:	269,000
Other:	
SECURITY:	
Bond/C.I.F.:	2270,000
Cash:	2110,000

Proposed houses on sites 181-194, 23-34, 87-102, 61-80, Cherrywood Drive, Nangor Road, Clondalkin, for Kelland Homes Ltd.

Kelland Homes Limited,  
Monastery Road,  
Clondalkin,  
Dublin 22.

Reg. Ref. 91A/0275  
Appl. Rec'd: 4/3/91  
Floor Area:  
Site Area:  
Zoning:

### Report of the Dublin Planning Officer, dated 30 April 1991

This is an application for PERMISSION for 48 no. houses on sites 181-194, 23-34, 87-102 and 61-80, Cherrywood Drive, Nangor Road, Clondalkin, for Kelland Homes Ltd.

The proposed development involves the construction of additional houses on part of an infill site at the existing Cherrywood Development to the south of the Nangor Road. Large sections of the Cherrywood development to the east and west have been completed and various planning permissions have been granted for this remaining infill site, under TA.1663 and YA.391 (both now expired).

Reg. Ref. No. 90A/1077 refers to a current application for permission for houses at site nos. 1-22 and roads and services for 184 no. houses at Cherrywood Drive. A decision on this application is pending. (Time Extension up to 29th May, 1991).

Additional Information was requested on Reg. Ref. No. 90A/1077, regarding inter alia, the proposed increase in house numbers and details of the open space proposed to serve the development.

The applicants, (Kelland Homes) responded by stating that the total number of houses was to be reduced from that permitted under Reg. Ref. No. YA.391. However, it should be noted that the proposed development involves a higher density to that originally permitted under the grounding permission for housing development at this location under Reg. Ref. No. TA.1663.

The response to additional information under Reg. Ref. No. 90A/1077 also indicated that the open space requirements was to be treated under the open space provision agreed under Reg. Ref. No. YA.391, (this has also been indicated in correspondence lodged under the current application Reg. Ref. No. 91A/0275).

This open space arrangement involved ceding c.27 acres to the County Council (to serve an overall development of over 900 houses). The applicant has not identified this open space in either the site of the current application or under Reg. Ref. No. 90A/1077.

Contd/.....

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed houses on sites 181-194, 23-34, 87-102, 61-80, Cherrywood Drive, Nangor Road, Clondalkin, for Kelland Homes Ltd.

TA.1663 proposed semi-detached houses on these lands and adjoining lands.

Subsequently in the early 80's when house construction practically came to a standstill in the County a number of permissions issued providing for terraced housing. This increased the number of sites within estates and made them more economical to buy or sell.

In recent times there has been a trend away from these terrace type houses.

The current applicant came in for consultation with several variations of layout for this area - mostly providing for terraced housing. He was discouraged by us in his approaches to the current layout which provides totally for semi-detached houses of a small size.

The applicant has stated that he has some 30 of these units sold and they represent the first selling of private houses by him in the area for some considerable time.

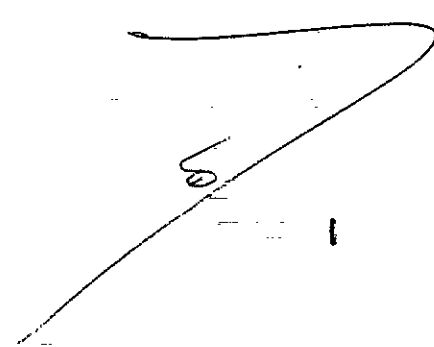
For this particular site house numbers are down by 23 compared to that approved under YA.391. In addition, permissions granted subsequent to YA.391 provided for a reduction in numbers of 5 sites on Road 5 and 2 sites on Road 9.

The public open space relative to these lands has already been handed over to the Parks Department. An additional area of 4.2 acres approx. was also handed over to the Council. In addition, some £50,000 was paid by the developer to acquire a triangular piece of ground at the southern end of this site. A sum of money £75,000 was also given to the Council by this applicant to honour a commitment made by Gallagher Group towards the development of the public open space.

The proposed development is consistent with the provisions included in the Development Plan.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990, subject to the following (19) conditions:-

Contd/.....



# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed houses on sites 181-194, 23-34, 87-102, 61-80,  
Cherrywood Drive, Nangor Road, Clondalkin, for Kelland Homes Ltd.

### CONDITIONS

### REASONS FOR CONDITIONS

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

3. That each proposed house be used as a single dwelling unit.

*(Sixty four thousand, five hundred)*  
114 § 4. That a financial contribution in the sum of ~~£64,500~~ be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

5. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car parks, Sewers, Watermains and Drains, has been given by:-

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. In order to comply with the Sanitary Services Acts, 1878-1964.

3. To prevent unauthorised development.

4. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

5. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed houses on sites 181-194, 23-34, 87-102, 61-80, Cherrywood Drive, Nangor Road, Clondalkin, for Kelland Homes Ltd.

### CONDITIONS

### REASONS FOR CONDITIONS

*ml*  
a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £ 270,000 which shall be renewed by the developer from time to time as required during the course of the development and kept in force by him until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.

OR.....

*8*  
b. Lodgement with the Council of a Cash Sum of £ 110,000 to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specification.

OR.....

*ll*  
c. Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

6. That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

7. That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

8. That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by the County Council.

6. To protect the amenities of the area.

7. In the interest of amenity.

8. In the interest of amenity and public safety.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed houses on sites 181-194, 23-34, 87-102, 61-80, Cherrywood Drive, Nangor Road, Clondalkin, for Kelland Homes Ltd.

### CONDITIONS

### REASONS FOR CONDITIONS

- |  |  |
|--|--|
| <p>9. That no dwelling house be occupied until all the services have been connected thereto and are operational.</p> <p>10. That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.</p> <p>11. That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.</p> <p>12. That all watermain tapplings, branch connections, swabbing and chlorination be carried out by the County Council, Sanitary Services Department and that the cost thereof be paid to the County Council before any development commences.</p> <p>13. That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.</p> <p>14. The development shall be carried out in conformity with Conditions Nos. 14 to 18 and 21 incl. of the decision to grant permission by Order No. P/1911/83, dated 15th August, 1983, Reg. Ref. YA 391, save as amended to conform with the revisions indicated in the plans lodged with Dublin County Council in connection with this application.</p> | <p>9. In the interest of the proper planning and development of the area.</p> <p>10. In the interest of the proper planning and development of the area.</p> <p>11. In order to comply with the Sanitary Services Acts 1878-1964.</p> <p>12. To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.</p> <p>13. In the interest of the proper planning and development of the area.</p> <p>14. In the interest of the proper planning and development of the area.</p> |
|--|--|

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed houses on sites 181-194, 23-34, 87-102, 61-80, Cherrywood Drive, Nangor Road, Clondalkin, for Kelland Homes Ltd.

### CONDITIONS

### REASONS FOR CONDITIONS

15. That the arrangements made for the payment of the financial contribution in the sum of £69,000 in respect of the overall development required by Condition No. 20 of planning permission granted under Reg. Ref. YA 291 be strictly adhered to in respect of the above proposal.

15. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

16. That the arrangements made for the payment of the financial contribution in the sum of £250 per house in respect of the overall development required by Condition No. 22 of planning permission granted under Reg. Ref. YA 391 be strictly adhered to in respect of the above proposal.

16. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

17. That the layout of houses 1 to 6 be revised in accordance with amended layout received 29th April, 1991.

17. In the interest of the proper planning and development of the area.

18. That each house have a minimum front building line of 25ft. and rear garden depth of 35 ft.

18. In the interest of the proper planning and development of the area.

19. Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

19. In the interest of reducing air pollution.

20. That all house sizes comply with the minimum standards for local authority houses as laid down by the Department of the Environment on 21st April, 1982. Revised layout to show compliance with these standards to be submitted and agreed prior to commencement of development.

20. In the interest of the proper planning and development of the area.



Order No. P/1923/91

**COMHAIRLE CHONTAE ÁTHA CLIATH**

**Record of Executive Business and Manager's Orders**

Proposed houses on sites 181-194, 23-34, 87-102, 61-80,  
Cherrywood Drive, Nangor Road, Clondalkin, for Kelland Homes Ltd.

CONDITIONS REASONS FOR CONDITIONS

*5*

(NRP/CM)

*\* see condition no. 20 over*

Endorsed:- *[Signature]* for Principal Officer *[Signature]* For Dublin Planning Officer

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to **GRANT PERMISSION** for the above proposal subject to the **(20)** conditions set out above is hereby made.

Dated: 3 May, 1991.

*K. O'Sullivan*  
Assistant City & County Manager.

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 26th April, 1991.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed houses on sites 181-194, 23-34, 87-102, 61-80, Cherrywood Drive, Nangor road, Clondalkin, for Kelland Homes Limited.

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### CONDITIONS

### REASONS

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*1920.* That a financial contribution in the sum of £1,420. per house be paid by the proposer to Dublin County Council towards the cost of provision of public roads network in the area of the proposed development and which will facilitate this development. This contribution to be paid before commencement of development on site.

*18.19* In the interest of the proper planning and development of area.

SS only

MG

Register Reference : 91A/275

Date : 15<sup>th</sup> March '91

Development : Houses

LOCATION : Sites 181-194, 23-24, 87-102, 61-80 Cherrywood Drive,

Applicant : Kelland Homes Ltd. Bayr Rd., Clonsilla

App. Type : P/BBL

Planning Officer :

Date Recd. : 4/3/91

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

DUBLIN Co. COUNCIL  
2 1 MAR 1991  
SAN SERVICES

~~Yours faithfully,~~  
DUBLIN Co. COUNCIL  
SANITARY SERVICES  
26 APR 1991  
PRINCIPAL OFFICER  
Returned *gl*

Date received in sanitary services .....

FOUL SEWER

*Available to approved system*

SURFACE WATER

*Available to approved system*

SENIOR ENGINEER,  
SANITARY SERVICES DEPARTMENT,  
46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

*John Brown*  
91  
PLANNING DEPT. 4  
DEVELOPMENT CONTROL SECT  
Date ..... 26-4-91 .....  
Time ..... 2.0m .....  
91

Register Reference : 91A 1275

Date : 15<sup>th</sup> March '91

.....  
ENDORSED \_\_\_\_\_ DATE \_\_\_\_\_

WATER SUPPLY Available for zone during 24 hour storage  
to be provided -

*J. H. [Signature]*  
25/3/91

.....  
ENDORSED *J. J. M.* DATE 27/3/91

*77 WDB 24/4/91*

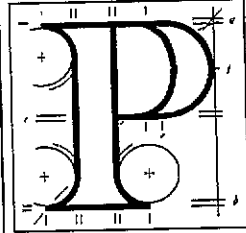
Our Ref: PL 6/5/85847  
E.A. Reg. Ref: 91A/275

pa/EC

The Secretary,  
Dublin County Council,  
Planning Department,  
Block 2,  
Irish Life Centre.

Keall

An Bord Pleanála



Floor 3 Blocks 6 & 7  
Irish Life Centre  
Lower Abbey Street  
Dublin 1  
tel (01) 728011

Date: 06 JAN 1992

08 JAN 92

Appeal re: Housing development on sites 181-194,  
23-34, 87-102, 61-80 Cherrywood Drive, Nangör Road,  
Clondalkin, County Dublin.

Dear Sir/Madam,

An order has been made by An Bord Pleanála  
determining the above-mentioned appeal under the  
Local Government (Planning and Development) Acts,  
1963 to 1990. A copy of the order is enclosed.

DEVELOPMENT  
CONTROL  
- 9 JAN 1992

Yours faithfully,

Suzanne Lacey  
Suzanne Lacey

Encl.

BP 352

Our Ref: PL 6/5/85847  
P.A. Reg. Ref: 91A/275

Dublin County Council,  
Planning Department,  
Block 2,  
Irish Life Centre.

15 JUL 91

Date: 10th July 1991.

Appeal re: Erection of houses on sites 181-194,  
23-24, 87-102, 61-80 at Cherrywood Drive, Nangor  
Road, Clondalkin, County Dublin.


Dear Sir,

I am directed by An Bord Pleanála to refer to the  
above-mentioned appeal.

In the grounds of appeal the applicant states that  
the planning authority has already agreed that the  
amount sought as a contribution towards public open  
space was miscalculated. Please confirm if this is  
the case.

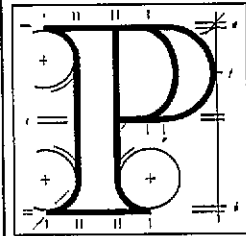
An early response would be appreciated.

Yours faithfully,

  
Hubert Mannion  
Executive Officer

DEVELOPMENT  
16 JUL 1991  
CONTROL

*ML*  
An Bord Pleanála



Floor 3 Blocks 6 & 7  
Irish Life Centre  
Lower Abbey Street  
Dublin 1  
tel (01) 728011

*Obs of  
Mannion  
my*

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/275

**APPEAL** by Kelland Homes Limited of Monastery Road, Clondalkin, County Dublin against the decision made on the 3rd day of May, 1991 by the Council of the County of Dublin to grant subject to conditions a permission for a housing development on sites 181-194, 23-34, 87-102, 61-80 Cherrywood Drive, Nangor Road, Clondalkin, County Dublin in accordance with plans and particulars lodged with the said Council:

**WHEREAS** the said appeal relates only to conditions numbers 4, 15 and 19 subject to which the decision was made:

**AND WHEREAS** the Board is satisfied, having regard to the nature of the said conditions, that the determination by the Board of the relevant application as if it had been made to it in the first instance would not be warranted:

**NOW THEREFORE** An Bord Pleanála, in exercise of the powers conferred on it by subsection (1) of section 19 of the Local Government (Planning and Development) Act, 1983, hereby directs the said Council to amend the said conditions numbers 4, 15 and 19, so that they shall be as follows for the reasons set out:

4. The developer shall pay £6,000 (six thousand pounds) per acre to Dublin County Council as a contribution towards expenditure incurred by the Council in the provision of public services which facilitate the proposed development. This calculation shall be made on the basis of the gross area for development. The arrangements for payment of the contribution shall be as agreed upon between the developer and the Council or, in default of agreement, shall be determined by An Bord Pleanála.

**Reason:** It is considered reasonable that the developer should contribute towards expenditure incurred by the Council in the provision of public services that facilitate the proposed development.

PL 6/5/85847

15. The developer shall pay £300 (three hundred pounds) per house to Dublin County Council as a contribution towards the expenditure that is proposed to be incurred by the Council in respect of open space development facilitating the proposed development. The arrangements for payment of the contribution shall be as agreed upon between the developer and the Council or, in default of agreement, shall be determined by An Bord Pleanála. The requirement to pay this contribution is subject to the stipulations set out in sub-paragraphs (i), (ii) and (iii) of Section 26 (2)(h) of the Local Government (Planning and Development) Act, 1963 and for the purposes of the said sub-paragraphs (i) and (ii) the specified period shall be the period of 7 years from the date of this order.

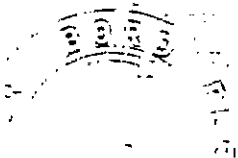
**Reason:** It is considered reasonable that the developer should contribute towards the expenditure proposed to be incurred by the Council in respect of open space development facilitating the proposed development.

19. The developer shall pay £800 (eight hundred pounds) per house to Dublin County Council as a contribution towards the expenditure that is proposed to be incurred by the Council in the provision of a public road network in the area facilitating the proposed development. The arrangements for payment of the contribution shall be as agreed upon between the developer and the Council or, in default of agreement, shall be determined by An Bord Pleanála. The requirement to pay this contribution is subject to the stipulations set out in sub-paragraphs (i), (ii) and (iii) of Section 26 (2)(h) of the Local Government (Planning and Development) Act, 1963 and for the purposes of the said sub-paragraphs (i) and (ii) the specified period shall be the period of 7 years from the date of this order.

**Reason:** It is considered reasonable that the developer should contribute towards the expenditure proposed to be incurred by the Council in the provision of a public road network in the area facilitating the proposed development.

T. D. Duffy  
Member of An Bord Pleanála duly  
authorised to authenticate the  
seal of the Board.

Dated this 31<sup>st</sup> day of December 1991.





COMHAIRLE CHONTAE ATHA CLIATH

Tel.: 724755  
Ext. 268/269

Planning Department,  
Irish Life Centre,  
Lr. Abbey Street,  
Dublin 1.

Your Ref.: PL6/5/85847  
Our Ref.: 91A/275

5 June 1991

An Bord Pleanala,  
Blocks 6 and 7,  
Irish Life Centre,  
Lr. Abbey Street,  
Dublin 1.

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1983

Proposal: Proposed houses on sites 181-194, 23-34, 87-102, 61-80,  
Cherrywood Drive, Nangor Road, Clondalkin

Applicant: Kelland Homes Ltd.

Dear Sir,

With reference to your letter dated 30th May, 1991, I enclose herewith:-

- (1) & (2) A copy of the application which indicated the applicant's interest in the land or structure.
- (3) A copy of the public notice given, i.e. Irish Independent, 1st March, 1991.
- (4) The plan(s) received from the applicant on 4th March, 1991.
- (6) & (7) A certified copy of Manager's Order P/1923/91, dated 3rd May, 1991 together with technical reports in connection with the application.

(8) HISTORY DOCS ENCLOSED 90A-1077  
FOR YA 391 SEE PL 6/5/64785

Yours faithfully,

M. Murtagh  
for Principal Officer.

Encls.

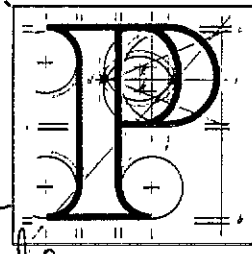
Our Ref: PL 6/5/85847  
Your Ref: 91a/275

*P. Kennelly*  
*Let me see Board's obs & Board's*  
*any reply & include ref. & decisions*  
*where Board's comments by 1/4/20/85*  
*included*

*Ref Ec*

Dublin County Council,  
Planning Department,  
Block 2,  
Irish Life Centre.

An Bord Pleanála

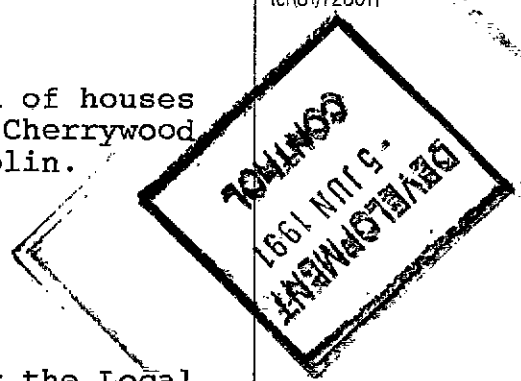


*31 MAY 91*  
*G. Gordon*  
*H. M. O.*  
*5/6*

Floor 3 Blocks 6&7  
Irish Life Centre  
Lower Abbey Street  
Dublin 1  
tel: (01) 728011

Date: 30th May 1991

Planning authority decision re: Erection of houses  
on sites 181-194, 23-24, 87-102, 61-50 at Cherrywood  
Drive, Nangor Road, Clondalkin, County Dublin.



Dear Sir/Madam,

Enclosed is a copy of an appeal under the Local  
Government (Planning and Development) Acts, 1963 to  
1983, in relation to the above-mentioned decision.  
So that consideration of the appeal may proceed, you  
are requested to forward to the Board within two  
weeks:

- (1) The application made to the planning authority.
- (2) Particulars of the applicant's interest in the land or structure, as supplied to the planning authority.
- (3) A copy of the public notice, whether published in a newspaper or on the site.
- (4) Any drawings, maps, particulars, information, evidence or written study received or obtained from the applicant, including the ordnance survey number.
- (5) Copies of requests (if any) to the applicant for further information relating to the application under appeal and copies of reply and documents (if any) submitted in response to such requests.
- (6) A certified copy of the relevant Manager's Order.
- (7) Copies of any technical or other reports relevant to the decision on the application.
- (8) Particulars and relevant documents relating to previous decisions affecting the same site or relating to applications for similar development close by.

*Ob*  
*SODL ✓*  
*Ads ✓*  
*Bds ✓*

Please note that the other party/parties to the appeal are being notified that copies of the planning authority documents relevant to the decision which gave rise to the above-mentioned appeal will be available for inspection at your offices after the expiration of a period of fourteen days from the date of this letter. It would be appreciated if parties could be facilitated in this regard.

Copies of representations or observations made to the planning authority in relation to the application should not be sent to the Board. It is assumed that the planning authority has notified observers of the decision made and of the right of appeal.


The planning authority may make to the Board, in writing, such observations on the appeal as it thinks fit. Where practicable, any such observations should be submitted with the documents listed above but the furnishing of the documents should not be held up until observations are available. In any event, to ensure that they will be taken into account in the determination of the appeal, any such observations should be furnished within one month of the date of this letter.

The Board notes that the above appeal relates (inter alia) to contribution conditions. In this regard, and in order to facilitate the Board in its consideration of the appeal, I am to request you to forward the following information (as appropriate) in relation to the conditions proposed to be imposed:-

- (1) The approach to and the basis for the calculation of the contributions.
- (2) In the case of a parking contribution - the location of parking spaces which would facilitate the proposed development together with an indication as to when they were, or will be, provided.
- (3) In the case of change of use - what allowance, if any, has been made in the calculation of the contributions to allow for the demand for services or parking under the previous use.
- (4) Any other relevant comments or information.

Please quote the above appeal reference number in any further correspondence.

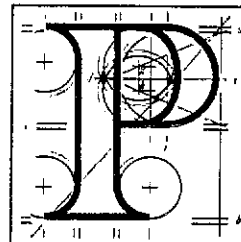
Yours faithfully,

  
Miriam Baxter.

Encl.

BP 006

An Bord Pleanála



Floor 3 Blocks 6&7  
Irish Life Centre  
Lower Abbey Street  
Dublin 1  
tel (01) 728011

# KHL

## Kelland Homes Limited

Monastery Road, Clondalkin, Dublin 22. Telephone: 593146

22nd May, 1991.

An Bord Pleanála,  
Blocks 6 & 7,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

AN BORD PLEANALA
Received 23.5.91
Fees: £36 chq
Receipt No. B.23230

RE: Appeal against Conditions 4, 15 and 19 of  
Decision Order P\1923\91, 3/5/91. Reg ref  
91A/0275 to Grant Permission for proposed  
houses at Nangor Road, Clondalkin, Co Dublin.

=====

Dear Sir,

I wish to Appeal against Conditions 4, 15 and 19 of the above Decision to Grant Permission on behalf of Kelland Homes Limited and would ask the Board to consider the Appeal against Conditions under the 1976 Act. I enclose our cheque for £ 36, the required fee.

### Condition 4.

The agreed overall development area for the 184 houses is 10.75 acres. The open space provision in connection with the application is in charge. In 1982 all site works and offsite works in connection with the development of Nangor Road were carried out by the company including upsizing of pipes to facilitate upstream development.

This development is part of the remaining 184 houses in an overall development of 887 houses, (703 of which were constructed) whose permission expired and an application for its extension refused by the Planning Authority.

It is our view that no financial contribution is due as all Sanitary Services works for the area were completed by our Company in 1982 and no further works are envisaged which will facilitate our development.

It is our further view should the the Board take a decision to levy a contribution that this should be levied at the previous level of £4,000 per acre.

**Condition 15**  
-----

The additional open space contribution is wrongly calculated. I confirm that consultations have taken place with the Planning Authority and that the agreed contribution is £13,000.

We would ask you to amend Condition 15 accordingly.

**Condition 19**  
-----

We appeal against the decision of the Planning Authority to increase the roads contribution from £ 250 to £ 1,420 per house and ask you to reduce it to £ 250 / house as it was conditioned in the previous permissions attaching to the site.

The Company contributed £250/house by way of offset for this development as previously conditioned for all houses in the development. In addition acquired lands and constructed roads which are the subject of a request to the Board for a Determination on re-imburement.

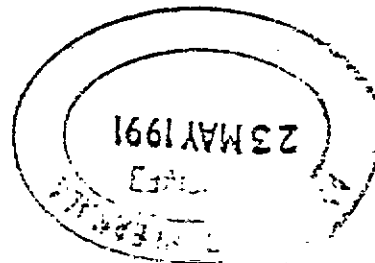
The opinion of the Board to the companies total liability for contributions to roads and roads in the area is stated in letters to Kelland Homes dated 27th February, 1990, your ref PL 6/3/81/82/83 and the 6th September, 1990. It is our view that the Board arriving at their opinion considered the totality of the site of 887 houses at £250/house.

The proposed levy of £1,420/house is being used by the Planning Authority to cancel out any claim that the Board may Determine in favour of Kelland Homes Ltd. It is our view that this is wrong.

Yours faithfully,  
For Kelland Homes Ltd.,



=====  
Joseph Shannon. Dip Arch.



# KHL

**Kelland Homes Limited**

Monastery Road, Clondalkin, Dublin 22. Telephone: 593146

24th May, 1991.

The Secretary,  
An Bord Pleanála,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.  
-----

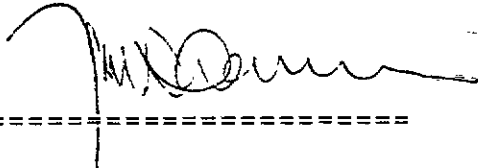
232848	Received No.
£64	Fee
27/5/91	Received
AN BORD PLEANALA	

Appeal re : Development at Nangor Road Clondalkin.  
Reg ref 91A/ 0275  
=====

Dear Sir,

I refer to the above appeal against conditions dated 22nd May, 1991. I enclose an additional cheque for £ 64 to bring the consideration subscribed to £100, the required fee.

Yours faithfully,  
For Kelland Homes Limited.



-----  
Joseph Shannon.



Key



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Kelland Homes Limited,  
Monastery Road,  
Clondalkin,  
Dublin 22.

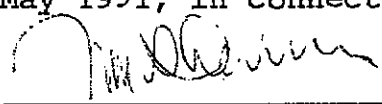
91A/0275

3 May 1991

RE: Proposed houses on sites 181-194, 23-34, 87-102, 61-80, Cherrywood Drive, Nangor Road, Clondalkin, for Kelland Homes Ltd.

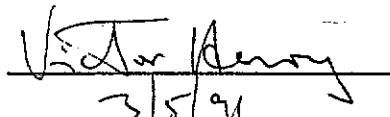
I, the undersigned, hereby acknowledge receipt of Notification of Decision, dated 3 May 1991, in connection with the above.

Signed:

  
\_\_\_\_\_

On behalf of: (Name) \_\_\_\_\_  
(Address) \_\_\_\_\_  
\_\_\_\_\_

I hereby certify that the above Notification, dated 3 May 1991, was handed by me to the above signed today.

SIGNED:   
DATED: 3/5/91

# DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,  
BLOCK 2,  
IRISH LIFE CENTRE,  
LR. ABBEY STREET,  
DUBLIN 1.

## Notification of Decision to Grant Permission/Approval

Local Government (Planning and Development) Acts, 1963-1983

To..... Kelland Homes Limited, Decision Order P/1923/91, 3/5/91  
..... Monastery Road, Number and Date .....  
..... Clondalkin, Register Reference No. 91A/0275  
..... Dublin 22. Planning Control No. ....  
Applicant..... Kelland Homes Ltd. Application Received on 4/3/91

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/~~Approval~~ for:-

..... Proposed houses on sites 181-194, 23-34, 87-102, 61-80,  
Cherrywood Drive, Nangor Road, Clondalkin.

### SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.	2. In order to comply with the Sanitary Services Acts, 1878-1964.
3. That each proposed house be used as a single dwelling unit.	3. To prevent unauthorised development.
4. That a financial contribution in the sum of £64,500, (Sixty-four thousand, five hundred), be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.	4. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

Contd/.....

Signed on behalf of the Dublin County Council .....

  
For Principal Officer

Date..... 3/5/91

IMPORTANT: Turn overleaf for further information



CONDITIONS

REASONS FOR CONDITIONS

5. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car parks, Sewers, Watermains and Drains, has been given by:-

a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £270,000 which shall be renewed by the developer from time to time as required during the course of the development and kept in force by him until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.  
OR.....

b. Lodgement with the Council of a Cash Sum of £110,000 to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specification.  
OR.....

c. Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

6. That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

5. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

6. To protect the amenities of the area.

Contd/.....

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:- An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

# DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,  
BLOCK 2,  
IRISH LIFE CENTRE,  
LR. ABBEY STREET,  
DUBLIN 1.

## Notification of Decision to Grant Permission/Approval

Local Government (Planning and Development) Acts, 1963-1983

To Kelland Homes Limited, Decision Order P/1923/91, 3/5/91  
..... Number and Date .....

Monastery Road, Register Reference No. 91A/0275  
.....  
Clondalkin, Planning Control No. ....  
.....  
Dublin 22. Application Received on 4/3/91  
.....

Applicant Kelland Homes Ltd.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/Approval for:-

Proposed houses on sites 181-194, 23-34, 87-102, 61-80,  
Cherrywood Drive, Nangor Road, Clondalkin.

### SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
7. That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.	7. In the interest of amenity.
8. That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by the County Council.	8. In the interest of amenity and public safety.
9. That no dwelling house be occupied until all the services have been connected thereto and are operational.	9. In the interest of the proper planning and development of the area.
10. That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.	10. In the interest of the proper planning and development of the area.

Contd/.....

Signed on behalf of the Dublin County Council .....

  
For Principal Officer

Date 3/5/91

IMPORTANT: Turn overleaf for further information

CONDITIONS

REASONS FOR CONDITIONS

11. That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

11. In order to comply with the Sanitary Services Acts 1878-1964.

12. That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council, Sanitary Services Department and that the cost thereof be paid to the County Council before any development commences.

12. To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

13. That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

13. In the interest of the proper planning and development of the area.

14. The development shall be carried out in conformity with Conditions Nos. 14 to 18 and 21 incl. of the decision to grant permission by Order No. P/1911/83, dated 15th August, 1983, Reg. Ref. YA 391, save as amended to conform with the revisions indicated in the plans lodged with Dublin County Council in connection with this application.

14. In the interest of the proper planning and development of the area.

15. That the arrangements made for the payment of the financial contribution in the sum of £69,000 in respect of the overall development required by Condition No. 20 of planning permission granted under Reg. Ref. YA 291 be strictly adhered to in respect of the above proposal.

15. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

Contd/.....

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

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Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

# DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,  
BLOCK 2,  
IRISH LIFE CENTRE,  
LR. ABBEY STREET,  
DUBLIN 1.

Notification of Decision to Grant Permission/Approval  
Local Government (Planning and Development) Acts, 1963-1983

To... Kelland Homes Limited,  
.....Monastery Road,  
.....Clondalkin,  
.....Dublin 22.  
Applicant...Kelland Homes Ltd.

Decision Order  
Number and Date... P/1923/91, 3/5/91  
Register Reference No. ... 91A/0275  
Planning Control No. ....  
Application Received on... 4/3/91

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/Approval for:-

.....Proposed houses on sites 181-194, 23-34, 87-102, 61-80,  
Cherrywood Drive, Nangor Road, Clondalkin.

SUBJECT TO THE FOLLOWING CONDITIONS


CONDITIONS

REASONS FOR CONDITIONS

16. That each house have a minimum front building line of 25ft. and rear garden depth of 35 ft.
17. Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.
18. That all house sizes comply with the minimum standards for local authority houses as laid down by the Department of the Environment on 21st April, 1982. Revised layout to show compliance with these standards to be submitted and agreed prior to commencement of development.
19. That a financial contribution in the sum of £1,420. per house be paid by the proposer to the Dublin County Council towards the cost of provision of public roads network in the area of the proposed development and which will facilitate this development. This contribution to be paid before commencement of development on site.

16. In the interest of the proper planning and development of the area.
17. In the interest of reducing air pollution.
18. In the interest of the proper planning and development of the area.
19. In the interest of the proper planning and development of the area.

Signed on behalf of the Dublin County Council .....

  
For Principal Officer

Date... 3/5/91

IMPORTANT: Turn overleaf for further information

CONDITIONS	REASONS FOR CONDITIONS

**NOTE:**

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Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

COPY

Joseph Shannon dip arch

ARCHITECT

ROSEBORO

MAUDLINGS

NAAS

CO KILDARE

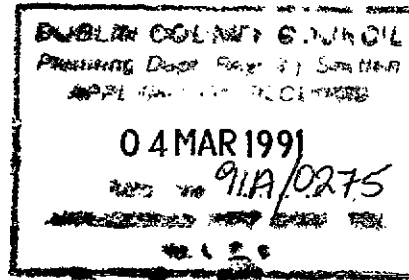
Tel 045-97409

ADDITIONAL INFORMATION

30th February 1991.

*JANUARY*

Principal Officer  
Dublin County Council  
Planning Dept  
Irish Life Centre  
Dublin 1



Addition information re : Proposed houses 1-22 and roads  
and services at Cherrywood Drive, Nangor Road,  
Clondalkin.

Reg ref 90A/1077

Dear Sir,

I refer to your request for additional information dated 13th August 1990 in connection with the above application, I now submit the information in quadruplicate and include a new house type for substitution for the one lodged.

- (1) A layout to a scale of 1/500 is submitted showing houses located on sites and including dimensions.
- (2) The open space requirement is satisfied for this development with the un-used open space transferred from YA 391 whose permission expired and was not extended.

This application proposes an overall reduction in density from 203 houses to 184 for the uncompleted portion of the same area approved under YA 391.

Satisfactory open space was provided for that development and is ceded to the Park's Dept.

As there is a reduction of 19 houses in this proposal, there is excess open space over the requirement of 19 x 80 sq m. which is just under a

half acre.

The open space provision for the overall development at Nangor Road agreed with the Planning Dept for 930 houses prior to ceding it to the Park's Dept was 27.05 acres:

Raheen House.....1.03 acres  
North of Camac.....21.70 acres  
Excess open space...4.32 acres

The number of houses in the final development will be approximately 900.

We would ask you to accept that the open space provided under YA 391 satisfies the open space requirement for this proposal.

Yours faithfully,

---

Joseph Shannon.

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/0275

Date : 5th March 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Houses

LOCATION : Sites 181-194, 23-34, 87-102, 61-80 Cherrywood Drive  
Nangor Road Clondalkin.

APPLICANT : Kelland Homes Limited,

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received on 4th March 1991.

Yours faithfully,

.....  
PRINCIPAL OFFICER

Kelland Homes Limited,  
Monastery Road,  
Clondalkin,  
Dublin 22.



21/3, 17/15

Dublin County Council  
Comhairle Chontae Átha Cliath



Planning Application Form/  
Bye - Law Application Form

PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place/ in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building 181-194, 23-34, 87-102 AND 61-80  
(If none, give description) CHERRYWOOD DRIVE, CLONDALKIN D22  
sufficient to identify)

3. Name of applicant (Principal not Agent) KELLAND HOMES LTD  
Address MONASTERY ROAD, CLONDALKIN D22 Tel. No. 593146

4. Name and address of person or firm responsible for preparation of drawings  
JOSEPH SHANNON DIP ARCH.  
ROSBORO, MAUDGERS WAYS, CORICORAN 593146 Tel. No.

5. Name and address to which notifications should be sent  
KELLAND HOMES LIMITED BYE LAW APPLICATION.  
MONASTERY ROAD, CLONDALKIN D22 REG. NO. N34066

6. Brief description of proposed development  
RESIDENTIAL DEVELOPMENT.

7. Method of drainage WOVENS 8. Source of Water Supply WELLS

9. In the case of any building or buildings to be retained on site, please state:  
(a) Present use of each floor or use when last used. N/A  
(b) Proposed use of each floor

SCO. DUBLIN - Kelland Homes Ltd. intends to apply for permission for houses on sites 181-194, 23-34, 87-102, 61-80 Cherrywood Drive, Nangor Road, Clondalkin.

Strick  
Sunder  
1/3/1

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof?

11. (a) Area of Site ..... Sq. m.  
(b) Floor area of proposed development ..... Sq. m. 1984 4/3  
(c) Floor area of buildings proposed to be retained within site ..... Sq. m. N34066

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD.

13. Are you now applying also for an approval under the Building Bye Laws? Yes  No  Place  in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:  
IN SO FAR AS THEY APPLY.

15. List of documents enclosed with application.  
4 COPIES, HOUSE PLAN, SPECIFICATIONS, LOCATION MAP  
SITE LAYOUT, IRISH INDEPENDENT, DATED 17 MARCH 1991  
SHOWING NOTICE - LETTER, ROOF TRUSS CALCULATIONS.

16. Gross floor space of proposed development (See back) ..... Sq. m.

No of dwellings proposed (if any) 62 Class(es) of Development  
Fee Payable £ 5394-00 Basis of Calculation 62 x 87 = 5394  
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) [Signature] Date 4th March, 1991

Application Type P/B/L 1) FOR OFFICE USE ONLY  
Register Reference 9M/0275  
Amount Received £  
Receipt No  
Date

RECEIVED  
- 4 MAR 1991  
REG. SEC.

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
  - (a) The address of the structure or the location of the land.
  - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
  - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.

4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
  - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
  - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
    - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
  - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£3.50 per m <sup>2</sup> (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)	E	Petrol Filling Station Development or	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY — DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

BYE LAW APPLICATION.

REC. No. N 34416

CASH  
CHEQUE   
M.O.  
B.L.  
I.T.

£200.00

Received this 14<sup>th</sup> day of March 1971

from Cherrywood Homes Ltd,  
Monastery Rd.,  
Clonsilla

the sum of Two hundred and ten Pounds

Pence, being for  
bye-law application of Cherrywood Drive

Madeline Deane Cashier

S. CAREY  
Principal Officer

Clas 1762

# COMHAIRLE CHONTAE ATHA CLIATH

RECEIPT CODE

PAID BY DUBLIN COUNTY COUNCIL

CASH

CHEQUE

M.O.

B.L.

I.T.

46/49 UPPER O'CONNELL STREET

DUBLIN 1.

Issue of this receipt is no acknowledgement that the amount tendered is the prescribed application fee. N° 34066

£ 1984 00

Received this 11th day of March 1991

from Michael James HD,  
Monastery Rd,  
Clondalkin

the sum of one thousand nine hundred and eighty four Pounds

Pence, being

planning application at Cherrywood Drive

Michael James Cashier

S. CAREY  
Principal Officer Class 7 x 62

# ● KHL

## Kelland Homes Limited

Monastery Road, Clondalkin, Dublin 22. Telephone: 593146

4th. March, 1991.

Principal Officer,  
Dublin County Council,  
Planning Dept,  
Irish Life Centre.  
Lower Abbey Street,  
Dublin 1.

Planning Application re: Proposed development of houses  
181-194, 23-34, 87-102 and 61-80 Cherrywood Drive, Nangor  
Road, Clondalkin.

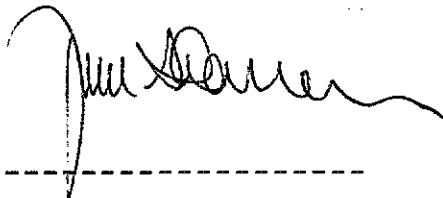
=====

Dear Sir,

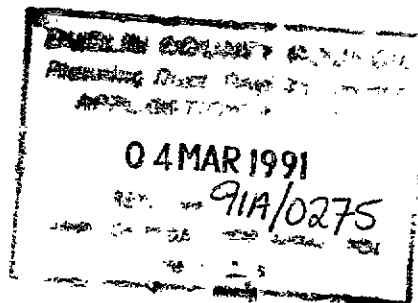
I submit the application in quadruplicate for the above  
development..

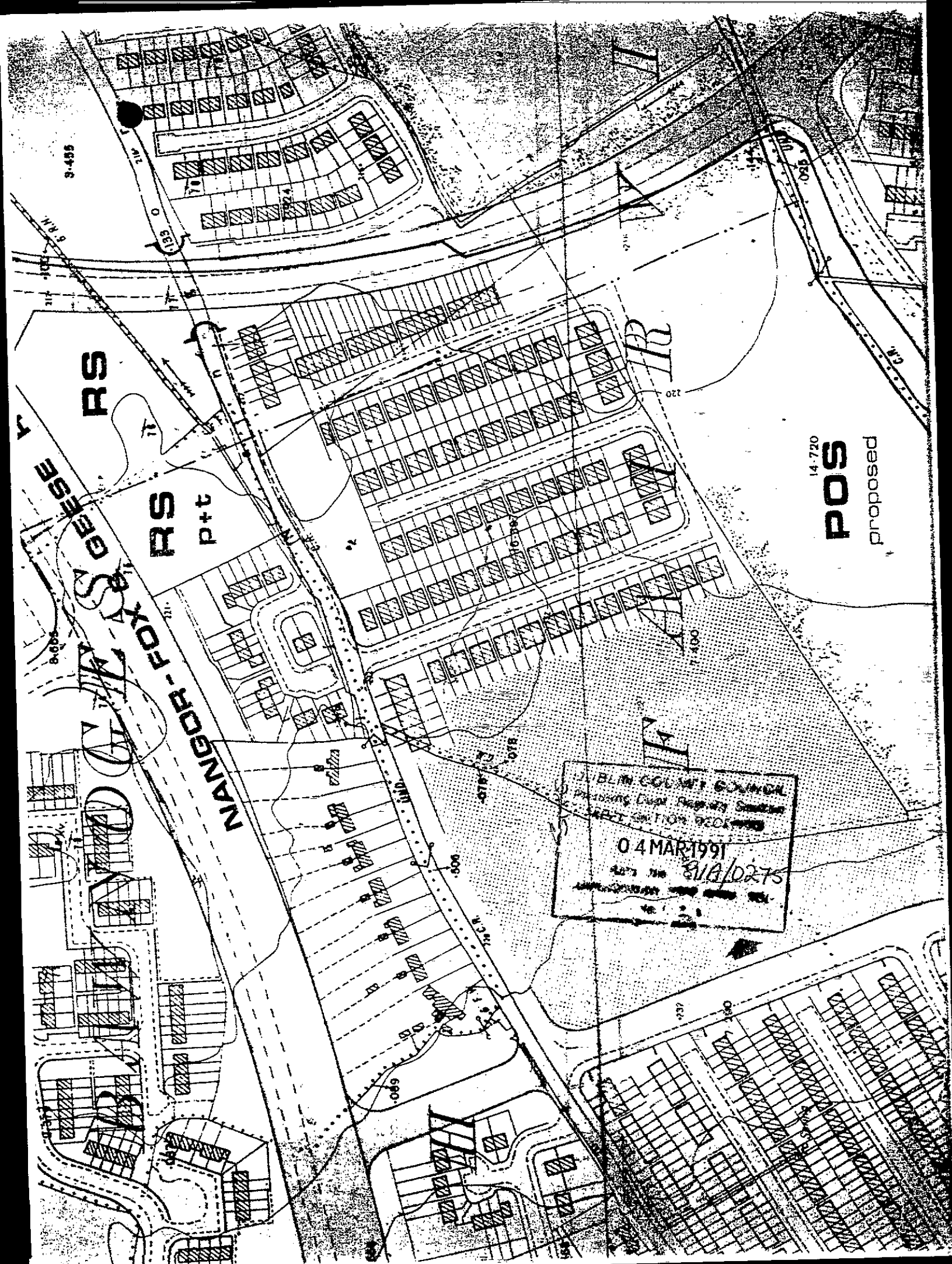
The roads and services are the subject of a pending  
application reg ref 90A/1077 which was the subject of a  
request for additional information. A copy of the reply is  
enclosed for your perusal.

Yours faithfully,  
For Kelland Homes Limited.



-----  
Joseph Shannon.





9-455

RS

RS

p+t

CR

14.720

POS

proposed

DUBLIN COUNTY COUNCIL  
 Planning Dept. Planning Section  
 STREET OFFICE, DECK 1000  
 04 MAR 1991  
 ACTS NO. 81A/D27S  
 LAMPING OFFICE 1000 DECK 1000

KELLAND HOMES LTD.  
OUTLINE SPECIFICATION.

Preparing Site

1. Clear and grade site for new building and remove or divert existing drains as required. The entire site of buildings and paved areas shall be cleared of all vegetable soil to a depth of at least 150mm. Where the bearing quality of the ground is suspect special care shall be taken in the design of the foundation.

Excavation

2. The trenches shall be excavated to the depths and widths required to accommodate foundations or to such further depths or widths as may be necessary to ensure the stability of the structure. Trench bottoms and foundations shall be levelled off in horizontal benches.

Foundations

3. Shall be concrete mix A, to widths and depths indicated and reinforced as necessary. Where foundations are stepped they shall overlap at least 600mm.

Rising Walls

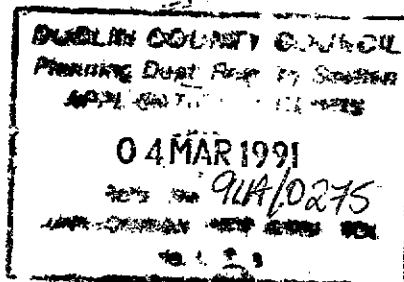
4. Rising walls shall be of solid blockwork bedded in cement mortar, or of mass concrete mix A to widths and heights indicated.

Blockwork

5. Concrete blocks shall be in accordance with I.S. 20 and bricks, if clay, in accordance with I.S. 91 All blockwork and brickwork shall be properly coursed and bonded and bedded in gauged mortar.

Cavity Walls

6. Walls shall be formed of two solid 112mm leaves of blocks or bricks with 50 mm cavity between. Outer and inner leaves to be tied together by accepted wall ties, not less than four per square metre with extra ties at opes. Care to be taken that mortar dropping into the cavity or lying on ties, is cleaned out, through openings left for the purpose. Head of cavities to be closed in the solid. All window, door and other opes in cavities to be sealed and so arranged as to prevent the passage of moisture. The cavity is to extend at least 150 mm below the level of the D.P.C. and shall provide the drainage of moisture to the outside, at the base.



## Hollow Block Walls

7. 225 mm hollow blocks shall be plastered externally. Bedding mortar shall be confined to abutting surfaces, and shall not enter the cavities of the block.

### Facings

8. Where stone or other decorative external facing is used, care must be taken to ensure adequate structural stability, thermal insulation and absence of damp penetration.

### Opes in External Walls

Where any duct, pipe, etc is required to penetrate through an external wall it shall be so arranged as to prevent the passage of moisture inwards.

### 10. Solid Partition

Solid partitions shall be 112 mm thick or block work, laid to break joint, in gauged mortar bonded 112 mm at junctions.

### D.P.C.

11. The damp-proof courses shall be polythene in accordance with B.S. 743 or bitumen sheeting on hessian or canvas base in accordance with I.S. 57 laid to prevent the passage of moisture and lapped adequately at joints, all as described below.

In all ground floor walls and breasts to full width and stepped as necessary, in cavity walls in both outer and inner leaves separately, and shall be laid not less than 150 mm cover finished ground level or paved area.

At sides of opes in cavity walls and over all opes 250 mm longer than opes and stepped down and outward all to prevent passage of moisture from outer to inner leaf.

Under and turned up at ends and back of all cills and external room ventilation grids.

In all chimney stacks immediately above the level of the flashing and under all cappings and copings.

Under lowest ground floor timbers and not lower than wall D.P.C.



Where the waterproofing membrane in a concrete floor is not level with the wall D.P.C. care shall be taken to ensure continuity of damp proofing by stepping, turning up and lapping as necessary.

#### Lintels

12. Concrete lintels mix B Cast in situ shall be 225 mm deep with 225 mm bearing at each side of the ope, and shall be reinforced for full length with one 10 mm mild steel for every foot of span. Bars are to be placed 25 mm from bottom of lintel. Lintels for opes greater than 2.5 m shall be specially designed. Precast concrete lintels to be as above and in addition to have 2 No. 10 mm mild steel bars at the top with 25 mm cover and to be clearly marked for correct placing. Accepted patent or proprietary lintels to B.S. 1239 to be used in accordance with manufacturers instructions.

#### Window Cills

13. Concrete window cills shall be to I.S. 89, 65 mm thick on front face, 120 mm thick at back and 225 mm wider than ope: reinforced adequately, seated rebated, weathered and throated and set in guaged mortar on D.P.C. as previously specified. Care to be taken that the throating is clear of the finished wall face.

#### Concrete Floors

14. All concrete ground floors shall be laid on a bed of clean hardcore not less than 150 mm thick and well consolidated. Soft material shall not be used in making up level under floors. Concrete ground floor shall be 150 mm thick mix B finished fine, laid on a continuous damp proof membrane on a layer of fine sand and turned up at edges of slab as necessary to meet and seal with wall D.P.C. Polythene sheeting where used shall be not less than 1000 guage.

#### Roof Trusses

15. Roof Trusses to I.S. 193 (p) adequately braced diagonally, at centres not greater than 600 mm.

#### Stud Partitions

16. Studs, head and sole pieces, and bridging 35 mm x 75 mm. Studs at 350 mm to 400 mm centres. Sole piece to be well spiked to floor and if parallel to joists, shall be carried on double joist. Provide 2 No. rows of nogging. Where a partition is load bearing increase timber sections as required.

#### Proprietary Partitions

17. Accepted proprietary partitions, erected to manufacturer's instructions may be used.

## Plastering

### 18. External Plastering

225 mm hollow block, 225 mm solid block and chimney stacks:  
scud walls in 3:1 sharp sand and cement. Apply 2 coats of plaster ( 1 cement: 1 lime:  
6 sand). The total thickness of plaster shall be 20 mm minimum. The second coat to be  
finished nap or smooth or combed for rough cast or pebbledash: or prepared for proprietary  
finish.

275 mm cavity walling may be scud and one coat 1:1:6 plaster approximately 13 mm  
thick and finished as above.

#### Rough Cast

Rough cast shall consist of 5-6 parts washed sand and pebbles: 1 part lime: 1 part cement.

#### Reveals

Plaster reveals to opes shall be 20 mm thick and finished smooth with scored drip groove  
to soffit of head.

#### Plinths

Plaster plinths to be finished smooth, and neatly cut off or weathered at top edge.  
Plaster finish to extend below finished ground level.

#### Internal Plastering

Scud walls and plaster one coat 12 mm thick, 1 cement: 1 lime: 6 sand.  
Finish with neat gysum plaster skim; or a grey coat of gauged mortar applied with wood  
float. Alternatively proprietary finishes may be used to manufacturers instructions.

#### Stud Partitions and Ceilings

Stud partitions and ceilings to be covered with 10 mm plaster boards or slabs with  
skimmed plaster finish or alternatively 12 mm patent sheets, all erected, jointed  
and finished to manufacturers instructions.

#### General

Precautions shall be taken to protect floors and surrounding work during plastering.

Make good neatly to holes for pipework etc.

Plasticisers, water proofers, sealers, and bonding agents shall be used in accordance  
with manufacturers instructions.

## Plumbing

9. Incoming service pipe to be 15 mm diameter laid in trench 600 mm deep, or otherwise suitably protected against frost, and connected to internal stopcock.

### Cold water supply

From stopcock take 15mm cold supply direct to sink with branch to high pressure ball valve in service tank, capacity 225 litres, for 3 bedroom houses or 360 litres for 4 or more bedrooms or as required by local authority. Tank to be covered and adequately supported over a partition where possible and at such height as to ensure proper working of the system. Provide 22 mm overflow from tank to discharge externally. Connect to service tank 50 mm over bottom of tank and take 22 mm feed to 150 litre hot water cylinder to IS 161 with 22 mm branch over top of cylinder to bath and 15 mm connections off wash hand basin and W.C.

### Hot Water Supply

An adequate water heating apparatus must be provided and fitted in accordance with manufacturers instructions. Flow and return pipes, where appropriate, shall be as recommended by the manufacturer of the heating apparatus. A 22 mm copper or stainless steel expansion pipe to be taken from top of cylinder to discharge over service tank, with a 22 mm do. branch to bath and 15 mm connections off for wash hand basin, sink etc.

### General

Fit full way stopcock on cold feeds from service tank and fit draw off cock at lowest convenient point of system.

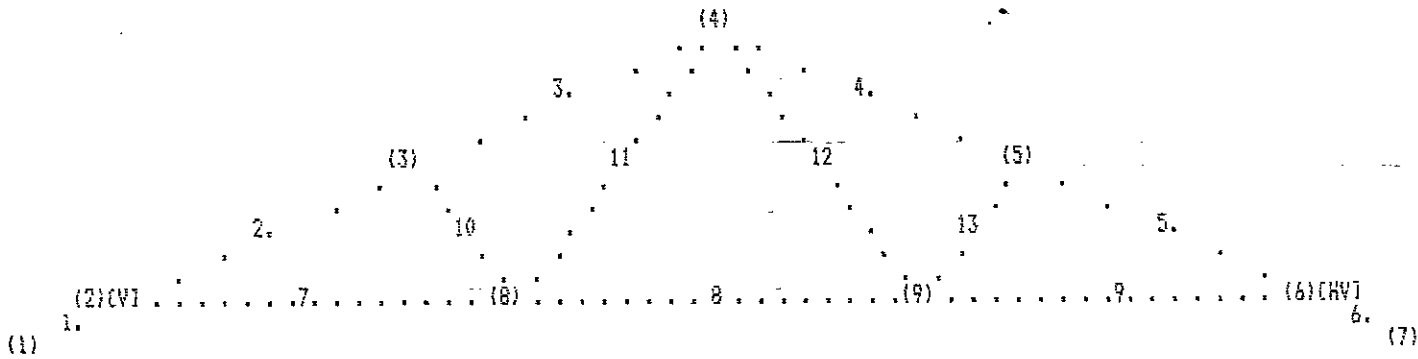
Copper piping to be not less than 18 gauge hard drawn. Plastic pipes I.S. 123,134, or 135 where used shall be fixed at least 75 mm clear of hot pipe runs. Pipes shall be fixed in straight lines as far as possible, properly jointed with patent fittings and adequately supported and secured with proper pipe clips.

20. Insulation to be in accordance with the values laid down by the Department of Environment. Pitched roof of slates or tiles on battens on sarking felt - 100 mm of glass fibre laid on polythene vapour barrier over plaster slab ceiling or alternatively laid over foil-backed plaster slabs.

Ground floors - 25 mm polystyrene 1 m wide laid under floor slab and abutting outside walls.

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TRUSSFACS DDHERTY TIMBER KILSHANE CROSS FINGLAS DUBLIN 11 TEL 01 342511



BEVPLATE TRUSSFACS (865268) VERSION 20.1 REF - KELLAND NANGOR ROAD

TRUSS TYPE - FINK SPAN = 8250 MM PITCH = 27.5 DEG. O/H = 570 & 570

SPACING = 600 MM ROOF LOADING - STANDARD CODE LOADING TO 895268  
 TANK LOAD TO 895268 LOAD SHARING  
 SIDEWAYS BRACING TO RAFTERS AT 400 MM CRS

SUMMARY OF SIZES AND GRADES

SIZES - READING MEMBERS IN ORDER FROM LEFT

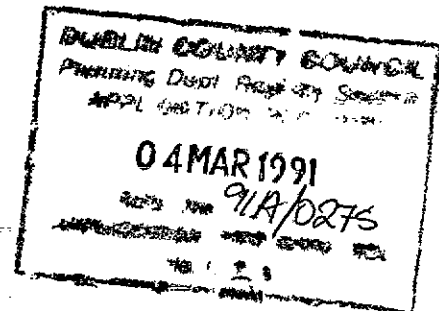
RAFTERS 112 X 34 SS 112 X 34 SS  
 CEILING TIES 112 X 34 SS  
 WEBS 72 X 34 SS 72 X 34 SS 72 X 34 SS 72 X 34 SS  
 TIES REQD

TIMBER GRADES & STRESSES

GRADE	BEND	TENS	COMP	C.PERF	SHEAR	E MEAN	E MIN
H75	6.6	4	8	1.8	1.02	9000	6000
SS	7.5	4.5	7.9	2.1	.82	10500	7000
	6.8	4	7.3	2.1	.82	9000	6000
	5.3	3.2	6.8	1.8	.82	9000	6000

CO-ORDINATES OF TRUSS NODES

Node	XX	YY
1	-570	-247
2	0	0
3	2062	1073
4	4125	2147



2	0	0
3	2062	1073
4	4125	2147
5	6187	1073
6	8250	0
7	820	-297
8	2750	0
9	5500	0

BENDING MOMENTS AND AXIAL FORCES CALCULATED USING THE SIMPLIFIED ANALYSIS AS DESCRIBED IN B95268 PT.3

LOAD CASES & LOAD COMBINATIONS CONSIDERED

	Case 1	Case 2
Load duration factor	1	1.25
Load combination	1	1+2

REACTIONS (N)

	Case 1	Case 2
Node 2 vert.	3862	5975
Node 6 vert.	3862	5975

DEFLECTIONS (MM)

Node	1	2	3	4	5	6	7	8	9
Case 2 deflections	0.00	0.00	4.96	4.63	4.96	0.00	0.00	5.25	5.25

Maximum deflection on ceiling tie (node or centre of bay) = 6 mm

Maximum long term node deflection = 4 mm

LOADING

Chord sizes obtained from maximum-span tables. All loads as B95268 PART 3

AXIAL FORCES IN MEMBERS (N)

(+ve is compression)

Member	Case 1	Case 2
2	5864	8879
3	5346	7860
4	5346	7860
5	5864	8879
7	-5201	-7876
8	-3467	-5251
9	-5201	-7876
10	850	1677
11	-2364	-3191
12	-2364	-3191
13	850	1677

STRESS FACTORS

MEM NO	LOAD CASE 1					LOAD CASE 2					LOAD CASE 3					LOAD CASE 4				
	EFFL	K12	AXL	BEN	TOTAL	EFFL	K12	AXL	BEN	TOTAL	EFFL	K12	AXL	BEN	TOTAL	EFFL	K12	AXL	BEN	TOTAL
10	1147	0.313	0.13	0.00	0.13	1147	0.268	0.24	0.00	0.24										
11	0	0.000	0.17	0.00	0.17	0	0.000	0.18	0.00	0.18										
12	0	0.000	0.17	0.00	0.17	0	0.000	0.18	0.00	0.18										
13	1147	0.313	0.13	0.00	0.13	1147	0.268	0.24	0.00	0.24										

OVERALL HEIGHT = 2571      OVERALL HEIGHT FROM C/TIE = 2274

TRUSSFACE PLATES (BS5268)      REF - KELLAND NANGOR ROAD

TRUSS TYPE - FINK      SPAN = 8250 mm      PITCH = 27.5 DEG.      D/H = 570 & 570

JOINT	PLATE CODE	PLATE W * L	PLATE TYPE	PLATE ANGLE	SOP.S		MINIMUM NO OF NAILS REQ.D				
					X	Y	WEBS	L	R	CHORDS	L
2	4505	114*127	BEV 805	0	CTR	CTR				64	64
3	2004	51*102	BEV 805	0	CTR	CTR		14		14	
4	4506	114*152	BEV 805	0	76	57	24	24		52	52
8	3504	89*102	BEV 805	90	31	59	12	22		24	

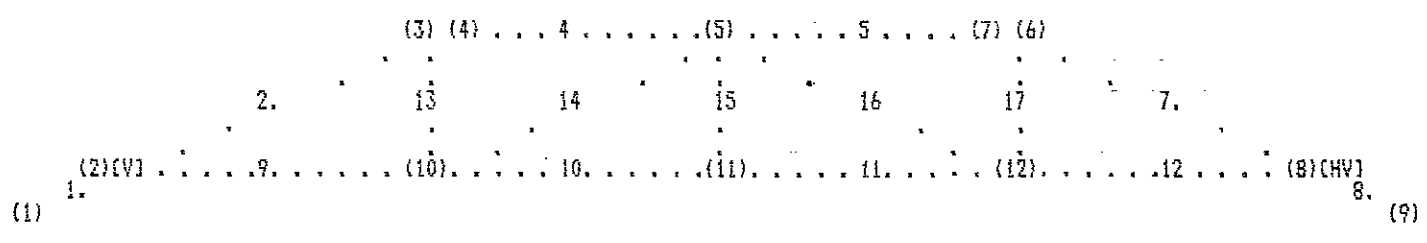
SPLICE PLATES  
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SPLICES MUST BE POSITIONED AS SHOWN

CHORD NO	PLATE CODE	PLATE W * L	PLATE TYPE	MEMBER	DIST
1	3507	89*178	BEV 805	3	581
2	3507	89*178	BEV 805	4	1744
3	3507	89*178	BEV 805	8	550
	3507	89*178	BEV 805	8	2200

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BEVPLATE TRUSSFACS (885268) VERSION 20.1 REF - MANGOR-ROAD-TRUSS1

TRUSS TYPE - 9 94 5Y SPAN = 8250 MM PITCH = 27.5 DEG. D/H = 570 & 570  
TOP D/H = 138 & 138  
ROOF LOADING - RAFTER L.T. 685 N/M2(SLOPE) H.T. 750 N/M2 (PLAN) ; C/TIE L.T. 500 N/M2 (SLOPE)

LOAD SHARING  
SIDEWAYS BRACING TO RAFTERS AT 400 MM CRS  
\*\*\*\*\*  
CALCULATION FOR 1 OF 2 NO. TOGETHER  
\*\*\*\*\*  
SUMMARY OF SIZES AND GRADES

SIZES - READING MEMBERS IN ORDER FROM LEFT

RAFTERS	112 X 34 SS	72 X 34 SS	112 X 34 SS		
CEILING TIES	145 X 34 SS				
WEBS	72 X 34 SS	72 X 34 SS	72 X 34 SS	72 X 34 SS	72 X 34 SS
TIES RECD					

TIMBER GRADES & STRESSES

GRADE	BEND	TENS	COMP	C.PERF	SHEAR	E MEAN	E MIN
H75	6.6	4	8	1.8	1.02	9000	6000
SS	7.5	4.5	7.9	2.1	.82	10500	7000
	6.6	4	7.3	2.1	.82	9000	6000
	5.3	3.2	6.8	1.8	.82	9000	6000

CO-ORDINATES OF TRUSS NODES

Node	XX	YY
1	-570	-297
2	0	0
3	2091	1088
4	2229	1160
5	4125	1088

3	2091	1088
4	2227	1160
5	4125	1088
6	6158	1088
7	6026	1160
8	0	0
9	8820	-297
10	2091	0
11	4125	0
12	6158	0

4

BENDING MOMENTS AND AXIAL FORCES CALCULATED USING THE SIMPLIFIED ANALYSIS AS DESCRIBED IN BSS268 PT.3

LOAD CASES & LOAD COMBINATIONS CONSIDERED

	Case 1	Case 2
Load duration factor	1	1.25
Load combination	1	1+2

REACTIONS (N)

	Case 1	Case 2
Node 2 vert.	4164	6743
Node 8 vert.	4164	6743

DEFLECTIONS (MM)

Node	1	2	3	4	5	6	7	8	9	10	11	12
Case 2 deflections	0.00	0.00	8.66	0.00	12.74	8.66	0.00	0.00	0.00	9.16	13.21	9.16

Maximum deflection on ceiling tie (node or centre of bay) = 14 mm

Maximum long term node deflection = 9 mm

LOADINGS APPLIED AT NODE POINTS (N)

Node	Case 1	Case 2
3 vert.	754	1487
6 vert.	754	1487

LOADINGS APPLIED TO RAFTERS AND CEILING TIES (N/M)

	Case 1	Case 2
<b>Rafters</b>		
1	232 vert.U.D.L	457 vert.U.D.L
2	232 vert.U.D.L	457 vert.U.D.L
3	232 vert.U.D.L	457 vert.U.D.L
4	-	-
5	-	-
6	232 vert.U.D.L	457 vert.U.D.L
7	232 vert.U.D.L	457 vert.U.D.L
8	232 vert.U.D.L	457 vert.U.D.L
<b>Ceiling ties</b>		
9	366 vert.U.D.L	366 vert.U.D.L
10	989 vert.U.D.L	1593 vert.U.D.L
11	989 vert.U.D.L	1593 vert.U.D.L
12	366 vert.U.D.L	366 vert.U.D.L

AXIAL FORCES IN MEMBERS (N)

(+ve is compression)

Member	Case 1	Case 2
2	7411	12221
4	6573	10840
5	6573	10840
7	7411	12221

6



4	6573	10840
5	6573	10840
7	7411	12221
9	-6573	-10840
10	-8588	-14086
11	-8588	-14086
12	-6573	-10840
13	-2431	-3689
14	2262	3645
15	-2058	-3316
16	2262	3645
17	-2431	-3689

MAX.MOMENTS IN RAFTERS AND CEILING TIES (NM)

	Case 1			Case 2		
	end1	mid-span	end2	end1	mid-span	end2
Rafters						
2	-33	103	0	-66	204	0
4	0	0	0	0	0	0
5	0	0	0	0	0	0
7	0	103	-33	0	204	-66
Ceiling ties						
9	0	72	-236	0	29	-322
10	-236	235	-363	-322	394	-616
11	-363	235	-236	-616	394	-322
12	-236	72	0	-322	29	0

STRESS FACTORS

MEM	LOAD CASE 1					LOAD CASE 2					LOAD CASE 3					LOAD CASE 4				
	EFFL	K12	AXL	BEN	TOTAL	EFFL	K12	AXL	BEN	TOTAL	EFFL	K12	AXL	BEN	TOTAL	EFFL	K12	AXL	BEN	TOTAL
2	1603	0.533	0.42	0.16	0.58	1603	0.488	0.61	0.25	0.86										
4	1627	0.555	0.56	0.00	0.56	1627	0.512	0.80	0.00	0.80										
5	1627	0.555	0.56	0.00	0.56	1627	0.512	0.80	0.00	0.80										
7	1603	0.533	0.42	0.16	0.58	1603	0.488	0.61	0.25	0.86										
9	0	0.000	0.25	0.24	0.49	0	0.000	0.33	0.27	0.59										
10	0	0.000	0.32	0.38	0.70	0	0.000	0.43	0.51	0.94										
11	0	0.000	0.32	0.38	0.70	0	0.000	0.43	0.51	0.94										
12	0	0.000	0.25	0.24	0.49	0	0.000	0.33	0.27	0.59										
13	0	0.000	0.17	0.00	0.17	0	0.000	0.21	0.00	0.21										
14	2076	0.392	0.27	0.00	0.27	2076	0.344	0.40	0.00	0.40										
15	0	0.000	0.15	0.00	0.15	0	0.000	0.19	0.00	0.19										
16	2076	0.392	0.27	0.00	0.27	2076	0.344	0.40	0.00	0.40										
17	0	0.000	0.17	0.00	0.17	0	0.000	0.21	0.00	0.21										

OVERALL HEIGHT = 1584      OVERALL HEIGHT FROM C/TIE = 1287

TRUSSFACE PLATES (885268)      REF - NANGOR-ROAD-TRUSS1

TRUSS TYPE - 9 94 SY      SPAN = 8250 mm      PITCH = 27.5 DEG. D/H = 570 & 570

JOINT	PLATE CODE	W * L	TYPE	PLATE ANGLE	SOP.S		MINIMUM NO OF NAILS-REQ'D	
					X	Y	WEBS L/R	CHORDS L/R
2	5006	127*152	BEV 805	0	CTR	CTR		88      88
3	5009	127*229	BEV 805	0	47	74	28      72	70
5	3508	89*203	BEV 805	0	101	56	24      26      24	13
6	5009	127*229	BEV 805	0	183	74	72      28	70
8	5006	127*152	BEV 805	0	CTR	CTR		88      88
10	4505	114*127	BEV 805	90	7	77	21      28	31
11	2505	64*127	BEV 805	0	CTR	CTR		28      28
12	4505	114*127	BEV 805	90	107	77	28      21	31

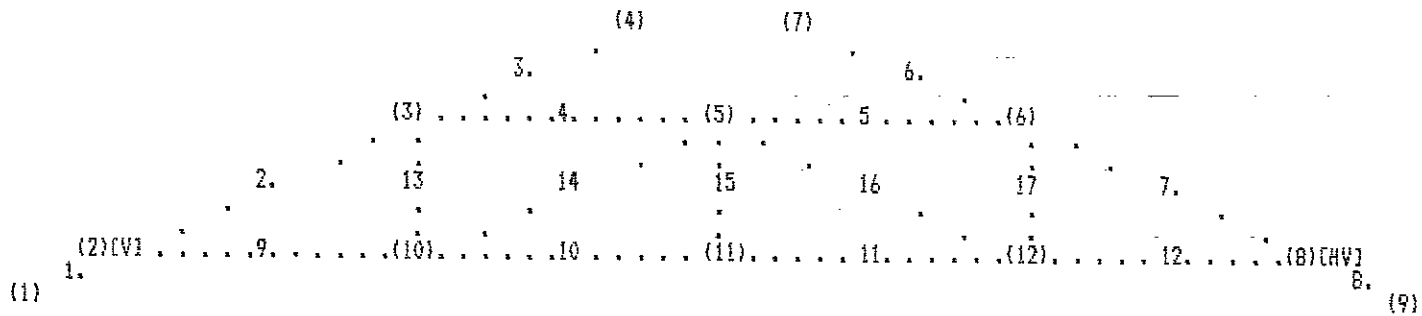
SPlice PLATES  
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SPlices MUST BE POSITIONED AS SHOWN

CHORD NO	PLATE CODE	W * L	TYPE	MEMBER	DIST
4	4008	102*203	BEV 805	11	508

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BEVPLATE TRUSSFACS (895268) VERSION 20.1 REF - NANGOR-ROAD-TRUSS2

TRUSS TYPE - 9 94 SY SPAN = 8250 MM PITCH = 27.5 DEG. D/H = 570 & 570  
 ROOF LOADING - RAFTER L.T. 685 N/M2(SLOPE) M.T. 750 N/M2 (PLAN) : C/TIE L.T. 500 N/M2 (SLOPE)  
 TOP D/H = 1482 & 1482

SPACING = 600 MM LOAD SHARING  
 SIDEWAYS BRACING TO RAFTERS AT 400 MM CRS

SUMMARY OF SIZES AND GRADES

SIZES - READING MEMBERS IN ORDER FROM LEFT

RAFTERS	112 X 34 SS	97 X 34 SS	112 X 34 SS		
CEILING TIES	97 X 34 SS				
WEBS	72 X 34 SS	72 X 34 SS	72 X 34 SS	72 X 34 SS	72 X 34 SS

TIES REQD

WEBS web 14 - 1 tie(s) web 16 - 1 tie(s)

TIMBER GRADES & STRESSES

GRADE	BEND	TENS	COMP	C.PEER	SHEAR	E MEAN	E MIN
H75	6.6	4	8	1.8	1.02	9000	6000
SS	7.5	4.5	7.9	2.1	.82	10500	7000
	6.6	4	7.3	2.1	.82	9000	6000
	5.3	3.2	6.8	1.8	.82	9000	6000

CO-ORDINATES OF TRUSS NODES

Node	XX	YY
1	-570	-297
2	0	0
3	2043	1063

1	-570	-297
2	0	0
3	2043	1063
4	3525	1834
5	4125	1063
6	4725	1063
7	4725	1834
8	8250	0
9	8820	-297
10	2043	0
11	4125	0
12	6207	0

BENDING MOMENTS AND AXIAL FORCES CALCULATED USING THE SIMPLIFIED ANALYSIS AS DESCRIBED IN BS5268 PT.3

LOAD CASES & LOAD COMBINATIONS CONSIDERED

	Case 1	Case 2
Load duration factor	1	1.25
Load combination	1	1+2

REACTIONS (N)

	Case 1	Case 2
Node 2 vert.	2876	4469
Node 8 vert.	2876	4469

DEFLECTIONS (MM)

Node	1	2	3	4	5	6	7	8	9	10	11	12
Case 2 deflections	0.00	0.00	3.48	0.00	5.36	3.48	0.00	0.00	0.00	3.78	5.64	3.78

Maximum deflection on ceiling tie (node or centre of bay) = 6 mm

Maximum long term node deflection = 4 mm

LOADING APPLIED TO RAFTERS AND CEILING TIES (N/M)

	Case 1	Case 2
<b>Rafters</b>		
1	463 vert.U.D.L	913 vert.U.D.L
2	463 vert.U.D.L	913 vert.U.D.L
3	463 vert.U.D.L	913 vert.U.D.L
4	-	-
5	-	-
6	463 vert.U.D.L	913 vert.U.D.L
7	463 vert.U.D.L	913 vert.U.D.L
8	463 vert.U.D.L	913 vert.U.D.L
<b>Ceiling ties</b>		
9	300 vert.U.D.L	300 vert.U.D.L
10	300 vert.U.D.L	300 vert.U.D.L
11	300 vert.U.D.L	300 vert.U.D.L
12	300 vert.U.D.L	300 vert.U.D.L

0.9 kN CONCENTRATED LOAD CONSIDERED ON ALL NODES AND BAYS (Load case 3 = man at centre of bay. Load case 4 = man at nodes.)

AXIAL FORCES IN MEMBERS (N)

(+ve is compression)

Member	Case 1	Case 2
2	3969	5867
4	3520	5204
5	3520	5204
7	3969	5867
9	-3520	-5204
10	-4172	-5819

7	3969	5867
9	-3520	-5204
10	-4132	-5815
11	-4132	-5815
12	-3520	-5204
13	-931	-931
14	686	686
15	-624	-624
16	686	686
17	-931	-931

18

MAX. MOMENTS IN RAFTERS AND CEILING TIES (MM)

	Case 1			Case 2		
	endl	mid-span	end2	endl	mid-span	end2
Rafters						
2	-67	150	-114	-133	296	-225
4	0	0	0	0	0	0
5	0	0	0	0	0	0
7	-114	150	-67	-225	296	-133
Ceiling ties						
9	0	95	-122	0	95	-122
10	-122	58	-85	-122	58	-85
11	-85	58	-122	-85	58	-122
12	-122	95	0	-122	95	0

STRESS FACTORS

MEM	LOAD CASE 1					LOAD CASE 2					LOAD CASE 3					LOAD CASE 4				
	EFFL	K12	AXL	BEN	TOTAL	EFFL	K12	AXL	BEN	TOTAL	EFFL	K12	AXL	BEN	TOTAL	EFFL	K12	AXL	BEN	TOTAL
2	783	0.520	0.23	0.23	0.46	783	0.472	0.30	0.36	0.66	783	0.428	0.21	0.51	0.72	783	0.428	0.33	0.30	0.63
4	708	0.575	0.21	0.00	0.21	708	0.531	0.27	0.00	0.27	708	0.489	0.21	0.39	0.60	708	0.489	0.29	0.00	0.29
5	708	0.575	0.21	0.00	0.21	708	0.531	0.27	0.00	0.27	708	0.489	0.21	0.39	0.60	708	0.489	0.29	0.00	0.29
7	783	0.520	0.23	0.23	0.46	783	0.472	0.30	0.36	0.66	783	0.428	0.21	0.51	0.72	783	0.428	0.33	0.30	0.63
9	0	0.000	0.19	0.27	0.46	0	0.000	0.23	0.22	0.44	0	0.000	0.21	0.56	0.76	0	0.000	0.22	0.18	0.40
10	0	0.000	0.22	0.27	0.49	0	0.000	0.25	0.22	0.47	0	0.000	0.25	0.46	0.71	0	0.000	0.26	0.18	0.44
11	0	0.000	0.22	0.27	0.49	0	0.000	0.25	0.22	0.47	0	0.000	0.25	0.46	0.71	0	0.000	0.26	0.18	0.44
12	0	0.000	0.19	0.27	0.46	0	0.000	0.23	0.22	0.44	0	0.000	0.21	0.56	0.76	0	0.000	0.22	0.18	0.40
13	0	0.000	0.07	0.00	0.07	0	0.000	0.05	0.00	0.05	0	0.000	0.00	0.00	0.00	0	0.000	0.07	0.00	0.07
14	1052	0.357	0.09	0.00	0.09	1052	0.309	0.08	0.00	0.08	0	0.000	0.00	0.00	0.00	1052	0.271	0.17	0.00	0.17
15	0	0.000	0.04	0.00	0.04	0	0.000	0.04	0.00	0.04	0	0.000	0.00	0.00	0.00	0	0.000	0.06	0.00	0.06
16	1052	0.357	0.09	0.00	0.09	1052	0.309	0.08	0.00	0.08	0	0.000	0.00	0.00	0.00	1052	0.271	0.17	0.00	0.17
17	0	0.000	0.07	0.00	0.07	0	0.000	0.05	0.00	0.05	0	0.000	0.00	0.00	0.00	0	0.000	0.07	0.00	0.07

OVERALL HEIGHT = 2258      OVERALL HEIGHT FROM C/TIE = 1961

TRUSSFACS PLATES (895268)      REF - NANGORE ROAD-TRUSS2

TRUSS TYPE - 9 94 SY      SPAN = 8250 mm      PITCH = 27.5 DEG. D/H = 570 & 570

JOINT	PLATE CODE	PLATE W * L	PLATE TYPE	PLATE ANGLE	SOP. S		MINIMUM NO. OF NAILS REQ'D	
					X	Y	WEBS L/R	CHORDS L/R
2	4004	102*102	BEV 805	0	CTR	CTR		42      42
3	3507	89*178	BEV 805	0	29	50	10      35	35
5	4006	102*152	BEV 805	0	76	67	11      9	13
6	3507	89*178	BEV 805	0	149	50	35      10	35
8	4004	102*102	BEV 805	0	CTR	CTR		42      42
10	2505	64*127	BEV 805	90	-9	78	8      10	11
11	1005	25*127	BEV 805	0	CTR	CTR		13      13
12	2505	64*127	BEV 805	90	72	78	10      8	11

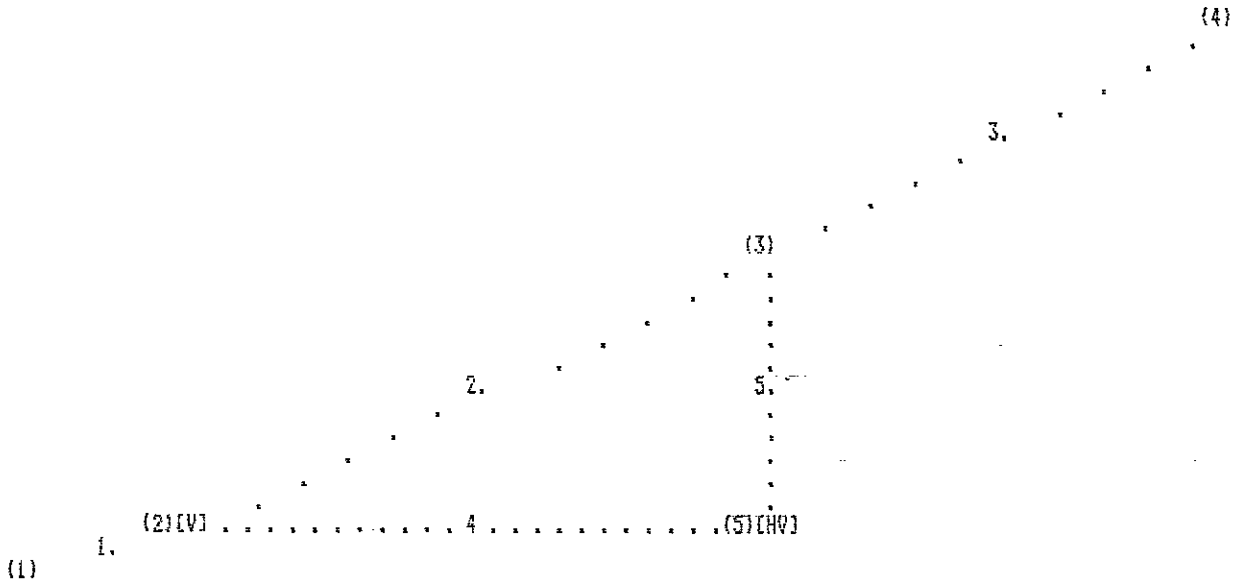
SPLICE PLATES  
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SPLICES MUST BE POSITIONED AS SHOWN

CHORD NO	PLATE CODE	PLATE W * L	PLATE TYPE	MEMBER	DIST
4	3507	89*178	BEV 805	11	521

NANGORTS.T15  
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TRUSSFACS DOHERTY TIMBER KILSHANE CROSS FINGLAS DUBLIN 11 TEL 01 342511



BEVPLATE TRUSSFACS (855268) VERSION 20.1 REF - NANGOR-ROAD-TRUSS3

TRUSS TYPE - 9      SPAN = 2325 MM      PITCH = 27.5 DEG.      O/H = 570 & 0  
ROOF LOADING - RAFTER L.T. 685 N/M2 (SLOPE) M.T. 750 N/M2 (PLAN) ; C/TIE L.T. 500 N/M2 (SLOPE) TOP O/H = 1800 & 0

SPACING = 600 MM      LOAD SHARING  
SIDWAYS BRACING TO RAFTERS AT 400 MM CRS

SUMMARY OF SIZES AND GRADES

SIZES - READING MEMBERS IN ORDER FROM LEFT

RAFTERS	112 X 34 SS
CEILING TIES	97 X 34 SS
WEBS	72 X 34 SS
TIES REQD	

TIMBER GRADES & STRESSES

GRADE	BEND	TENS	COMP	C.PEAP	SHEAR	E MEAN	E MIN
H75	6.6	4	8	1.8	1.02	9000	6000
SS	7.5	4.5	7.9	2.1	.82	10500	7000
	6.6	4	7.3	2.1	.82	9000	6000
	5.3	3.2	6.8	1.8	.82	9000	6000

4.6	4	7.3	2.1	.82	9000	6000
5.3	3.2	6.8	1.8	.82	9000	6000

CO-ORDINATES OF TRUSS NODES

Node	XX	YY
1	-570	-297
2	0	0
3	2325	1210
4	4125	2147
5	2325	0

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BENDING MOMENTS AND AXIAL FORCES CALCULATED USING THE SIMPLIFIED ANALYSIS AS DESCRIBED IN BS5268 PT.3

LOAD CASES & LOAD COMBINATIONS CONSIDERED

	Case 1	Case 2
Load duration factor	1	1.25
Load combination	1	1+2

REACTIONS (N)

	Case 1	Case 2
Node 2 vert.	1151	1931
Node 5 vert.	1408	2437

DEFLECTIONS (MM)

Node	1	2	3	4	5
Case 2 deflections	0.00	0.00	0.37	0.00	0.00

Maximum deflection on ceiling tie (node or centre of bay) = 5 mm

Maximum long term node deflection = 0 mm

LOADING APPLIED TO RAFTERS AND CEILING TIES (N/M)

	Case 1	Case 2
Rafters		
1	463 vert.U.D.L	913 vert.U.D.L
2	463 vert.U.D.L	913 vert.U.D.L
3	463 vert.U.D.L	913 vert.U.D.L
Ceiling ties		
4	300 vert.U.D.L	300 vert.U.D.L

0.9 kN CONCENTRATED LOAD CONSIDERED ON ALL NODES AND BAYS (Load case 3 = man at centre of bay. Load case 4 = man at nodes.)

AXIAL FORCES IN MEMBERS (N)

(+ve is compression)

Member	Case 1	Case 2
2	0	0
4	0	0
5	1059	2068

MAX.MOMENTS IN RAFTERS AND CEILING TIES (NM)

	Case 1			Case 2		
	end1	mid-span	end2	end1	mid-span	end2
Rafters						
2	-67	194	-168	-133	383	-332
Ceiling ties						
4	0	202	0	0	202	0

STRESS FACTORS

12



STRESS FACTORS

13

MEM	LOAD CASE 1					LOAD CASE 2					LOAD CASE 3					LOAD CASE 4					
	NO	EFFL	K12	AXL	BEN	TOTAL	EFFL	K12	AXL	BEN	TOTAL	EFFL	K12	AXL	BEN	TOTAL	EFFL	K12	AXL	BEN	TOTAL
	2	0	0.000	0.00	0.30	0.30	0	0.000	0.00	0.47	0.47	0	0.000	0.00	0.60	0.60	0	0.000	0.00	0.39	0.39
	4	0	0.000	0.00	0.45	0.45	0	0.000	0.00	0.36	0.36	0	0.000	0.00	0.88	0.88	0	0.000	0.00	0.30	0.30
	5	1089	0.339	0.15	0.00	0.15	1089	0.252	0.27	0.00	0.27	0	0.000	0.00	0.00	0.00	1089	0.255	0.34	0.00	0.34

14

15

OVERALL HEIGHT = 2571

OVERALL HEIGHT FROM C/TIE = 2274

TRUSSFACE PLATES (BS5268) REF - NANGOR ROAD - TRUSS3

TRUSS TYPE - 9 SPAN = 2325 mm PITCH = 27.5 DEG. D/H = 570 & 0

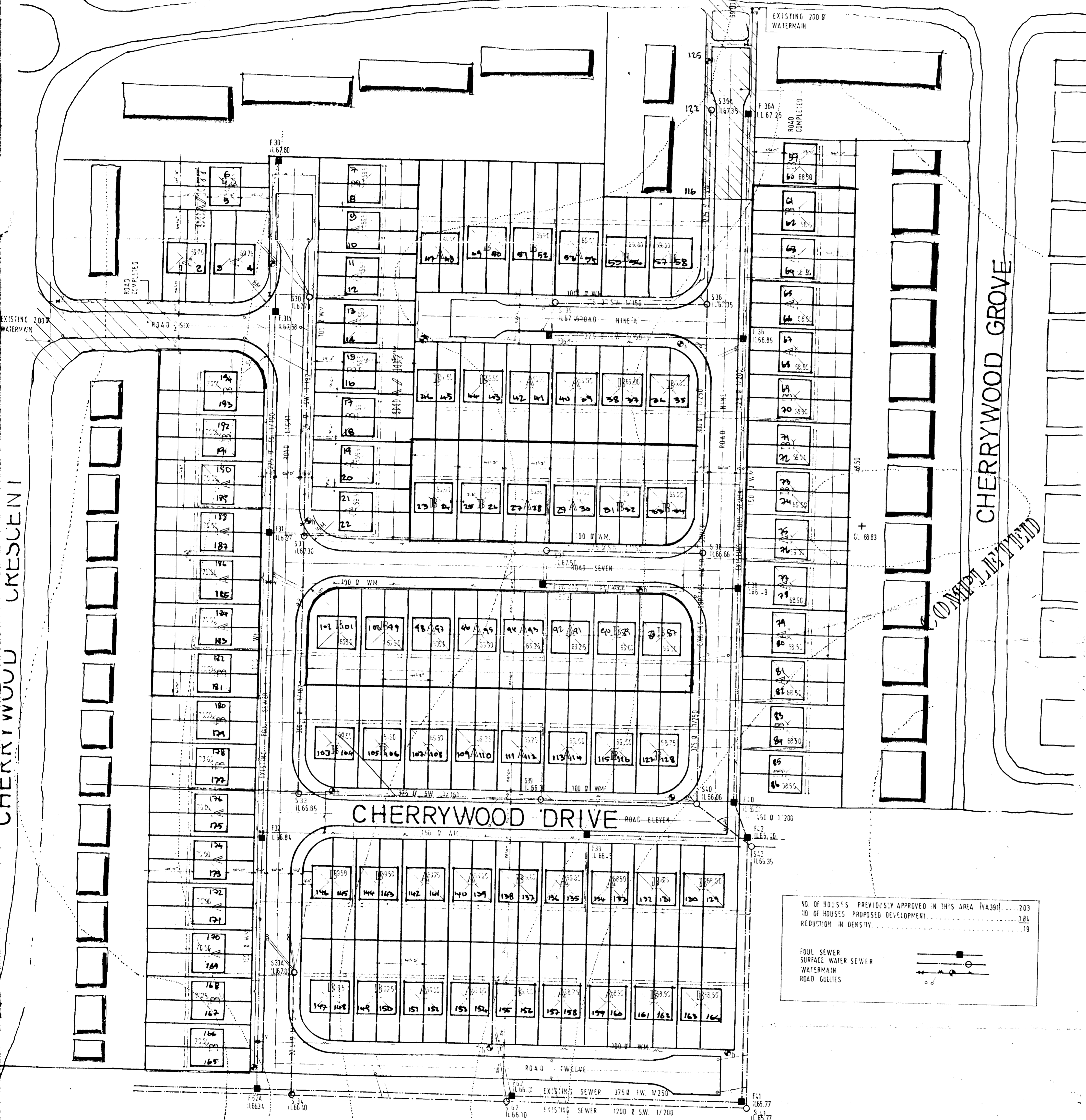
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					X	Y	WEBS LOR	CHORDS LOR
2	3004	76*102	BEV 805	0	CTR	CTR	10	10
3	2004	51*102	BEV 805	0	CTR	CTR	13	16
5	2004	51*102	BEV 805	0	CTR	CTR	18	18

SPLICE PLATES  
\*\*\*\*\*

SPLICES MUST BE POSITIONED AS SHOWN

CHORD NO	PLATE CODE	PLATE W * L	PLATE TYPE	MEMBER	DIST
1	3507	89*178	BEV 805	3	507

CHERRYWOOD VILLAS OLD NANGOR ROAD



NO OF HOUSES PREVIOUSLY APPROVED IN THIS AREA (VA391)	203
NO OF HOUSES PROPOSED DEVELOPMENT	186
REDUCTION IN DENSITY	19

FOUL SEWER  
SURFACE WATER SEWER  
WATERMAIN  
ROAD GULLIES

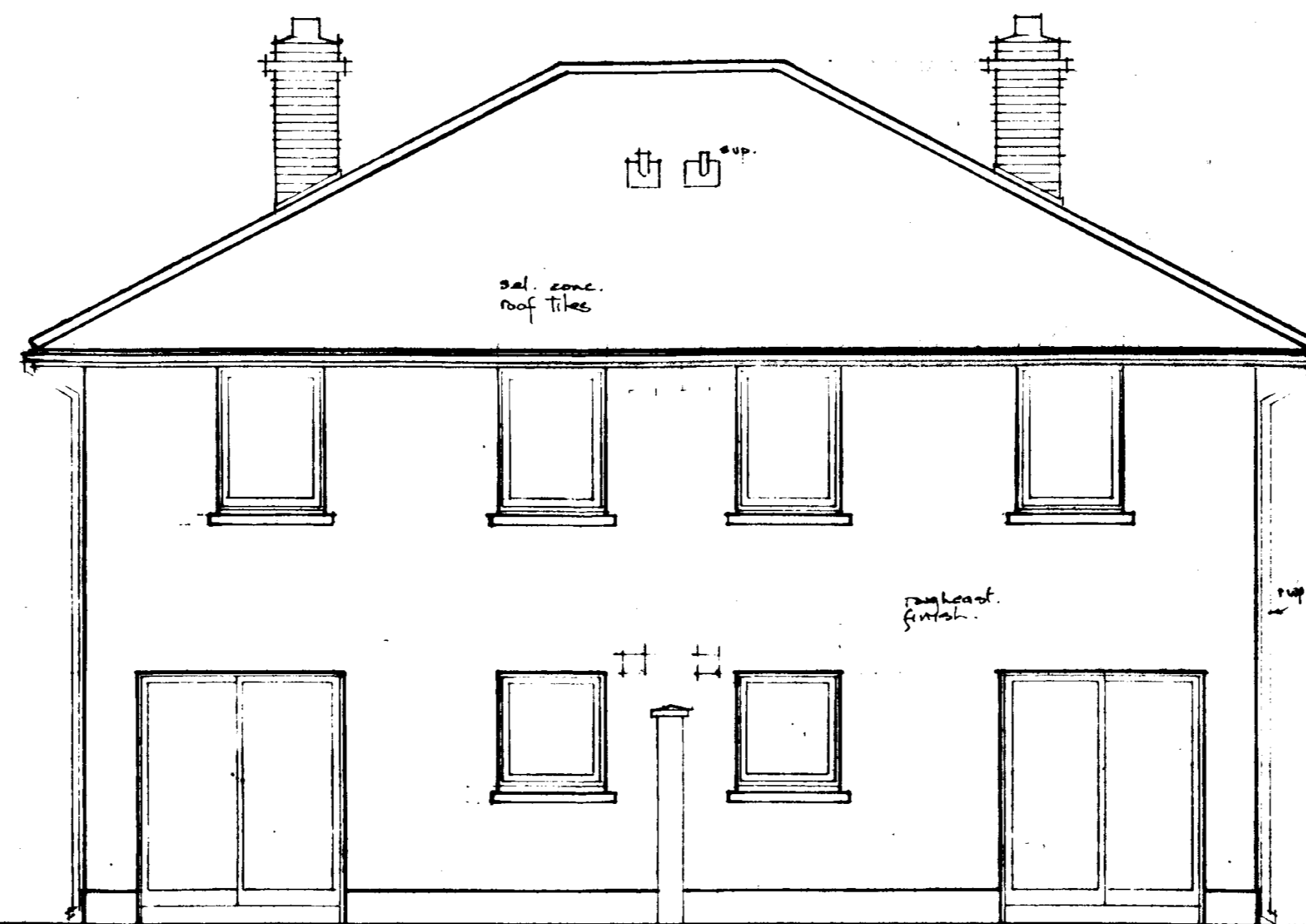
04 MAR 1991  
10 35

development  
Proposed development at  
Cherrywood Drive  
Old Nangor Road

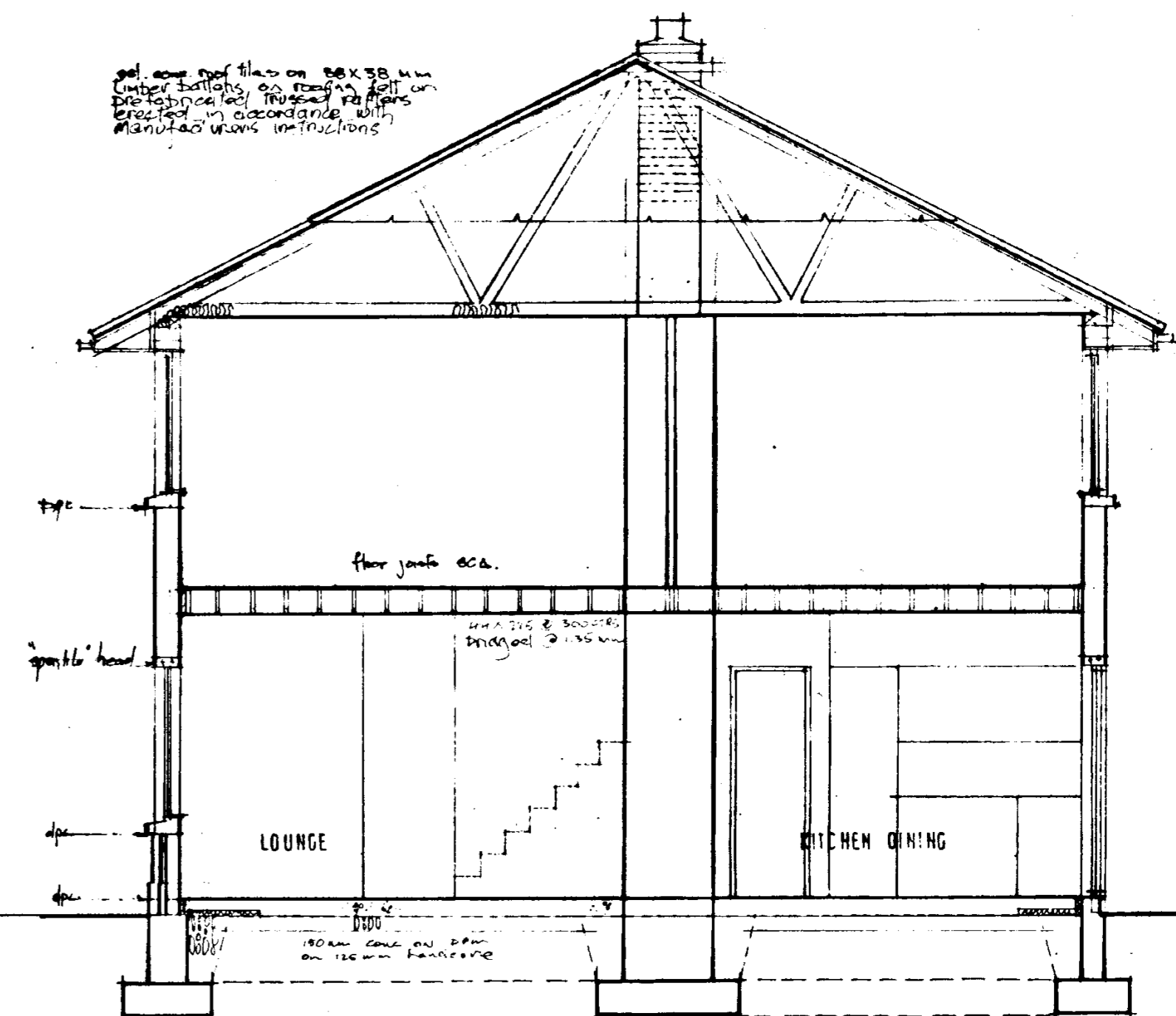
SCALE 1: 500	DATE 7/6/90
architect JOSEPH SHANNON DIP ARCH ROSEBORD MAUHLINGS NAAS, CO KILDARE TEL: 045-97409	drg no.



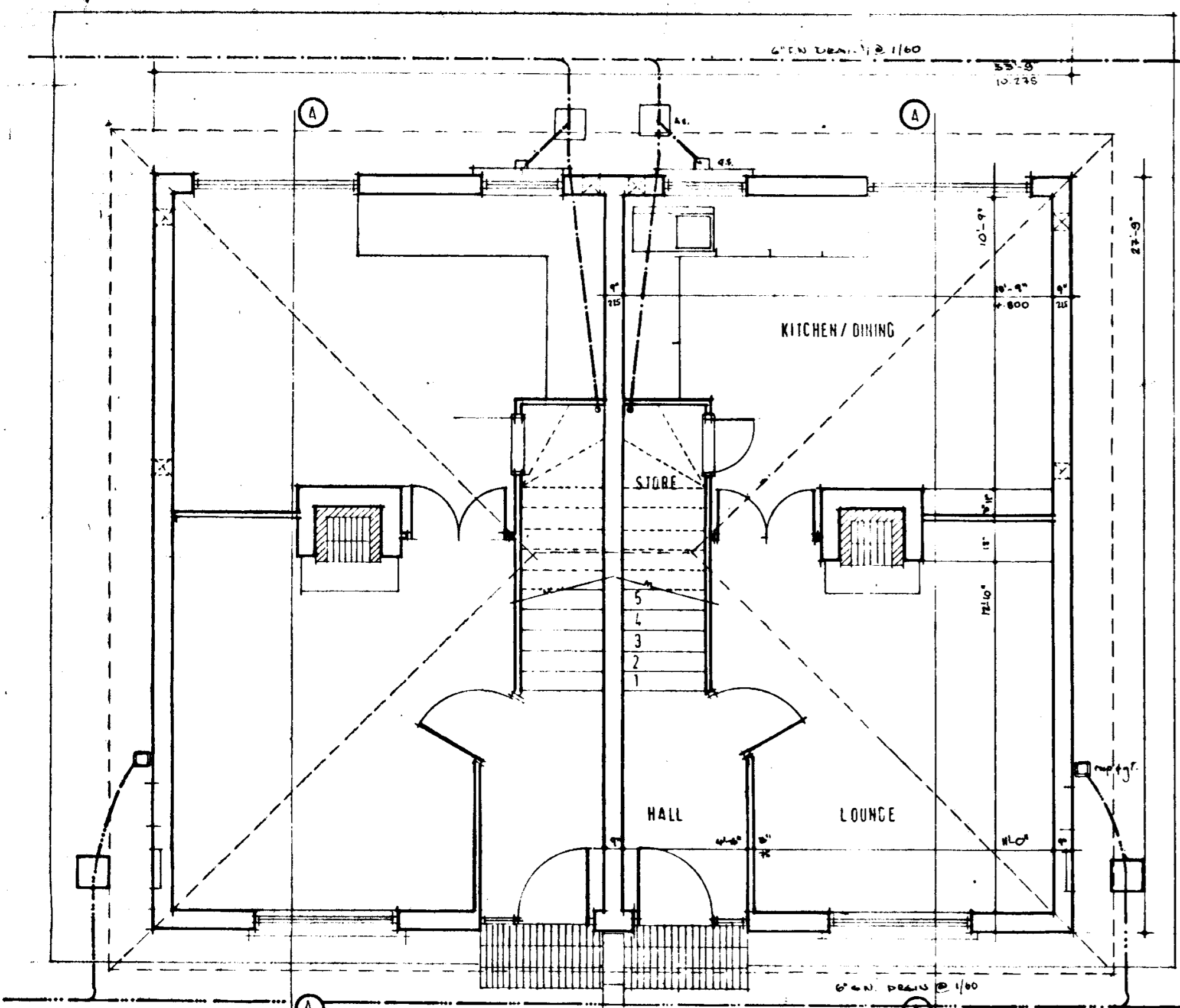
TYPE A  
FRONT ELEVATION



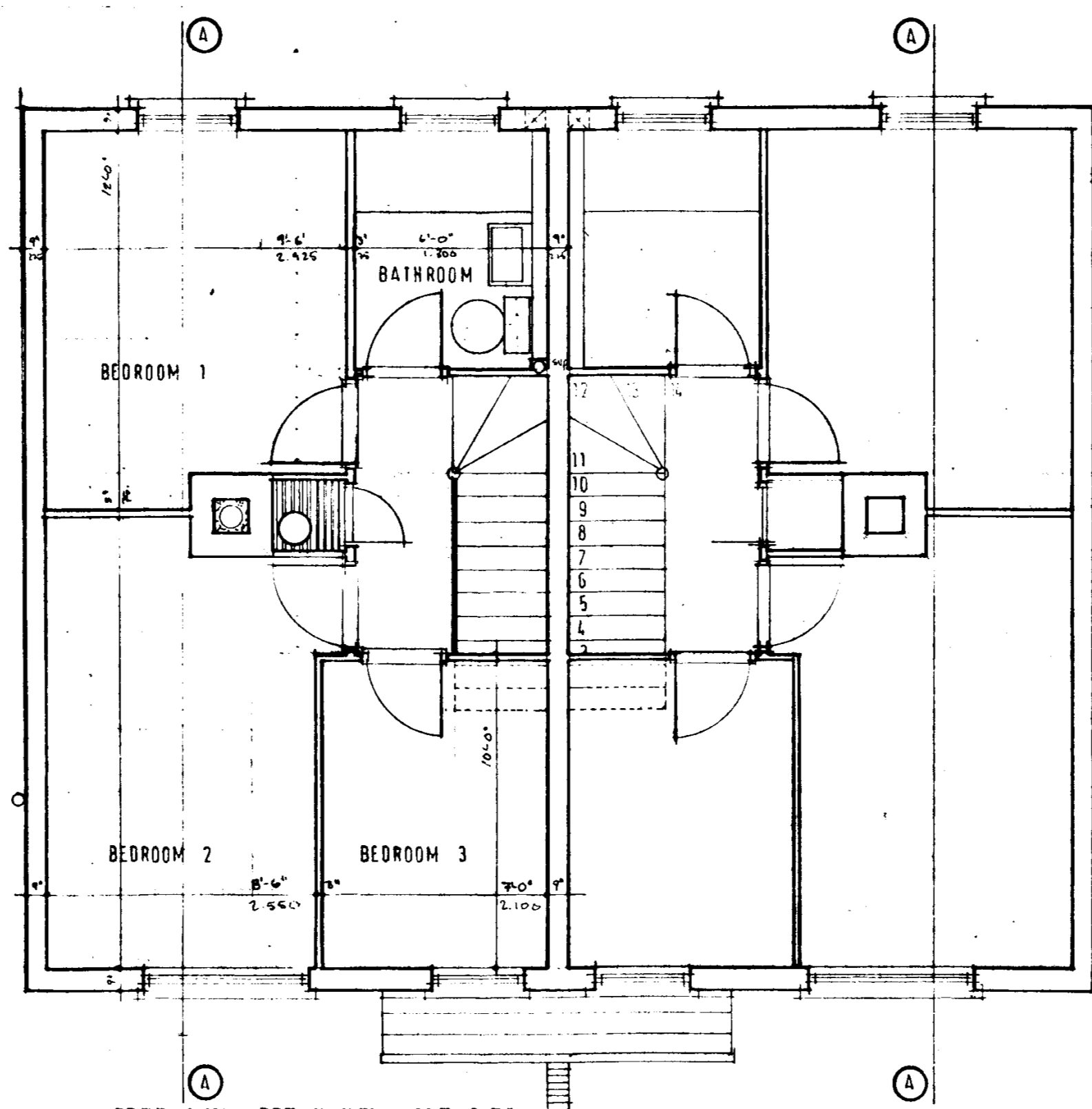
REAR ELEVATION



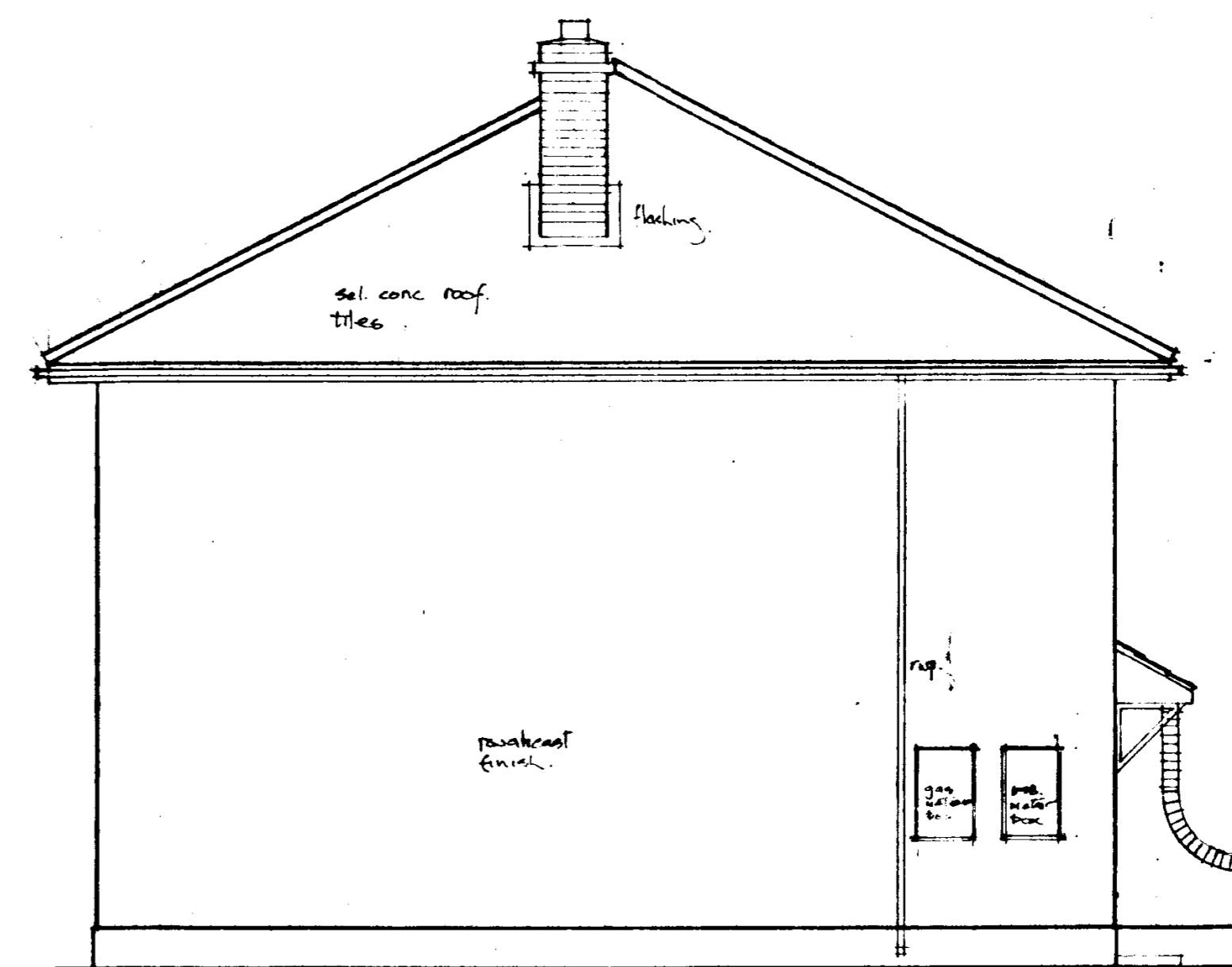
SECTION A-A



GROUND FLOOR PLAN



FIRST FLOOR PLAN



END ELEVATION

NOTE

GROSS FLOOR AREA	937 SQ FT
NET FLOOR AREA	827 SQ FT

04 MAR 1991  
91A/0275

three bed semi-detached	
Scale 1/50	date NOV 90
architect JOSEPH SHANNON DIP. ARCH ROSEBORO MAUDLINGS NAAS CO KILDARE 015/97409	drg co.