

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed alterations to previously approved submission (Reg. No. 90A-187) providing extension to sports hall and new store on site adjacent to Fortunestown Shopping Centre, Maplewood Road, Springfield, Tallaght for Marks Celtic Y.F.C.

CONTRIBUTION	
Standard:	<i>Nil</i>
Roads:	<i>Exempt</i>
S Sers:	
Open Space:	
Other:	
SECURITY:	
Bond/C.I.F.:	
Cash:	

Tony Clare, Dip. Arch.,
12, Maplewood Lawn,
Springfield,
Dublin 24.

Reg. Ref. 91A-0233
Appl. Rec'd: 22.02.1991
Floor Area: 42.1 sq. m.
Site Area: 2,025 sq. m.
Zoning: F

Report of the Dublin Planning Officer, dated 11 April 1991

This is an application for PERMISSION for an extension to previously approved submission (Reg. No. 90A-187) providing extension to sports hall and new store on site adjacent to Fortunestown Shopping Centre for Marks Celtic Y. F. C.

By decision order P/1330/90, Reg. Ref. 90A-187, permission was granted subject to 10 conditions for a sports hall at this location. By decision order P/1342/90 permission was granted for a palisade fence and provision of a temporary changing room until 30th April, 1992, Reg. Ref. 90A-188. The current proposal is to infill a small area where a kink had been left in the original building. There is no planning objection to this proposal.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (4) conditions:-

(MD/DK)

(Conditions attached)

Endorsed:-
for Principal Officer

For Dublin Planning Officer
11-4-91

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to GRANT PERMISSION for the above proposal subject to the (4) conditions set out above is hereby made.

Dated: 17 April, 1991.

Assistant City and County Manager

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 8th April, 1991.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed alterations to previously approved submission (Reg. No. 90A-187) providing extension to sports hall and new store on site adjacent to Fortunestown Shopping Centre, Maplewood Road, Springfield, Tallaght for Marks Celtic Y.F.C.

CONDITIONS

REASONS FOR CONDITIONS

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

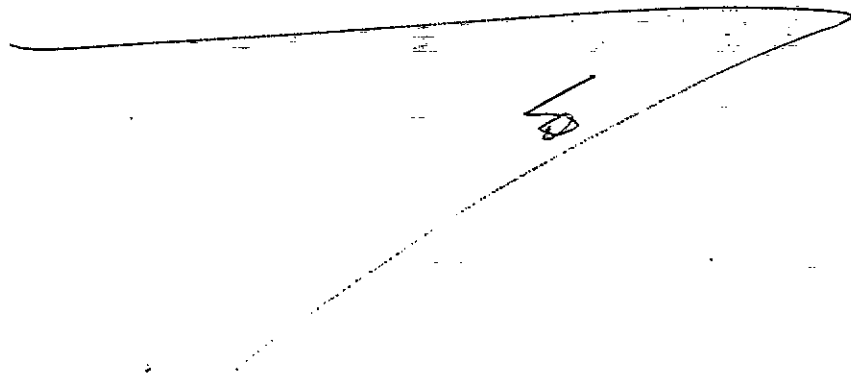
2. In order to comply with the Sanitary Services Acts, 1878-1964.

3. The development shall be carried out in conformity with conditions nos. 3 - 10 inclusive of decision order P/1330/90, Reg. Ref. 90A-187, dated 5th April, 1990, save as amended to conform with the revisions indicated in the plans lodged with the Dublin County Council in connection with this application.

3. In the interest of the proper planning and development of the area.

4. That no advertising sign or structure be erected, except those which are exempted development, without prior approval of the Planning Authority.

4. In the interest of the proper planning and development of the area.



DUBLIN COUNTY COUNCIL

PLANNING DEPARTMENT

Register Reference : 91A/0233

Date Received : 22nd February 1991

Applicant : Marks Celtic Y.F.C.,

Appl.Type : PERMISSION

Development : Alterations to previously approved submission providing extension to sports hall and new store

LOCATION : Site adjacent to Fortunestown Shopping Centre, Maplewood Road, Springfield, Tallaght

O.S.REFS.

2/12.			
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AREA REFERENCE

T	A	1	9	0	9.
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HISTORY

90A/187	90A/188			

FEE CERTIFICATE NO.

FEE CLASS

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MEASUREMENT FOR FEES

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SIGNED

DATE

SENIOR EXECUTIVE DRAUGHTSMAN

FEE PAID

FEE ASSESSED

BALANCE DUE

--	--	--

CERTIFIED

GRADE

DATE

91A/0233

CERTIFICATE NO: 24369

Extensions to Sports Hall + new Store

PROPOSAL:

LOCATION:

APPLICANT:

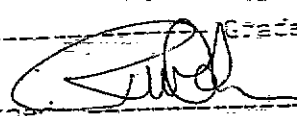
Malvern Road, Spangfield, Tallaght D 24
Mars Celtic F.C.

1	2	3	4	5	6	7
Dwellings/AREA LENGTH/STRUCT	RATE	AMT. OF FEE REQ.	AMOUNT LODGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO
Dwellings	£252					
	£216					
	£500 per M ² in excess of 500M ² Min. £40					
x metres ²	£21.75 per M ² or £40					
x .1 hect.	£225 per hect. or £250					
x .1 hect.	£225 per hect. or £250					
x .1 hect.	£225 per hect. or £250					
x metres ²	£210 per M ² or £40					
x 1,000m ²	£225 per 1,000m ² or £40					
x .1 hect.	£225 per hect. or £40					

EXEMPT

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified Signed:  Grade: S.O Date: 27/2/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CCNT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ 7
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/Approval

Local Government (Planning and Development) Acts, 1963-1983

To..... **Tony Clare, Dip.Arch.,**..... Decision Order **P/1564/91 - 17.04.1991**
..... **12, Maplewood Lawn,**..... Number and Date.....
..... **Springfield,**..... Register Reference No. **91A-0233**
..... **Dublin 24.**..... Planning Control No.
..... Application Received on **22.02.1991**
Applicant..... **Marks Celtic Y.F.C.**..... Floor Area: **42.1 sq. m.**

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/Approval for:-

..... **alterations to previously approved submission (Reg. No. 90A-187)**.....
..... **providing extension to sports hall and new store on site adjacent**.....
..... **to Fortunestown Shopping Centre, Maplewood Road, Springfield,**.....
..... **Tallaght.**

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
<p>1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.</p> <p>2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.</p> <p>3. The development shall be carried out in conformity with conditions nos. 3 - 10 inclusive of decision order P/1330/90, Reg. Ref. 90A-187, dated 5th April, 1990, save as amended to conform with the revisions indicated in the plans lodged with the Dublin County Council in connection with this application.</p> <p>(Continued)</p>	<p>1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.</p> <p>2. In order to comply with the Sanitary Services Acts, 1878-1964.</p> <p>3. In the interest of the proper planning and development of the area.</p>

Signed on behalf of the Dublin County Council


For Principal Officer

Date..... **17.04.1991**

IMPORTANT: Turn overleaf for further information

(Continued) CONDITIONS

REASONS FOR CONDITIONS

4. That no advertising sign or structure be erected, except those which are exempted development, without prior approval of the Planning Authority.

4. In the interest of the proper planning and development of the area.

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:— An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0233

Date : 26th February 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Alterations to previously approved submission
providing extension to sports hall and new store

LOCATION : Site adjacent to Fortunestown Shopping Centre,
Maplewood Road, Springfield, Tallaght

APPLICANT : Marks Celtic Y.F.C.,

APP. TYPE : PERMISSION

With reference to above, I acknowledge receipt of your application received
on 22nd February 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

Tony Clare, Architect,
12 Maplewood Lawn,
Springfield,
Dublin 24.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
 Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building Maplewood Road, Springfield, Tallaght, Dublin 24
 (If none, give description sufficient to identify) (Site adjacent to Fortunestown Shopping Centre)

3. Name of applicant (Principal not Agent) Marks Celtic YFC
 Address c/o 29 Alderwood Ave., Springfield, Tallaght, D.24 Tel. No. 526303

4. Name and address of person or firm responsible for preparation of drawings Tony Cleere Dip Arch 12 Maplewood Lawn, Springfield, Dublin 24 Tel. No. 521402

5. Name and address to which notifications should be sent AS 4 ABOVE

6. Brief description of proposed development EXTENSION TO PREVIOUSLY APPROVED SUBMISSION (REG. NO. 90A/187) PROVIDING EXTENSION TO SPORTS HALL & NEW STORE

7. Method of drainage TO MAIN SEWER 8. Source of Water Supply MAINS SUPPLY

9. In the case of any building or buildings to be retained on site, please state:
 (a) Present use of each floor or use when last used. N/A

(b) Proposed use of each floor Sports / Community Uses

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11.(a) Area of Site 2025 Sq. m.

(b) Floor area of proposed development Original Submission = 284 sqm, This submission = 42.1 Sq. m.

(c) Floor area of buildings proposed to be retained within site 326.1 Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) Freehold - Donated by Dublin County Council

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place / in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
IN SO FAR AS THEY APPLY THEY HAVE BEEN TAKEN INTO ACCOUNT

15. Lists of documents enclosed with application 2 COPIES OF DRG, NOS. MC, SA, GA, FA, SA, PA & ION 2 COPIES of specifications, 2 copies of Site Location Map, Newspaper Cutting (Lush Press 9/2/91) completed Application Form

16. Gross floor space of proposed development (See back) N/A Sq. m.

No of dwellings proposed (if any) N/A Class(es) of Development Community Use

Fee Payable £ NIL Basis of Calculation NON-PROFIT ORGANISATION DOING COMMUNITY WORK - SEE PREVIOUS SUBMISSION

Signature of Applicant (or his Agent) Tony Cleere Date

Application Type 91A/0233 FOR OFFICE USE ONLY

Register Reference P.

Amount Received £

Receipt No

Date

RECEIVED
 DATE
 FEE PAID
 N/A

J. P. Pass
 9/2/91

1.14.2

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin,
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.

4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

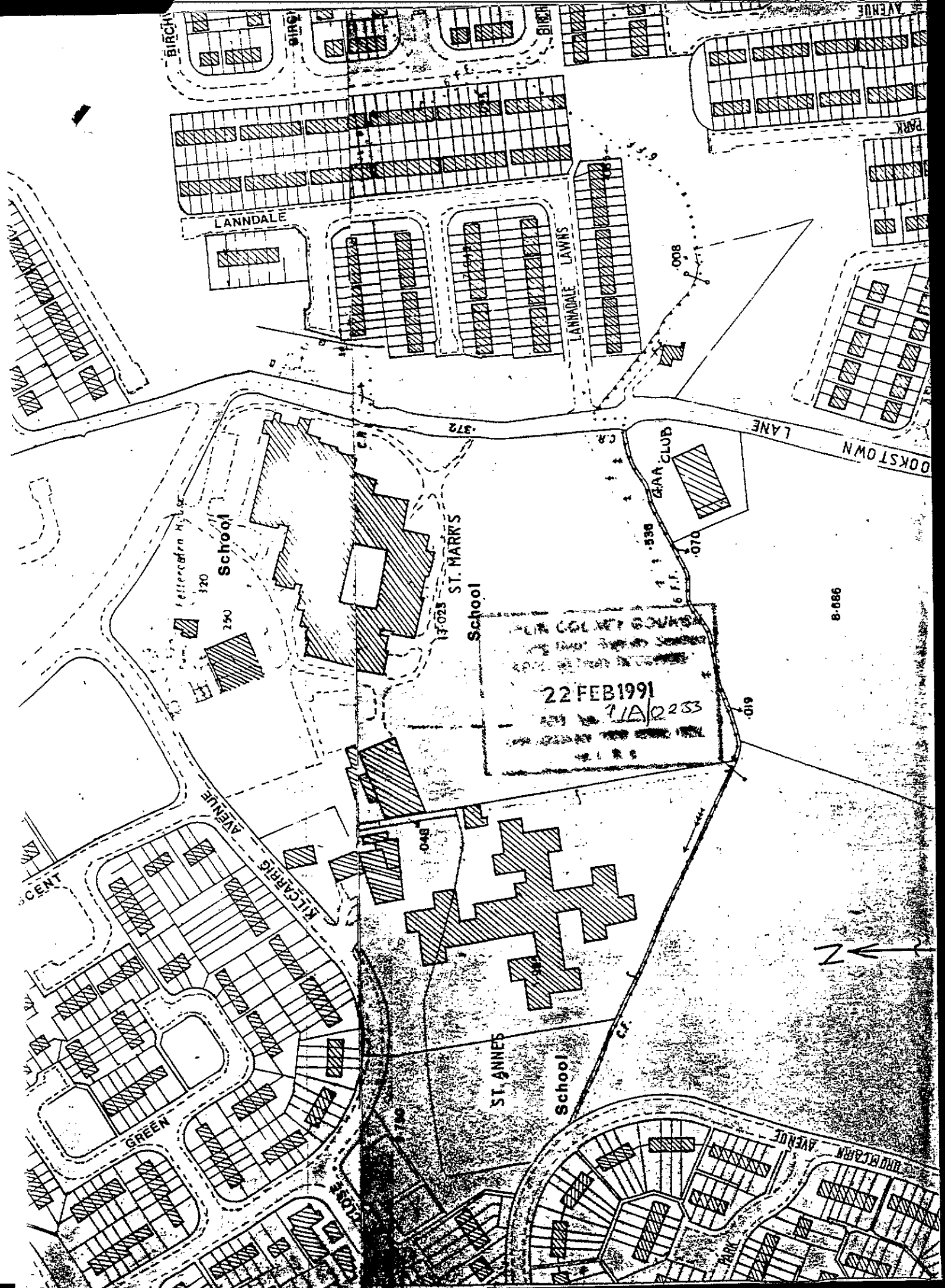
Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS			BUILDING BYE-LAW APPLICATIONS		
CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.



BIRCH

BIRCH

BIRCH

LANNDALE

LANNDALE LANE

LANE

DOOKSTOWN

Fettercairn Hotel

School

ST. MARK'S School

GAA CLUB

22 FEB 1991
1/A/2253

ST. ANNES School

BRUCEARNA AVENUE

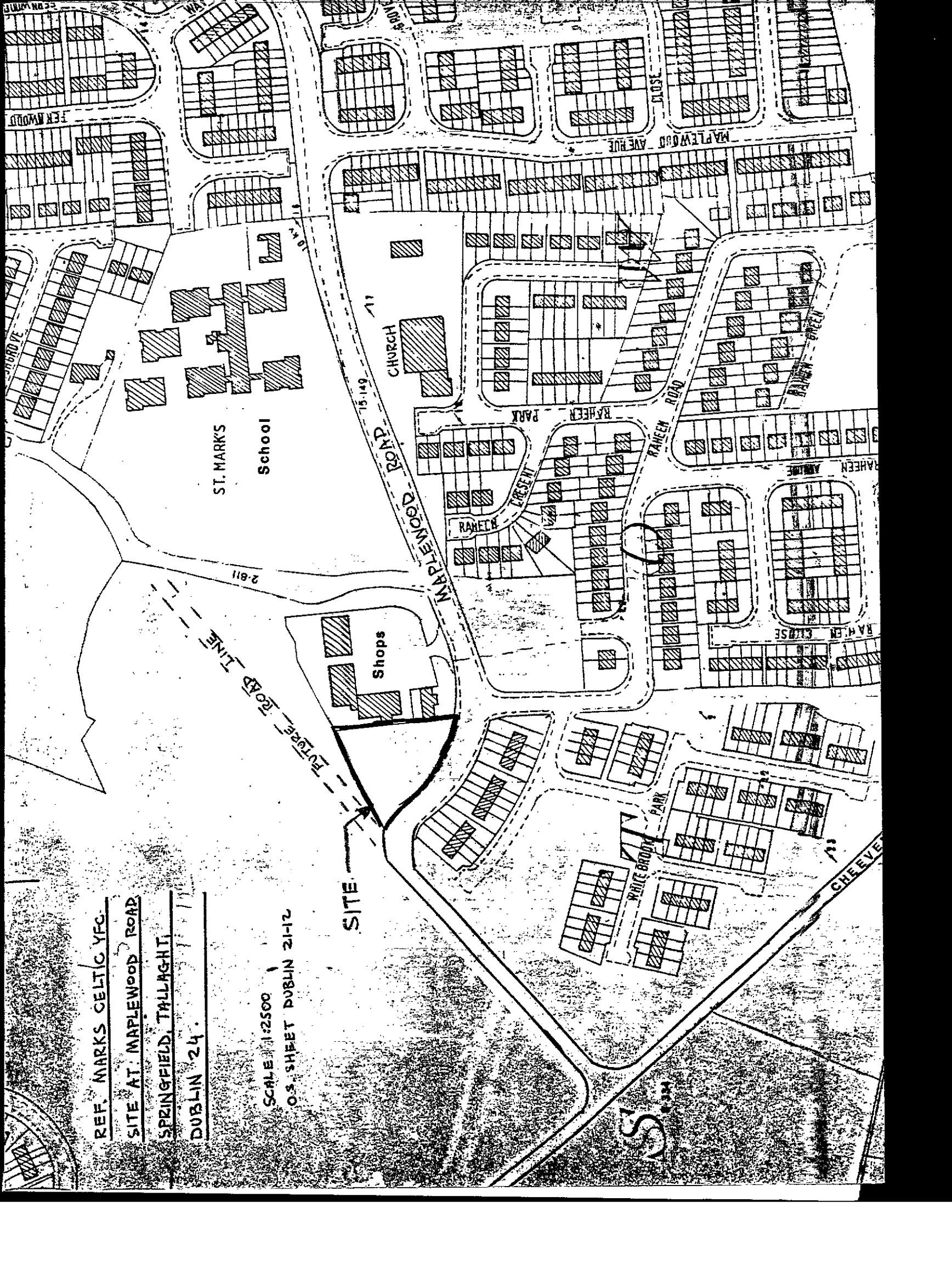
GREEN

KILCARRIG AVENUE



REF. MARKS CELTIC YFC.
SITE AT MAPLEWOOD ROAD
SPRINGFIELD, TALLAGHT,
DUBLIN 24.

SCALE 1:2500
O.S. SHEET DUBLIN 21-12



SITE

2-811

15,149

ST. MARKS
School

CHURCH

MAPLEWOOD ROAD

RANEEN
LANE

RANEEN
PARK

RANEEN
ROAD

MAPLEWOOD AVE HUE

CLOSE

Shops

WHITEBROOK
LANE

WHITEBROOK
PARK

CHEEVER
ROAD

RANEEN
LANE

RANEEN
LANE

RANEEN
GREEN

S
2334

MARKS CELTIC

SPECIFICATION

FOR

PROPOSED CLUBHOUSE

AT

MAPLEWOOD ROAD,

SPRINGFIELD, TALLAGHT, DUBLIN 24



SPECIFICATION

for

Proposed Clubhouse

at

Maplewood Road,
Springfield,
Tallaght,
Dublin 24.

for

Marks Celtic

DUBLIN COUNTY COUNCIL
Planning Dept. Planning Section
APPROVED FOR DEVELOPMENT
22 FEB 1991
REF NO 91A/0233
MANAGEMENT AND CONTROL
M. S. S.

January 1990.

SECTION - PRELIMINARIES

Terms

I.S. means Irish Standard.

B.S. means British Standard.

C.P. means British Standard Code of Practice.

Where reference is made to the foregoing publications, the edition current at the designated date shall apply.

"As indicated elsewhere" or similar wording means as indicated on the drawings or in the Particular Specification.

Statutory Obligations

Comply with all statutory regulations for the safety, health and welfare of the workmen employed on the Site. Comply with the relevant Building Bye-Laws and with any conditions imposed by the Planning Permission and the Building Bye-Law Approval; serve statutory notices.

Quality of Work

Execute the works in a sound and workmanlike manner, using good quality materials and employing experienced workmen. Use all proprietary products in accordance with manufacturers instructions.

Programme

Prepare a programme in bar-chart form for the whole of the Works. Up-date the programme from time to time as circumstances require.

Temporary Works

Provide temporary facilities such as site huts, stores, toilet accommodation, scaffolding, hardstandings, fencing etc; also temporary connections to services; remove on completion.

Setting Out

Establish a master bench mark on site for the duration of the contract.

Set out the works in accordance with the drawings. Use dimensions figured on drawings for setting out; do not scale the drawings.

Supervision

Provide all necessary supervision for the construction of the works.

Cleaning

Remove rubbish from the works as it accumulates. On completion, remove stains and splashes, touch up any damaged paintwork and leave the works clean and tidy and ready for occupation.

Practical Completion

The Client's attention is drawn to the necessity for maintaining adequate heat and ventilation in the building, to prevent deterioration of the fabric.

EXCAVATION AND EARTHWORK

Strip Site

Strip topsoil over the area of the buildings and deposit on site for subsequent re-use, remove surplus from site.

Excavation

Excavate, level and grade over area of buildings as required to produce formation level.

Excavate for trenches and bases as shown on drawings.

Support sides of excavations as necessary and in accordance with statutory requirements.

Backfilling

Backfill around foundations and rising walls with suitable material either arising from excavations or imported.

Disposal of surplus spoil

Spread and level surplus spoil over site as required to make up levels, remove the balance from site.

Disposal of water

Keep excavations free from all water except spring and running water.

Unforeseen Site Conditions

Deal with unforeseen underground conditions such as rock, pipes or cables, soft spots, running sand, spring or running water or other obstructions all at extra cost to the contract.

Hardcore

Hardcore shall consist of gravel filling or broken stone containing not more than 5% clay or organic material.

Hardcore shall be placed in layers not exceeding 250mm thick and thoroughly compacted.

CONCRETE WORK

Concrete mixed off site.

Readymixed concrete will generally be used, complying with B.S. 1926. Each load shall be accompanied by a delivery docket, showing consignee, date of delivery, quantity and grade of concrete.

Concrete mixed on site

Cement shall comply with IS 1 or BS 12 for Ordinary Portland Cement. It shall be stored in dry weathertight structures and used in the order of delivery.

Aggregates shall comply with IS 5 or BS 882. Aggregates of different grades shall be stored in separate stock piles.

Water shall be clean and free from harmful matter.

Concrete mixing on site shall follow the recommendations contained in BS 5328.

Grades of Concrete

The concrete mixes shall be designed to produce concrete complying with the characteristics tabulated below.

The characteristic strength is that determined from test cubes at 28 days.

TABLE A - COMPOSITION AND USES

Mix Designation	Grade 10	Grade 20	Grade 30
Cement Type	OPC	OPC	OPC
Aggregate Size (mm)	40	20	20
Characteristic Strength (N/mm ²)	10	20	30
Slump (+/- 25m)*	N/A	50mm	50mm
Minimum Cement Content (KG/m ³)	150	250	350
Max W/C Ratio	N/A	0.7	0.6

TABLE A COMPOSITION AND USES

Use of Mix	Pipe protection, Thrust Blocks, Concrete Fill, Manhole Benching Bases of Sluice Valves and Hydrant Chambers	Footpaths Manhole Floor & Roofs Gulley Bases	All structural Concrete above and below ground. Concrete Paving.
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* Slump will be +/- 35mm if testing is by Alternative methods in BS.; 5328, Section 15.5.

Testing

Concrete to be tested as required by B.S. 1881 : 1970.

Curing Concrete

Protect concrete from wind, direct sunlight, rain and running water during its initial hardening period. Cover as necessary with polythene sheets, with an absorbent material which is kept damp or with a curing compound.

Curing agent to be ChemCure S or equal.

Concreting in Cold Weather

Take special precautions where necessary to prevent frost damage to concrete, for a period of 3 days after pouring. Aggregates, water, formwork and reinforcement must be free from snow, ice and frost.

Construction of Internal Ground Floor
Slabs

Provide ground floor slabs to a thickness of 100mm, reinforced with mesh ref. C283 and with underlay of 1,000 gauge polythene sheeting.

Cast concrete slab in accordance with Structural Engineers instructions in association with specialist floor layer's recommendations for joints and sealants.

Reinforcement

Materials

Reinforcement shall consist of :-

- Hot rolled mild steel round bars complying with BS 4449
- or Hot rolled high yield deformed bars complying with BS 4449
- or Cold worked steel bars complying with BS 4461
- or Steel fabric complying with BS 4483
- All to be free from loose rust, loose mill scale, oil, grease or other deleterious matter.

Workmanship

Cut and bend reinforcement in accordance with BS 4466.
Fix reinforcement in accordance with BS 0

Formwork

Striking Formwork

Strike formwork only when the concrete is sufficiently mature to resist damage from the removal and for beam soffits and slabs not until the concrete has reached a strength of 14N/mm².

Surface Finishes

Finishes to internal floor slabs

Finish slabs with a power float to produce a hard dense finish. Floor sealer Nitroflor at 5Kg/m².

Finishes to concrete generally

Finishes are to be as specified in BS 8110.

Precast Lintols

Generally

Where applicable, the foregoing clauses in this section refer also to precast concrete.

Lintols

Lintols may be of normal precast type or may be prestressed to comply with BS 1239 or I.S. 240. They shall have a minimum bearing of 200mm each end.

Workmanship

Provide necessary reinforcement in precast units, both for handling and structural purposes.

Provide fine trowelled finish to exposed faces of units, and clean sharp arrisses.

Cure all units for at least 7 days before use. Hoist, bed and neatly point in mortar.

Steel Lintels

Catnic lintels or similar hot dipped galvanised steel to B.S. 2989:1982 coating type G275.

Roof

Concrete roof tiles on 50X44 battens on prefabricated roof trusses at 600mm centres. Trusses to conform to I.S. 193.

External Walls

100mm block or brick outer leaf.
100mm cavity with 50mm insulation.
200mm solid block inner leaf.

Cills

Brick cills on dpc to all windows.

Window Boards

To be 25mm thick, project 25mm beyond surface of plaster, include for bearers for fixing.

Water Storage Tank

Provide 400 gallon water storage tank on RSJ's in position shown on ground floor plan layout.

BRICKWORK & BLOCKWORK

Concrete Blocks

Both solid and hollow blocks shall comply with IS 20

Concrete facing bricks

Concrete facing bricks shall comply with B.S. 1180 type A (ii).

Clay Bricks

Clay bricks shall comply with I.S.91.

Mortars

Cement mortar shall be composed of 1 part cement to IS 1 to 6 parts clean pit or river sand and incorporating a plasticiser. Readymixed sand-lime mortar shall comply with B.S. 4721, in the proportions of 1 part lime to 6 parts sand. It shall be guaged with 15% of cement by volume immediately before use.

Damp Proof Course

Bitumen damp proof course with hessian base shall comply with IS 57 type A.

Polythene damp proof course shall comply with IS 57.

The contractor may use either of the above in the works.

Wall Ties

Wall ties shall comply with BS 1243 : 1978 (amended) and shall be of the vertical twist type.

The ties to be stainless steel.

WORKMANSHIP

Mortar Mixes

Use cement mortar for walling below damp course. Walling above d.p.c. may be in cement mortar or in guaged sand-lime mortar at the Contractor's discretion.

Mortar for brickwork shall not be tinted unless so indicated on drawings. In this case the pigments shall comply with B.S. 1014.

Laying Generally

Do not lay bricks or blocks while the air temperature is below 4 degrees C on a falling thermometer or below 2 degrees C on a rising thermometer. All materials shall be free of snow, frost or ice.

Keep perpends and quoins plumb and square, provide proper bond, use bats only to obtain bond.

Lay and bond bricks and blocks on a full bed of mortar and with joints fully fitted.

Joints for brick and block shall be approximately 10mm thick, with such variations as may be required to suit storey height.

Fair faced Blockwork

Build fair faced blockwork with standard (non-special) blocks and with joints as previously specified. Point as the work proceeds with neat "bucket handle" joint, all to show a plumb, evenly textured face.

Facing Bricks

Facing bricks are to be of clay - colours as selected by the architect.

Lay facing bricks in stretcher bond with half brick lap and point with a neat "bucket handle" joint as the work proceeds. Mix bricks from various batches to avoid contrast between adjoining lifts.

Cavities

Keep cavities and ties free from mortar and debris.

Form weep holes at about 900mm intervals in vertical joints at base of cavity.

Close cavities at jambs by returning the inner block leaf across the cavity with neatly cut blocks.

Set wall ties firmly in mortar joints, with a minimum

embedment of 50mm in each leaf and spaced as tabulated below. Provide extra ties at openings and at external angles, with a vertical spacing of 225mm.

Table 1. Spacing of ties.

mm	mm	mm	mm	TIES / M ²
90 or more	50 - 75	900	450	2.5
90 or more	75 - 100	750	450	3.0
90 or more	100 - 150	450	450	4.9

Damp Proof Courses

Lay damp proof courses to the full thickness of walls, on a full bed of mortar. Lap 150mm at jointings and the full width at angles and junctions.

Set damp proof course on all external walls not less than 150mm above the external finished level.

Provide damp proof course under copings and cappings, also under cills, turned up at back and ends of same.

Provide vertical damp proof course at jambs of openings in cavity walls.

Control Joints

Provide vertical control joints where shown on drawings, nominally 10mm wide. Seal externally with one pack polysulphide sealant; prime surfaces and provide polyethylene foam backing.

Generally, panel lengths shall not exceed twice their height, with maximum 7600mm centres externally and 12000mm internally.

MATERIALS

General

All timber to be free from disease, and suitable seasoned.

Unless otherwise indicated, all carcassing timber shall be in whitewood and all joinery timber shall be in redwood.

Dimensions

Dimensions given for unwrot timbers and for sheet materials are finished sizes.

Dimensions given for wrot timbers shall be subject to an allowance of 3.2mm for each wrot face, unless stated to be finished dimensions.

Whitewood

Whitewood shall be that known to the trade as "Better Quality European Whitewood", unsorted, grades 1 to 5.

Redwood

Redwood shall be known to the trade as "Best Quality European Redwood", unsorted, grades 1 - 5.

Hardwood

Hardwood shall be of Iroko, or similar quality hardwood, kiln dried.

Plywood

Plywood generally shall have type W.B.P. bonding, that for internal flush doors shall have type INT bonding. Plywoods shall have Birch or Gaboon facing.

Doors

Internal flush doors shall comply with I.S. 48 and shall be hollow core type, of standard sizes. They shall be lipped with softwood on two long edges.

External flush doors shall comply with I.S. 48. They shall be of semi-solid core construction, 44mm thick. They shall be hardwood lipped all round.

Fire Doors

Fire resisting doors and frames shall be tested to B.S. 476 Part 8 to the ratings indicated elsewhere.

Skirtings

Skirtings shall be ex. 100 x 19mm redwood with rounded top edge.

Pipe Boxings

Pipe boxings where shown on the drawings shall be of timber framework covered with 12mm plywood or with plasterboard. R.W.P.'s and S.W.P.'s to be wrapped in glass fibre within boxing.

Preservative

Where timber is described as "treated" it shall be brush treated with Protim or equal wood preservative.

Ends cut on site shall be similarly treated.

WORKMANSHIP

General

Frame up joinery work in accordance with B.S. 1186, Part 2.

Knot and prime joinery to be painted, before delivery to site.

Seal joints externally between masonry and timber frames with one pack polysulphide sealant; prime surfaces and provide polyethylene foam backing. Joints to be about 10mm square.

Raingoods

Rainpipes and fittings shall be standard PVC system, to sizes shown on the drawings. Provide all necessary bends, swannecks etc.

Aluminium Windows

These shall be factory assembled and fitted on site, all in accordance with B.S. 4873.

Aluminium finish to be bronze anodised to B.S. Glass to be 4mm or 6mm thick 'Macrolon' or similar.

Seal joints externally between masonry and windows with one-pack polysulphide sealant; prime surfaces and provide polyethylene foam backing.

Matwells

Matwells shall be of aluminium angle size 25X25X3mm thick with mitred and welded corners and fitted with 'Nuway Tuftiguard Mat'.

Glazing

Georgian wired glass to be used in fire doors. 'Macrolon' or similar to external windows with obscure glass to toilets.

All glazing to be carried out to B.S.6262.

Mirrors

Mirrors over whb's in toilets to be 6mm thick mirror glass with stone enamelled backing and polished edges.

Mirrors fixed with C.P. dome headed screws.

FLOOR, WALL & CEILING FINISHES

PLASTERING

Materials

Cement shall be normal Portland cement to I.S. 1.

Sand shall comply with I.S. 8.

Plasterboards and dry-linings shall be equal to the products of Gypsum Industries Ltd. Thickness shall be 12.7mm for wall linings.

Gypsum plasters shall be "Gyplite" or equal.

Expanded metal lathing shall be "plain expanded" type to comply with B.S. 1369 and galvanized.

Workmanship - Internal

Execute internal plastering in accordance with the manufacturers instructions, in either 2 coats of Gyplite plaster or in drylining at the Contractors discretion.

Provide protection to vertical arrisses liable to damage, using galvanised angle bead for wet plaster or flex-corner tape for dry lining.

Provide galvanised strip beads between plastered blockwork and concrete columns, or at movement joints.

WALL & FLOOR TILING

Materials

Tiles and fittings shall comply with B.S. 6431.

Workmanship

Execute tiling in accordance with B.S. 5385 type.

Walls to toilets and showers to be tiled to a height of 2.1 metres over F.F.L.

PAINTING

MATERIALS

General

Materials generally shall be as manufactured by Messrs. Walpamur Harrington Goodlass Wall, Berger, or other approved firm.

Primers and undercoats shall be those recommended by the makers for the particular application.

The choice of colour is limited to 2 for each type of paint.

WORKMANSHIP

General

Execute all paintwork in accordance with the makers instructions.

Preparation

Ensure that all surfaces are smooth; stop or fill all pits, crevices and grain, rub down all nibs and irregularities.

Ensure that all surfaces are clean, dry and free from oil or grease. Wipe down all surfaces before painting and also as necessary between coats.

Paint on blockwork or concrete

Do not paint blockwork or concrete surfaces unless otherwise indicated.

Paint on Internal Plasterwork

Apply 3 coats emulsion paint on plastered walls.

Paint on Wood

Knot, prime, stop and apply 3 coats of oil paint on all surfaces of softwood joinery exposed to view, unless otherwise indicated. Hardwood, internally - 3 coats of one pack polyurethane varnish.

DRAINAGE

Pipes and fittings

Vitrified clay pipes and fittings shall comply with I.S. 106. Those of 100mm, 150mm and 225mm diameters shall have polypropylene couplings.

P.V.C. pipes and couplings shall be "Wavinsewer" or equal.

Concrete pipes shall comply with I.S. 6, with spigot and socket flexible ring joints.

Asbestos cement pipes and fittings shall comply with BS 3656. Pipes not exceeding 225 diameter shall be class H, larger pipes shall be class M.

Material for pipe bedding and surrounds

Granular bedding shall be crushed stone or gravel from 20mm down to 5mm in size, or coarse sand, or sand and gravel ex. quarry in which :-

- (a) Not more than 10% by weight is retained on a 20mm sieve
- (b) All material passes a 40mm sieve.

Manhole Covers

Manhole covers and frames shall be cast iron solid top type, size about 600mm x 600mm and shall comply with B.S. 497. Types and weights shall be as below :-

Light duty	- Grade C, weight about 38 Kg.
Medium duty	- Grade B, weight about 100 Kg.
Heavy duty	- Grade A, weight about 175 Kg.

Road Gullies

These shall be either :

- (a) Cast iron Corporation pattern gullies.
- (b) Masonry pits fitted with Co. Council pattern gratings.

Armstrong junctions and gullies

These shall be of stoneware or p.v.c.

Armstrong junctions shall have cast iron plain covers size 275 x 275.

Gullies shall have galvanized gratings 150mm square.

WORKMANSHIP

Excavation

Excavate trenches to even grades. Remove soft spots in trench bottoms and replace with compacted granular material.

Concrete bedding

Provide concrete bedding to a minimum thickness of 100mm under all pipes.

After laying and testing of pipes fill remainder of trench with ordinary spoil, well compacted. The first layer, to 300mm over pipe crown, shall be free from stones and other hard objects liable to damage the pipe.

Concrete encasings and backfilling

This clause refers to pipes laid :-

(a) Under roadways where the finished cover is less than 900mm.

(b) Under buildings, at any depth.

Provide concrete bedding; after laying and testing of pipes provide concrete surrounds. Thicknesses shall be as below :-

- 100mm for pipes not exceeding 225mm diameter.
- 150mm for larger pipes and for pipes of any diameter under buildings.

Fill remainder of trench with granular material, well compacted.

Pipe types and laying

Lay and joint pipes in accordance with the makers instructions and to the levels indicated on drawings.

Manholes

Construct manholes in accordance with Contractors standard manhole drawing. If required by Local Authority, provide interceptor in last manhole before public sewer.

Provide heavy duty covers to manholes in public roadways.

Provide medium duty covers to manholes in private access roads and parking areas and in footpaths or grassed areas next same.

Provide light duty covers to manholes inaccessible to whelled vehicles.

Finish insides of foul manholes with cement and sand rendering.

Provide fair face to blockwork inside surface water manholes.

SITWORKS

Hardcore

Hardcore under pavings taking vehicles shall comply with Clause 803 of M.O.T. Specification for Road and Bridge Works.

Hardcore under other pavings shall be as described under "Excavation" section.

Road Kerbs

Road kerbs shall be in-situ concrete with reinforcement and dowels to structural engineers detail.

Fencing

Erect palisade fencing on the sides of the site. The fencing is to be 2.4m high with galvanized palisades on galvanized standards and horizontals. All galvanizing to be hot dipped to BS 729. Standards to be set in concrete bases.

The fencing is generally to be supplied and erected in accordance with B.S. 1722 part 12 1979.

Ducting

Provide underground ducts where shown on the drawings of p.v.c. equal to "Wavinduct".

Water supplies

For rising mains see "plumbing" section.

Pipes and fittings for watermains shall be of hard p.v.c. to comply with I.S. 123 Class C.

Hydrants shall comply with B.S. 750 and shall have 75mm bayonet lug outlets.

Sluice valves shall comply with B.S. 750.

Underground Chambers

These shall be constructed in accordance with Contractors standard details.

Hydrant covers and frames shall be Dublin Corporation pattern, marked either "H" or "Beal Tuile".

Sluice valve surface boxes shall be Dublin Corporation pattern, with hinged lid about 100mm square marked "S.V."

Stopvalve covers and frames shall be flanged heavy pattern, with hinged horse lid marked "Uisce".

WORKMANSHIP

Grade Site

Strip topsoil over paved areas and grade and trim over site to produce correct levels and falls; remove surplus spoil from site.

Paved Areas

Provide paved areas and kerbing as shown on drawings.

Parking Areas

Provide min. 300mm layer of hardcore in 2 layers, Provide 75mm tarmacadam finish.

Grassed Areas

Provide topsoil, to a thickness of at least 100mm over grassed areas indicated on drawings. Rake to an even grade, free from large stones. Sow grass seed at 50 grammes per square metre. To the front of all buildings as shown on the drawings provide grass turves.

Landscaped Areas

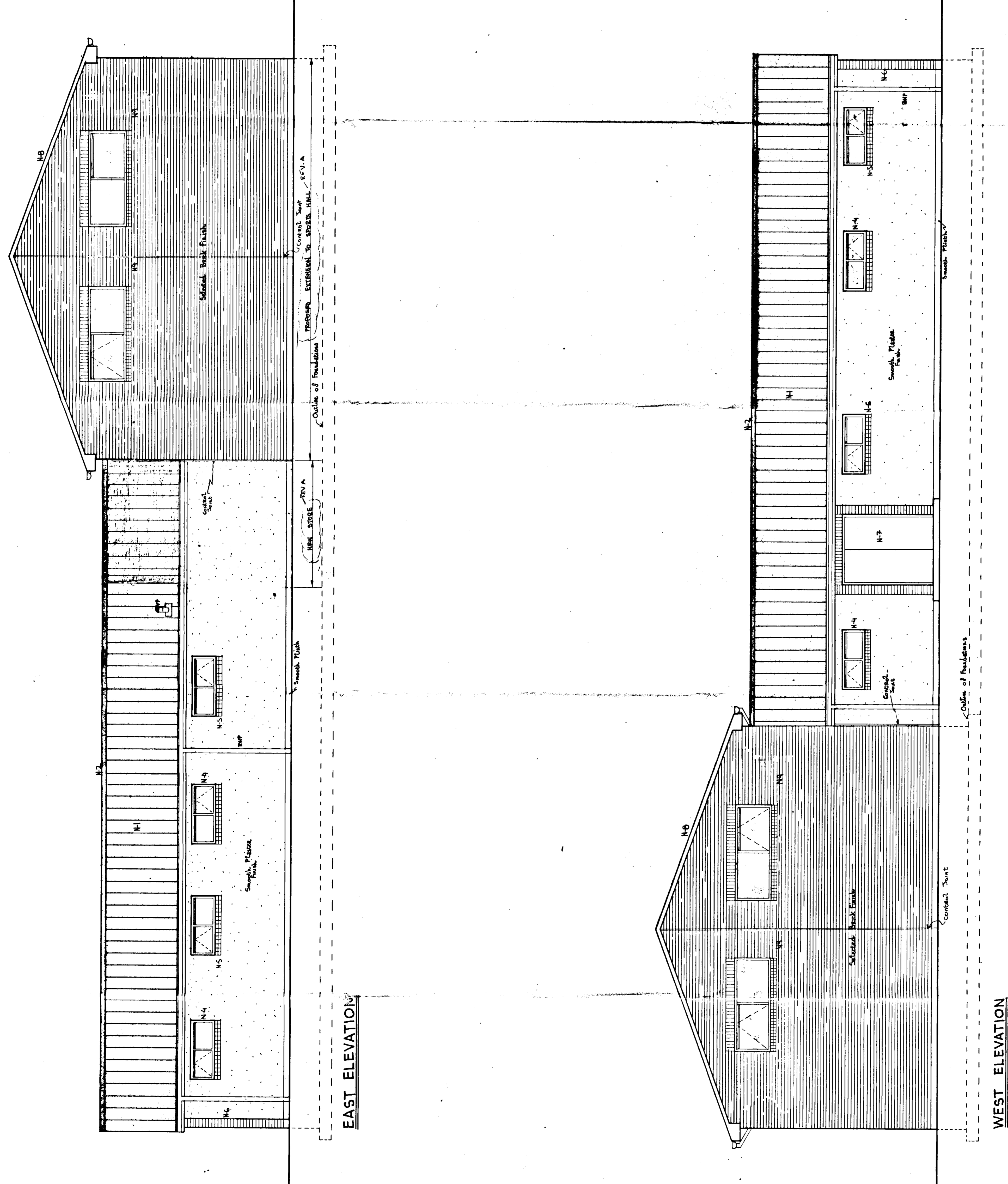
Supply and plant trees and shrubs.

Garden edgings

Provide precast edgings (175 x 50 concrete or similar), set in concrete bed and hunching generally at margin between footpaths and grassed areas.

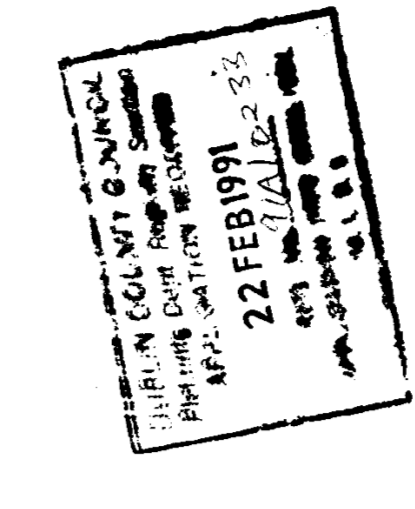
NOTES

- N-1 Conc. Roof Tiles.
- N-2 Conc. Ridge Tiles.
- N-3 2000 Long x 800 High Borewood
Anodized Alum. Windows.
N-4 1500 Long x 600 High Borewood
Anodized Alum. Windows.
- N-5 Brick CRT or DPC (See A1-B)
- N-6 Brick Return.
- N-7 Timber Doors Finished with
Metal Sussing both sides.
- N-8 Timber Barge Board.
- N-9 Expanded Metal Mesh Embankment.



EAST ELEVATION

WEST ELEVATION

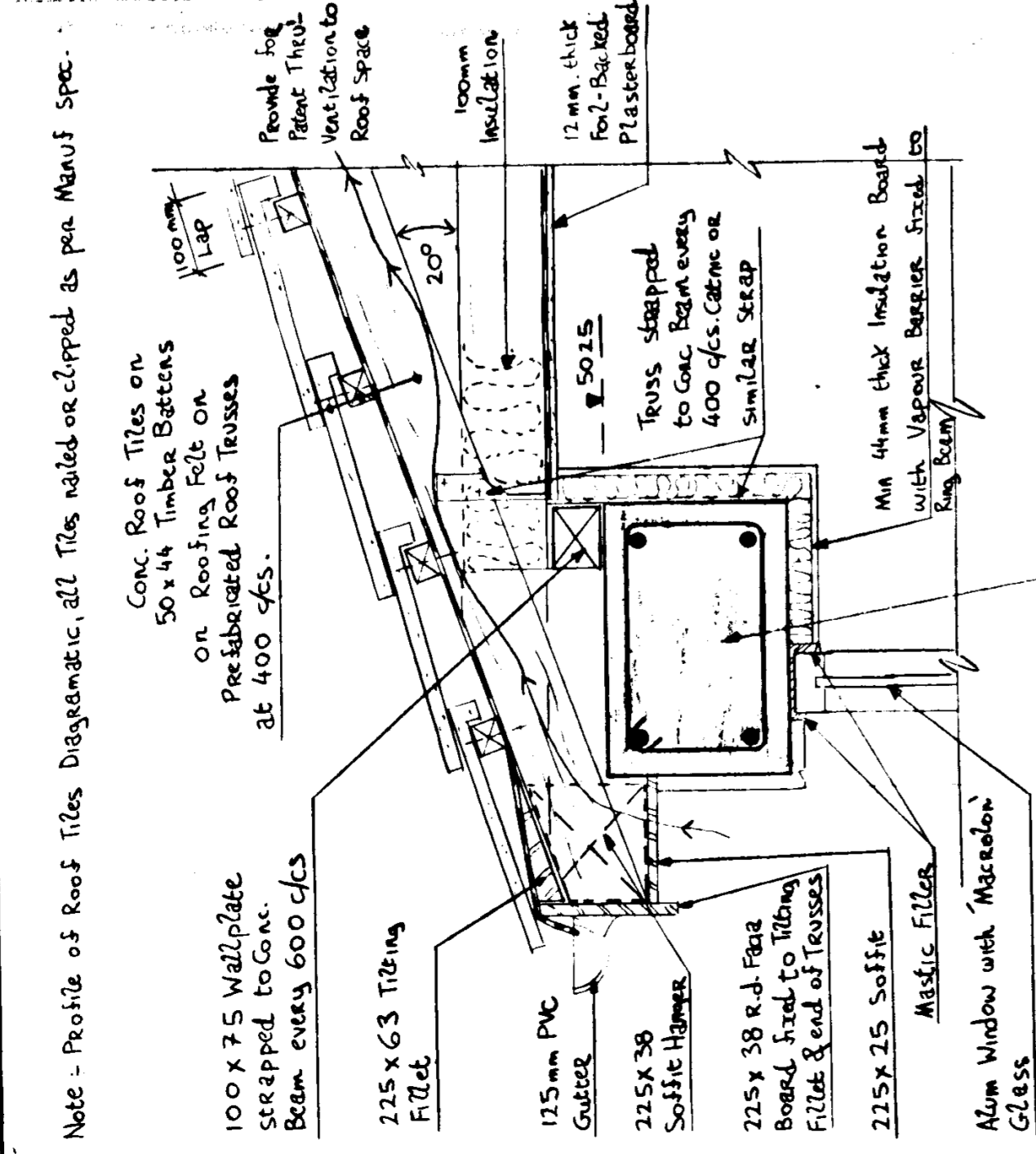


REVISION	DATE	DESCRIPTION	BY
A	FEB 1991	SPORTS HALL EXTENDED, STAKE ADDED	

DESIGNED	T.C.
DRAWN	T.C.
CHECKED	
SUBMITTED	

APPROVED DATE	SCALE	SPEC NO	SHEET NUMBER
	1:50		MC-10A

**PROPOSED CLUBHOUSE FOR
MARK'S CELTIC YFC AT
MAPLEWOOD ROAD, SPRINGFIELD,
TALLAGHT, DUBLIN 24.**



Note: Profile of roof tiles, Dageomatic, all the solids on ceiling & per Mansie spec.

Concrete Rafters on 50x100mm Timber Battens on Roofing Felt on Precast Concrete Slabs at 400 c/c's.

100x75 Wallplate strapped to concrete beam every 600 c/c's.

225x25 Soffit.

115mm PVC Gutter.

225x38 Soffit Hanger.

225x38 R.C. Beam.

12mm thick insulation board.

100mm insulation.

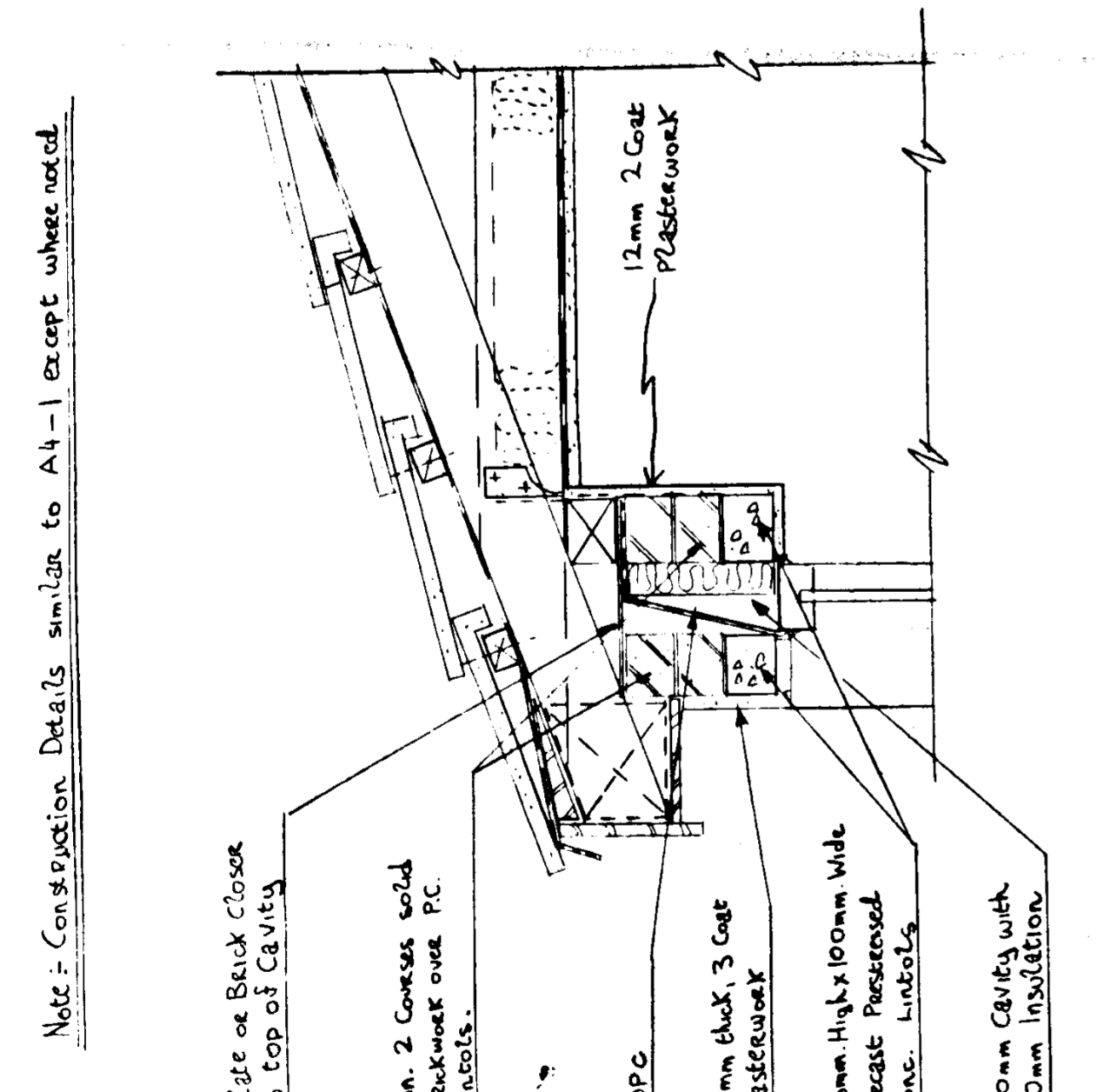
100mm concrete slab.

100mm concrete beam.

100mm concrete slab.

100mm concrete beam.

100mm concrete slab.



Note: Construction Details similar to A4-1 except where noted.

12mm thick plasterboard.

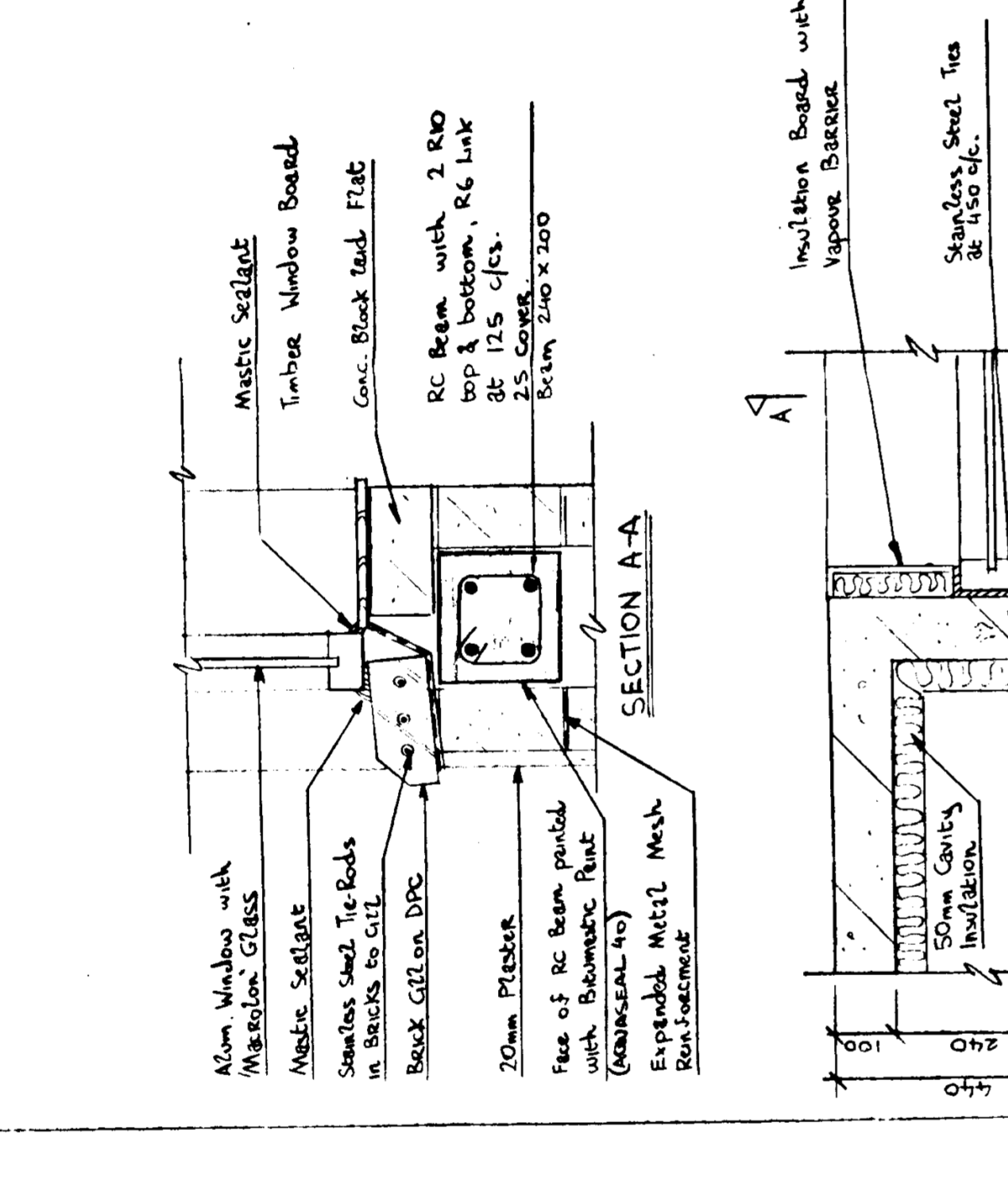
100mm insulation.

100mm concrete slab.

100mm concrete beam.

100mm concrete slab.

100mm concrete beam.



Timber Window Board.

Concrete Slab.

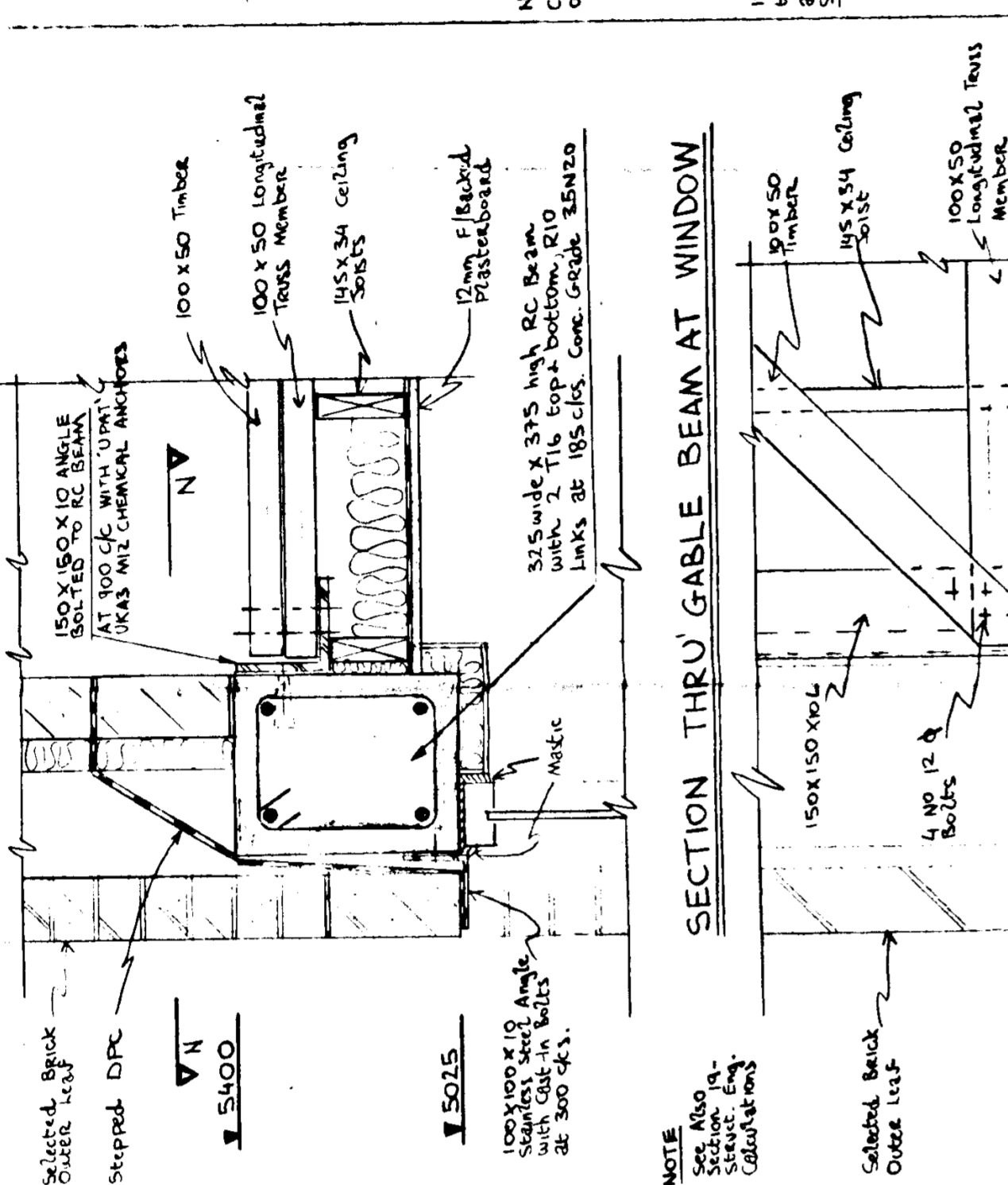
Concrete Beam.

100x50 timber.

100x50 timber.

100x50 timber.

100x50 timber.

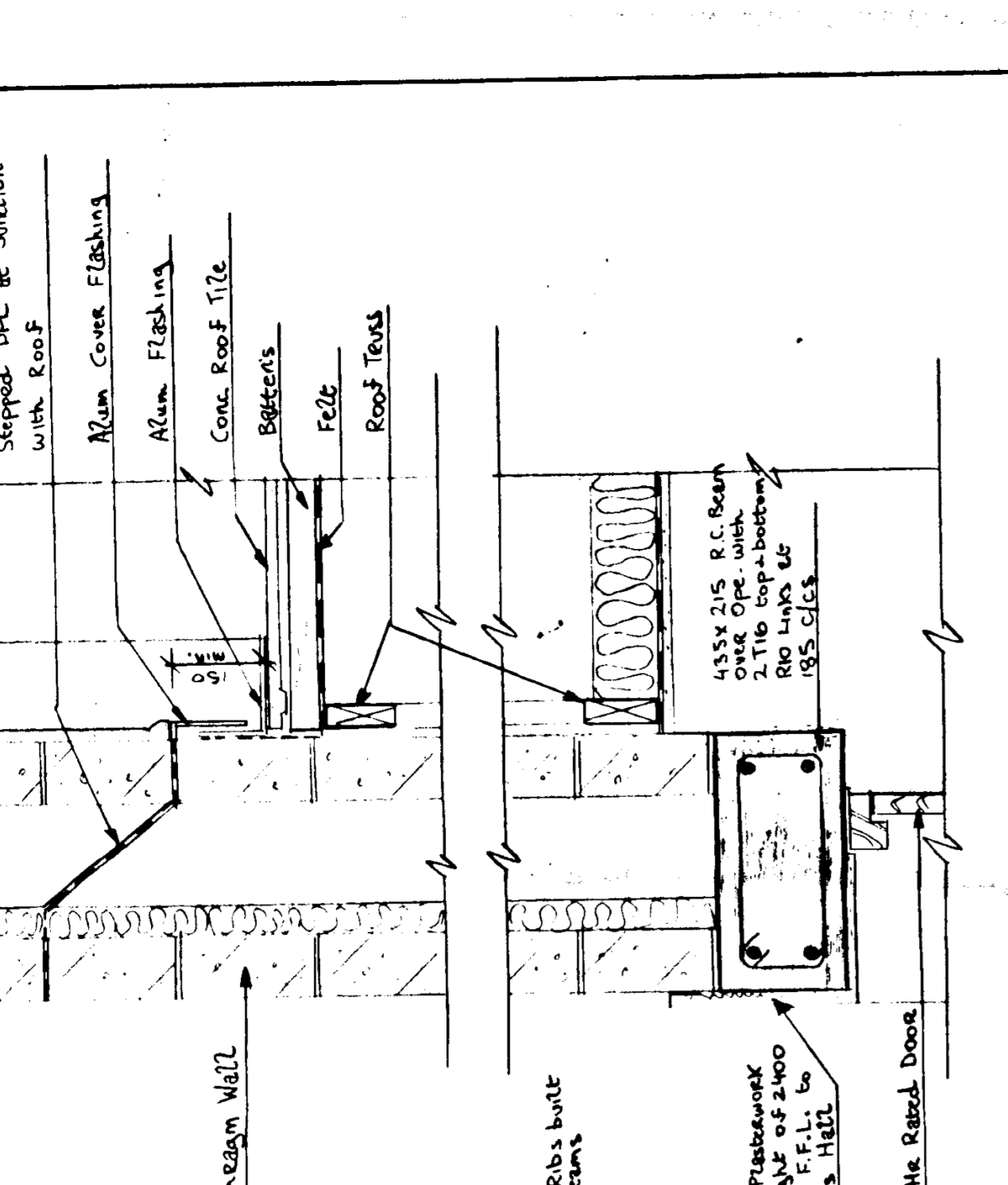


100x50 timber.

100x50 timber.

100x50 timber.

100x50 timber.

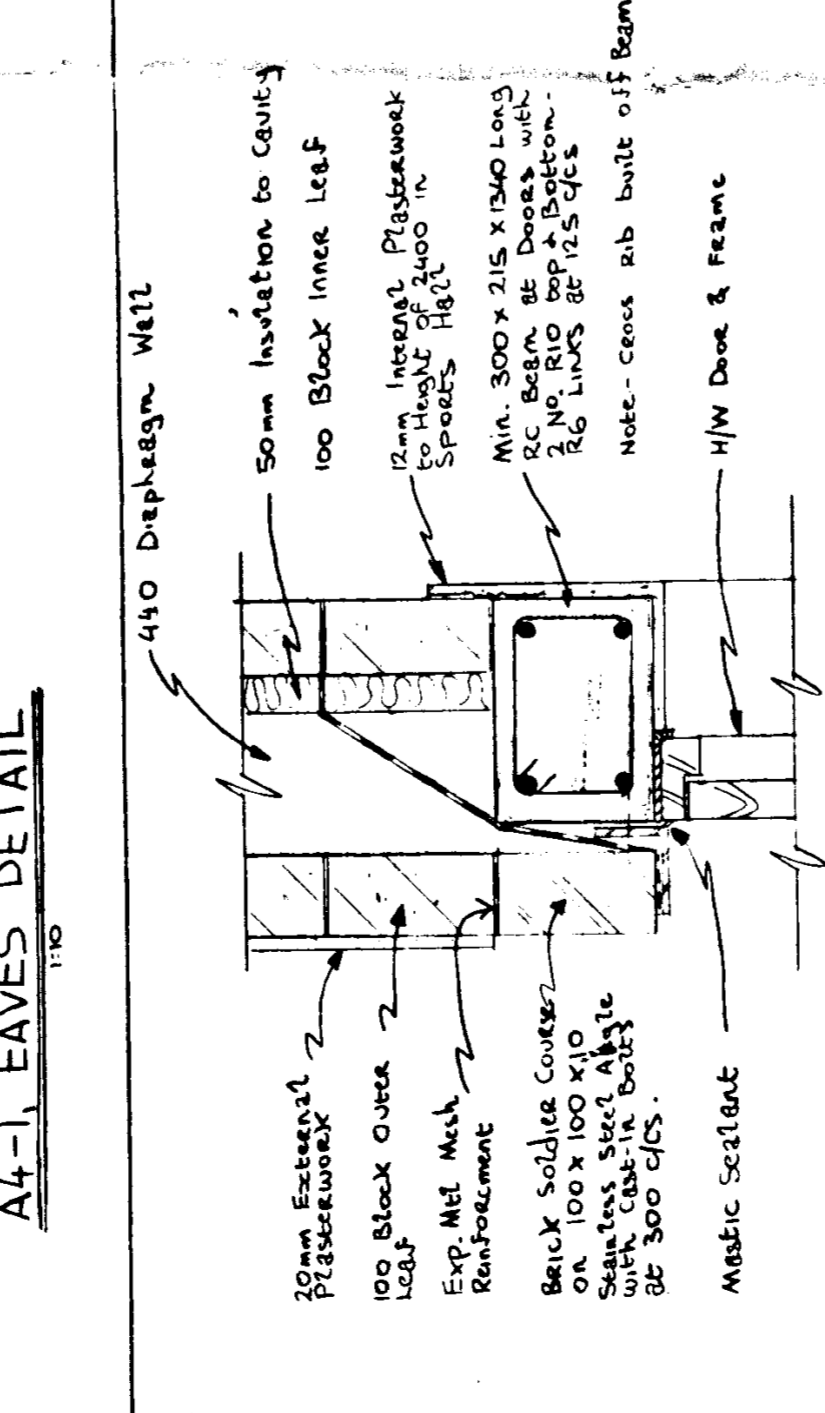


Stepped DPC at Section with Roof.

Main Concrete Slab.

Main Concrete Slab.

Main Concrete Slab.

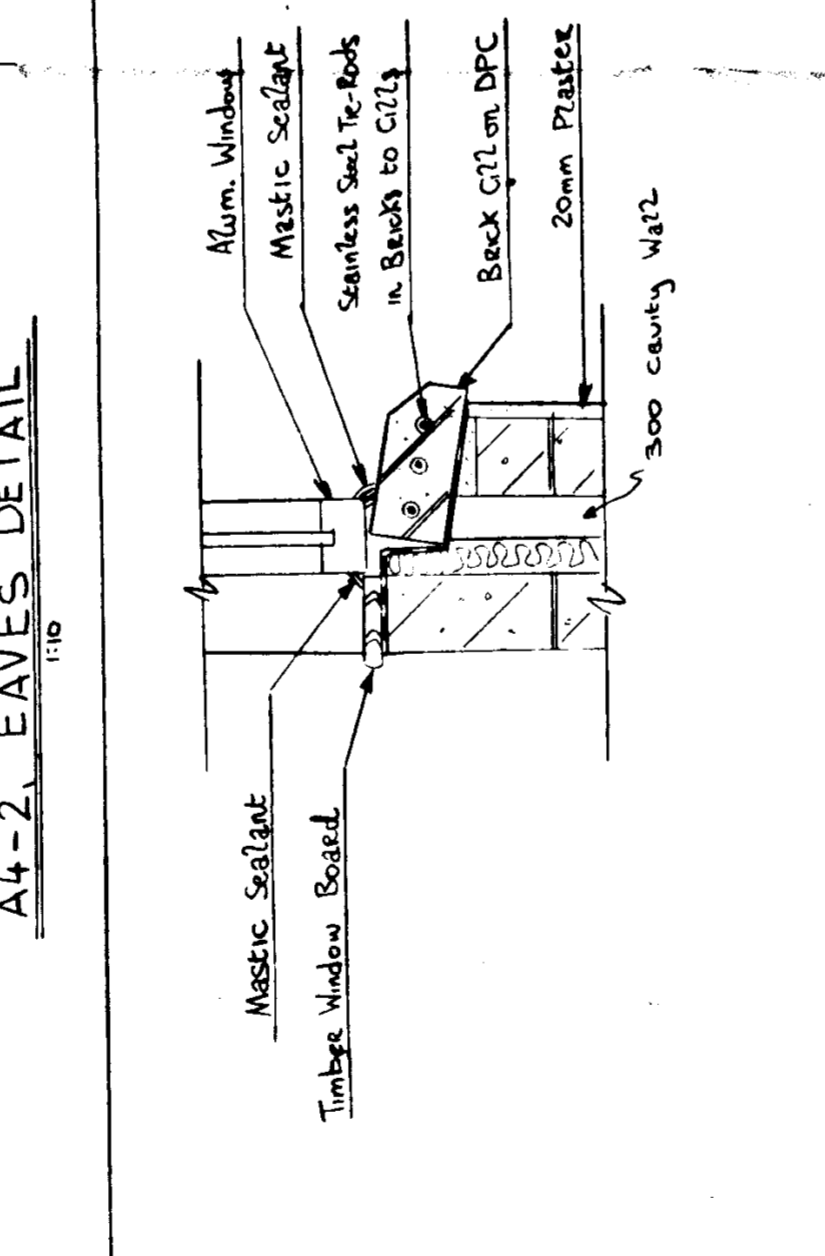


400 Depressure Wall.

100 Black Lines Leaf.

100 Black Lines Leaf.

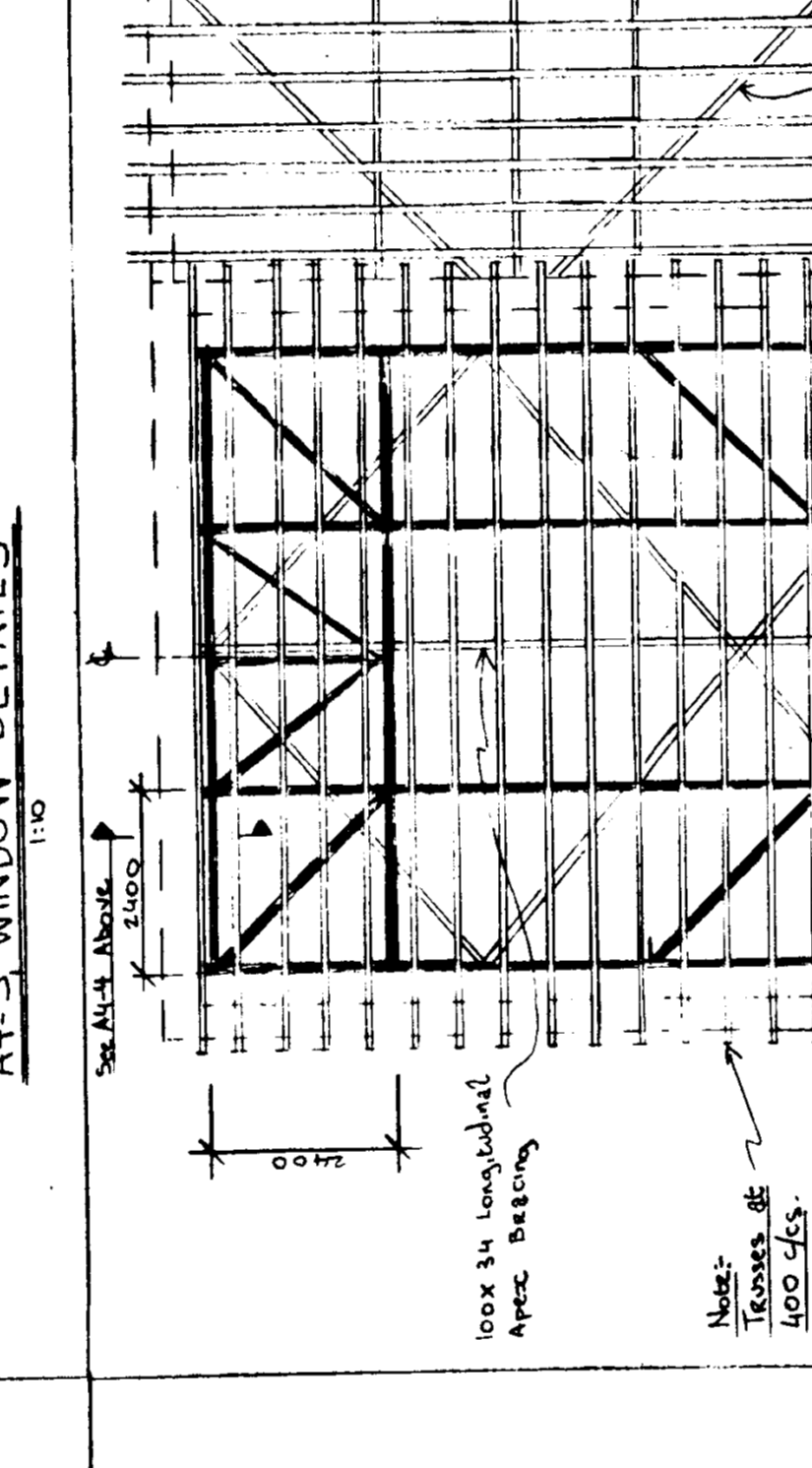
100 Black Lines Leaf.



100 Black Lines Leaf.

100 Black Lines Leaf.

100 Black Lines Leaf.

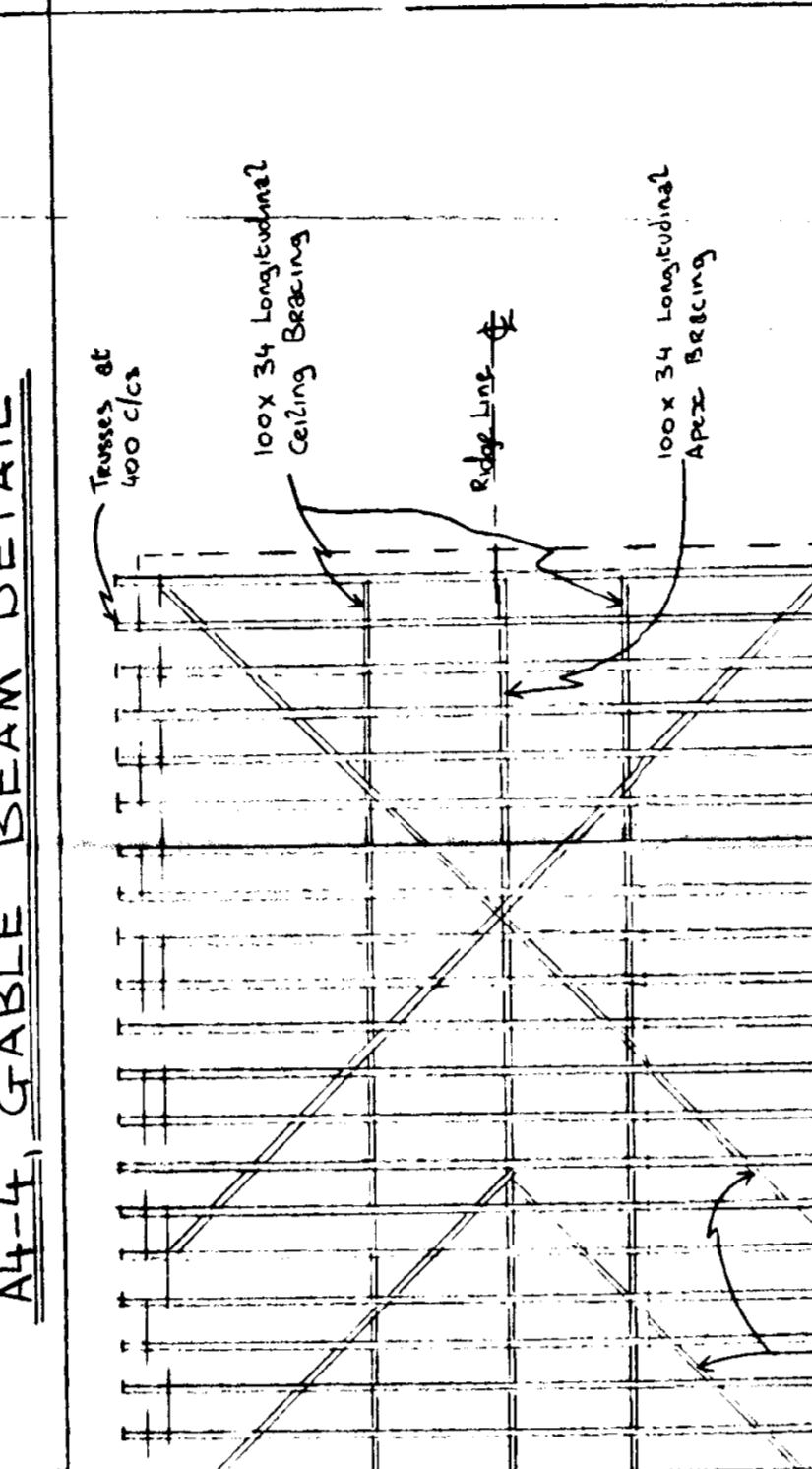


Metric Slab.

Timber Window Board.

Metric Slab.

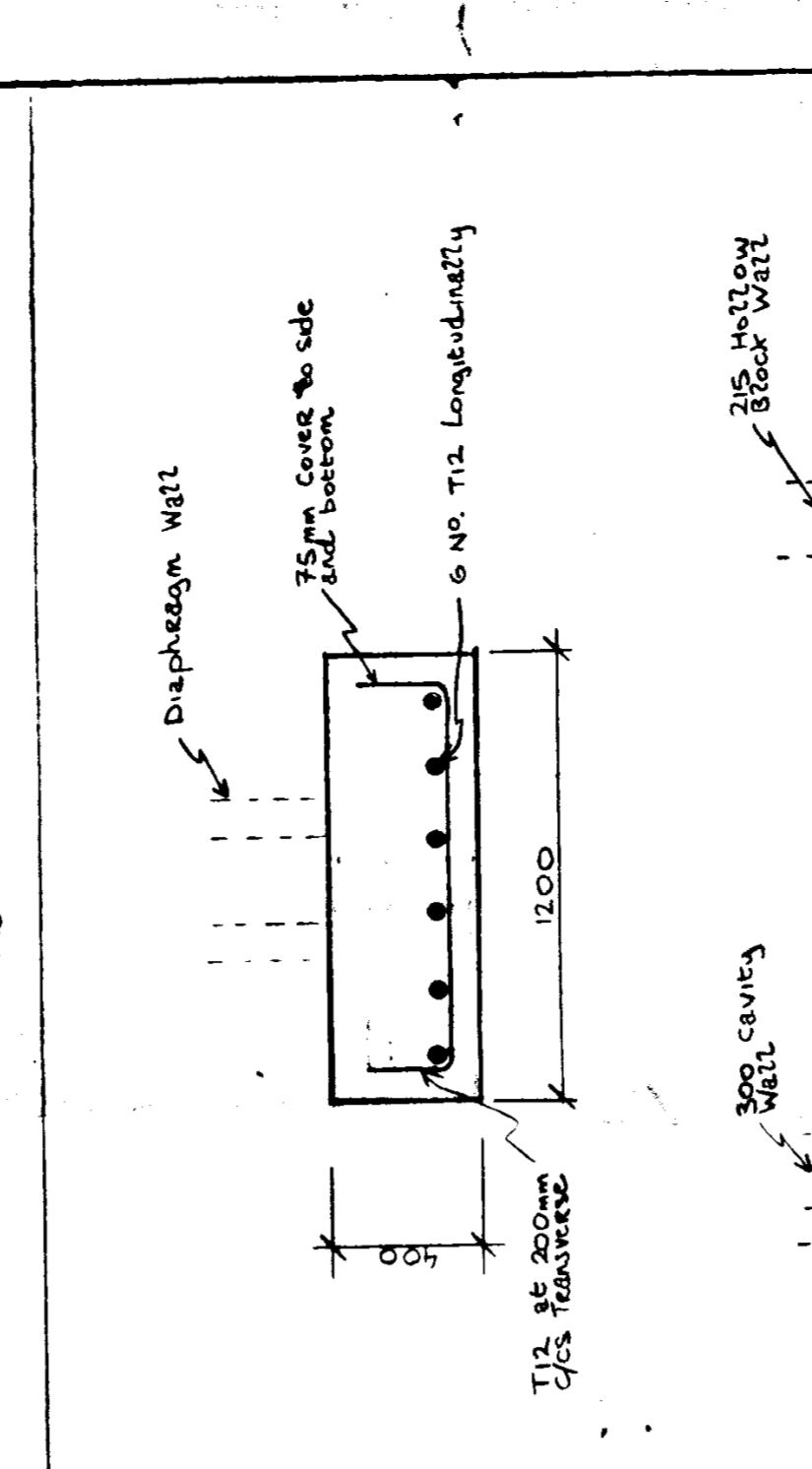
Timber Window Board.



Depressure Wall 400 thick.

Metric Slab.

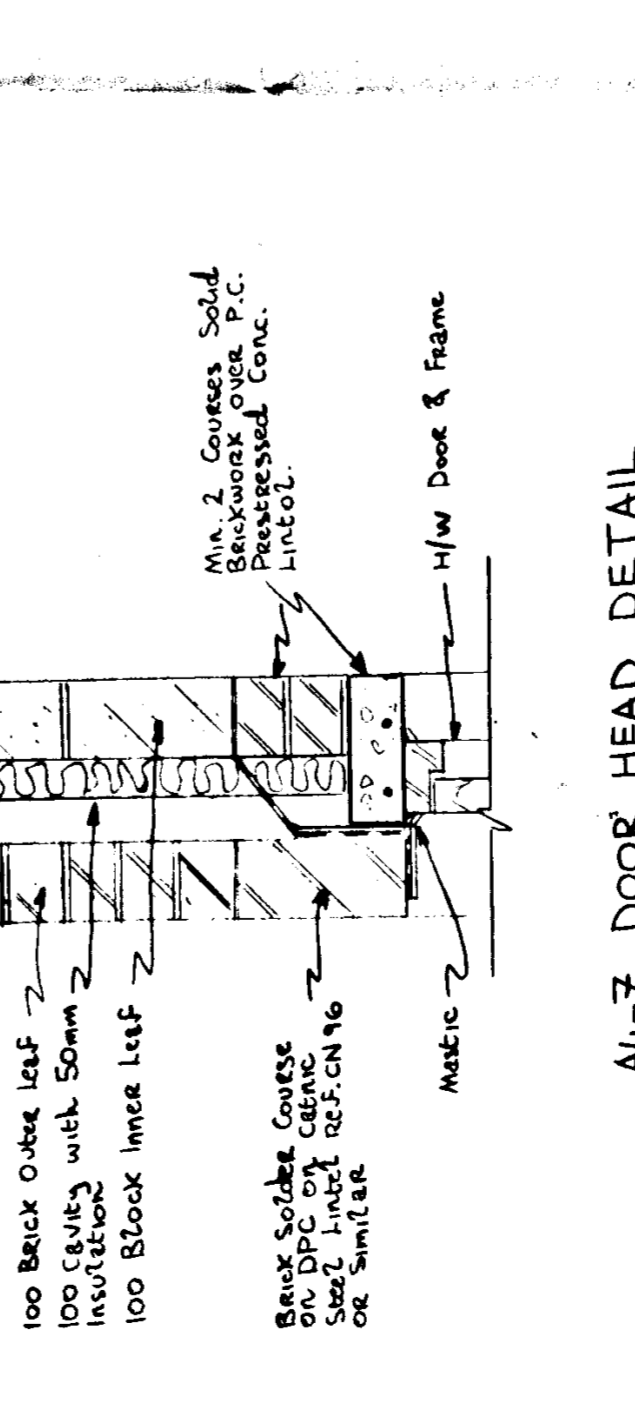
Metric Slab.



Timber Truss.

Timber Rafter.

Timber Rafter.

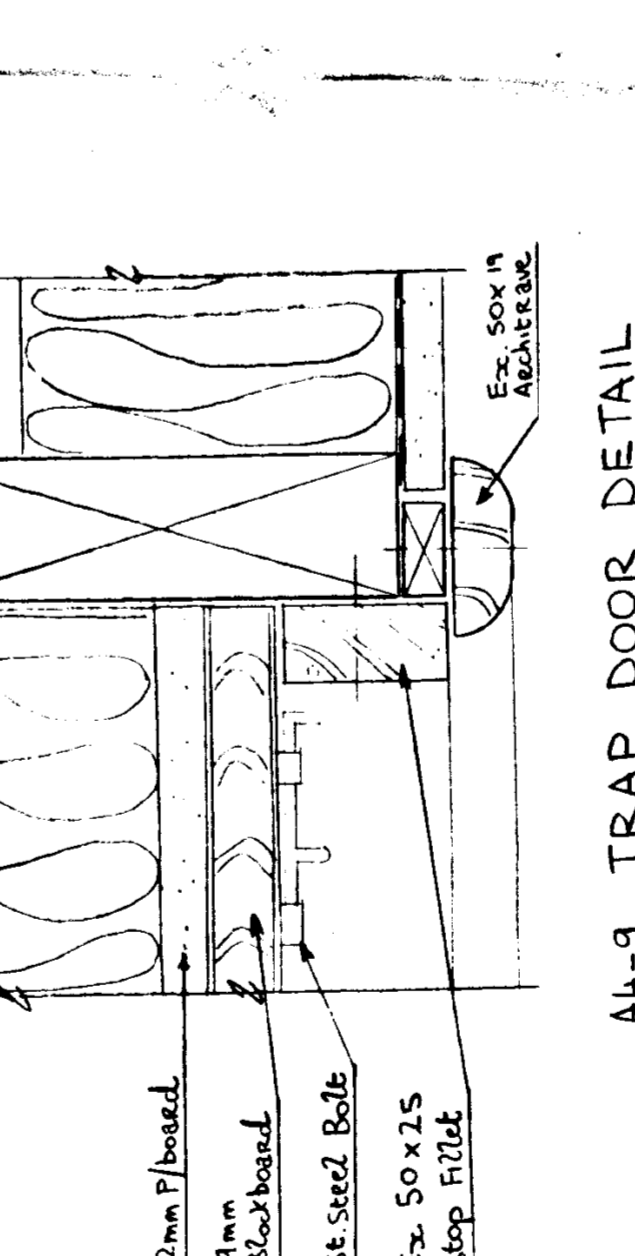


100mm External Plaster.

100mm Brick Outer Leaf.

100mm Insulation.

100mm Brick Inner Leaf.

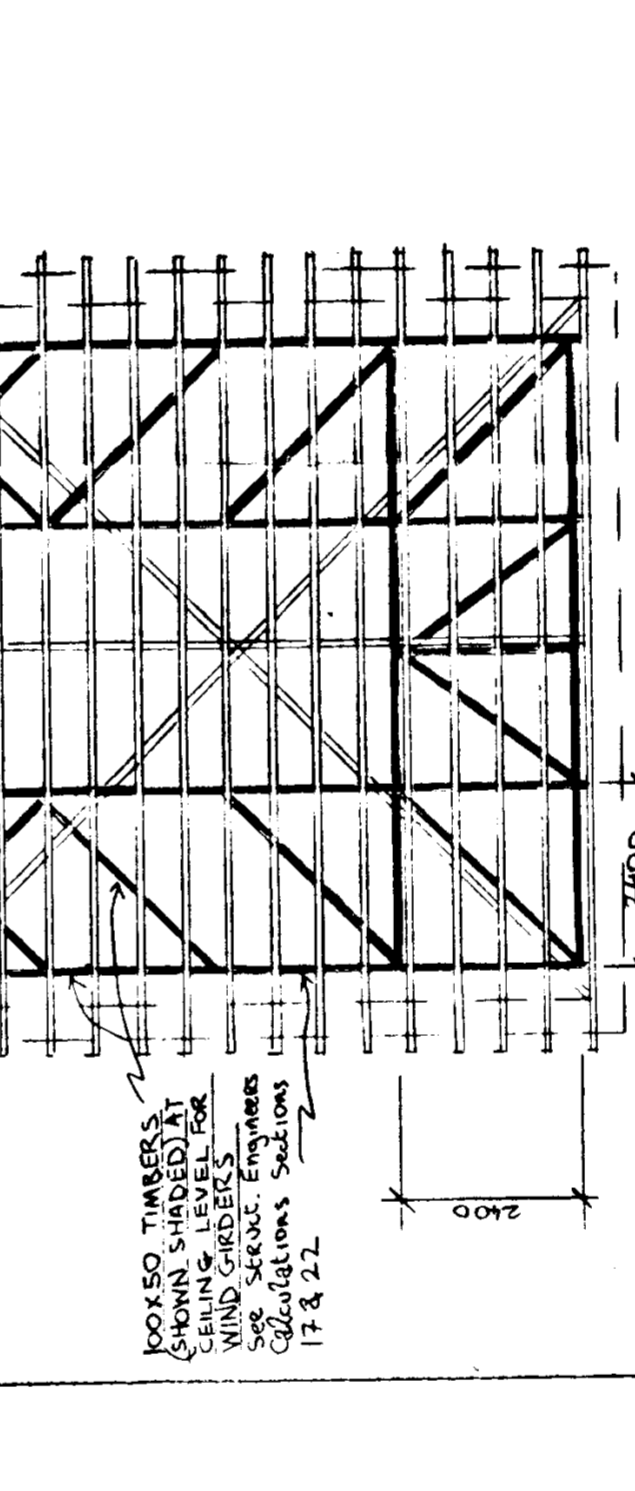


100mm External Plaster.

100mm Brick Outer Leaf.

100mm Insulation.

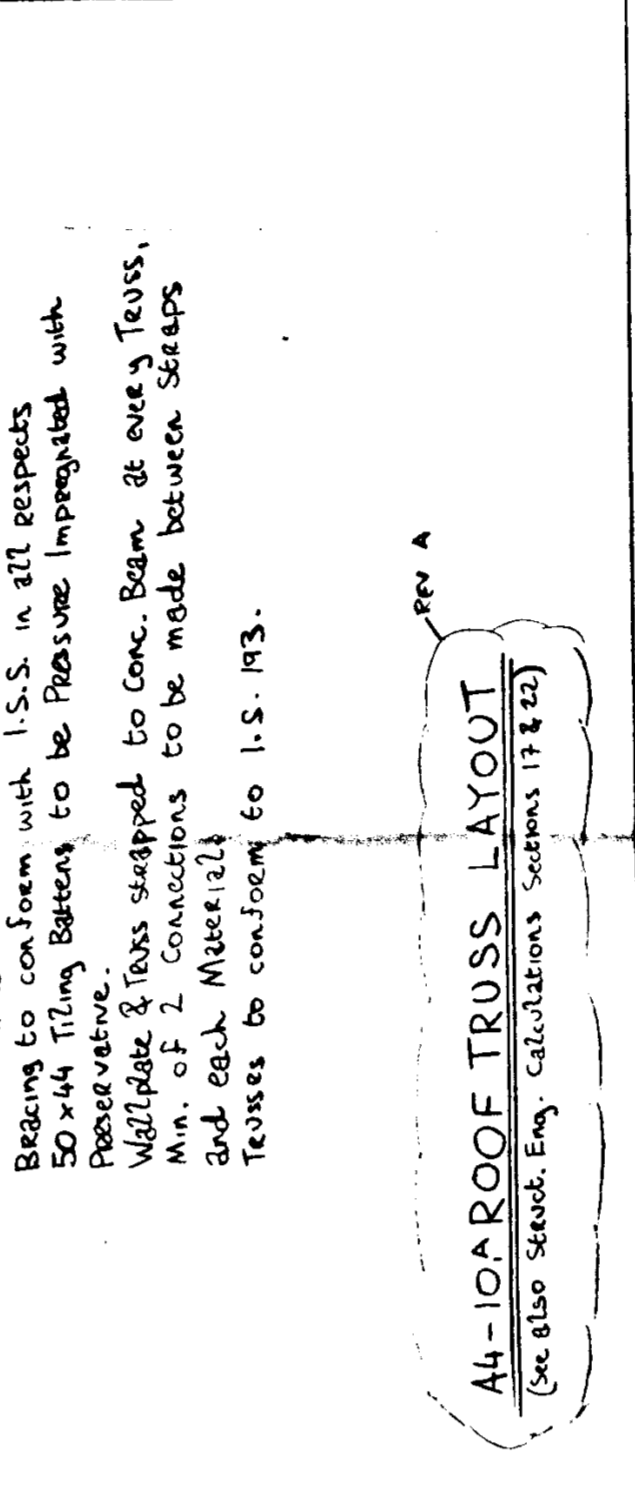
100mm Brick Inner Leaf.



Metric Slab.

Metric Slab.

Metric Slab.

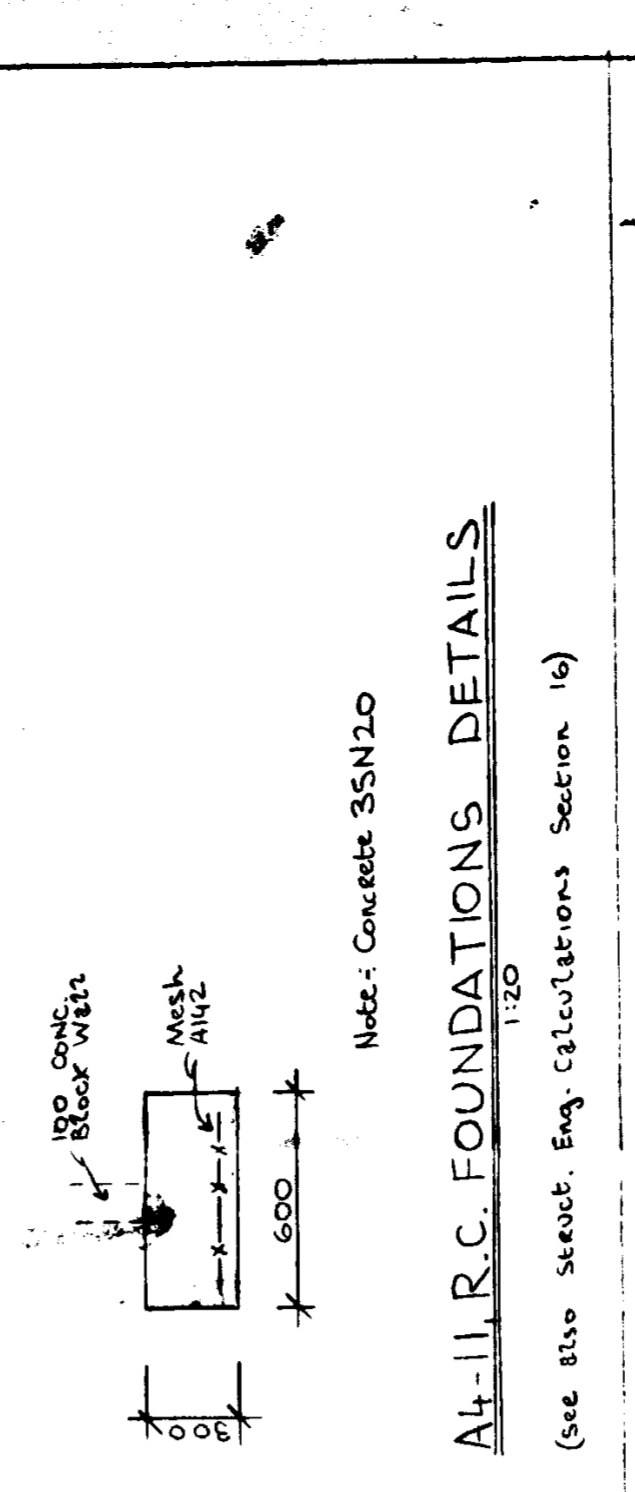


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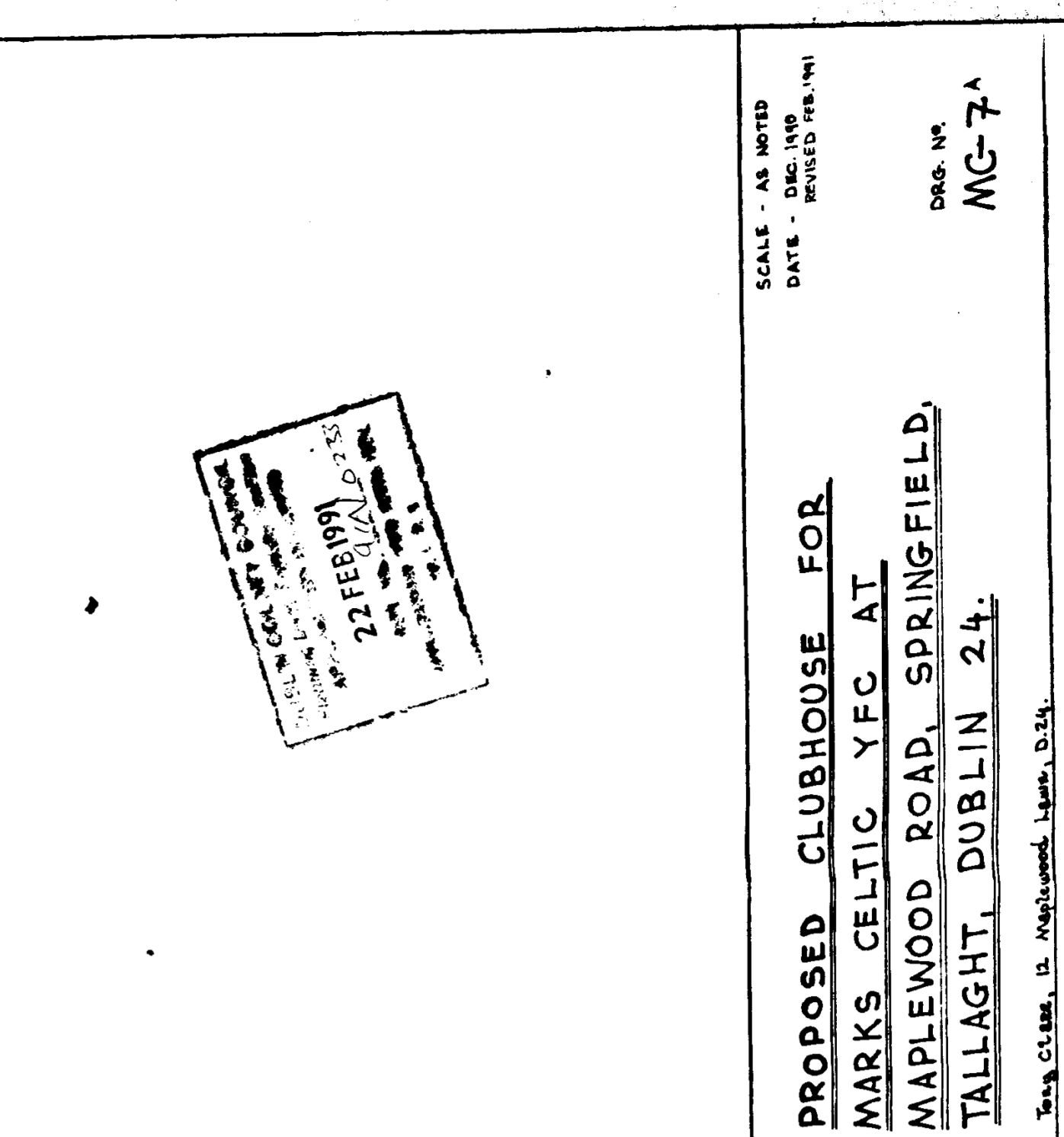
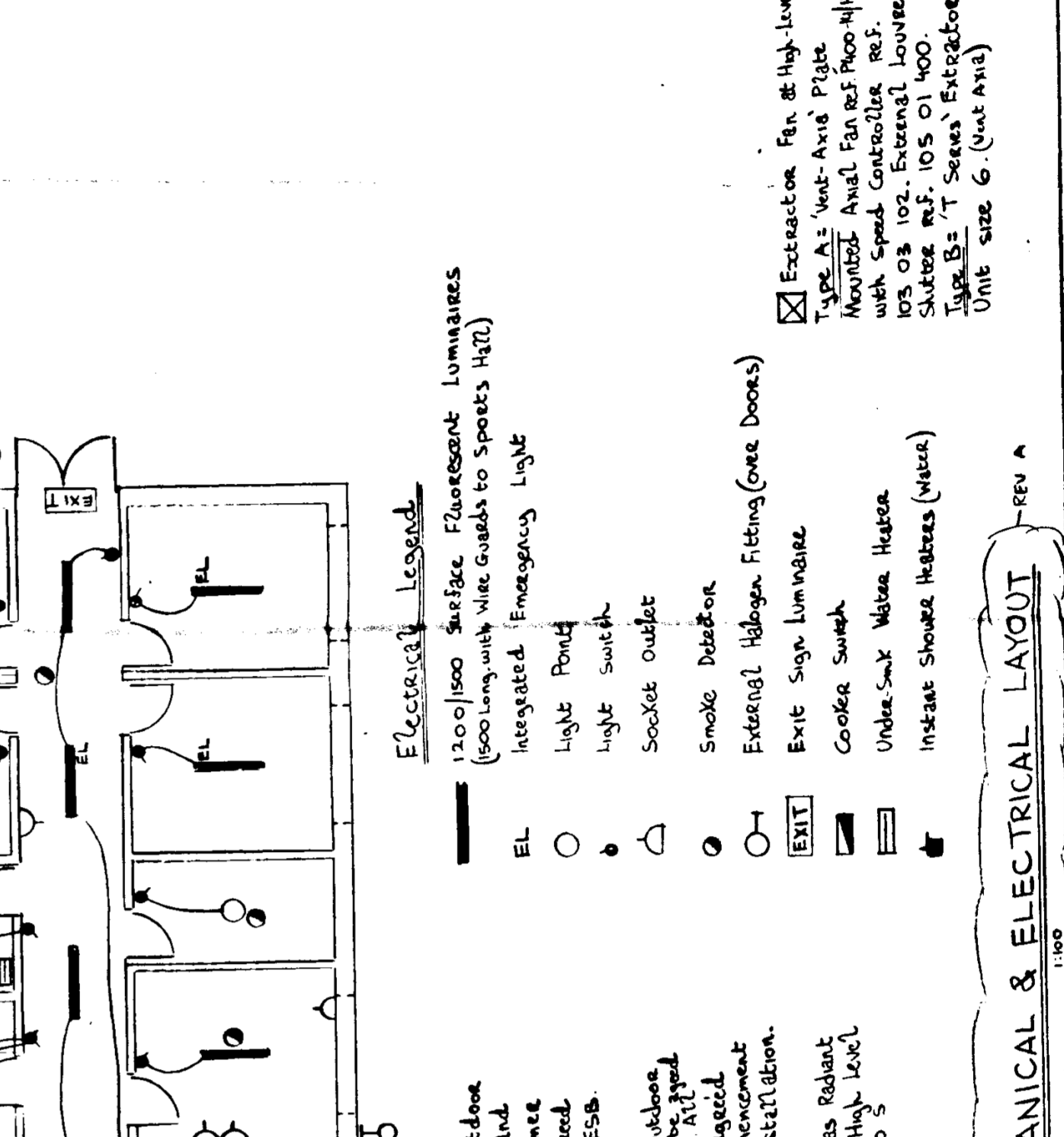
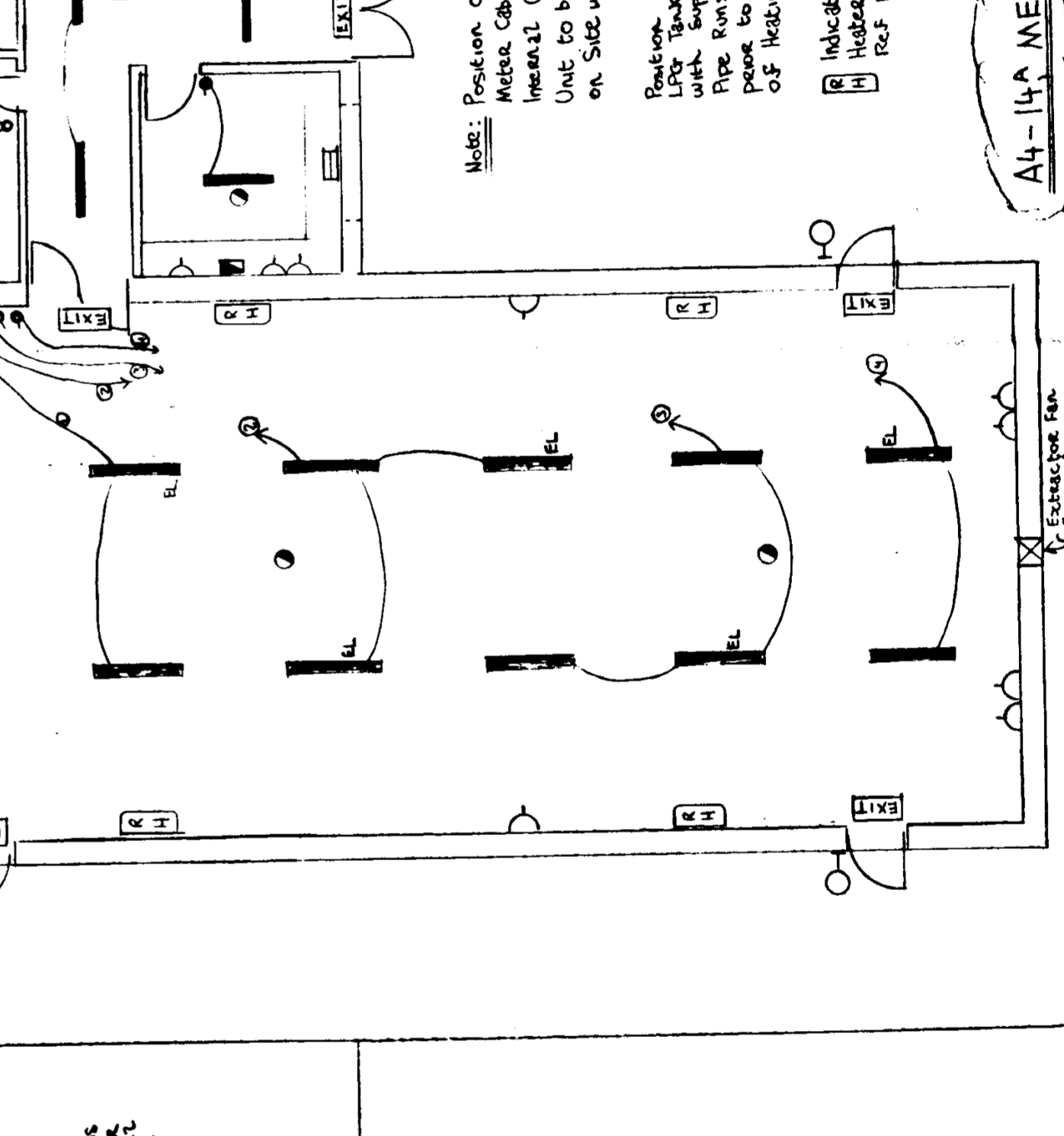
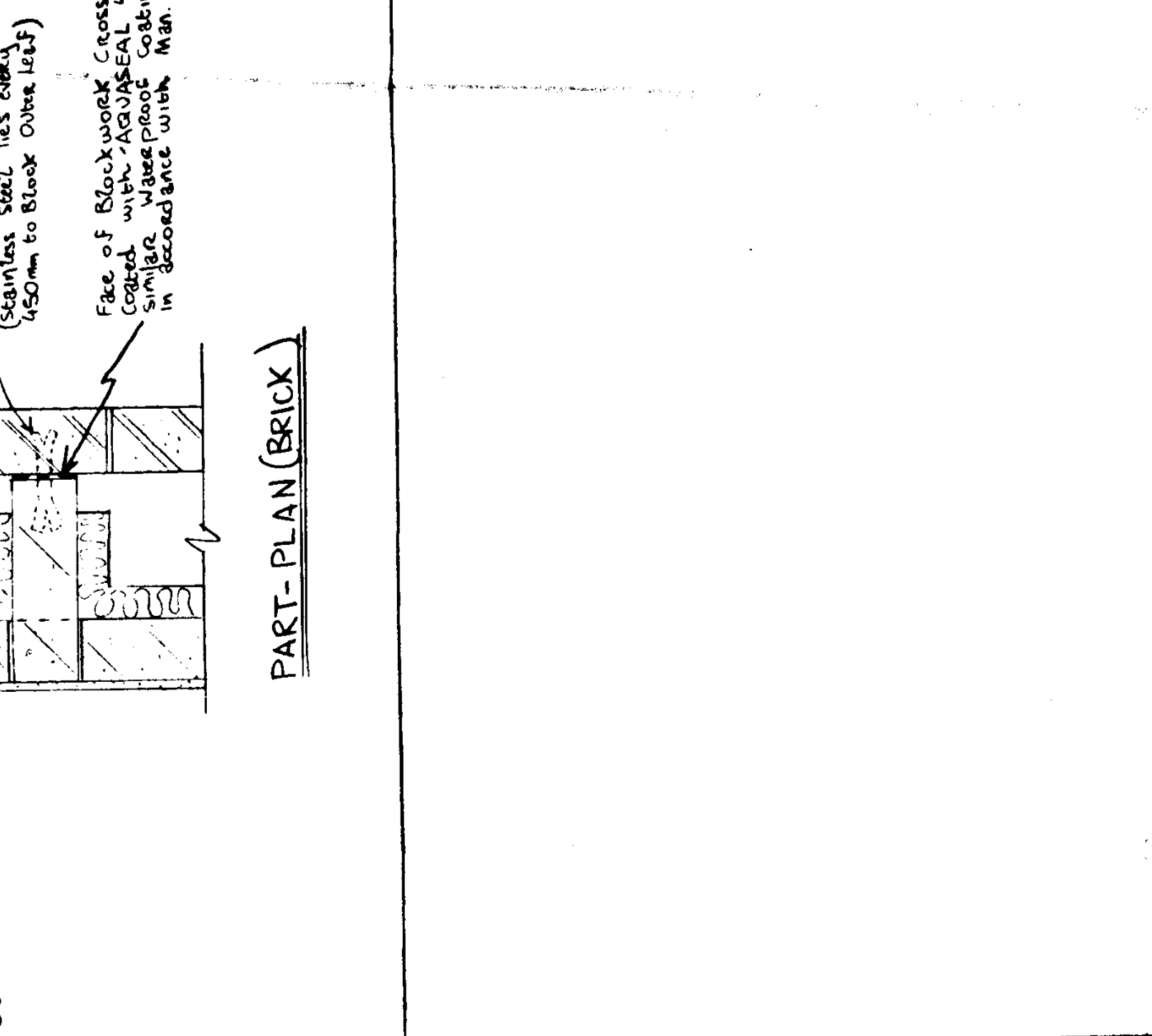
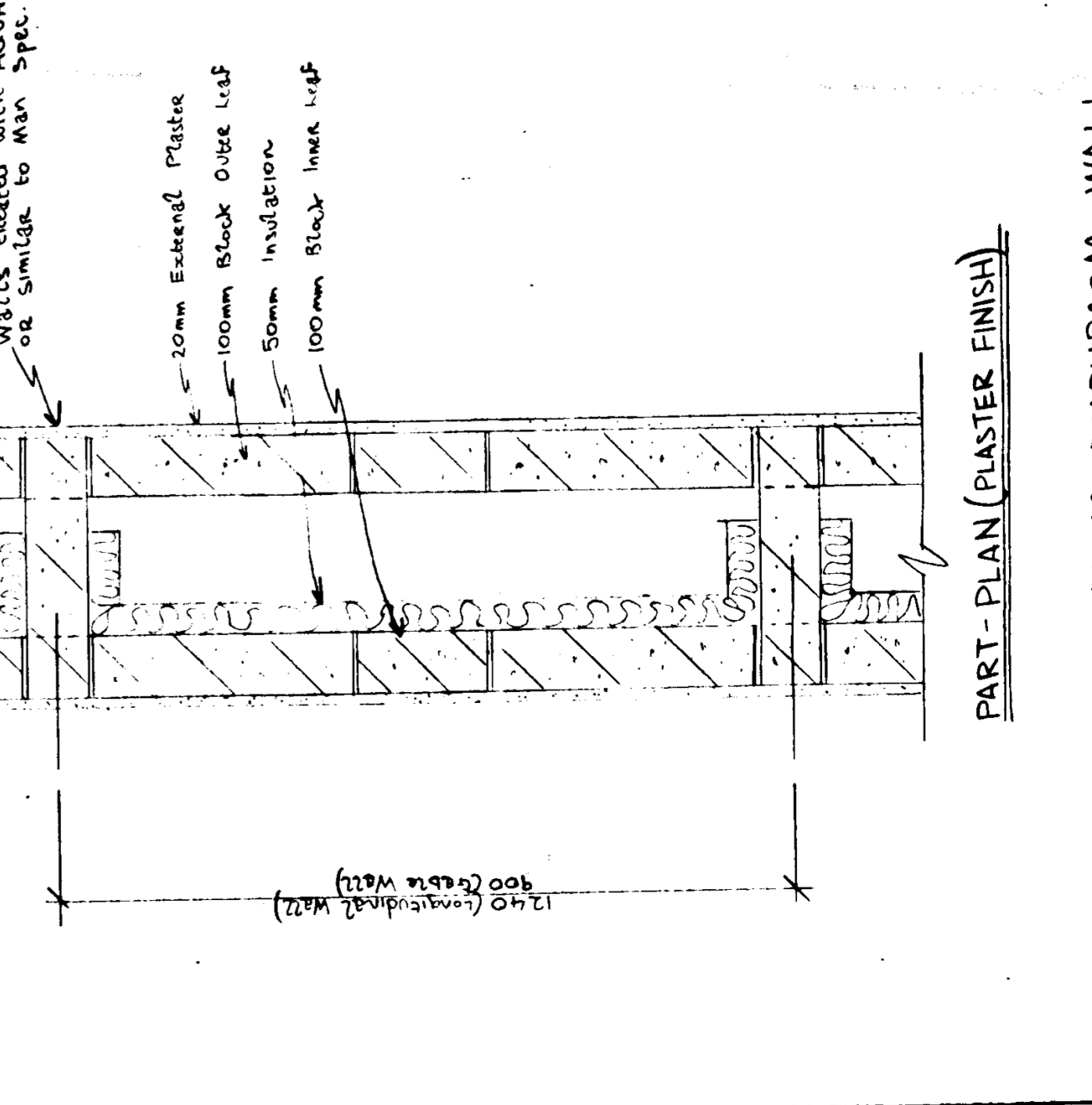
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Metric Slab.

Metric Slab.

Metric Slab.



Stepped DPC at Section with Roof.

Main Concrete Slab.

Main Concrete Slab.

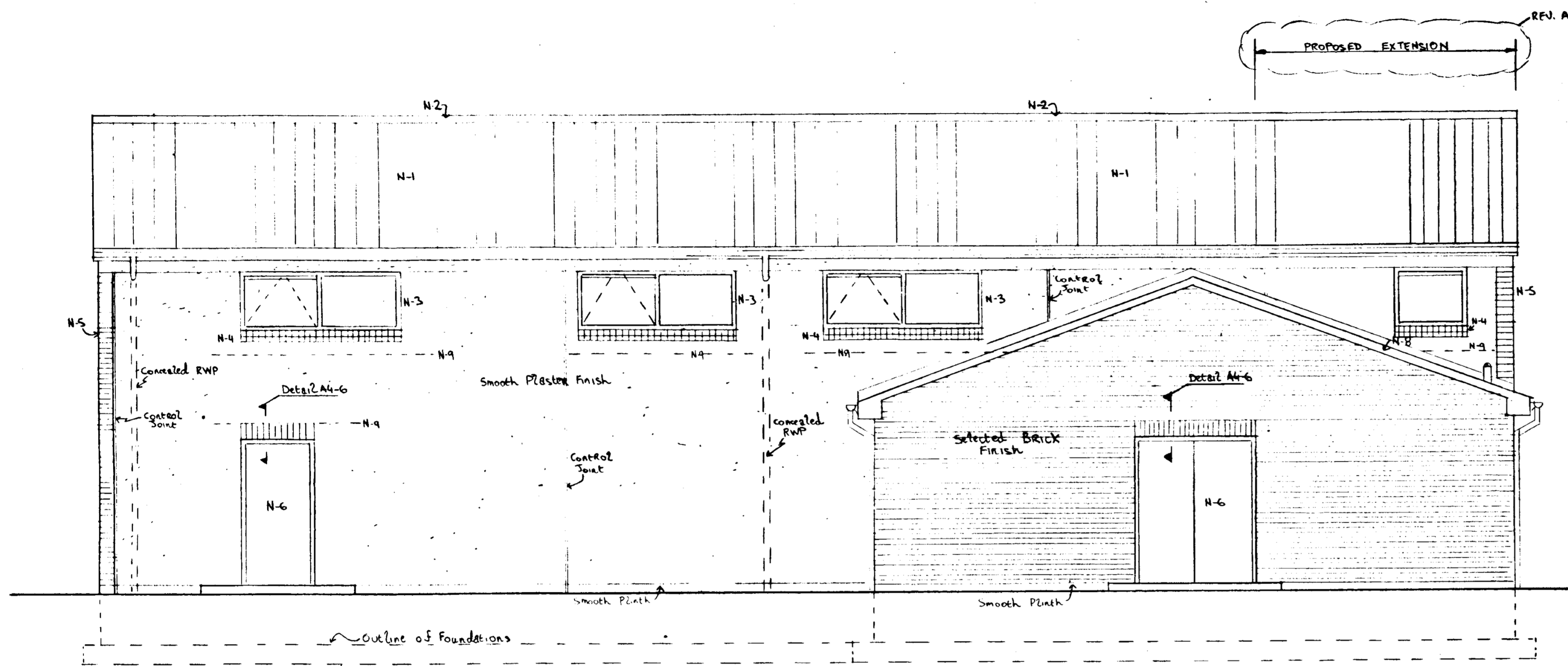
Main Concrete Slab.

SCALE - AS NOTED

DATE - 22 FEB 1991

PROPOSED CLUBHOUSE FOR MARKS CELTIC YFC AT MAPLEWOOD ROAD, SPRINGFIELD TALLAGHT, DUBLIN 24.

DES. NO. MC-7A



SOUTH ELEVATION

NOTES

- N-1 Conc. Roof Tiles
- N-2 Conc. Ridge Tiles
- N-3 2400 Long x 900 High Bronzed Anodized Alum. Windows with Opening Sections and Removents.
- N-4 Brick Gull on DPC (see A1-3)
- N-5 BRICK RETURN
- N-6 Timber Doors finished with Metal Sheeting both sides
- N-8 Timber Barge Board
- N-9 Expanded Metal Mesh For Backwork/Backwork Reinforcement.

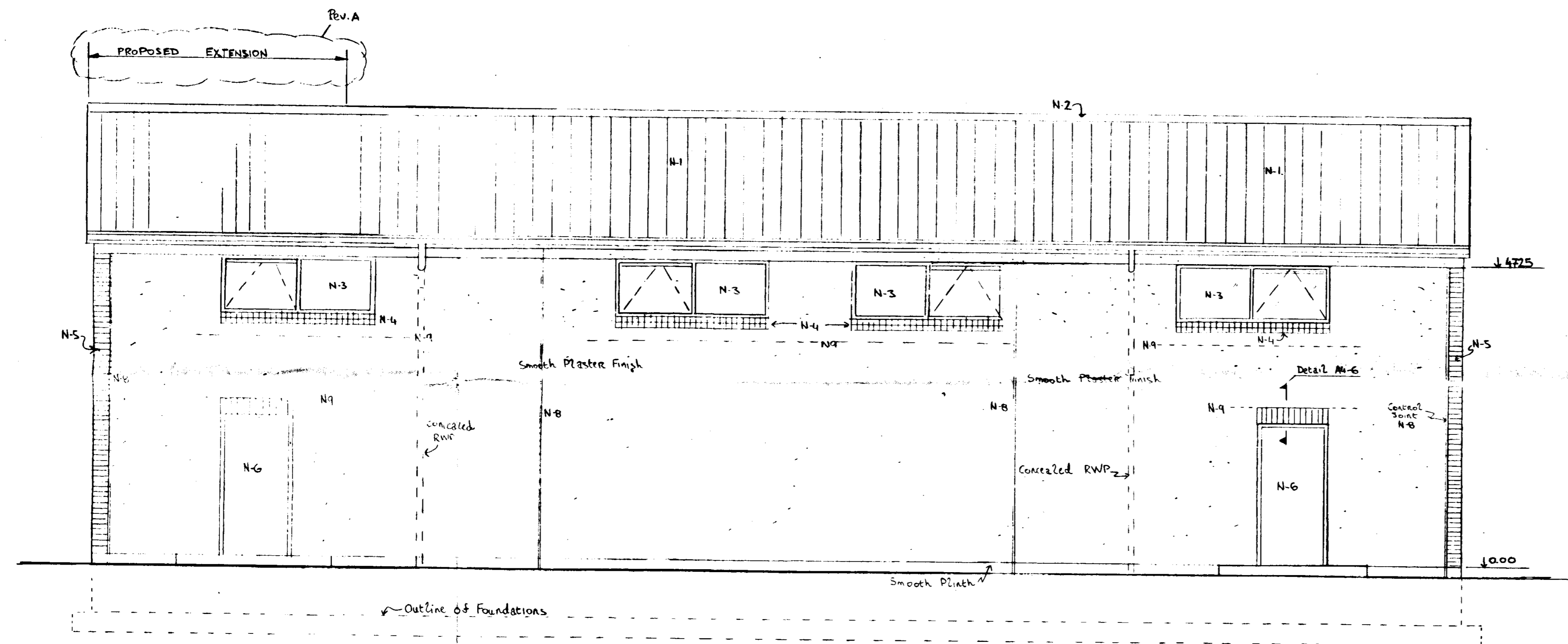
SCALE - 1/80
 DATE - DEC. 1990
 REVISED FEB. 1991

PROPOSED CLUBHOUSE FOR
MARKS CELTIC YFC AT
MAPLEWOOD ROAD, SPRINGFIELD,
TALLAGHT, DUBLIN 24.

DRG. NO.
 MC-8A

Tong Clee Dip. Arch., 12 Maplewood Lane, Dublin 24.

DUBLIN COUNTY COUNCIL
 PLANNING AND DEVELOPMENT DEPARTMENT
 APPLICATION NO. 111/90
 22 FEB 1991
 111/90 111/90 233



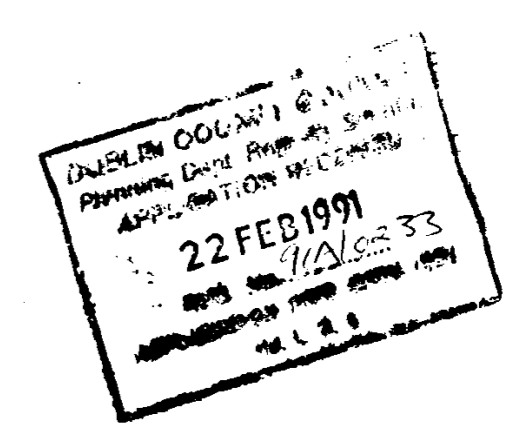
NORTH ELEVATION

NOTES

- N-1 Conc. Roof Tiles
- N-2 Conc. Ridge Tiles
- N-3 2400 Long x 900 High Bronzed Anodized Alum. Windows with Opening Sections and Permanents.
- N-4 BRICK GILL on DPC (see AH-3)
- N-5 BRICK Return.
- N-6 Timber Doors finished with Metal Sheetting both sides
- N-8 Control Joint
- N-9 Expanded Metal Mesh For Backwork/Blockwork Reinforcement.

SCALE - 1/50
 DATE - DEC 1990
 REVISED FEB 1991

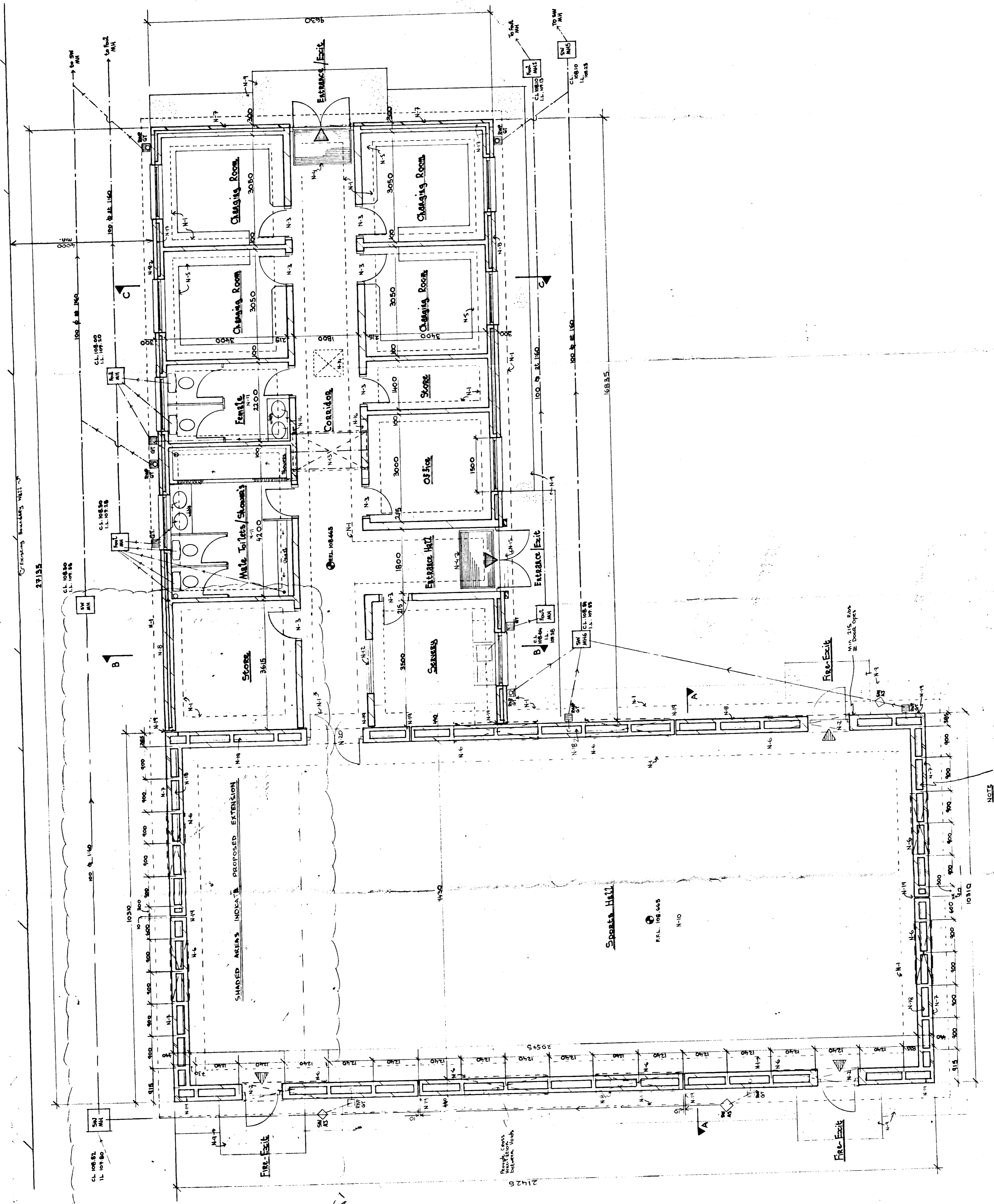
PROPOSED CLUBHOUSE FOR
MARKS CELTIC YFC AT
MAPLEWOOD ROAD, SPRINGFIELD,
TALLAGHT, DUBLIN 24.



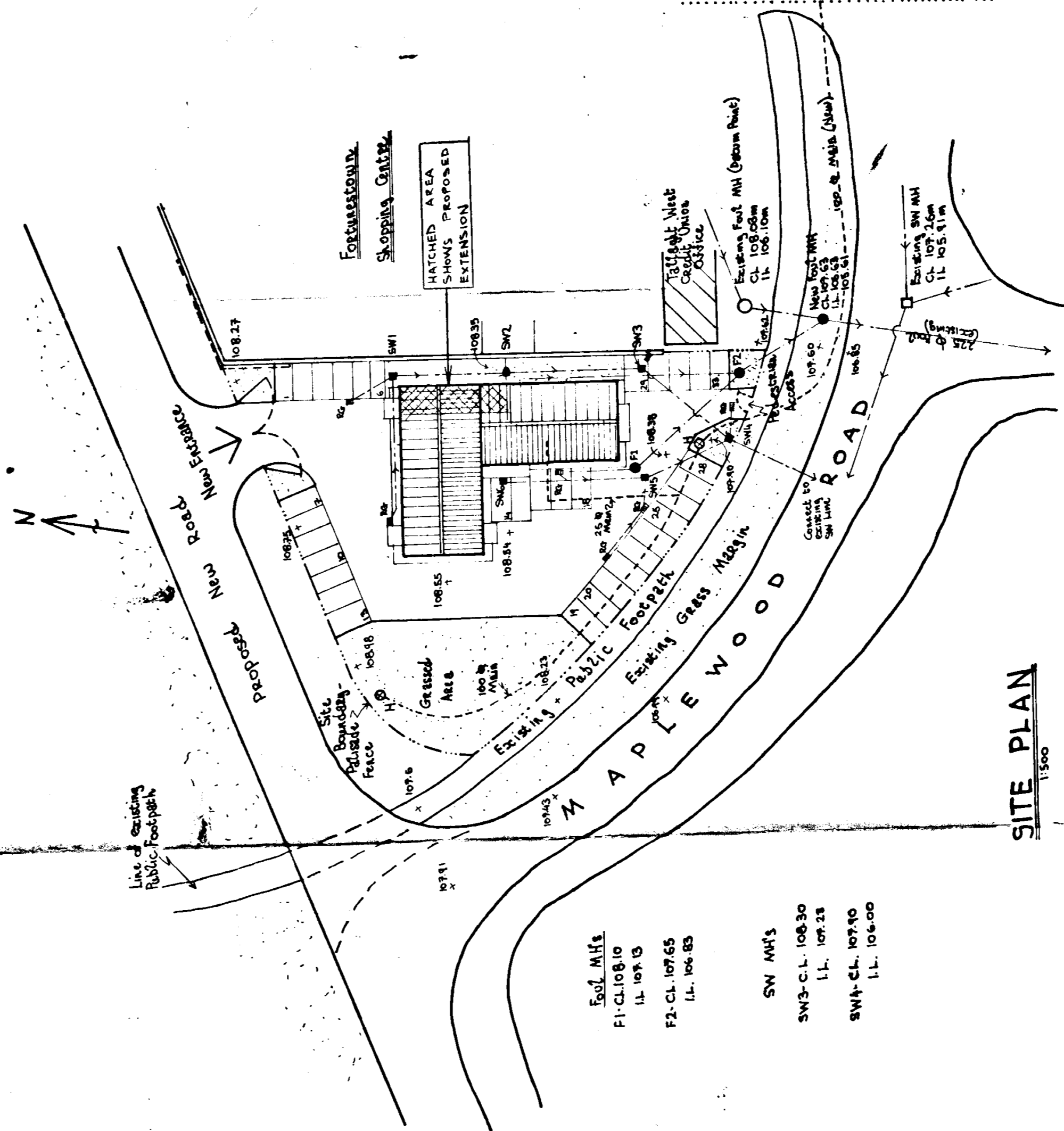
DRG. NO.
 MC-9A

NOTES

- N-1 Outline of Foundations.
- N-2 External Dows One 1100mm.
- N-3 Internal Dows One 900- with 1/2 Hour Rating
- N-4 Mosaic, Aluminium Sashround
- N-5 Timber Sashings
- N-6 Alum. Windows at High Level
- N-7 Back Outer Leaf
- N-8 Back Outer Leaf
- N-9 100mm with Conc. Plk. all Round. Increased to 150mm at Exit Doors.
- N-10 Hardwood Step Floor (see detail N-1)
- N-11 Ceramic Floor Tiles
- N-12 Redwood Door or Timber Door to Sashings (1/2 Hr. rated)
- N-13 1000mm Wide Storage Tanks are 2000x1075x155 on 1mm Backboard on 3 No. 127x76 RS's at 500-c/c
- N-14 Top Dows in Ceiling to Retic (see Detail N-1)
- N-15 Back Sashround to Entrance Door, Head Supported by Conc. Lintel, 1st CNFB.
- N-16 Provide 215x215 x 1500 Long R.C. Beams, Rd with 2 T12 Top a Bottom with 2 T12's on 1st CNFB. Plk to support Rets on Wall. Tank-see N-13 above.
- N-17 100 cavity with 50mm Insulation
- N-18 Duplex Wall, overall thickness 410mm to Spaces Hall only
- N-19 10mm Contact Joint
- N-20 1/2 Hr. rated Double-swing Doors.



GROUND FLOOR PLAN



SITE PLAN

EXTENSION ALTERATIONS TO
PREVIOUSLY APPROVED
SUBMISSION - REG. NO. 90A/187

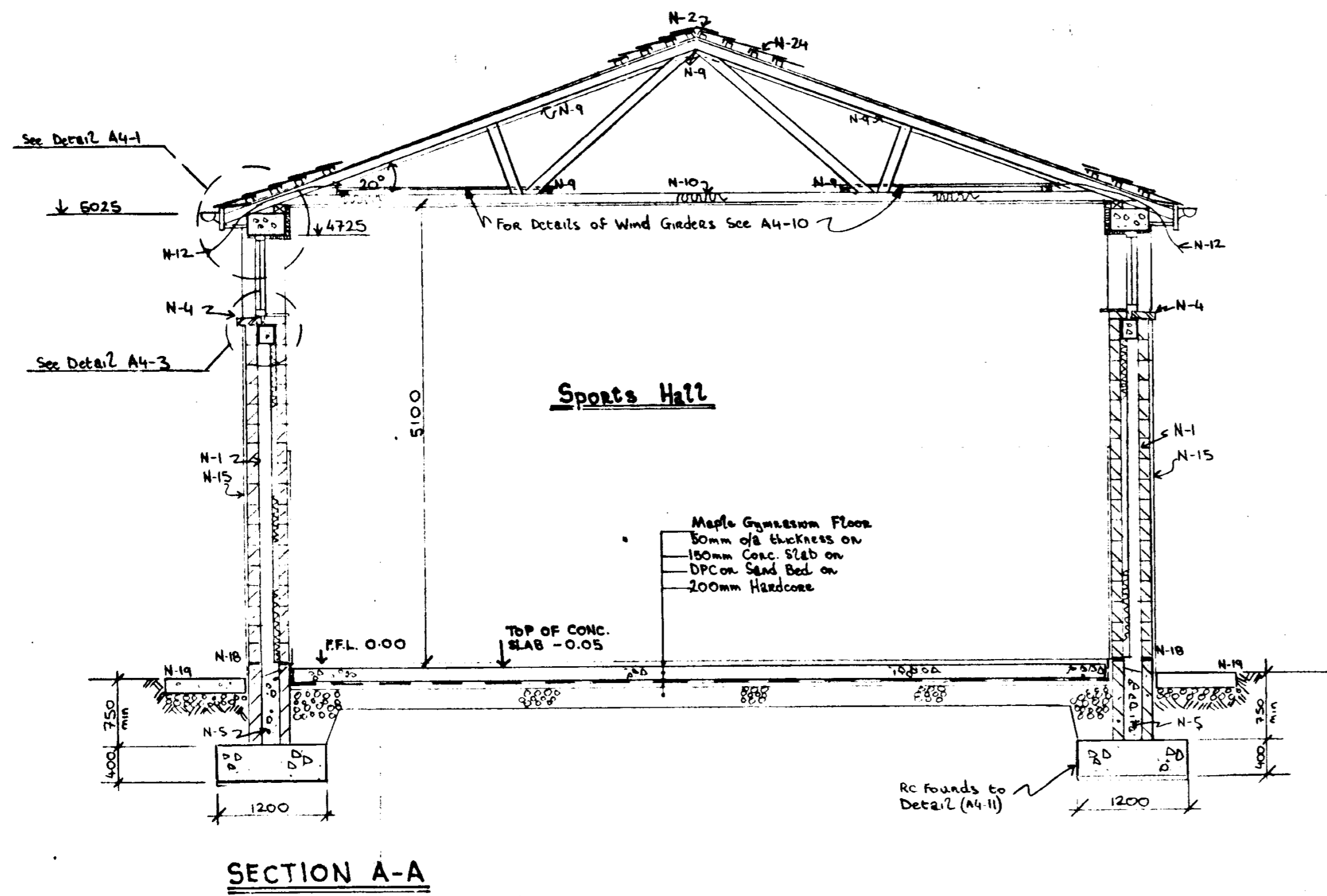
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DATE - FEB. 1981 (REVISED)

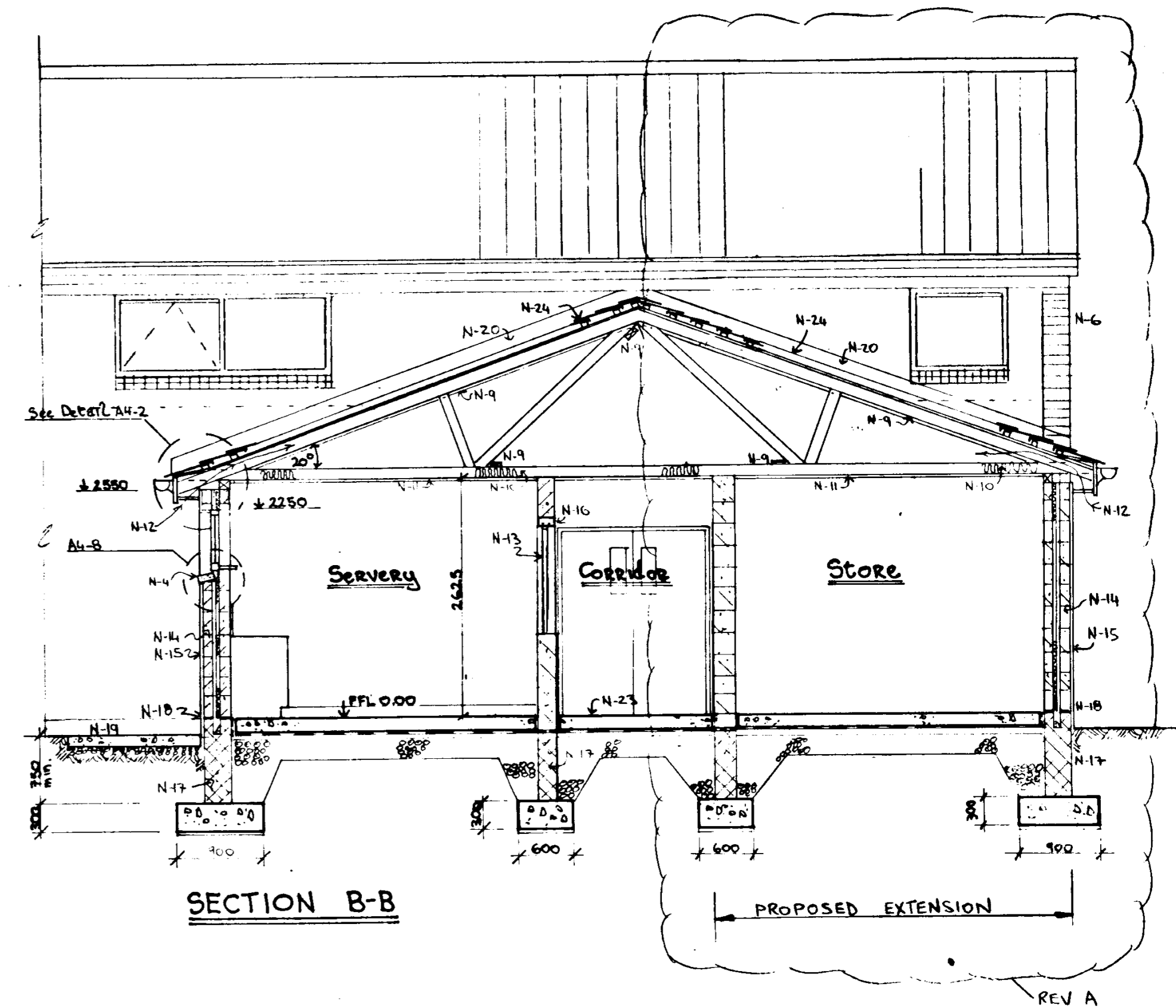
PROPOSED CLUBHOUSE FOR
MARKS CELTIC YFC AT
MAPLEWOOD ROAD, SPRINGFIELD,
TALLAGHT, DUBLIN 24.

Very close to Hill, 17, Maplewood Lane, D. 24.

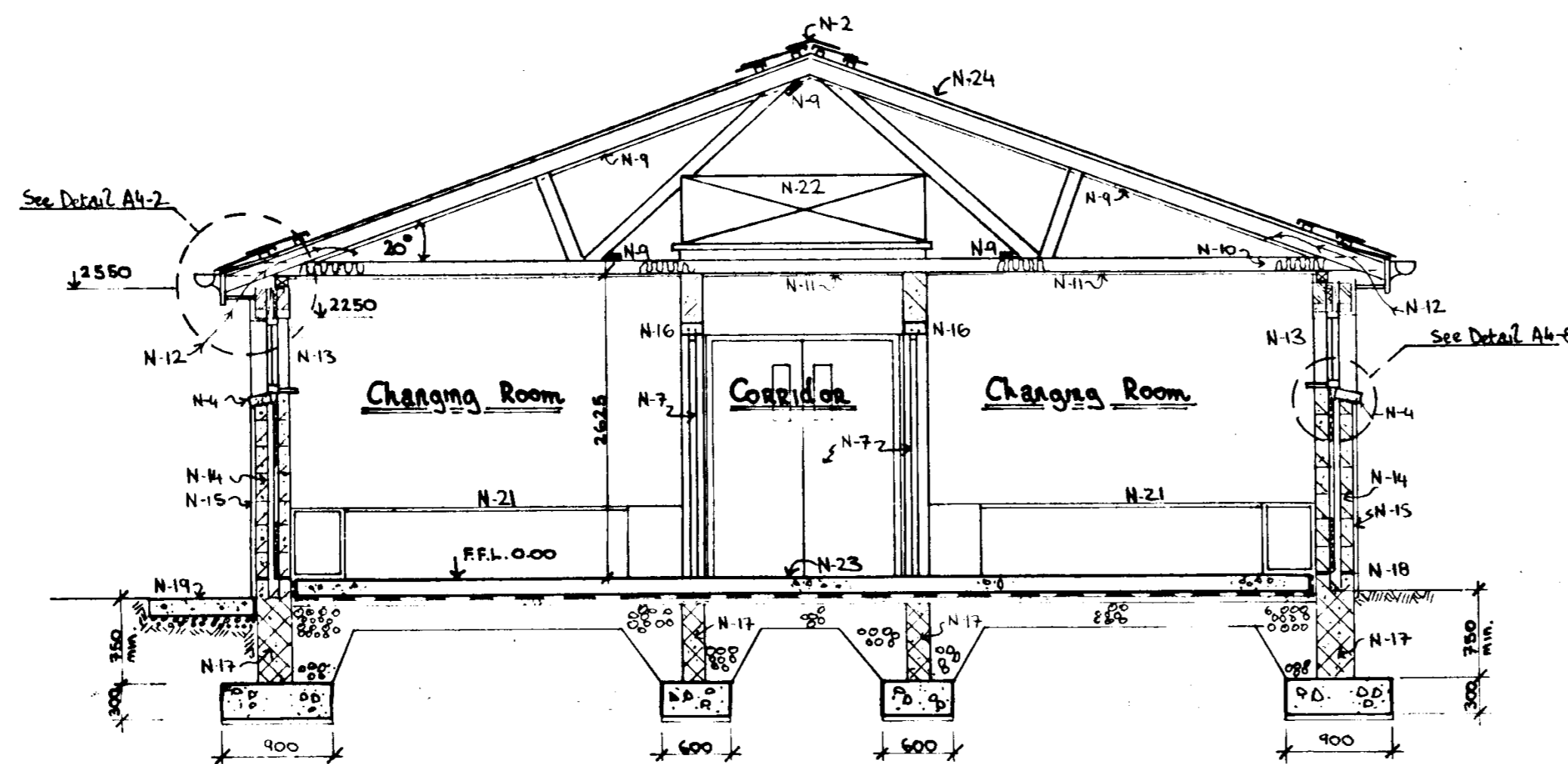
APPROVED FOR CONSTRUCTION
BY THE LOCAL AUTHORITY
ON 22 FEBRUARY 1981
REG. NO. 90A/187



SECTION A-A



SECTION B-B



SECTION C-C

NOTES

- N-1 Diaphragm Wall
- N-2 Conc. Ridge Tiles
- N-3 2400 Long x 900 High Bronzed Anodized Alum. Windows
- N-4 BRICK GILL on DPC.
- N-5 Conc. Fill between leaves.
- N-6 BRICK RETURN
- N-7 Timber Doors Finished on one side with Metal Skating. All Doors 1/2 HR Rating - Self-Closing.
- N-8
- N-9 100x34 Diagonal Rafter Bracing, 100x34 Longitudinal Bracing, 100x34 Longitudinal Apex Bracing.
- N-10 100mm Insulation
- N-11 Foil-Backed Plasterboard
- N-12 Patent Roof Ventilation System
- N-13 Serving Shutter 1/2 HR. rated with Fusible Link
- N-14 100mm Block Outer Leaf, 100mm Cavity with 50mm Insulation, 100mm Block Inner Leaf.
- N-15 Scud Coat, Scratch Coat and Finish Coat Plasterwork.
- N-16 Precast, Prestressed Conc. Lintols.
- N-17 Solid Blockwork below DPC level.
- N-18 DPC min. 150mm above Ground Level.
- N-19 Conc. Path on Hardcore
- N-20 Stepped Aluminium Flashing
- N-21 Timber Seating
- N-22 Water Storage Tank (400 Gallon)
- N-23 150mm Conc. Slab on DPC on Sand Bed on 200mm Compact Hardcore
- N-24 Conc. Roof Tiles on 50x44 Timber Battens on Roofing Felt on Prefabricated Roof Trusses @ 400mm O/C's.

22 FEB 1991
 11:02:33

PROPOSED CLUBHOUSE FOR
 MARKS CELTIC YFC AT
 MAPLEWOOD ROAD, SPRINGFIELD,
 TALLAGHT, DUBLIN 24.

SCALE - 1:50
 DATE - NOV. 1990
 REVISED FEB. 1991

DRG. No.
 MC-6A