

REF. NO.: 91A/203 CERTIFICATE NO.: 16568<sup>B</sup>  
 PROP. AL: Bungalow  
 LOCATION: Calliaghstown Lower  
 APPLICANT: A. Lawler

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling X 1 (Houses/Flats)	@ £55	<u>£55</u>	<u>£55</u>	<u>-</u>		
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M <sup>2</sup> or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M <sup>2</sup> in excess of 300 M <sup>2</sup> Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Columns 2,3,4,5,6 & 7 Certified: Signed: M. Deane Grade: III Date: 15/10/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

BYE LAW APPLICATION FEES

REF. NO.: 91A/0203      CERTIFICATE NO.: 14054B  
 PROPOSAL: 3 Bedroom Bungalow  
 LOCATION: Callieghstown house, Rathcoole  
 APPLICANT: Cinzela hauler

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	£55	£55	—		
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M <sup>2</sup> or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M <sup>2</sup> in excess of 300 M <sup>2</sup> Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the foregoing classes	£70 or £3 per .1 ha. whichever is the greater					

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S-0 Date: 21/2/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

REF.: 91A/0203  
 PROPOSAL: 3 Bedcom Bercolow  
 LOCATION: Callaghan town lanes, Rathcoole  
 APPLICANT: Cynthia Lauer

CERTIFICATE NO: 24310

1	2	3	4	5	6	7
Dwellings/AREA LENGTH/STRUCT	RATE	AMT. OF FEE REQ.	AMOUNT LODGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO
Dwellings	€52	32	3	—		
	€16					
	€500 per MF in excess of 300MF Min. €40					
metres <sup>2</sup>	€1.75 per MF of 540					
x .1 hect.	€228 per hect. of 2300					
x .1 hect.	€118 per hect. of 245					
x .1 hect	€115 per hect. of 2100					
	€100					
x metres <sup>2</sup>	€10 per MF of 540					
x 1,000m <sup>2</sup>	€45 per 1,000m <sup>2</sup> of 540					
x .1 hect.	€25 per hect. of 540					

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_  
 Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_  
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 21/2/91  
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

DUBLIN COUNTY COUNCIL

PLANNING DEPARTMENT

Register Reference : 91A/0203 Date Received : 19th February 1991

Applicant : Angela Lawler

Appl.Type : PERMISSION/BUILDING BY

Development : Bungalow and septic tank

LOCATION : Cailliaghstown, Rathcoole

O.S.REFS. 

24/1			
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AREA REFERENCE 

W	R	O	1	1	5
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HISTORY 


FEE CERTIFICATE NO. \_\_\_\_\_

FEE CLASS 

--	--	--	--

MEASUREMENT FOR FEES 

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SIGNED ..... DATE .....  
SENIOR EXECUTIVE DRAUGHTSMAN

FEE PAID	FEE ASSESSED	BALANCE DUE

CERTIFIED \_\_\_\_\_ GRADE \_\_\_\_\_ DATE \_\_\_\_\_

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

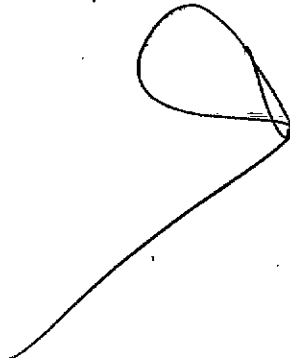
TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ /  
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

*Wbed  
and  
Septic tank  
Banded  
ml  
28/6/01*

DEVELOPMENT CONTROL ASSISTANT GRADE



25 OCT 1991

ENVIRONMENTAL HEALTH OFFICERS

PLANNING DEPARTMENT

BOOK FOLIO

REG. REF.

91A/203

(1) Date Lodged

LOCATION:

Collinstown, Lower Estacoola

APPLICANT:

Angela Lawler

PROPOSAL:

amplow

11 Oct 1991

(2) Date referred

Chief Medical Officer, Eastern Health Board

Area of site increased + Proposed predation area re-located - Trial hole already inspected in original proposed perc area. Since the revised proposed perc areas are downhill of original proposed perc areas - and since original inspection was favourable - a new trial hole will not be required in this case.

(3) Rec'd San. Services

(4) Dispatched by San. Ser. to C.M.O.:

Additional info req'd.

- 1) Perc. areas inadequate in size
- 2) Evidence of potable + adequate water supply being available - req'd.

(5) Rec'd Planning:

(6) Date to Planner:

Anne O. Donohue

7/11/91

(7) D.P.O. Report to be submitted before:

PLANNING DEPT. DEVELOPMENT CONTROL SECT

Date 12.11.91

Time 12.25

(9) Decision due:

(8) DPO Report submitted to S.A.O.:

ENDORSED:

John Devine

DATE:

11-11-91

for John O'Keefe, SH111

Register Reference : 91A/0203

Date : 16th May 1991

Development : Bungalow and septic tank

LOCATION : Cailliaghstown, Rathcoole

Applicant : Angela Lawler

App. Type : Additional Information

Planning Officer : M.DARLEY

Date Recd. : 8th May 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

*Paul Tobin*

PRINCIPAL OFFICER

I refer to Refat per. Ms A O'Donoghue - on 7/5/91 (Copy attached)

The attached information does not satisfy the requirements of this environmental Refat.

*Miley Malle*

*10/6/91*

DUBLIN COUNTY COUNCIL  
21 MAY 1991  
ENVIRONMENTAL HEALTH OFFICERS

*for Ma Devine  
John O'Reilly*

SUPER. ENVIRON. HEALTH OFFICER,  
33 GARDINER PLACE,  
DUBLIN 1.

*10/6/91*

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 11.06.91 .....  
Time ..... 3.20 .....

Register Reference : 91A/0203

Date : 28th February 1991

Development : Bungalow and septic tank

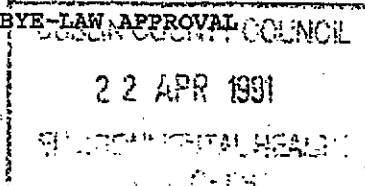
LOCATION : Cailliaghstown, Rathcoole

Applicant : Angela Lawler

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning officer :

Date Recd. : 19th February 1991



Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

*Thick hole inspected 3-5-91 was 7' deep and dry, soil appeared suitable for the disposal and treatment of septic tank effluent.*

Yours faithfully,

PRINCIPAL OFFICER

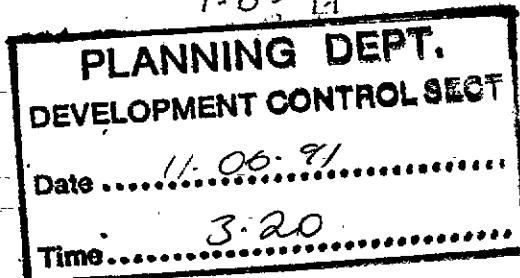
*Proposal unacceptable for following reasons:*

1. Well located too close to proposed perc. areas.
2. Perc. areas inadequate in size.
3. Layout of septic tank and percolation areas requires improvement - levels of site required to ensure an adequate fall is available from house to septic tank and perc. areas.
4. Evidence of potable and adequate water supply being available - not provided.

*John O'Reilly for*  
 John O'Reilly  
 SUPER. ENVIRON. HEALTH OFFICER,  
 33 GARDINER PLACE,  
 DUBLIN 1.

*7/5/91*

*Anne O'Donohue*  
 7-5-91





P/2978/91

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Register Reference : 91A/0203

Date Received : 8th May 1991

Correspondence : Damian O'Flynn Associates,  
Name and : Architects,  
Address : Barrettstown,  
Newbridge,  
Co. Kildare.

Development : Bungalow and septic tank

Location : Cailliaghstown, Rathcoole

Applicant : Angela Lawler

App. Type : Permission

Zoning : ~~B~~ B

CONTRIBUTION:	
Standard:	Nil
Roads:	Well +
S. Sers:	Septic
Open Space:	cul
Other:	
SECURITY:	
Bond / C.I.F.:	
Cash:	

MD  
(MD/BB)

Report of the Dublin Planning officer dated 24th June, 1991.

This is an application for permission for bungalow and septic tank at Cailliaghstown Lower, Rathcoole for Angela Lawler.

The site is located on a cul de sac where there are several bungalows in addition to a farm house. These were permitted by planning permission nos. XA 2151, 87A-1299 and 87A-95 to family members. From the information submitted in this application it would appear that the applicant is the daughter of a land owner who owns land in Cailliaghstown Upper, but who is contracted to purchase this site in Cailliaghstown Lower subject to planning permission.

ADDITIONAL INFORMATION was requested from the applicant with regard to the following:-

- (1) The applicant is requested to indicate the need to live in the area or any connection with the area in accordance with the requirements of paragraph 2.3.9 of the County Development Plan.
- (2) The applicant is requested to submit evidence of the suitability of the site for septic tank drainage.

Additional Information requested has been replied to.

The applicant states that she has lived in this townland for almost 27 years and wishes to continue her life here for as long as possible. Her family has owned this land for a number of generations.

A trial hole opened on the site has indicated that the soil is suitable for septic tank drainage. However, the Environmental Health Officer has other requirements in relation to this application which can be dealt with be

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0203

Page No: 0002

Location: Cailliaghstown, Rathcoole

condition.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (b) conditions:-

### CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That the proposed house be used as a single dwelling unit.

REASON: To prevent unauthorised development.

04 That the ~~requirements~~ <sup>The septic tank and filtration ~~shall accord with the standards set out in~~</sup> of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development. <sup>The arrangement for septic tank drainage systems SR 6, 1975, available from Colles.</sup>

REASON: In the interest of health.

05 That one house only shall be constructed on the entire area of the site outlined in red and the site outlined in blue on the Drawing No. 0010-02 dated ~~19th February, 1991~~ <sup>Received by Dublin Co Council on 19/2/91.</sup> by Dublin County Council.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

6. The house, when completed, shall be first occupied by the applicant and/or members of her immediate family  
Reason: In the interest of the proper planning and development of the area.

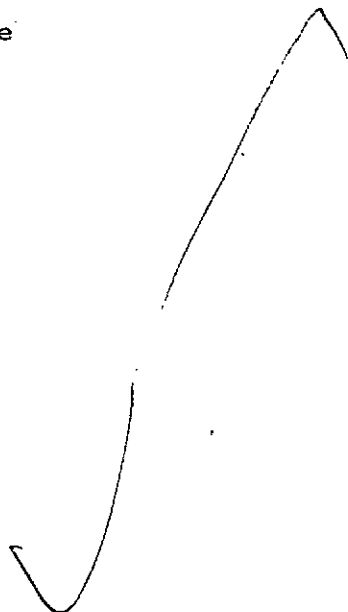
COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0203

Page No: 0003

Location: Cailliaghstown, Rathcoole



*[Handwritten signature]*

*Richard Connors SEP*  
for Dublin Planning Officer 27.6.91

Endorsed:.....  
for Principal Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (6) conditions set out above is hereby made.

Dated : ..... *2 June 1991* .....  
*[Handwritten initials]*

APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 19 June 1991.

Mary D.

Register Reference : 91A/0203

Date : 16th May 1991

Development : Bungalow and septic tank

LOCATION : Cailliaghstown, Rathcoole

Applicant : Angela Lawler

App. Type : Additional Information

Planning Officer : M.DARLEY

Date Recd. : 8th May 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

*Paul John*

PRINCIPAL OFFICER

I refer to Refat per. Ms A O'Donoghue on 7/5/91 (copy attached)

The attached information does not satisfy the requirements of this aforementioned Refat .

*Hilary Nallen*

*10/6/91*

DUBLIN COUNTY COUNCIL  
21 MAY 1991  
ENVIRONMENTAL HEALTH OFFICERS

*for. John O'Reilly*

SUPER. ENVIRON. HEALTH OFFICER,  
33 GARDINER PLACE,  
DUBLIN 1.

*10/6/91*

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 11.06.91 .....  
Time ..... 3.20 .....

Register Reference : 91A/0203

Date : 28th February 1991

Development : Bungalow and septic tank

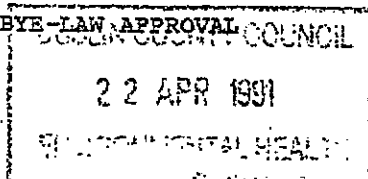
LOCATION : Cailliaghstown, Rathcoole

Applicant : Angela Lawler

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning officer :

Date Recd. : 19th February 1991



Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

*Thiel Hole inspected 3-5-91 was 7' deep and  
 dry, soil appeared suitable for the  
 disposal and treatment of septic tank  
 effluent.*

Yours faithfully,

.....  
PRINCIPAL OFFICER

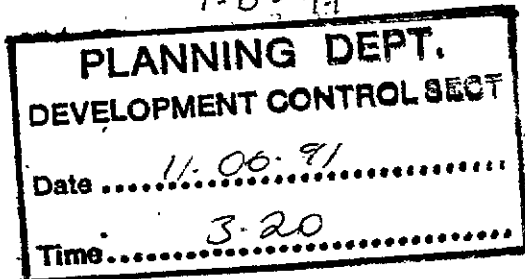
*Proposal unacceptable for following reasons:*

1. well located too close to proposed perc. areas.
2. Perc. areas inadequate in size
3. Layout of septic tank and percolation areas requires improvement - levels of site required to ensure an adequate fall is available from base to septic tank and perc. areas.
4. Evidence of potable and adequate water supply being available - not provided.

*John O' Reilly for*  
 John O' Reilly  
 SUPER. ENVIRON. HEALTH OFFICER,  
 33 GARDINER PLACE,  
 DUBLIN 1.

*7/5/91*

*Anne O' Donohue*  
 7-5-91



Register Reference : 91A/0203

Date : 28th February 1991

Development : Bungalow and septic tank

MD

LOCATION : Cailliaghstown, Rathcoole

Applicant : Angela Lawler

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 19th February 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN Co. COUNCIL  
- 8 MAR 1991  
SAN SERVICES

DUBLIN Co. COUNCIL  
SANITARY  
PRINCIPAL OFFICER  
19 APR 1991  
Returned. *[Signature]*

Date received in Sanitary services

FOUL SEWER

*Septic Tank prepared - refer to E.H.B.*

SURFACE WATER

*Loak pits prepared - refer to B.B.L. Dept.*

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date..... *24/4/91* .....  
Time..... *10:30* .....

SENIOR ENGINEER,  
SANITARY SERVICES DEPARTMENT,  
46/49 UPPER O'CONNELL STREET,  
DUBLIN 1

*[Signature]* Rice  
*11/4/91*

Register Reference : 91A/0203

Date : 28th February 1991

.....  
ENDORSED \_\_\_\_\_ DATE \_\_\_\_\_

WATER SUPPLY. *No. 6 to water mains in the area  
well proposed*

*Applicant  
21/3/91*

.....  
ENDORSED *[Signature]* DATE *22/5/91*  
*[Signature]* DATE *12/4/91*



Bosca 174,  
P. O. Box 174,  
5 Rae Gardnar,  
5 Gardiner Row,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone: (01) 727777  
Fax: (01) 725782

Mr. D. Drumgoole,  
Senior Administrative Officer,  
Planning Department,  
Dublin County Council.

Our Ref. P.P. 328

Your Ref.

Date 08.03.1991

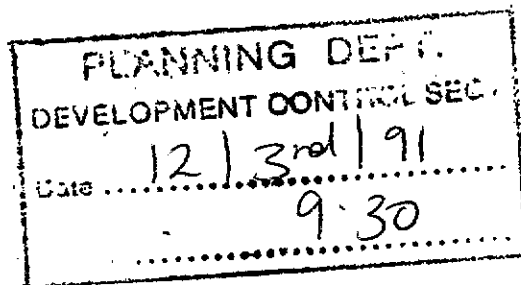
MD

RE: Application for 1 No. House at Cailliaghstown Lower,  
Rathcoole. Reg. Ref. 91A/203.

With regard to this application, the Parks Department's comments are;

The applicant is applying for planning permission to develop a private dwelling on land zoned 'B' in the 1983 Development Plan. Zone 'B' is to protect and provide for the development of Agriculture. The proposed development is, therefore, not considered compatible with the objectives of the County Development Plan and should be refused.

SENIOR PARKS SUPERINTENDENT





Register Reference : 91A/0203

Date : 28th February 1991

Development : Bungalow and septic tank

LOCATION : Cailliaghstown, Rathcoole

Applicant : Angela Lawler

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL COUNCIL

Planning Officer :

22 APR 1991

Date Recd. : 19th February 1991

ENVIRONMENTAL HEALTH

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

*Trial hole inspected 3-5-91 was 7' deep and soil appeared suitable for the disposal and treatment of septic tank effluent.*

Yours faithfully,

.....  
PRINCIPAL OFFICER

*Proposal unacceptable for following reasons:*

1. well located too close to proposed perc. areas
2. Perc. areas inadequate in size
3. Layout of septic tank and percolation areas requires improvement - levels of site required to ensure an adequate fall is available from house to septic tank and perc. areas.
4. Evidence of potable and adequate water supply being available - not provided.

*John O'Reilly*  
SUPER. ENVIRON. HEALTH OFFICER,  
33 GARDINER PLACE,  
DUBLIN 1.

*7/5/91*

*Anne O'Jordan*  
7-5-91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date .. 08/05/91 .....
Time .. 4.00 P.M. ....

P/1550/91

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Register Reference : 91A/0203

Date Received : 19th February 1991

Correspondence : Damian O'Flynn Associates,  
Name and : Architects,  
Address : Barrettstown,  
Newbridge,  
Co. Kildare.

Development : Bungalow and septic tank

Location : Cailliaghstown, Rathcoole

Applicant : Angela Lawler

App. Type : Permission

Zoning : 'B'

*MD/DK*  
(MD/DK)

Report of the Dublin Planning Officer dated 10th April, 1991.

This is an application for permission for bungalow and septic tank at Cailliaghstown Lower, Rathcoole for Angela Lawler.

The site is located in a cul de sac where there are several bungalows in addition to a farm house. These were permitted by planning permission nos. XA 2151, 87A-1299 and 87A-95 to family members. From the information submitted in this application it would appear that the applicant is the daughter of a land owner who owns land in Cailliaghstown Upper, but who is contracted to purchase this site in Cailliaghstown Lower subject to planning permission. In order to assess this application,

I recommend that ADDITIONAL INFORMATION be requested from the applicant with regard to the following:-

01 The applicant is requested to indicate the need to live in the area or any connection with the area in accordance with the requirements of paragraph 2.3.9 of the County Development Plan.

02 The applicant is requested to submit evidence of the suitability of the site for septic tank effluent.

Note. In this regard applicant is advised to contact the Saperstown Environmental Health Officer, Eastern Health Board, 33 Capatun Road, TGI. 92777) to arrange to have trial holes inspected.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

*Richard Cernino SEP*

for Dublin Planning officer (1-49) Endorsed:.....  
for Principal Officer

Order: I direct that ADDITIONAL INFORMATION be requested from the applicant for Permission as set out in the above report and that notice thereof be served on the applicant.

Dated : ..... *15 April 1991* ..... *K.O. Sullivan* .....

ASSISTANT CITY AND COUNTY MANAGER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 8th April, 1991.



**Furey, Delaney and Associates Ltd.**  
**Civil Engineers and Surveyors**

WS ✓

Conor Furey, B.E., C.Eng., M.I.E.I.  
Bernard Delaney, F.C.C.A.

12 Dunsandle Court,  
Castleknock,  
Dublin 15.  
Phone: 01-821 5576  
Fax: 01-820 9086  
Mobile: 088-522663

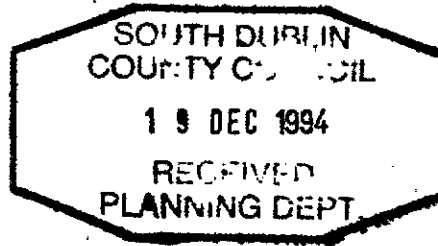
**NAAS BRANCH:**  
Phone: 045-75002

*Mr. B. Delaney*  
*15.12.94*  
*15.12.94*

15th December, 1994

Our Ref: 94-L3/BD/MS

Planning Office,  
South Dublin County Council,  
The Square,  
Tallaght.




**CLIENT - Angela Lawlor, Calliaghstown Lower, Rathcoole, Co. Dublin**  
**Planning Register No. 91A/0203.**

Dear Sirs,

With reference to our above client, we carried out a site suitability investigation and a percolation test at the above property on the 10th inst. and we would now like to certify that the T-value was calculated at 6 mins and the site passed the Site Suitability test.

Yours faithfully,

  
**BERNARD DELANEY, F.C.C.A.**  
**MANAGING DIRECTOR**

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.

Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

Telephone: 773066

Telephone: 724755  
Extension: 231/234

16 October 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: Calliaghstown, Lower Rathcoole  
PROPOSED DEVELOPMENT: Bungalow  
APPLICANT: Angela Lawler  
PLANNING REG. REF.: 91A/203  
DATE OF RECEIPT OF SUBMISSION: 11 October 1991

A Chara,

With reference to above, I acknowledge receipt of application for:

**Building Bye Law Approval.**

Mise, le meas

A. Smith

PRINCIPAL OFFICER

Damian O'Flynn Associates,

Barrettstown,

Newbridge,

Co. Kildare.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place / in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building CALLAGHSTOWN LOWER RATHCOOLE  
(If none, give description sufficient to identify)

3. Name of applicant (Principal not Agent) MISS ANGELA LAWLER  
Address ..... Tel. No .....

4. Name and address of person or firm responsible for preparation of drawings DAMIAN O'FURNA ASSOCIATES ARCHITECTS  
BARRODSTOWN, NEWBRIDGE W. KILDARE Tel. No 045-33400

5. Name and address to which notifications should be sent DAMIAN O'FURNA ASSOCIATES ARCHITECTS  
BARRODSTOWN NEWBRIDGE W. KILDARE

6. Brief description of proposed development ERECTOR OF 3 BEDROOM BUNGALOW

7. Method of drainage SEPTIC TANK 8. Source of Water Supply WELL

9. In the case of any building or buildings to be retained on site, please state:-  
(a) Present use of each floor or use when last used. N/A EYE LAW APPLICATION.  
(b) Proposed use of each floor N/A REG. NO. N SD350

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO £55.00

11.(a) Area of Site 4225 m<sup>2</sup> (4225 HECTARES) ..... Sq. m.  
(b) Floor area of proposed development 123.915 m<sup>2</sup> ..... Sq. m.  
(c) Floor area of buildings proposed to be retained within site N/A ..... Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) DAUGHTER OF LANDOWNER

13.Are you now applying also for an approval under the Building Bye Laws?  
Yes  No  Place  in appropriate box.

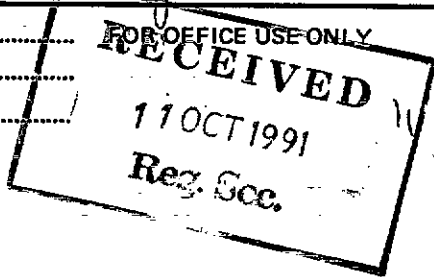
14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:

15.List of documents enclosed with application. COVERING LETTER, BYE LAWS FEE  
2 COPIES OF DRAWINGS AND SPECIFICATIONS

16.Gross floor space of proposed development (See back) ..... Sq. m.  
No of dwellings proposed (if any) 1/10 Class(es) of Development A  
Fee Payable £ 55- Basis of Calculation BUILDING BYE-LAW APPLICATION.  
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Damian O'Furna Date 11-10-91

Application Type .....  
Register Reference .....  
Amount Received £ .....  
Receipt No .....  
Date .....



9/11/203  
2.10.2  
BB2

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
  2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
  3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
    - (a) The address of the structure or the location of the land.
    - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
    - (c) The name of the applicant.
- NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
  5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
    - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
    - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
      - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
    - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
  6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m <sup>2</sup> (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls. For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

PÁID BY — DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

CASH  
CHEQUE

N 50350

€55.00

Received this 11th day of October 1991

from D. O'Flynn + associates  
Barretstown, Newbridge, Co. Kildare

The sum of Fifty Five Pounds

Pence, being 00

application of Callaghan's, Rathroske

Michael O'Flynn Cashier

S. CAREY  
Principal Officer  
Classa 14042



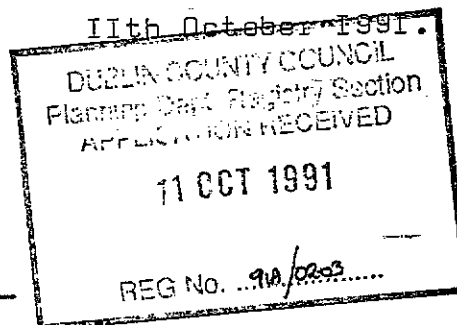
**DAMIAN O'FLYNN ASSOCIATES**

James J. SMYTH MR IAI RIBA  
Damian P. O'Flynn MR IAI (Tech)

ARCHITECTS

BARRETTSTOWN NEWBRIDGE CO KILDARE TELEPHONE 045-33400

Dublin County Council,  
Building Bye Laws,  
Building Control Section,  
Planning Development,  
Block 2,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin.



Your Ref No:- 91A/203.

Re/- Application for Bye Law Approval for Bungalow and Septic Tank at Calliaghstown Lower, Rathcoole, For Angela Lawler.

Dear Sirs,

With reference to the above, and your disapproval for Building Bye Law's, I now enclose the following revised drawings and documents for approval.

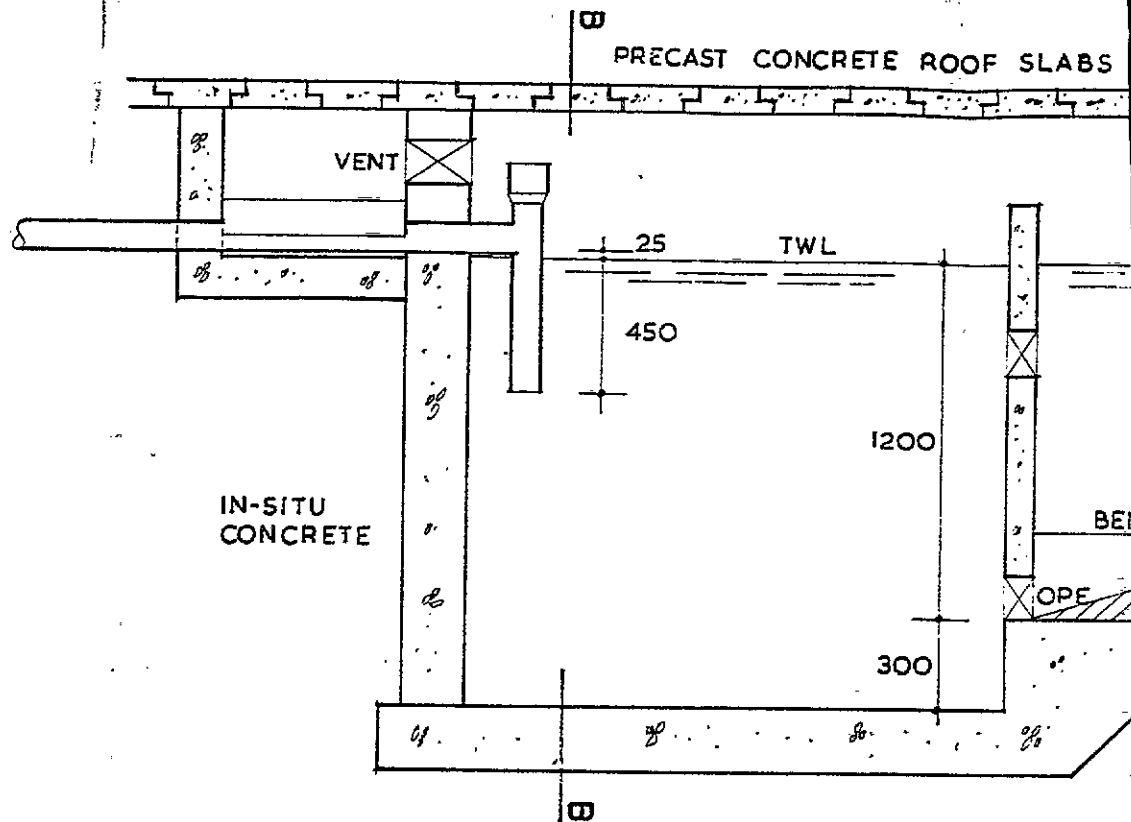
- (1) Two copies of revised drawings, No- 0010.01A and 0010.2A showing new percolation area's and lengths increased, countoured site map, well relocated, drainage details, roof redesign, detail of roof support over bay window in Lounge, and detail of roof ventilation.
- (2) Two copies of specifications.
- (3) Copy of Application Form.
- (4) Cheque for the amount of £55.00 being the Bye Law's fee.
- (5) Two copies of drawings for septic tank and percolation details.

Hoping the above is in order,

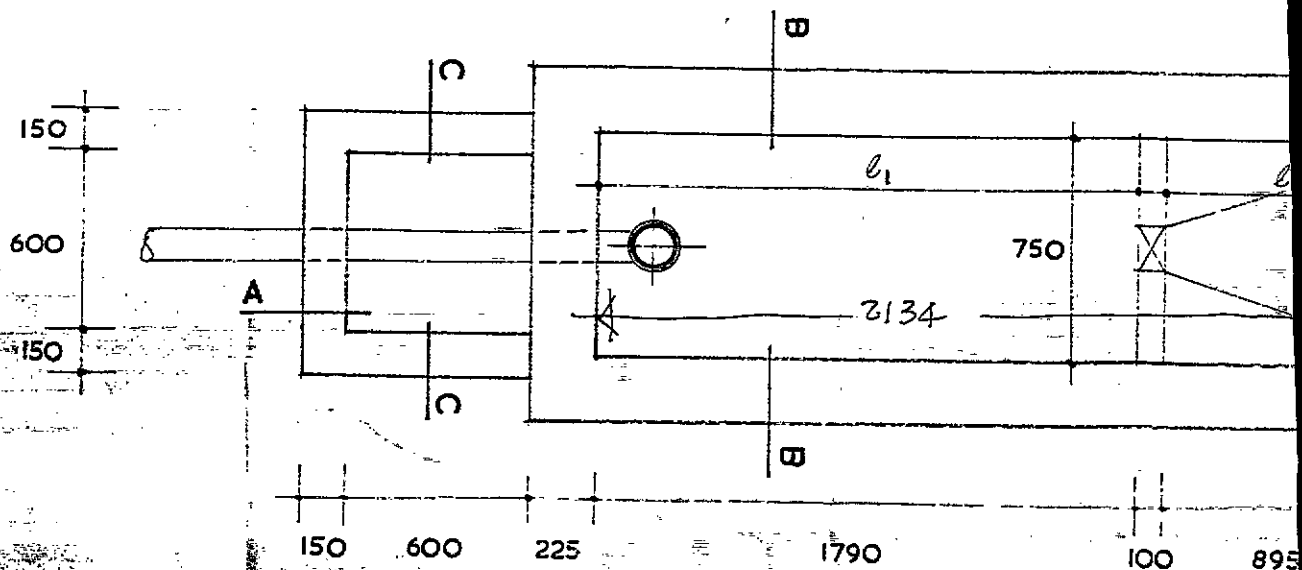
Yours faithfully,

.....  
Damian O'Flynn, for Damian O'Flynn,  
Associates, Architects.

ENC/-

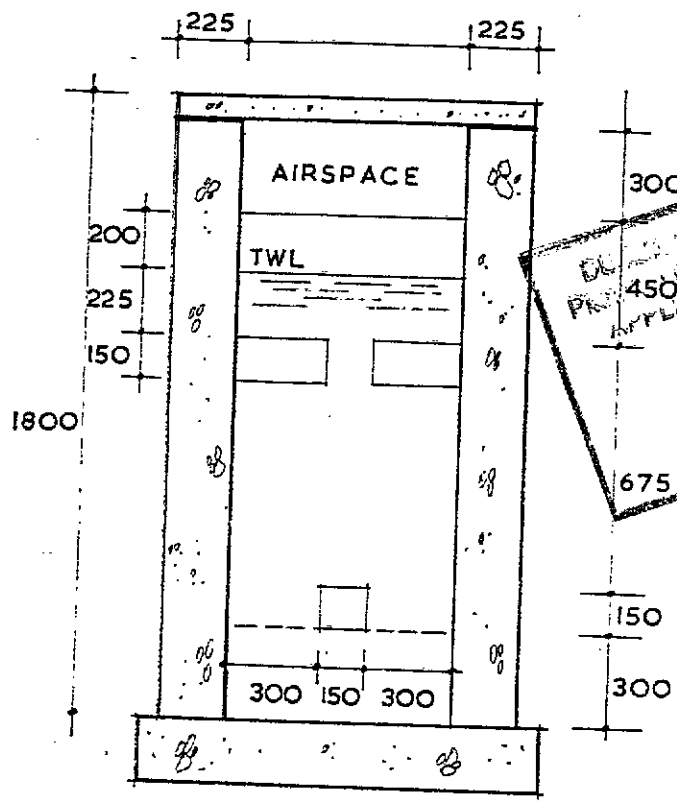
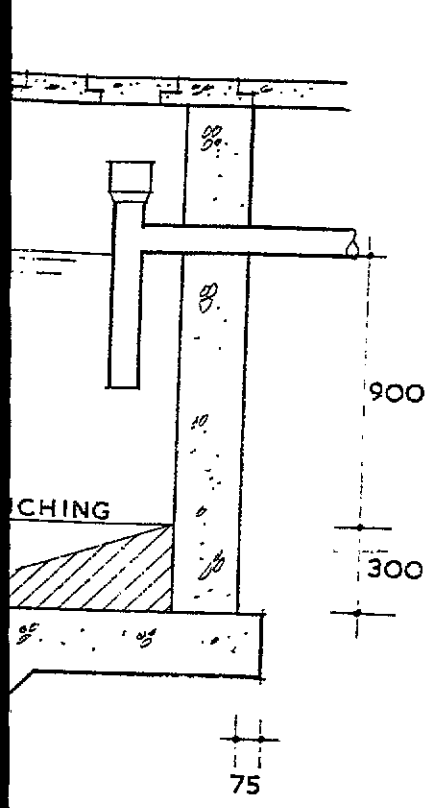


SECTION A-A



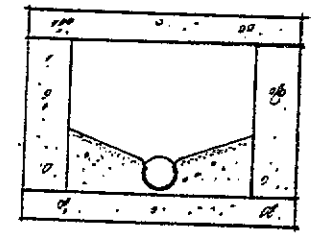
PLAN OF SEPTIC TANK FOR 4 PER

FIG 5

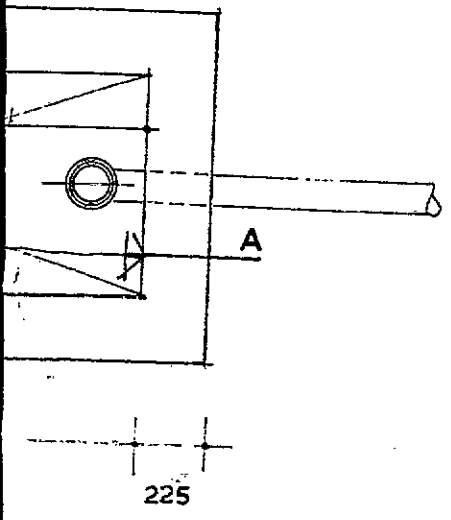


DURHAM COUNTY COUNCIL  
 Planning & Building Section  
 PRE-450 DRAINAGE Section  
 APPLICATION RECEIVED  
 11 OCT 1991  
 675 REG No. 912/2202

SECTION B-B



SECTION CC



TYPICAL SIZE OF SEPTIC TANKS

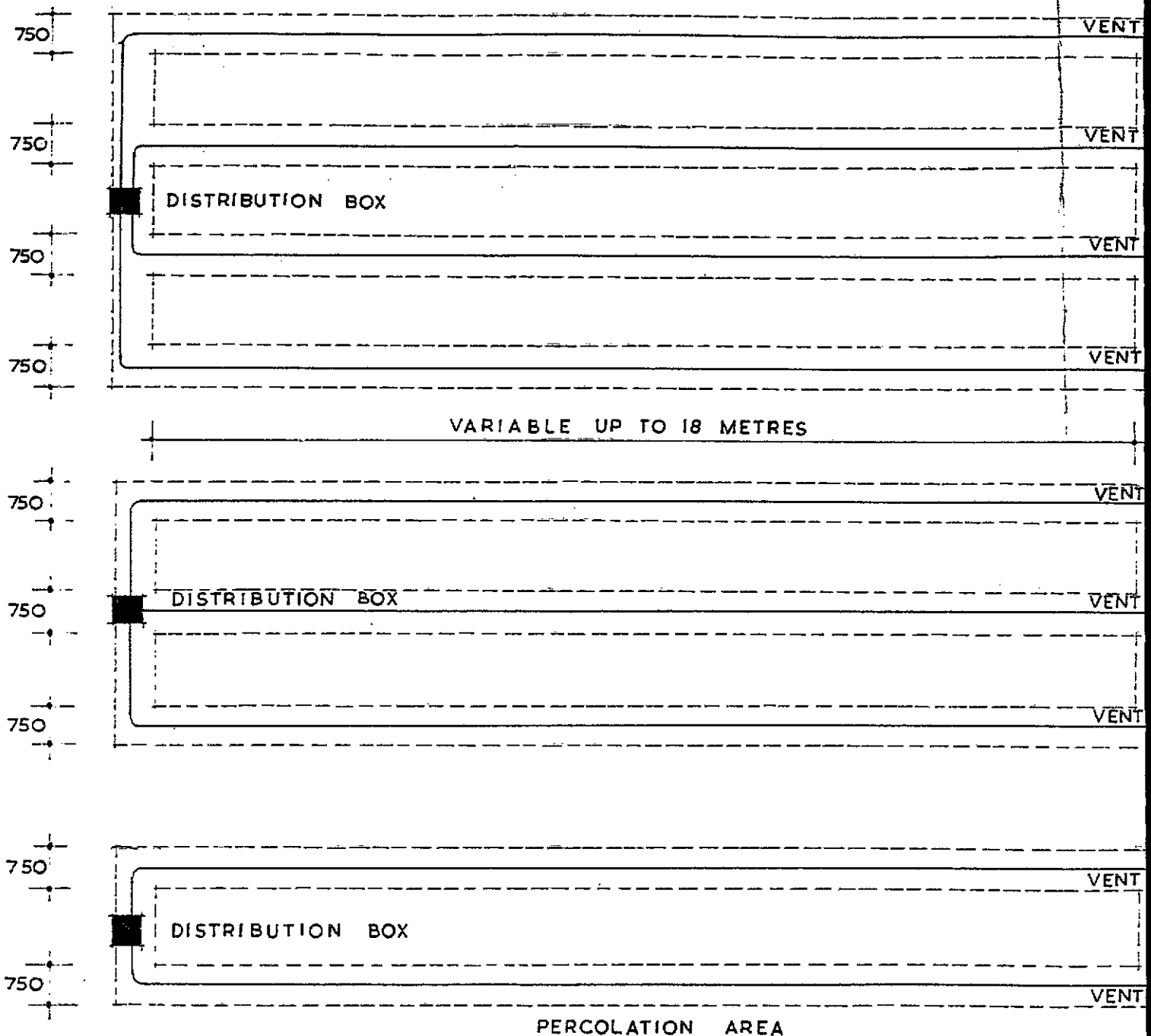
POPULATION SERVED	CONSTRUCTION			
	IN SITU		CONC. BLOCK	
	VOL (l)	L (MM)	VOL (l)	L (MM)
4	2720	2685	2860	2370
6	3080	3030	3120	2600
8	3440	3390	3390	2820
10	3800	3750	3750	3150

(WIDTH OF TANK USING CONC. BLOCK 890 MM)

$$L = 2l_1 + l_2$$

IONS

FIG. 9

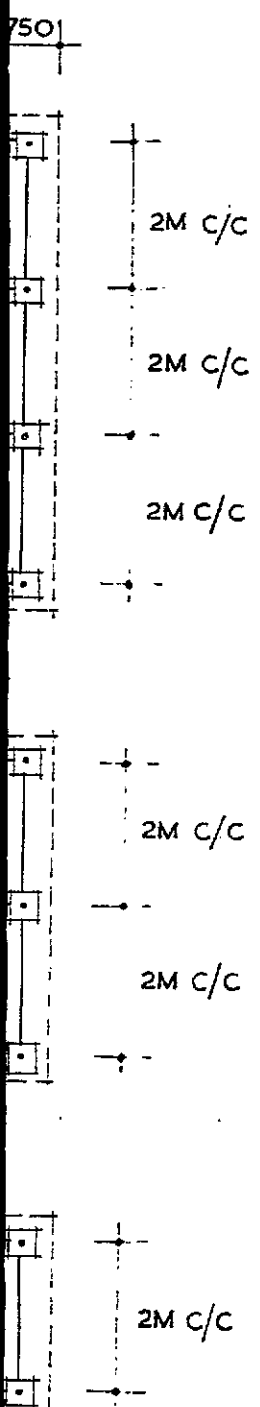


THE LIQUID FROM THE SEPTIC TANK SHOULD DISCHARGE TO A PERCOLATION AREA  
 A PERCOLATION AREA SHOULD CONSIST OF A DISTRIBUTION BOX AND A SERIES OF  
 TRENCHES AS SHOWN AT A B & C THE TOTAL LENGTH OF TRENCHES IS BASED ON  
 PERCOLATION TEST TIME 'T' AND CAN BE READ FROM TABLE I. THE CONSTRUCTION  
 OF EACH TRENCH TO BE AS SHOWN FIG.10

NO PART OF THE PERCOLATION AREA SHOULD BE WITHIN  
 18M TO THE NEAREST POINT OF A DWELLING  
 10M OF THE NEAREST ROAD BOUNDARY, STREAM OR DITCH  
 3M OF THE BOUNDARY OF THE ADJOINING SITE

NO WATERMAIN OR SERVICE PIPE SHOULD BE LOCATED WITHIN THE PERCOLATION AREA

GENERAL LAYOUT OF PERCOLATION AREAS WHERE 'T' < 60



EA THE  
TRENCHES  
THE  
N OF THE

EA

TABLE I.

VALUE OF 'T'	LENGTH OF DISTRIBUTION PIPING IN
1	17
2	21
3	26
4	30
5	35
10	47
15	56
30	78
60	105

DUBLIN COUNTY COUNCIL  
 Planning Dept. Registry Section  
 APPLICATION RECEIVED  
 26 11 OCT 1991  
 REC No. 91A/283

TEST FOR WATER TABLE

A TRIAL HOLE SHALL BE DUG A MINIMUM OF 1M X 1M X 2M DEEP. HOLE SHOULD BE LEFT FOR 48 HOURS. WATER DEPTH SHOULD BE LESS THAN 1M DEEP FOR THE MONTHS OF JANUARY FEBRUARY AND MARCH. FOR THE REST OF THE YEAR WATER DEPTH SHOULD NOT EXCEED 600MM SECTION FIG.1.

TWO TRIAL HOLES SHALL BE DUG ONE IN THE PERCOLATION AREA AND ANOTHER IN THE RESERVE PERCOLATION AREA.

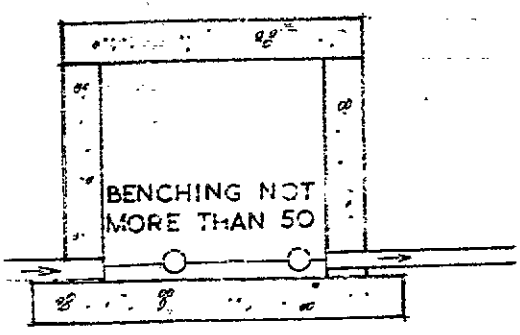
PERCOLATION TEST

TEST TO BE CARRIED OUT AT THE PERCOLATION AREAS OF THE PROPOSED SITE. A TEST HOLE SHALL BE DUG 300MM SQUARE AND A DEPTH OF 450MM BELOW INVERT LEVEL OF THE FIRST PERCOLATION PIPE AS SHOWN AT THE BOTTOM AND SIDES OF THE HOLE.

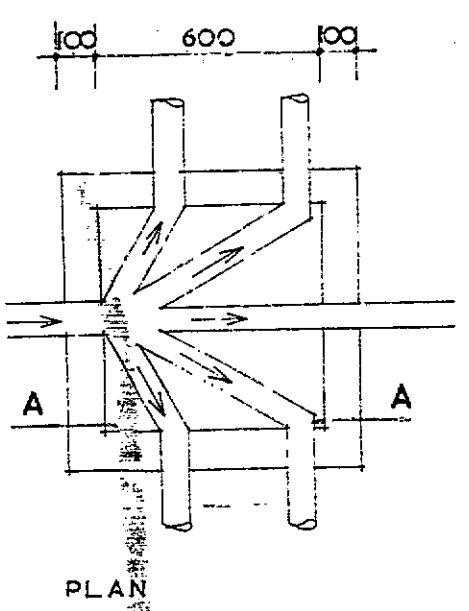
PERCOLATION AREA SHOULD BE WITHIN  
 18M TO THE NEAREST POINT OF A DWELLING  
 3M OF THE NEAREST ROAD BOUNDARY, STREAM OR DITCH  
 3M OF THE BOUNDARY OF THE ADJOINING SITE  
 NO WATERMAIN OR SERVICE PIPE SHOULD BE LOCATED WITHIN THE PERCOLATION AREA

GENERAL LAYOUT OF PERCOLATION AREAS WHERE  $T < 60$

FIG. II

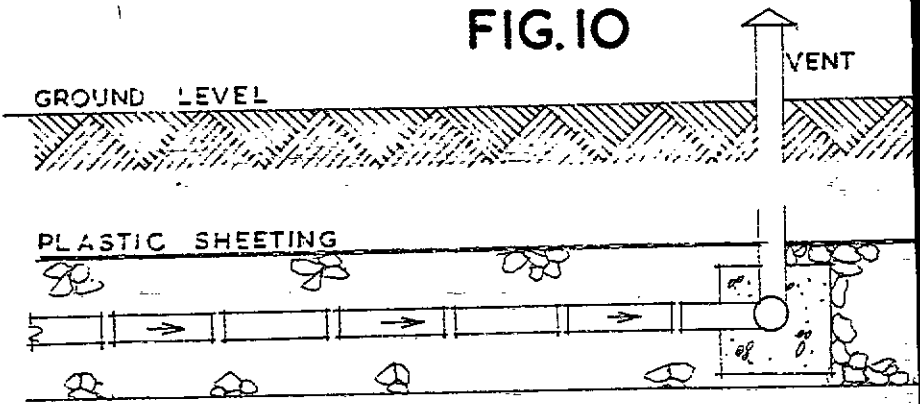


SECTION A-A

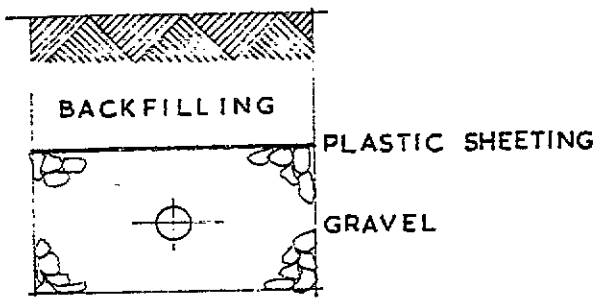


CONSTRUCTION DETAILS OF A  
 AL DISTRIBUTION BOX

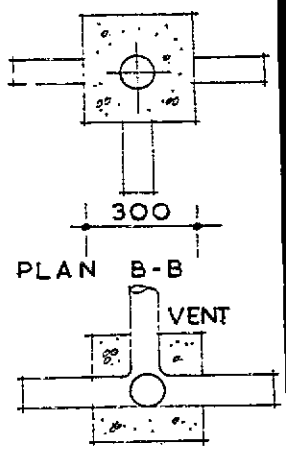
FIG. IO



LONGITUDINAL SECTION SHOWING UNJOINTED PERCOLATION



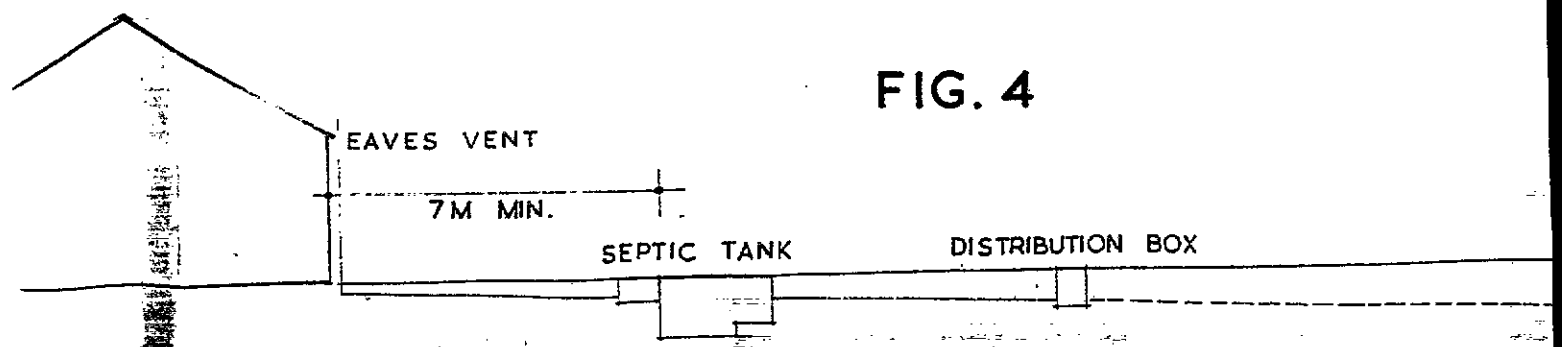
SECTION A-A



SECTION B - B

CONSTRUCTION DETAILS OF PERCOLATION

FIG. 4



LOCATION OF SEPTIC TANK DISTRIBUTION BOX & PERCOLATION

# PERCOLATION TEST

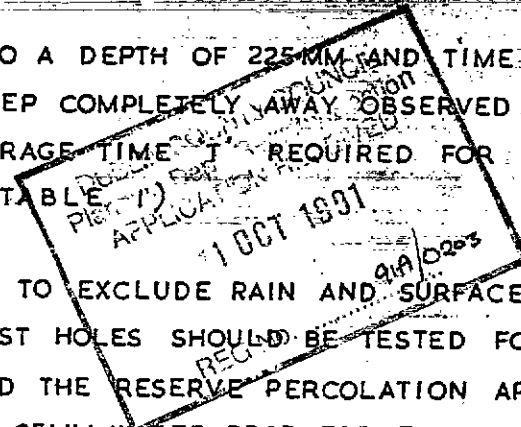
TEST TO BE CARRIED OUT AT THE PERCOLATION AREAS OF THE PROPOSED SITE. A TEST HOLE SHALL BE DUG 300MM SQUARE A DEPTH OF 450MM BELOW INVERT LEVEL OF THE FIRST PERCOLATION PIPE AS SHOWN. THE BOTTOM AND SIDES OF THE HOLE TO BE SCRATCHED TO PROVIDE A NATURAL SOIL INTERFACE IN WHICH WATER MAY PERCOLATE. HOLE TO BE FILLED TO A DEPTH OF 300MM WITH WATER AND LEFT FOR 24 HOURS

NEXT DAY FILL HOLE TO A DEPTH OF 225MM AND TIME IN MINUTES FOR THIS WATER TO SEEP COMPLETELY AWAY OBSERVED. DIVIDE TIME BY 9 TO GET AVERAGE TIME T REQUIRED FOR WATER DROP 25MM (SEE TABLE)

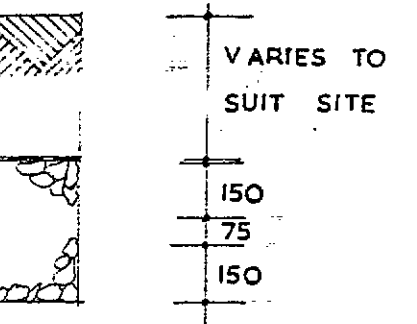
CARE SHOULD BE TAKEN TO EXCLUDE RAIN AND SURFACE WATER FROM TEST HOLE. TWO TEST HOLES SHOULD BE TESTED FOR BOTH PERCOLATION AREA, AND THE RESERVE PERCOLATION AREA AND AVERAGE TIME FOR THE 25MM WATER DROP FOR EACH OF THE TEST RESULTS SHALL IN TURN BE AVERAGED GIVING THE VALUE

ALL THESE ARE ONLY EXTRACTS FROM S.R. 6 THE COMPLETE PROCEDURE ETC. IS AVAILABLE IN S.R. 6 1975 PUBLISHED BY THE INSTITUTE FOR INDUSTRIAL RESEARCH AND STANDARDS BALLYMUN ROAD, DUBLIN 9.

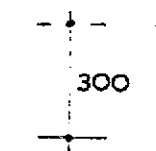
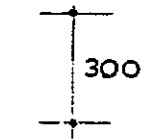
ALL FIGURE NUMBERS ON DRAWING REFER TO S.R. 6 1975



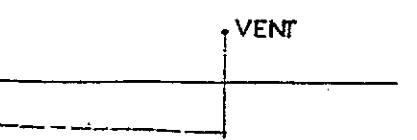
AREA



PIPE & VENT



PERCOLATION AREAS



AREA

## RECOMMENDATIONS FOR SEPTIC TANK DRAINAGE SYSTEMS

### SUITABLE FOR SINGLE HOUSES

AN ROINN COMHSHAOIL  
DEPARTMENT OF THE ENVIRONMENT  
O'CONNELL BRIDGE HOUSE

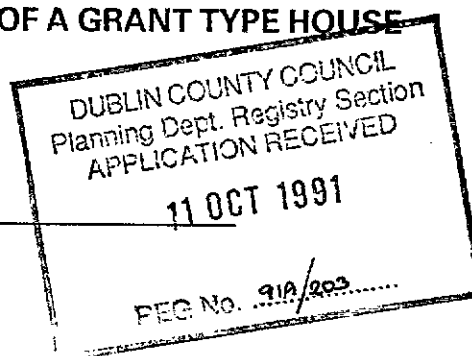
DUBLIN 2 DATE NOVEMBER

AN ROINN COMHSHAOIL

---

# OUTLINE SPECIFICATION

FOR THE ERECTION OF A GRANT TYPE HOUSE



ISSUED BY THE DEPARTMENT OF THE ENVIRONMENT

BAILE ÁTHA CLIATH  
ARNA FHOILSIÚ AG OIFIG AN tSOLÁTHAIR

---

Le ceannach díreach ón  
OIFIG DHÍOLTA FOILSEACHÁN RIÁLTAIS, TEACH SUN ALLIANCE,  
SRÁID THEACH LAIGHEAN, BAILE ÁTHA CLIATH 2,  
nó trí aon díoltóir leabhar.

---

DUBLIN.

PUBLISHED BY THE STATIONERY OFFICE

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GOVERNMENT PUBLICATIONS SALE OFFICE, SUN ALLIANCE HOUSE,  
MOLESWORTH STREET, DUBLIN 2.

Price £1.50



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## ADDENDUM

This sentence should follow paragraph 3.1 on page 11:-  
"Structural Timber for Domestic Construction must comply with the standard set out in  
SR 11: 1988"

## INTRODUCTION

This is an outline specification for the guidance of persons erecting a dwelling house, describing minimum requirements, and is not compiled for use as a contract document. Where a development contains more than one house a fully detailed specification may be required.

The work throughout shall be executed in a proper and workmanlike manner using the best available materials of their kind, and, as far as possible, manufactured or produced within the E.E.C. All materials and workmanship necessary for the proper completion of the work, or required by good building practice, are to be taken as being specified.

Where it is intended to use methods of construction or materials not described in this specification full details shall be submitted to the Department of the Environment.

The works shall also comply with:-

- (a) Relevant Irish Standard Specification (I.S.) or British Standard Specification where there is no Irish equivalent, or Provisional Specifications as above.
- (b) National Building Regulations (if any).
- (c) Local Authority Bye Laws, regulations or requirements.
- (d) The regulations and requirements of Public Utilities (e.g. E.S.B., Posts and Telegraphs, Gas undertakings).
- (e) Accepted Codes of Practice.
- (f) Requirements of the Department of the Environment.

## Section 1 EXCAVATIONS AND SUB-STRUCTURES

- 1.1 Site**  
The site shall be adequately drained and have no features likely to render the house unstable or uninhabitable.
- 1.2 Preparing Site**  
Clear and grade site for new building and remove or divert existing drains as required. The entire site of buildings and paved areas shall be cleared of all vegetable soil to a depth of at least 150 mm. Where the bearing quality of the ground is suspect special care shall be taken in the design of the foundations.
- 1.3 Excavation**
- 1.3.1** The trenches shall be excavated to the depths and widths required to accommodate foundations or to such further depths or widths as may be necessary to ensure the stability of the structure. Trench bottoms and foundations shall be levelled off in horizontal benches. The bottom of trenches shall be not less than 450 mm below the finished ground level and kept clear of water before concreting.
- 1.3.2** Where other excavations close to or under the foundations are unavoidable care shall be taken to ensure the stability of the structure.
- 1.4 Foundations**  
Shall be concrete mix A, to widths and depths indicated and reinforced as necessary. Where foundations are stepped they shall overlap at least 600 mm.
- 1.5 Floor Level**  
The height of the finished floor over the highest point of the finished ground level shall be not less than 350 mm in the case of joisted floors and not less than 175 mm in the case of concrete floors. See also 2.24.
- 1.6 Rising Walls**  
Rising walls shall be of solid blockwork bedded in cement mortar, or of mass concrete, mix A to widths and heights indicated. See also 2.4.
- 1.7 Cement and cement-based products**  
Normal Portland cement used in concrete and other cement based products shall be certified by the Institute for Industrial Research and Standards under the Irish Standard Mark Licensing Scheme as complying with I.S.I.: 1963 "Portland cement", and shall bear the Irish Standard Mark.
- 1.8 Lime**  
Hydrated lime to be to I.S.8.
- 1.9 Water**  
Water shall be clean and free from harmful impurities.
- 1.10 Sand and Aggregates**  
Fine aggregates shall be clean, sharp pit or river sand free from all impurities and in accordance with I.S. 5. Coarse aggregates shall be suitably graded hard clean pit gravel or crushed stone in accordance with I.S. 5 and to sizes set out below.

**1.11 Concrete Mixes**

Concretes	Aggregates	Nominal Mix			28 day Strength (Newtons) Per mm <sup>2</sup>
		Cement	Fine Aggregate	Graded Coarse Aggregate	
Mix	Maximum Size				
A	40 mm	1	3	6	14
B	20 mm	1	2	4	21
C	14 mm	1	3	6	—

The water-cement ratio shall be kept to the minimum needed to ensure reasonable workability, but should not exceed 35 litres per 50 Kg of cement.

- 1.12 Cement Mortar**  
Shall be 1 part cement to 3 parts sand.
- 1.13 Lime Mortar**  
Shall be 1 part hydrated lime to 6 parts sand.
- 1.14 Gauged Mortar**  
Shall be 10 parts lime mortar mixed with 1 part cement just before use.
- 1.15 Strong Gauged Mortar**  
Shall be 5 parts lime mortar mixed with 1 part cement immediately before use.
- 1.16 Additives**  
Plasticisers, waterproofers, sealers and bonding agents if used, shall be used in accordance with manufacturer's instructions.

## **Section 2 BLOCKLAYING AND CONCRETING**

- 2.1 Thermal Insulation**  
Attention is drawn to the need to insulate walls, floors and roofs to meet the requirements set out in Section 14.
- 2.2 Mixes**  
See Section 1 for concrete and mortar.
- 2.3 Blockwork**  
Concrete blocks shall be in accordance with I.S. 20 and bricks, if clay, in accordance with I.S. 91. All blockwork and brickwork shall be properly coursed and bonded and bedded in gauged mortar. All walls shall be carried up regularly not leaving any part 1 m lower than another.
- 2.4 Cavity Walls**  
Walls shall be formed of two solid 112 mm leaves of blocks or bricks with 50 mm cavity between. Outer and inner leaves to be tied together by accepted wall ties, not less than four per square metre with extra ties at opes. Care to be taken that mortar dropping into the cavity or lying on ties, is cleaned out, through openings left for the purpose, head of cavities to be closed in the solid. All window, door and other opes in cavities to be sealed and so arranged as to prevent the passage of moisture. The cavity is to extend at least 150 mm below the level of the D.P.C. and shall provide for drainage of moisture to the outside, at the base.
- 2.5 Hollow Block Walls**  
225 mm hollow blocks shall be plastered externally. Bedding mortar shall be confined to abutting surfaces, and shall not enter the cavities of the block.
- 2.6 Solid Block Walls**  
225 mm solid concrete blocks shall be plastered externally.
- 2.7 Solid Brick Walls**  
Solid brick walls shall be 337 mm thick, and weather-pointed.
- 2.8 Masonry Walls**  
Masonry walling, where used, must not be less than 500 mm thick.
- 2.9.1 Facings**  
Where stone or other decorative external facing is used, care must be taken to ensure adequate structural stability, thermal insulation and absence of damp penetration.
- 2.9.2 Opes in External Walls**  
Where any duct, pipe, etc., is required to penetrate through an external wall it shall be so arranged as to prevent the passage of moisture inwards.

- 2.10 Pointing**  
All wall faces finished without plastering shall be pointed in the building mortar as the work proceeds, or the joints may be taken out 20 mm deep and pointed in cement mortar.
- 1.11 Party Walls**  
All party walls shall be 225 mm solid blockwork of density not less than 1,500 kg m<sup>3</sup>, plastered both sides and carried up in the solid to the plane of the upper surface of the rafters. See also 5.7.
- 2.12 Solid Partition**  
Solid partitions shall be 112 mm thick brick or block work, laid to break joint, in gauged mortar, bonded 112 mm at junctions.
- 2.13 D.P.C.**  
The damp-proof courses shall be polythene in accordance with B.S. 743 or bitumen sheeting on hessian or canvas base in accordance with I.S. 57 laid to prevent the passage of moisture and lapped adequately at joints, all as described below.
- 2.13.1** In all ground floor walls and breasts to full width and stepped as necessary, in cavity walls in both outer and inner leaves separately, and shall be laid not less than 150 mm over finished ground level or paved area or highest ground within one metre of house.
- 2.13.2** At sides of opes in cavity walls and over all opes 250 mm longer than opes and stepped down and outward all to prevent passage of moisture from outer to inner leaf.
- 2.13.3** Under the turned up at ends and back of all cills and external room ventilation grids and recessed edges of all concrete roof slabs.
- 2.13.4** In all chimney stacks immediately above the level of the flashing and under all cappings and copings.
- 2.13.5** Under lowest ground floor timbers and not lower than wall D.P.C.
- 2.13.6** Where the waterproofing membrane in a concrete floor is not level with the wall D.P.C. care shall be taken to ensure continuity of damp proofing by stepping, turning up and lapping as necessary.
- 2.14 Concrete Under Barges**  
Concrete barges, if used, shall be under slates or tiles, full width of walls and at least 75 mm thick and projecting 100 mm beyond the face of the wall, throated on the underside, suitably reinforced and tied back as necessary. See also 5.7.
- 2.15 Concrete Copings**  
Concrete copings in lengths of not more than 1 metre, shall be weathered and throated, bedded in gauged mortar on D.P.C. and pointed in cement mortar.
- 2.16 Lintels**  
Concrete lintels mix B cast in situ shall be 225 mm deep with 225 mm bearing at each side of the ope, and shall be reinforced for full length with one 10 mm mild steel for every foot of span. Bars are to be placed 25 mm from bottom of lintel. Lintels for opes greater than 2.5 m shall be specially designed. precast concrete lintels to be as above and in addition to have 2 No. 10 mm mild steel bars at the top with 25 mm cover and to be clearly marked for correct placing. Accepted patent or proprietary lintels to B.S. 1239 to be used in accordance with manufacturer's instructions.
- 2.17 Window Cills**  
Concrete window cills shall be to I.S. 89, 65 mm thick on front face, 120 mm thick at back, and 225 mm wider than ope; reinforced adequately, seated, rebated, weathered and throated and set in gauged mortar on D.P.C. as previously specified. Care to be taken that the throating is clear of the finished wall face.
- 2.18 Reinforced Concrete Annexe Roofs**  
**2.18.1** Concrete roofs, mix B shall be 40 mm thick for each metre of span, with minimum thickness of 100 mm, fine screeded and laid to falls. Where roof is recessed into a wall, form 150 mm upstand on D.P.C. properly flashed over. The roof shall be projected 150 mm and throated at verges, with a raised fillet as necessary to prevent overspill of surface water.

Insulate underside of roof. Waterproofing additives or sealants, if used, shall be applied in accordance with manufacturer's instructions.

**2.18.2** Concrete roofs shall be reinforced adequately. For example, an area 5 m x 3 m should have 12 mm mild steel bars at 150 mm centres across the short span and 6 mm bars at 300 mm centres on the 5 m span. Steel to be placed 25 mm above underside of slab and carried over bearing walls to within 25 mm of edge of slab. Reinforcing bars should not normally be lapped, but where unavoidable, the lap shall be not less than 500 mm.

**2.18.3** Proprietary steel reinforcing mesh may also be used, in accordance with manufacturer's instructions.

**2.19 Chimney Breasts and Stacks**

**2.19.1** Chimney breasts shall be built of solid concrete blocks or decorative blocks or bricks or stone, all to a thickness of not less than 112 mm bedded in gauged mortar with splayed R.C. lintel over fire ope. Each fireplace recess shall have 200 mm solid incombustible material to sides and back excluding any fireback, carried up to full height of recess. Each fireplace shall have an independent flue, separated by not less than 100 mm of solid incombustible material (excluding the thickness of any flue liner) from any other flue. Each flue shall be lined with fireclay liners to I.S. 51 not less than 200 mm internal diameter, backed with weak mortar and carried 150 mm above capping. Splayed liners shall be used in forming bends to flues. Chimney stacks over roof shall be built of 112 mm solid concrete blocks bedded in gauged mortar and plastered or, where special precautions are taken, of decorative blocks, bricks or natural stone. Due to the exceptional exposure of stacks the use of decorative blocks, bricks or natural stone in stacks may cause dampness. Special care in construction and in the design and placing of the D.P.C. is necessary.

**2.19.2** Capping to stack shall be of reinforced concrete, mix C, weathered and throated, not less than 75 mm thick at edge and flaunching up around pots. Top of stack, excluding chimney pots, to be 600 mm over ridge where stack is within 600 mm of the ridge.

**2.19.3** Care should be taken that construction and height of stack is such as to ensure adequate structural stability and satisfactory drawing of smoke.

**2.20 Fireplaces, Heating Units, Cookers**

Fireplaces to have a fireclay back and incombustible surround and to be properly gathered into flue. Enclosed cookers and heating units to be fitted to manufacturer's instructions, with incombustible flue, ventilated as necessary and shall stand on a concrete hearth projecting 150 mm from face of appliance all round.

**2.21 Hearths**

First floor hearths shall be 125 mm thick reinforced concrete, mix B, finished fine carried on suitable formwork on 44 mm x 22 mm battens spiked to floor joists.

Ground floor hearths shall be 125 mm, finished fine, on hardcore as necessary.

All hearths to be 150 mm wider than fire ope on each side and to project 500 mm from face of breast.

**2.22 Paved Yard**

Provide 10 m<sup>2</sup> of impervious paved area laid to falls on suitably prepared base and adjacent to back door e.g. 100 mm concrete, 50 mm tarmac or 50 mm paving slabs.

**2.23 Concrete Floors**

All concrete ground floors shall be laid on a bed of clean hardcore not less than 150 mm thick and well consolidated. Soft material shall not be used in making up level under floors. Concrete ground floor shall be 150 mm thick mix B finished fine, laid on a continuous damp proof membrane on a layer of fine sand and turned up at edges of slab as necessary to meet and seal with wall D.P.C. Polythene sheeting where use shall be not less than 1000 gauge.

**2.24 Sub Floors**

Concrete sub-floors to joisted timber floors shall be laid on 100 mm of hardcore as described in 2.23. Concrete shall be mix A, 100 mm thick, and finished to a level not lower than the highest adjoining ground.

- 2.25 Dwarf Walls**  
Dwarf walls 112 mm thick concrete block or brick, honeycombed for through ventilation shall be built on sub-floors, at centres not greater than 2 metres.
- 2.26 Suspended Concrete Floors**  
Where concrete suspended floors or stair landings or balconies are used, they should be finished fine and capable of carrying a superimposed load of 1.44 KN/m<sup>2</sup>. Exposed soffits shall be insulated where necessary.
- 2.27 Screen and Garden Walls**  
Screen or garden walls shall not abut main walls of house.

### Section 3 CARPENTRY AND JOINERY

- 3.1 Timber**  
Timber shall be sound, free from disease and infestation and large loose knots or waney edges, with a moisture content within the limits set out in I.S. 96. Timber for carpentry to be white deal. Timber for joinery to be red deal, hard wood or other timber suitable for the purpose and free from all defects.
- 3.2 Preservative**  
Soft wood used externally, to be pressure impregnated with coloured preservative. Softwoods in contact with concrete to be treated with coloured preservative. Frames, barge-boards, fascias to be primed before fixing.
- 3.3 Roof Timbers**
- 3.3.1** Wall plates 75 mm x 100 mm fully treated with preservative, halved and spiked at headings and angles, set level and bolted down at 1 m intervals.
- 3.3.2** Rafters 35 mm x 115 mm minimum at 400 mm centres, treated at feet with preservative, and cut to angles, checked and twice spiked to wall plates, properly aligned to back and spiked to ridge and purlin.
- 3.3.3** Trimming rafters 44 mm thick around roof light and dormer opes and around chimney shafts and 50 mm clear of shaft.
- 3.3.4** Hip and valley rafters 44 mm x 225 mm treated at feet with preservative and fixed as for rafters above.
- 3.3.5** Valley and gutter boards 22 mm x 225 mm wrot, to take gutter, treated with preservative and secured to rafters.
- 3.3.6** Ridge board 32 mm x 175 mm set level, kept 50 mm clear of chimney shaft.
- 3.3.7** Purlins 75 mm x 175 mm adequately supported at intervals of approximately 2 m. Joints, where necessary, shall be half lapped over a support.
- 3.3.8** Struts 75 mm x 100 mm properly supporting purlins from solid bearing, or from spreaders not more than 500 mm from load bearing partitions. Where such bearing support cannot be provided, suitably trussed rafters or purlins shall be used to ensure stability.
- 3.3.9** Spreaders and thrust pieces 44 mm x 115 mm under struts, spiked to ceiling joists to distribute load.
- 3.3.10** Collar ties 35 mm x 115 mm to every rafter. Where purlins are provided, fix collars to every fourth rafter. All collars to be twice spiked to rafters.
- 3.3.11** Hangers and runners 35 mm x 75 mm where necessary to support ceiling joists.

- 3.3.12** Soffit bearers 35 mm x 75 mm to every rafter, treated with preservative.
- 3.3.13** Soffit at least 200 mm wide 16 mm wrot softwood, pressure impregnated or other material suitable for external use and secured to bearers.
- 3.3.14** Fascia 32 mm x 175 mm wrot deal, well secured to roof timbers and pressure treated.
- 3.3.15** Ceiling joists 35 mm x 115 mm at 400 centres, cut to angles and twice spiked to rafters. Where not in one length, form 500 mm securely spiked lap over partition walls.
- 3.4 Roof Trusses**  
Roof trusses to I.S. 193 (P), adequately braced diagonally, may be used at centres not greater than 600 mm. See also 5.2.
- 3.5 Floor Joists**
- 3.5.1** First floor joists 35 mm x 175 mm at 350 mm centres for spans up to 3 m, 35 mm x 225 mm at 350 mm centres for spans up to 5 m. All to have one row 35 mm x 44 mm herring-bone bridging or 35 mm x depth of joist solid bridging. Joist to be doubled where carrying partition.
- 3.5.2** Trimmers and trimming joists 75 mm thick x depth of joist to opes and chimney breasts and kept 50 mm clear of breasts. Trimming and trimmed joists to be supported by approved fittings or to be checked on to battens spiked to supporting joist.
- 3.5.3** Ground floor joists 35 mm x 115 mm at 350 mm centres, to be spiked to wall plates (tassels). Trimming timbers to be 44 mm thick x depth of joist.
- 3.5.4** Ground floor tassels 44 mm x 75 mm treated with preservative set level and bearing solidly on D.P.C.
- 3.6 Ventilation**  
Provide through ventilation under timber ground floors by means of 225 mm x 150 mm metal or concrete louvred ventilators in external walls. Sealed ducts to be formed through cavities in external walls. Openings to be left in tassel walls and in rising walls of partitions and piped ducts to be formed under intervening concrete floors to ensure through ventilation. Space from surface of sub-floor to underside of bottom of ground floor joists to be not less than 125 mm.
- 3.7 Flooring**
- 3.7.1** Remove all debris from sub-floors before flooring. Flooring 22 mm T & G well cramped, twice nailed with 60 mm cut brads, in narrow widths to minimise the effects of cupping and shrinkage or 18 mm flooring grade chipboard, density 700 kg/m<sup>3</sup> on joists at 400 mm centres with 44 mm x 44 mm noggins to support cross joints. Long joints shall be made along the centre of a joist. Adjacent sheets shall have an expansion gap of 3 mm between them, with 20 mm gap between edges of sheet and adjoining walls, the edges being treated with fungicide. Sheets should be fixed at 300 mm centres and not nearer than 12 mm to edge of sheet. Exposed chipboard floor surfaces to be sealed with resinous sealer.
- 3.7.2** Suspended floors. Where soffit of suspended floor is exposed externally insulate as necessary and sheet with material suitable for external use and having half hour minimum fire rating.
- 3.8 Grounds**  
Pretreated timber grounds shall be securely built in, to provide means of fixing frames and trimmings.
- 3.9 Stud Partitions**  
Studs, head and sole pieces, and bridging 35 mm x 75 mm. Studs at 350 mm to 400 mm centres. Sole piece to be well spiked to floor and if parallel to joists, shall be carried on doubled joist. Provide 2 No. rows of noggings. Where a partition is load bearing increase timber sections as required. For finish see 6.6.
- 3.10 Proprietary Partitions**  
Accepted proprietary partitions, erected to manufacturer's instructions, may be used.



**3.11 Stairs**  
Stairs shall have 2 m headroom measured vertically from the pitch line and 1.5 m clearance measured at right angles to the pitch line; width 860 mm, going 220 mm minimum, rise 200 mm maximum.

**3.12 Lighting to Stairs and Landings**

**3.12.1** Lighting to stairs, landings, halls and corridors shall be provided by a suitably placed window or roof-light or borrowed lighting from rooms.

**Rest of Stairs**

**3.12.2** Stairs shall have 32 mm red deal round nosed treads and 22 mm risers all glued blocked and bracketed checked and wedged into 44 mm strings. Newel posts, balusters and hand rails to be standard machine prepared sections or suitable steel/timber combination. Open treads shall be not less than 44 mm hardwood, and may be used in accepted special construction with timber, steel or reinforced concrete.

**3.12.3** Every flight shall be adequately protected on each side and have at least one handrail, secured at a height not less than 840 mm and not more than 1 m measured vertically from the pitch line. Closed string stairs shall be to I.S. 158.

**3.13 Windows**

Sliding, hung or pivoted timber sashes and frames to be made from standard machine-prepared sections pressure impregnated with preservative.

Wood casement windows shall be to I.S. 63.

Galvanised steel casement windows shall be to I.S. 60.

Aluminium or P.V.C. windows of accepted make may also be used, in accordance with manufacturer's instructions.

*NOTE.* Glazed area to be not less than 10% of floor area of room.

Opening area to be not less than 5% of floor area of the room.

Window boards shall be 32 mm wrot, moulded on edges and corners and secured to grounds.

**3.14 External Door Frames**

External door frames shall be machine prepared 75 mm x 115 mm in wrot deal, rebated in the solid, secured to grounds and dowelled at foot to heel blocks.

*NOTE.* Under no circumstances should feet of external door frames rest on, or be set into, concrete paving or step.

**3.15 Internal Door Frames**

Internal door frames shall be 35 mm thick wrot deal with 16 mm planted stops or 44 mm thick wrot deal rebated in the solid, secured to grounds.

**3.16 External Door**

External doors shall be to I.S. 48 or I.S. 52, hung on 1½ pair 100 mm steel butt hinges.

**3.17 Internal Door**

Internal doors to habitable rooms shall be to I.S. 48 or I.S. 52 hung on 1 pair 100 mm steel butt hinges. Sliding doors to be not less than 44 mm thick and hung on acceptable proprietary track.

**3.18 Trap Door**

Form trap door 500 mm square or half hour fire rating suitably located to give access to roof space.

**3.19 Hot Press**

Hot press to have not less than 2m<sup>2</sup> of spar shelving, 22mm x 44mm wrot, at 75mm centres supported on 22mm x 44mm battens. Where necessary, the cylinder shall be carried on 22mm T and G on 35mm x 75mm framed bearers. Hang suitable door, framed to prevent warping and fitted with suitable catch. Holes for pipes etc. to be neatly made good.

*NOTE.* Hot press doors are very liable to distort due to temperature difference. Consideration should be given to insulating the inner face of the door.

**3.20 Fitments**

All fitments and built-in units shall be of such design, material and workmanship so as to satisfy completely the demands of normal usage.

**3.21 Trimmings**

**3.21.1** Skirtings 16mm x 100mm wrot deal to all floors well fixed to grounds. Plastic skirting may be used where appropriate.

**3.21.2** Architraves may be 16mm x 75mm wrot deal or as necessary to form neat joint, mitred at angles and securely fixed to grounds.

**3.21.3** Saddles shall be hardwood, cut of 22mm x 150mm splayed, scribed to door frames and secured to floor. For external doors accepted proprietary thresholds may be used.

**Section 4 IRONMONGERY AND GENERAL**

**4.1 Eave Gutters and Rain Water Pipes**

Eave gutters and rain water pipes shall be to relevant I.S.S. and may be:-

GUTTERS	I.S.	PIPES
125 mm	42	75 mm Cast Iron
125 mm	59	75 mm 14 SWG galvanised pressed steel
125 mm	71	75 mm Asbestos cement
125 mm		75 mm Aluminium
115 mm		65 mm P.V.C.

Metal and A.C. gutters to be supported on suitable brackets at not more than 2m centres, joisted with mastic compound (and gaskin washers in the case of asbestos cement) and bolted with galvanised gutter bolts and nuts. P.V.C. gutters to be supported on suitable brackets at not more than 1m centres and jointed in accordance with manufacturers instructions. Gutters to be set to falls. At least two stacks of rain water pipes shall be provided secured by holder brackets and kept clear of wall. Provide and fit all necessary matching stop ends, angles and drop nozzles, swannecks, hopper heads and toes. Rainwater pipes to discharge approximately 50mm above gully grid.

**4.2 Windows**

See 3.13.

**4.3 Sash Fittings**

All opening sashes shall be fitted with strong metal fasteners. Centre pivoted, top, side or bottom hung sashes to have suitable stay gear. Up and down sashes shall be hung on brass bushed and faced steel sash pulleys with suitable sash cords and weights or on accepted patent hanging gear.

**4.4 Door Fittings**

Internal doors shall be hung on one pair 100mm steel butt hinges and fitted with suitable mortice type lock or catch and complete with furniture. Provide bolt or locking device to bathroom and toilet doors.

External doors shall be hung on 1½ pair of 100mm steel butt hinges. Entrance door shall be fitted with cylinder night latch and external pull handle. Provide and fit letter place on or near door. Other external doors shall be fitted with bolt and rim or mortice lock suitable for external use. See 12.1.3.

**4.5 Ventilation Grids**

External openings to ventilators shall be fitted with galvanised cast iron, aluminium, concrete, or accepted P.V.C. louvered grids. See 2.13.3.

## Section 5 ROOFING

### 5.1 Sarking Felt

Untearable sarking felt to I.S. 36 shall be laid under all slates and tiles, lapped horizontally not less than 75 mm for pitches greater than 25° and 150 mm for lesser pitches, carried down into eave gutters. Side lap shall not be less than 150 mm for pitches over 25° and 500 mm for lesser pitches. Felt to be carried fully over ridge board.

### 5.2 Laths or Battens

Laths or battens shall be 44 mm for rafter spacings not greater than 400 mm. For spacing up to 600 mm battens not less than 44 mm x 44 mm shall be used. Tilting fillet to be provided at eaves where necessary.

### 5.3 Quarry Slates

Quarry slates shall be laid to a minimum pitch of 30°, lap 100 mm fixed with 2 No. 10 gauge galvanised slating nails double course at eaves, and slate and a half at verges, with slate slip under.

### 5.4 Asbestos Cement Slates

Asbestos cement slates shall be to I.S.7. The normal pitch for asbestos cement slates shall be 30°, lap 100 mm. Each slate shall be fixed with 2 No. 10 gauge 35 mm galvanised nails and copper crampion at bottom. Provide double course at ridge and treble course at eaves.

Asbestos cement slates may be laid at a pitch lower than 30° in special circumstances.

### 5.5 Concrete Roofing Tiles (normal pitch — 30° and over)

Concrete roofing tiles (normal pitch) shall be to I.S.3 laid to a pitch of not less than 30°. Every tile in every alternative course to be fixed with 1 No. 50 mm 10 gauge galvanised nail. Lap 75 mm clear of nail hole. Pantiles shall be closed at eaves with a course of plain tiles or slate underclock and suitably coloured sand/cement pointing. Alternatively patent eave closer and filler clip may be used.

### 5.6 Concrete Tiles (low pitch — under 30°)

Low pitch concrete tiles shall be laid in accordance with manufacturers instructions and to the minimum pitches accepted by the Department which may not be as low as those recommended by the manufacturers.

### 5.7 General

Slates and tiles to be neatly trimmed where necessary. Part tiles and slates to be adequately secured.

Drip overhang to be provided at eave and valley gutters.

At verges slates or tiles shall oversail wall face or barge, by at least 25 mm in the case of slates and 50 mm in the case of tiles, and shall be neatly pointed in suitably coloured sand/cement mortar.

Ridge and hip tiles shall be bedded in gauged mortar and pointed with cement mortar, suitably coloured; bedding and pointing to be done in one operation.

Provide suitable hip hooks, screwed to end of hip rafters. In industrial atmospheres special nails may be necessary. Over party walls the space between battens shall be filled with mortar to complete fire stop.

### 5.8 Flashings

Valley gutters, cover flashings and flashings to chimneys shall be

- (1) No. 5 lead to B.S. 1178
- (2) 22/24 gauge medium hard copper
- (3) 20 gauge super-purity aluminium. (18 gauge to valleys and parapet gutters).
- (4) accepted proprietary systems.

To chimney, flashing shall consist of aprons, soakers and cover flashings. The latter shall be secured in a chase in concrete block chimneys, wedged and pointed in with cement fillet formed over. To brick chimneys cover flashings shall be stepped, wedged and pointed into brick joints. Saddle pieces shall be provided at all ridges and roof intersections. Valley gutters shall be laid on felt on 20mm x 225mm wrot boarding treated with wood preservative, and turned up at edges under roof felt tiles or slates.

#### 5.9 Felted Flat Roofs

Wall plates 44mm x 75mm fixed as described. Joist sizes according to span, spaced to suit decking and pitched or firred to fall of 1 to 80. Roof to project 200mm beyond face of wall, or finish with a parapet with 150mm upstand, suitably capped and flashed. Fascias and soffits as previously described. Decking 22mm T & G laid as for floors, plywood, or chipboard not less than 600 kg/m<sup>3</sup> of thickness.

12 mm for joists (rafters)	at 300 mm centres
15 mm for joists (rafters)	at 400 mm centres
18 mm for joists (rafters)	at 500 mm centres

or proprietary decking to manufacturers instructions. Angled wood fillets at upstands and verges out of 75 mm x 75 mm.

Plywood, chipboard or wood wool decking must be kept dry at all times and should be felted immediately after fixing. Any sheets which have been allowed to get wet must be replaced, as their strength has been seriously impaired.

First layer of felt 1 ply, close random nailed all over with galvanised clout nails. Second layer 2 ply stuck down all over with special mastic solution or hot bitumen.

Final layer as for second. Each layer in reverse directions, final layer parallel to eave carried over 22mm x 44mm batten (on fascia) at eaves and down into gutter. Felt at verges to be properly finished with welted apron dressed back over camphered verge fillet. Final layer shall be mineral surfaced, or alternatively covered with light coloured pebbles or chippings stuck on suitably, or as required by local authority. On pitched roof the final layer of felt shall be laid at right angles to eave and lapped away from the prevailing wind. The pitch shall not exceed 20° and the timbers shall be as described in 3.1 and 3.2. Insulate as necessary.

## Section 6 PLASTERING

### 6.1 External Plastering

225mm hollow block, 225mm solid block and chimney stacks:-  
scud walls in 3:1 sharp sand and cement. Apply 2 coats of plaster (1 cement: 1 lime: 6 sand). The total thickness of plaster shall be 20mm minimum. The second coat to be finished nap or smooth or combed for rough cast or pebbledash; or prepared for proprietary finish.

275mm cavity walling may be scud and one coat 1:1:6 plaster approximately 13mm thick and finished as above.

### 6.2 Rough Cast

Rough cast shall consist of 5-6 parts washed sand and pebbles: 1 part lime: 1 part cement.

### 6.3 Reveals

Plaster reveals to opes shall be 20mm thick and finished smooth with scored drip groove to soffit of head. All arrises shall be neatly finished.

### 6.4 Plinths

Plaster plinths to be finished smooth, and neatly cut off or weathered at top edge.

Plaster finish to extend below finished ground level.

- 6.5 Internal Plastering**  
Scud walls and plaster one coat 12mm thick, 1 cement: 1 lime: 6 sand. Finish with neat gypsum plaster skim, or a grey coat of gauged mortar applied with wood float. Alternatively proprietary finishes may be used to manufacturers instructions.
- 6.6 Stud Partitions and Ceilings**
- 6.6.1** Stud partitions and ceilings to be covered with 10mm plaster boards or slabs with skimmed plaster finish or alternatively 12mm patent plaster sheets, all erected, jointed and finished to manufacturers instructions.
- 6.6.2** All wall plastering should be carried behind skirtings and architraves.  
All internal wall and ceiling finishes, including decorative finishes, shall comply with the relevant local fire requirements.
- 6.7 General**  
Precautions shall be taken to protect floors and surrounding work during plastering. Make good neatly to holds for pipework etc.
- Plasticisers, water proofers, sealers, and bonding agents shall be used in accordance with manufacturers instructions.

## Section 7 PLUMBING

- 7.1 Service Pipe**  
Incoming service pipe to be 15mm diameter laid in trench 600mm deep, or otherwise suitably protected against frost, and connected to internal stopcock.
- 7.2 Cold Water Supply**  
From stopcock take 15mm cold supply direct to sink with branch to high pressure ball valve in service tank, capacity 225 litres, for 3 bedroom houses or 360 litres for 4 or more bedrooms or as required by local authority. Tank to be covered and adequately supported over a partition where possible and at such height as to ensure proper working of the system. Provide 22mm overflow from tank to discharge externally. Connect to service tank 50mm over bottom of tank and take 22mm feed to 150 litre hot water cylinder to IS 161 with 22mm branch over top of cylinder to bath and 15mm connections off wash hand basin and W.C.
- 7.3 Hot Water Supply**  
An adequate water heating apparatus must be provided and fitted in accordance with manufacturers instructions. Flow and return pipes, where appropriate, shall be as recommended by the manufacturer of the heating apparatus. A 22mm copper or stainless steel expansion pipe to be taken from top of cylinder to discharge over service tank, with a 22mm dq. branch to bath and 15mm connections off for wash hand basin, sink etc.
- 7.4 General**
- 7.4.1** Fit full way stopcock on cold feeds from service tank and fit draw off cock at lowest convenient point of system. On no account should a stop-cock be fitted on an expansion pipe.
- 7.4.2** Copper tubes shall be certified as complying with Irish Standard Specification I.S. 238 — 1980 in accordance with the Irish Standard Mark Licensing Scheme of the Institute for Industrial Research and Standards and shall bear the Irish Standard Mark.

- 7.4.3 Plastic pipes to I.S. 123, 134, or 135 where used shall be fixed at least 75mm clear of hot pipe runs. Pipes shall be fixed in straight lines as far as possible, properly jointed with patent fittings and adequately supported and secured with proper pipe clips.
- 7.4.4 Storage tanks and pipes to be insulated against frost where necessary.
- 7.4.5 Where other domestic water heating systems are used they shall be competently designed and installed.
- 7.4.6 **Compression tube fittings of copper alloy**  
Compression tube fittings of copper and copper alloy shall be certified by the Institute for Industrial Research and Standards under the Irish Standard Mark Licensing Scheme as complying with I.S. 239:1980 "Compression tube fittings of copper and copper alloy", and shall bear the Irish Standard Mark.
- 7.5 **Sink**  
Provide and fit in kitchen or scullery stainless steel sink and drainer to I.S. 132 suitably supported, or alternatively white glazed fireclay sink 600mm x 400mm x 250mm supported on 2 No. iron or steel brackets and fitted with suitable drainer. Sink to be provided with adequate overflow. Top of sink to be not less than 850mm over floor level. Form enclosed press, with raised floor and recessed plinth under sink and drainer.
- 7.6 **Bath and Wash Hand Basin**  
Fit where indicated a bath in vitreous enamelled cast iron or other accepted material, minimum length 1700mm nominal and panelled as necessary and vitreous china wash hand basin 550mm x 400mm suitably supported and secured with not less than 150mm clearance to sides. Both to be provided with adequate overflow.
- 7.7 **Plugs, Traps, Wastes and Taps**  
15mm hot and cold chrome plated brass taps to be fitted to sink and wash hand basin, and 22mm do. to bath. Provide 42mm waste fitting to bath and sink and 35mm to wash hand basin. All complete with plug and chain. Fit S or P trap, complete with cleaning eye and copper, lead or acceptable plastic waste pipe adequately secured and fitted with cleaning eyes as necessary and discharging approximately 50mm over gully trap.
- 7.8 **W.C. Suite**  
Provide and fit where indicated W.C. suite, with cistern, to I.S.70, all fully supported and secured. Connect to soil pipe with proprietary flexible coupling or other acceptable joint. Cistern to be provided with adequate overflow.
- 7.9 Pipes shall not be jointed within the thickness of a wall.

## Section 8 DRAINAGE

- 8.1 **Trenches**  
Trenches shall be excavated to the necessary depths, widths and falls to allow the drains to be properly laid. The water service shall be in a separate trench from the drain. See also 1.3.2.
- 8.2 **Drain**  
The main and branch drains shall be 100mm diameter laid to continuous falls of not less than 1 in 60 or not more than 1 in 30, with bends and junctions, splayed in the direction of flow, where required, and laid in straight lines from manhole to manhole. The drain shall be P.V.C., cast iron, impermeable glazed ware with flexible joints or concrete with flexible joints, all laid, jointed and back filled to manufacturers instructions or shall be socketed impermeable glazed ware or concrete supported on continuous concrete bed mix B 100mm thick x 300mm wide for full length of each pipe and haunched half way up the pipe after testing and shall be jointed in cement mortar, well worked in against 2 rings of tarred gaskin and finished with a neatly worked fillet. Clean pipe internally as necessary after each joint is made.

- 8.3 Back Filling**  
Immediately over pipes back fill in fine material and fill remainder of trench in selected excavated material, well rammed and remove surplus spoil.
- 8.4 Drains under Roads and Buildings**  
Where drains pass under roadways or are likely to be subjected to heavy traffic, they should be fully encased in 150mm concrete, mix B. Drains shall not be taken under any buildings unnecessarily, but where this is unavoidable pipes shall be cast iron, or encased in 150mm of concrete mix B or otherwise to local authority requirements and laid in straight lines. Form ducts through rising walls or foundations as necessary to avoid damage to drains.
- 8.5 A.J.s, Manholes, Drop-Manholes**  
Armstrong junctions or manholes as suitable shall be provided at each change in direction or gradient of drain and at septic tank and of such dimensions and spacing as to permit easy cleaning of the system. Manholes shall be built in 225mm concrete walls on 150mm thick concrete floor mix B, with glazed channels, bends and branches, suitably benched. Benching and internal walls to be finished smooth in cement mortar. Fit cast iron, reinforced concrete, or hot dipped galvanised steel frame and cover. Covers to have provision for lifting. Where required by local authority, outfall manholes shall be formed, with interceptor trap, stoppered cleaning eye and air inlet.
- 8.6 Gullies and A.J.s**  
Gullies and Armstrong junctions to be set level, supported on 150mm concrete bed, mix B, and connected to drain as previously specified. Armstrong junctions shall have frame and cover of cast iron, aluminium or galvanised steel.
- 8.7 Gully Traps**  
Gully traps shall be set in dished concrete surround, to take wastes from bath, sink and wash hand basin and discharge from rain water pipes, and shall be fitted with cast iron, aluminium, or other suitable grid.
- 8.8 Soak Pits**  
Where sewage disposal is to be a septic tank, rain water shall be piped to a separate soak pit, not less than 6m from the house or to a suitable watercourse.
- 8.9 Septic Tank**  
Septic tank, where provided, shall be located so as not to endanger any well or other source of water supply and shall be in accordance with S.R.6 1975.  
Septic tanks to accepted prefabricated systems may also be used.
- 8.10 Vent Shaft**  
At head of drain, carry up 50mm minimum diameter vent pipe over eave level or to 1m over head of highest window within 4m of vent, secured with proper brackets and fitted with cowl or cage.
- 8.11 Single Stack Drainage**  
Single stack drainage, where provided, must be in accordance with British Standard Code of Practice No. 304 (1968).
- 8.12 Testing**  
Test plumbing and drainage on completion to ensure watertightness and efficient working of the system, and as may be required by the local authority. See also 8.2.

## Section 9 ELECTRICAL INSTALLATION

### 9.1 Installation

Electrical installation shall be in accordance with the "National Rules for Electrical Installations" obtainable from the Electro-Technical Council of Ireland and shall have, in suitable locations, at least:-

Lighting Outlets	Socket Outlets
One in every room, landing/stairway, hall and corridor.	One in every bedroom. Three singles in one living-room. Two singles in kitchen excluding any cooker point. One in each other habitable room, entrance hall or landing.

Conduit shall be used where cable is buried in plaster. Joists shall not be notched: where necessary the cable shall be taken through holes bored in centres of joists.

## Section 10 PROTECTIVE PAINTING

### 10.1 Preparation

All surfaces to be painted or otherwise protectively coated shall be cleaned down and prepared by wire brushing, sanding, planing or as necessary to obtain the best possible finish. Timber preservatives should be applied where already specified in 3.2 et seq.

### 10.2 Paints

Thinners, sealers, primers, colour washes, paints, varnishes or other brush, roller or spray applied finishes shall be of suitable manufacture for the surface and material to be covered and shall be applied strictly in accordance with the manufacturer's instructions.

### 10.3 Woodwork

All woodwork usually painted shall be knotted, stopped, primed and painted with two undercoats and one finishing coat. Alternatively, may be stained or dyed and knotted, primed and finished with two coats varnish.

Decorative hardwoods may be treated traditionally internally and shall be oiled or treated with suitable preservatives externally, or may be painted or varnished, as previously specified.

### 10.4 Metal Work

All metalwork, ironmongery, rainwater goods, shall be cleaned down, suitably primed, twice, undercoated and one coat finished.

## Section 11 GLAZING

### 11.1 Glass

All window panes up to 0.5m<sup>2</sup> shall be glazed in 3mm glass  
All window panes up to 1.5m<sup>2</sup> shall be glazed in 4mm glass  
All window panes over 1.5m<sup>2</sup> shall be glazed in 5mm or 6mm glass

All panes less than 600mm over floors shall be 6mm glass.



- 11.2 Fixing**  
Bathroom W.C. or other closet windows may be glazed in obscured glass to standard as above. Before glazing, timber rebates shall be painted and back puttied. Glass shall be sprigged and puttied with linseed oil putty to I.S.28 or other acceptable non-hardening compound and neatly struck off. 5mm glass and over shall be fixed with a suitable glazing slip, pinned and bedded in mastic. Galvanised steel windows shall be back puttied and finished with metal sash putty or other suitable mastic.
- 11.3 General**  
House to be thoroughly cleaned and all rubbish removed, on completion.

## Section 12 FIRE PRECAUTIONS

- 12.1 Garage**
- 12.1.1** Garage under first floor rooms: — the ceiling in the garage shall be 10mm plaster slab with skim coat finish or 10mm soft asbestos sheets with joints thoroughly sealed.
- 12.1.2** Garage directly under roof of house: — separating wall to be taken to plane of roof and treated as for party wall to complete fire stop. See 2.11 and 5.7.
- 12.1.3** Any door between garage and dwelling shall be self closing and door and frame shall have half hour fire rating. Garage floor shall be 100mm under floor level of house.
- 12.2 Central Heating**  
A central heating unit shall not be located in a garage.

## Section 13 VENTILATION

- 13.1 Rooms**  
Every habitable room, kitchen, and scullery shall have an opening window area of not less than one twentieth of the room area, ventilated directly to open air.
- 13.2 Bathrooms**  
Bathroom and W.C. apartment shall be ventilated as above subject to a minimum of 0.1m<sup>2</sup>.
- 13.3 Lobby**  
A ventilated lobby shall be provided between any W.C. apartment and a living room, kitchen or scullery.
- 13.4 Presses**  
All built in cupboards, presses, closets and wardrobes to be adequately through ventilated.
- 13.5 Under Floor**  
Under floor ventilation shall be as previously specified under 2.25 and 3.6.
- 13.6 Garage**  
Garage must have permanent ventilation.

## Section 14 THERMAL INSULATION

- 14.1 Insulation must be in accordance with the maximum U-Value laid down by the Department viz., a general whole building standard not exceeding  $0.85 \text{ W/m}^2\text{°C}$  and elemental values as follows:

External Walls	0.60 watts per square metre per degree celsius.
Roofs	0.40 watts per square metre per degree celsius.
Ground Floors	0.60 watts per square metre per degree celsius.
External parts of intermediate floors	0.60 watts per square metre per degree celsius.

U-values will be required to be calculated in accordance with the method for calculating standard U-values set out in Section A 3 of the C.I.B.S. Guide Book A 1980 published by the Chartered Institution of Building Services.

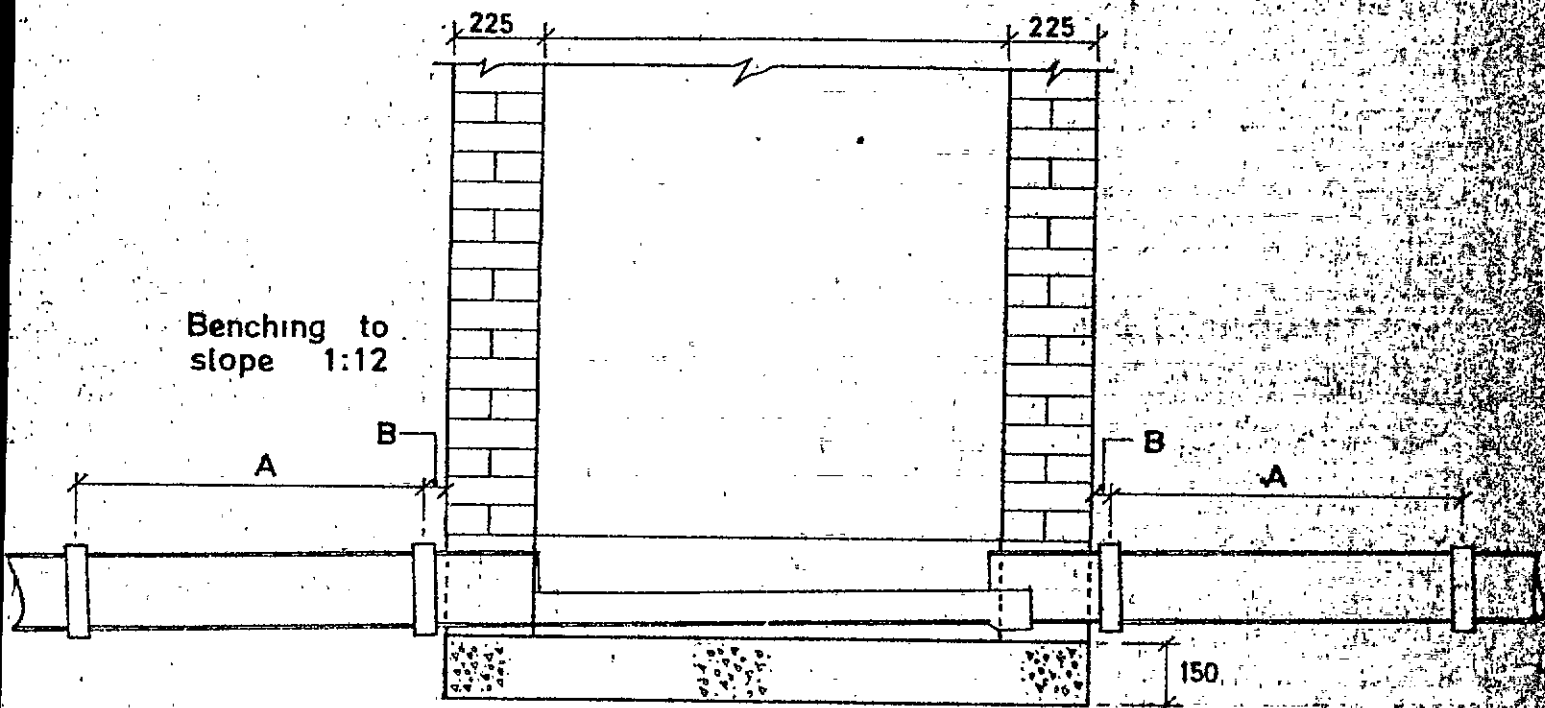
14.2 **Mineral fibre mats for thermal insulation of buildings**

Mineral fibre mats for thermal insulation of buildings shall be certified by the Institute for Industrial Research and Standards under the Irish Standard Mark Licensing Scheme as complying with I.S.260: 1984 "Mineral fibre mats for thermal insulation of buildings", and shall bear the Irish Standard Mark.

### METRIC CONVERSION

25mm	=	1 inch(es) approx.
50mm	=	2 inch(es) approx.
100m	=	4 inch(es) approx.
300mm	=	12 inch(es) approx.
600mm	=	24 inch(es) approx.
1.00m	=	39.37 inches approx.
1 litre	=	0.22 gallons
1 Kilogram	=	2.20 lbs.

Pipe Diameter	Dimension A	Dimension B
100 mm.	600 mm.	Immediately adjacent
150 mm.	600 mm.	
225 mm.	900 mm.	
300 mm.	900 mm.	

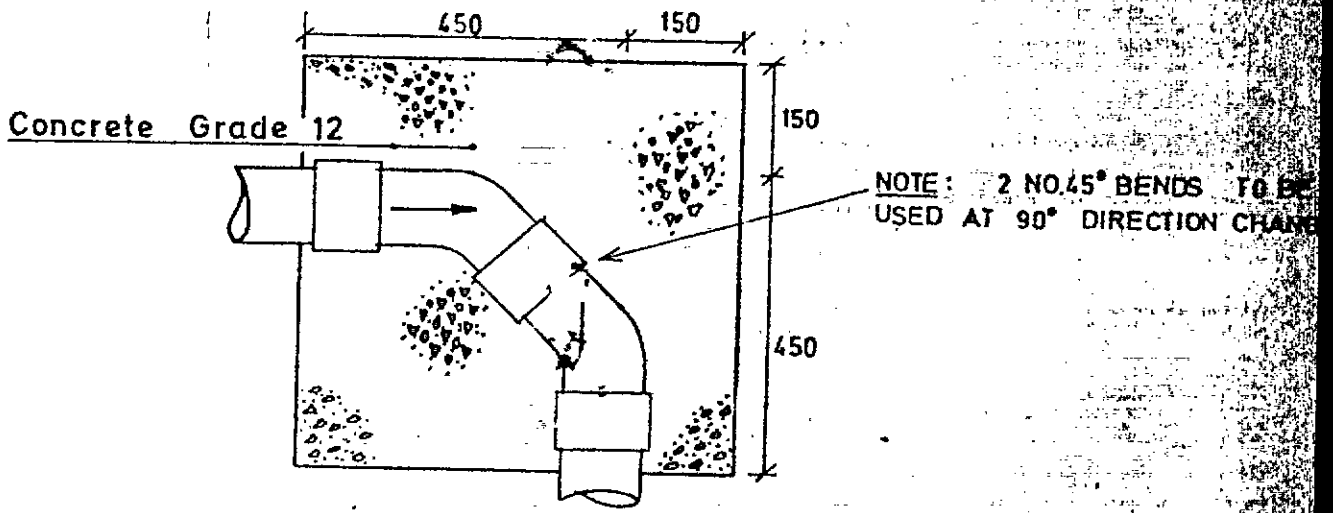


PIPE CONNECTION AT MANHOLE

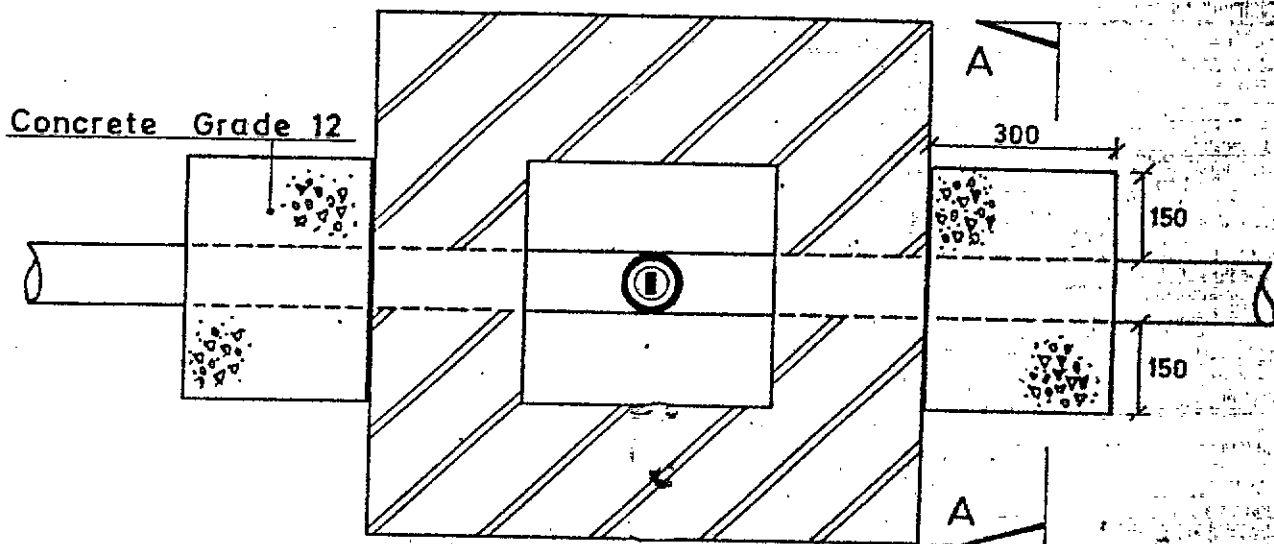
Figured dimensions only to be used

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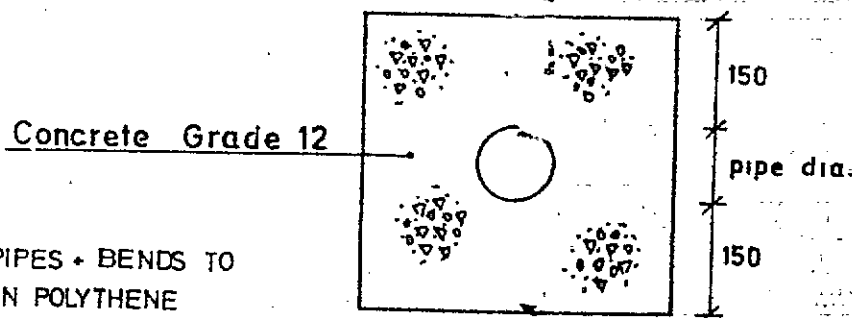
CODE	DWG	SCALES	JOB No.
	PIPE CONNECTION AT MANHOLE	DWN	DWG No.
		CKD	
		DATE	



Anchor Block at Change of Direction



Anchor Blocks at Sluice Valve



Section A-A

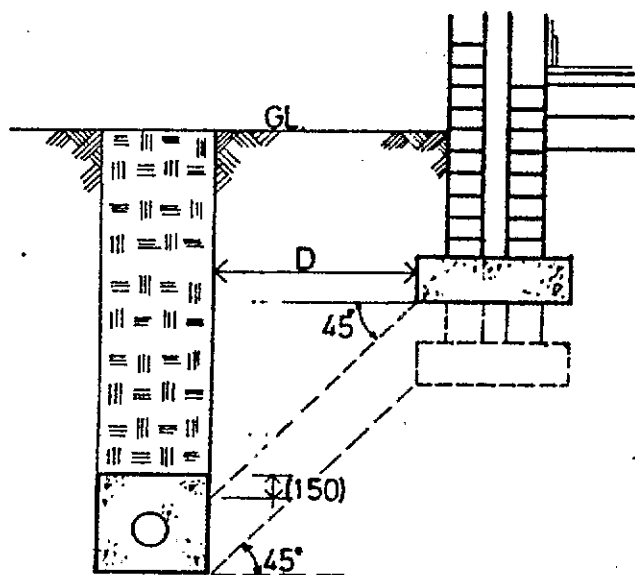
NOTE: P.V.C. PIPES + BENDS TO BE ENCASED IN POLYTHENE BEFORE SURROUNDING IN CONCRETE

Pipe Anchorage for water mains

Figured dimensions only to be used

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CODE	DWG	SCALES	JOB No.
	PIPE ANCHORAGE	DWN CKD DATE	DWG No.

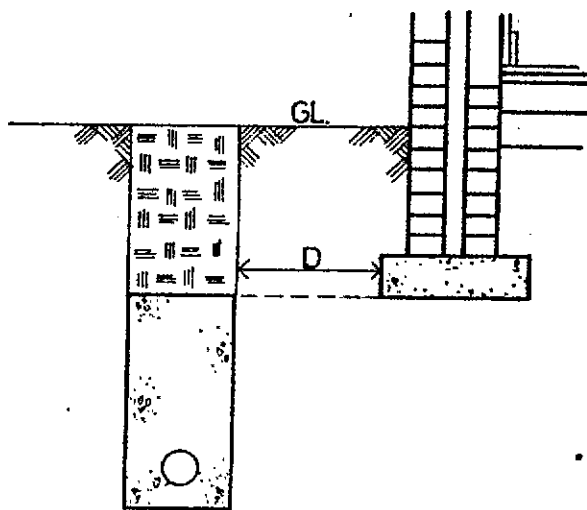


NOTE

Where 'D' is greater than 1.00 m, the trench must be filled with lean concrete to the level shown.

The concrete filling must have movement joints at a max. of 9m. centres.

Alternatively house foundation level may be taken below 45° cut off line from nearside pipe bedding



NOTE

Where D is less than 1.00 m, the trench must be filled with lean concrete to the level of the underside of the foundation.

## FOUNDATION AND DRAIN PROTECTION

Figured dimensions only to be used

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CODE	DWG	SCALES	JOB No.
	FOUNDATION AND DRAIN PROTECTION	1:50	
		DWN	DWG No.
		CKD	
		DATE	



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1,  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION  
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 2978 /91      Date of Decision : 2nd July 1991

Register Reference : 91A/0203

Date Received : 8th May 1991

Applicant : Angela Lawler

Development : Bungalow and septic tank

Location : Cailliaghstown, Rathcoole

Time Extension(s) up to and including :

Additional Information Requested/Received : 150491//080591

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

subject to the conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- 6.....ATTACHED.

Signed on behalf of the Dublin County Council.....  
for Principal Officer

Date: 3.7.91.....

Damian O'Flynn Associates,  
Architects,  
Barrettstown,  
Newbridge,  
co. Kildare.

## NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,  
Blocks 6 and 7  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

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5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Reg.Ref. 91A/0203  
Decision Order No. P/ 2978 /91  
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

C O N D I T I O N S / R E A S O N S

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye- Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That the proposed house be used as a single dwelling unit.

REASON: To prevent unauthorised development.

04 The septic tank and percolation areas shall accord with standards set out in "Recommendations for Septic Tank Drainage Systems", SR6, 1975, available from Eolas.

REASON: In the interest of health.

05 That one house only shall be constructed on the entire area of the site outlined in red and the site outlined in blue on the Drawing No. 0010-02. Received by Dublin County Council on 19.02.91.

06 The house, when completed, shall be first occupied by the applicant and/ or members of her immediate family.

06 REASON: In the interest of the proper planning and development of the area.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.



## NOTES

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5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach facht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/0203

Date : 8th May 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

---

Dear Sir/Madam,

DEVELOPMENT : Bungalow and septic tank

LOCATION : Cailliaghstown, Rathcoole

APPLICANT : Angela Lawler

APP. TYPE : Additional Information

With reference to above, I acknowledge receipt of your application received on 8th May 1991.

Yours faithfully,

.....  
PRINCIPAL OFFICER

Damian O'Flynn Associates,  
Architects,  
Barrettstown,  
Newbridge,  
Co. Kildare.

**DAMIAN O'FLYNN ASSOCIATES**

James J. SMYTH MR IAI RIBA  
Damian P. O'Flynn MR IAI (Tech)

ARCHITECTS

BARRETTSTOWN NEWBRIDGE CO KILDARE TELEPHONE 045-33400

Dublin County Council,  
Planning Department,  
Block 2.  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.  
-----

91A/0203  
2-0-0  
A.1

7th May 1991.

Additional Information.

Your Ref;- No.91A/0203.

Re/- Planning Application for Bungalow and Septic Tank at Calliaghstown,  
Rathcoole, For Angela Lawler.  
-----

Dear Sir/Madam,

With reference to the above, and your letter dated 17th April 1991, we  
now outline the following information as requested.

- (01) Please find enclosed copy of letter from applicant indicating her need  
to live in the area.
- (02) A trial hole was opened and inspected by the Supervising Environmental  
Health Officer, Mrs. Anne O'Donoghue, to ascertain the suitability of  
the site for Septic Tank effluent.

Hoping the above is in order.

Yours faithfully,

.....  
Damian O'Flynn, for Damian O'Flynn,  
Associates, Architects.

08 MAY 91

ENC/-  
-----

Callaighstown,  
Rathcoole,  
CO. DUBLIN.

DUBLIN COUNTY COUNCIL  
Planning Dept Registry Section  
APPLICATION RECORDS

6<sup>th</sup> MAY 1991

THE PLANNING MANAGER,  
Planning Department,  
Dublin County Council.

8 MAY 1991

REG No. 91A/0203  
APPLICATION TYPE  
NO. 1 E

Dear Sir,

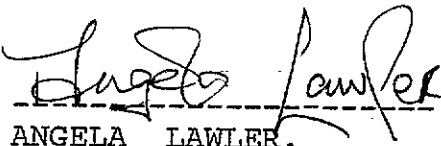
Due to your request for additional information on my recent application for a bungalow and septic tank, I wish to give you my reasons for this application.

Having been an inhabitant of this townland for almost twenty seven years, I wish to continue my life here for as long as possible. Also, the fact that my family own the land I wish to build on. I can see no reason for moving to any other area at this stage of my life.

The land is owned by my Father which in turn was owned by his family before him. The site was not bought from him but purely given to me for the purpose of building a house of my own.

Callaighstown, Rathcoole, has been my home all my life and I hope the above reasons will satisfy your question on my need to live here.

Yours faithfully,



ANGELA LAWLER.



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Decision Order Number : P/ 1550 /91      Date of Decision : 15th April 1991

Register Reference : 91A/0203                      Date Received : 19th February 1991

Applicant : Angela Lawler

Development : Bungalow and septic tank

Location : Cailliaghstown, Rathcoole

Dear Sir/Madam,

With reference to your planning application, received here on 19.02.91 in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts 1963 - 1990, the following additional information must be submitted in quadruplicate:-

- 01 The applicant is requested to indicate the need to live in the area or any connection with the area in accordance with the requirements of paragraph 2.3.9 of the County Development Plan.
- 02 The applicant is requested to submit evidence of the suitability of the site for septic tank effluent.

NOTE: In this regard applicant is advised to contact the Supervising Environmental Health Officer, Eastern Health Board, 33, Gardiner Place, (Tel. 727777) to arrange to have trial holes inspected.

Please mark your reply "ADDITIONAL INFORMATION" and quote the Reg. Ref. No. given above.

Yours faithfully

PRINCIPAL OFFICER

Date :

17/4/91

Damian O'Flynn Associates,  
Architects,  
Barrettstown,  
Newbridge,  
Co. Kildare.

## NOTES

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Building Control Department,  
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Tara Street,  
Dublin 1.  
Telephone: 773066



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Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/0203

Date : 21st February 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

---

Dear Sir/Madam,

DEVELOPMENT : Bungalow and septic tank  
LOCATION : Cailliaghstown, Rathcoole  
APPLICANT : Angela Lawler  
APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received on 19th February 1991.

Yours faithfully,

.....  
PRINCIPAL OFFICER

Damian O'Flynn Associates,  
Architects,  
Barrettstown,  
Newbridge,  
Co. Kildare.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place / in appropriate box.  
 Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building CAILLIAGHSTOWN LOWER RATHCOOLE  
 (If none, give description sufficient to identify).....

3. Name of applicant (Principal not Agent)..... MISS. ANGELA LAWLER  
 Address..... CAILLIAGHSTOWN LOWER..... Tel. No.....

4. Name and address of DAMIAN O FLYNN ASSOCIATES ARCHITECTS  
 person or firm responsible BARRETTSTOWN NEWBRIDGE LD KILDARE Tel. No 045-33400 or 088/553044  
 for preparation of drawings

5. Name and address to which notifications should be sent DAMIAN O FLYNN ASSOCIATES ARCHITECTS  
BARRETTSTOWN NEWBRIDGE LD KILDARE

6. Brief description of proposed development ERECTION OF 3 BEDROOM BUNGALOW

7. Method of drainage SEPTIC TANK 8. Source of Water Supply WELL

9. In the case of any building or buildings to be retained on site, please state:-  
 (a) Present use of each floor or use when last used..... N/A  
 (b) Proposed use of each floor..... N/A

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11. (a) Area of Site 3008 SQ.M = (0.30082 HECTARES) Sq. m.  
123.915 m<sup>2</sup>  
 (b) Floor area of proposed development..... Sq. m.  
 (c) Floor area of buildings proposed to be retained within site..... N/A Sq. m.

12. State applicant's legal interest or estate in site DAUGHTER OF LANDOWNER (OUTLINE BYE-LAW APPLICATION)  
 (i.e. freehold, leasehold, etc.).....

13. Are you now applying also for an approval under the Building Bye Laws?  
 Yes  No  Place / in appropriate box. REG. NO. 55 N 31585

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:

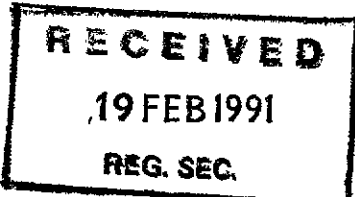
15. List of documents enclosed with COVERING LETTER, COPY OF PLANNING NOTICE  
GO DUBLIN - Application is being made to Dublin County Council for full planning permission and bye-law approval for bungalow and septic tank at Caillaghstown, Lr. Rathcoole, Co. Dublin.  
CO. COUNCIL FEES, 4 COPIES OF DRAWINGS NO. 01+02.  
COPIES OF SPECIFICATION (OUTLINE)

16. Gross floor space of proposed development (See back) 123.915 m<sup>2</sup> Sq. m.

No of dwellings proposed (if any) 1 NO Class(es) of Development 1 AND A  
 Fee Payable E. 87- Basis of Calculation AS OUTLINED IN CLASSES  
 If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (for his Agent) Damian Flynn Date.....

Application Type P/BBL FOR OFFICE USE ONLY  
 Register Reference 91A/0203  
 Amount Received E. 87870  
 Receipt No 2.12.0  
 Date.....



Ev  
 Harold  
 6/2/91



**LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.**

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
  2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
  3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
    - (a) The address of the structure or the location of the land.
    - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
    - (c) The name of the applicant.
- NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of are relevant floor plans, elevations, sections and details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
  5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
    - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
    - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
      - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
    - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
  6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£3.50 per m <sup>2</sup> (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min. £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

# COMHAIRLE CHONTAE ATHA CLIATH

PAID BY

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET, BYE LAW APPLICATION.  
DUBLIN 1.

CASH

CHEQUE

M.O.

B.L.

I.T.

REC. No. N 31588

£ 55.00

Received this

19th

day of

February

19

91

from

Tony Murphy

the sum of

fifty five

Pounds

Pence being

two

by-law application at Calliaghstown Lower

M. Deane

Cashier

S. CAREY

Principal Officer

Clas 11/1

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY

DUBLIN COUNTY COUNCIL

CASH  
CHEQUE

46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

Issue of this receipt is not an  
acknowledgement that the fee  
tendered is the prescribed application  
fee. **NY 31329**

M.O.

B.L.

LT.

£32.00

Received this 12<sup>th</sup> day of February 1991

from James Murphy

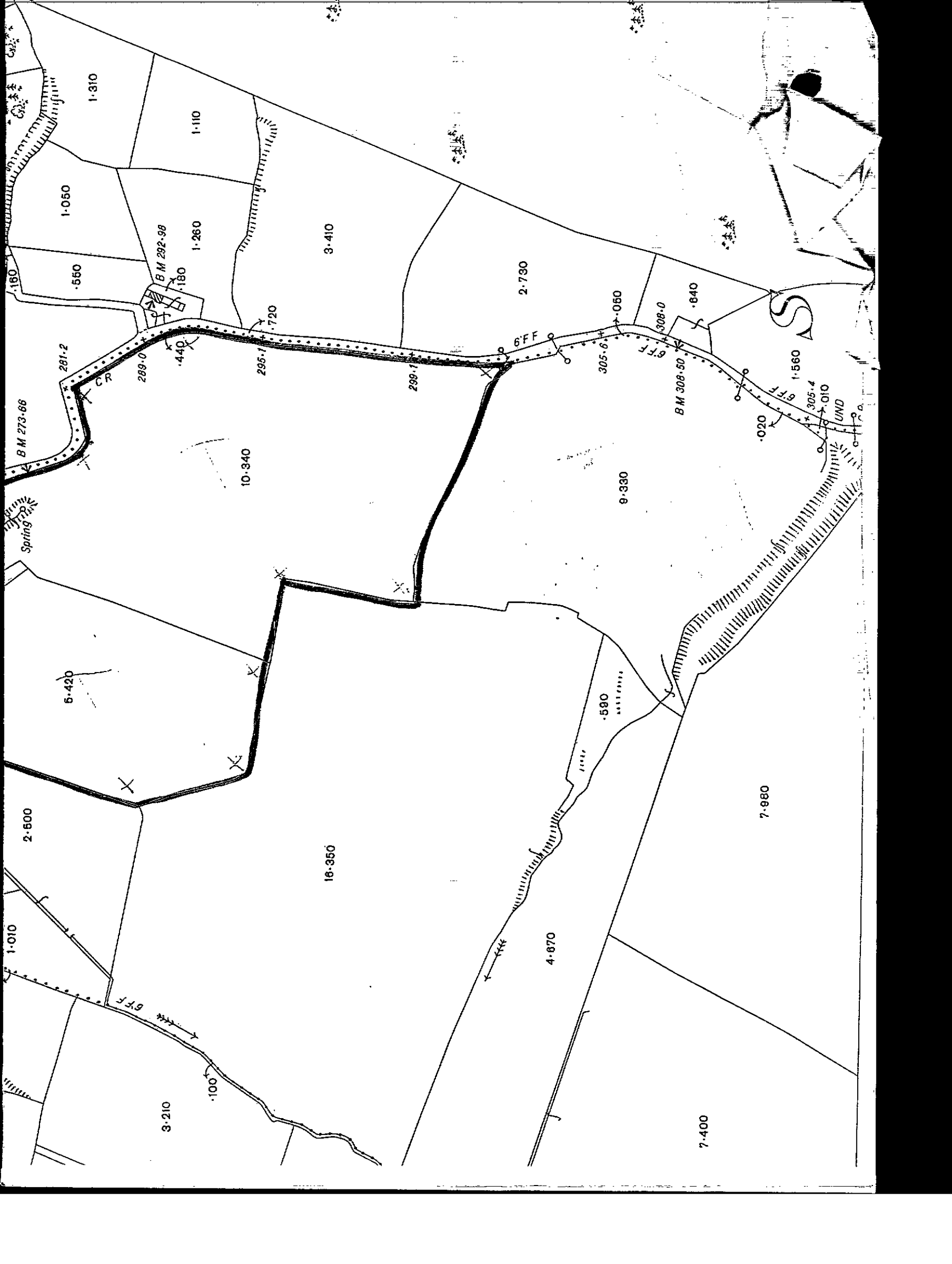
the sum of thirty two Pounds

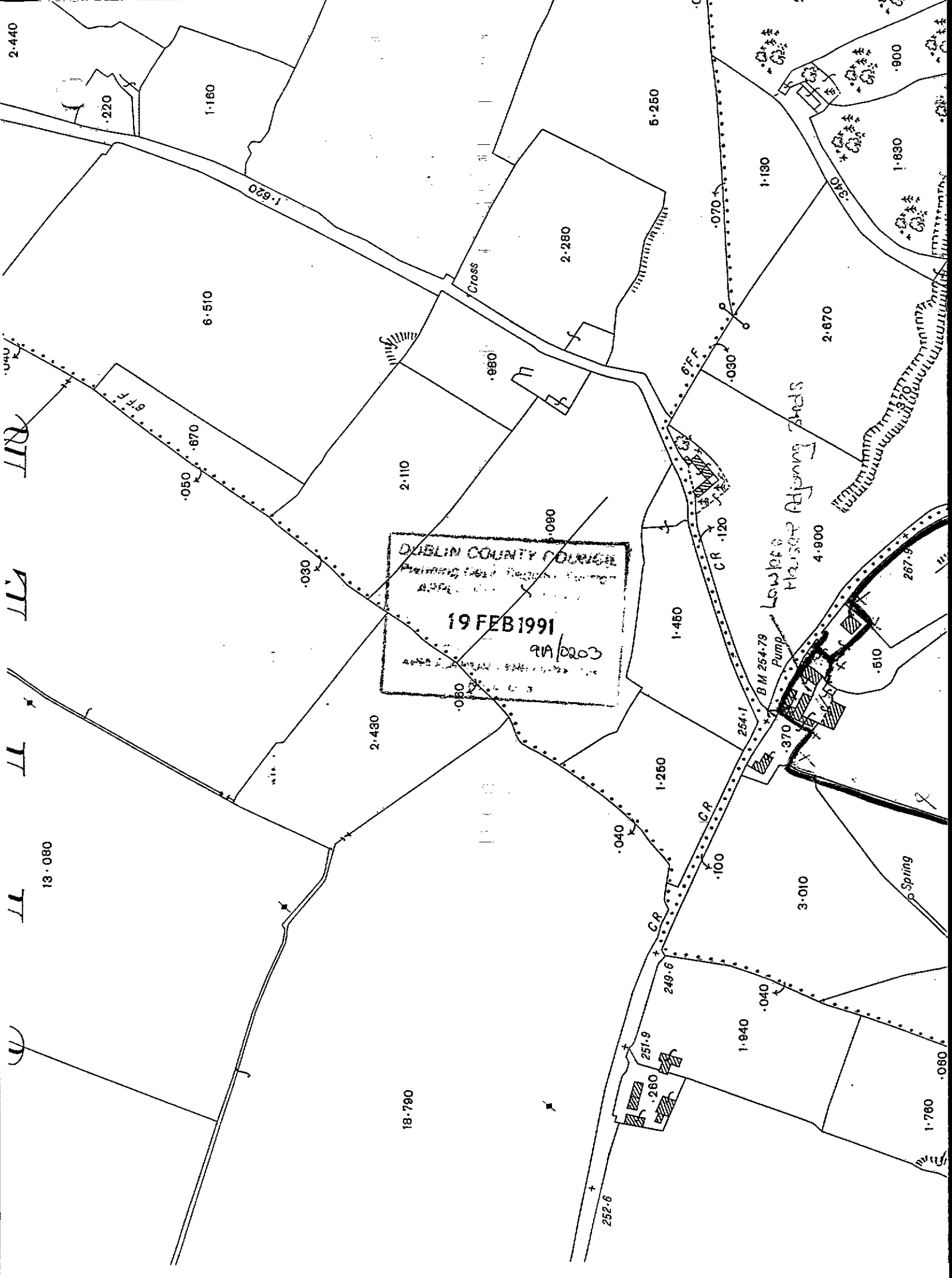
plus application at Callaghan's house Pence, being two

Abdel Kane Cashier

**S. CAREY**  
Principal Officer S. Carey







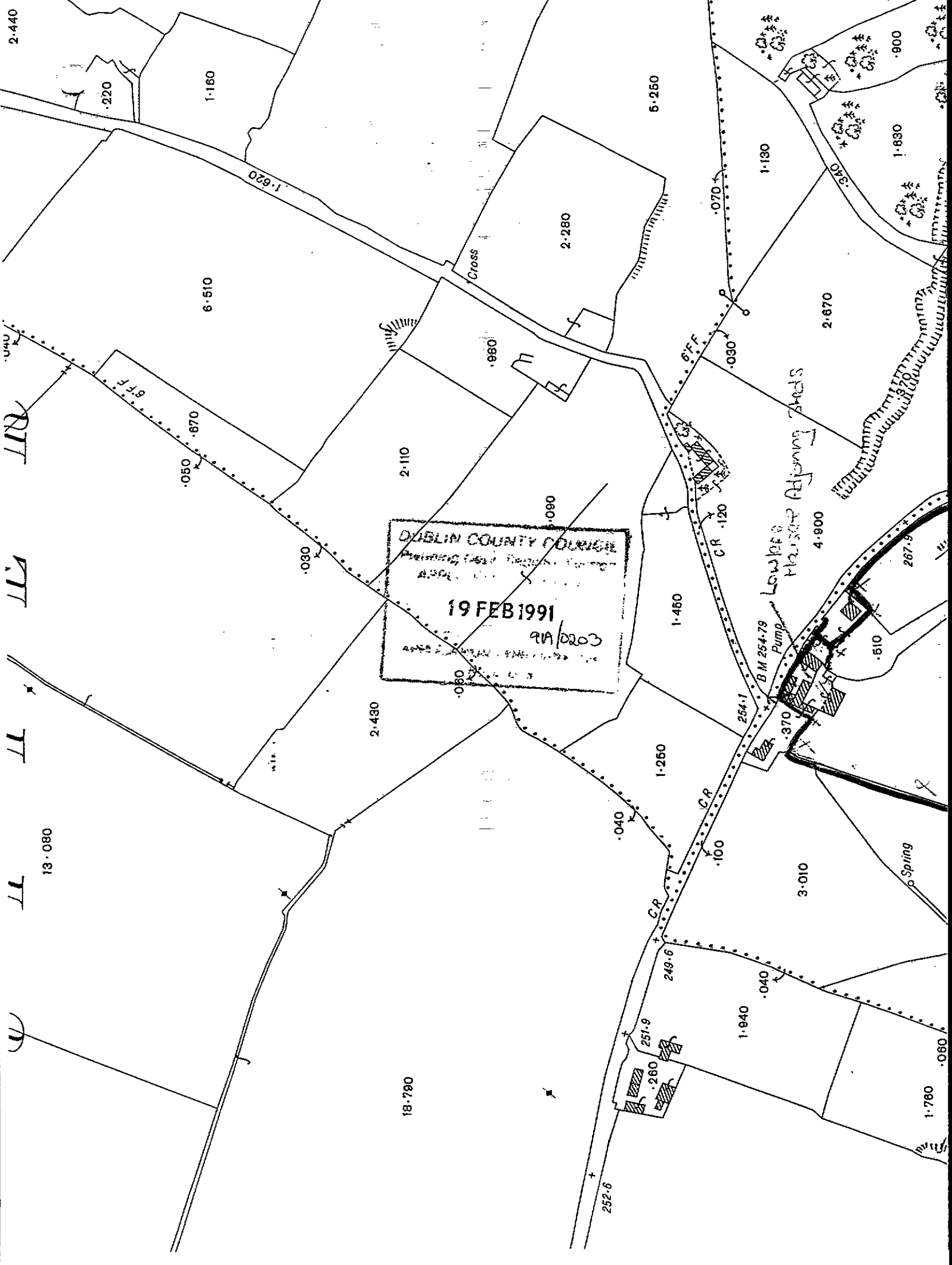
DUBLIN COUNTY COUNCIL  
Planning Dept. Dublin 4  
APPL. No. 19/2203  
19 FEB 1991  
91A/2203

Low Water House  
House Adjoining

Spring

19 FEB 1991

91A/2203





**DAMIAN O'FLYNN ASSOCIATES**

James J. SMYTH MR IAI RIBA  
Damian P. O'Flynn MR IAI (Tech)

ARCHITECTS

BARRETTSTOWN NEWBRIDGE CO KILDARE TELEPHONE 045-33400

Dublin County Council,  
Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

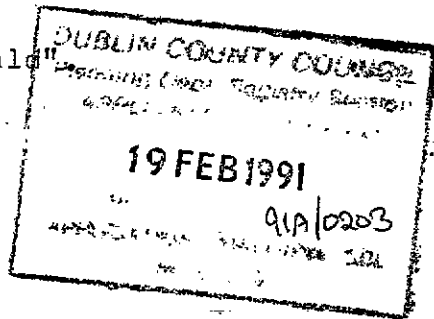
11th February 1991.

Re/- Application for Permission to Erect Bungalow and Septic Tank at  
Calliaghstown Lower, Rathcoole, Co. Dublin, For Angela Lawler.

Dear Sir/Madam,

With reference to the above, please find enclosed the following documents.

- (1) Completed Planning Application Form.
- (2) Copy of Notice in Newspaper, "Evening Herald"
- (3) Fees to the amount of £87.00
- (4) 4. copies of Drawings No. 0010.01 and .02.
- (5) Copy of Outline Specification.



I would like to bring to the County Council's notice that a trial hole will be dug on the site for the appropriate inspection to declare whether the soil is suitable for a satisfactory percolation of septic tank effluent. We will contact the Council in writing when the hole is dug and ready for inspection.

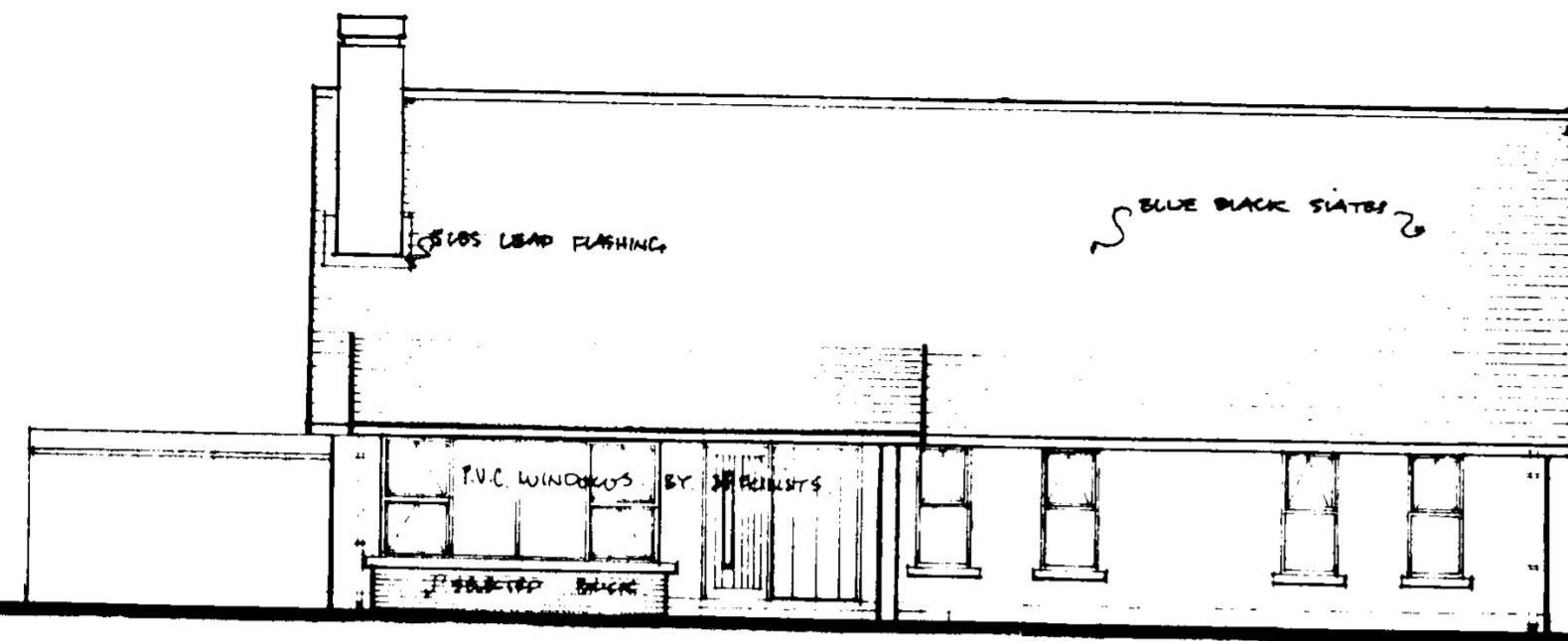
Yours faithfully,

*Damian O'Flynn*

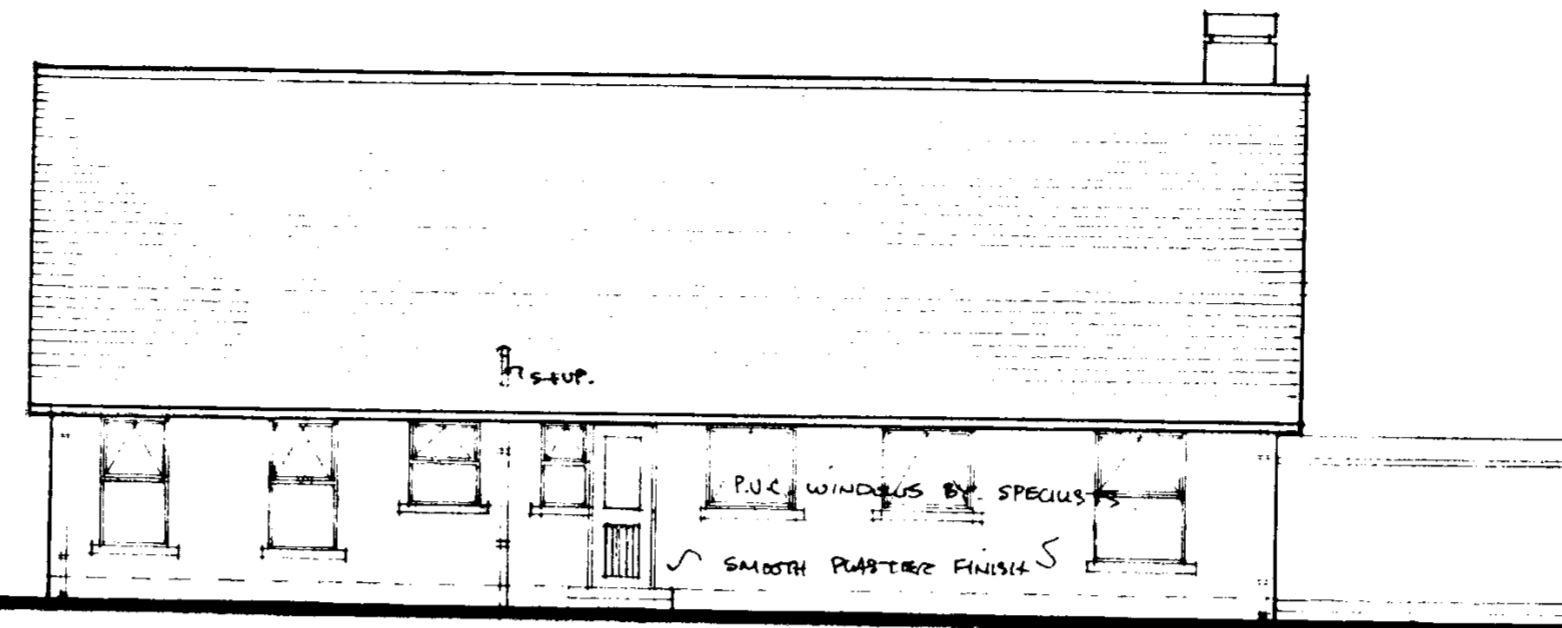
.....  
Damian O'Flynn, for Damian O'Flynn,  
Associates, Architects.

ENC/5.

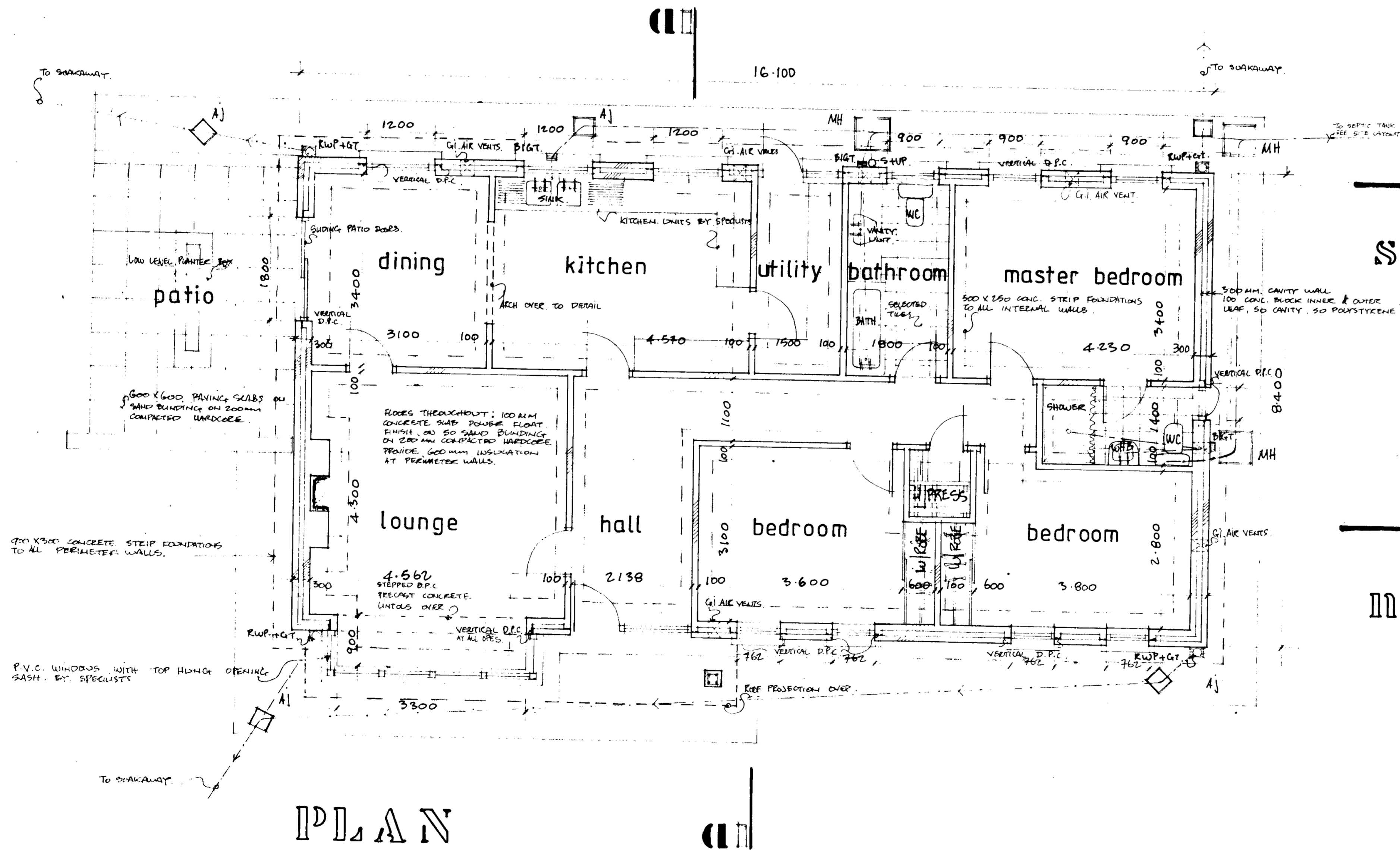




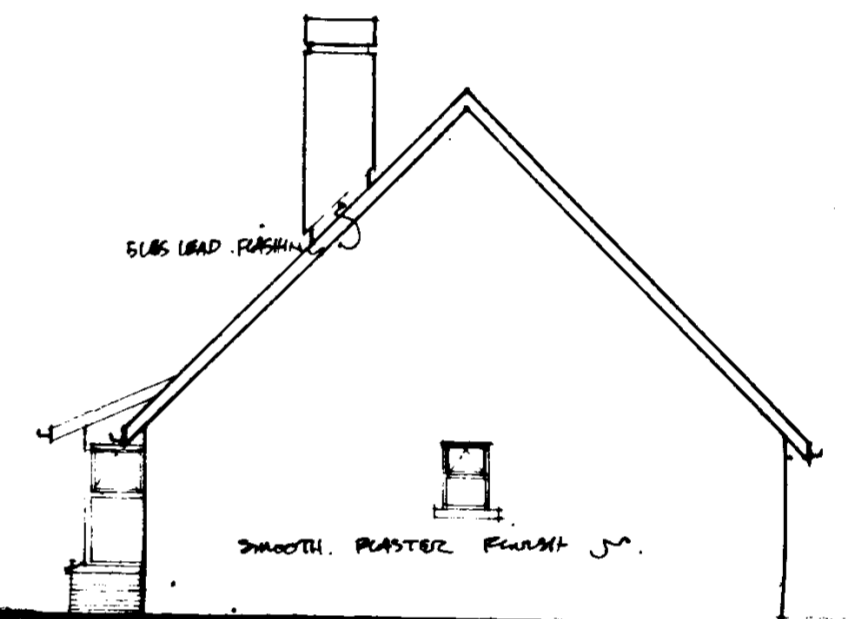
south west elevation



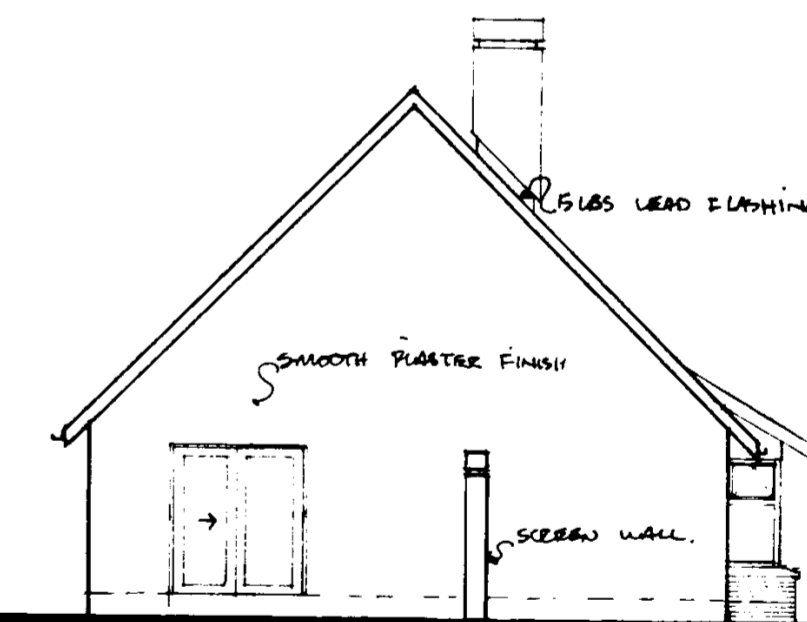
north east elevation



PLAN



south east elevation

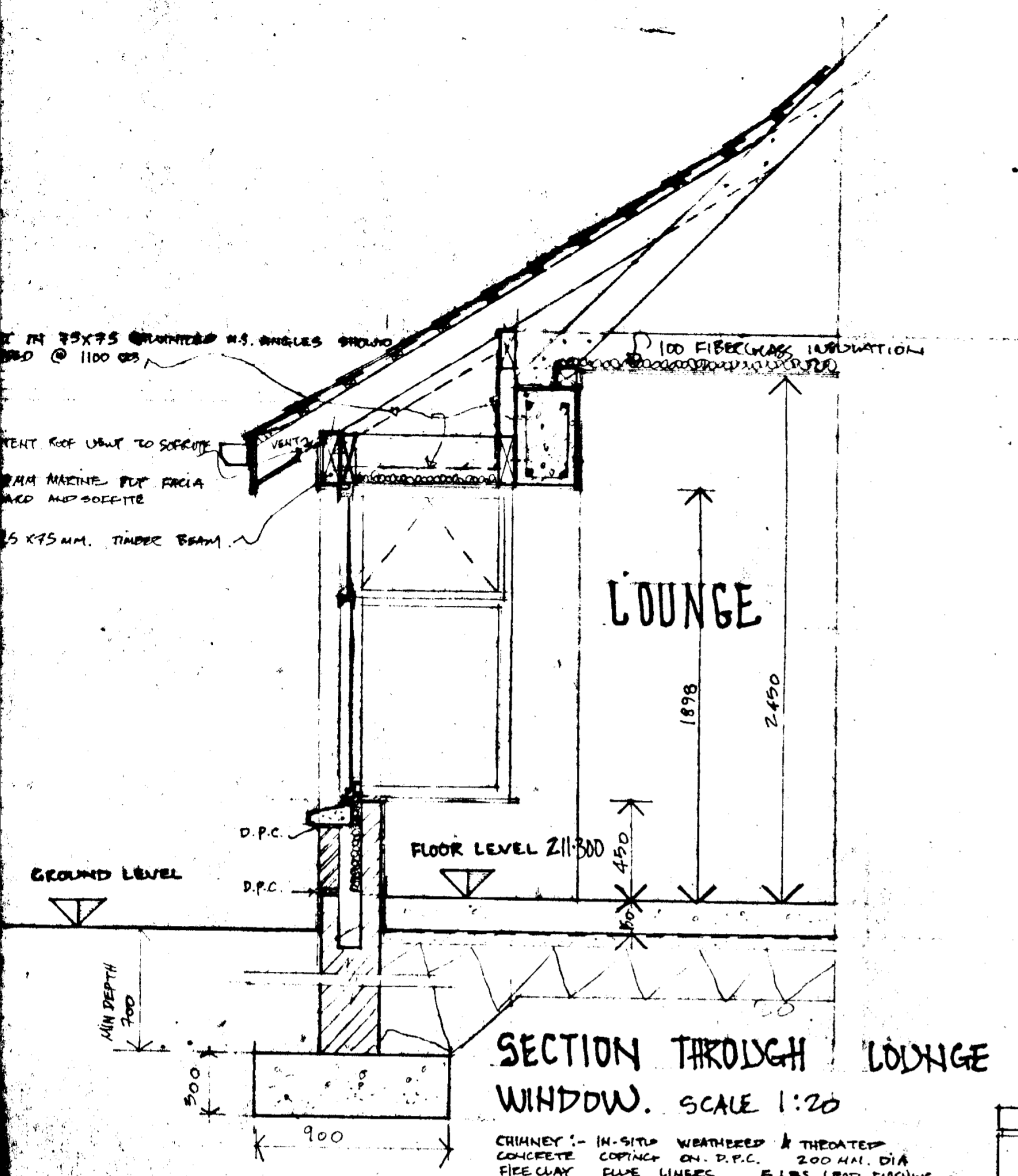


north west elevation

DUBLIN QUALITY CONTROL  
 PROJECTS  
 19 FEB 1991  
 G.A. 1003  
 1003

NOTE:-  
 DO NOT SCALE. USE ONLY DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE ANY WORK COMMENCES.  
 ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH DEPARTMENT OF ENVIRONMENT NEW OUTLINE SPECIFICATION.  
 G.I. AIR VENTS TO ALL ROOMS WITHOUT FIREPLACES.

Damian O Flynn Associates Barrettstown Newbridge Co Kildare		Architects telephone 045 33400	scale :- 1:50, 1:100
project PROPOSED BUNGALOW + SEPTIC TANK AT CALLAGHSTOWN, LOWRICE PATRICKS		drawn by date FEB 1991	
client MISS ANGEA LAWLER	title PLAN AND ELEVATIONS		diag no 0010-01



SECTION THROUGH LOUNGE WINDOW. SCALE 1:20

CHIMNEY: IN-SITU WEATHERED & THICKENED CONCRETE COPING ON D.P.C. 200 MM DIA FIVE CLAY FLUE LINES. 5 LBS LEAD FLASHING.

ROOF: SELECTED ASPHALT CELESTINE SLATES ON NYLON REINFORCED STOPPING FELT ON 50 X 38 TEGATED BATTONS ON 150 X 38 BATTENS @ 400 C/S. 225 X 75 PURLINS SUPPORTED ON 100 X 75 STEELTS. 175 X 50 CEILING JOISTS @ 400 C/S - 100 X 38 HANGERS. 100 X 50 CEILING LUMBERS. 225 X 75 RIDGE BOARD. 100 X 38 COLLAR TIES @ 800 C/S. 75 X 100 WALL PLATE BOLTED TO REINFORCED SANDWICHES @ 900 C/S.

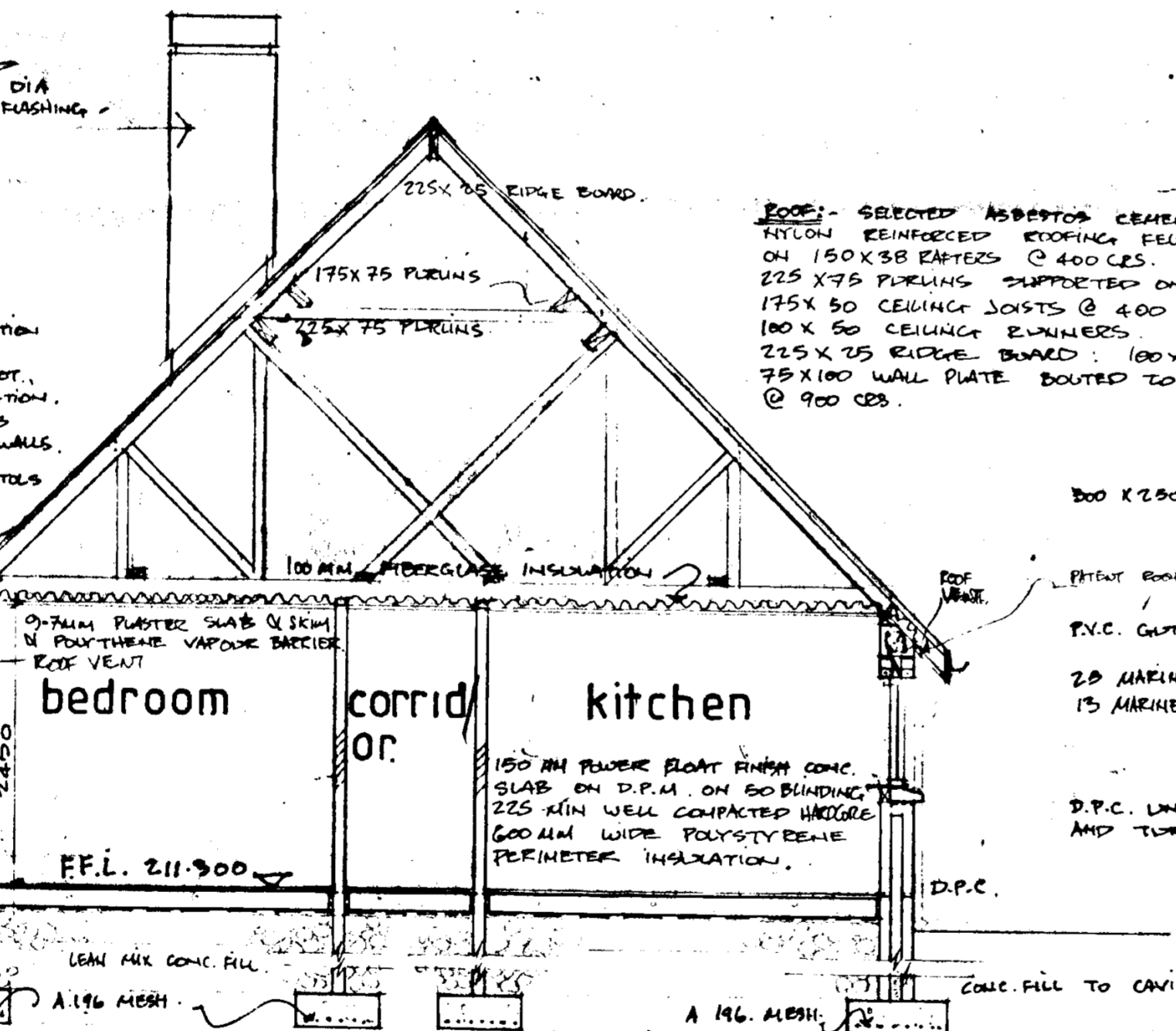
WALLS: ALL EXTERNAL WALLS 300MM CAVITY CONSTRUCTION. 100MM SOLID CONCRETE BLOCK INNER & OUTER LEAF. CAVY. STEEL WALL TIES AT 900 C/S HORIZ. & 450 C/S VERT. 50MM CAVITY. 50MM EXPANDED POLYSTYRENE INSULATION. 15MM PLASTER FINISH INTERNALLY WITH 25MM REVISED PLASTER SKIM ON 12MM PLASTER TO ALL INTERNAL WALLS.

D.P.C.: SPALITE OR SIMILAR PEDESTAL CONCRETE UNTOLS WITH STEPPED D.P.C. VERTICAL D.P.C. AT ALL OPS BETWEEN INNER & OUTER LEAF. PEDESTAL CONCRETE GILL WEATHERED AND THICKENED ON STEPPED D.P.C.

P.C. SANDWICHES 300 X 250 (470 X 260) STEPPED D.P.C. PEDESTAL CONCRETE UNTOLS. P.V.C. WINDOWS WITH TOP HUNG OPENING. 25MM. VERTICAL D.P.C. AT ALL OPS. CONCRETE SILL ON STEPPED D.P.C.

FOUNDATIONS: 900 X 300 CONC. STEEP 30 H. CONCRETE. LAID IN TRENCH 900 BELOW GROUND LEVEL OR AS DICTATED BY SOIL CONDITIONS.

SECTION A-A



800 X 200 R.C. SANDWICHES (AT 20 X 26-200)

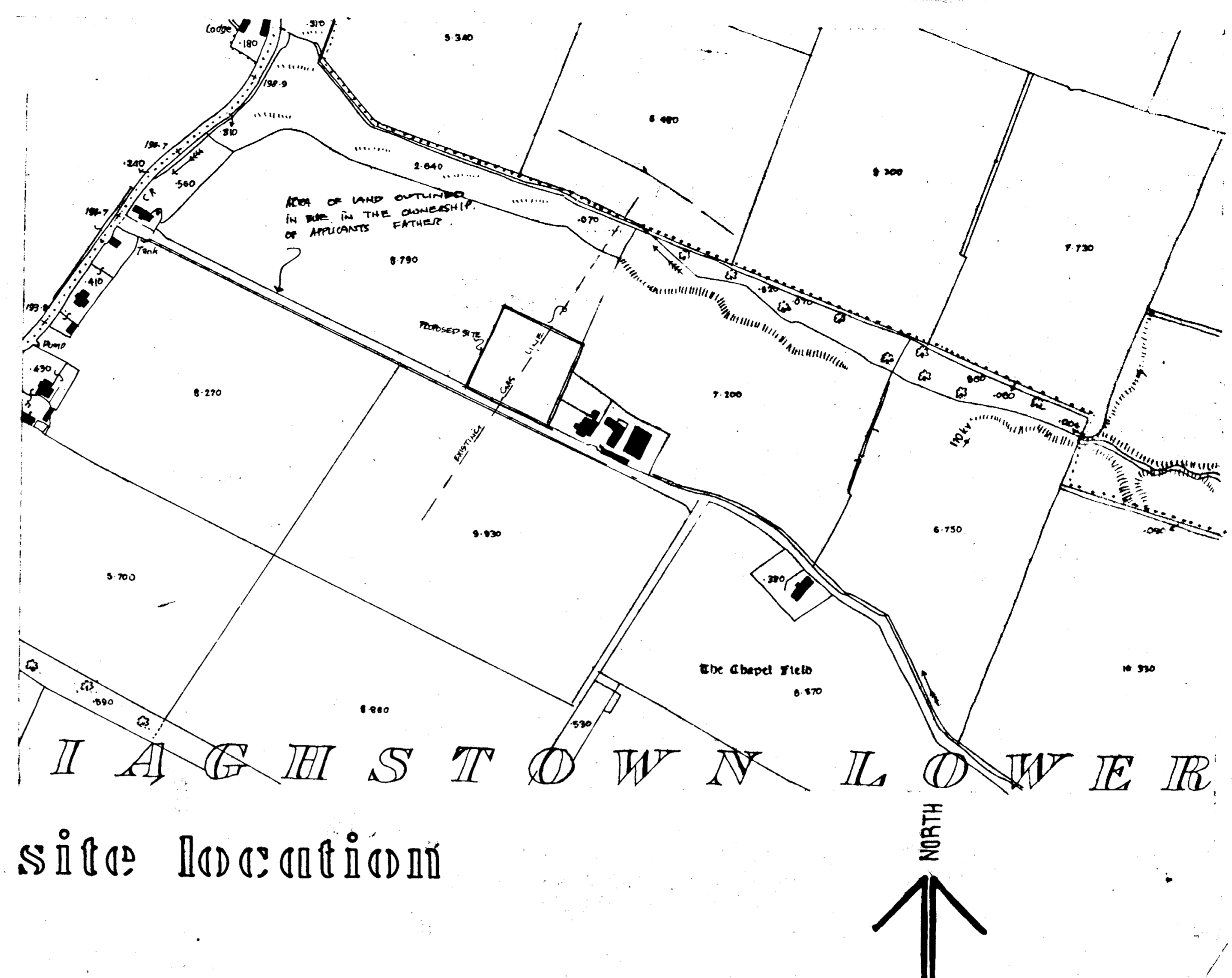
PERMIT ROOF VENT TO OFFSITE

P.V.C. GUTTERS AND DOWNPIPES

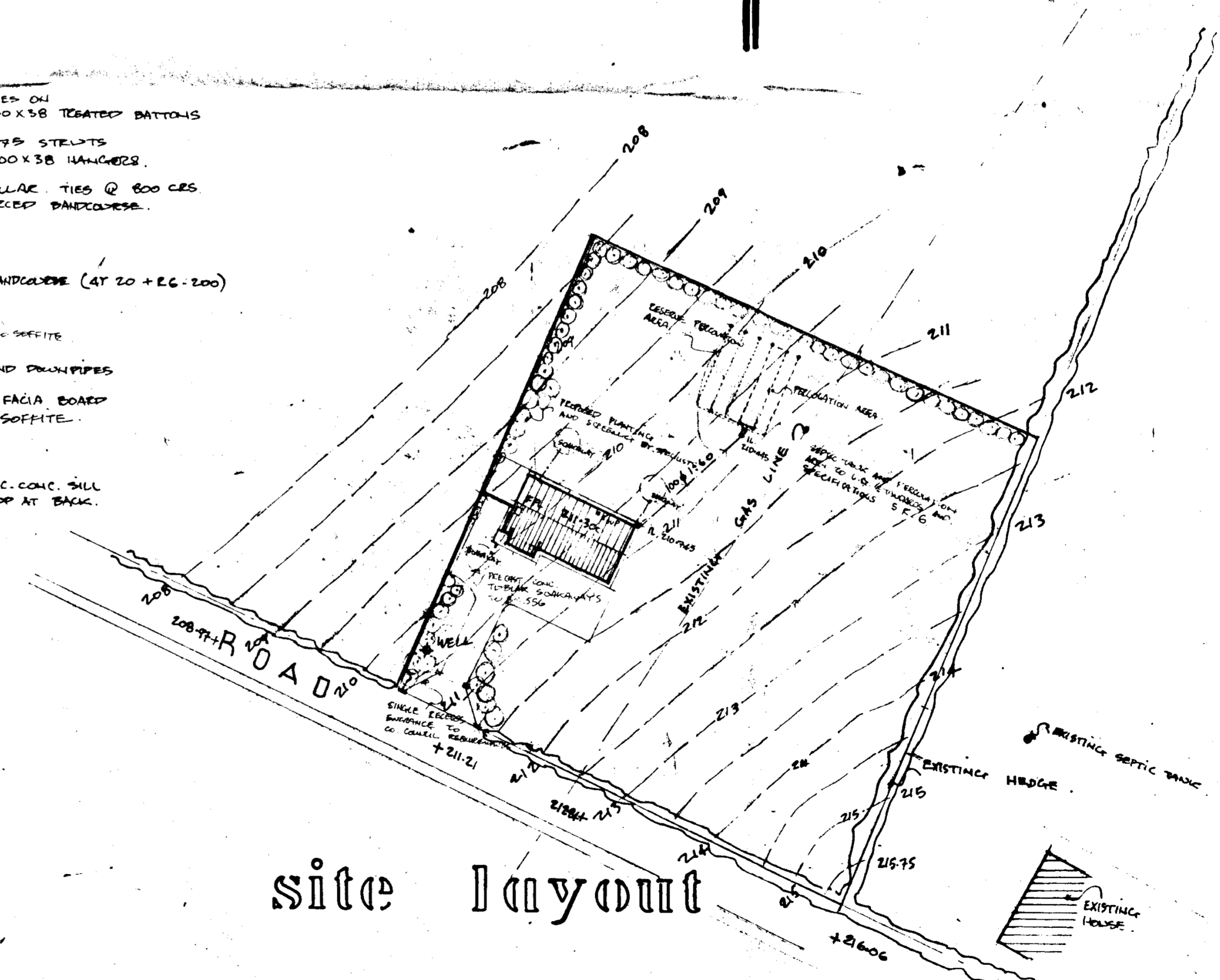
25 MARINE PLY FACIA BOARD

15 MARINE PLY SOFFITE

D.P.C. UNDER P.C. CONC. SILL AND TURNED UP AT BACK.



site location

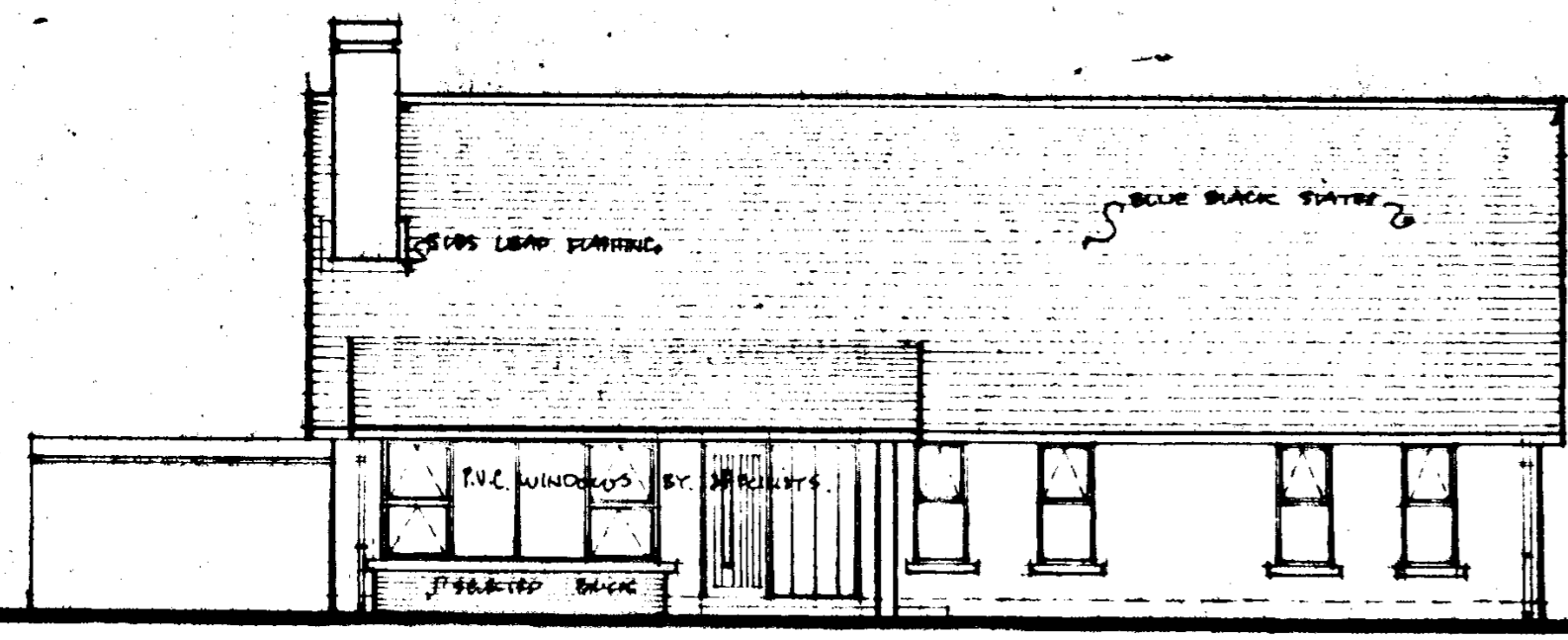


site layout

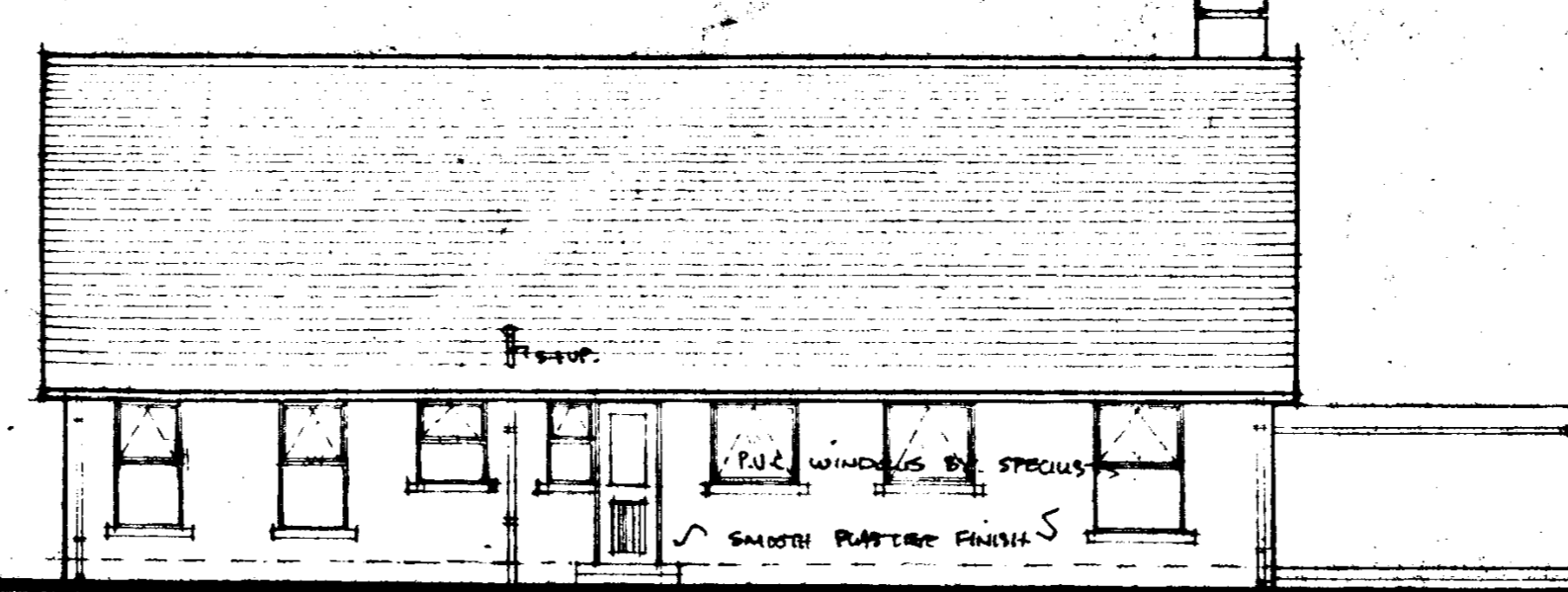
DUBLIN COUNTY COUNCIL  
Planning Dept. Region Section  
APPLICATION RECEIVED  
11 OCT 1991  
REG No. 94/035

NOTE:  
DO NOT SCALE USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE ANY WORK COMMENCES.  
ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH DEPARTMENT OF ENVIRONMENT NEW OUTLINE SPECIFICATION

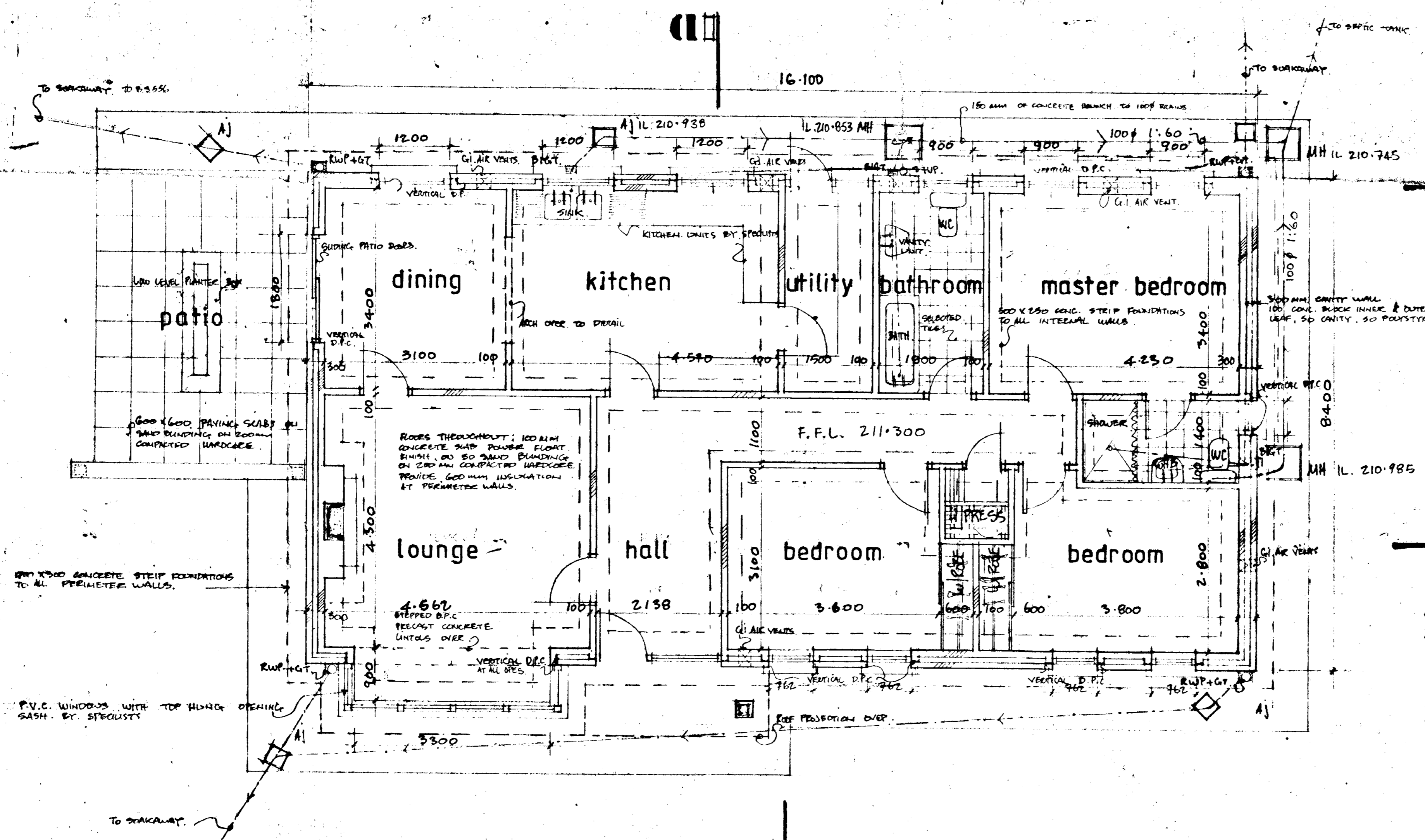
Damian O Flynn Associates Barretstown Newbridge Co Kildare		Architects telephone 045 33400	Scale 1:50, 1:500, 1:2500
PROJECT PROPOSED BUNGALOW + SEPTIC TANK AT CAULLAGHSTOWN LOWER RATHCOOE		drawn date FEB 1991	drawn date FEB 1991
client MISS ANGLIA LAWLER	title SECTION A-A, SITE LAYOUTS.	drg no 0010-02 A	



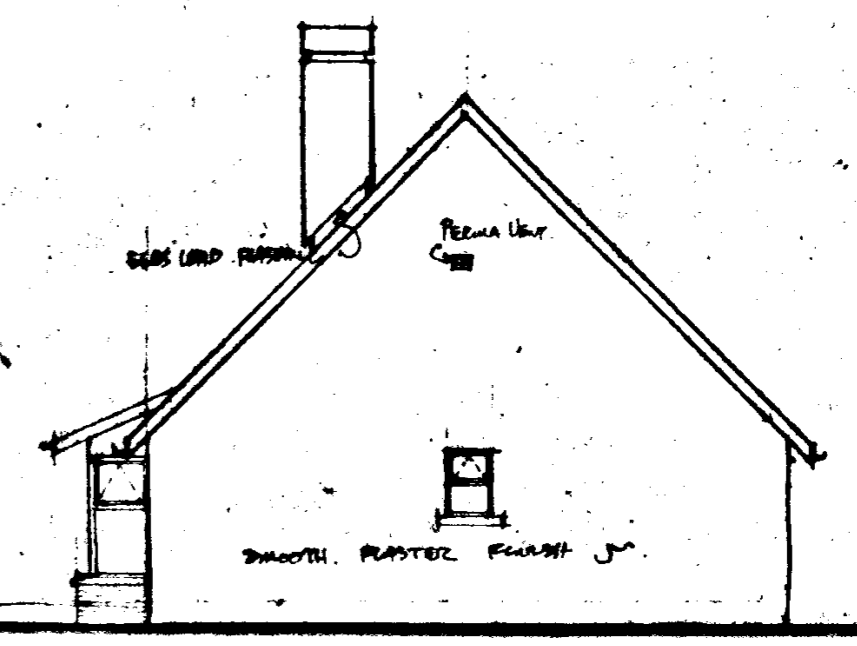
south west elevation



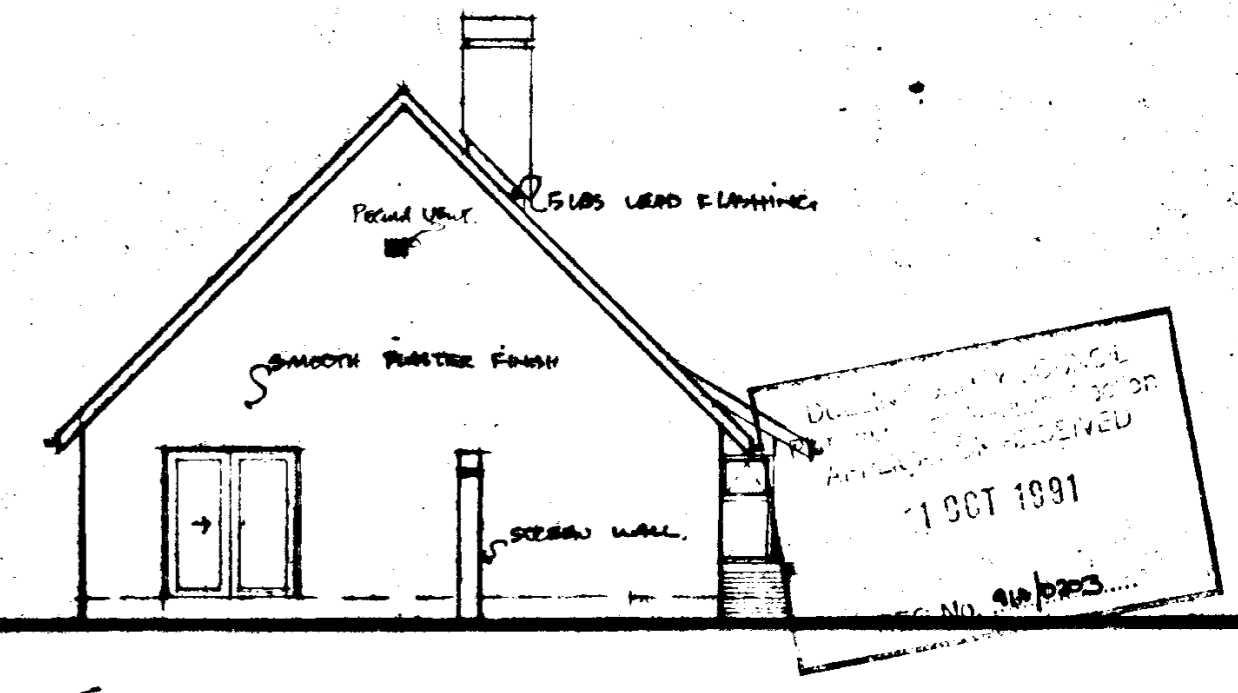
north east elevation



PLAN



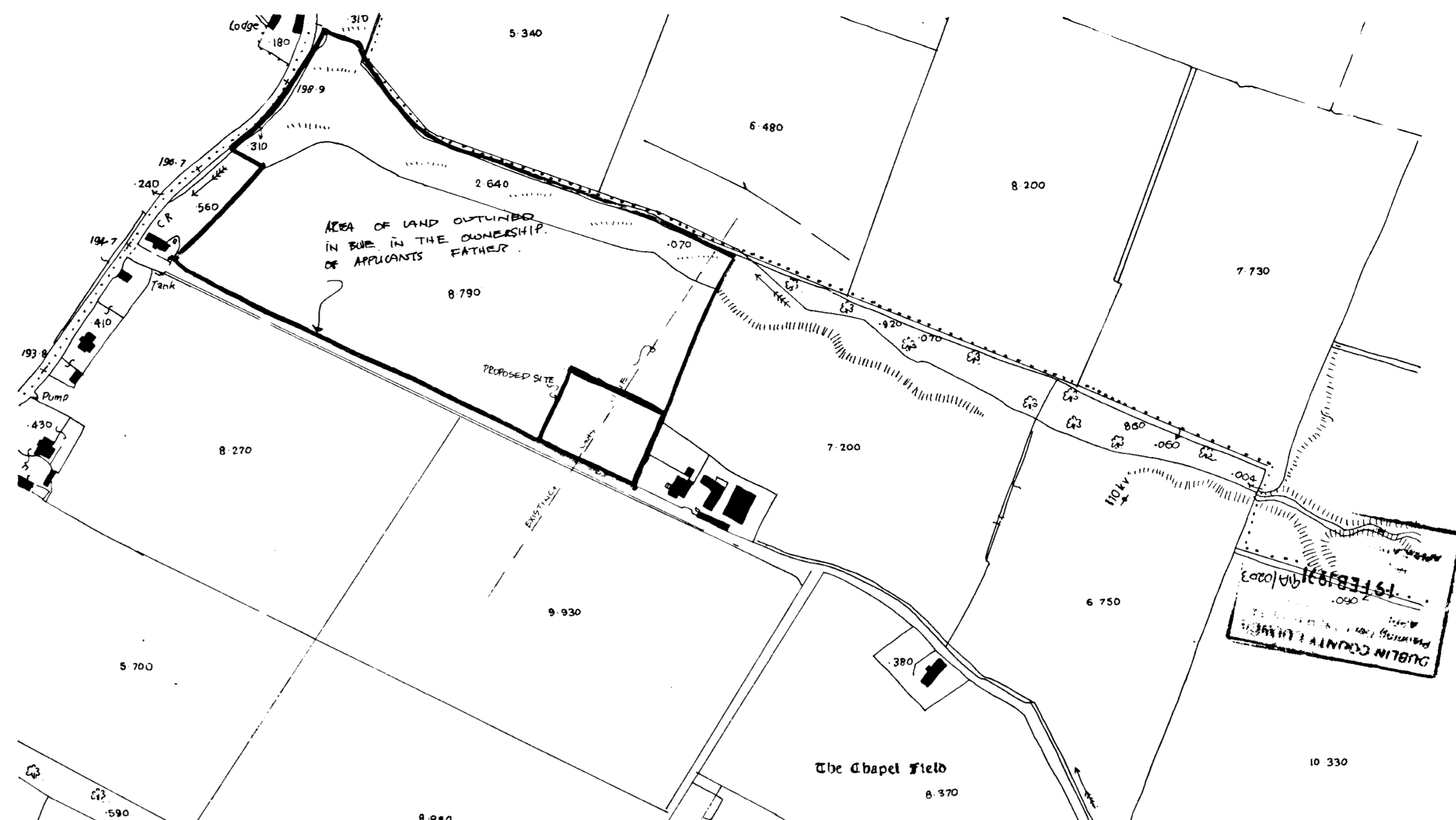
south east elevation



north west elevation

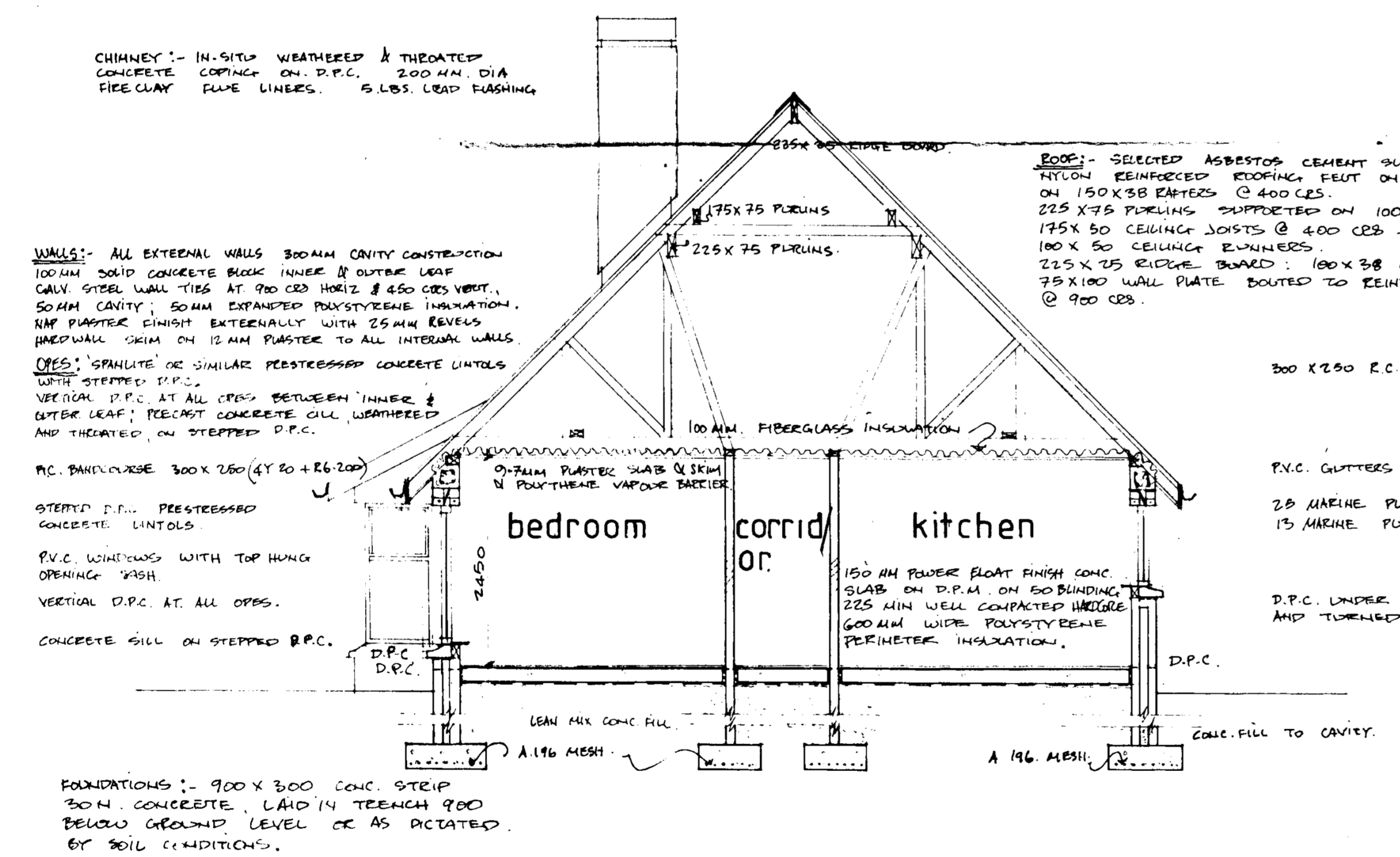
NOTE:-  
DO NOT SCALE USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE ANY WORK COMMENCES.  
ALL WORKS TO BE CHECKED OUT IN ACCORDANCE WITH DEPARTMENT OF ENVIRONMENT NEW OUTLINE SPECIFICATION @ ALL AIR VENTS TO ALL ROOMS WITHOUT EXCEPTIONS.

Damian O Flynn Associates Barrattstown Newbridge Co Kildare		Architects telephone 045 33400	scale 1:50, 1:100
project PROPOSED BUNGALOW + SEPTIC TANK AT CALLINGHSTOWN LOWER RATHCOOLE		drawn by date FEB 1991	
client MRS ANGEA LAWLER	title PLAN AND ELEVATIONS	diag no 0010-01A	

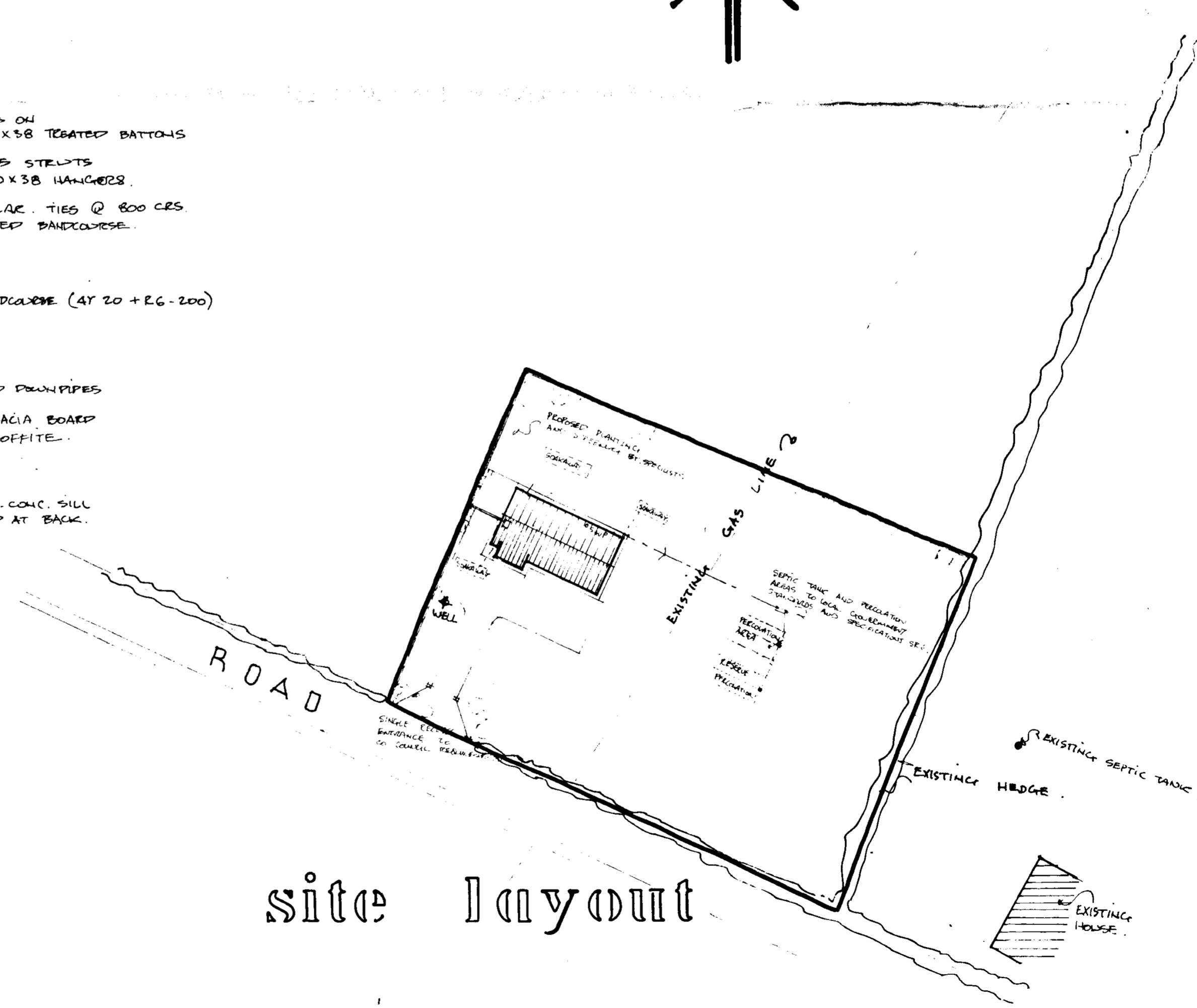


# CAHILLSTOWN LOWER

## site location



### SECTION A-A



### site layout

**NOTE:**  
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Damian O Flynn Associates Barrettstown Newbridge Co Kildare		Architects telephone 045-33400	scale 1:50, 1:500, 1:2500
Project PROPOSED BUNGALOW + SEPTIC TANK AT CAHILLSTOWN LOWER RATHCREE		drawn date FEB 1991	drawn date FEB 1991
Client MIGG ANGEA LAWLER	Title SECTION A-A, SITE LAYOUTS.	client	dra no 0010-02