



Bosca 174,
P. O. Box 174,
5 Rae Gardnar,
5 Gardiner Row,
Baile Atha Cliath 1.
Dublin 1.
Telephone: (01) 727777
Fax: (01) 725782

Mr. D. Drumgoole,
Senior Administrative Officer,
Planning Department.

Our Ref.

Your Ref.

Date 14.01.1992

RE/ Residential Development at Barton Drive, Rathfarnham.
Reg. Ref. 91A/262.

In relation to Condition No. 5 of the grant of permission by An Bord Pleanala, a financial contribution of £1,000 per site should be sought towards expenditure incurred by the Council in the provision of public open space in the surrounding area.

SENIOR PARKS SUPERINTENDENT

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 16. 01. 92
Time 11. 00

Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Rd.

REG. REF. 91A/262

(1) Date Lodged

LOCATION:

28-2-'91

APPLICANT:

John J. McDonald Ltd

A-I

PROPOSAL:

Demolition of existing dwelling and erection of 7 houses.

(2) Date Referred:

DUBLIN Co. COUNCIL

(3) Rec'd San. Ser. 19 JUL 1991

DUBLIN Co. COUNCIL SANITARY SERVICES

(4) Disposal San. Services. - 9 AUG 1991

Returned

(5) Date to Planning

(6) Date to Planner

(7) D.P.O. report to be submitted before

(8) D.P.O. report submitted to S.A.O.:

Available - levels permitting.

PLANNING DEPT. DEVELOPMENT CONTROL SECT Date 13.08.1991 Time

Available - levels permitting.

O'Sullivan 6/8/91.

(9) Decision due:

ENDORSED

DATE

PLANNING DEPARTMENT

BOOK FOLIO

1) Date Lodged
28-2-91

LOCATION: Nos. 1+2 Barton Avenue and adjoining lands on Grange Road
APPLICANT: John J. McDonald Ltd.
PROPOSAL: rendition of existing dwelling and erection of 7 houses.

REG. REF. 91A/262

WATER SUPPLY

PLANNING DEPT.
DEVELOPMENT CONTROL SEC.
Date 13.08.1991
Time

Available
R. Scullive
24/7/91
Peter A/EE
25/7/91

ENDORSED: Mon curran
A/SC

DATE 7-8-91

James

Charles

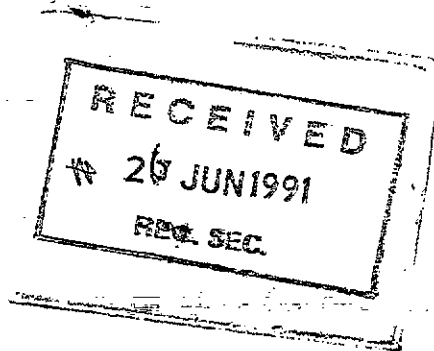
DOLAN and DONNELLY

A R C H I T E C T S

33 Lower Leeson Street Dublin 2. Telephone 763080 Fax 763174

25 June 1991

Building Control
Dublin County Council
Block 2 Irish Life Center
Lower Abbey Street
Dublin 1



91A/0262

1.8.0.1

A.I. for BBL

Attn: JOHN O'DONNELL

**TIME EXTENSION/ADDITIONAL INFORMATION FOR BBL REG REF: 91A/262,
PROPOSED 7 NO. 4 BEDROOM HOUSES AT NOS. 1 AND 2, BARTON AVE AND
ADJOINING LANDS ON GRANGE ROAD, RATHFARNHAM.**

Dear Sirs

Further to your letter of 29/5/91 please note the following:

Notification of Decision to Grant Permission has been issued
(P/1920/91,6/5/91).

Condition no. 5 of the notice requires house no. 7 to be deleted
from the layout. Drawing nos. A02, A03, A04, and A05 have been
revised accordingly and are enclosed.

1. a) Foundations and rising walls to be as per additional notes
on drg. no. A05.
b) First floor construction to be as per additional notes on
drg. no. A05.
c) An insitu purlin and rafter roof will not be used. Please
note revised section on drg. no. A05 and attached copy of
prefabricated truss design and calculations by W & S Timber
Components Ltd.
d) Following the deletion of house no. 7 none of the houses
now include a garage. Roof construction over the bay window
area is as per notes on drg. A05.
2. There are existing connections for both foul and surface water
drainage from the location of the proposed last manholes (F10, S6)
to existing public drains on Grange Road (See revised drawing A02).
These were installed by Dublin County Council about 5 years ago
when Grange Road was widened. Work was undertaken in lieu of
payment for a strip of land ceded by the developer. I have
discussed the matter with the Sanitary Services Department and

26/6

cont-

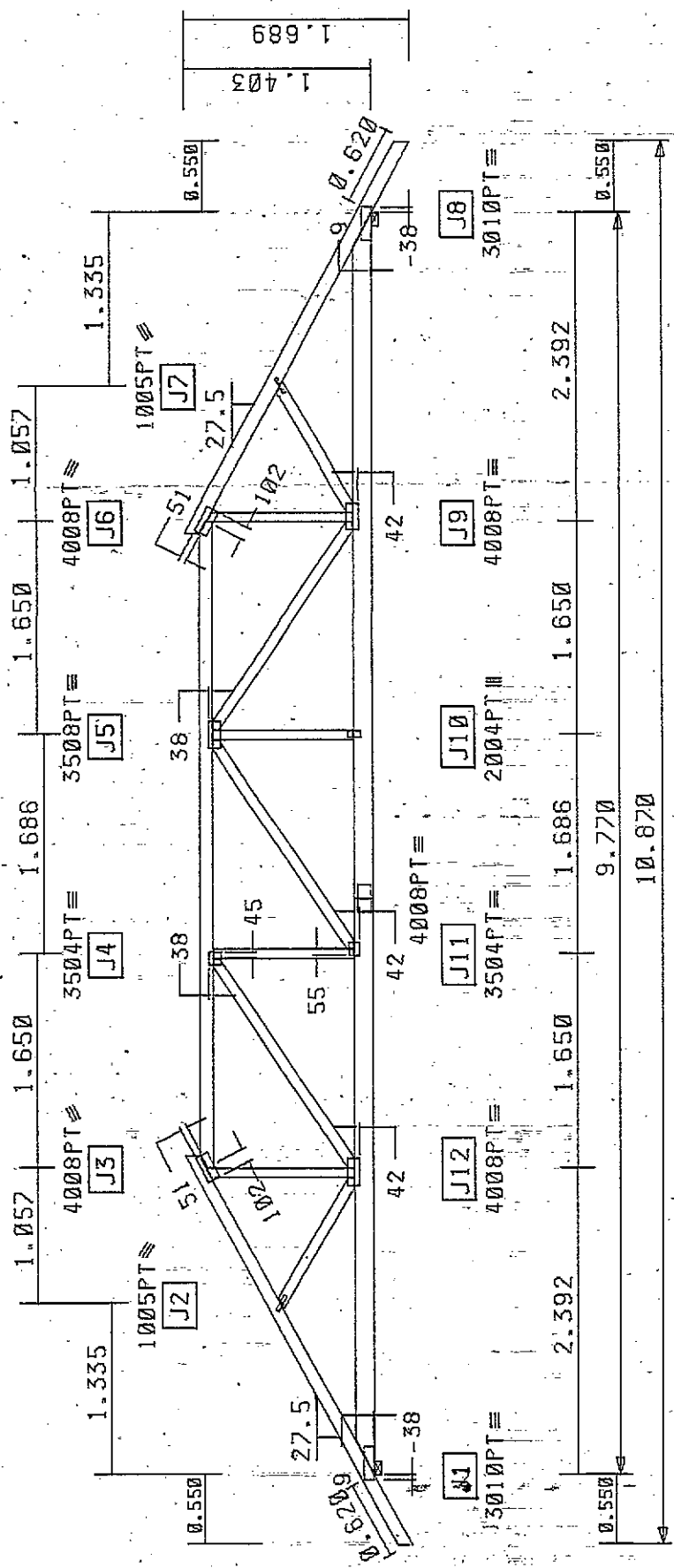
agreed to arrange a meeting on site with Mr Paddy O'Brien of Dublin County Council to verify that the installation is satisfactory. Please note that the interceptor trap (drg. A05) has been omitted in line with current practice.

3. Ventilation shall be as per section 10 of the specification See revised drawing A03.

Yours sincerely



CHARLIE DONNELLY B ARCH MRIA



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Top chord 34X 97 SS
 Bottom chord 34X 145 SS
 Webs 34X 72 SS
 Ply of truss = 3

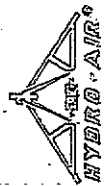
1265A © Hydro-Air International(UK)Ltd 1991

Reference: 13 Sequence 3 of 0 Plot 1
 NTRUSS V1.28d 26-APR-1991 14:58 User: F1381

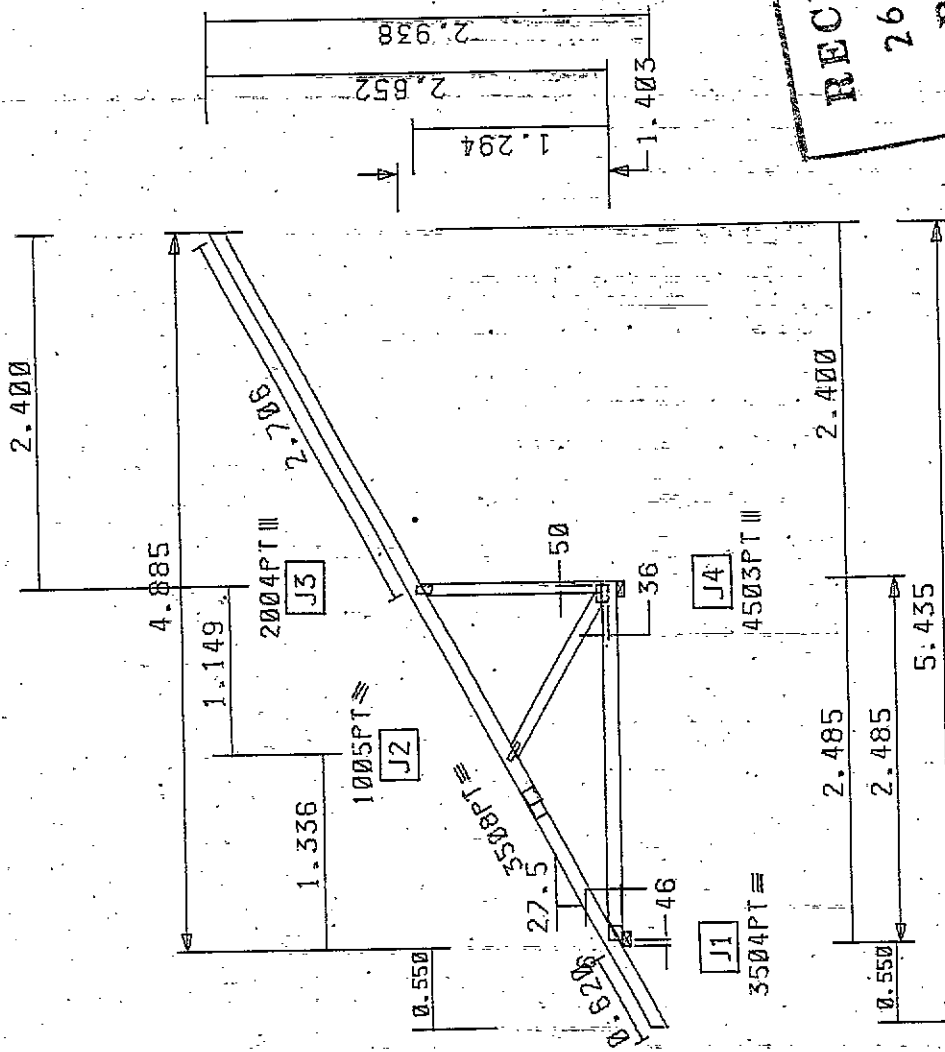
Scale 1:50

Job name: JOHN McDONALD LTD

© W & S TIMBER COMPONENTS LTD



Drawing to be read in conjunction with design output.



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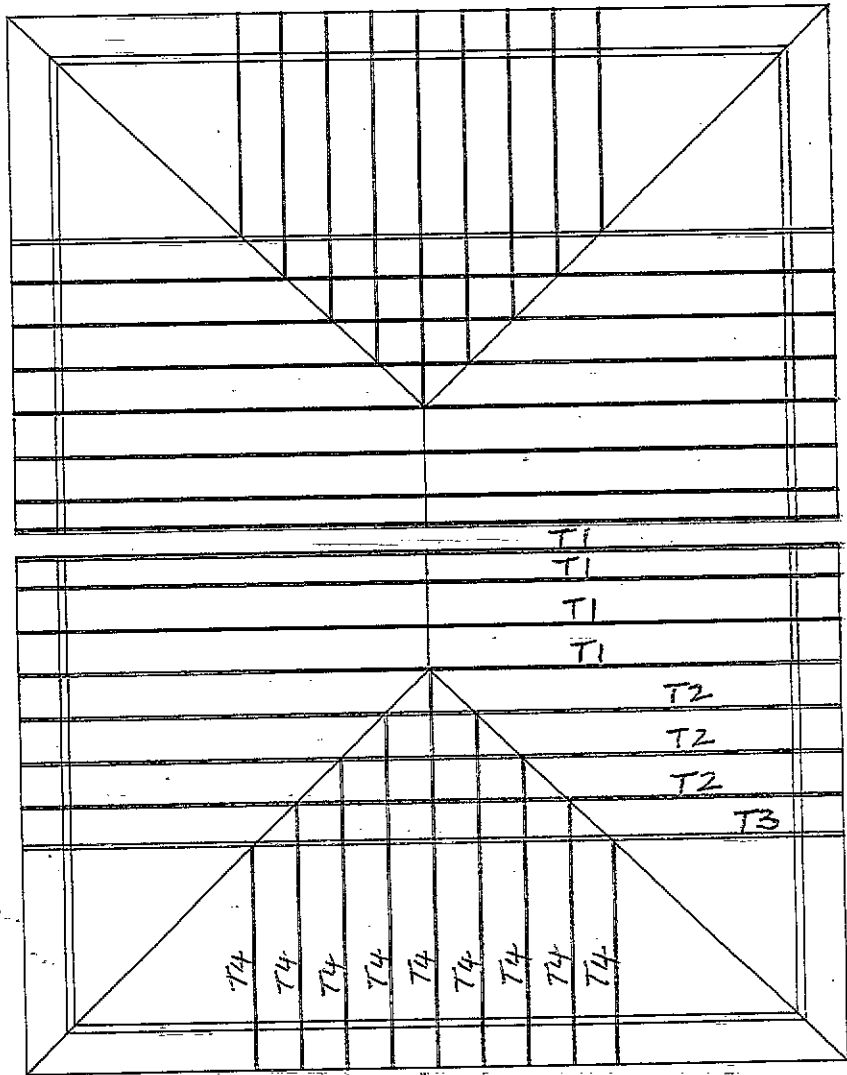
Top chord 34X 97 SS
Bottom chord 34X 97 SS
Right vert. 34X 72 SS
Webs 34X 72 SS

420 © Hydro-Air International(UK)Ltd 1991
Reference: T4 Sequence 4 of 0 Plot 1
NTRUSS V1.28d 26-APR-1991 14:58 User: F1381
Scale 1:50



Job name: JOHN McDONALD, LTD.
© W & S TIMBER COMPONENTS LTD

Drawing to be read in conjunction with design output.

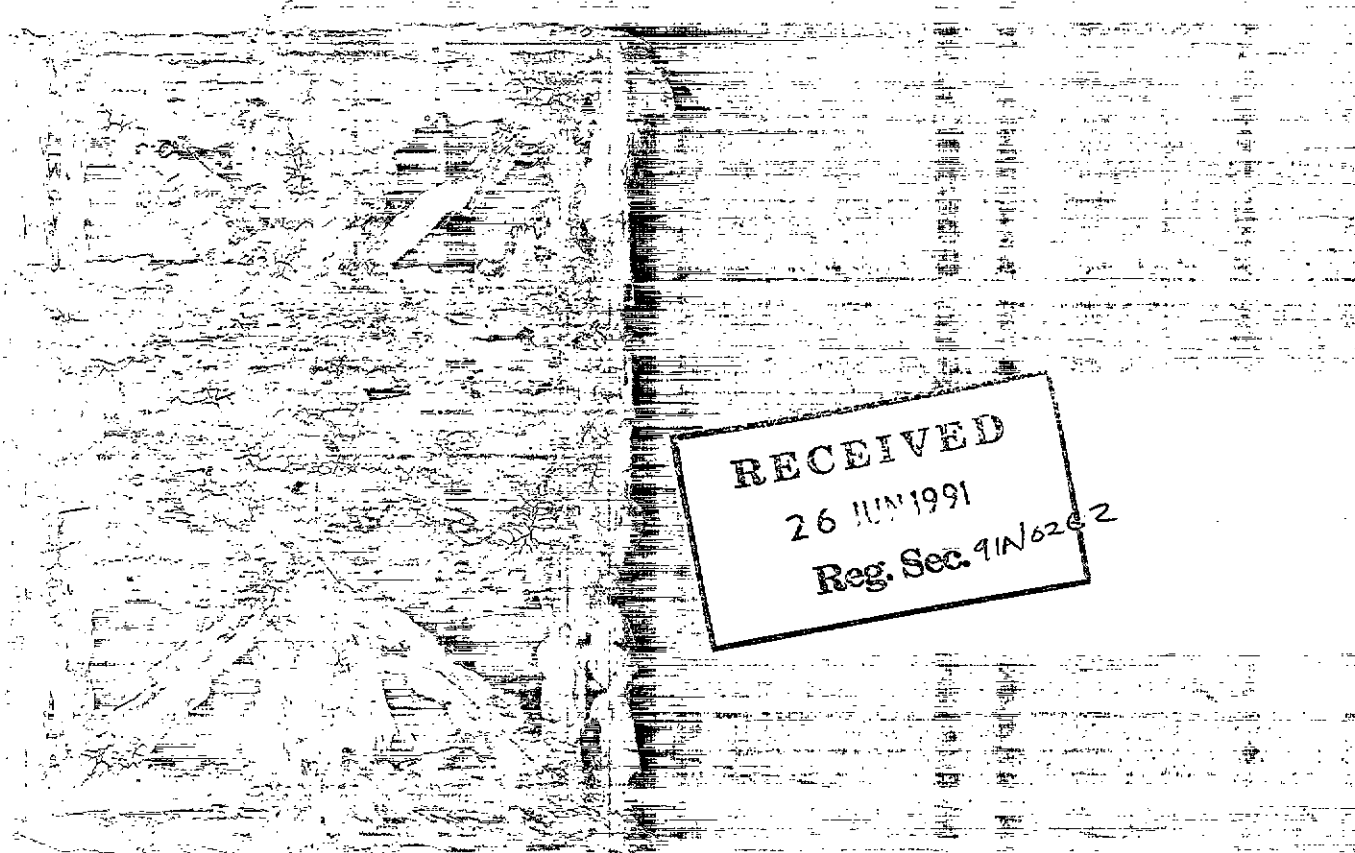


PROJECT : HOUSING AT BARTON AVE.

CONTOUR

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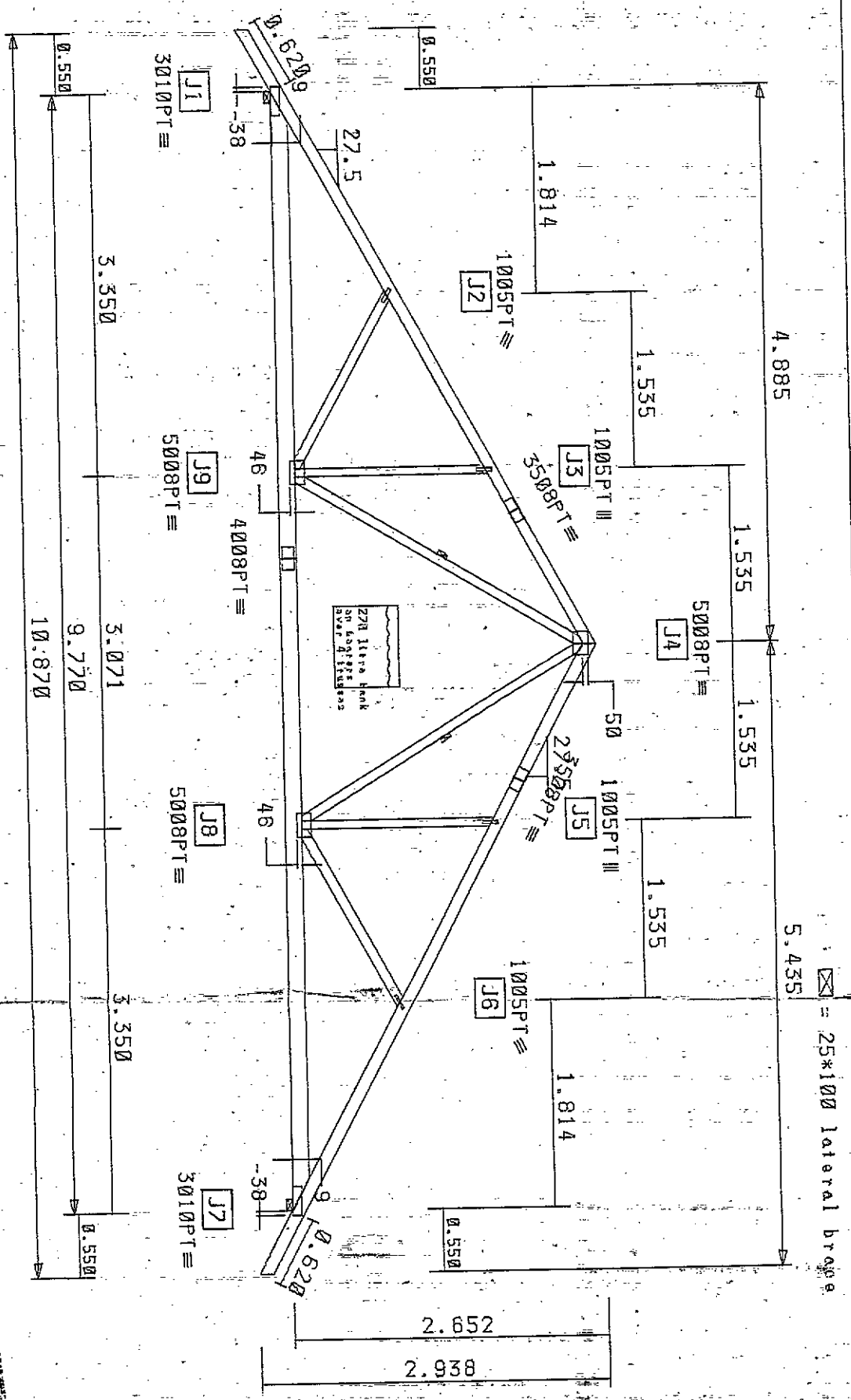
V2.0



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Reg. Sec. 91N/0202

DRAWING TITLE : ROOF TRUSS LAYOUT

DATE : 26/04/91



900

Hydro-Air International(UK)Ltd 1991

References: T1 Sequence 1 of 0 Plot 1

NTRUSS V1.28d 26-APR-1991 14:58 User: F1381

Scale 1:50

Job name: JOHN McDONALD LTD.

W & S TIMBER COMPONENTS LTD



Top chord,	54X 97 SS
Bottom chord,	34X145 SS
Webbs	34X 72 SS

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26 11/1991

Reg. Sec. 9/1/82

Drawing to be read in conjunction with design output.

Plating

Joint No.	Connector Type	Location X (mm) Y	Member Ref.	Teeth		Angles (deg)	
				Req	Pro	LTN	LTG
J 8	1	3510PT	Central	B 7	95 (108)	28	0
				B 8	108 (113)	28	28
				Shear length (mm)	159 (193)	Angle = 27	
J 9	7	3508PT	42	B 8/9	14 (79)	23	23
				W 7	23 (25)	33	0
				W 8	25 (27)	90	0
				W 9	13 (25)	90	90
				Shear length (mm)	21 (203)	Angle = 0	
J 10	4	1005PT	Central	B 9/10	13 (17)	90	90
				W 6	13 (17)	90	90
				Shear length (mm)	17 (25)	Angle = 90	
J 11	5	3504PT	50	B 10/11	13 (40)	90	90
				W 4 SC	13 (18)	90	90
				W 5 DC	13 (19)	90	90
				Shear length (mm)	17 (102)	Angle = 0	
J 12	7	3508PT	42	B 11/12	14 (79)	23	23
				W 1	13 (25)	90	90
				W 2	25 (27)	90	0
				W 3	23 (25)	33	0
				Shear length (mm)	21 (203)	Angle = 0	
SPICES							
C 10	30	5008PT	Central	B 10	88 (141)	0	0
				Width required (mm)	104 (127)	Angle = 0	

Plating notes:

1. Splices located between 10% and 25% of panel length from joint.
2. Plate location tolerance of 5 mm used.
3. The following 2 joints exceed the maximum press reach of 275 mm.
 J9, J12

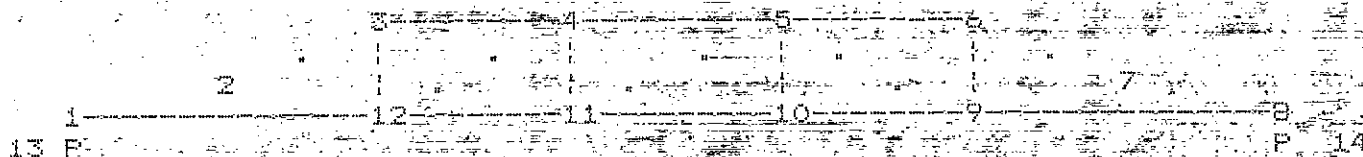
*** Hydro-Air International (UK) Ltd ***
Job name: JOHN McDONALD LTD.
NTRUSS version VI.28d

Reference: JS
Sequence 3 of
26 JUN 1991 14:58 Page 51

Run remotely by: F1381
W & S TIMBER COMPONENTS LTD
EAST ROAD INDUSTRIAL COMPLEX
DUBLIN 3
EIRE
Ph. 746623, 746540, Fax 365783

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Reg. Sec. 91A/262

Truss description



Truss input (Userfile = USERDATA.138 / Checksum 304711) :-

1: E, B, T3, 3, , , JOHN McDONALD LTD. 279.770, 27.5
 3: 1265A, , , , 2.485, 2.485, 1, 2, 3 4: 15 5: 550, 550 6: 97 7: 145 8: 72
 9: BD, FH, 0
 Base exceptions: SI, PB, BE, 60, FF, FR, SM, AS, ED, 112, 3, 220, 5, ET, 35, 1, 44, 3, N3, 185

Truss type : 1265A

Span = 9.770 m Spacing = 0.600 m
 Top left pitch = 27.500 deg Top right pitch = 27.500 deg
 Transport height = 1.689 m Transport length = 10.870 m
 Overall height = 1.294 m

End details:

Top chord left overhang (unsupported) = 0.550 m plumb cut.
 Top chord right overhang (unsupported) = 0.550 m plumb cut.

Criteria and modifications:

Length of sloping section = 2.485 m

Joint coordinates Member layout

Jnt	Type	X	Y	Mem	Length	Pitch	Web	Length	Pitch
J 1	1	0.000	0.000	T 1	1.196	1.348	27.50	1.348	29.19
J 2	4	1.196	0.623	T 2	1.196	1.348	27.50	1.245	90.00
J 3	48	2.392	1.245	T 3	1.650	1.650	0.00	2.067	33.09
J 4	5	4.042	1.245	T 4	1.686	1.686	0.00	1.245	90.00
J 5	7	5.728	1.245	T 5	1.650	1.650	0.00	2.096	33.09
J 6	48	7.378	1.245	T 6	1.196	1.348	-27.50	1.245	90.00
J 7	4	8.574	0.623	T 7	1.196	1.348	-27.50	2.067	33.09
J 8	1	9.770	0.000	B 8	2.392	2.392	0.00	1.245	90.00
J 9	7	7.378	0.000	B 9	1.650	1.650	0.00	1.348	29.19
J10	4	5.728	0.000	B10	1.686	1.686	0.00		
J11	5	4.042	0.000	B11	1.650	1.650	0.00		
J12	7	2.392	0.000	B12	2.392	2.392	0.00		
J13	20	-0.550	-0.286	022	0.550	0.620	27.50		
J14	20	10.320	-0.286	023	0.550	0.620	-27.50		

Loading

Top chord:

Top dead [TD] = 0.585 kN/m² (slope)
 Snow [SL,SR] = 0.750 kN/m² (plan)

Bottom chord:

Bottom dead [BD] = 0.250 kN/m² (slope)
 Imposed [BL] = 0.250 kN/m² (slope)
 Man load [ML] = 0.900 kN (vert)

Additional Uniform loads:

T3,T4,T5 [U1] = -0.772 kN/m² (vert)
 B8,B12 [U1] = 0.785 kN/m² (vert)
 B9,B10,B11 [U1] = 3.157 kN/m² (vert)
 T3,T4,T5 [U2] = -0.750 kN/m² (vert)
 B9,B10,B11 [U2] = 3.303 kN/m² (vert)

Additional point loads:

J3,J8 [C1] = 2.331 kN (vert)
 J3,J6 [C2] = 2.264 kN (vert)

Load cases considered:

- Case 1 : TD+BD+BL+U1+C1 : Long term
- Case 2 : TD+BD+BL+SL+SR+U1+U2+C1+C2 : Medium term
- Case 3 : TD+BD+BL+SL+SR+ML+U1+U2+C1+C2 : Short term

Design results

Summary of analysis

Mem	Summ	Moment (kNm)	Force (kN)	Load Case	Mem	Summ	Moment (kNm)	Force (kN)	Load Case
T1	1.462	0.082	-34.803	2-MED	T2	1.416	0.082	-33.620	2-MED
T3	1.225	0.000	-29.821	2-MED	T4	1.570	0.000	-37.725	2-MED
T5	-1.225	0.000	-29.822	2-MED	T6	1.416	0.082	-33.621	2-MED
T7	-1.462	0.082	-34.803	2-MED	B8	1.209	0.366	30.871	2-MED
B9	1.749	0.808	37.725	2-MED	B10	1.776	0.844	37.725	2-MED
B11	1.749	0.808	37.725	2-MED	B12	1.209	0.366	30.871	2-MED

Jnt	Summ	Moment (kNm)	Force (kN)	Load Case	Jnt	Summ	Moment (kNm)	Force (kN)	Load Case
J2	1.339	0.163	-34.803	2-MED	J4	1.191	0.000	-37.725	2-MED
J5	1.191	0.000	-37.725	2-MED	J7	1.339	0.163	-34.803	2-MED
J9	2.056	1.217	37.725	2-MED	J10	2.096	1.270	37.725	2-MED
J11	2.096	1.270	37.725	2-MED	J12	2.056	1.217	37.725	2-MED

Timber

Top chord 34 x 97 SS Red/White Wood
 Bottom chord 34 x 145 SS Red/White Wood
 Webs 34 x 72 SS Red/White Wood

Maximum summations: Top (Bay 4 = 1.570, Node 2 = 1.339)
 Bot (Bay 10 = 1.776, Node 11 = 2.096)

 * 3 Trusses must be securely fastened together to act as one unit *
 * loadings must be distributed over each component truss *

Maximum reactions (kN); Vertical:

J1, LC 3 = -17.539, J8, LC 3 = -17.539

Reactions for all load cases (kN)

LC 1: J 1 = -10.754, J 8 = -10.754
 LC 2: J 1 = -17.539, J 8 = -17.539
 LC 3: J 1 = -17.539, J 8 = -17.539

Minimum bearing lengths (mm)

J 1 = 100, J 8 = 100

Deflection, load case 2 Joint 10 = 13.2 mm

Design notes:

1. It is the responsibility of the truss fabricator to ensure that the dimensions, pitch, loadings and other design considerations comply with customer requirements.
2. Load sharing factor of 1.1 used.
3. Angle of supported load on flat top chords = 27.5 deg.
4. Top chords must be restrained by tilting battens or bracing at centres not exceeding 400 mm.
5. This is a girder truss.
6. Maximum span of supported trusses = 2.485 m.

Plating

Joint No.	Connector Type	Plate	Location		Member Ref.	Teeth		Angles (deg)	
			X (mm)	Y		Req	Pro	LTN	LTG
J 1	1	3010PT	39	9	T 1	80 (94)	27	0	
		Rotated			W 2	88 (95)	27	28	
			Shear length (mm)			144 (167)	Angle = 26		
J 2	4	1005PT	Central		T 1/2	13 (16)	90	90	
		Parallel to web W 1			W 1	13 (16)	90	90	
			Shear length (mm)			10 (30)	Angle = 56		
J 3	48	4008PT	102	51	T 2	65 (96)	0	0	
		Parallel to chord T 2			T 3	66 (75)	28	0	
		Handling block			W 2	27 (38)	62	0	
			Shear length (mm)			130 (92)	Angle = 0		
J 4	5	3504PT	45	38	T 3/4	17 (35)	4	4	
		Parallel to chord T 3			W 4 SC	16 (17)	90	0	
					W 3 DC	23 (23)	33	0	
			Shear length (mm)			32 (102)	Angle = 0		
J 5	7	3508PT	38		T 4/5	17 (69)	4	4	
		Parallel to chord T 4			W 5	13 (27)	90	90	
					W 6	16 (30)	90	0	
					W 7	23 (27)	33	0	
			Shear length (mm)			32 (203)	Angle = 0		
J 6	48	4008PT	102	51	T 6	65 (96)	0	0	
		Parallel to chord T 6			T 5	66 (75)	28	0	
		Handling block			W 8	27 (38)	62	0	
			Shear length (mm)			130 (92)	Angle = 0		
J 7	4	1005PT	Central		T 6/7	13 (16)	90	90	
		Parallel to web W 9			W 9	13 (16)	90	90	
			Shear length (mm)			10 (30)	Angle = 56		

Plating

Joint No.	Connector Type	Plate	Location		Member Ref.	Teeth		Angles (deg)	
			X (mm)	Y		Req	Pro	LTN	LTG
J 8	1	3010PT	39	9	T 7	80	(94)	27	0
		Rotated			B 8	88	(95)	27	28
			Shear length (mm)			144	(169)	Angle = 26	
J 9	7	4008PT	42		B 8/9	21	(79)	31	31
		Parallel to chord B 8			W 7	23	(31)	33	0
					W 8	27	(37)	90	0
					W 9	13	(30)	90	90
			Shear length (mm)			28	(203)	Angle = 0	
J 10	4	2004PT		Central	B 9/10	17	(26)	0	90
		Parallel to web W 6			W 6	13	(25)	90	90
			Shear length (mm)			19	(51)	Angle = 90	
J 11	5	3504PT	55	42	B 10/11	19	(40)	90	90
		Parallel to chord B 10			W 4 SC	16	(20)	90	0
					W 5 DC	13	(16)	90	90
			Shear length (mm)			17	(102)	Angle = 0	
J 12	7	4008PT	42		B 11/12	21	(79)	31	31
		Parallel to chord B 11			W 1	13	(30)	90	90
					W 2	27	(37)	90	0
					W 3	23	(31)	33	0
			Shear length (mm)			28	(203)	Angle = 0	

SPLICES

C 10	30	4008PT	Central	B 10	85	(115)	0	0
			Width required (mm)			101	(102)	Angle = 0

Plating notes:

1. Splices located between 10% and 25% of panel length from joint.
2. Plate location tolerance of 5 mm used.
3. The following 2 joints exceed the maximum press reach of 275 mm.
J 9, J 12

*** Hydro-Air International(UK)Ltd *** Reference: T4
Job name: JOHN McDONALD LTD. Sequence: 4 of
NTRUSS version V1.28d 26-APR-1991 14:58 Page 51

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EAST ROAD INDUSTRIAL COMPLEX
DUBLIN 3
EIRE
Ph. 746623, 746540, Fax 365783

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Reg. Sec. 9/A/6242

Joint Type	X	Y	Member Length	Length	Pitch	Web Length	Pitch
J 1	0.000	0.000	1.1	1.242	1.401	27.50	1.401
J 2	1.242	0.647	1.2	1.242	1.401	27.50	1.401
J 3	2.485	1.294	1.2	1.294	1.401	27.50	1.401
J 4	3.728	1.941	1.2	1.294	1.401	27.50	1.401
J 5	4.971	2.588	1.2	1.294	1.401	27.50	1.401
J 6	6.214	3.235	1.2	1.294	1.401	27.50	1.401
J 7	7.457	3.882	1.2	1.294	1.401	27.50	1.401
J 8	8.700	4.529	1.2	1.294	1.401	27.50	1.401
J 9	9.943	5.176	1.2	1.294	1.401	27.50	1.401
J 10	11.186	5.823	1.2	1.294	1.401	27.50	1.401

Panel Membr. Member layout

Joint coordinates

Member layout

Top chord left overhang (unsupported) = 0.550 m plumb cut.

Top chord right overhang (plotted) = 2.400 m plumb cut.

End details

Right overall end height = 1.403 m

Overall height = 1.403 m

Transport height = 2.939 m

Transport length = 5.435 m

Top chord pitch = 27.500 deg

Span = 2.485 m

Spacing = 0.600 m

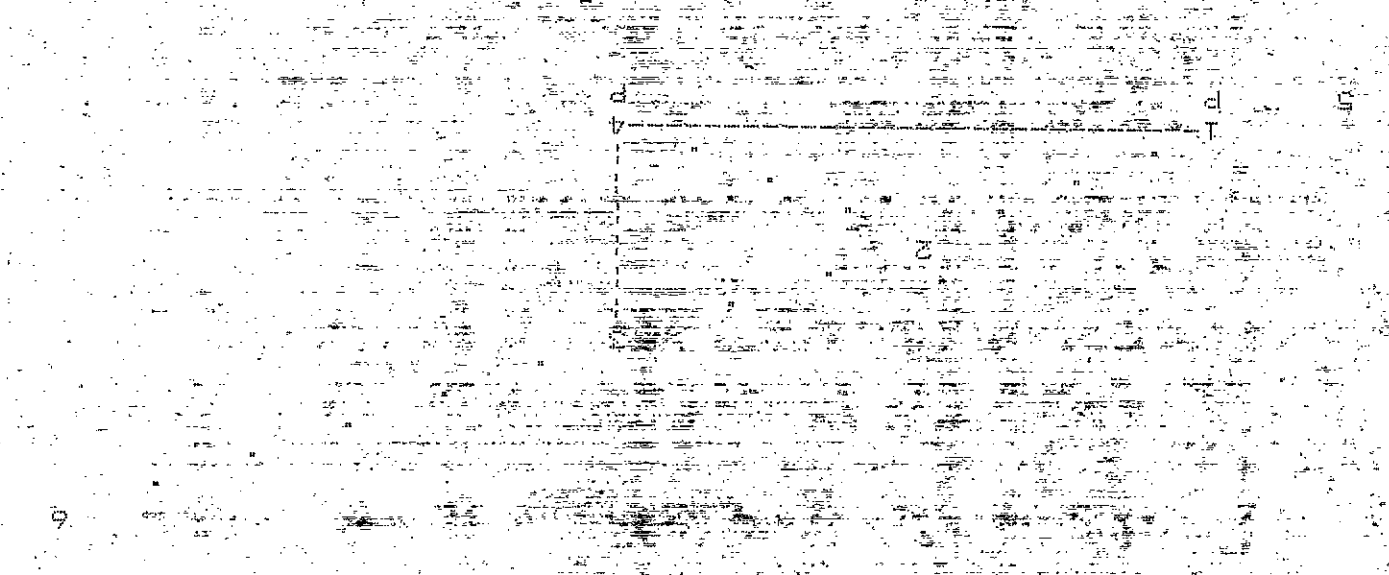
Truss type: 420

Base exceptions: PB, BE, 60, FL, FM, SM, AS, ED, IT, 3, 220, 5, ET, 35, 144, 3, M3, 185

IE, B, 14, 4, JOHN McDONALD LTD, 2, 2, 485, 27, 5, 3, 420, 520, 4, 15

3: 530, 2400, 6: 47, 7: 47, 11: 2, 8: 73, 9: 80, 5: 50

Truss input (Use title - USERDATA128 / Checksum 304211) :-



Truss description

Job name: JOHN McDONALD LTD

Reference: *****

Sequence 4 of 14

26-APR-1991 14:58 Page 1

Loading

Top chord:

Top dead [TD] = 0.285 kN/m² (slope)
Snow [SL, SR] = 0.750 kN/m² (plan)

Bottom chord:

Bottom dead [BD] = 0.250 kN/m² (slope)
Imposed [BL] = 0.250 kN/m² (slope)
Man load [ML] = 0.900 kN (vert)

Load cases considered:

- Case 1 : TD+BD+BL : Long term
- Case 2 : TD+BD+BL+SL+SR : Medium term
- Case 3 : TD+BD+BL+SL+SR+ML : Short term

*** Hydro-AL International (UK) Ltd ***

Reference: Sequence 4 of 14
 29-APR-1991 14:59 Page 3

Design Results
 Summary of analysis

Member	Case	Summ	Moment (kNm)	Force (kN)	Defl (mm)
New	Summ	0.190	0.088	-1.229	0.567
	Case	0.088	0.088	-1.229	0.567
V3	Summ	1.058	0.000	-0.567	0.000
	Case	0.088	0.000	-0.567	0.000
J2	Summ	0.322	0.129	-1.229	0.567
	Case	0.322	0.129	-1.229	0.567

Member	Case	Summ	Moment (kNm)	Force (kN)	Defl (mm)
Top	Summ	24 x 27	88	24 x 27	88
	Case	24 x 27	88	24 x 27	88
Bottom	Summ	24 x 27	88	24 x 27	88
	Case	24 x 27	88	24 x 27	88
Right Vertical	Summ	24 x 27	88	24 x 27	88
	Case	24 x 27	88	24 x 27	88
Left Vertical	Summ	24 x 27	88	24 x 27	88
	Case	24 x 27	88	24 x 27	88

Maximum summations: Top (Bay 3 = 1.245, Node 2 = 0.322)
 Top (Bay 4 = 0.541, Node 11 = 0.000)

Maximum reactions (kN) Vertical: J1 + J2 = -1.508, J4 = -1.508

Reactions for all load cases (kN):
 LC 1 J1 = -0.748, J4 = -0.748
 LC 2 J1 = -1.508, J4 = -1.508
 LC 3 J1 = -1.508, J4 = -1.508

Minimum bearing lengths (mm): J1 = 100, J4 = 100

Deflection, load case 2: Bay 4 = 7.2 mm

Design notes:
 1. It is the responsibility of the crane fabricator to ensure that the dimensions, pitch, loadings and other design considerations comply with customer requirements.
 2. Load spacing factor of 1.1 used.
 3. Top chords must be restrained by fixing patterns or bracing at centres not exceeding 400 mm.
 4. Top right overhead has overstressed.

Plating

Joint No.	Connector Type	Plate	Location		Member Ref.	Teeth Req	Teeth Pro	Angles (deg)	
			X (mm)	Y				LTN	LTG
J 1	1	3504PT	Central		T 1	20 (38)		27	0
			Parallel to chord B 4		B 4	26 (38)		27	27
						Shear length (mm)	19 (115)	Angle = 27	
J 2	14	1005PL	Central		T 1/2	13 (16)		90	90
			Parallel to web W 1		W 1	13 (16)		90	90
						Shear length (mm)	10 (30)	Angle = 56	
J 3	14	2004PT	Central		V 3	13 (23)		90	90
			Parallel to vertical chord V 3		V 3	13 (23)		90	90
						Shear length (mm)	10 (57)	Angle = 62	
J 4	15	4503PT	50	36	B 4	14 (33)		43	47
					V 3	13 (15)		90	90
						W 1	13 (20)		90
						Shear length (mm)	17 (114)	Angle = 90	

SPLICES:

C 1	30	3508PT	Central		B 4	13 (93)		90	90
						Width required (mm)	10 (89)	Angle = 0	

Plating notes:

1. Splices located between 10% and 25% of panel length from joint.
2. Plate location tolerance of 5 mm used.

BYE LAW APPLICATION FEES

REF. NO.: 91A/262 CERTIFICATE NO.: 1218285

PROPOSAL: 7 houses

LOCATION: 1 & 2 Barton Avenue, Rathfarnham

APPLICANT: John J. McDonald Ltd.

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling X 7 (Houses/Flats)	@ £55	£385	£385	-		
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M ² or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: N. Deane Grade: III Date: 6/5/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1962

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

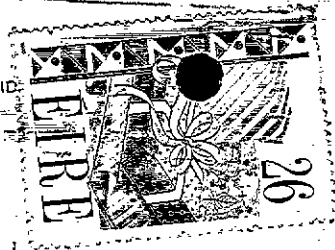
MANAGER'S ORDERED NO: P/ /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE



POST CARD
THE ADDRESS TO BE WRITTEN ON THIS SIDE



Dublin Co. Council
Planning Dept.
Irish Life Centre
41 Abbey St,
Dublin 1.



COMHAIRLE CHONTAE ATHA CLIATH

Tel: 724755
Ext.: 268/269

Planning Department,
Block 2,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Ref. No.: 91A/0262

14 June 1991

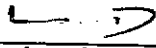
U. Crowley,
8 Barton Drive,
Rathfarnham,
Dublin 14.

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Dear Sir/Madam,

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Yours faithfully,



for Principal Officer.

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Lower Abbey Street,
Dublin 1.

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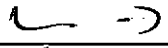
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Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Ref. No.: 91A/0262

14 June 1991

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5 Barton Drive,
Rathfarnham,
Dublin 14.

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14 June 1991

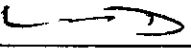
Mario Lupo,
2 Barton Drive,
Rathfarnham,
Dublin 14.

Re: Demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7 four bedroomed houses on the sites of nos. 1 and 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

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Yours faithfully,



for Principal Officer.

Occupiers,
6 Barton Drive,
Rathfarnham,
Dublin 14.

Our Ref.: 91A/262

27 May 1991

RE: Proposed demolition of the existing dwelling at No.2 Barton Avenue and the erection of 7 four bedroomed houses on the sites of nos. 1 and 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

Dear Sir/Madam,

I enclose, herewith, correspondence dated 7th May, 1991 which was sent to you by Registered Post on 8th May, 1991 and which was returned by the Postal Authority marked "NOT CALLED FOR".

I trust you will now receive same safely.

Yours faithfully,



for Principal Officer.

R
Baile Átha Cliath
DND
No. 2917

P.T. 7

DEVELOPMENT
CONTROL
2 MAY 1991

DUBLIN
20 MAY 1991
TELETYPE

BAILE ÁTHA CLIAITH
8 5 91
DEATH

NOT CALLED FOR

POSTAS
EIRE
137
IOCTHA

NA
9/5/91
22/5/91



U. Crowley,
8 Barton Drive,
Rathfarnham,
Dublin 14.

Our Ref.: 91A/262

27 May 1991

RE: Proposed demolition of the existing dwelling at No.2 Barton Avenue and the erection of 7 four bedroomed houses on the sites of nos. 1 and 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

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Yours faithfully,

SMCM
for Principal Officer.

IOCTHA
137
2221
POSTAS

DEATH
8 5 91
BAILE

NOT CALLED FOR

DEVELOPMENT
CONTROL
21 MAY 1991

Handwritten: *16/2 22/5*

Handwritten: *NA*
Circular stamp: *DUBLIN*
Circular stamp: *27 MAY 1991*
Circular stamp: *RETURNED*

PTC

R
Baile Ánna Cluain
OND 169
No. 239



COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/262

Letter No.: 196

Planning Department,
Block 2, Irish Life Centre,
Lower Abbey St.,
Dublin 1.

Mario Lupo,
2 Barton Drive,
Rathfarnham,
Dublin 14.

Tel.: (01) 724755
Fax.: (01) 724896

7 May 1991

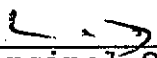
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Date of decision to grant permission 6th May, 1991 subject to 23 conditions.

Dear Sir/Madam,

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Yours faithfully,



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NOTE: An appeal against this decision by an aggrieved person must be made within the period of twenty one days beginning on the date of the decision to grant permission, indicated above. The appeal shall be in writing and shall state the subject matter of the appeal and the grounds of appeal and shall be addressed to An Bord Pleanala, Floor 3, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

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COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/262

Letter No.: 196

Planning Department,
Block 2, Irish Life Centre,
Lower Abbey St.,
Dublin 1.

Patrick Quinlan,
3 Barton Drive,
Rathfarnham,
Dublin 14.

Tel.: (01) 724755
Fax.: (01) 724896

7 May 1991


RE: Proposed demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of nos. 1 and 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

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Letter No.: 196 + 61

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Occupiers,
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Rathfarnham,
Dublin 14.

Tel.: (01) 724755
Fax.: (01) 724896

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L. J.
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Letter No.: 196

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Dublin 1.

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5 Barton Drive,
Rathfarnham,
Dublin 14.

Tel.: (01) 724755
Fax.: (01) 724896

7 May 1991

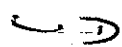
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Dublin 1.

Occupiers,
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Rathfarnham,
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Tel.: (01) 724755
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Register Reference No.: 91A/262

Letter No.: 196

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Lower Abbey St.,
Dublin 1.

N. O'Malley,
10 Barton Drive,
Rathfarnham,
Dublin 14.

Tel.: (01) 724755
Fax.: (01) 724896

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22nd April 1991

91A/0262

196

23/4

The Principal Officer
Planning Department
Dublin County Council
Block 2 Irish Life Centre
Lower Abbey Street
DUBLIN 1

Register Reference: 91A/0262

Dear Sir

Further to previous notification of objections to the development proposed under the above Register Reference, I set out hereunder more specific grounds of objection:-

- (1) The Architect for the proposed development is quite wrong in stating that there is no uniformity of style in the existing houses in Barton Avenue. All the dwellings in the Avenue are and always have been bungalows. Most have been improved and extended, but the bungalow character has been strictly maintained. This gives Barton Avenue a unique appeal in the locality as a dwelling place. Mature bungalows in spacious surroundings are highly desirable properties.

Any proposal to tag a fairly dense development of two-storey, semi-detached houses on to one end of the Avenue would be an environmental and architectural eyesore and would seriously diminish the value of the existing properties, in this quiet cul-de-sac.

Any development authorised for Barton Avenue should be a bungalow development of size and spacing consistent with the existing bungalows.

- (2) No sound reason has been given for the demolition of the existing bungalow - 2 Barton Avenue. The other bungalows in the Avenue started as similar constructions but with careful maintenance and improvement have been developed into highly desirable properties. Number 2 Barton Avenue has been totally neglected as to maintenance, decoration and upkeep since taken over by the proposed developer.
- (3) Previous planning permissions are irrelevant. These went largely unchallenged because the adjoining property owners were unaware of them. It is entirely fortuitous that they became aware on this occasion.

(4) The proposed on any development is environmentally undesirable unless there are strict stipulations as to the preservation of the maximum number of existing trees and hedges. Apart from the one beech tree listed for preservation, there are a number of other mature trees on the property proposed for development. Rathfarnham area has suffered more than its fair share environmentally over the years. Large numbers of mature trees have disappeared as a result of development on the grounds of Rathfarnham Castle, Loretto Abbey, The Priory etc. In the light of this, the maximum number of trees and hedges should be maintained in the interests of bird and insect life.

- A bungalow development would ensure the minimum disturbance of the existing environment.

We trust that the Council will give full consideration to the foregoing points in deciding on the present planning application.

Yours faithfully,

Mario Lupo.

No. 2 Barton Drive

Patrick Quinlan

No. 3 Barton Avenue

P. A. Rourke

No. 4 Barton Drive

John P. Cassidy

No. 4 Barton Avenue

Eva Hill

No. 6 Barton Drive

Ray Glynn

No. 5 Barton Avenue

Una Crowley

No. 8 Barton Drive

Nancy Wheeler

No. 6 Barton Avenue

Nancy O'Malley

No 10 Barton Drive

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

① 8rd 6 @ 750
= 4500
less 1860 paid
under 2AS26
= 2640

DEVELOPMENT CONTROL ASSISTANT GRADE

(ii) loads
level 3 @ 700
under Reg 4
2AS26
Therefore 3 extra
houses proposed
Rate = 3 @ 800
= 2400

Security:
m

Band 16,000

Calc. 10,000

(iii) open space
£6,000

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 9/A 262

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
<p>BELGARD H+P 26TH MAR 1991</p> <hr/> <hr/>	<p>Noted by Cllrs Muldoon + Armondo</p>		
<p>BELGARD 23RD APRIL 1991.</p>	<p>Refusal Recommended by Cllrs Armondo / Muldoon.</p> <p>Proposal is for 2 story Houses in a area of Beorgalms</p> <p>Environmentally not suited to area</p> <p>Not enough space for 7 Houses</p> <p>Loss of trees ledges</p>		

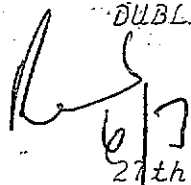
PK
COT

91A/0262

6 Barton Drive
Rathfarnham
DUBLIN 14

(73)

01 MAR 91



27th February 1991

Dear Sir

Please consider this letter to be a strong objection to the planning application in today's Irish Times for the demolition of the existing dwelling at No. 2 Barton Avenue, and the erection of seven four-bedroomed houses on the site of numbers 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14.

At present my house and back garden are not overlooked from the back and it would change the whole outlook and invade on my privacy if these houses went ahead. Also, there are some quite old trees on the site at present which I presume would be cut down thus depriving myself and my neighbours of a further source of privacy and pleasure.

I look forward to hearing from you and will be glad to assist you in whatever way I can in dealing with this application.

Yours faithfully



Ena Holland



Bloc 2, Ionad Bheatha na h-Iann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0262

Date : 5th March 1991

Dear Sir/Madam,

Development : Demolition of the existing dwelling at no. 2 Barton Avenue and the erection of 7 4-bedroomed houses

LOCATION : Nos 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham

Applicant : John J. McDonald Ltd

App. Type : PERMISSION

Date Recd : 28th February 1991

Your application in relation to the above was submitted with a fee of £224.00 .

On examination of the plans submitted it would appear that the appropriate amount should be £264.00 .

I should be obliged if you would submit the balance of £40.00 as soon as possible as a decision cannot be made on this application until the correct fee is received.

Yours faithfully,

A handwritten signature in black ink, appearing to be 'J. W.', written over a dotted line.

PRINCIPAL OFFICER

Charles Donnelly, Architects,
40 Rathgar Avenue,
Dublin 6.

9/1A/062

PROPOSAL: houses + demolition of 2 Boston Avenue
LOCATION: 192 Boston Avenue & adjacent lands on Grange Rd, Rathfriland
APPLICANT: John J. McDonnell Ltd

1	2	3	4	5	6	7
Dwellings/AREA LENGTH/STRUCT	RATE	AMT. OF FEE REGR	AMOUNT LODGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO
Dwellings	€232	€224	€224			
	€216					
	€500 per M ² in excess of 300M ² MILEAGE					
metres ²	€17.75 per M ² or €300					
x .1 hect.	€225 per hect. or €250					
x .1 hect.	€225 per hect. or €250					
x .1 hect.	€225 per hect. or €250					
x metres ²	€210 per M ² or €300					
x 1,000m ²	€225 per 1,000m ² or €250					
x .1 hect.	€25 per hect. or €30	€40	NIL	€40		

[40 26/4/91
N 35381

Still outstanding
Per N Done
25/4/91

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified Signed: [Signature] Grade: S.O Date: 4/3/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

DUBLIN COUNTY COUNCIL

PLANNING DEPARTMENT

Register Reference : 91A/0262

Date Received : 28th February 1991

Applicant : John J. McDonald Ltd

Appl.Type : PERMISSION

Development : Demolition of the existing dwelling at no. 2 Barton Avenue and the erection of 7 4-bedroomed houses

LOCATION : Nos 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham

O.S.REFS.

22/11			
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AREA REFERENCE

S	S	1	0	0	4
---	---	---	---	---	---

HISTORY

—				

FEE CERTIFICATE NO.

FEE CLASS

--	--	--	--

MEASUREMENT FOR FEES

--	--	--	--

SIGNED

DATE

SENIOR EXECUTIVE DRAUGHTSMAN

FEE PAID

FEE ASSESSED

BALANCE DUE

--	--	--

CERTIFIED

GRADE

DATE

B.

LN-3065 F

P/2112/92

FINANCIAL CONTRIBUTION :-	
AMOUNT &	
F	CASH: 26441
	(Wals: 26441)

213

PL 6/5/85855

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

6000

Seamly
outlet
by an
road

Planning Register Reference Number: 91A/262

to East
outlet
for

APPEAL by Barton Residents' Association of 35 Barton Road West, Rathfarnham, Dublin and by Patrick Quinlan of 3 Barton Avenue, Rathfarnham, Dublin against the decision made on the 6th day of May, 1991 by the Council of the County of Dublin in relation to an application by John J. McDonald Limited care of James Dolan and Charles Donnelly of 33 Lower Leeson Street, Dublin for development comprising the demolition of the existing dwelling at 2 Barton Avenue and the erection of seven four-bedroomed houses on the sites of 1 and 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin in accordance with plans and particulars lodged with the said Council:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, it is hereby decided, for the reason set out in the First Schedule hereto, to grant permission for the said development in accordance with the said plans and particulars, subject to the conditions specified in the Second Schedule hereto, the reasons for the imposition of the said conditions being as set out in the said Second Schedule and the said permission is hereby granted subject to the said conditions.

FIRST SCHEDULE

It is considered that, subject to compliance with the conditions set out in the Second Schedule hereto, the proposed infill development would be in accordance with the provisions of the current Dublin County Development Plan, would not be incongruous with existing development in the area and would otherwise be in accordance with the proper planning and development of the area.

SECOND SCHEDULE

1. Each proposed house shall be used as a single dwelling unit.
Reason: To define the permission granted.
2. The developer shall pay a sum of money to Dublin County Council as a contribution towards expenditure incurred by the said Council in the provision of public services which will facilitate the proposed development. The amount of the contribution and the arrangements for payment shall be as agreed between the developer and the said Council or, in default of agreement, shall be determined by An Bord Pleanála.

Reason: It is considered reasonable that the developer should contribute towards the expenditure incurred by Dublin County Council in the provision of public services that have facilitated the proposed development.

p/2112/92

SECOND SCHEDULE (CONTD.)

3. House number 7 shall be omitted from the proposed development and the site area shall be incorporated into the adjoining rear gardens of houses numbers 3 to 6 inclusive.
Reason: In the interests of traffic safety and to prevent overdevelopment.
4. Screen tree planting shall be carried out inside the western boundary of the site adjoining Grange Road, details of which shall be agreed with the planning authority.
Reason: In the interest of visual amenity.
5. The developer shall pay a sum of money to Dublin County Council as a contribution towards expenditure incurred by the said Council in the provision of public open space which will facilitate the proposed development. The amount of the contribution and the arrangements for payment shall be as agreed between the developer and the said Council or, in default of agreement, shall be determined by An Bord Pleanála.
Reason: It is considered reasonable that the developer should contribute towards the expenditure incurred by Dublin County Council in the provision of public open space that has facilitated the proposed development.
6. All necessary measures shall be taken by the developer to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads, particularly Barton Avenue, during the course of works.
Reason: To protect the amenities of the area.
7. All public services for the development including electrical, communal television and telephone cables, shall be located underground throughout the site.
Reason: In the interest of visual amenity.
8. The developer shall pay a sum of money to Dublin County Council towards the cost of road improvement works and traffic management proposals which will facilitate the proposed development. The arrangements for payment of this contribution shall be as agreed between the developer and the said Council or, in default of agreement, shall be determined by An Bord Pleanála.
Reason: The carrying out of necessary road improvements and traffic management in the area by the planning authority will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of these works.

P/2112/92

SECOND SCHEDULE (CONTD.)

- 9. Existing hedgerows/trees along the eastern boundary of the site shall be retained and a 1.8 metre high wall, suitably capped and rendered, shall be constructed along the southern boundary of the site adjoining 2 Barton Drive.

Reason: In the interest of the amenities of the area.

- 10. Obscure glass shall be provided in bathroom windows in the side elevation at first floor level.

Reason: In the interest of residential amenity.

- 11. Details of the colour of roof tiles shall be agreed with the planning authority prior to the commencement of development.

Reason: In the interest of visual amenity.

- 12. The existing mature beech tree on the site shall be retained, subject to necessary remedial work specified by a suitably qualified person to the satisfaction of the planning authority and it shall not be removed except with the written agreement of the planning authority.

Reason: In the interest of visual amenity.



Ann Lm. Quinn

Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this 13th day of November, 1991.

Contd/....

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

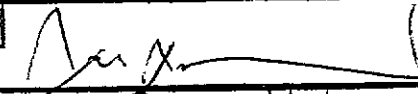
County Dublin

Planning Register Reference Number: 91A/262

With regard to condition no. 2 the financial contribution towards the cost of providing a public water and piped draining is assessed at £2,640.

With regard to condition no. 5 the contribution towards the provision of public open space is assessed at £6,000.

With regard to condition no. 8 the contribution towards the cost of road improvement works and traffic management proposals is assessed at £2,400.

Order Noted: <u>L.D.</u>	
Dated: <u>7th MAY 92</u>	<u>ASST. COUNTY MANAGER</u>
to whom the appropriate powers have been delegated by order of the Dublin City and County Manager.	
Dated <u>10th</u> day of <u>FEBRUARY</u> 19 <u>99</u>	

COMHAIRLE CHONTAE ATHA CLIATH

M. O'Shee,
Executive Planner.

REG. REF. 91A/0262

RE: Demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7 four bedroomed houses on the sites of nos. 1 and 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

I attach for your observations memo/letter dated 2nd July, 1991 from An Bord Pleanala.

Please reply before: 6th September

8
for Principal Officer

DATED: 22 August 1991

OBSERVATIONS:

*no further comments to make
to D.P.O report*

[Large handwritten mark]
[Handwritten initials/signature]

Signature of person making observations: MOSHER

Countersigned: R. Ciamino *SEP*
(S.E.D.C.)

DATE: 22/8/91

DATE: 23.8.91



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

An Bord Pleanála,
Floor 3,
Blocks 6 & 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Our Ref: 91A/262

Your Ref: PL6/5/85855

Date: 1991

Decision made

RE: Demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7 four bedroomed houses on the sites of nos. 1 and 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

Dear Sir/Madam,

I refer to your letter dated 28th May, 1991 & 2nd July, 1991, enclosing correspondence regarding the above appeal.

It is considered that the grounds of appeal do not raise any new matter which in the opinion of the Planning Authority would justify a change of attitude to the proposed development. The points raised have been dealt with in the Planning Authority's decision order dated 6th May, 1991.

Yours faithfully,

for Principal Officer.

COMHAIRLE CHONTAE ATHA CLIATH

TO: M. O'Shee,
Executive Planner.

REG. REF. 91A/0262

RE: Demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7 four bedroomed houses on the sites of nos. 1 and 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

I attach for your observations memo/letter dated 28th May, 1991 from An Bord Pleanala.

Please reply before: 28th June, 1991

S McNeillan
for Principal Officer

DATED: 14 June 1991

OBSERVATIONS:

Handwritten notes on lined paper:
"nothing further to add to D.P.O
report of 21 April 1991"

Signature of person making observations: M O'Shee

Countersigned: [Signature]
(S.E.D.C.)

DATE: 11/ July 91

DATE: 11/7/91

1920
Order No. P/1920/91
COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

Charles Donnelly, Archts.,
40 Rathgar Avenue,
Dublin 6.

Reg. Ref. 91A/0262
App. Recd: 28.02.91
Floor Area: 871.5 sq.m.
Site Area: 2200 sq.m.
Zoning:

Fee Paid

26/4/91

Wexford CN 5065 +
BN Newfile

CONSTRUCTION:	
Standard:	£2640
Roads:	£2400
S. Sers:	
Open Space:	6000
Other:	
SECURITY:	
Bond/C.I.F.:	16,000
Cash:	10,000

Report of the Dublin Planning Officer, dated 24 April 1991

This is an application for PERMISSION for the demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd. who is stated to have a freehold interest in the site.

PLANNING HISTORY

WA.1261: Outline planning permission for one house at the side of 2 Barton Drive (Decision Order PA/1988/81, dated 21.08.81).

XA.1686: Outline permission granted by An Bord Pleanala for 2 houses at 1 Barton Avenue (Order dated 17.06.83).

XA.1687: Outline planning permission refused by Dublin County council subsequently on appeal to An Bord Pleanala for 3 houses and shop (Order dated 17.06.83).

XA.1688: Outline planning permission refused by Dublin County Council and subsequently on appeal to An Bord Pleanala for four houses and a residential shop at side to Barton Drive and 1 Barton Avenue, Rathfarnham (Order dated 17.06.83).

XA.1689: Outline planning permission refused by Dublin County council and subsequently on appeal to An Bord Pleanala for a neighbourhood shop with living accommodation over at 1 Barton Avenue, Rathfarnham (Order dated 02.06.83).

YA.330: Outline planning permission granted by Dublin County council for 3 houses at 1 Barton Avenue (Decision Order No. PA/1516/83 dated 16.06.83).

ZA.526: Permission granted by Dublin County Council for two detached and two semi-detached houses at Grange Road and Barton Avenue, Rathfarnham. (Decision Order P/2001/84, dated 29.06.84).

Over

COMHAIRLE CHONTAE ÁTHA CLIATH**Record of Executive Business and Manager's Orders**

Proposed demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

The site which is the subject of the present application is larger than the site affected by the application lodged under Reg. Ref. ZA.526 (0.31 acres), includes the site of 2 Barton Avenue.

SITE

The site is zoned 'A' in the 1983 County Development Plan where it is the objective of the Planning Authority to protect and/or improve residential amenity. The area of the site is stated to be 2200 sq.m. (0.54 acres).

No. 2 Barton Avenue, which it is proposed to demolish, is a single-storey bungalow built probably about 60 years ago. It is in fair condition. The adjoining houses on Barton Avenue are single-storey, while the houses on Barton Drive which adjoins the site immediately to the south are two-storey semi-detached. The houses on Aranleigh to the north are two-storey houses.

The boundaries of the site are formed by (i) a wall c. 2 metres high to the west where the site adjoins Grange Road (ii) hedgerows to the north on Barton Avenue, (iii) hedgerow and trees to the east and (iv) trees and a corrugated iron fence (c. 5' high) to the south where the site adjoins 4-8 Barton Drive and by a wire fence where the site adjoins No. 2 Barton Drive. The eastern part of the site which is overgrown contains several trees, one in particular which is worth retaining if at all possible.

PROPOSAL

The proposed development consists of 7 no. houses on 0.54 acres, six of the proposed houses front onto Barton Avenue, while one detached house has access onto Grange Road. A rendered finish is proposed. The house type proposed is smaller than approved under Reg. Ref. ZA.526. In a covering letter submitted as part of this application it is stated that it is proposed to retain the existing mature beech tree on the site if possible.

The Roads Department report dated 11.04.91 states that the Roads Department has no objection to the proposed houses fronting onto Barton Avenue subject to certain conditions. One of which relates to the payment of a financial contribution of £4,800. towards the cost of road improvement and traffic management proposals in the area. (The Roads Engineer has stated that this money would be spent on road improvements on Grange Road in front of Loretto Convent as well as improving the junction of Barton Avenue and Aranleigh).

Over

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

The Roads Engineers object to the proposed house which has direct access onto the Grange Road which is a district distributor road on the grounds that it would generate additional turning movements at the junction of Grange Park and would possibly generate on-street car parking which would reduce visibility at the junctions of Aranleigh and Barton Drive with Grange Road.

The Sanitary Services report dated 16.04.91 states that insufficient information has been submitted with regard to drainage proposals. Water supply is available, but it is noted that the applicant will have to lay a 100 mm. main from the existing main on the Grange Road to serve the development. The Sanitary Services Engineer has confirmed (by phone 22.04.91) that foul and surface water sewers are available to serve the proposed development.

The Parks Department report dated 02.04.91 notes that the applicant has not provided any public open space as part of the development and recommends that if public open space is not being provided the applicant should be asked to pay a financial contribution of £1,000. per house towards the cost of provision and development of public open spaces in the area.

Letters of objection to the proposed development from adjoining residents on Barton Drive have been noted. The proposed development of 7 no. houses on this site on a 0.54 acre site is considered excessive. The proposed development would be improved if house no. 7, with direct access onto Grange Road was omitted from the proposed development. The omission of house no. 7 is desirable both on traffic safety and residential amenity grounds. Direct access onto Grange Road is undesirable. The omission of house no. 7 will enable a greater distance being maintained between the proposed development and the existing houses on Barton Drive.

The demolition of the existing dwelling at No. 2 Barton Road and the development of 2 no. two-storey houses on the site of this house is considered acceptable. Houses Nos. 1 & 2 will have rear garden of 19 metres in length which should ensure that any serious overlooking of the adjoining properties on Barton Drive is avoided.

While previous permissions for houses on part of this site have expired (specifically Reg. Refs. YA.330 and ZA.526), the principle of two-storey housing development on this site was accepted at the time of these permissions. It is noted that the applicant states in a covering letter that he has already made a financial contribution in the sum of £5,015. under an earlier permission.

Over

Order No. P/12802/91
COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

The proposed development is considered acceptable.

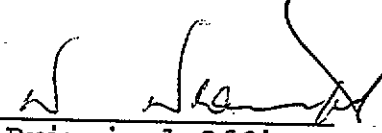
Permission should be granted subject to a condition that trees be planted inside the western boundary where the site adjoins Grange Road.

A financial contribution towards the provision of public open space in the area is considered reasonable. This money could be spent on Rathfarnham Castle.

I recommend that a decision to **GRANT PERMISSION** be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (23) conditions:-

(SEE CONDITIONS OVER)

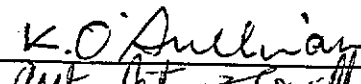
(MOS/AC)

Endorsed:- 
for Principal Officer


For Dublin Planning Officer
24.4.91

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to **GRANT PERMISSION** for the above proposal subject to the (23) conditions set out above is hereby made.

Dated:  April 1991.


Dist. City & Co. Manager

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 26th April 1991.

COMHAIRLE CHONTAE ATHA CLIATH

REG. REF. 91A/0262

M. O'Shee,
Executive Planner.

RE: Demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7 four bedroomed houses on the sites of nos. 1 and 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

I attach for your observations memo/letter dated 2nd July, 1991 from An Bord Pleanala.

Please reply before: 6th September

8
for Principal Officer

DATED: 22 August 1991

OBSERVATIONS:

*no further comments to make
to D.P.O report*

[Large handwritten scribble]
[Handwritten initials/signature]

Signature of person making observations: MOSHEE

Countersigned: R. Cronin SEP
(S.E.D.C.)

DATE: 22/8/91

DATE: 23.8.91



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

An Bord Pleanála,
Floor 3,
Blocks 6 & 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Our Ref: 91A/262

Your Ref: PL6/5/85855

Date: _____ 1991

RE: Demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7 four bedrooomed houses on the sites of nos. 1 and 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

Dear Sir/Madam,

I refer to your letter dated 28th May, 1991 & 2nd July, 1991, enclosing correspondence regarding the above appeal.

It is considered that the grounds of appeal do not raise any new matter which in the opinion of the Planning Authority would justify a change of attitude to the proposed development. The points raised have been dealt with in the Planning Authority's decision order dated 6th May, 1991.

Yours faithfully,

for Principal Officer.

COMHAIRLE CHONTAE ATHA CLIATH

TO: M. O'Shee,
Executive Planner.

REG. REF. 91A/0262

RE: Demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7 four bedroomed houses on the sites of nos. 1 and 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

I attach for your observations memo/letter dated 28th May, 1991 from An Bord Pleanala.

Please reply before: 28th June, 1991

S McNeillan
for Principal Officer

DATED: 14 June 1991

OBSERVATIONS:

nothing further to add to O.P.O
report of 21st April 1991

Signature of person making observations: M O'Shee

Countersigned: [Signature]
(S.E.D.C.)

DATE: 11/ July 91

DATE: 11/7/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

Charles Donnelly, Archs.,
40 Rathgar Avenue,
Dublin 6.

Reg. Ref. 91A/0262
App. Recd: 28.02.91
Floor Area: 871.5 sq.m.
Site Area: 2200 sq.m.
Zoning:

free hold 26/4/91

CONTRIBUTION:	
Standard:	£2640
Roads:	£2400
S. Sers:	
Open Space:	6000
Other:	
SECURITY:	
Bond/C.I.F.:	16,000
Cash:	10,000

Report of the Dublin Planning Officer, dated 24 April 1991

This is an application for PERMISSION for the demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd. who is stated to have a freehold interest in the site.

PLANNING HISTORY

WA.1261: Outline planning permission for one house at the side of 2 Barton Drive (Decision Order PA/1988/81, dated 21.08.81).

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XA.1689: Outline planning permission refused by Dublin County council and subsequently on appeal to An Bord Pleanala for a neighbourhood shop with living accommodation over at 1 Barton Avenue, Rathfarnham (Order dated 02.06.83).

YA.330: Outline planning permission granted by Dublin County council for 3 houses at 1 Barton Avenue (Decision Order No. PA/1516/83 dated 16.06.83).

ZA.526: Permission granted by Dublin County Council for two detached and two semi-detached houses at Grange Road and Barton Avenue, Rathfarnham. (Decision Order P/2001/84, dated 29.06.84).

Over

COMHAIRLE CHONTAE ÁTHA CLIATH**Record of Executive Business and Manager's Orders**

Proposed demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

The Roads Engineers object to the proposed house which has direct access onto the Grange Road which is a district distributor road on the grounds that it would generate additional turning movements at the junction of Grange Park and would possibly generate on-street car parking which would reduce visibility at the junctions of Aranleigh and Barton Drive with Grange Road.

The Sanitary Services report dated 16.04.91 states that insufficient information has been submitted with regard to drainage proposals. Water supply is available, but it is noted that the applicant will have to lay a 100 mm. main from the existing main on the Grange Road to serve the development. The Sanitary Services Engineer has confirmed (by phone 22.04.91) that foul and surface water sewers are available to serve the proposed development.

The Parks Department report dated 02.04.91 notes that the applicant has not provided any public open space as part of the development and recommends that if public open space is not being provided the applicant should be asked to pay a financial contribution of £1,000. per house towards the cost of provision and development of public open spaces in the area.

Letters of objection to the proposed development from adjoining residents on Barton Drive have been noted. The proposed development of 7 no. houses on this site on a 0.54 acre site is considered excessive. The proposed development would be improved if house no. 7, with direct access onto Grange Road was omitted from the proposed development. The omission of house no. 7 is desirable both on traffic safety and residential amenity grounds. Direct access onto Grange Road is undesirable. The omission of house no. 7 will enable a greater distance being maintained between the proposed development and the existing houses on Barton Drive.

The demolition of the existing dwelling at No. 2 Barton Road and the development of 2 no. two-storey houses on the site of this house is considered acceptable. Houses Nos. 1 & 2 will have rear garden of 19 metres in length which should ensure that any serious overlooking of the adjoining properties on Barton Drive is avoided.

While previous permissions for houses on part of this site have expired (specifically Reg. Refs. YA.330 and ZA.526), the principle of two-storey housing development on this site was accepted at the time of these permissions. It is noted that the applicant states in a covering letter that he has already made a financial contribution in the sum of £5,015. under an earlier permission.

Over

COMHAIRLE CHONTAE ÁTHA CLIATH**Record of Executive Business and Manager's Orders**

Proposed demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

The site which is the subject of the present application is larger than the site affected by the application lodged under Reg. Ref. ZA.526 (0.31 acres), includes the site of 2 Barton Avenue.

SITE

The site is zoned 'A' in the 1983 County Development Plan where it is the objective of the Planning Authority to protect and/or improve residential amenity. The area of the site is stated to be 2200 sq.m. (0.54 acres).

No. 2 Barton Avenue, which it is proposed to demolish, is a single-storey bungalow built probably about 60 years ago. It is in fair condition. The adjoining houses on Barton Avenue are single-storey, while the houses on Barton Drive which adjoins the site immediately to the south are two-storey semi-detached. The houses on Aranleigh to the north are two-storey houses.

The boundaries of the site are formed by (i) a wall c. 2 metres high to the west where the site adjoins Grange Road (ii) hedgerows to the north on Barton Avenue, (iii) hedgerow and trees to the east and (iv) trees and a corrugated iron fence (c. 5' high) to the south where the site adjoins 4-8 Barton Drive and by a wire fence where the site adjoins No. 2 Barton Drive. The eastern part of the site which is overgrown contains several trees, one in particular which is worth retaining if at all possible.

PROPOSAL

The proposed development consists of 7 no. houses on 0.54 acres, six of the proposed houses front onto Barton Avenue, while one detached house has access onto Grange Road. A rendered finish is proposed. The house type proposed is smaller than approved under Reg. Ref. ZA.526. In a covering letter submitted as part of this application it is stated that it is proposed to retain the existing mature beech tree on the site if possible.

The Roads Department report dated 11.04.91 states that the Roads Department has no objection to the proposed houses fronting onto Barton Avenue subject to certain conditions. One of which relates to the payment of a financial contribution of £4,800. towards the cost of road improvement and traffic management proposals in the area. (The Roads Engineer has stated that this money would be spent on road improvements on Grange Road in front of Loretto Convent as well as improving the junction of Barton Avenue and Aranleigh).

Over

COMHAIRLE CHONTAE ÁTHA CLIATH**Record of Executive Business and Manager's Orders**

Proposed demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

CONDITIONS**REASONS FOR CONDITIONS**

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

2. In order to comply with the Sanitary Services Acts, 1878-1964.

3. That each proposed house be used as a single dwelling unit.

3. To prevent unauthorised development.

4. That a financial contribution in the sum of £ 2400 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

4. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

5. That House No. 7 be omitted from the proposed development and the site of No. 7 be incorporated into the adjoining rear gardens of House Nos. 3-6 inclusive.

5. In the interest of residential amenity of existing and proposed houses and traffic safety.

6. That trees be planted inside the western boundary of the site where the site adjoins Grange Road (white birch or similar species would be acceptable).

6. In the interest of visual amenity.

7. That a financial contribution in the sum of £6,000. be paid by the proposer to the Dublin County Council towards the cost of provision of public open space in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

7. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

COMHAIRLE CHONTAE ÁTHA CLIATH**Record of Executive Business and Manager's Orders**

Proposed demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

CONDITIONS**REASONS FOR CONDITIONS**

8. That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. The applicants should note that he is required to lay a 100 mm. main from the existing watermain on Grange Road to serve the proposed development. Details of the arrangements for providing this are to be agreed with the Area Engineer, at Sandyford before construction commences.

8. In order to comply with the Sanitary Services Acts 1878-1964.

9. That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council, Sanitary Services Department and that the cost thereof be paid to the County Council before any development commences.

9. To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

10. That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

10. To protect the amenities of the area.

11. That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

11. In the interest of amenity.

12. That no dwellinghouse be occupied until all the services have been connected thereto and are operational.

12. In the interest of the proper planning and development of the area.

COMHAIRLE CHONTAE ATHA CLIATH

Record of Executive Business and Manager's Orders

Proposed demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

CONDITIONS

REASONS FOR CONDITIONS

13. That a financial contribution in the sum of £~~4,114~~ ^{£2400.} be paid by the proposer to the Dublin County Council towards the cost of road improvements and traffic management proposals in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

14. Footpaths and kerbs to be dishd to the requirements of the Area Engineer (Roads Maintenance).

15. The driveway serving each house is to be 3 metres wide.

16. That the existing hedgerows/trees along the eastern boundary of the site be retained and that a 1.8 metre high wall suitably rendered and capped be constructed along the southern boundary of the site where the site adjoins No. 2 Barton Drive.

17. That obscure glass be used in the bathroom window in the side elevation, first-floor level.

18. That the applicant agrees colour of roof tiles to be used in the development with the Planning Authority prior to the commencement of development.

19. That the houses have a painted render finish on external walls.

~~20. That the existing fruit trees in the garden of House Nos. 1 & 2 be retained if possible.~~

13. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

14. To comply with the requirements of the Roads Department.

15. In the interest of the proper planning and development of the area.

16. In the interest of the proper planning and development of the area.

17. In the interest of residential amenity.

18. In the interest of visual amenity.

19. In the interest of visual amenity.

~~20. In the interest of visual amenity.~~

R.C.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

CONDITIONS

REASONS FOR CONDITIONS

20. That details of finished floor levels be agreed with the Planning Authority prior to the commencement of development on the site. The applicant should note that the finished floor levels should not exceed those of adjoining development.

21. In the interest of the proper planning and development of the area.

21. Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

22. In the interest of reducing air pollution.

23. ~~23~~ That the existing Mature tree on site no. 7 be retained. This tree is not to be written removed except with the agreement of the Planning authority

22. In the interest of visual amenity

(See condition 23 over)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for J. McDonald Limited.

Conditions

Reasons

22. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for roads, open spaces, car parks, sewers, watermains and drains, has been given by:

(a) Lodgement with the Council of an approved Insurance Company Bond in the sum of £ 16,000.

~~which shall be renewed by the developer from time to time as the roads, open spaces, car parks, sewers, watermains and drains are taken in charge by the Council.~~

OR/....

(b) Lodgement with the Council of a cash sum of £10,000. ~~to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications.~~

OR/.....

(c) Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

22. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

SS only

②

Register Reference : 91A/0262

Date : 11th March 1991

Development : Demolition of the existing dwelling at no. 2 Barton Avenue and the erection of 7 4-bedroomed houses

LOCATION : Nos 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham

Applicant : John J. McDonald Ltd

App. Type : PERMISSION

Planning Officer : M.O'SHEE

Date Recd. : 28th February 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN CO. COUNCIL
22 MAR 1991
SAN SERVICES

DUBLIN CO. COUNCIL
SANITARY SERVICES
PRINCIPAL OFFICER
23 APR 1991
Returned *gg*

Date received in Sanitary Services

FOUL SEWER

Insufficient Information

The drawings contain no proposal for the disposal of sewage

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 26/4/91
Time 2 PM

SURFACE WATER

Insufficient Information

The drawings contain no proposal for the disposal of surface

water

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

J. Rice
16/4/91

A.F. 882

Register Reference : 91A/0262

Date : 11th March 1991

.....
ENDORSED _____

DATE _____

WATER SUPPLY.....

Available,
However, it will be necessary for the applicant to lay
a 100 mm main from the existing main on the
Grange Road to serve this development. Applicant
to contact the Area Engineer at Sandyford
before construction commences.

VOS Officer
5/4/91

ENDORSED _____

[Signature]

DATE _____

22/4/91

J.M.G.

SS only

Register Reference : 91A/0262

Date : 11th March 1991

MOS

Development : Demolition of the existing dwelling at no. 2 Barton Avenue and the erection of 7 4-bedroomed houses

LOCATION : Nos 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham

Applicant : John J. McDonald Ltd

App. Type : PERMISSION

Planning Officer : M.O'SHEE

Date Recd. : 28th February 1991

PLANNING DEPARTMENT
 DEVELOPMENT CONTROL
 Date 18/4/91
 3:00

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

Dublin Co. Council
 22 MAR 1991
 SAN SERVICES

PRINCIPAL OFFICER

Date received in Sanitary Services

FOUL SEWER

Inufficient Information
 The drawings contain no proposal for the disposal of sewage

SURFACE WATER

Inufficient Information
 The drawings contain no proposal for the disposal of surface water

SENIOR ENGINEER,
 SANITARY SERVICES DEPARTMENT,
 46/49 UPPER O'CONNELL STREET,
 DUBLIN 1

J. Rice
 16/4/91

A.F. BBL

Register Reference : 91A/0262

Date : 11th March 1991

.....
ENDORSED _____ DATE _____

WATER SUPPLY... Available.
However It will be necessary for the applicant to lay
a 100 mm main from the existing main on the
Orange Road to serve this development. Applicant
to contact the Area Engineer at Sandyford
before construction commences.

VOSullivan
5/4/91

J.M. Mc

ENDORSED _____ DATE _____

PLANNING DEPT.
DEVELOPMENT CONTROL SEC.
Date 18/4/91
Time 3:00

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	12/4/91
Time	12:00

DUBLIN COUNTY COUNCIL

REG. REF: 91A/262.

LOCATION: Nos. 1 & 2 Barton Ave. & adj. lands on Grange Road, Rathfarnham.

APPLICANT: John McDonald Ltd.

PROPOSAL: Dem. of the existing dwelling at no. 2 Barton avenue & erection of 7 4-bedroomed houses.

DATE LODGED: 28.2.91. Mos

This application is for full permission for erection of 7 4-bedroomed houses at Barton Avenue.

The applicant proposes 6 semi-detached dwellings to access onto Barton Avenue and ultimately onto Aranleigh.

The detached house on site no. 7 proposes access directly onto a district distributor: The Grange Road. This proposal is unacceptable since additional turning movements at the junction with Grange Park is highly undesirable. In addition the possibility of on street parking would affect visibility at the junctions of Aranleigh and Barton Drive with Grange Road. With regards to the proposed developments on Barton Ave, Roads Department have no objection subject to:-

1. The junction of Barton Ave and Aranleigh to be improved in agreement with the Roads Department.
2. The driveway width to the dwellings to be widened from 2.7 to 3m.
3. Any roadside drains interfered with shall be fully re-instated and shall where necessary be culverted with pipes of adequate size and strength.
4. The gradient of the access shall not exceed 2.5% over the last 6 metres of approach to the public road.
5. Parking for 2 cars to be provided within curtilage of site with turning area.
6. Footpath and kerb to be dished to satisfaction of the Area Engineer, (Roads Maintenance).
7. All works to be carried out prior to the house being occupied.
8. All work to be carried out at the applicant's expense according to the Specification and Conditions of Dublin County Council.
9. A financial contribution, in the sum of money equivalent to the value of £4,800 as on 1st January, 1991, and updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

SIGNED: Michael ArthurENDORSED: E. MaddenDATE: 11-4-91DATE: 11th April 91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

Charles Donnelly, Archs.,
40 Rathgar Avenue,
Dublin 6.

Reg. Ref. 91A/0262
App. Recd: 28.02.91
Floor Area: 871.5 sq.m.
Site Area: 2200 sq.m.
Zoning:

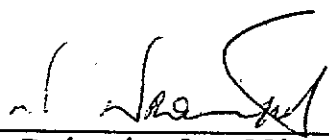
Report of the Dublin Planning Officer, dated 25 April 1991

This is an application for PERMISSION for the demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd. who is stated to have a freehold interest in the site.

In accordance with Section 10(a) of the Local Government (Planning and Development) Act, 1982, it is not proposed to determine this planning application as the correct prescribed fee in respect of this planning application has not been submitted to the Planning Authority.

Accordingly, I recommend that no decision be made on this planning application.

Applicant to be informed accordingly.

Endorsed:- 
for Principal Officer


Order:- NOTED.

Dated: 25 April, 1990.


APPROVED OFFICER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 23rd April, 1990.

NOTE: I have carried out the necessary check and confirm that the required fee has not been paid in full.


STAFF OFFICER

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT
 Date 12/4/91
 Time 12:00

DUBLIN COUNTY COUNCIL

REG. REF: 91A/262.
 LOCATION: Nos. 1 & 2 Barton Ave. & adj. lands on Grange Road, Rathfarnham.
 APPLICANT: John McDonald Ltd.
 PROPOSAL: Dem. of the existing dwelling at no. 2 Barton avenue & erection of 7 4-bedroomed houses.
 DATE LODGED: 28.2.91.

This application is for full permission for erection of 7 4-bedroomed houses at Barton Avenue.

The applicant proposes 6 semi-detached dwellings to access onto Barton Avenue and ultimately onto Aranleigh.

The detached house on site no. 7 proposes access directly onto a district distributor; The Grange Road. This proposal is unacceptable since additional turning movements at the junction with Grange Park is highly undesirable. In addition the possibility of on-street parking would affect visibility at the junctions of Aranleigh and Barton Drive with Grange Road. With regards to the proposed developments on Barton Ave, Roads Department have no objection subject to:-

1. The junction of Barton Ave and Aranleigh to be improved in agreement with the Roads Department.
2. The driveway width to the dwellings to be widened from 2.7 to 3m.
3. Any roadside drains interfered with shall be fully re-instated and shall where necessary be culverted with pipes of adequate size and strength.
4. The gradient of the access shall not exceed 2.5% over the last 6 metres of approach to the public road.
5. Parking for 2 cars to be provided within curtilage of site with turning area.
6. Footpath and kerb to be dished to satisfaction of the Area Engineer, (Roads Maintenance).
7. All works to be carried out prior to the house being occupied.
8. All work to be carried out at the applicant's expense according to the Specification and Conditions of Dublin County Council.
9. A financial contribution, in the sum of money equivalent to the value of £4,800 as on 1st January, 1991, and updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

SIGNED: Michael Fitzmaurice ENDORSED: P. Madden
 DATE: 11-4-91 DATE: 11th April 91

Date 24.4.91

Time 2:30

DUBLIN COUNTY COUNCIL

REG. REF: 91A/262.

LOCATION: Nos. 1 & 2 Barton Ave. & adj. lands on Grange Road, Rathfarnham.

APPLICANT: John McDonald Ltd. mos

PROPOSAL: Dem. of the existing dwelling at no. 2 Barton avenue & erection of 7 4-bedroomed houses.

DATE LODGED: 28.2.91.

This application is for full permission for erection of 7 4-bedroomed houses at Barton Avenue.

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4. The gradient of the access shall not exceed 2.5% over the last 6 metres of approach to the public road.
5. Parking for 2 cars to be provided within curtilage of site with turning area.
6. Footpath and kerb to be dished to satisfaction of the Area Engineer, (Roads Maintenance).
7. All works to be carried out prior to the house being occupied.
8. All work to be carried out at the applicant's expense according to the Specification and Conditions of Dublin County Council.
9. A financial contribution, in the sum of money equivalent to the value of £4,800 as on 1st January, 1991, and updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

SIGNED: Michael Arthur

ENDORSED: E. J. O'Connell

DATE: 11-4-91

DATE: 11th April 91



Bosca 174,
P. O. Box 174,
5 Rae Gardnar,
5 Gardiner Row,
Baile Atha Cliath 1.
Dublin 1.
Telephone: (01) 727777
Fax: (01) 725782

Mr. D. Drumgoole,
Senior Administrative Officer,
Planning Department,
Dublin County Council.

Our Ref. P.P. 318/5
Your Ref.
Date 02.04.1991

MOS

RE: Application for 7 No. houses on lands adjacent to Grange Road, Rathfarnham. Reg. Ref. 91A/262.

In the event of it being decided to grant planning permission, the following matters should be included:-

- 1) The applicant has not provided any public open space in accordance with the 1983 Development Plan Standards. The applicant should, therefore, be requested to submit additional information on how it is proposed to meet these requirements. Alternatively, the applicant should be requested to pay a financial contribution of £1,000 per site (£7,000), towards the cost of provision and development of the public open spaces in the area.
- 2) In relation to the trees on site, the applicant should be requested to submit proposals for their removal/retention and to outline measures proposed to protect them during the course of development.
- 3) A specification and plan for street tree planting is to be agreed with the Parks Department prior to commencement of development.

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	8/4/91
Time	3:00

[Handwritten signature]

SENIOR PARKS SUPERINTENDENT

2/40pac
26/4



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0262

Date : 5th March 1991

Dear Sir/Madam,

DEVELOPMENT
22 MAR 1991
CONTROL

Development : Demolition of the existing dwelling at no. 2 Barton Avenue and the erection of 7 4-bedroomed houses

LOCATION : Nos 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham

Applicant : John J. McDonald Ltd

App. Type : PERMISSION

Date Recd : 28th February 1991

Your application in relation to the above was submitted with a fee of £224.00 .

On examination of the plans submitted it would appear that the appropriate amount should be £264.00 .

I should be obliged if you would submit the balance of £40.00 as soon as possible as a decision cannot be made on this application until the correct fee is received.

Yours faithfully,

Richard [Signature]

PRINCIPAL OFFICER

21 MAR

Charles Donnelly, Architects,
40 Rathgar Avenue,
Dublin 6.

CHARLES DUNNALLY, Architects.
HO RANGAR AVENUE
DUBLIN 6

NOT CALLED FOR

DUBLIN
19 MAR 1991

DBB
8/3/91
602

P.T.O.

R
Baile Átha Cliath
(DN) 169
No. 683



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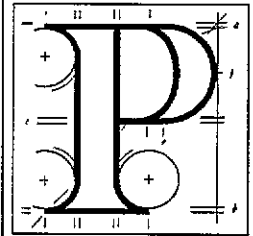
RETURNED

Our Ref: PL 6/5/85855
P.A. Ref: 91A/262

Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Rb
15/11

pk
An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Date: 13 NOV 1991

Appeal Re: Demolition of existing dwelling at 2 Barton Avenue and the erection of seven four-bedroomed houses on the sites of 1 and 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14.

Dear Sir,

An order has been made by An Bord Pleanála determining the above-mentioned appeal under the Local Government (Planning and Development) Acts, 1963 to 1990. A copy of the order is enclosed.

Yours faithfully,

Miriam Baxter.

Encl.

BP 352

DEVELOPMENT
15 NOV 1991
CONTROL

13. NOV 91

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/262

APPEAL by Barton Residents' Association of 35 Barton Road West, Rathfarnham, Dublin and by Patrick Quinlan of 3 Barton Avenue, Rathfarnham, Dublin against the decision made on the 6th day of May, 1991 by the Council of the County of Dublin in relation to an application by John J. McDonald Limited care of James Dolan and Charles Donnelly of 33 Lower Leeson Street, Dublin for development comprising the demolition of the existing dwelling at 2 Barton Avenue and the erection of seven four-bedroomed houses on the sites of 1 and 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin in accordance with plans and particulars lodged with the said Council:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, it is hereby decided, for the reason set out in the First Schedule hereto, to grant permission for the said development in accordance with the said plans and particulars, subject to the conditions specified in the Second Schedule hereto, the reasons for the imposition of the said conditions being as set out in the said Second Schedule and the said permission is hereby granted subject to the said conditions.

FIRST SCHEDULE

It is considered that, subject to compliance with the conditions set out in the Second Schedule hereto, the proposed infill development would be in accordance with the provisions of the current Dublin County Development Plan, would not be incongruous with existing development in the area and would otherwise be in accordance with the proper planning and development of the area.

SECOND SCHEDULE

1. Each proposed house shall be used as a single dwelling unit.

Reason: To define the permission granted.

2. The developer shall pay a sum of money to Dublin County Council as a contribution towards expenditure incurred by the said Council in the provision of public services which will facilitate the proposed development. The amount of the contribution and the arrangements for payment shall be as agreed between the developer and the said Council or, in default of agreement, shall be determined by An Bord Pleanála.

Reason: It is considered reasonable that the developer should contribute towards the expenditure incurred by Dublin County Council in the provision of public services that have facilitated the proposed development.

SECOND SCHEDULE (CONTD.)

3. House number 7 shall be omitted from the proposed development and the site area shall be incorporated into the adjoining rear gardens of houses numbers 3 to 6 inclusive.

Reason: In the interests of traffic safety and to prevent overdevelopment.

4. Screen tree planting shall be carried out inside the western boundary of the site adjoining Grange Road, details of which shall be agreed with the planning authority.

Reason: In the interest of visual amenity.

5. The developer shall pay a sum of money to Dublin County Council as a contribution towards expenditure incurred by the said Council in the provision of public open space which will facilitate the proposed development. The amount of the contribution and the arrangements for payment shall be as agreed between the developer and the said Council or, in default of agreement, shall be determined by An Bord Pleanála.

Reason: It is considered reasonable that the developer should contribute towards the expenditure incurred by Dublin County Council in the provision of public open space that has facilitated the proposed development.

6. All necessary measures shall be taken by the developer to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads, particularly Barton Avenue, during the course of works.

Reason: To protect the amenities of the area.

7. All public services for the development including electrical, communal television and telephone cables, shall be located underground throughout the site.

Reason: In the interest of visual amenity.

8. The developer shall pay a sum of money to Dublin County Council towards the cost of road improvement works and traffic management proposals which will facilitate the proposed development. The arrangements for payment of this contribution shall be as agreed between the developer and the said Council or, in default of agreement, shall be determined by An Bord Pleanála.

Reason: The carrying out of necessary road improvements and traffic management in the area by the planning authority will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of these works.

SECOND SCHEDULE (CONTD.)

9. Existing hedgerows/trees along the eastern boundary of the site shall be retained and a 1.8 metre high wall, suitably capped and rendered, shall be constructed along the southern boundary of the site adjoining 2 Barton Drive.

Reason: In the interest of the amenities of the area.

10. Obscure glass shall be provided in bathroom windows in the side elevation at first floor level.

Reason: In the interest of residential amenity.

11. Details of the colour of roof tiles shall be agreed with the planning authority prior to the commencement of development.

Reason: In the interest of visual amenity.

12. The existing mature beech tree on the site shall be retained, subject to necessary remedial work specified by a suitably qualified person to the satisfaction of the planning authority and it shall not be removed except with the written agreement of the planning authority.

Reason: In the interest of visual amenity.



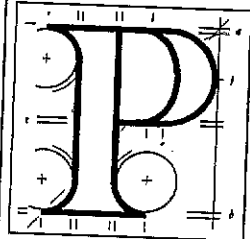
Ann Cw. Quinn

Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this 13th day of November, 1991.

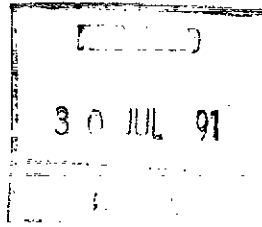
PK

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.



Date: 29th July 1991.

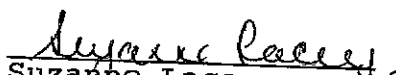
Appeal re: Demolition of dwelling at number 2 Barton Avenue, and erection of 7 four-bedroom houses on sites 1 and 2 Barton Avenue, and adjacent lands, Grange Road, Rathfarnham, County Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of a letter received by the Board in relation to the above-mentioned appeal.

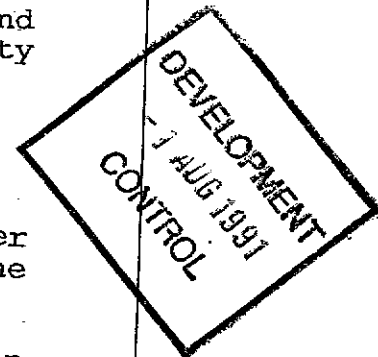
Please quote the above appeal reference number in any further correspondence.

Yours faithfully,


Suzanne Lacey

Encl.

BP 555



3 Barton Avenue,
Rathfarnham,
Dublin 14.
July 22nd 1991.

An Bord Pleanala,
Irish Life Centre,
Floor 3,
Blocks 6&7,
Lower Abbey Street,
Dublin 1.

Your Ref: PL 6/5/85855
P.A. Reg. Ref: 91A/262

Appeal re: Demolition of dwelling at No. 2 Barton Avenue and
erection of 6 four bedroomed houses on Sites 1 and 2 Barton
Avenue and adjacent lands at Grange Road, Rathfarnham,
County Dublin.

Dear Sir/Madam,

I am in receipt of your letter of July 2nd 1991 relating to
the above appeal and comment as follows on the points raised
in the letter of Charles Donnelly, Architect, of June 24th
1991:

Objection to Two-Storey Houses:

The existing houses on Barton Avenue are all bungalows and
the fact that they are not of a uniform architectural design
enhances the character of the avenue rather than detracts
from it. It is the bungalow feature of Barton Avenue the
residents want to retain. The point that there are 2 storey
houses to the front, on Aranleigh and to the rear, on Barton
Drive, is irrelevant.

The point in relation to previous permissions being an
acceptance in principle of a 2 storey housing development is
erroneous as the residents were unaware of the permissions
being either sought or granted.



Also, with regard to the point on overdevelopment, relative to the size of the existing properties on the avenue the proposed development would represent an over intensification of development.

Vehicular Access to Barton Avenue:

The road width of Barton Avenue at the junction of Aranleigh and Barton Avenue is 5 metres and not 7.2 metres as stated and is therefore, not sufficient width to accommodate increased traffic. This problem, together with the additional problems of safety as outlined in my letter dated May 24th 1991, could be overcome should the access to Barton Avenue be relocated to a position in front of any new development. The developer has already indicated that he is in agreement with this relocation.

Existing and Proposed Planting:

With regard to the retention of the existing greenery and the planting of additional trees it is probable that agreement can be reached with the developer on this matter.

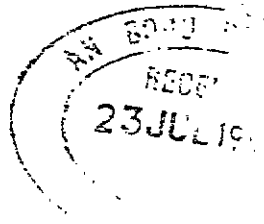
Mr. John J. McDonald, the developer, met with the residents of the adjoining properties on July 18th in an effort to resolve all differences. He was informed that a bungalow development would be acceptable provided it met with all requirements and the residents also informed him of their other objections. He agreed to give further consideration to these matters.

X Finally, in your letter of July 2nd 1991, you refer to the appeal against 7 four bedroomed houses, this should read 6 four bedroomed houses.

Yours faithfully,

Patrick Quinlan

Patrick Quinlan.



Our Ref: PL 6/5/85855
P.A. Reg. Ref: 91A/262

The Secretary,
Dublin County Council,
Planning Department,
Irish Life Centre.

Date: 2nd July, 1991.

Appeal re: Demolition of dwelling at number 2 Barton Avenue and erection of 7 four bedroom houses on sites 1 and 2 Barton Avenue and adjacent lands Grange Road, Rathfarnham, County Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within twenty-one days of the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Please quote the above appeal reference number in any further correspondence.

Yours faithfully,

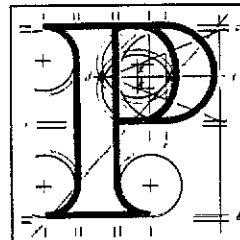

Angela Bermingham.

Encl.

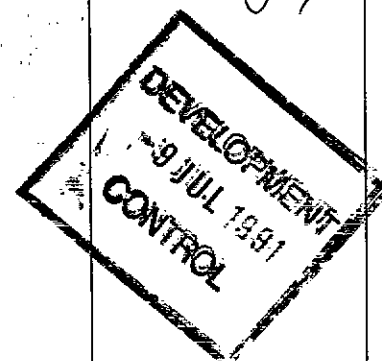
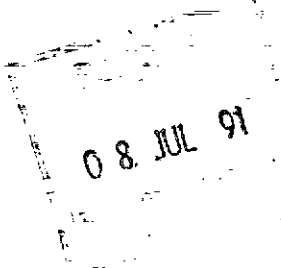
BP 553

Handwritten initials and date:
9/7

PK
An Bord Pleanála



Floor 3 Blocks 6&7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011



James

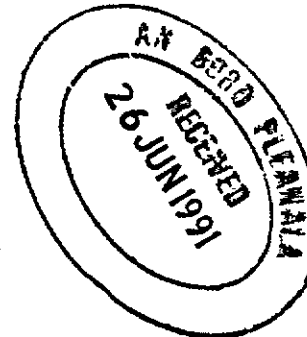
Charles

DOLAN and DONNELLY
A R C H I T E C T S

33 Lower Leeson Street Dublin 2. Telephone 763080 Fax 763174

24 June 1991

An Bord Pleanála
Floor 3 Blocks 6 & 7
Lower Abbey Street
Dublin 1



PL 6/5/85855, REG REF : 91A/262.

Planning Authority decision re: Demolition of dwelling at 2, Barton Avenue and erection of 7 four bedroomed houses on sites 1 & 2, Barton Avenue and adjacent lands at Grange Road, Rathfarnham, Co. Dublin

Dear Sirs,

We are in receipt of your letter of 28th May 1991, and note that appeals have been lodged by the Barton Residents Association and Mr Patrick Quinlan of no. 3 Barton Avenue. We have examined the relevant documents made available at the offices of the Planning Authority.

The principal objections of both appellants may be summarized as follows :

- Objection to two-storey houses.
- Location and nature of vehicular access to Barton Avenue from Aranleigh, and additional traffic loads.
- Existing and proposed planting.

We are pleased to note that neither appellant objects in principle to development on this site and wish to comment as follows :

OBJECTION TO TWO-STOREY HOUSES

The report of the Dublin Planning Officer (24 APR. 1991) describes the site : "the adjoining houses on Barton Avenue are single storey, while the houses on Barton Drive which adjoins the site immediately to the south are two storey semi-detached. The houses on Aranleigh to the north are two-storey houses." Each of the 4 neighbouring houses on Barton Avenue is already directly faced by two-storey to the front and rear. The immediate vicinity is predominantly two-storey housing.

The houses on Barton Avenue are not identical or of a uniform architectural character. Most of them have been substantially altered and extended over the years. There is however an existing building line which the present proposal adheres to.

The planning report further states that "while previous permissions for houses on part of this site have expired (YA330, ZA526) the principle of 2 storey housing development on this site was accepted at the time of these permissions".

Following the elimination of house no. 7 (condition no. 5 Notification of Decision to Grant Permission) the remaining 6 houses will have back gardens varying in length from 19 to 26m. (i.e. longer than those of existing houses on Barton Drive.) All windows in the side elevation of the proposed house type, (bathrooms only) will have obscure glass (see condition 17 of Notification of Decision to Grant Permission). The proposal therefore does not constitute overdevelopment (site coverage, plot ratio, house separation and garden length all comfortably satisfy current Development Plan requirements) nor does it involve unreasonable overlooking of adjacent properties.

VEHICULAR ACCESS TO BARTON AVENUE

A development of six houses will not generate a significant volume of additional traffic. Each of the proposed front driveways is sufficient to park 2 cars. The hammerhead at the former junction of Grange Road and Barton Avenue is sufficient for any required turning movements. The road width at the junction of Barton Avenue and Aranleigh 7.2m., sufficient to handle any temporary construction traffic. Any damage caused to the roadway will be repaired by the developer (see condition 10 of Notification of Decision to Grant Permission). Condition no. 13 of the Notification of Decision to Grant Permission requires a financial contribution of 2,400 towards the cost of road improvements. The planning report states "this money would be spent on road improvements on Grange Road.....as well as improving the junction of Barton Avenue and Aranleigh."

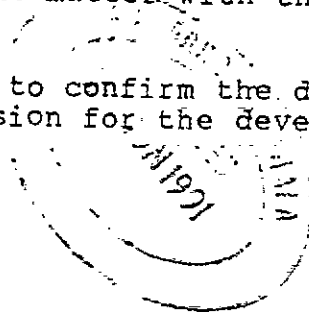
The applicant has no objection to relocation of the access to Barton Avenue from Aranleigh to a position opposite the proposed development. In this event we would suggest that the access be positioned opposite proposed house nos. 1 and 2, approximately 60m from the kerb on Grange Road.

EXISTING AND PROPOSED PLANTING

Condition nos 16 and 22 of the Notification of Decision to Grant Permission require the retention of hedgerows and trees along the eastern boundary of the site (adjoining no. 3 Barton Avenue) and the retention of one large tree on the Grange Road frontage. The applicant has no objection to the retention of existing trees and hedgerows and an amount of new planting on the Southern boundary of the site and would be happy to agree the matter with the residents of Barton Drive.

In view of the above we request the Board to confirm the decision of Dublin County Council and grant permission for the development.

Yours sincerely
C. Donnelly



COMHAIRLE CHONTAE ATHA CLIATH

Tel.: 724755
Ext. 268/269

Planning Department,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

Your Ref.: PL6/5/85855
Our Ref.: 91A/262

14 June 1991

An Bord Pleanála,
Blocks 6 and 7,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1983

Proposal: Demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7 four bedroomed houses on the sites of nos. 1 and 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14.

Applicant: John J. McDonald Ltd.

Dear Sir,

With reference to your letter dated 28th May, 1991 I enclose herewith:-

- (1) & (2) A copy of the application which indicated the applicant's interest in the land or structure.
- (3) A copy of the public notice given, i.e. Irish Press, 27th February, 1991.
- (4) The plan(s) received from the applicant on 28th February, 1991.
- (6) & (7) A certified copy of Manager's Order P/1920/91 together with technical reports in connection with the application.
- (8) XA.1686 - PL6/5/62075; XA.1687 - PL6/5/62078;
XA.1688 - PL6/5/62077; XA.1689 - PL6/5/62076.

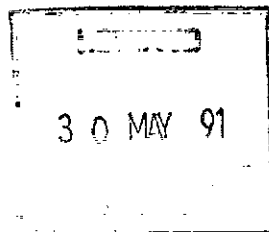
Yours faithfully,


for Principal Officer.

Encls.

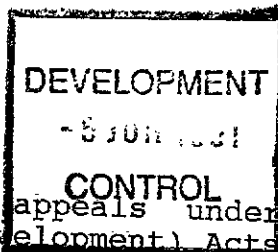
Our Ref: PL 6/5/85855
Your Ref: 91a/262

Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.



Date: 28th May 1991

Planning authority decision re: DEMolition of dwelling at no. 2 Barton Avenue and erection of 7 four-bedroom houses on sites 1 and 2 Barton Avenue and adjacent lands at Grange Road, Rathfarnham, County Dublin.

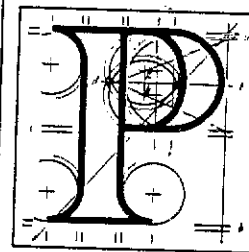


Dear Sir/Madam,

Enclosed are copies of 2 appeals under the Local Government (Planning and Development) Acts, 1963 to 1990, in relation to the above-mentioned decision. So that consideration of the appeal may proceed, you are requested to forward to the Board within two weeks:

- (1) The application made to the planning authority.
- (2) Particulars of the applicant's interest in the land or structure, as supplied to the planning authority.
- (3) A copy of the public notice, whether published in a newspaper or on the site.
- (4) Any drawings, maps, particulars, information, evidence or written study received or obtained from the applicant, including the ordnance survey number.
- (5) Copies of requests (if any) to the applicant for further information relating to the application under appeal and copies of reply and documents (if any) submitted in response to such requests.
- (6) A certified copy of the relevant Manager's Order.
- (7) Copies of any technical or other reports relevant to the decision on the application.
- (8) Particulars and relevant documents relating to previous decisions affecting the same site or relating to applications for similar development close by.

213
An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Handwritten initials: JLS


Please note that the other party/parties to the appeal are being notified that copies of the planning authority documents relevant to the decision which gave rise to the above-mentioned appeal will be available for inspection at your offices after the expiration of a period of fourteen days from the date of this letter. It would be appreciated if parties could be facilitated in this regard.

Copies of the representations or observations made to the planning authority in relation to the application should not be sent to the Board. It is assumed that the planning authority has notified observers of the decision made and of the right of appeal.

The planning authority may make to the Board, in writing, such observations on the appeal as it thinks fit. Where practicable, any such observations should be submitted with the documents listed above but the furnishing of the documents should not be held up until observations are available. In any event, to ensure that they will be taken into account in the determination of the appeal, any such observations should be furnished within one month of the date of this letter.

Please quote the above appeal reference number in any further correspondence.

Yours faithfully,

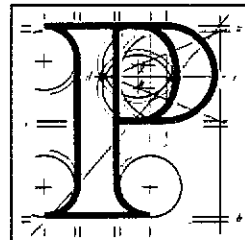


Miriam Baxter.

Encl.

BP 005

An Bord Pleanála



Floor 3 Blocks 6&7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

3 Barton Avenue,
Rathfarnham,
Dublin 14.

May 24th 1991.

An Bord Pleanala,
Irish Life Centre,
Floor 3,
Blocks 6 & 7,
Lower Abbey Street,
Dublin 1.

Re: Planning Req. No. 91A/262

Dear Sirs,

I hereby appeal to An Bord Pleanala to re-examine the planning permission granted to John J. McDonald Ltd., for the demolition of the existing dwelling at 2 Barton Avenue and the erection of 6 four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 on the grounds stated on the attached sheets.

I attach herewith the required fee of £50.

I trust you will give this appeal your full and favourable consideration.

Yours faithfully,

Patrick Quinlan

Patrick Quinlan.

AN BORD PLEANALA	<i>By hand</i>
Received	<i>24/5/91</i>
Fee:	<i>45000</i>
Receipt No.	<i>B.232SS</i>

Barton Avenue is a cul-de-sac with 5 detached bungalows situated on it. Although the houses are not similar in design, they are, however, all "bungalows" in spacious surroundings.

- (A) (i) The planning permission granted to have two-storey semidetached houses built on one end of the avenue detracts considerably from the bungalow character of the avenue and would be totally out of harmony with the existing properties.
- (ii) In the County Councils development plan for the area and in particular to its "Design Considerations", cognizance must be taken of the fact that any residential development should harmonise and blend in with the existing properties. This proposed development obviously does not conform to this requirement. In this regard also, the proposed development is totally out of line, space and density wise, with the existing properties.
- (iii) With regard to the Councils "Design Considerations" in relation to the loss of privacy to surrounding properties it is obvious that the building of two-storey houses adjacent to bungalows will result in a degree of overlooking and consequent loss of privacy. The residents of 3 Barton Avenue, whose property is located next to the proposed new development, would suffer greatly from loss of privacy. It would also detrimentally affect the value of the property.
- (B) (i) The entrance to Barton Avenue from the Grange Road was "walled off" by the Council some years ago and a new entrance opened directly in front of the gateway to 3 Barton Avenue. To date the volume of traffic entering the avenue has been minimal. However, should this development take place, or indeed any other one, the volume of traffic would increase considerably thereby infringing on the safety of the residents of No. 3 Barton Avenue and in particular the children. Not only will the traffic created by the proposed development infringe on their safety but

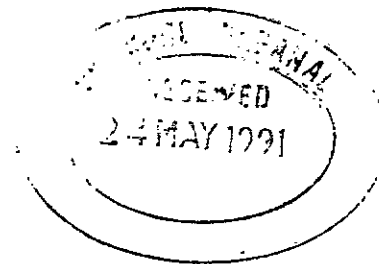
RECEIVED
24 MAY 1991

in the event of work going ahead, construction traffic will definitely create a much more hazardous situation.

- (ii) The construction of the existing road, i.e. Barton Avenue, is not in accordance with the present Dublin County Council specification for access roads to housing development, both in sub-base formation and tarmacadam depths and therefore cannot stand up to the construction traffic that would be imposed on it.
- (iii) The avenue width from the boundary wall of 3 Barton Avenue to the existing boundary wall of the avenue is 6.4 metres i.e. road width 5 metres, footpath 1.4 metres, and to comply with the present County Councils specification an overall width of 3.3 metres for footpath and grass margin plus 5.5 metres for the road is necessary.

The present entrance to Barton Avenue, off Aranleigh Mount, is not of sufficient width to accommodate construction traffic and would cause the traffic to encroach on the footpath. In the event of cars being parked on the roadway outside of No. 3 Barton Avenue, access to the site would be practically impossible as the road is so narrow.

Therefore if any development were to take place on this site it would be essential that the entrance to Barton Avenue from Aranleigh Mount be moved away from where it is located at present and re-located in front of the new development.



BARTON RESIDENTS' ASSOCIATION
RATHFARNHAM

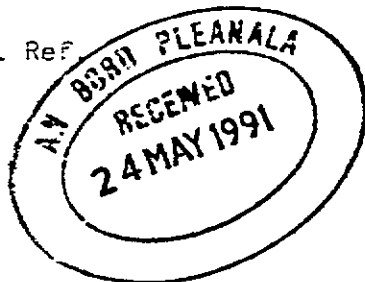
An Bord Pleanála
Floor 3, Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1.

35 Barton Road West
Rathfarnham
Dublin 14.
IRELAND.

My Ref **PLN 91/7**

Yr. Ref

Date: 23rd May, 1991



Dear Sir/ Madam,

Dublin County Council Grant of Planning
Permission P 1920/91 - 06-05-'91 on
Register Ref 91A/ 0262 : John J. Mc Donald Ltd.,
Dwelling Houses at Barton Avenue, Rathfarnham
Dublin 14.


My Executive Committee has directed me to send to
you this present Appeal against the grant of permission
as set out above.

The Association submits the attached schedule of grounds
of appeal for your kind attention.

The fee required (£ 50.00) is attached hereto
in the form of a cheque.

I have the honour to remain,

Yours faithfully,


Thomas A. O'Connor
Secretary.

AN BORD PLEANALA
Received <u>24/5/91</u>
Fee: <u>£ 50.00^{chq}</u>
Receipt No. <u>B23254</u>

BARTON RESIDENTS' ASSOCIATION
RATHFARNHAM

Schedule attached to our
letter PLN 91/7 23rd. May, 1991.

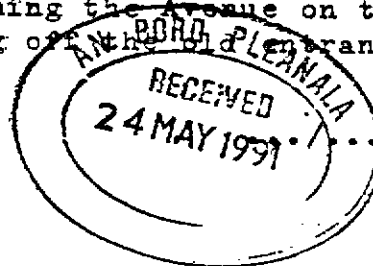
35 Barton Road West
Rathfarnham
Dublin 14.
IRELAND.

My Ref

Your Ref.

Date:

1. This Association does not object to the development of the site for private housing purposes.
2. The site is not a green field one and therefore any construction on it should be in complete harmony with the other dwellings on Barton Avenue. The other dwellings are 4 (four) detached bungalows already mature and with developed gardens, hedgerows and trees of a number of varieties.
3. The Association welcomes the planning Authority decision to approve, of a reduced number of houses on the site, six instead of seven, in the interest of traffic safety and residential amenity of existing houses. In our view the use of the seventh site would enable the applicant to correspond with our major objection that is that two storey semi-detached houses would be aesthetically unpleasant, incongruous and so dominant that the whole nature of this pleasant little Avenue cul-de-sac would be completely ruined. This would reduce the enjoyment of the present residents in their homes and would reduce the commercial value of these homes.
4. It is the advised opinion of this Association that a scheme of six bungalows semi-detached and using the whole site would reward the developer to the same if not a greater extent than the present proposed two-storey houses and such bungalows would fit unobtrusively into this pleasant little quarter.
5. The Association draws to your attention that, in the building of the Aranleigh estate to the north and west of the Avenue, great care was taken by the planners to preserve and indeed improve the secluded nature of the Avenue dwellings. The improvement was done by opening the Avenue on to the Aranleigh estate road and closing off the entrance directly on to Grange Road.



BARTON RESIDENTS' ASSOCIATION
RATHFARNHAM

Schedule p.2.

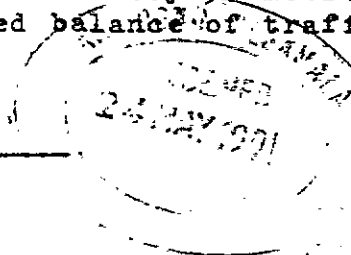
35 Barton Road West
Rathfarnham
Dublin 14.
IRELAND.

My Ref

Yr. Ref.

Date:

6. The present approval specifies in condition 16 that the hedgerows /trees along the eastern boundary of the site could be retained and in condition 22 specifies the retention of one mature tree. This Association requests that in addition the trees and suitable bushes along the southern boundary .i.the rear gardens of Nos. 2,4 and 6,8, Barton Drive should also be retained. The particular ones concerned should be agreed between the developer and the residents of the houses mentioned.
7. Because the preponderance of traffic movement in this narrow avenue will be towards the new development, this Association considers that the opening onto Aranleigh Mount should be relocated to opposite site Nos 5/6 of the new development. This would be in the interest of elderly persons and/young children already growing up in a quiet cul-de-sac.
8. In summary therefore our objections and proposals are as follows:
 - a. Two-storey dwellings are unacceptable and should be substituted by bungalows.
 - b. Further vegetation than that specified in the permission should be retained in the interests of visual amenity
 - c. The access entry to the Barton Avenue should be moved westwards approximately 50 metres to cater for the altered balance of traffic movement.



DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To..... Charles Donnelly, Archs., Decision Order P/1920/91 - 06.05.1991
..... 40 Rathgar Avenue, Number and Date
..... Dublin 6. Register Reference No. 91A/0262
..... Planning Control No.
..... Application Received on 28.02.1991
Applicant..... John J. McDonald Ltd. Site Area: 2200 sq. m.

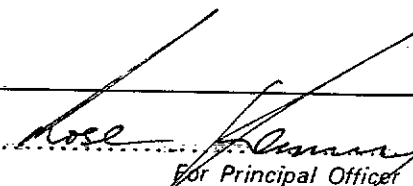
In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-

Proposed demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.	2. In order to comply with the Sanitary Services Acts, 1878-1964.
3. That each proposed house be used as a single dwelling unit.	3. To prevent unauthorised development.
4. That a financial contribution in the sum of £2,640. be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.	4. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

Signed on behalf of the Dublin County Council


for Principal Officer

Date..... 6th May, 1991.

IMPORTANT: Turn overleaf for further information

CONDITIONS	REASONS FOR CONDITIONS
<p>5. That House No. 7 be omitted from the proposed development and the site of No. 7 be incorporated into the adjoining rear gardens of House Nos. 3-6 inclusive.</p>	<p>5. In the interest of residential amenity of existing and proposed houses and traffic safety.</p>
<p>6. That trees be planted inside the western boundary of the site where the site adjoins Grange Road (white birch or similar species would be acceptable).</p>	<p>6. In the interest of visual amenity.</p>
<p>7. That a financial contribution in the sum of £6,000. be paid by the proposer to the Dublin County Council towards the cost of provision of public open space in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.</p>	<p>7. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.</p>
<p>8. That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. The applicants should note that he is required to lay a 100 mm. main from the existing watermain on Grange Road to serve the proposed development. Details of the arrangements for providing this are to be agreed with the Area Engineer, at Sandyford before construction commences.</p>	<p>8. In order to comply with the Sanitary Services Acts 1878-1964.</p>
<p>9. That all watermain tapplings, branch connections, swabbing and chlorination be carried out by the County Council, Sanitary Services Department and that the cost thereof be paid to the County Council before any development commences.</p>	<p>9. To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.</p>

[Handwritten signature]

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/Approval

Local Government (Planning and Development) Acts, 1963-1983

To..... Charles Donnelly, Archs., Decision Order P/1920/91 - 06.05.1991
..... Number and Date
..... 40 Rathgar Avenue, Register Reference No. 91A/0262
..... Dublin 6. Planning Control No.
..... Application Received on 28.02.1991
Applicant..... John J. McDonald Ltd. Site Area: 2200 sq. m.

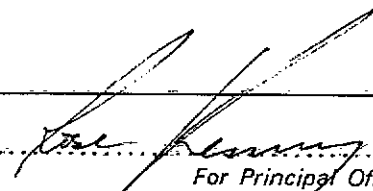
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Proposed demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 & 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
10. That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.	10. To protect the amenities of the area.
11. That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.	11. In the interest of amenity.
12. That no dwellinghouse be occupied until all the services have been connected thereto and are operational.	12. In the interest of the proper planning and development of the area.
13. That a financial contribution in the sum of £2,400. be paid by the proposer to the Dublin County Council towards the cost of road improvements and traffic management proposals in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.	13. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

Signed on behalf of the Dublin County Council


For Principal Officer

Date..... 6th May, 1991.

IMPORTANT: Turn overleaf for further information

CONDITIONS	REASONS FOR CONDITIONS
14. Footpaths and kerb to be dished to the requirements of the Area Engineer (Roads Maintenance).	14. To comply with the requirements of the Roads Department.
15. The driveway serving each house is to be 3 metres wide.	15. In the interest of the proper planning and development of the area.
16. That the existing hedgerows/trees along the eastern boundary of the site be retained and that a 1.8 metre high wall suitably rendered and capped be constructed along the southern boundary of the site where the site adjoins No. 2 Barton Drive.	16. In the interest of the proper planning and development of the area.
17. That obscure glass be used in the bathroom window in the side elevation, first-floor level.	17. In the interest of residential amenity.
18. That the applicant agrees colour of roof tiles to be used in the development with the Planning Authority prior to the commencement of development.	18. In the interest of visual amenity.
19. That the houses have a painted render finish on external walls.	19. In the interest of visual amenity.
20. That details of finished floor levels be agreed with the Planning Authority prior to the commencement of development on the site. The applicant should note that the finished floor levels should not exceed those of adjoining development.	20. In the interest of the proper planning and development of the area.
21. Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.	22. In the interest of reducing air pollution.
22. That the existing mature tree on site no. 7 be retained. This tree is not to be removed except with the written agreement of the Planning Authority.	22. In the interest of visual amenity.

NOTE:

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Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

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To..... Charles Donnelly, Archs., Decision Order... P/1920/91 - 06.05.1991
..... 40 Rathgar Avenue, Number and Date.....
..... Dublin 6. Register Reference No. 91A/0262
..... Planning Control No.
..... Application Received on 28.02.1991
Applicant..... John J. McDonald Ltd. Site Area: 2200 sq. m.

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..... Proposed demolition of the existing dwelling at No. 2 Barton Avenue
..... and the erection of 7 four bedroomed houses on the sites of Nos.
..... 1 & 2 Barton Avenue and adjoining lands on Grange Road,
..... Rathfarnham, Dublin 14.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
<p>23. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services has been given by:</p> <p>(a) Lodgement with the Council of an approved Insurance Company Bond in the sum of £16,000. OR/.....</p> <p>(b) Lodgement with the Council of a cash sum of £10,000. OR/.....</p> <p>(c) Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.</p>	<p>23. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.</p>

Signed on behalf of the Dublin County Council

Rose Kennedy
For Principal Officer

Date..... 6th May, 1991.

IMPORTANT: Turn overleaf for further information

CONDITIONS

REASONS FOR CONDITIONS

NOTE:

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Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

RECEIPT CODE

COMHAIRLE CHONTAE ATHA CLIATH

PAID BY **DUBLIN COUNTY COUNCIL**
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

Issue of this receipt to not be

CASH
CHEQUE
M.O.
B.L.
I.T.

N 35381

£ 40 00

Received this 26th day of April 1974

from John J. McDonald Ltd,
120/121 LR. Baggot St.,
D.2

the sum of forty Pounds

of fee on 91A/262

Madeline Deane Cashier

S. CAREY
Principal Officer

Classified

Charles Donnelly, Architects,
40, Rathgar Avenue,
Dublin 6.

Reg. Ref. 91A-0262

25 April 1991


Re: Proposed demolition of the existing dwelling at No. 2, Barton Avenue and the erection of 7, four bedroomed houses on the sites of Nos. 1 and 2, Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14 for John J. McDonald Ltd.

Dear Sirs,

With reference to your planning application received here on 28th February, 1991, in connection with the above, I wish to inform you that:-

In accordance with Section 10(2a) of the Local Government (Planning and Development) Act, 1982, it is not proposed to determine this planning application as the correct prescribed fee in respect of this planning application has not been submitted to the Planning Authority.

Yours faithfully,


for Principal Officer.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box. **BYE - LAWS**
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building **NOS 1 AND 2 BARTON AVENUE AND ADJACENT**
(If none, give description sufficient to identify) **LANDS ON GRANGE ROAD, RATHFARNHAM, DUBLIN 14**

3. Name of applicant (Principal not Agent) **JOHN J. MC DONALD LTD.**

Address **120/121 W. BAGGOT STREET, DUBLIN 2** Tel. No.

4. Name and address of person or firm responsible for preparation of drawings **CHARLES DONNELLY, ARCHITECTS,**
40 RATHGAR AVENUE, DUBLIN 6 Tel. No **961796**

5. Name and address to which notifications should be sent **AS IN 4**

6. Brief description of proposed development **7 NO. 2 STOREY HOUSES.**

7. Method of drainage **PUBLIC SEWER** 8. Source of Water Supply **MAINS**

9. In the case of any building or buildings to be retained on site, please state:
(a) Present use of each floor or use when last used **N/A**
(b) Proposed use of each floor **N/A**

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? **YES**

11(a) Area of Site **2050 APPROX.** Sq. m.

(b) Floor area of proposed development **871.5** Sq. m.

(c) Floor area of buildings proposed to be retained within site **N/A** Sq. m.

12 State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) **FREEHOLD.**

13 Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box.

BYE LAW APPLICATION
REC. NO. N35491
€555.00

14 Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
IN SO FAR AS IS PRACTICABLE. THIS IS NOT A GUARANTEE OF IMPLEMENTATION IN FULL.

15 List of documents enclosed with application.
SPECIFICATION X 4 COPIES, FEE CHEQUE,
DRAWING NOS AD1 TO AD5 X 2 COPIES,
STRUCTURAL ENGINEERS CERTIFICATE.

16 Gross floor space of proposed development (See back) **871.5** Sq. m.

No of dwellings proposed (if any) **7** Class(es) of Development **1**

Fee Payable **€205.00** Basis of Calculation **7 houses x €55 each**
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) **Donnelly** Date **8 April 91.**

Application Type FOR OFFICE USE ONLY
Register Reference
Amount Received €
Receipt No **91A/0262**
Date **2.10.2**
BBL

RECEIVED
12 APR 1991
REG. SEC.

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station Development or	£200.00
F	Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ATHA CLIATH

RECEIPT CODE

PAID BY
CASH
CHEQUE
M.O.
B.L.
I.T.

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

BYE LAW APPLICATION.

REC. No. N 35492

£ 385.00

Received this 12th day of April 1991
from John J. McDonald Ltd.

The sum of three hundred and eighty five Pounds

Pence, being bye-law application at Burton Av.

Michael Doane Cashier

S. CAREY
Principal Officer

1031X7

KEVIN LOOBY ASSOCIATES

Consulting Civil & Structural Engineers
32 Raglan Lane, Ballsbridge, Dublin 4, Ireland.
Telephone: (01) 601099 Fax: (01) 601099

Kevin J. Looby
C.Eng., M.I.E.I., M.I.Struct.E., M.Cons.E.I.

Date 22nd March, 1991.

Ref JKL/MMD

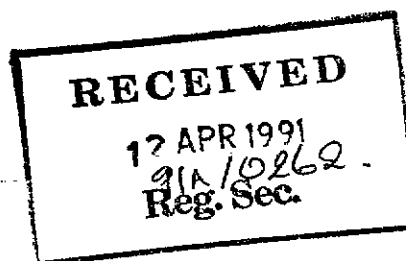
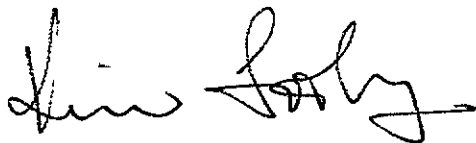
Building Control
Dublin Co. Council
Tara Street
Dublin 2.

Re: Proposed Houses at Barton Ave, Rathfarnham
FOR Messrs. J. J. Mc Donald Ltd.,

Dear Sirs,

We have been appointed as Engineers for the above project and certify that the structural elements will be designed in accordance with the relevant Irish and British standard Specification and Codes of Practice.

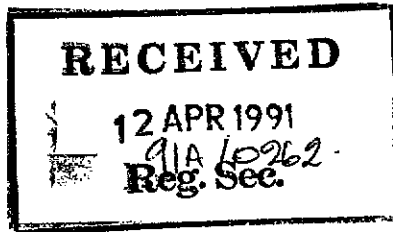
Yours faithfully,



Kevin J. Looby

JOHN J. McDONALD LTD.

BUILDER & CONTRACTOR



With Compliments

Telephone: 934668/932004
V.A.T. No. 9 D 60957 H

WHITECHURCH LODGE
RATHFARNHAM
DUBLIN 16

Section I EXCAVATIONS AND SUB-STRUCTURES

Preparing Site

Clear and grade site for new building and remove or divert existing drains as required. The entire site of building and paved areas shall be cleared of all vegetable soil to a depth of at least 150mm. Where the bearing quality of the ground is suspect, consult the architect or engineer.

Excavation

The trenches shall be excavated to the depths and widths required to accommodate foundations or to such further depths or widths as may be necessary to ensure the stability of the structure. Trench bottoms and foundations shall be levelled off in horizontal benches. The bottom of trenches shall be not less than 450mm below the finished ground level and kept clear of water before concreting.

Where other excavations close to or under the foundations are unavoidable care shall be taken to ensure the stability of the structure.

Foundations

Shall be concrete mix A, to widths and depths indicated and reinforced as necessary. Where foundations are stepped they shall overlap at least 600mm.

Floor Level

The height of the finished floor over the highest point of the finished ground level shall be not less than 175mm in the case of concrete floors.

Rising Walls

Rising walls shall be of solid blockwork bedded in cement mortar, or of mass concrete, mix A to widths and heights indicated.

Cement

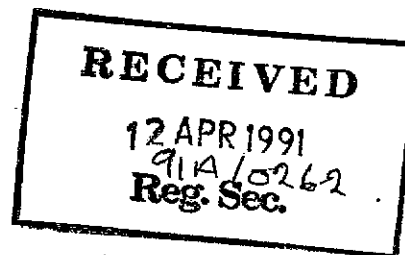
Normal Portland Cement shall be in accordance with I.S. 1 and stored under dry conditions.

Lime

Hydrated lime to be to I.S. 8.

Water

Water shall be clean and free from harmful impurities.



Sand and Aggregates

Fine aggregates shall be clean, sharp pit or river sand free from all impurities and in accordance with I.S. 5. Coarse aggregates shall be suitably graded hard clean pit gravel or crushed stone in accordance with I.S. 5 and to sizes set out below.

Concrete Mixes

Concrete Mix	Aggregates Maximum Size	Nominal Mix			28 Strength (Newtons) Per mm ²
		Cement	Fine Aggregate	Graded Coarse Aggregate	
A	40mm	1	3	6	14
B	20mm	1	2	4	21
C	14mm	1	3	6	-

The water-cement ratio shall be kept to the minimum needed to ensure reasonable workability but should not exceed 35 litres per 50Kg of cement.

Readymixed concrete may be used subject to the approval of the architect or engineer.

Cement Mortar

Shall be 1 part cement to 3 parts sand.

lime Mortar

Shall be 1 part hydrated lime to 6 parts sand.

Additives

Plasticisers, waterproofers, sealers and bonding agents if used, shall be used in accordance with manufacturer's instructions.

Section 2 BLOCKLAYING AND CONCRETING

Mixes

See Section 1 for concrete and mortar.

Blockwork

Concrete blocks shall be in accordance with I.S. 20 and bricks, if clay, in accordance with I.S. 91. All blockwork and brickwork shall be properly coursed and bonded and bedded in gauged mortar. All walls shall be carried up regularly not leaving any part 1m lower than another.

External Walls

External walls shall be formed in 215mm hollow concrete block.

Opes in External Walls

Where any duct, pipe, etc., is required to penetrate through an external wall it shall be so arranged as to prevent the passage of moisture inwards.

Solid Partition

Solid partitions shall be 100mm. thick brick or blockwork, laid to break joint, in gauged mortar, bonded 100mm at junctions. (See Carpentry and Joinery for non load bearing stud partitions.)

D.P.C.

The damp-proof courses shall be polythene in accordance with B.S. 743 or bitumen sheeting on hessian or canvas base in accordance with I.S. 57 laid to prevent the passage of moisture and lapped adequately at joints, all as described below.

In all ground floor walls and breasts to full width and stepped as necessary, in cavity walls in both outer and inner leaves separately, and shall be laid not less than 150mm over finished ground level or paved area or highest ground within one metre of house.

At sides of opes in cavity walls and over all opes 250mm longer than opes and stepped down and outward all to prevent passage of moisture from outer to inner leaf.

Under the turned up at ends and back of all cills and external room ventilation grids and recessed edges of all concrete roof slabs.

In all chimney stacks immediately above the level of the flashing and under all cappings and copings.

Where the waterproofing membrane in a concrete floor is not level with the wall D.P.C. care shall be taken to ensure continuity of damp proofing by stepping turning up and lapping as necessary.

Where the waterproofing membrane in a concrete floor is not level with the wall D.P.C. care shall be taken to ensure continuity of damp proofing by stepping turning up and lapping as necessary.

Concrete Under Barges

Concrete barges, if used, shall be under slates or tiles, full width of walls and at least 75mm thick and projecting 100mm beyond the face of the wall, throated on the underside, suitably reinforced and tied back as necessary.

Lintels

Concrete lintels mix B cast in situ shall be 225mm deep with 225mm bearing at each side of the opening; and shall be reinforced for full length with one 10mm mild steel for every foot of span. Bars are to be placed 25mm from bottom of lintel. Lintels for openings greater than 2.5m shall be specially designed. Precast concrete lintels to be as above and in addition to have 2 No. 10mm mild steel bars at the top with 25mm cover and to be clearly marked for correct placing. Accepted patent or proprietary lintels to B.S. 1239 to be used in accordance with manufacturer's instructions.

Window Cills

Window cills shall be cast in situ or precast concrete to sizes and profiles shown on drawings.

Concrete Floors

All concrete ground floors shall be laid on a bed of clean hardcore not less than 150mm thick and well consolidated. Soft material shall not be used in making up level under floors. Concrete ground floor shall be 150mm thick mix B finished fine, laid on continuous damp proof membrane on minimum 40mm insulation on a layer of fine sand and turned up at edges of slab as necessary to meet and seal with wall D.P.C. Polythene sheeting where used shall be not less than 1000 gauge.

Section 3 CARPENTRY AND JOINERY

Timber

Timber shall be sound, free from disease and infestation and large loose knots and waney edges, with a moisture content within the limits set out in I.S. 96. Timber for carpentry to be white deal. Timber for joinery to be red deal, hard wood or other timber suitable for the purpose and free from all defects.

Preservative

Soft wood used externally, to be pressure impregnated with coloured preservative. Softwoods in contact with concrete to be treated with coloured preservative. Frames, barge-boards, fascias to be primed before fixing.

Structural Timber and Fixings

All structural timber and fixings shall be in accordance with the structural engineers calculations and specification.

Flooring

Flooring 22mm T & G well cramped, twice nailed with 60mm cut brads, in narrow widths to minimise the effects of cupping and shrinkage.

Grounds

Pretreated timber grounds shall be securely built in, to provide means of fixing frames and trimmings.

Stud Partitions

Studs, head and sole pieces, and bridging 50mm x 100mm. Studs at 350mm to 400mm centres. Sole piece to be well spiked to floor and if parallel to joists, shall be carried on doubled joist. Provide 2 No. rows of nogging. Where a partition is load bearing increase timber sections as required.

Hot Press

Hot press to have not less than 2m² of spar shelving, 22mm x 44mm wrot, at 75mm centres supported on 22mm x 44mm battens. Where necessary, the cylinder shall be carried on 22mm T and G on 35mm x 75mm framed bearers. Hang suitable door, framed to prevent warping and fitted with suitable catch. Holes for pipes etc. to be neatly made good.

Fitments

All fitments and built-in units shall be of such design, material and workmanship so as to satisfy completely the demands of normal usage.

Trimings

Skirtings to be as per later schedule.

Architraves be as per later schedule.

Saddles shall be hardwood, cut of 22mm x 150mm splayed, scribed to door frames and secured to floor. For external doors accepted proprietary thresholds may be used.

Section 4 ROOFING

Sparking Felt

Untearable sarking felt to I.S. 36 shall be laid under all slates and tiles, lapped horizontally not less than 75mm for pitches greater than 25° and 150mm for lesser pitches, carried down into eave gutters. Side lap shall not be less than 150mm for pitches over 25° and 500mm for less pitches. Felt to be carried fully over ridge board.

Laths or Battens

Laths or battens shall be as per the sizes indicated in the engineer's specification.

Concrete or Clay Roof Tiles

Pitched roofs are to be finished with concrete or clay roof tiles (420 x 332 or 256 x 165) as indicated on drawings. Tiles shall be laid in accordance with the manufacturer's instructions and recommendations.

General

Tiles are to be nailed, fixed, clipped and lapped in accordance with I.C.P. 2 1982.

Slates and tiles to be neatly trimmed where necessary. Part tiles and slates to be adequately secured.

Drip overhang to be provided at eave and valley gutters.

At verges slates or tiles shall oversail wall face or barge, by at least 25mm in the case of slates and 50mm in the case of tiles, and shall be neatly pointed in suitably coloured sand/cement mortar, suitably coloured; bedding and pointing to be done in one operation.

Provide suitable hip hooks, screwed to end of hip rafters. Over party walls the space between battens shall be filled with mortar to complete fire stop.

Flashings

Valley gutters, cover flashing and flashings to chimneys shall be:

- (1) No. 5 lead to B.S. 1178
- (2) 22/24 gauge medium hard copper
- (3) 20 gauge super-purity aluminium (18 gauge to valleys and parapet gutters)
- (4) accepted proprietary systems.

Chimney flashing shall consist of aprons, soakers and cover flashings. The latter shall be secured in a chase in concrete block chimneys, wedged and pointed in with cement fillet formed over. To brick chimneys cover flashings shall be stepped, wedged and pointed into brick joints. Saddle pieces shall be provided at all ridges and roof intersections. Valley gutters shall be laid on felt on 20mm x 225mm wrot boarding treated with wood preservative, and turned up edges under roof felt tiles or slates.

Section 5 PLASTERING

External Plastering

225mm hollow block, 225mm solid block and chimney stack:-

scud walls in 3:1 sharp sand and cement. Apply 2 coats of plaster (1 cement: 1 lime: 6 sand). The total thickness of plaster shall be 20mm minimum. The second coat to be finished nap or smooth or prepared for proprietary finish.

Plinth

Plaster plinths to be finished smooth, and neatly cut off or weathered at top edge.

Plaster finish to extend below finished ground level.

Internal Plaster - Solid Partitions

Scud walls and plaster one coat 12mm thick, 1 cement: 1 lime: 6 sand. Finish with neat gypsum plaster skim, or grey coat of gauged mortar applied with wood float. Alternatively proprietary finishes may be used to manufacturer's instructions.

Internal Plastering - Stud Partitions

Stud partitions and ceilings to be covered with 9.5mm or 12.7mm tapered edge plasterboard and prepared for wallpaper finish as per manufacturer's instructions.

Dry Lining

The internal face of all external 215 block walls shall be dry lined using a minimum of 50mm rigid polyurethane insulation and finished with 9.5mm tapered edge plasterboard prepared for wallpaper as per manufacturer's equivalent (shelter plasterboard laminate system or other equal approved). 2400 x 1200 sheets to be fixed mechanically or by plaster dabs.

Ceilings

Ceilings to be covered with 9.5mm or 12.7mm plasterboard and finished with skim coat of gyplite finishing plaster applied as per manufacturer's instructions. Cornicework to be as per later schedule.

All wall plastering should be carried behind skirtings and architraves.

Precautions shall be taken to protect floors and surrounding work during plastering. Make good neatly to holes for pipework etc.

Plasticisers, water proofers, sealers, and bonding agents shall be used in accordance with manufacturer's instructions.

Section 6 PLUMBING

Service Pipe

Incoming service pipe to be 15mm diameter laid in trench 600mm deep, or otherwise suitably protected against frost, and connected to internal stopcock.

Cold Water Supply

From stopcock take 15mm cold supply direct to sink with branch to high pressure ball valve in service tank, capacity 360 litres or as required by local authority. Tank to be covered and adequately supported over a partition where possible and at such height as to ensure proper working of the system. Provide 22mm overflow from tank to discharge externally. Connect to service tank 50mm over bottom of tank and take 22mm feed to 150 litre hot water cylinder to I.S. 161 with 22mm branch over top of cylinder to bath and 15mm connections off wash hand basin and W.C.

Hot Water Supply

An adequate water heating apparatus must be provided and fitted in accordance with manufacturer's instructions. Flow and return pipes, where appropriate, shall be as recommended by the manufacturer of the heating apparatus. A 22mm copper or stainless steel expansion pipe to be taken from top of cylinder to discharge over service tank, with a 22mm do. branch to bath and 15mm connections off for wash hand basin, sink etc.

General

Fit full way stopcock on cold feeds from service tank and fit draw off cock at lowest convenient point of system. On no account should a stopcock be fitted on an expansion pipe.

Copper piping to be not less than 18 gauge hard drawn.

Plastic pipes to I.S. 123, 134 or 135 where used shall be fixed at least 75mm clear of hot pipe runs. Pipes shall be fixed in straight lines as far as possible, properly jointed with patent fittings and adequately supported and secured with proper pipe clips.

Storage tanks and pipes to be insulated against frost where necessary.

Where other domestic water heating systems are used they shall be competently designed and installed.

Pipes shall not be jointed within the thickness of a wall.

Section 7 DRAINAGE

Trenches

Trenches shall be excavated to the necessary depths, widths and falls to allow the drains to be properly laid. The water service shall be in a separate trench from the drain.

Drain

The main and branch drains shall be 100mm or 150mm diameter laid to continuous falls of not less than 1 in 60 or not more than 1 in 30, with bends and junctions, splayed in the direction of flow, where required, and laid in straight lines from manhole to manhole. The drain shall be P.V.C., all laid, jointed and back filled to manufacturer's instructions or shall be socketed impermeable glazed ware or concrete supported on continuous concrete bed mix B 100mm thick x 300mm wide for full length of each pipe and haunched half way up the pipe after testing and shall be jointed in cement mortar, well worked in against 2 rings of tarred gaskin and finished with neatly worked fillet. Clean pipe internally as necessary after each joint is made.

Encasing of Drains

All drains which pass under the ground floor slab shall be fully encased in a minimum of 150 thick concrete. External walls shall be adequately supported where drains pass through them.

Back Filling

Immediately over pipes back-fill in fine material and fill remainder of trench is selected excavated material, well rammed and remove surplus spoil.

A.J.s, Manholes, Drop Manholes

Armstrong junctions or manholes as suitable shall be provided at each change in direction or gradient of drain and of such dimensions and spacing as to permit easy cleaning of the system. Manholes shall be built in 225mm concrete walls on 150mm thick concrete floor mix B, with glazed channels, bends and branches, suitably benched. Benching and internal walls to be finished smooth in cement mortar. Fit galvanised steel frame and cover. Covers to have provision for lifting.

Gullies and A.J.s

Gullies and Armstrong junctions to be set level, supported on 150mm concrete bed, mix B, and connected to drain as previously specified. Armstrong junctions shall have frame and cover of cast iron, aluminium or galvanised steel.

Gully Traps

Gully traps shall be set in dished concrete surround, to take wastes from bath, sink and wash hand basin and discharge from rain water pipes, and shall be fitted with cast iron, aluminium, or other suitable grid.

Vent Shaft

At head of drain, carry up vent pipe over eave level or to 1m over head of high window within 4m of vent, secured with proper brackets and fitted with cowl or gate.

Testing

Test plumbing and drainage on completion to ensure watertightness and efficient working of the system.

Section 8 ELECTRICAL INSTALLATION

Installation

Electrical installation shall be in accordance with the "National Rules for Electrical Installations" obtainable from the Electro-Technical Council of Ireland.

Lighting Outlets (minimum)	Socket Outlets (minimum)
One in every room landing/stairway, hall and corridor.	One in every bedroom. Three singles in one living-room. Two singles in kitchen excluding any cooker point. One in each other habitable room, entrance hall or landing.

Conduit shall be used where cable is buried in plaster. Joists shall not be notched: where necessary the cable shall be taken through holes bored in centres of joists.

Section 9 PROTECTIVE PAINTING

Preparation

All surfaces to be painted or otherwise protectively coated shall be cleaned down and prepared by wire brushing, sanding, planing or as necessary to obtain the best possible finish. Timber preservatives should be applied where already specified.

Paints

Thinners, sealers, primers, colour washes, paints, varnishes or other brush, roller or spray applied finishes shall be of suitable manufacture for the surface and material to be covered and shall be applied strictly in accordance with the manufacturer's instructions.

Woodwork

All woodwork usually painted shall be knotted, stopped, primed and painted with two undercoats and one finishing coat. Alternatively, may be stained or dyed and knotted, primed and finished with two coats varnish.

Decorative hardwoods may be treated traditionally internally and shall be oiled or treated with suitable preservatives externally, or may be painted or varnished, as previously specified.

Metal Work

All metalwork, ironmongery, rainwater goods, shall be cleaned down, suitably primed, twice undercoated and one coat finished.

Section 10 VENTILATION

Rooms

Every habitable room, kitchen, and scullery shall have an opening window area of not less than one twentieth of the room area, ventilated directly to open air.

Bathrooms

Bathroom and W.C. apartment shall be ventilated as above subject to a minimum of $0.1m^2$.

Permanent Ventilation

All habitable rooms (excluding those with hearth/Chimney) shall be permanently ventilated to the outside air by means of a 215 x 215 vent a minimum of 1800 over F.F.L. Galvanized covers to be fitted externally.

Mechanical Ventilation

Internal bathrooms or W.C. apartments without natural ventilation shall be vented to the external air via a 100 diameter UPVC pipe connected to a timed extract fan operated automatically with the light switch to give a minimum of 10 airchanges per hour (eg. HELIOS P90 EZ mini-fan by Vent-Axia Limited).

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0262

Date : 28th February 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Demolition of the existing dwelling at no. 2 Barton
Avenue and the erection of 7 4-bedroomed houses

LOCATION : Nos 1 & 2 Barton Avenue and adjoining lands on Grange
Road, Rathfarnham

APPLICANT : John J. McDonald Ltd

APP. TYPE : PERMISSION

With reference to above, I acknowledge receipt of your application received
on 28th February 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

Charles Donnelly, Architects,
40 Rathgar Avenue,
Dublin 6.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building **NOS 1 AND 2 BARTON AVENUE AND ADJACENT LANDS ON GRANGE RD. RATHFARNHAM, DUBLIN 14.**
(If none, give description sufficient to identify).....

3. Name of applicant (Principal not Agent)..... **JOHN J. McDONALD LTD.**

Address..... **120/121 LR. BAGGOT ST., DUBLIN 2.** Tel. No.....

4. Name and address of person or firm responsible for preparation of drawings..... **CHARLES DONNELLY, ARCHITECTS.**
40 RATHGAR AVE. DUBLIN 6. Tel. No. **961796.**

5. Name and address to which notifications should be sent..... **AS IN 4.**

6. Brief description of proposed development..... **7 NO. 2-STOREY HOUSES.**

7. Method of drainage..... **PUBLIC SEWER** 8. Source of Water Supply..... **MAINS**

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used..... **N/A**

(b) Proposed use of each floor..... **N/A**

FEE PAID **224** DATE **28/2**
134011

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? **YES. (NO 2 BARTON AVE.)**

Irish Times
27/2/91

11.(a) Area of Site..... **2200.0**
(b) Floor area of proposed development..... **871.5**
(c) Floor area of buildings proposed to be retained within site..... **N/A**

CO. DUBLIN - Permission is being sought from Dublin County Council for the demolition of the existing dwelling at No. 2 Barton Avenue and the erection of 7 4-bedroomed houses on the sites of Nos 1 and 2 Barton Avenue and adjoining lands on Grange Road, Rathfarnham, Dublin 14. Signed John J. McDonald Ltd.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.)..... **FREEHOLD.**

13.Are you now applying also for an approval under the Building Bye Laws? Yes No Place / in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
IN SO FAR AS IS PRACTICABLE. THIS IS NOT A GUARANTEE OF IMPLEMENTATION IN FULL.

15.List of documents enclosed with application. **FEE CHEQUE, NEWSPAPER NOTICE, ARBORERS REPORT, COVER LETTER, DRG NOS A01 TO A03 + OUTLINE SPECIFICATION X 4 COPIES.**

16.Gross floor space of proposed development (See back)..... **871.5** Sq. m.

No of dwellings proposed (if any)..... **7** Class(es) of Development..... **1**
Fee Payable £..... **224.00** Basis of Calculation..... **7 x £32 as per schedule.**
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent)..... **C Donnelly** Date..... **28 FEB 91.**

Application Type..... **P** FOR OFFICE USE ONLY
Register Reference..... **91A/0262**
Amount Received £..... **22-11** **3.12.4**
Receipt No.....
Date.....

RECEIVED
28 FEB 1991
REG. SEC.

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
 2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
 3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.
- NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
 5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
 6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension	
	(improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

CÓMHAIRLE CHONTAE ATHA CLIATH

PAID BY
DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET
DUBLIN 1.

Issue of this receipt is not an
admission that the fee
tendered is the prescribed application
fee. N° 34031

CASH
CHECK
M.O.
B.L.
L.T.

£ 224.00

Received this 20th day of February 1991

from Mr J. McDonald HD.

120/121 LK. Raggot St.

D.2

the sum of four hundred and twenty four Pounds

Pence, being

for application at 122 Barton Ave.

Msdece De Cashier

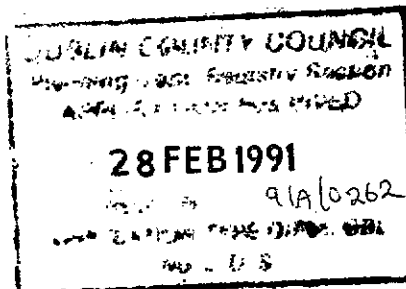
S. CAREY
Principal Officer

12/2

CHARLES DONNELLY B.Arch. M.R.I.A.I.
40 Rathgar Avenue
Dublin 6
Tel: (01) 961796

Planning Department,
Dublin County Council,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

26th February, 1991



Dear Sirs,

Re: Housing Development at Grange Road, Rathfarnham, Dublin 14.

Please find enclosed a planning application on behalf of John J. McDonald Limited, for the demolition of the existing dwelling at No. 2, Barton Avenue and the erection of 7 no. four bed roomed houses on the sites of Nos. 1 & 2, Barton Avenue and adjoining lands on Grange Road, Rathfarnham.

The following are attached:

- Application form,
- Planning fee (cheque £224.00),
- Copy of newspaper notice (Irish Times 26/02/91),
- Drawings nos. A01 to A03 inclusive (x 4 copies),
- Outline Specification,
- Arborer's report.

The site is bounded by a 2 metre rendered block wall to Grange Road and a fence and hedgerow to Barton Avenue. It is not at present in use and is considerably overgrown.

The site contains one large tree, a beech adjacent to the Grange Road frontage. The developer proposes to retain this if possible (see Arborer's report).

No 1, Barton Avenue no longer exists. It was demolished a number of years ago. No. 2, Barton Avenue (proposed for demolition), is a poorly constructed, substandard dwelling, in a state of considerable dilapidation.

The proposal comprises 6, two-storey semi-detached houses accessed from Barton Avenue and one detached house accessed through an existing gateway to Grange Road. Barton Avenue is a cul-de-sac with houses on one side of the 6 metre road only. Sightlines from 3 metres away from the kerb at the gateway on Grange Road are substantially in excess of 90 metres. The proposal should not involve any traffic hazard.

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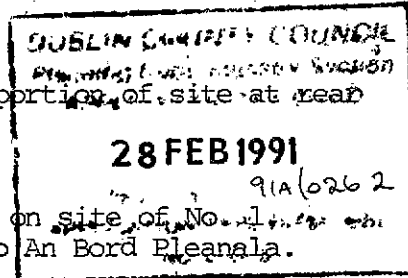
Planning Department,
Dublin County Council,

Most of the existing single storey houses on Barton Avenue have been substantially extended and altered over the years. As a result there is little uniformity of style finish or materials.

The proposed houses are similar in size and type to much of the existing housing in the immediate vicinity (eg. Aranleigh, Barton Drive).

There have been a number of previous applications for development on this site or portions of it;

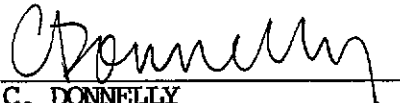
- Reg. ref. WA 1261 - 21/08/81
Outline permission granted for 1 house on that portion of site at rear of No. 2, Barton Drive.
- Reg. ref. ZA 1686 - 02/11/82
Outline permission granted for 4 no. two-storey on site of No. 1, Barton Avenue. Refused on third party appeal to An Bord Pleanála.
- Reg. ref. YA 330 - 16/06/83
Outline permission granted for 3 no. two-storey houses on site of No 1, Barton Avenue.
- Reg. ref. ZA 526 - 29/06/84
Full permission granted for 4 no. two-storey houses on site of No. 1, Barton Avenue and that portion of the site to the rear of No 2, Barton Drive.



The four houses granted permission on foot of Reg. ref. ZA 526 were located on a portion of the site which was approximately 40% smaller than the site of this application. The houses were larger than those now proposed. In the light of this previous decision, and the fact that the open space/density requirements of the Draft Development Plan have been comfortably met (front gardens are 8750 deep, house separation is 2500 minimum and back gardens vary from 10700 to 20000 in length) the proposed 7 houses are reasonable on the now larger site.

Finally we would like to point out that a total of £5,015.00 was paid by John J. McDonald Limited as a financial contribution on foot of the conditions attached to Reg. ref. ZA 526. The permission has now lapsed and the development has not taken place. We trust that these contributions will be taken into account in any conditions attached to a favourable decision on this application.

Yours faithfully,


C. DONNELLY
B. ARCH. M.R.I.A.I.



J M McConville

+ ASSOCIATES

- Consultant Arborists
- Landscape Designers

Grange

Dunboyne

Co. Meath

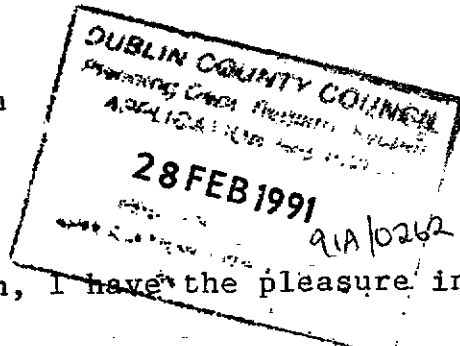
Telephone: 251718

John J McDonald
 Whitechurch lodge
 Rathfarnham
 Dublin 16

26 February 1991

Re : Site at Barton Avenue, Rathfarnham

Dear Mr. McDonald



Further to my site visit and inspection, I have the pleasure in setting out my report;

A mature Beech is situated along side Grange road. This tree is mature, approximately 15m high with a girth of 2.7. In the past it the soil levels has been raise on one side of the tree (east side). As Beech have shallow roots, sensitive to alterations in soil level, this as had a detrimental effect on the trees health. Part of the upper crown on the east side is now suffering crown die back.

Apart from this die back the tree appears sound. There is no evidence of any decay fungi or cavities. This soil should be removed by hand (to prevent mechanical damage to the base of the tree). If the base of the tree under the soil is free from decay infection or cavities it will be practical to retain the tree in the proposed development.

If the tree is retain, I would recommend the following remedial tree surgery:

All deadwood should be removed by cutting dead limbs back to live wood at the branch collar. This will involve a partially crown reduction. There are also a number of large limbs which over hang Grange road, these should also be remove back to their branch collar so has to evenly distribute the weight of the crown. when this work is complete the tree should be reshaped by crown thinning to a maximum of 20% through the crown.

cont/...

J M McConville

+ ASSOCIATES

- Consultant Arborists
- Landscape Designers

Grange

Dunboyne

Co. Meath


Telephone: 251718

cont/...

As well as the Mature Beech there are also a number of sapling Ash, Sycamore and Beech which have established them selves over the derelict part of the site. These are of no real significance, but could be retained where they do not interfere the the proposed buildings. There are also some mature fruit trees which could be retained were practical.

I trust this answer your query

Yours sincerely


Joseph M McConville
JM McConville & Associates

OUTLINE SPECIFICATION

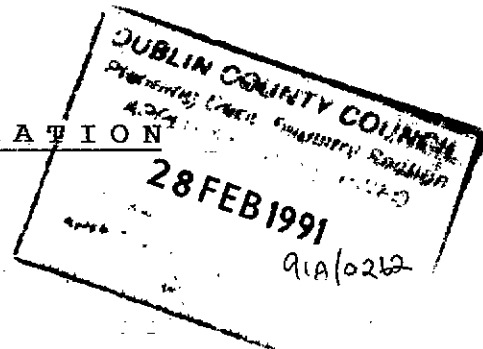
Proposed Development

at

Barton Avenue
Rathfarnham
Dublin 14

for

John J. McDonald Limited



1. FOUNDATIONS & SUBSTRUCTURES
All block walls shall be built off concrete strip footings. Footing widths, depths, concrete mix and reinforcement shall be as per the engineer's drawings and specification.
2. RISING WALLS
Rising walls (to D.P.C. level) shall be of 215 solid blockwork bedded in cement mortar or of mass concrete to the widths and depths indicated by the engineer's drawings and specification.
3. GROUND FLOOR CONSTRUCTION
Ground floor construction shall consist of 150 power floated R.C. slab on 1000g polythene D.P.M. on 50 sand on 150 minimum well consolidated hardcore. 40mm rigid polystyrene insulation shall be laid under entire area of the R.C. slab. Finished slab level shall be a minimum of 150mm above adjoining external ground level.
4. EXTERNAL WALLS
External wall construction shall consist of 215 hollow concrete blockwork properly coursed bonded and bedded in gauged mortar. The internal face of external walls shall be dry lined with 60mm insulation and finished with 12.7mm self-finishing plasterboard. The external face shall be rendered with 2 no. coats sand and cement plaster and finished with 3 no. coats of selected exterior paint.
5. INTERNAL WALLS
Solid internal walls shall be 100mm thick brick or blockwork, laid to break joint, in gauged mortar, bonded 100mm at junctions. Timber stud partitions shall consist of 100 x 50 softwood head and sole pieces, noggins and studs (at max. 450 centres), finished with 12.7mm self-finishing plasterboard to both sides.
6. FIRST FLOOR CONSTRUCTION
First floor construction shall consist of 25mm softwood T and G boarding on softwood joists (size and centres as per engineers drawings and specification). Joists shall be built into block walls or carried on proprietary joist hangers. Ceilings shall be finished with 12.7mm plasterboard and a 2mm finishing coat of gyplite plaster and selected cornicework.
7. ROOF CONSTRUCTION
Roof construction shall consist of prefabricated timber trusses or in-situ rafter and purlin timber pitched roof with a maximum pitch of 30° all in accordance with the engineer's drawings and specification.

Roof finish shall be selected clay or concrete roof tiling (colour and pattern to be agreed with local authority) on treated S.W. battens on sarking felt.

Ceiling finish shall be as per 'First Floor Construction' with a minimum 100mm fibreglass quilt laid between joists in the attic space.
8. DOORS/WINDOWS/INTERNAL JOINERY
Windows (and roof-lights) shall be of hardwood or U.P.V.C. and glazed with factory sealed double glazing units. Glazed area and opening lights shall be as per local authority requirements.

External doors shall be in hardwood.

(8)/contd...

Internal doors shall be panelled in softwood.

Selected architraves and skirting shall be in softwood.

9. DRAINAGE/WATER SUPPLY

Separate foul and surface water drains shall be connected to the existing on-site manholes adjacent to Grange Road and flow from there to the public sewer.

Water supply shall be from the existing 75mm water main on Barton Avenue.

10. SANITARY & PLUMBING INSTALLATION

Sanitary and plumbing installation (including water storage) shall be in accordance with local authority requirements.

11. CENTRAL HEATING INSTALLATION

Central heating shall be by means of gas boiler/radiators or electric storage heaters installed in accordance with the manufacturer's instructions and local authority requirements.

12. ELECTRICAL INSTALLATION

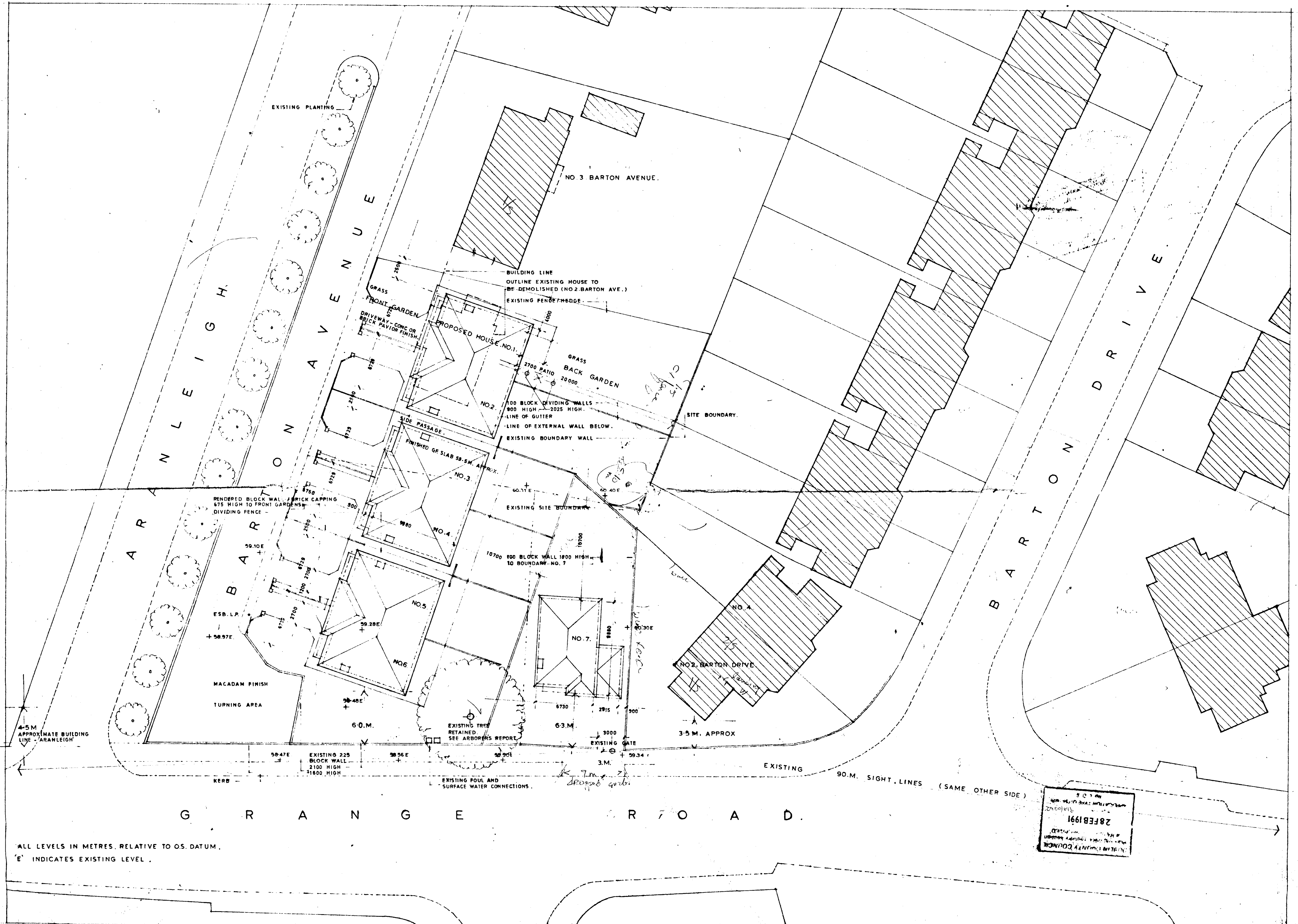
The electrical installation shall be in accordance with E.T.C.I. standards and regulations.

13. LANDSCAPING & SITEWORKS

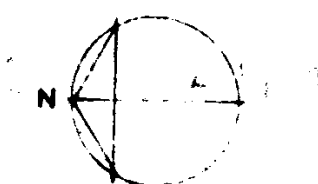
Landscaping and siteworks shall be as indicated on the drawings.

C. DONNELLY

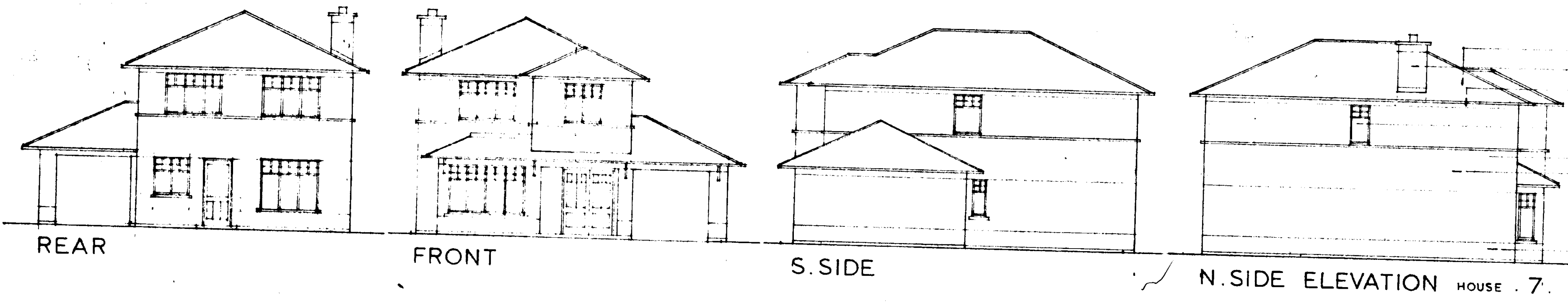
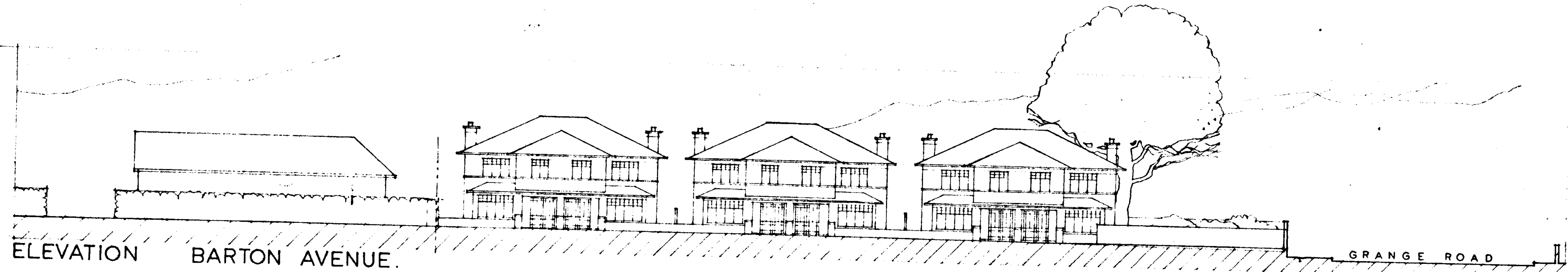
B. ARCH. M.R.I.A.I.



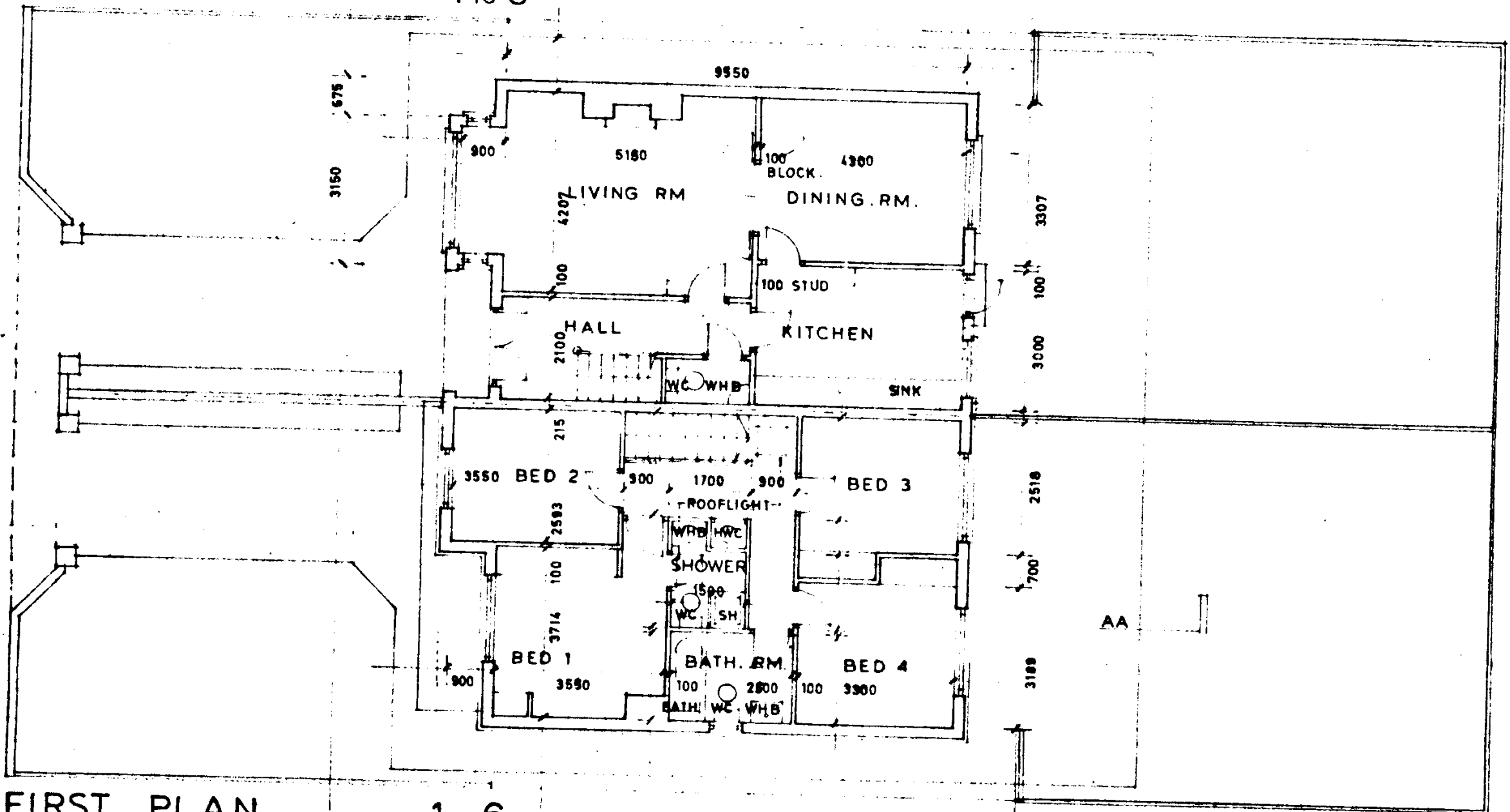
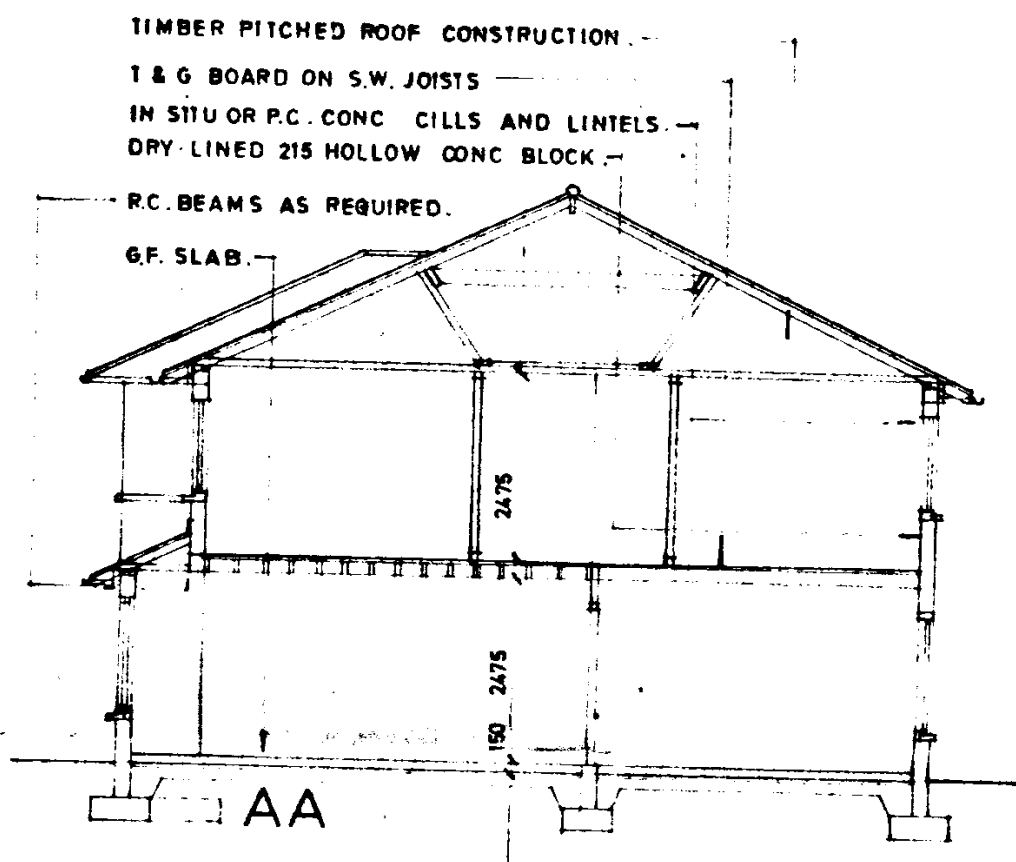
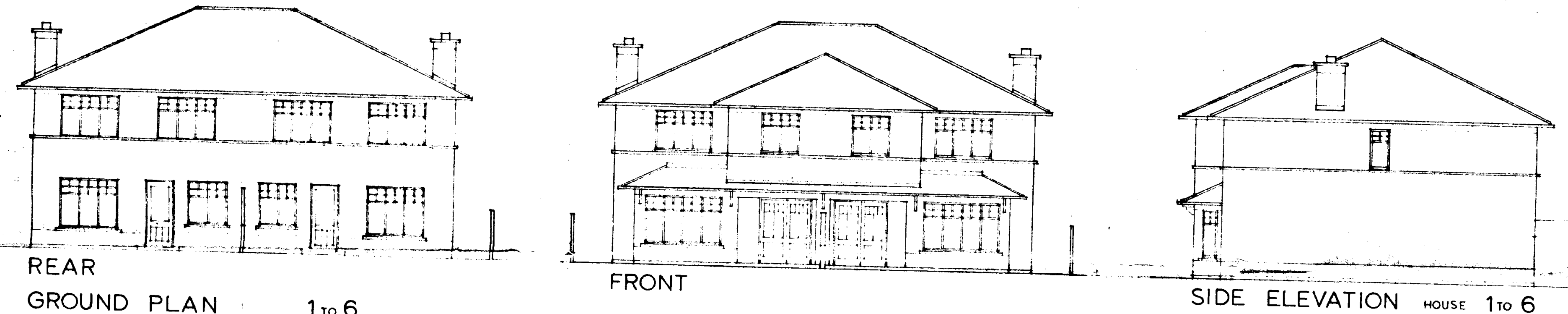
HOUSING AT BARTON AVENUE, RATHFARNHAM, DUBLIN 14.
 FOR JOHN. J. MC DONALD, LTD.



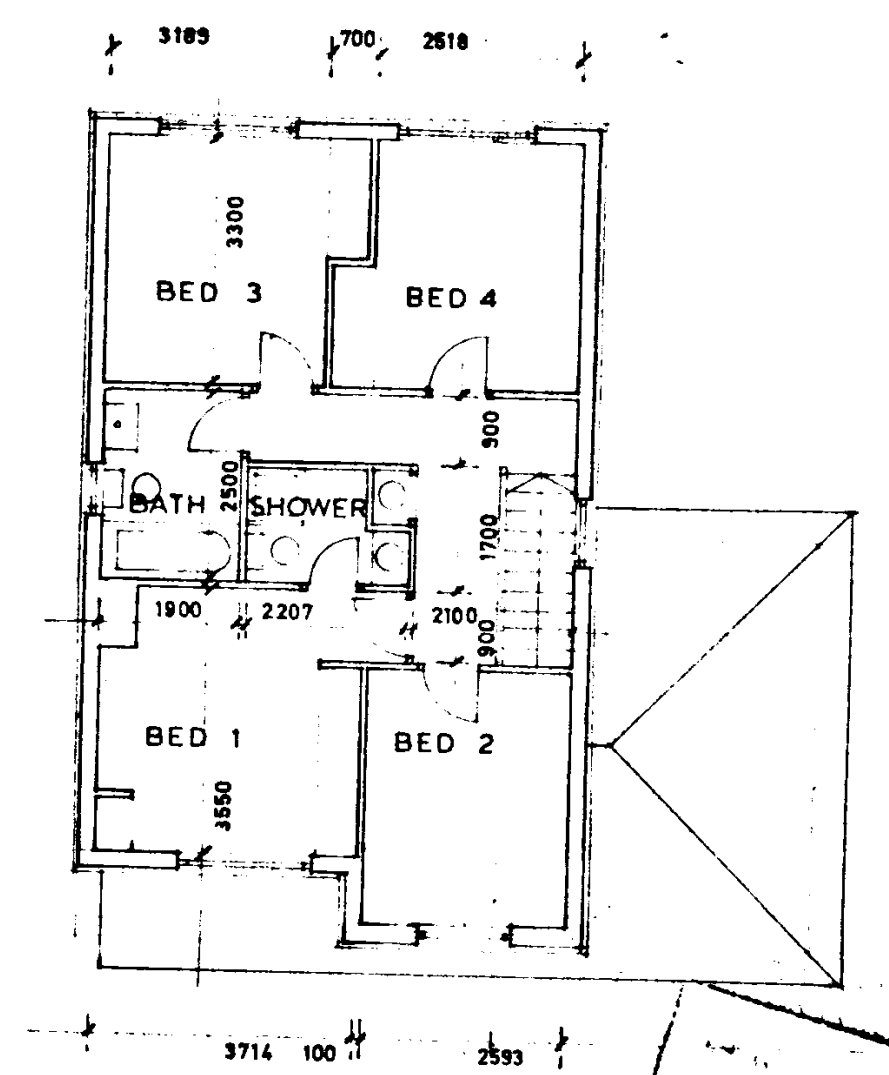
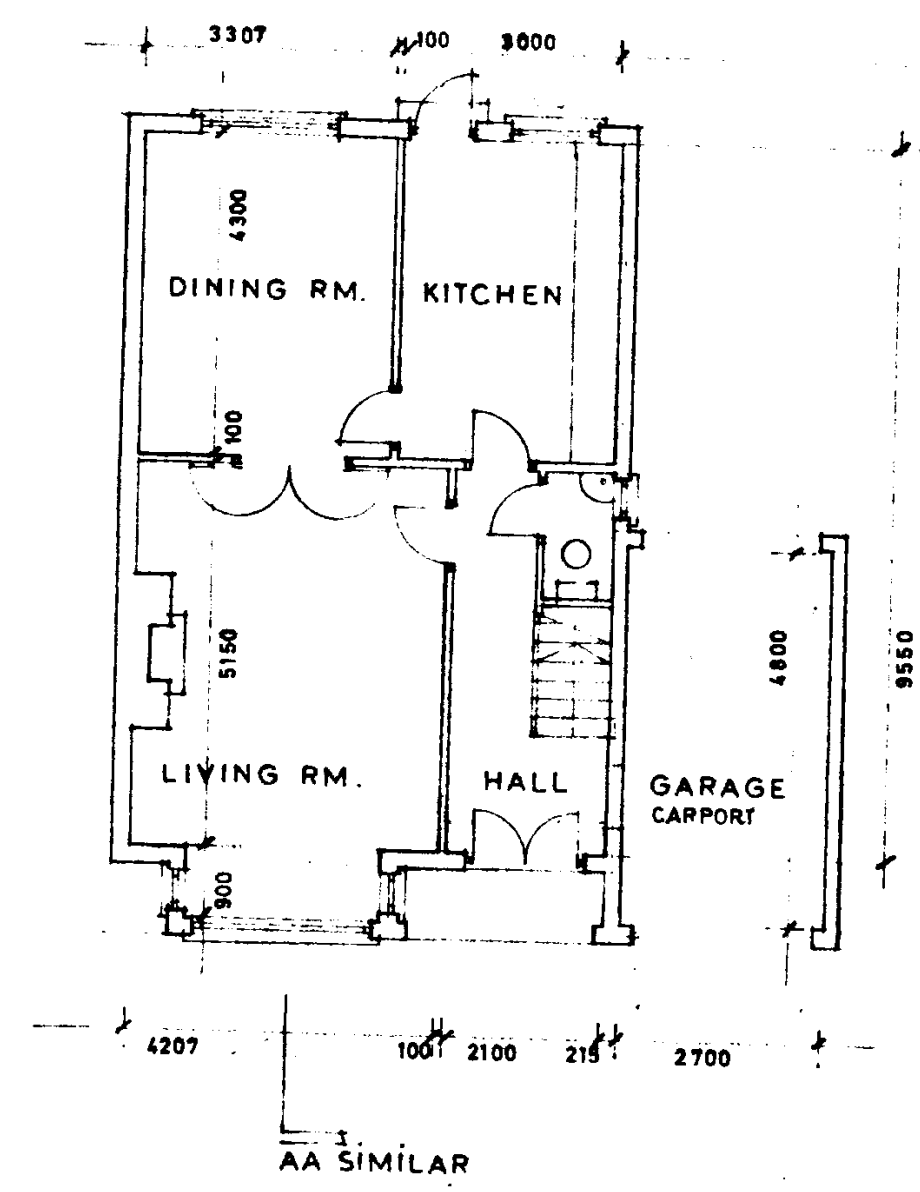
SITE PLAN SCALE 1:200 DRAWING NO. A02
 CHARLES DONNELLY, B.A.R.C.H. M.R.I.A.I., 40 RATHGAR AVENUE, DUBLIN 6. PH. 961796



- SELECTED ROOF TILE
- CHIMNEY
- U.P.V.C. GUTTER
- P.V.C. OR HARDWOOD WINDOWS
- PLASTER BAND OR TILE COURSE
- PAINTED RENDER
- S/C PLIMH



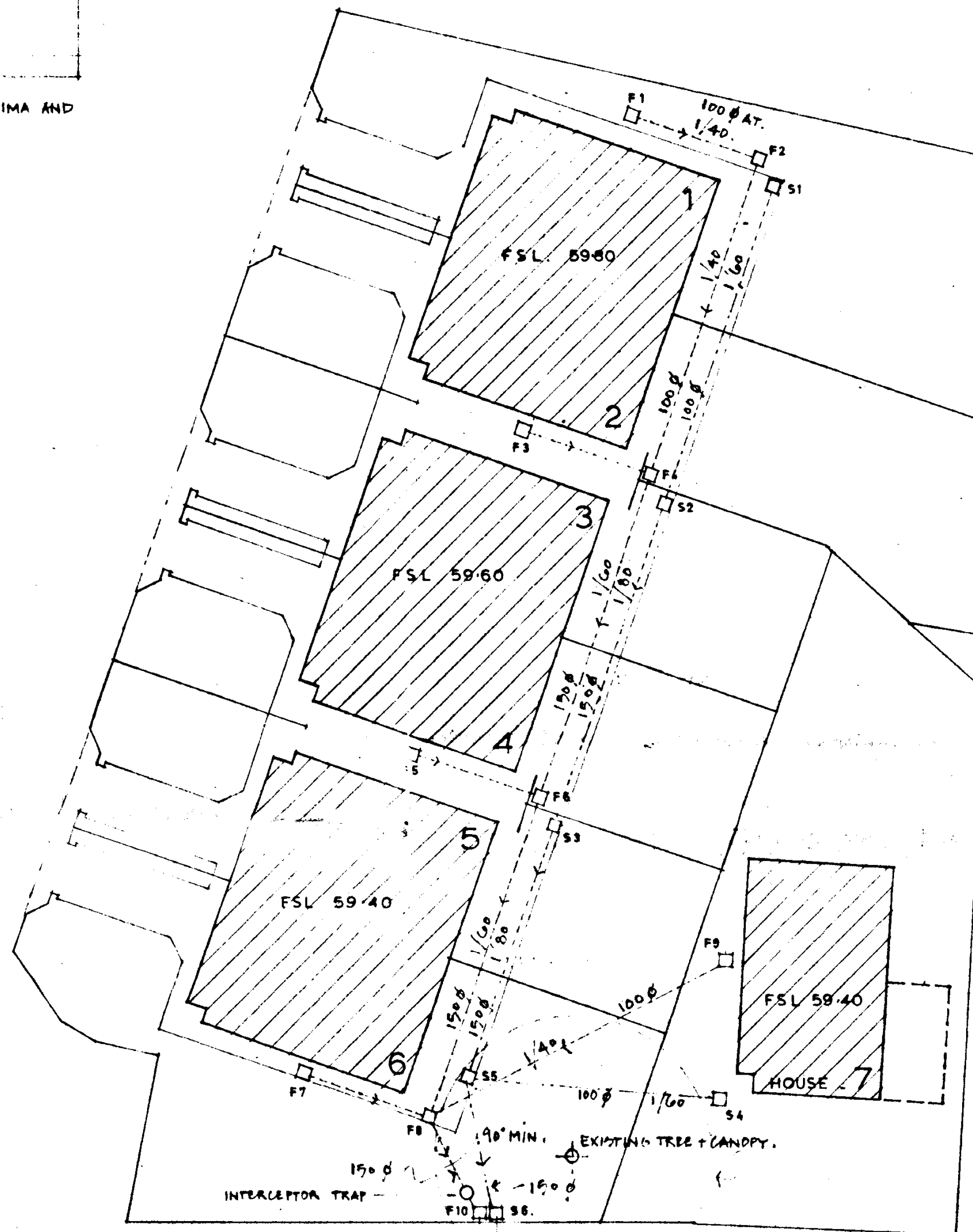
DIMENSIONS TO EXTERNAL BLOCKWORK, NOT LINING.
FOR CONSTRUCTION SEE OUTLINE SPEC.



28 FEB 1991
KILN COUNTRY COLLECT
104/702 A/175/171
HOUSE

MANHOLE SCHEDULE					
FOUL F'			SURFACE WATER, S'		
NO	INVERT	COVER			
1	51.200	51.65	1	51.20	51.65
2	51.040	51.65	2	50.55	51.45
3	50.825	51.45	3	50.70	51.25
4	50.665	51.45	4	50.55	51.25
5	50.575	51.25	5	50.45	51.05
6	50.415	51.25	6	50.20	50.54
7	50.325	51.05			
8	50.165	51.05			
9	50.375	51.25			
10	50.000	50.50			

NOTE: INVERT NOS F10 AND 06 ARE MINIMA AND DEPEND ON LEVEL OF PUBLIC SEWER.



DRAINAGE LAYOUT

READ WITH DRG A02 + A04
 * DIAGRAMMATIC ONLY, DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK.
 * LAYOUT SHOWS MAIN LINES ONLY FOR DETAILS SEE A14.
 * ALL LEVELS IN METRES.

LEAD COVER FLASHING DRESSED UP 150 MM. AND CHASED TO BLOCKWORK OVER LEAD SOAKERS LAPPED WITH SARKING FELT.
 12MM MARINE PLY SOFFIT AND FASCIA BOARDS PAINTED.

ALL TIMBERS TRIMMED TO NOT NEARER THAN 50 MM FROM FLUE SURROUND BLOCKWORK.

215 THICK RC. FLUE CAPPING AND LINTOL BEARING ON 215 SOLID BLOCK EITHER SIDE.

INCLINED FLUE OPENING TO SUIT.

PROPRIETARY FIRE BACKING.

SECTION BB. STAGGERED CROSS SECTION HOUSES 1 TO 6.

ROOFLIGHT.
 INSTALL OPENABLE 'VELUX' (MIN SIZE 450x300) ROOFLIGHTS OVER EN-SUITE BATHROOMS (HOUSES 1 TO 7) AND LANDINGS (HOUSES 1 TO 6).
 FORM SHAFT TO 10% FL CEILING LEVEL FINISHED AS PER CEILING. (LOCATION TO BE CONFIRMED WITH ROOF STRUCTURE.)

SELECTED CLAY CHIMNEY POT SET IN HAUNCHED CONC ON 100 THK CONC. CAPPING ON LEAD DPC. ON 215 SOLID CONC BLOCK CHIMNEY.

WINDOWS.
 DOUBLE GLAZED (SEALED UNITS) HARDWOOD WINDOWS TO BE EQUAL IN GLAZED AREA TO 10% FLOOR AREA AND IN OPENING AREA TO 5% FLOOR AREA.

215 x 675 RC. LINTOL TO ALL WINDOW/DOOR OPS IN ALL MASONRY WALLS. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, ENSURE 150 MIN BEARING BOTH SIDES.

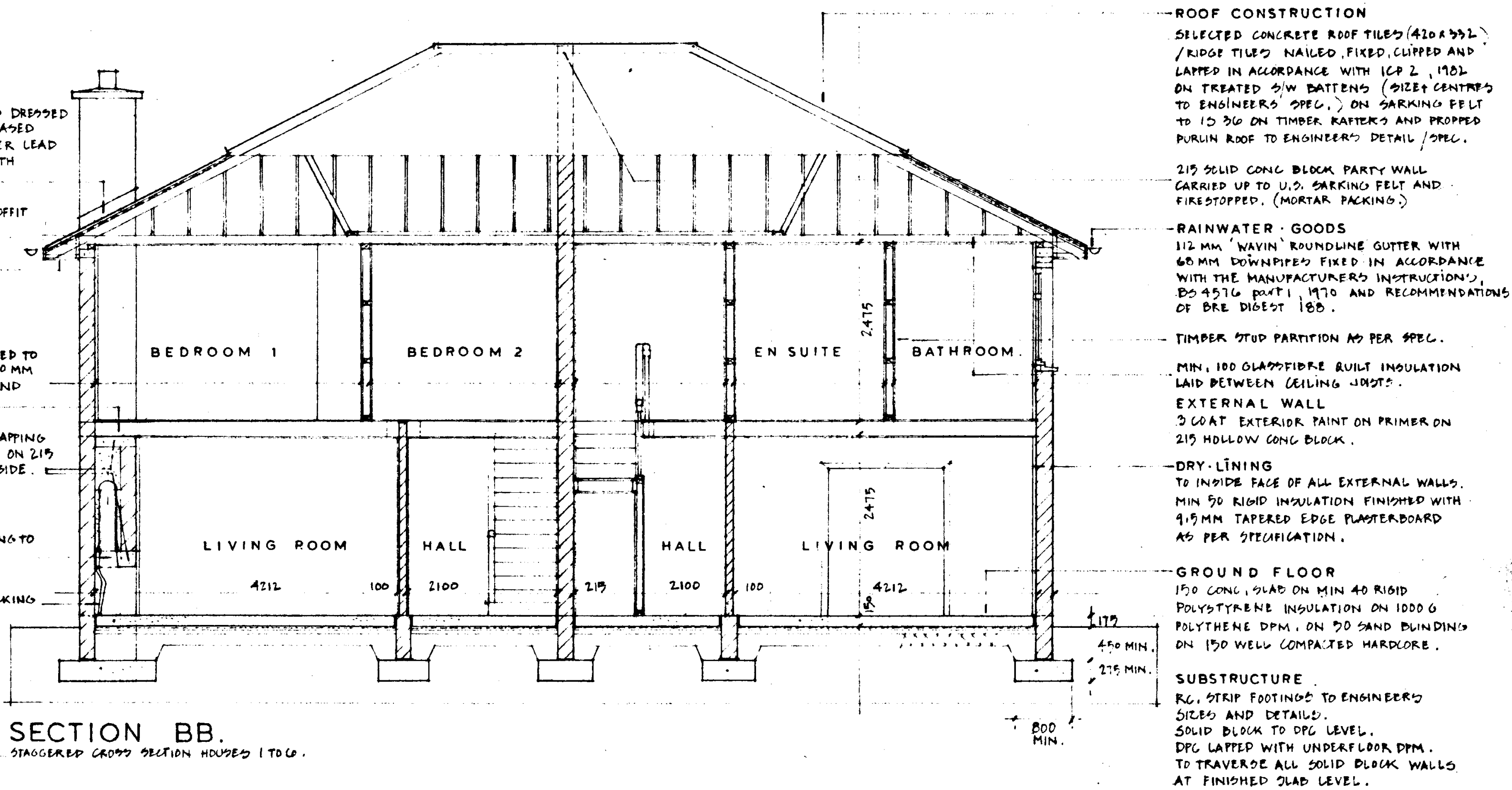
LEAD COVER FLASHING DRESSED UP 150 AND CHASED TO WALL.
 DOTTED OUTLINE OF SELECTED PROPRIETARY CLAY FLUE LINERS ENCASED IN VERMICULITE CEMENT OR PROPRIETARY PACKING IN 215 SOLID BLOCK FLUE SHAFT.

215 x 215 RC BEAM TO BAY WINDOW AREA.

ROOF FINISH TO BE SELECTED CONC OR CLAY TILES AS PER MAIN ROOF ON 125 x 30 RAFTERS AND 100 x 30 CEILING JOISTS AT 450 CENTRES. ALL NOTCHED OVER AND SECURELY BOLTED TO 100 x 50 SW PLATE'S SECURELY BOLTED TO WALL.

DOTTED OUTLINE OF CHIMNEY CONSTRUCTION BEHIND.

SECTION AA. LONG SECTION HOUSES 1 TO 7. PLEASE NOTE MINOR DIFFERENCES TO ROOF PROFILE. HOUSE NO 7 TO CONFORM WITH DRG A03.



ROOF CONSTRUCTION
 SELECTED CONCRETE ROOF TILES (420x352) / RIDGE TILES NAILED, FIXED, CLIPPED AND LAPPED IN ACCORDANCE WITH ICR 2, 1982 ON TREATED SW BATTENS (SIZE CENTRED TO ENGINEER'S SPEC.) ON SARKING FELT TO 150 ON TIMBER RAFTERS AND PROPPED PURLIN ROOF TO ENGINEER'S DETAIL / SPEC.

215 SOLID CONC. BLOCK PARTY WALL CARRIED UP TO U.S. SARKING FELT AND FIRESTOPPED. (MORTAR PACKING).

RAINWATER - GOODS
 112 MM 'WAVIN' ROUNDLINE GUTTER WITH 60 MM DOWNPIPE FIXED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, BS 4576 PART 1, 1970 AND RECOMMENDATIONS OF BRE DIGEST 168.

TIMBER STUD PARTITION AS PER SPEC.
 MIN. 100 GLASSFIBRE BUILT INSULATION LAID BETWEEN CEILING JOISTS.

EXTERNAL WALL
 3 COAT EXTERIOR PAINT ON PRIMER ON 215 HOLLOW CONC BLOCK.

DRY-LINING
 TO INSIDE FACE OF ALL EXTERNAL WALLS MIN 50 RIGID INSULATION FINISHED WITH 9.5 MM TAPERED EDGE PLASTERBOARD AS PER SPECIFICATION.

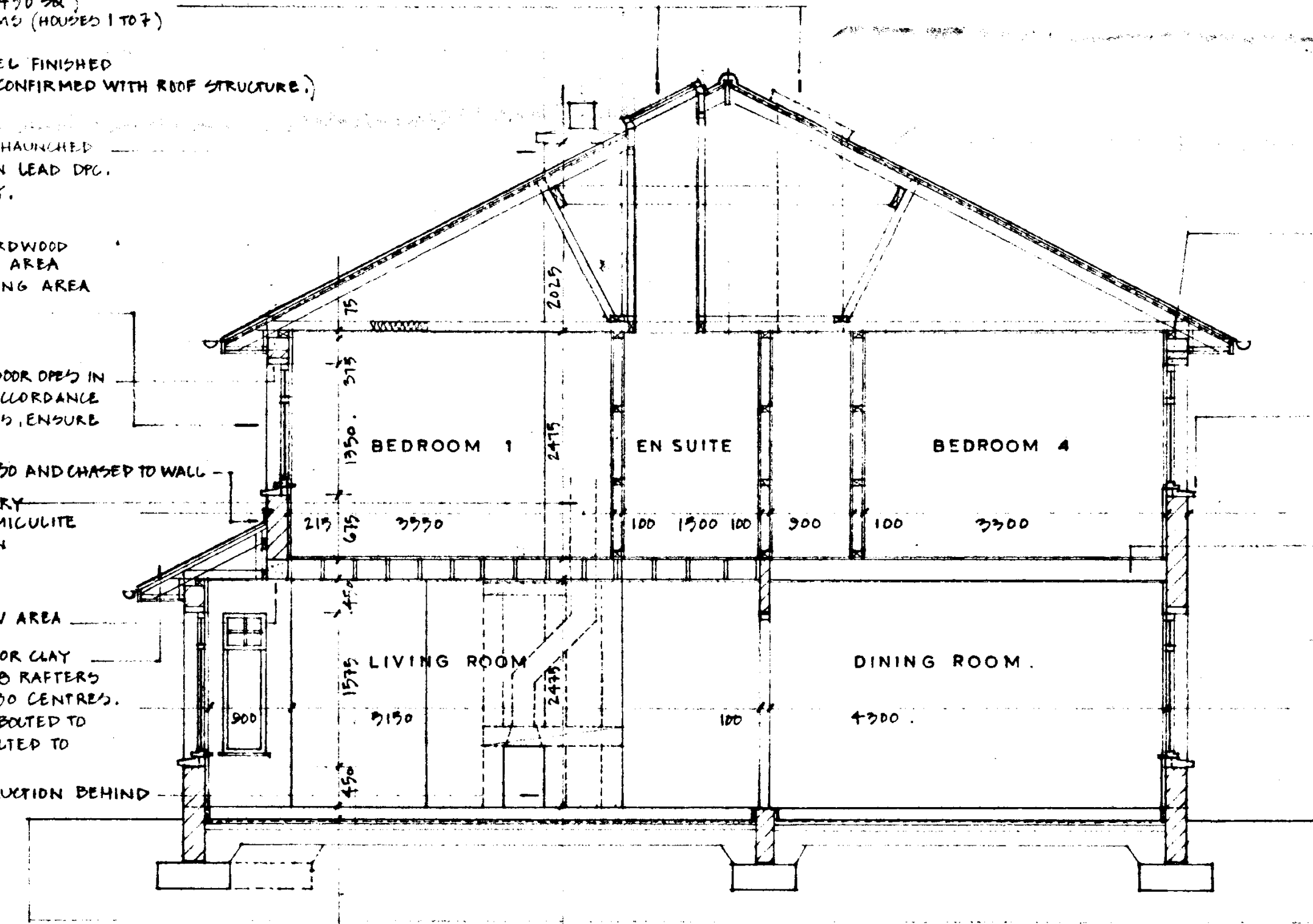
GROUND FLOOR
 150 CONC. SLAB ON MIN 40 RIGID POLYSTYRENE INSULATION ON 1000 G POLYTHENE DPM. ON 50 SAND BOUNDING ON 150 WELL COMPACTED HARDLORE.

SUBSTRUCTURE
 RC. STRIP FOOTINGS TO ENGINEER'S SIZE AND DETAILS.
 SOLID BLOCK TO DPC LEVEL.
 DPC LAPPED WITH UNDERFLOOR DPM. TO TRAVERSE ALL SOLID BLOCK WALLS AT FINISHED SLAB LEVEL.

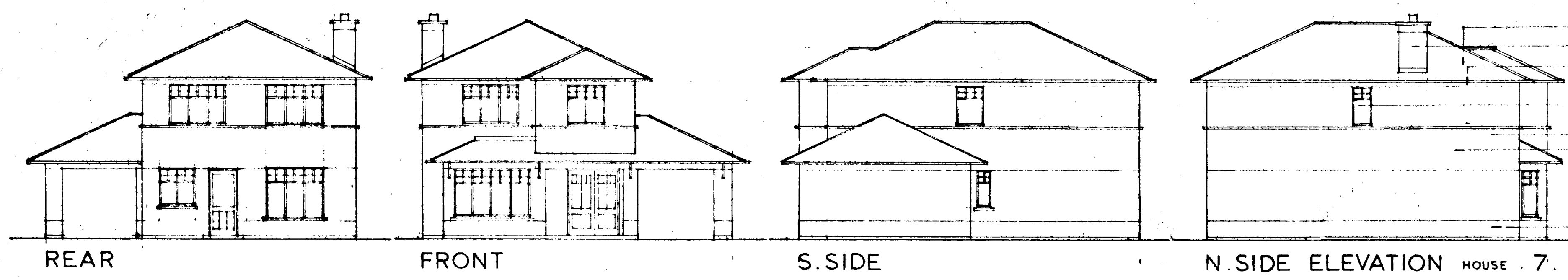
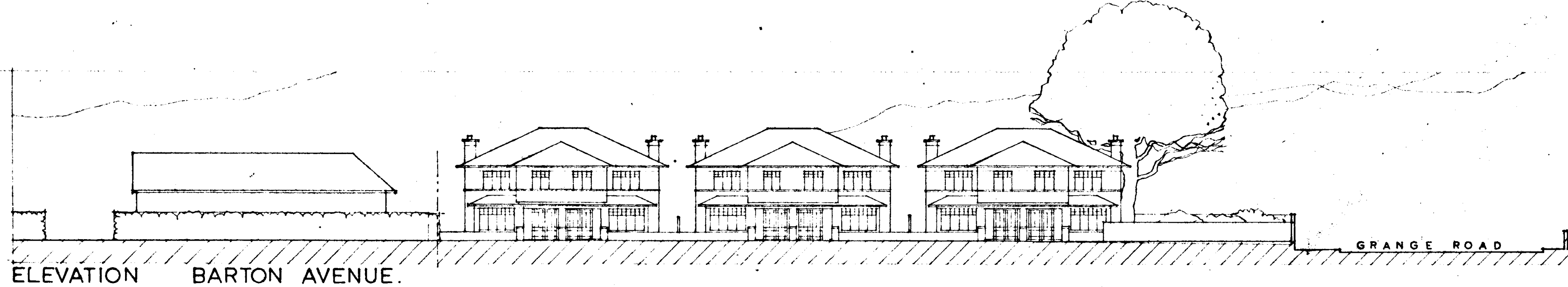
RAFTERS AND CEILING JOISTS TO BE SECURELY NAILED / FIXED TO CONTINUOUS 100x75 SW WALLPLATE ON DPC. ON 140 x 215 RC KING BEAM. WALLPLATE TO BE SECURELY BOLTED TO BEAM AT 1000 MM INTERVALS.

PRESTRESSED OR IN-SITU CONCRETE GILDS WITH DPC UNDER AND PRESSED UP BEHIND AGAINST CONC OR TREATED SW BACKING.

FIRST FLOOR.
 25 SW T AND 6 BOARDING ON SW JOISTS (SIZE'S CENTRED, AND FIXING AS PER ENGINEER'S SPEC.) JOISTS TO BE BUILT INTO SOLID BLOCK WALLS OR CARRIED ON PROPRIETARY JOIST HANGERS.

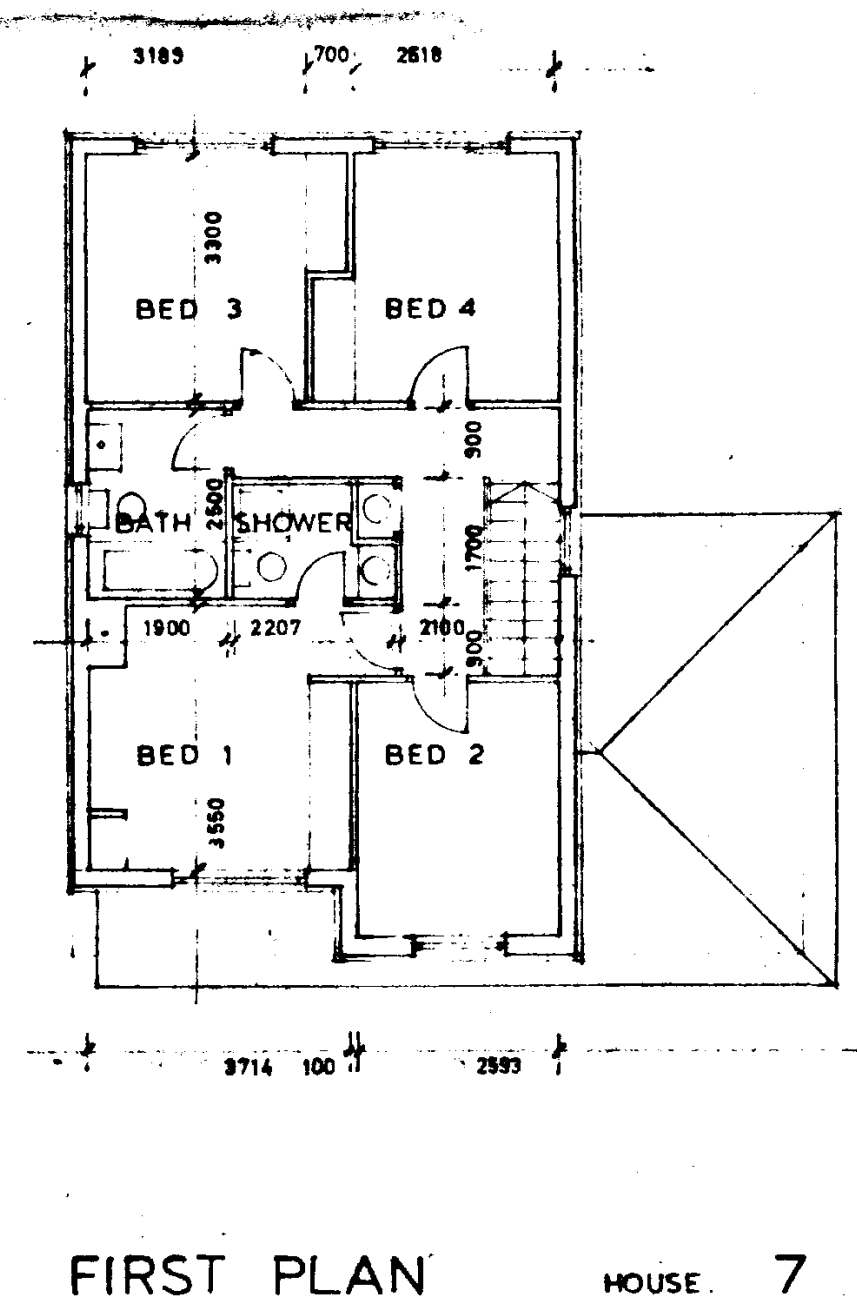
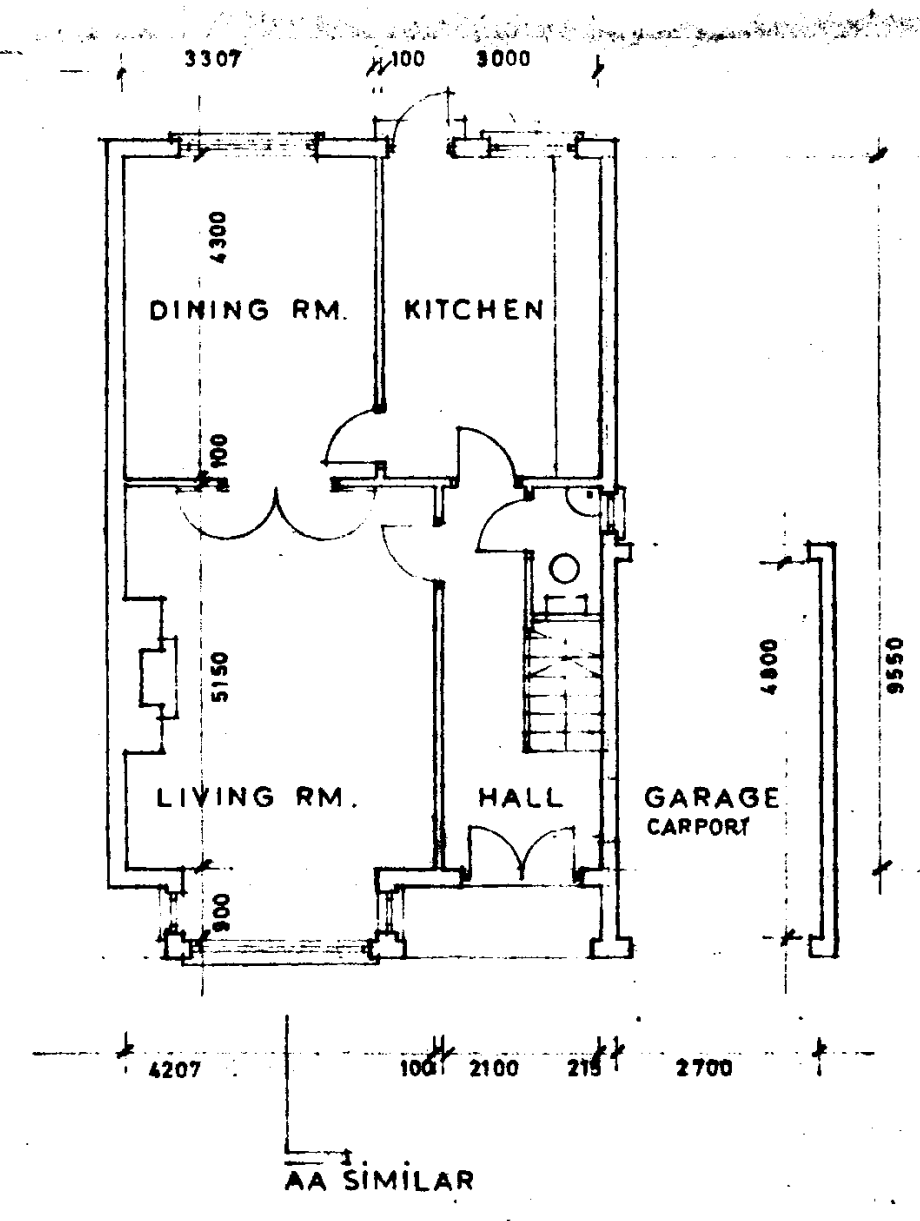
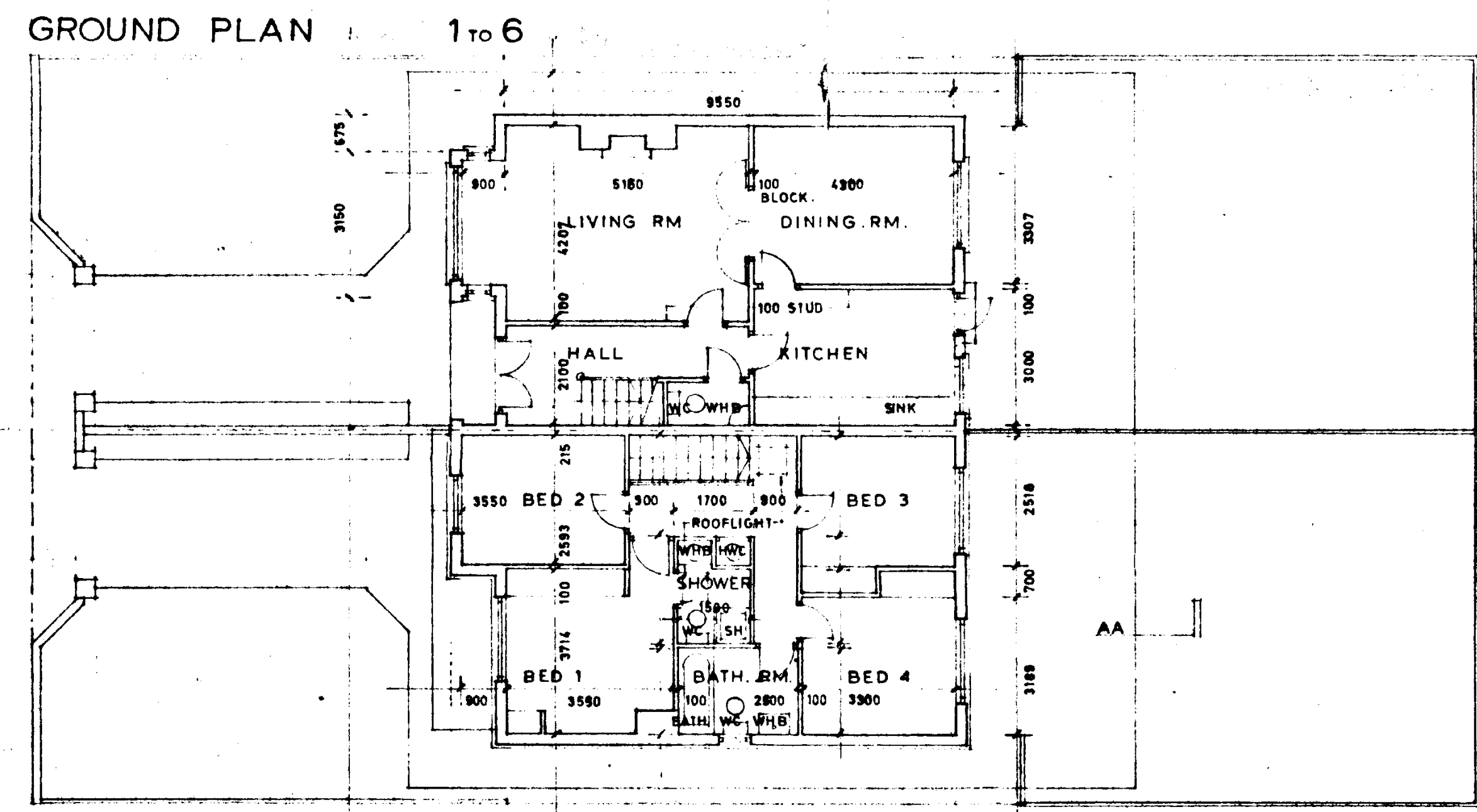
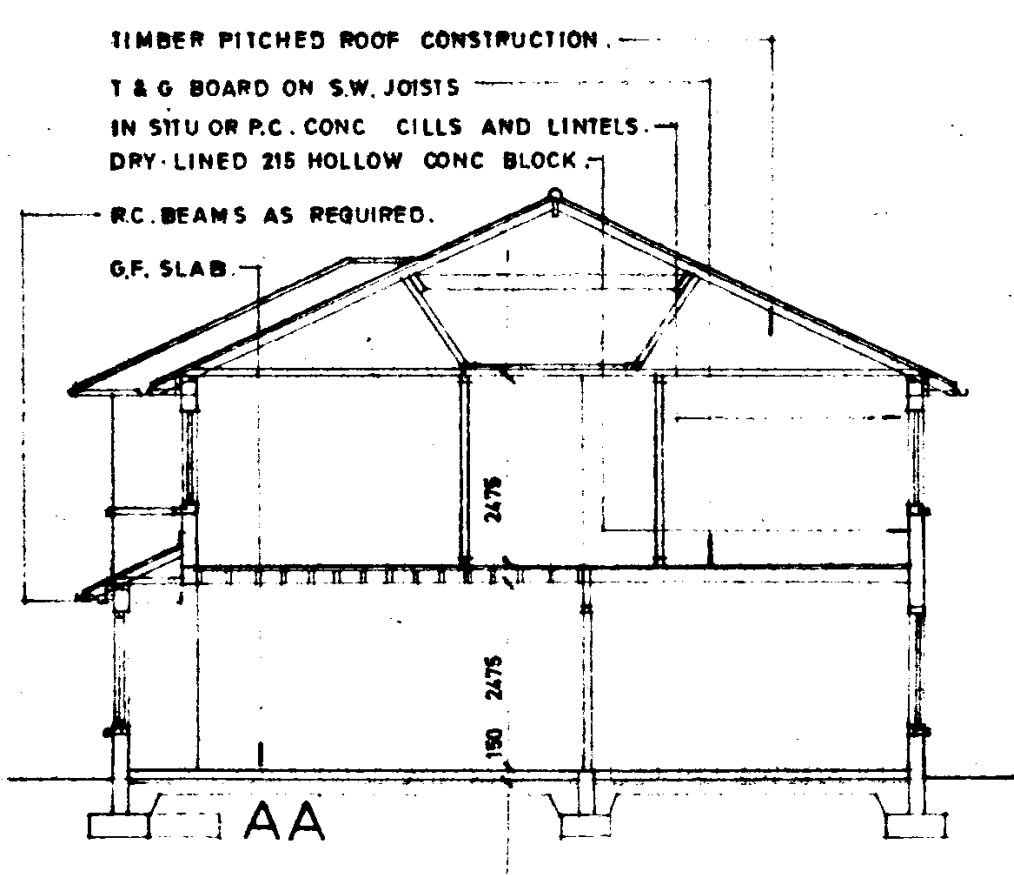
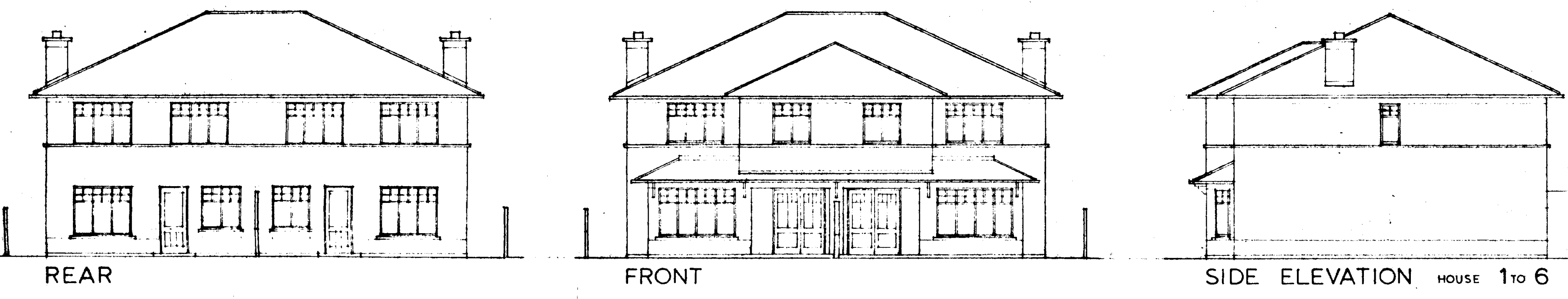


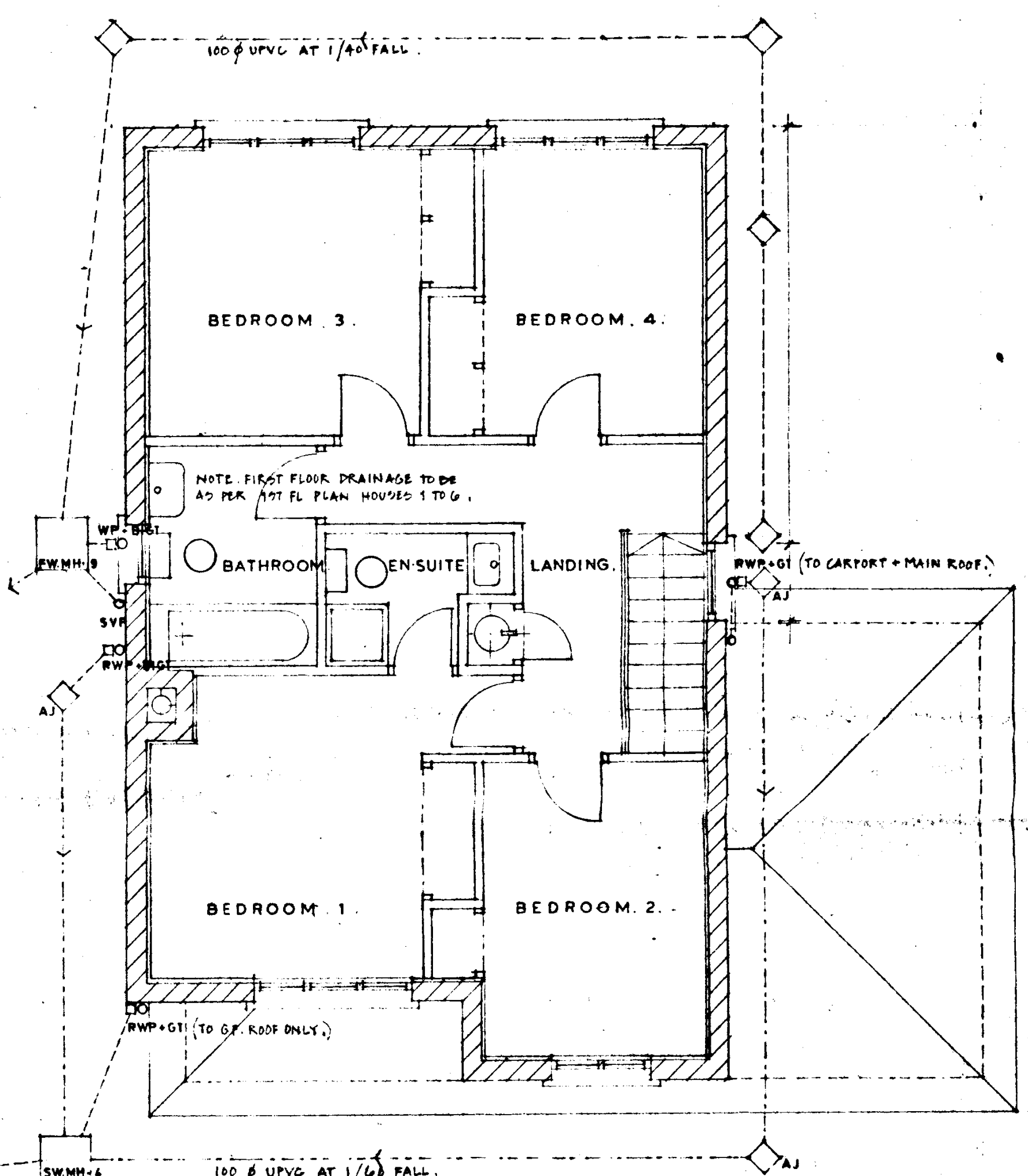
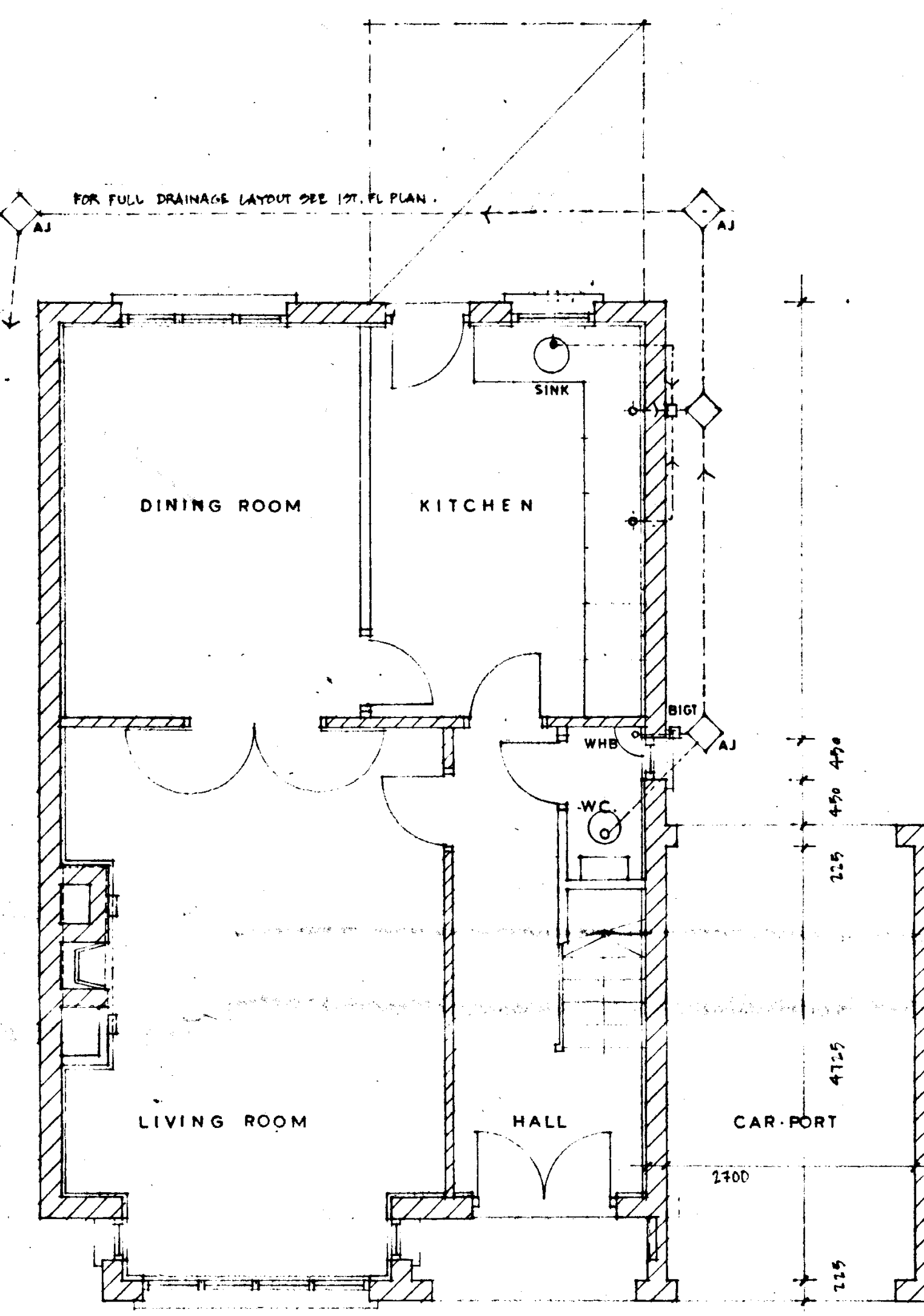
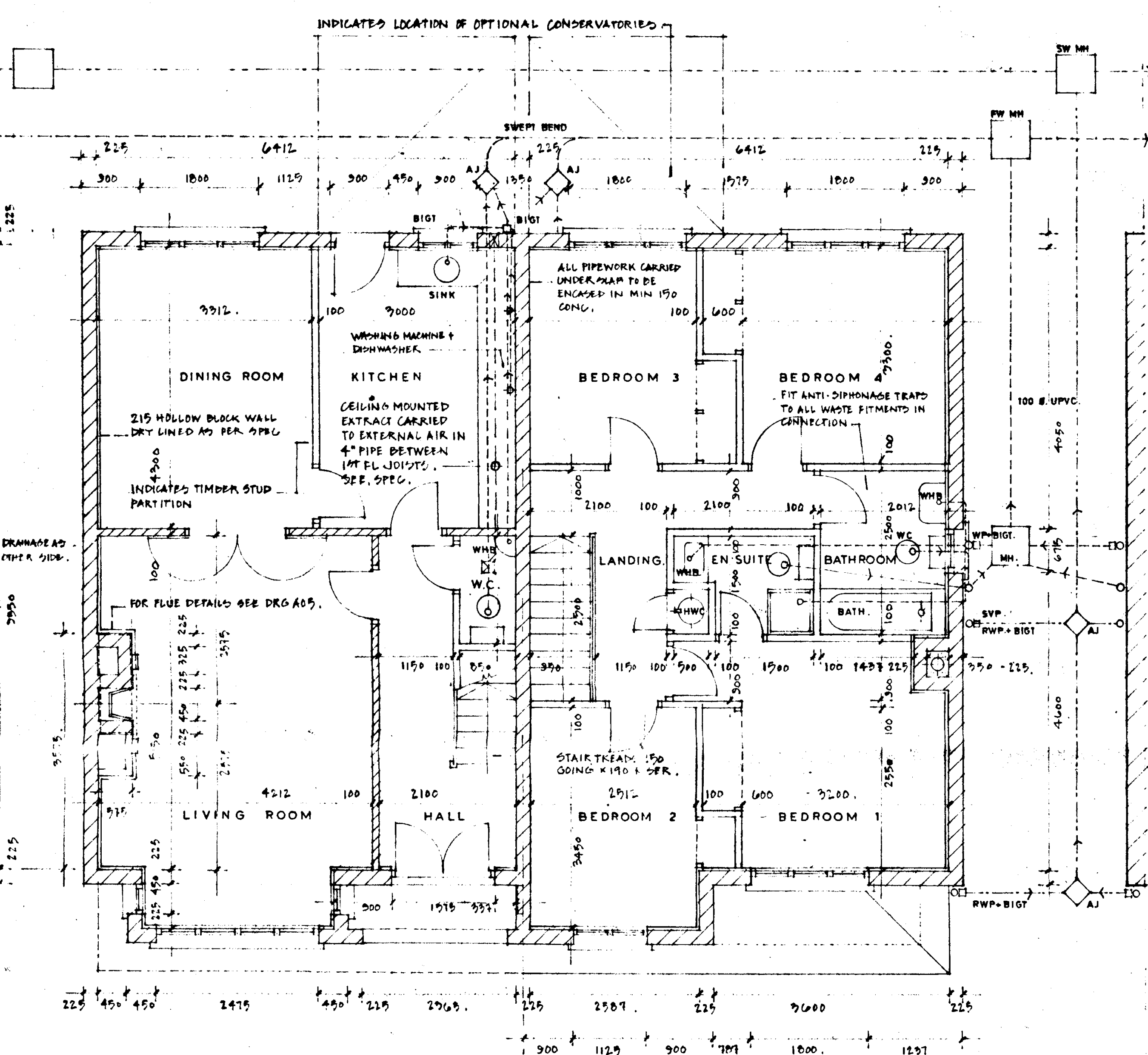
RECEIVED
 12 APR 1991
 T. HARRIS
 Reg. Sec.



- SELECTED ROOF TILE
- CHIMNEY
- U.P.V.C. GUTTER
- P.V.C. OR HARDWOOD WINDOWS
- PLASTER BAND OR TILE COURSE
- PAINTED RENDER
- S/C PLINH

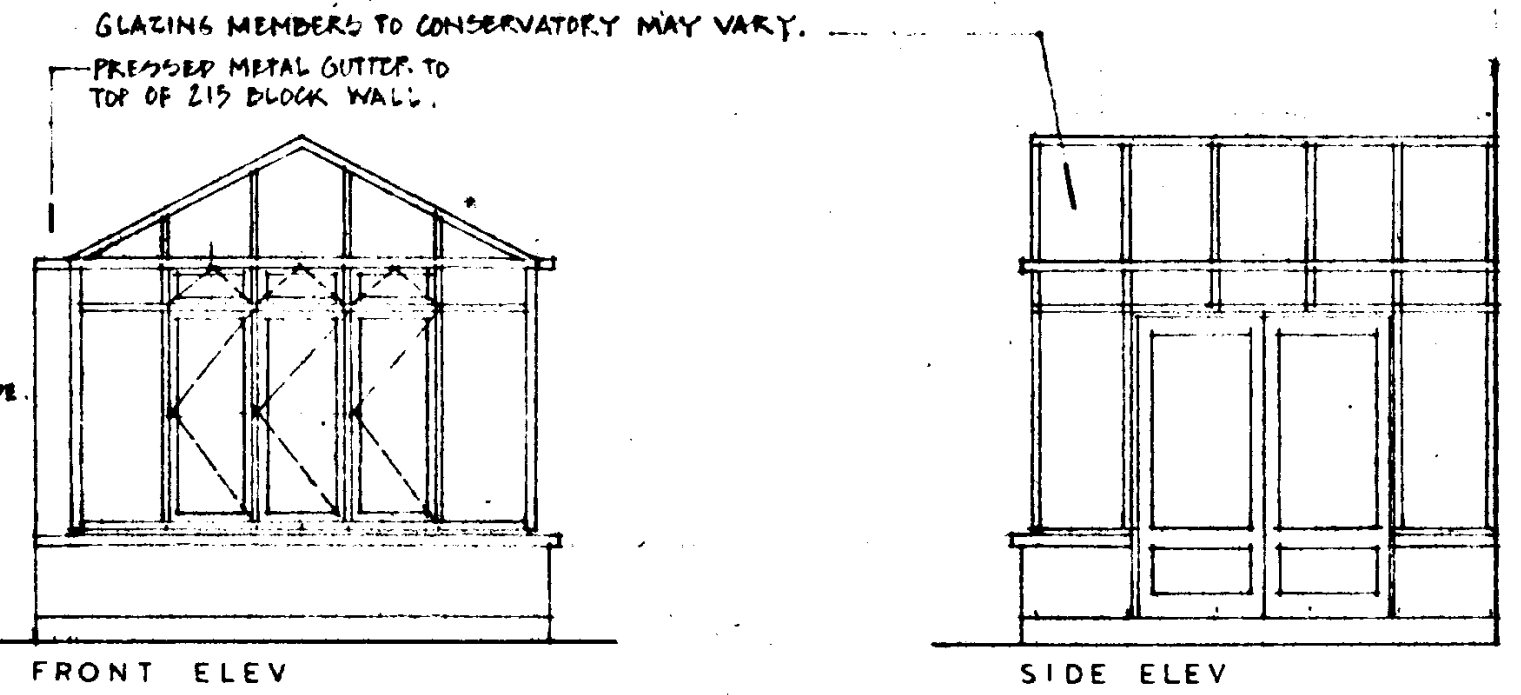
RECEIVED
 12 APR 1991
 Reg. Sec.
 078/200





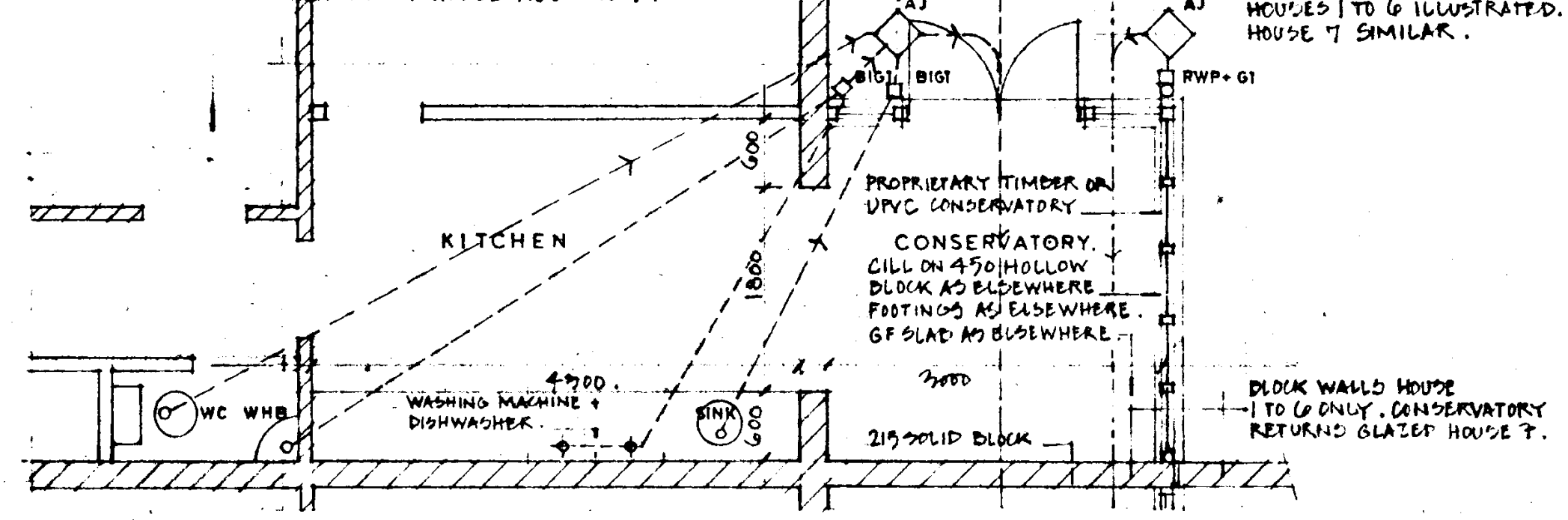
GROUND FIRST PLAN HOUSES 1 TO 6

FOR MANHOLE/SITE DRAINAGE LAYOUT SEE DRG A05.
NOTE ALL DRAINAGE TO BE WAVINDOIL AND VENT SYSTEM INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

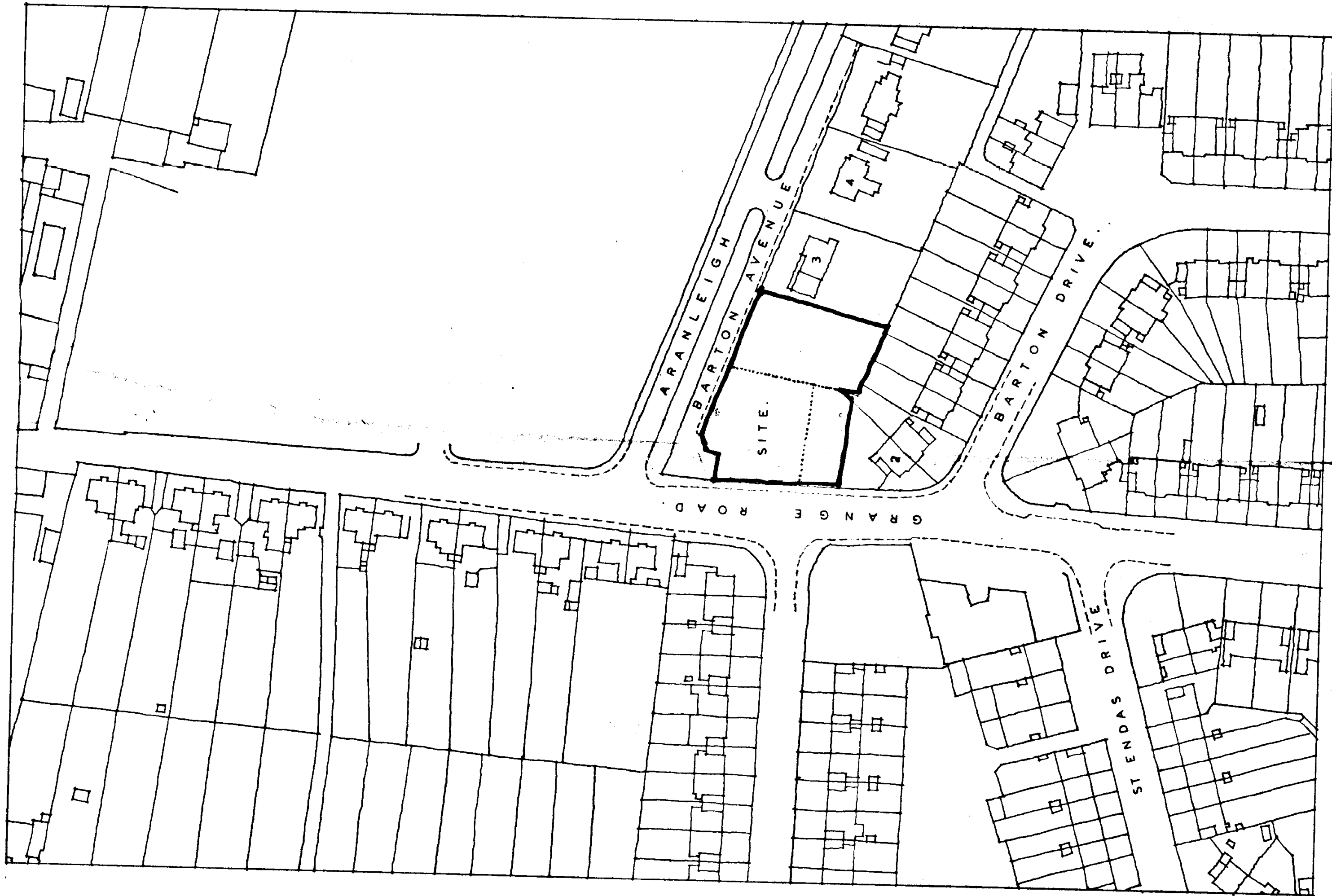


GROUND FIRST PLAN HOUSE 7

FOR DETAILED INTERNAL DIMENSIONS SEE PLANS HOUSES 1 TO 6.
CONSERVATORY (OPTIONAL)
TO REAR HOUSE NOS 1 TO 7.



RECEIVED
12 APR 1991
11A/262
Reg. Sec.

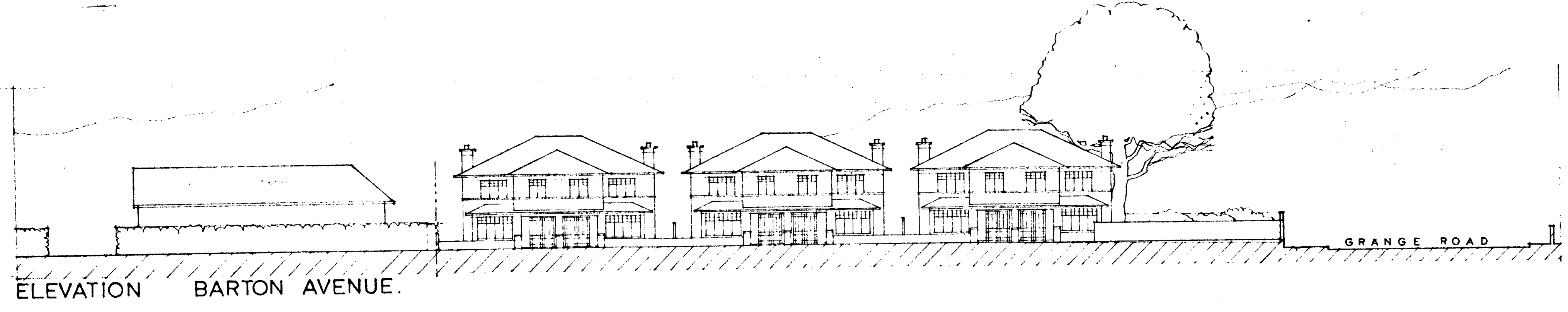


O.S. 3391-9

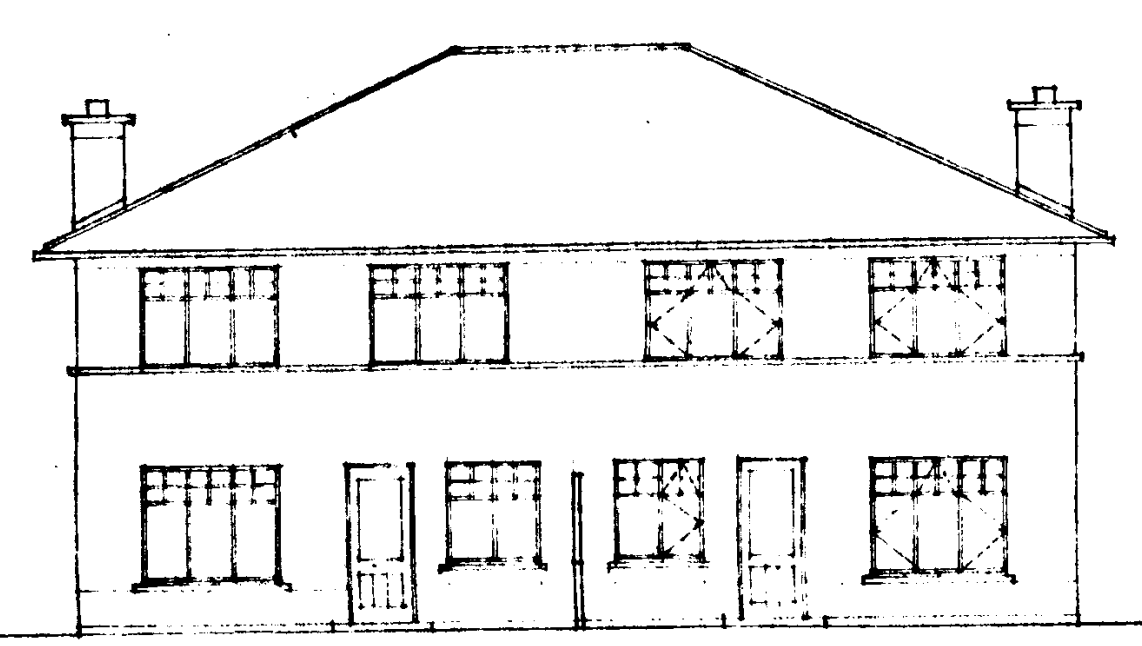
HOUSING AT BARTON AVENUE, RATHFARNHAM, DUBLIN 14.
FOR JOHN J. McDONALD LTD.

LOCATION PLAN SCALE 1:1000 DRAWING NO. A01
CHARLES DONNELLY, BARCH. MRIA1, 40 RATHGAR AVENUE, DUBLIN 6, PH. 961796

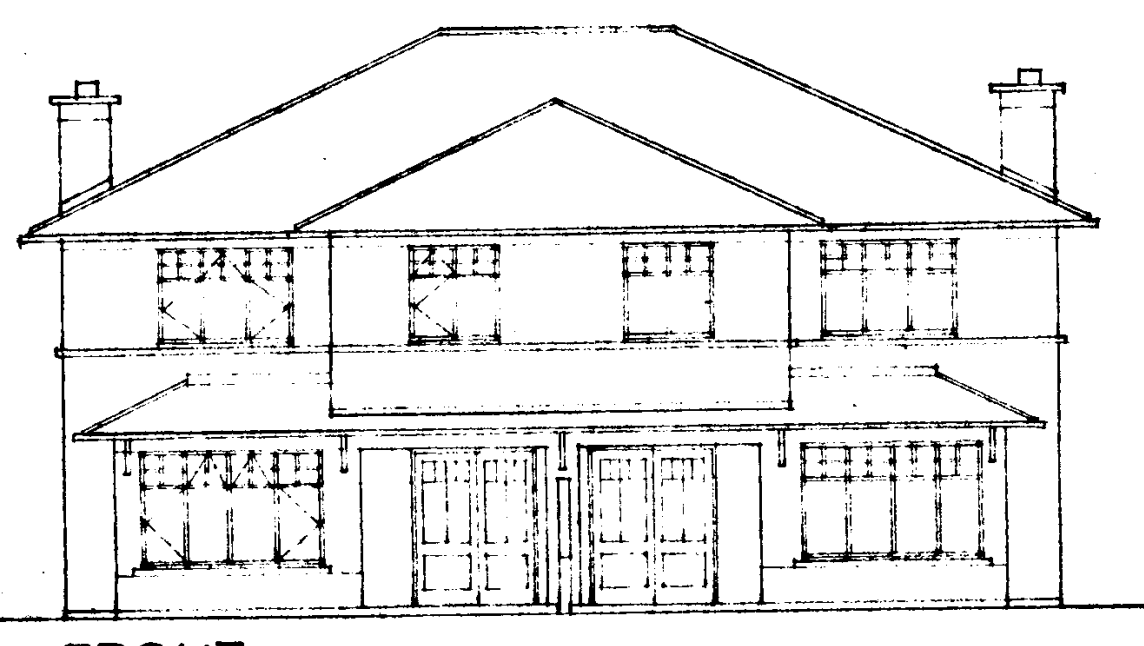
RECEIVED
17 APR 1991
REG. SEC.



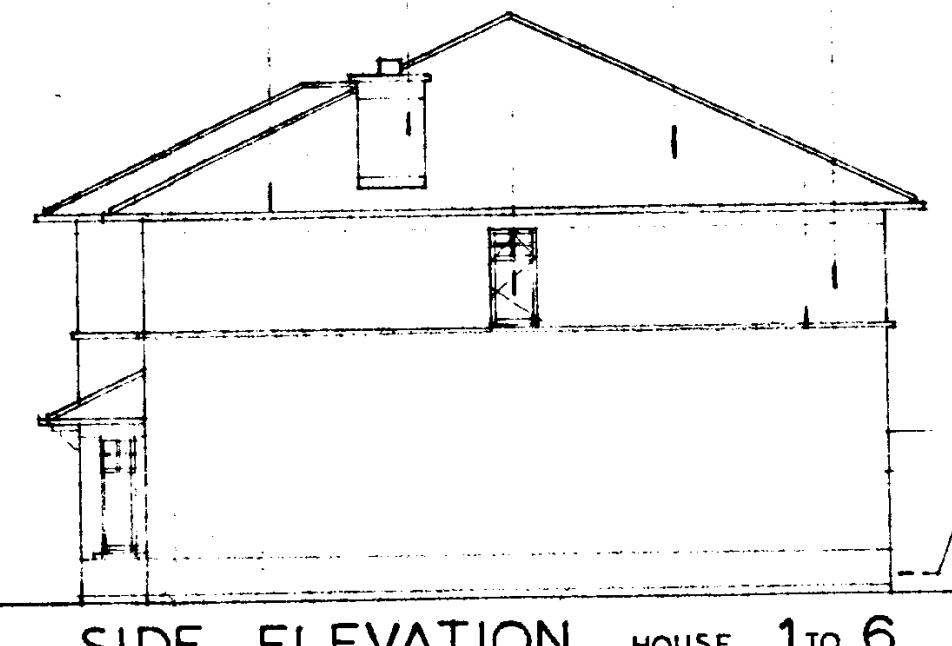
- SELECTED ROOF TILE
- CHIMNEY
- U.P.V.C. GUTTER
- P.V.C. OR HARDWOOD WINDOWS
- PLASTER BAND OR TILE COURSE
- PAINTED RENDER



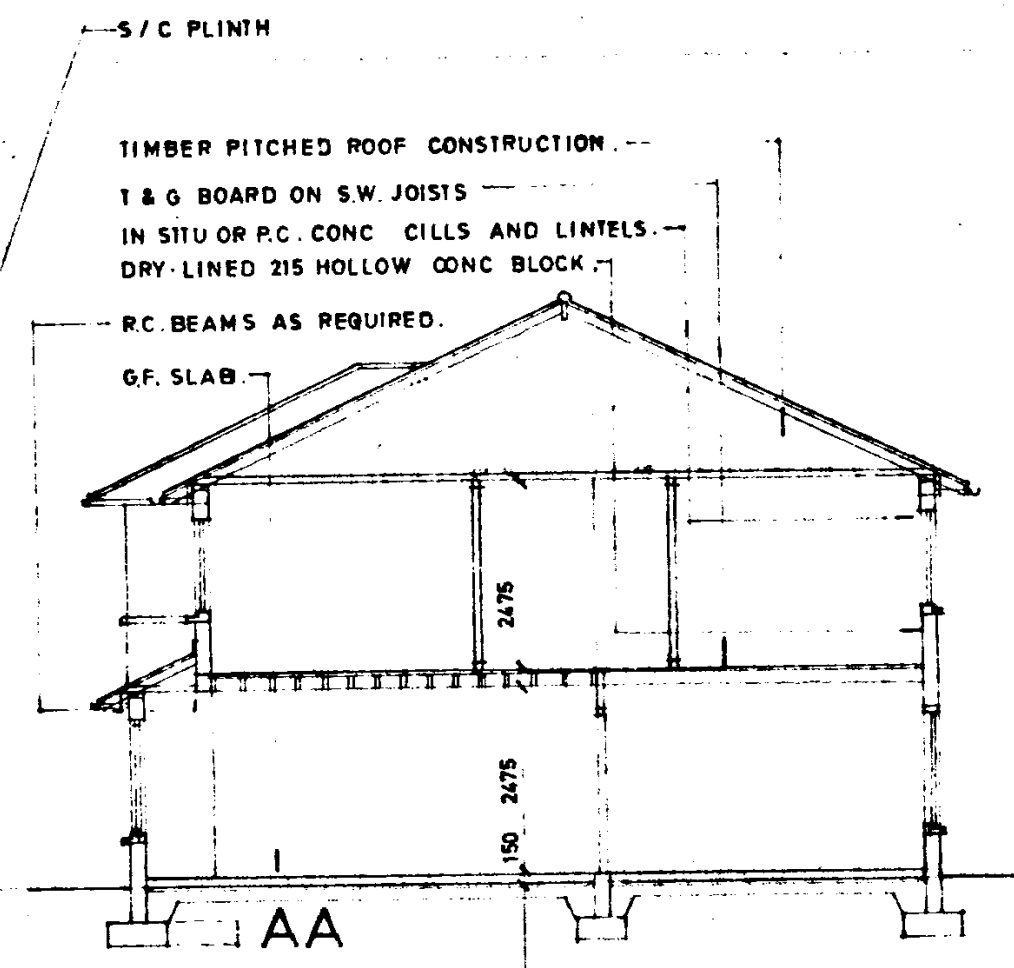
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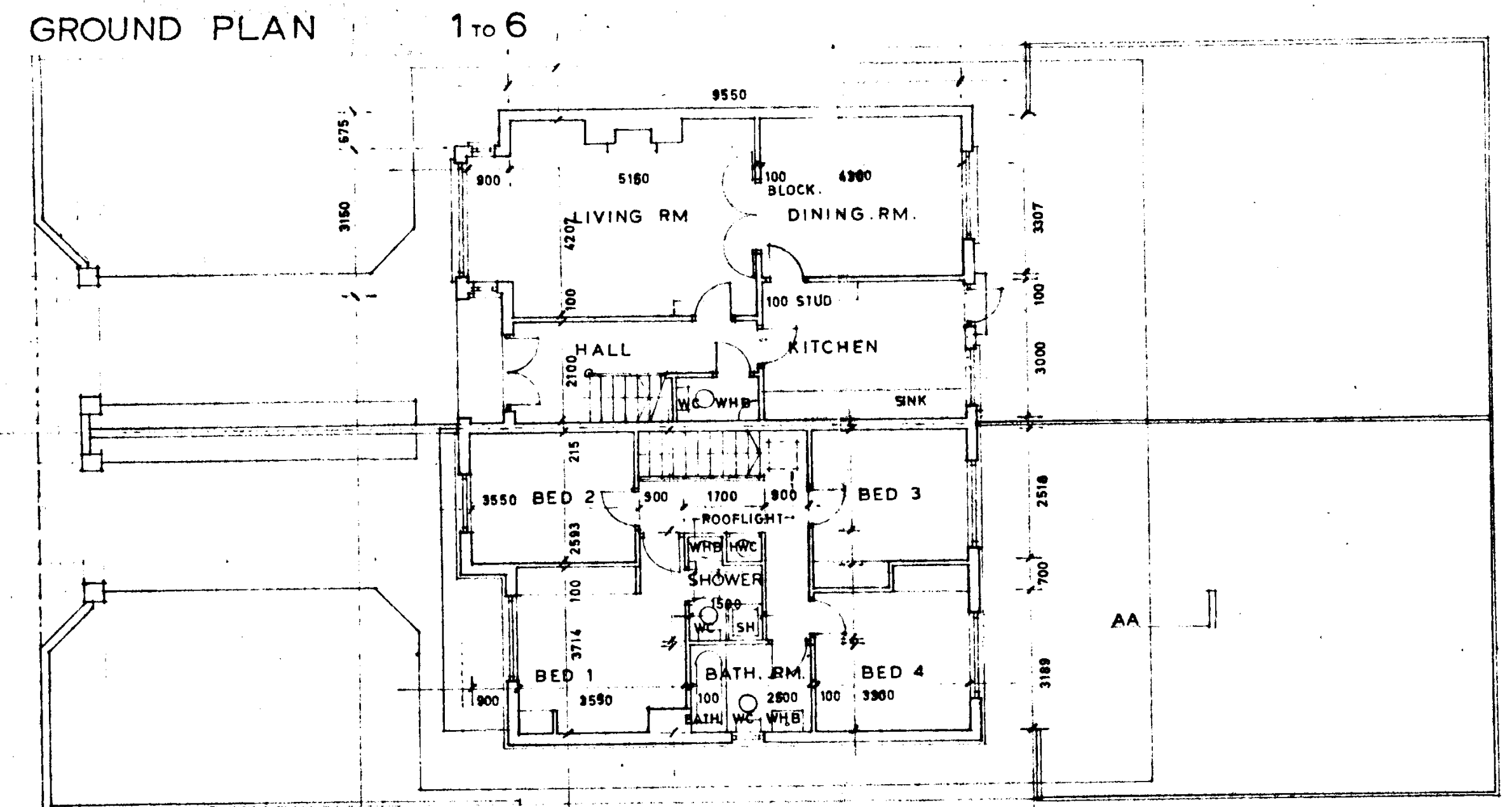
FRONT



SIDE ELEVATION HOUSE 1 TO 6



- S/C PLINTH
- TIMBER PITCHED ROOF CONSTRUCTION
- 1 & 6 BOARD ON S.W. JOISTS
- IN SITU OR P.C. CONC. CILLS AND LINTELS
- DRY-LINED 215 HOLLOW CONC. BLOCK
- R.C. BEAMS AS REQUIRED
- G.F. SLAB

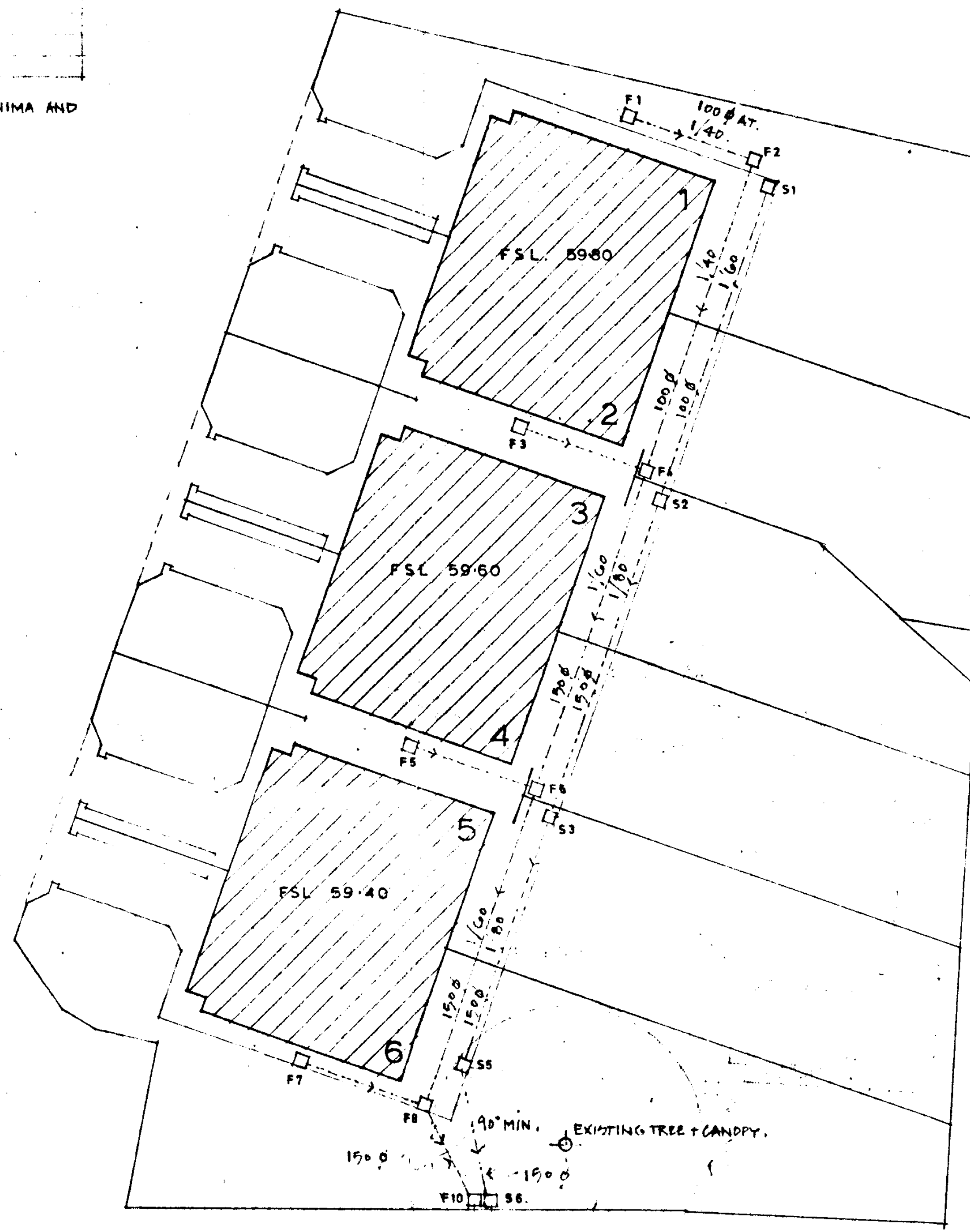


FIRST PLAN 1 TO 6
DIMENSIONS TO EXTERNAL BLOCKWORK, NOT LINING.
FOR CONSTRUCTION SEE OUTLINE SPEC.

RECEIVED
26 JUN 1991
Reg. Sec. 114/ea 22

MANHOLE SCHEDULE					
FOUL 'F'			SURFACE WATER 'S'		
NO	INVERT	COVER			
1	59.200	59.65	1	59.20	59.65
2	59.040	59.65	2	58.95	59.45
3	58.825	59.45	3	58.70	59.25
4	58.665	59.45	4		
5	58.575	59.25	5	58.45	59.05
6	58.415	59.25	6	58.20	58.90
7	58.215	59.05			
8	58.165	59.05			
9					
10	58.000	58.50			

NOTE: INVERT NOS F10 AND S6 ARE MINIMA AND DEPEND ON LEVEL OF PUBLIC SEWER.



DRAINAGE LAYOUT

READ WITH DRG A02 + A04
 • DIAGRAMMATIC ONLY, DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK.
 • LAYOUT SHOWS MAIN LINES ONLY FOR DETAILS SEE A04.
 • ALL LEVELS IN METRES.

LEAD COVER FLASHING DRESSED UP 150 MM. AND CHASED TO BLOCKWORK OVER LEAD SOAKERS LAPPED WITH SARKING FELT.

13 MM MARINE PLY SOFFIT AND FASCIA BOARDS PAINTED.

ALL TIMBERS TRIMMED TO NOT NEARER THAN 50 MM FROM FLUE SURROUND BLOCKWORK

215 THICK RC. FLUE CAPPING AND LINTOL BEARING ON 215 SOLID BLOCK EITHER SIDE.

INCLINED FLUE OPENING TO SUIT

PROPRIETARY FIRE PACKING

ROOFLIGHT.
 INSTALL OPENABLE 'VELUX' (MIN SIZE 450 x 90) ROOFLIGHTS OVER EN-SUITE BATHROOMS (HOUSES 1 TO 6) AND LANDINGS (HOUSES 1 TO 6).
 FORM SHAFT TO 10% FL. CEILING LEVEL FINISHED AS PER CEILING. (LOCATION TO BE CONFIRMED WITH ROOF STRUCTURE ON SITE.)

SELECTED CLAY CHIMNEY POT SET IN HAUNCHED CONG ON 100 THK CING. CAPPING ON LEAD DEP. ON 215 SOLID CONG BLOCK CHIMNEY.

WINDOWS.
 DOUBLE GLAZED (SEALED UNITS) HARDWOOD WINDOWS TO BE EQUAL IN GLAZED AREA TO 10% FLOOR AREA AND IN OPENING AREA TO 5% FLOOR AREA

• 215 x 60 RC. LINTOL TO ALL WINDOW/DOOR OPS IN ALL MASONRY WALLS. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. ENSURE 150 MIN BEARING BOTH SIDES.

• LEAD COVER FLASHING DRESSED UP 150 AND CHASED TO WALL

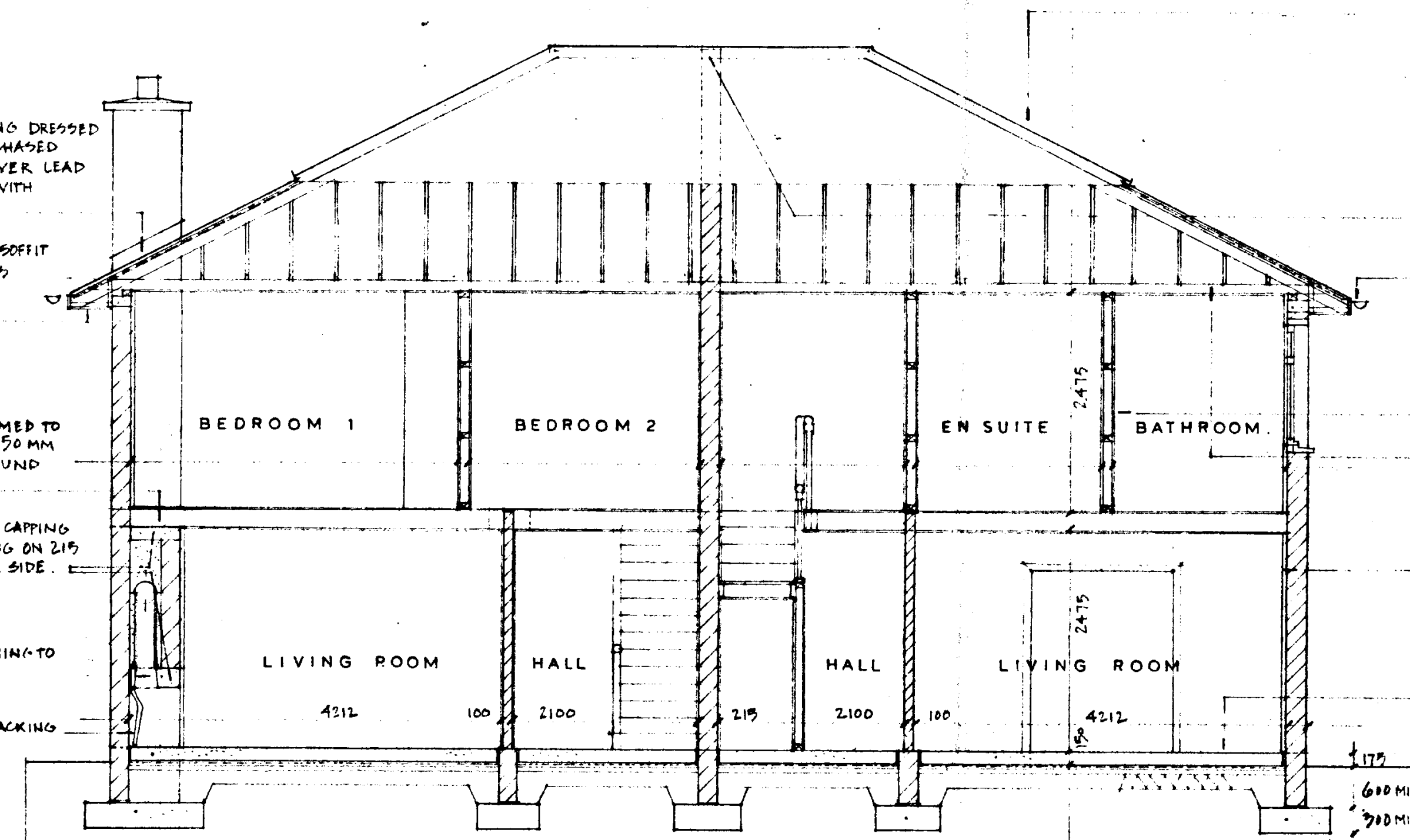
• DOTTED OUTLINE OF SELECTED PROPRIETARY CLAY FLUE LINERS ENCASED IN VERMICULITE CEMENT OR PROPRIETARY PACKING IN 215 SOLID BLOCK FLUE SHAFT.

• SPANLITE LINTOL TO BAY WINDOW OPS. (SOLID BLOCKWORK OVER + FULL MORTAR JOINTS)

• ROOF FINISH TO BE SELECTED CONG OR CLAY TILES AS PER MAIN ROOF ON 125 x 30 RAFTERS AND 100 x 30 CEILING JOISTS AT 400 CENTRES. ALL NOTCHED OVER AND SECURELY BOLTED TO WALL.

• DOTTED OUTLINE OF CHIMNEY CONSTRUCTION BEHIND

SECTION BB. STAGGERED CROSS SECTION HOUSES 1 TO 6.



ROOF CONSTRUCTION
 SELECTED CONCRETE ROOF TILES (420 x 352) / RIDGE TILES NAILED, FIXED, CLIPPED AND LAPPED IN ACCORDANCE WITH CP 2, 1902 ON TREATED SW BATTENS (SIZE & CENTRE TO ENGINEER'S SPEC.) ON SARKING FELT TO 150 ON TIMBER PREFABRICATED ROOF TRUSSES TO SPEC + CALCULATIONS OF W+D COMPONENTS LTD (AS ATTACHED).
 215 SOLID CONG BLOCK PARTY WALL CARRIED UP TO U.S. SARKING FELT AND FIRESTOPPED. (MORTAR PACKING)

RAINWATER: GOODS
 112 MM 'WAVIN' ROUNDLINE GUTTER WITH 60 MM DOWNPIPES FIXED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, BS 4576 PART 1, 1970 AND RECOMMENDATION OF BRE DIGEST 188.

TIMBER STUD PARTITION AS PER SPEC.
 MIN. 100 GLASSFIBRE BUILT INSULATION LAID BETWEEN CEILING JOISTS.
 EXTERNAL WALL
 3 COAT EXTERIOR PAINT ON PRIMER ON 215 HOLLOW CONG BLOCK.

DRY-LINING
 TO INSIDE FACE OF ALL EXTERNAL WALLS. MIN 50 RIGID INSULATION FINISHED WITH 1.5 MM TAPERED EDGE PLASTERBOARD AS PER SPECIFICATION.

GROUND FLOOR
 150 CONG. SLAB ON MIN 40 RIGID POLYSTYRENE INSULATION ON 1000 G POLYTHENE DPM, ON 50 SAND BLINDING ON 150 WELL COMPACTED HARDWARE. (SEE NOTE BELOW SUBSTRUCTURE)
 RC. STRIP FOOTINGS TO BE AS FOLLOWS:
 ALL IN 300 x 300 CONG WITH A397 MESH (450 LAP.) ON 50 LEAN MIX CONG. BLINDING ON FIRM SUBSOIL. (BLINDING GRADE 150 x 40 OR EQUIVALENT).
 FOOTING SIZES TO BE AS FOLLOWS:
 215 BLOCK WALL 300 x 600 WIDE.
 100 " " 300 x 400
 CHIMNEY BREST. 500 PROJECTION FROM CHIMNEY AND WALL.
 NB SOLID BLOCKWORK TO DFC LEVEL.

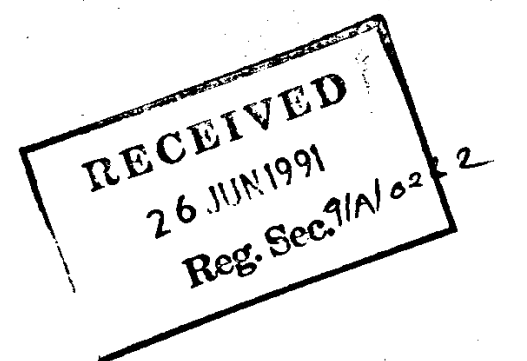
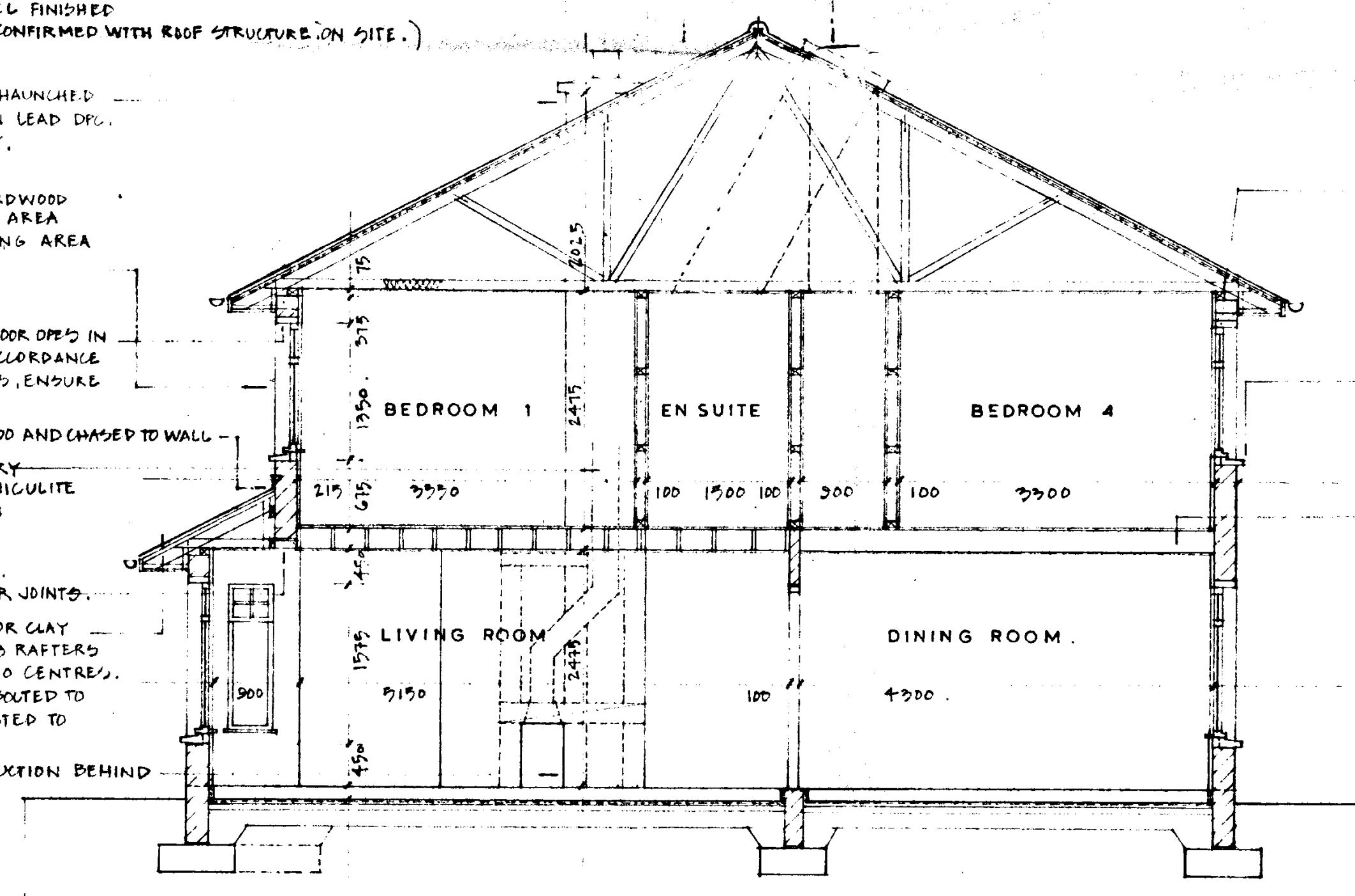
PREFABRICATED TRUSSES TO BE SECURELY NAILED/FIXED TO CONTINUOUS 100 x 75 SW WALLPLATE ON DFC. ON 140 x 215 RC RING BEAM. WALLPLATE TO BE SECURELY BOLTED TO BEAM AT 1000 MM INTERVALS.

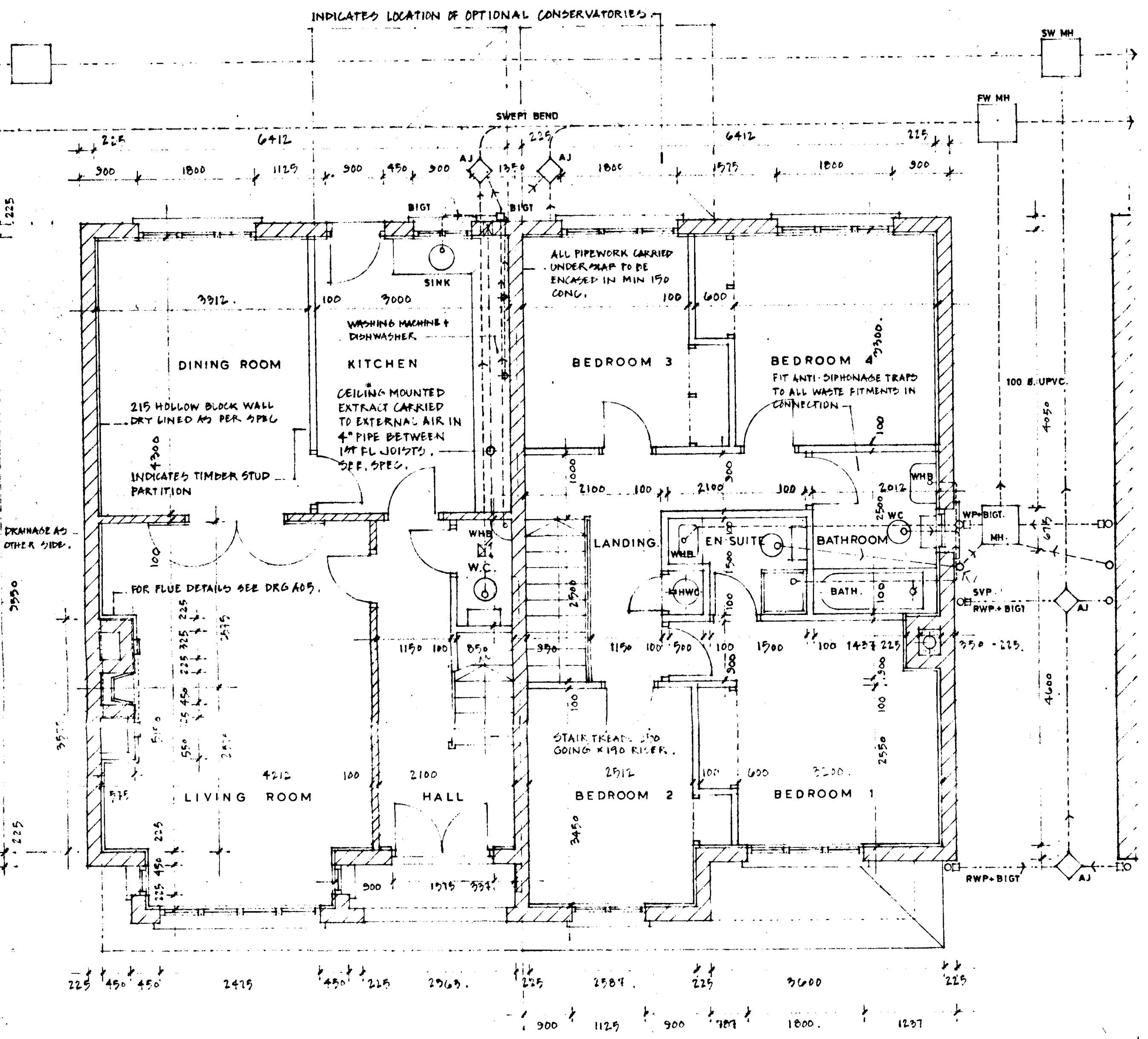
PRESTRESSED OR IN-SITU CONCRETE GILTS WITH DFC UNDER AND DRESSED UP BEHIND AGAINST CONG OR TREATED SW BACKING.

FIRST FLOOR.
 27 SW TAND6 BOARDING ON 225 x 44 S.C. JOISTS AT 400 C/S. BRIDGING AT 1350 C/S ON GALVANIZED M.S. JOIST HANGERS (BAT OR SIM)

NB: STAIRWELL TRIMMING JOISTS TO BE 2 NO. 225 x 44 JOISTS.
 NOTE RE. HARDWARE.
 HARDWARE TO BE GRADED TO CL 803 OR 804 OF DOE, SPEC COMPACTED IN ACCORDANCE WITH CL 802 TO REAR LEVELS IN 150 DEEP LAYERS WITH VIBRATORY TYPE ROLLER OR SIMILAR.

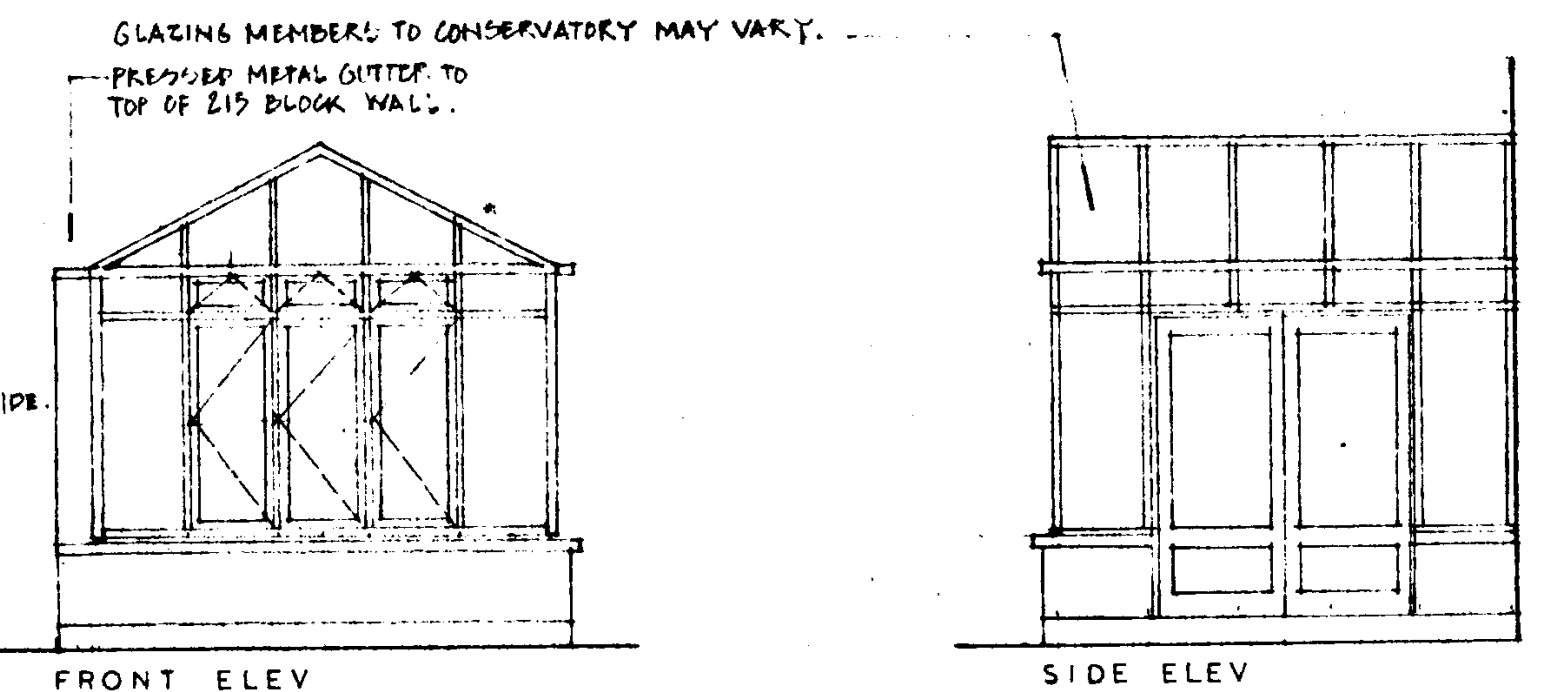
SECTION AA.



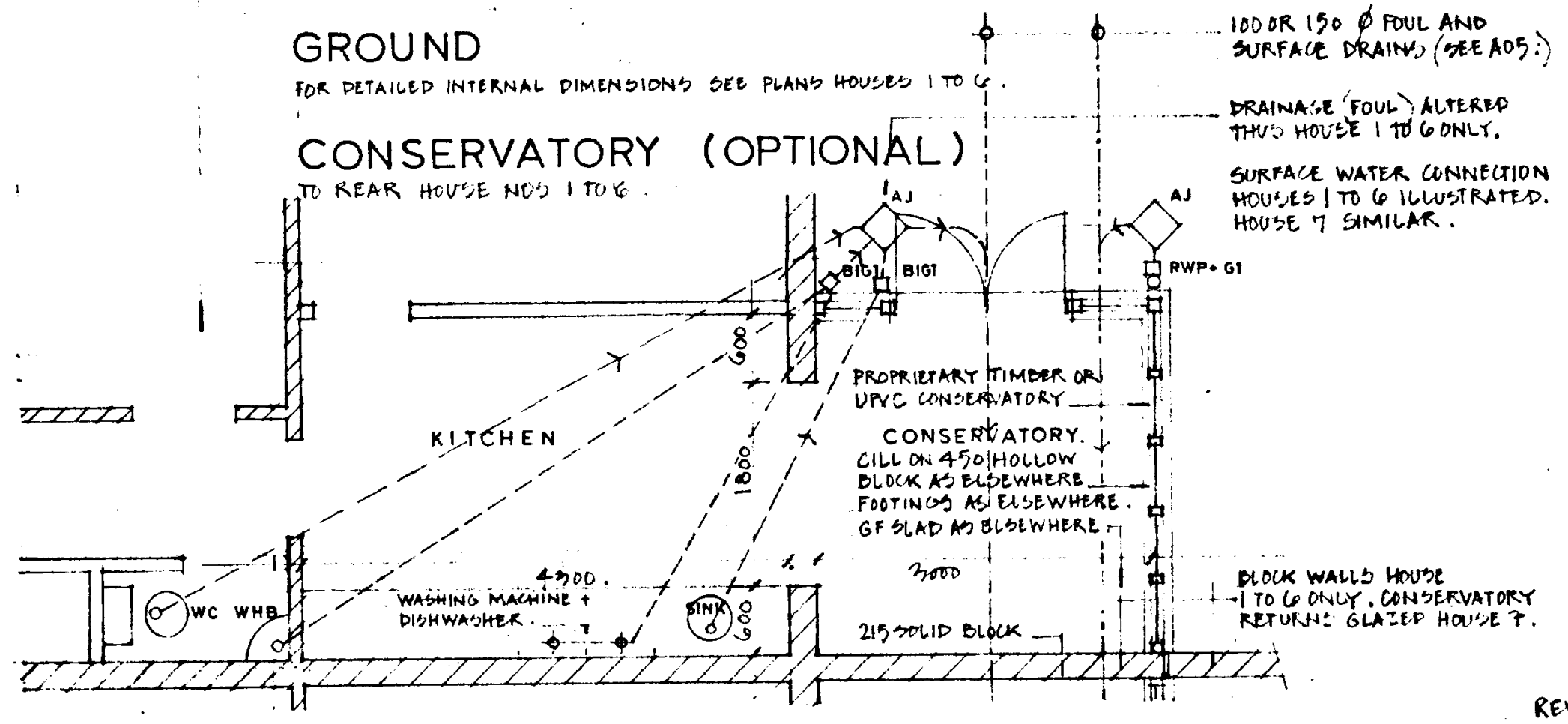


GROUND FIRST PLAN HOUSES 1 TO 6

FOR MANHOLE/SITE DRAINAGE LAYOUT SEE DRG A05.
NOTE ALL DRAINAGE TO BE WAVINDOIL AND VENT SYSTEM INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



FRONT ELEV SIDE ELEV



GROUND CONSERVATORY (OPTIONAL) TO REAR HOUSE NOS 1 TO 6

HOUSING AT BARTON AVENUE, RATHFARNHAM DUBLIN 14.
FOR JOHN J MC DONALD LTD.

REVISION NO 1 MAY 15, 1991. SCALE 1:50 DRAWING NO. A04
CHARLES DONNELLY BARCH. MR.IAI. 40 RATHGAR AVENUE, DUBLIN 6. ph. 961796.

RECEIVED
26 JUN 1991
Reg. Sec. 91A/62R

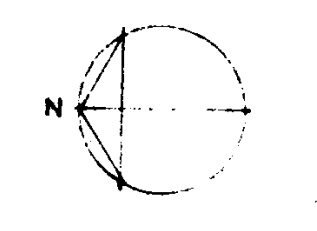


ALL LEVELS IN METRES. RELATIVE TO O.S. DATUM.
'E' INDICATES EXISTING LEVEL.

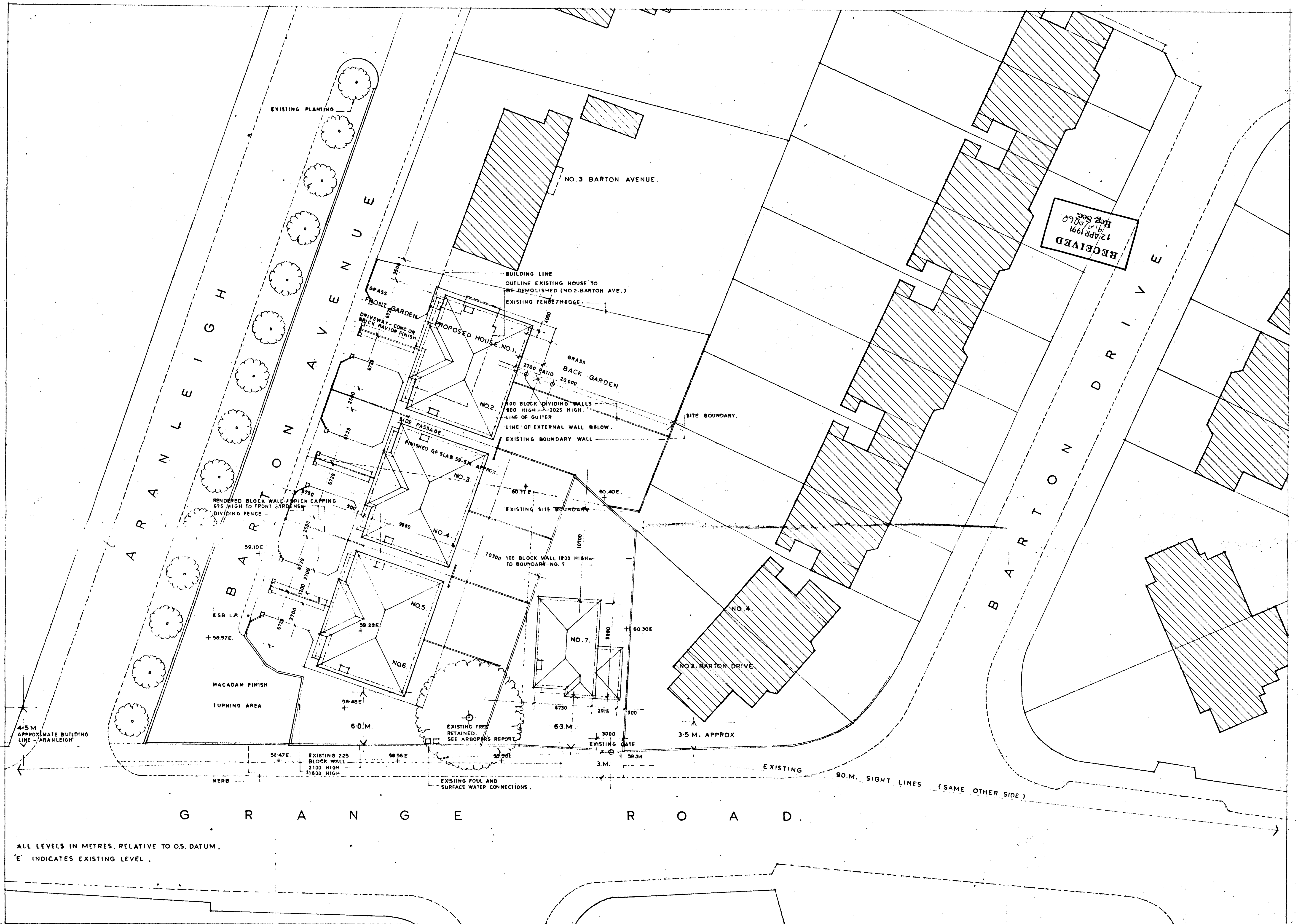
HOUSING AT BARTON AVENUE, RATHFARNHAM, DUBLIN 14.
FOR JOHN. J. MC'DONALD LTD.

REVISION NO 1 MAY 15, 1991.

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26 11/1991
Eng. Sec. 705/2



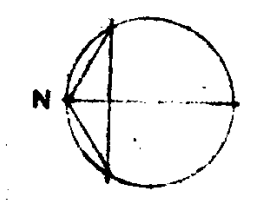
SITE PLAN SCALE 1:200 DRAWING NO. A02
CHARLES DONNELLY, BARCH. MRIA1. 40 RATHGAR AVENUE, DUBLIN 6. PH. 961796



RECEIVED
12 APR 1991
Reg. Sec.
0700

ALL LEVELS IN METRES, RELATIVE TO O.S. DATUM.
'E' INDICATES EXISTING LEVEL.

HOUSING AT BARTON AVENUE, RATHFARNHAM, DUBLIN 14.
FOR JOHN. J. MC DONALD, LTD.



SITE PLAN SCALE: 1:200 DRAWING NO. A02
CHARLES DONNELLY, BARCH. MR. IAI, 40 RATHGAR AVENUE, DUBLIN 6. ph. 961796

DUBLIN COUNTY COUNCIL
Planning Dept. 1991
28 FEB 1991
11:02 AM



O.S. 3391-9

HOUSING AT BARTON AVENUE, RATHFARNHAM, DUBLIN 14.
FOR JOHN J. McDONALD LTD.

LOCATION PLAN SCALE 1:1000 DRAWING NO. A01
CHARLES DONNELLY, BARCH. MR. I.A.I., 40 RATHGAR AVENUE, DUBLIN 6, ph. 961796