

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

INCORRECT FEE WITH BYE LAW APPLICATION

TELEPHONE: 724755

EXTENSION: 231/234

FAX.: 724896

Osbourne Associates,

The Mews,

Kerrymount Avenue,

Foxrock.

PLANNING DEPARTMENT,
IRISH LIFE CENTRE,
LOWER ABBEY ST.,
DUBLIN 1.

20/12/91

REG. REF.: 91A/1963

RE: Office extension at Unit 21 Parkmore Industrial Estate, Long Mile Road,
for D & P Ledwidge.

Dear Sir/Madam,

I refer to your application for Bye Law approval in respect of the above proposal. I wish to inform you that the Planning Authority will not commence to consider the application until the appropriate fee is paid. If no fee or a fee less than the appropriate fee has been received by the County Council on the expiration of two months, commencing on the day the application is received, the application will be regarded as having been withdrawn.

The correct fee for the above mentioned application is £ 147.00 .

Please quote the Register Reference No. stated above when submitting the fee.

AMOUNT LODGED = £139.00
AMOUNT DUE = £ 8.00

Yours faithfully,



for PRINCIPAL OFFICER



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1963

Date : 19th December 1991

Dear Sir/Madam,

Development : First floor office and internal minor alterations

LOCATION : Unit No. 21, Parkmore Industrial Estate, Longmile
Road, Walkinstown

Applicant : Dorothy & Paul Ledwidge

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Date Recd : 12th December 1991

Your application in relation to the above was submitted with a fee of
69.50

On examination of the plans submitted it would appear that the
appropriate amount should be 73.50

I should be obliged if you would submit the balance of 4.00
as soon as possible as a decision cannot be made on this application
until the correct fee is received.

Yours faithfully,

.....
for PRINCIPAL OFFICER

Osborne Associates,
The Mews,
Kerrymount Avenue,
Foxrock,
Co. Dublin

BYE LAW APPLICATION FEES

REF. NO.:

91A/1963

CERTIFICATE NO.:

1026B

PROPOSAL:

Office Extension

LOCATION:

Unit 21 Parkmore Industrial Estate, Long Mile Road

APPLICANT:

D P P. Lodwidge

log 12/12/91

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55					
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose H. 40m	@ £3.50 per M ² or £70	147	139	8	8 paid 2/1 N54499	
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: [Signature] Grade: DHI Date: 18/12/91

Column 1 Endorsed: Signed: [Signature] Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 18/12/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

PLANNING APPLICATION FEES

Reg. Ref. *91A/1963* Cert. No. *27402*
 PROPOSAL *office extension*
 LOCATION *Unit 21 Palmere Industrial Estate, Long Mile Road*
 APPLICANT *D & P Lockridge*

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32				
2	Domestic,	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	<i>44.40</i> Metres 4.40	@£1.75 per m2 or £40	<i>73.50</i>	<i>69.50</i>	<i>4</i>	<i>£4 paid 24/11/96</i> <i>N 54296</i>
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: *[Signature]* Grade *DIT* Date *18/12/96*
 Column 1 Endorsed: Signed: *[Signature]* Grade *S-O* Date *17/12/96*
 Columns 2,3,4,5,6 & 7 Certified: Signed: *[Signature]* Grade *S-O* Date *17/12/96*
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: *[Signature]* Grade *S-O* Date *17/12/96*

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: 91A/1963

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

446 sq

MEASURED BY:

J. Y.
18/2/91

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT:

MANAGER'S ORDER NO: P/ / DATED

ENTERED IN CONTRIBUTIONS REGISTER:

446

1000 @ 70
= 335

DEVELOPMENT CONTROL ASSISTANT GRADE

DUBLIN COUNTY COUNCIL

PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Environmental Health Officer,
33 Gardiner Place.

Register Reference : 91A/1963

Date : 13th December 1991

Development : First floor office and internal minor alterations

LOCATION : Unit No. 21, Parkmore Industrial Estate, Longmile Road, Walkinstown

Applicant : Dorothy & Paul Ledwidge

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning officer :

Date Recd. : 12th December 1991

Attached is a copy of the application for the above development .Please ensure that your report is received within 5 weeks from 12th December 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 08.01.92
Time 1.00

DUBLIN COUNTY COUNCIL
2 - JAN 1992
ENVIRONMENTAL HEALTH OFFICERS

No objections, subject to compliance with
1) office Premises Act 1958 & regulations made thereunder
2) Safety, Health & Welfare at work 1989.

Judith Kelly
EHO 3/1/92.

Stadavine
for John O'Reilly JEO
6/1/92.

P/247/92

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

BELGARD

Register Reference : 91A/1963

Date Received : 12th December 1991

Correspondence : Osborne Associates,
Name and : The Mews,
Address : Kerry Mount Avenue,
Foxrock,
Co. Dublin

Development : First floor office and internal minor alterations

Location : Unit No. 21, Parkmore Industrial Estate, Longmile Road, Walkinstown

Applicant : Dorothy & Paul Ledwidge

App. Type : Permission

Zoning :

Floor Area : 4140 sq. metres

(NOB/CM)

Report of the Dublin Planning Officer, dated 17th January, 1992.

This is an application for permission for first floor office accommodation and minor alterations at Unit 21, Parkmore Industrial Estate.

Reg. Ref. 91A/927 refers to a decision to grant permission for office alterations to the premises. This permission is currently being implemented.

The current application proposes the provision of an additional 4140 sq. metres of office accommodation over the previously approved parking area which adjoins the warehouse section. It is also proposed to provide a toilet at the first floor level within a previously approved store area.

A new window is proposed at first floor level for the proposed offices.

Chief Medical officers report *not received*

Chief Fire Officers report *not received*

I recommend that a decision to Grant Permission be made under the Local Government (Planning and Development) Acts, 1963-1990, subject to the following

CONTRIBUTION:	
Rate:	335
Band / C.I.F.:	
Cash:	

[Handwritten signature]

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1963

Page No: 0002

Location: Unit No. 21, Parkmore Industrial Estate, Longmile Road,
Walkinstown.

(8) conditions:-

C O N D I T I O N S / R E A S O N S

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye- Laws be obtained and all conditions of that approval be observed in the development.
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of safety and the avoidance of fire hazard.
- 04 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of health.
- 05 That a financial contribution in the sum of £ 335 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON: The provision of such services in the area by the council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 06 That the office use be subsidiary and ancillary to the use of Unit 21 for warehousing purposes.
REASON: In the interest of the proper planning and development of the area.
- 07 That the proposed new windows shall match those existing on the premises.
REASON: In the interest of the proper planning and development of the

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1963

Page No: 0003

Location: Unit No. 21, Parkmore Industrial Estate, Longmile Road,
Walkinstown

area.

08 That the warehouse display area shall not be used for retail purposes.

08 REASON: In the interest of the proper planning and development of the area.


Endorsed:.....
for Principal Officer


.....
for Dublin Planning Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (8) conditions set out above is hereby made.

Dated :
3rd February
JANUARY 1992


.....
ASSISTANT COUNTY MANAGER/~~APPROVED OFFICER~~

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 10th December 1991.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 0247 /92 Date of Decision : 3rd February 1992
Register Reference : 91A/1963 Date Received : 12th December 1991
Applicant : Dorothy & Paul Ledwidge
Development : First floor office and internal minor alterations
Location : Unit No. 21, Parkmore Industrial Estate, Longmile
Road, Walkinstown
Floor Area : Sq.Metres
Time Extension(s) up to and including :
Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- .. 8 .. ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer

Date:..... 4/2/92

Osborne Associates,
The Mews,
Kerrymount Avenue,
Foxrock,
Co. Dublin

NOTES

1. An appeal against the decision may be made to an Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:—

An Bord Pleanala,
Blocks 6 and 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

“Commercial Development” means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds).

(c) A party to an appeal making a request to An Bord Pleanana for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanana a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission / approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION / APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION / APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained for new work and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced. Approval under the Building Bye-Laws is not applicable to garden walls and entrances etc. Approval under the Building Bye-Laws cannot be obtained in cases involving retention of works previously carried out.

Reg. Ref. 91A/1963
Decision order No. P/ 0247 /91
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

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REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

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REASON: In the interest of safety and the avoidance of fire hazard.

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06 REASON: In the interest of the proper planning and development of the area.

07 That the proposed new windows shall match those existing on the premises.

07 REASON: In the interest of the proper planning and development of the area.

08 That the warehouse display area shall not be used for retail purposes.

08 REASON: In the interest of the proper planning and development of the area.

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COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY
CASH
CHEQUE
M.O.
B.L.
I.T.

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET
DUBLIN 1.

Balance

BYE LAW APPLICATION
REC. No. N 54499

£ 8.00

Received this *2nd* day of *January* 19*92*

from *Gerard Osborne*
Kerrymount Ave.,
Foxrock

the sum of *eight* Pounds

Pence, being *balance*

of bye-law fee on 91A/1963

Moden Doane Cashier

S. CAREY *Class C*
Principal Officer *Red*

OMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1.

ISSUE of this receipt is not an
acknowledgement that the fee
tendered is the prescribed application
fee

Balance

N 54296

CASH
CHECK
M.O.
B.L.
I.T.

£4.00

Received this *2nd* day of *January* 19*92*

from *Gerard Osborne*
Kerrymount Ave,
Foxrock

the sum of *four* Pounds

Pence, being *nil* for

planning application - 91A/1963

Shelley O'Sullivan

Cashier

S. CAREY
Principal Officer

Class 4
Bal.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Register Reference : 91A/1963

Date : 19th December 1991

Dear Sir/Madam,

Development : First floor office and internal minor alterations

LOCATION : Unit No. 21, Parkmore Industrial Estate, Longmile
Road, Walkinstown

Applicant : Dorothy & Paul Ledwidge

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Date Recd : 12th December 1991

Your application in relation to the above was submitted with a fee of
69.50 .

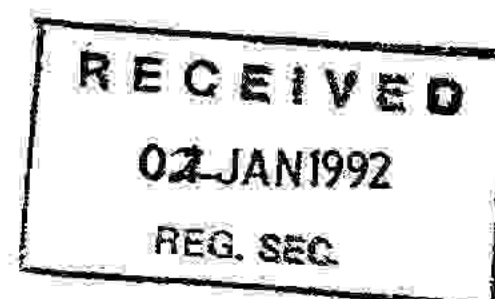
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I should be obliged if you would submit the balance of 4.00
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Yours faithfully,

FOR PRINCIPAL OFFICER

Osborne Associates,
The Mews,
Kerrymount Avenue,
Foxrock,
Co. Dublin



COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

INCORRECT FEE WITH BYE LAW APPLICATION

TELEPHONE: 724755
EXTENSION: 231/234
FAX.: 724896

Osbourne Associates,

The Mews,

Kerrymount Avenue,

Foxrock.

PLANNING DEPARTMENT,
IRISH LIFE CENTRE,
LOWER ABBEY ST.,
DUBLIN 1.

20/12/91

91A/1963

REG. REF.: -----

RE: Office extension at Unit 21 Parkmore Industrial Estate, Long Mile Road,

for D & P Ledwidge.

Dear Sir/Madam,

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The correct fee for the above mentioned application is £ 147.00.

Please quote the Register Reference No. stated above when submitting the fee.

AMOUNT LODGED = £139.00
AMOUNT DUE = £ 8.00

Yours faithfully,



for PRINCIPAL OFFICER

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Blac 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1963

Date : 13th December 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : First floor office and internal minor alterations

LOCATION : Unit No. 21, Parkmore Industrial Estate, Longmile Road, Walkinstown

APPLICANT : Dorothy & Paul Ledwidge

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application received on 12th December 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

Osborne Associates,
The Mews,
Kerrymount Avenue,
Foxrock,
Co. Dublin



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
 Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building UNIT NO 21 PARKMORE INDUSTRIAL ESTATE
 (If none, give description sufficient to identify) LONG KILNE ROAD, DUBLIN 12

3. Name of applicant (Principal not Agent) DOROTHY & PAUL LEDWIDGE
 Address 2 CAPEL STREET, DUBLIN 2 Tel. No. _____

4. Name and address of person or firm responsible for preparation of drawings OSBORNE ASSOCIATES, THE MEWS, DERRYMOUNT AVENUE, FOXROCK Tel. No. 2894585

5. Name and address to which notifications should be sent AS ABOVE

6. Brief description of proposed development 1st FLOOR OFFICE WITH MINOR INTERNAL ALTERATIONS

7. Method of drainage LOCAL AUTHORITY 8. Source of Water Supply ALREADY APPROVED LOCAL AUTHORITY

9. In the case of any building or buildings to be retained on site, please state:
 (a) Present use of each floor or use when last used OFFICES & WAREHOUSE
 (b) Proposed use of each floor OFFICE

DUBLIN 12 Planning permission is sought for first floor office and internal minor alterations at Unit No. 21, Parkmore Industrial Estate, Longmile Road, Walkinstown for Dorothy and Paul Ledwidge.

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No

11. (a) Area of Site _____ Sq. m.
 (b) Floor area of proposed development 30 Sq. m.
 (c) Floor area of buildings proposed to be retained within site _____ Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD 169.50 P/12

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal: NS4079

15. List of documents enclosed with application: 4 copies of drawings of Specification letter of Application + Newspaper Notice

16. Gross floor space of proposed development (See back) 30 Sq. m.
 No of dwellings proposed (if any) _____ Class(es) of Development OFFICE

Fee Payable £ 157.50 Basis of Calculation 30sqm @ £1.75 + £3.50 = £157.50
 If a reduced fee is tendered details of previous relevant payment should be given 12sqm for Store Area @ £1.75 + £3.50 = £51-

Signature of Applicant (or his Agent) G Osborne Date 11/12/91

Application Type P/B Register Reference 91A/1963

Amount Received £ 3,284.4

Receipt No _____ Date 10/13

FOR OFFICE USE ONLY

RECEIVED
 12DEC1991
 REG. SEC.

Irish
 from
 7/12/91

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1:2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY — DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

[Empty box for Receipt Code]

- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

BYE LAW APPLICATION
REC. No. N 51941

€139.00

Received this 12th day of December 1991
from Ambassador Communications Ltd

the sum of one hundred and thirty nine Pounds

Pence, being 00

Application at Unit 21 Parkmore Industrial Estate, Lagan Road

Mickel O'Han Cashier

S. CAREY
Principal Officer

Class C

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY DUBLIN COUNTY COUNCIL

CASH

CHEQUE

M.O.

B.L.

I.T.

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

ISSUE of this receipt is not an
acknowledgment of that the fee
tendered is the prescribed application
fee. N 54079

€69.50

Received this 24th day of December 1991

from Ambassador Communications Ltd

the sum of sixty nine Pounds

being application at Unit 21 Parkmore Industrial Estate

Michael O'H... Cashier

S. CAREY
Principal Officer

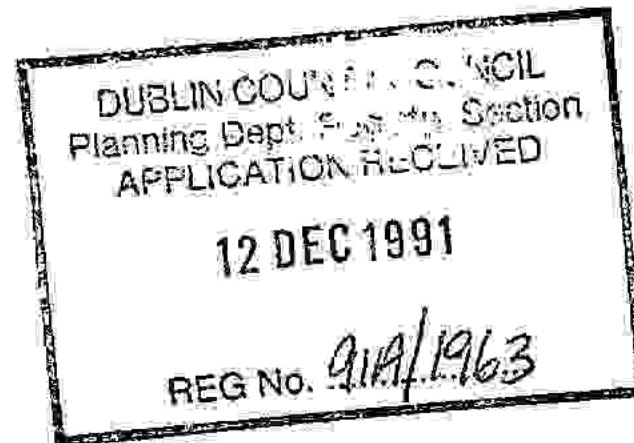
CLASS

4

OSBORNE ASSOCIATES,
THE MEWS,
CHERRYFIELD,
KERRYMOUNT AVENUE,
FOXROCK,
DUBLIN 18
TELEPHONE / FAX 2894585.



ARCHITECTURE
PLANNING CONSULTANTS
PROJECT MANAGER



Dublin County Council
Block 2, Irish Life Centre
Lower Abbey Street
Dublin 1.

11.12.1991.

Re: Unit No 21 Parkmore Industrial Estate, Walkinstown, Dublin 12.

Dear Sir/ Madam,

Further to the above, we wish to apply for a first floor office and some minor internal alterations. In support of this application, please find the following documentation enclosed:-

- 4 Copies of Site Location Plan.
- 4 Copies of Ground Floor Plan. already approved.
- 4 Copies of the First Floor. approved except for office.
- 4 Copies of the Elevations. showing additional window.
- 4 Copies of the Window Types. WT No 2 Shown.
- 4 Copies of the Outline Specification.
- Details of the First Floor Partition. Sent to Fire Officer.
- 4 Copies of the Engineers Certificate and Calculations.
- A completed application Form.

This application is for the use of the first floor area outlined in blue.

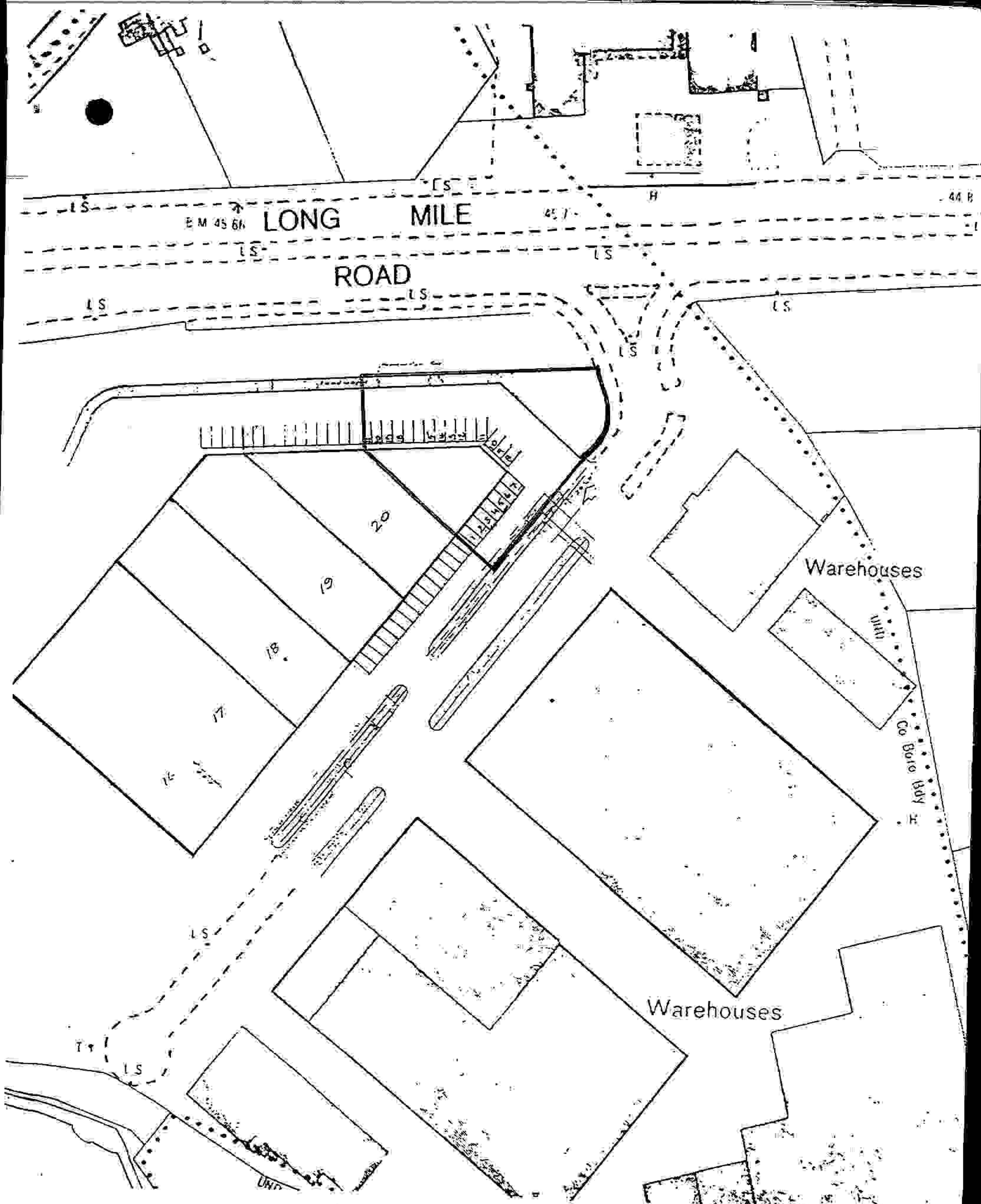
The minor internal alteration refers to the proposal to put a toilet into the storehouse area outlined in orange.

* Other Details as on 91A/0927.

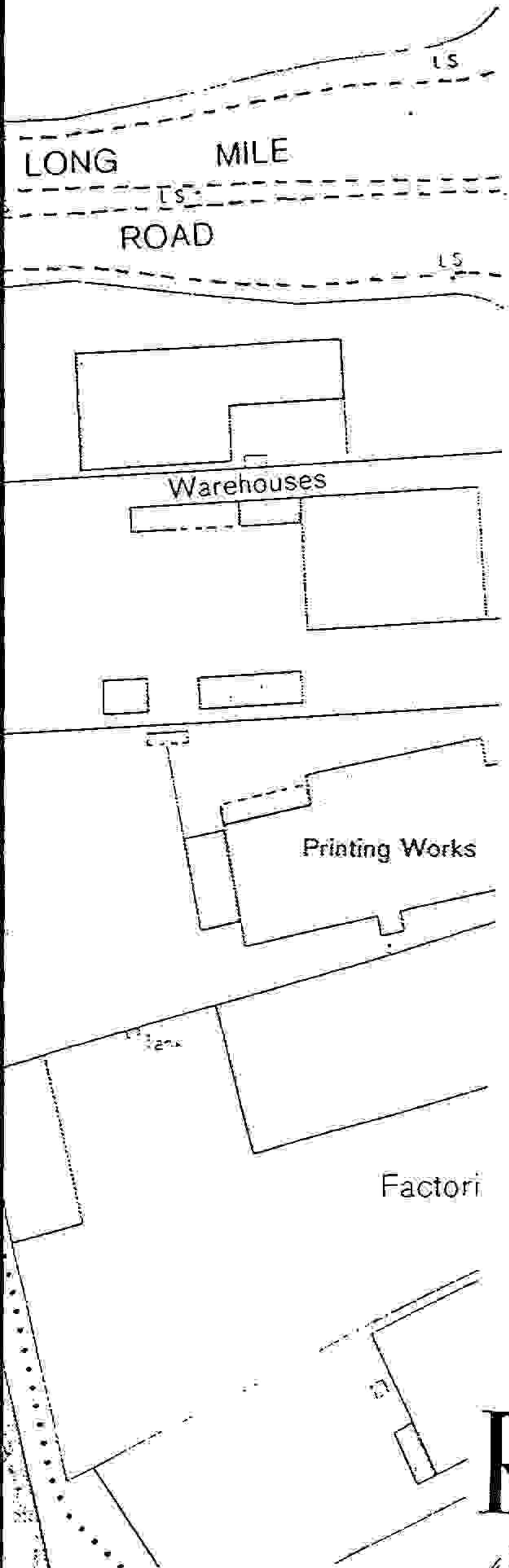
Yours faithfully,

Osborne Associates.

OSBORNE ASSOCIATES
Architects, Planning Consultants, Project Managers,
Computer Aided Design Consultants.



SITE LOCATION PLAN - UNIT NO 21 PARKMORE INDUSTRIAL ESTATE
 Scale 1=1000
 Drawing No 91/01/01.



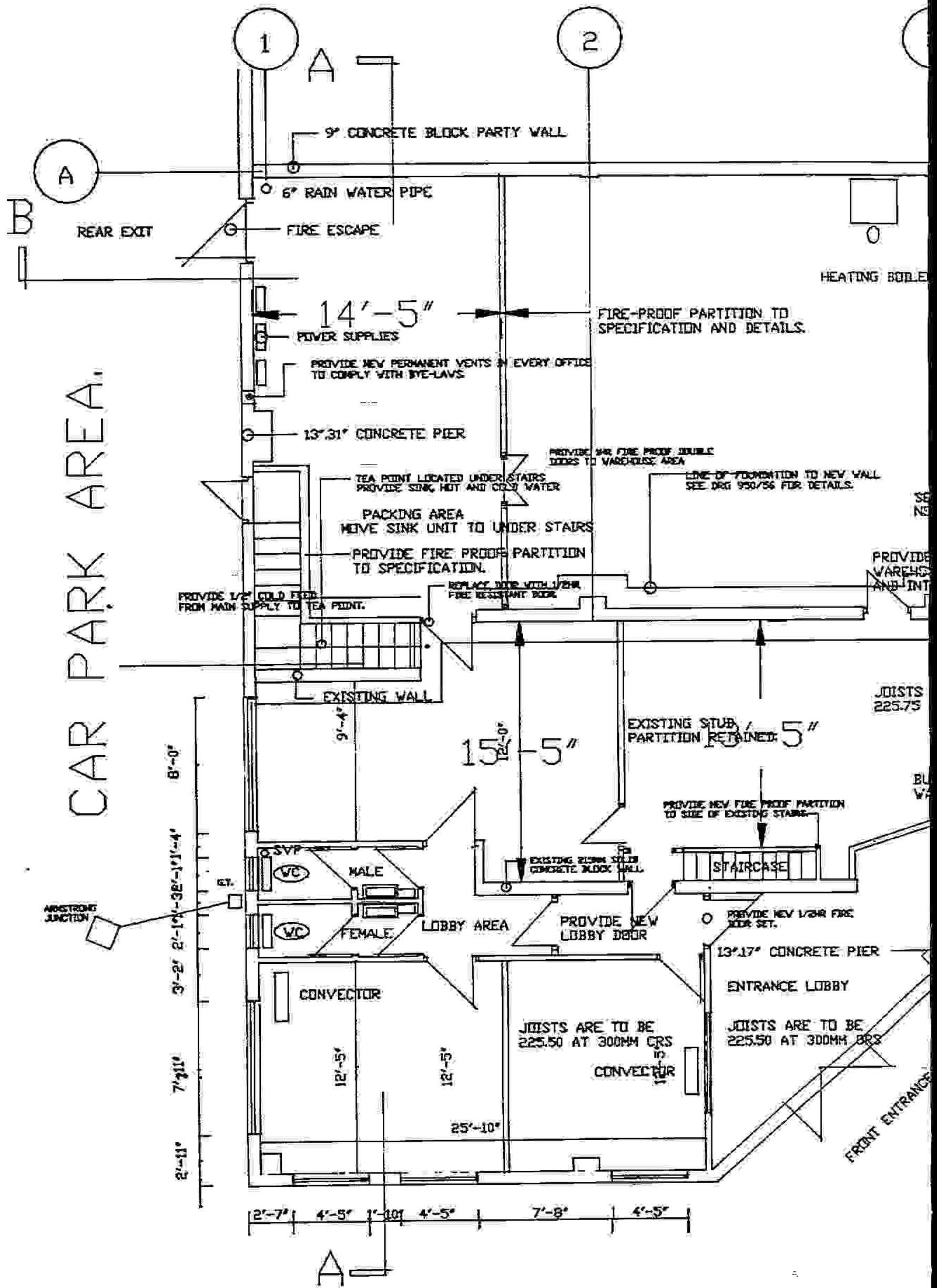
DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 12 DEC 1991
 REG No. *91A/1963*

RIAI

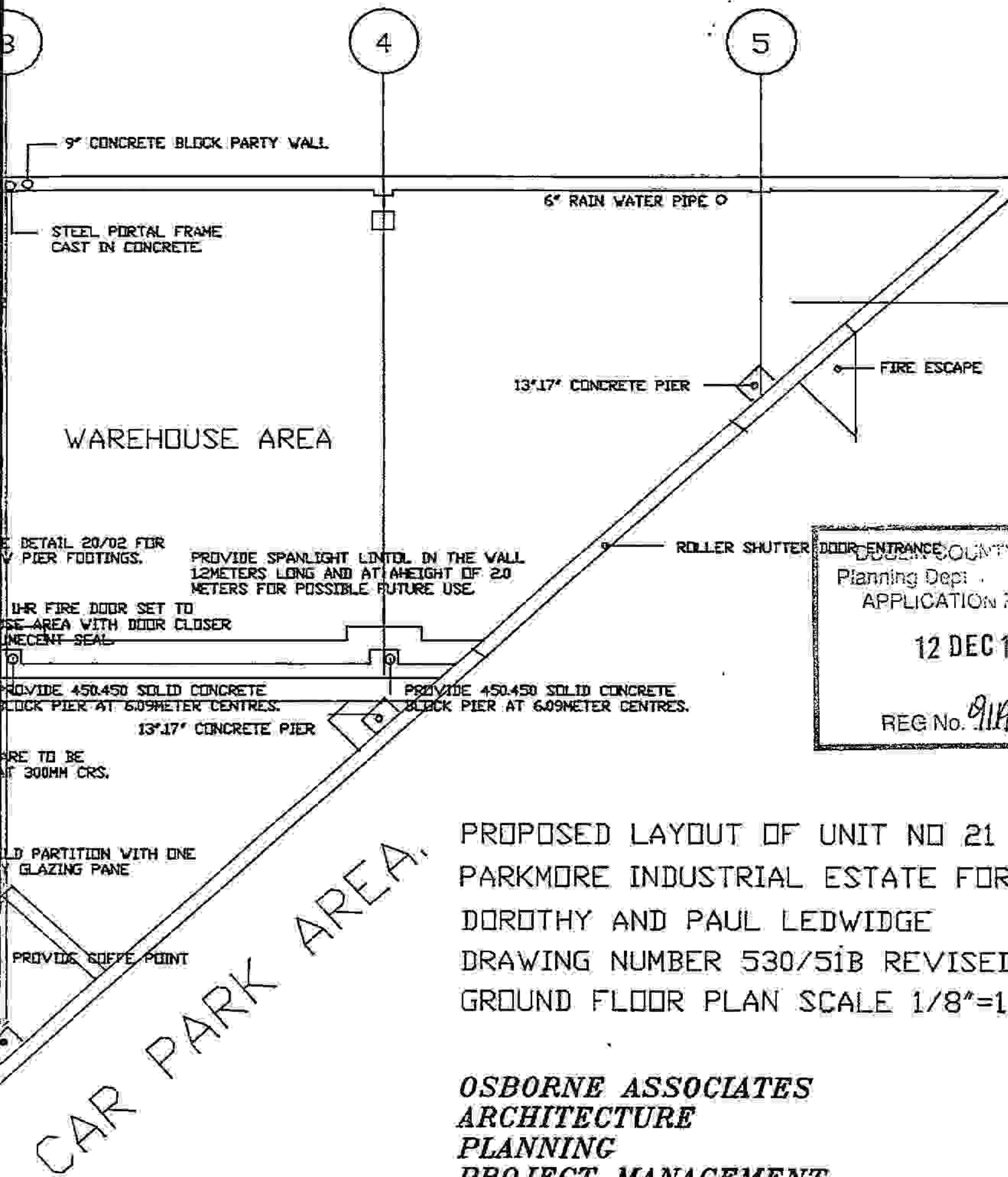


Osborne
 Architecture
 Planning
 Project Management

Kerrymount Avenue
 Foxrock
 Dublin 18.



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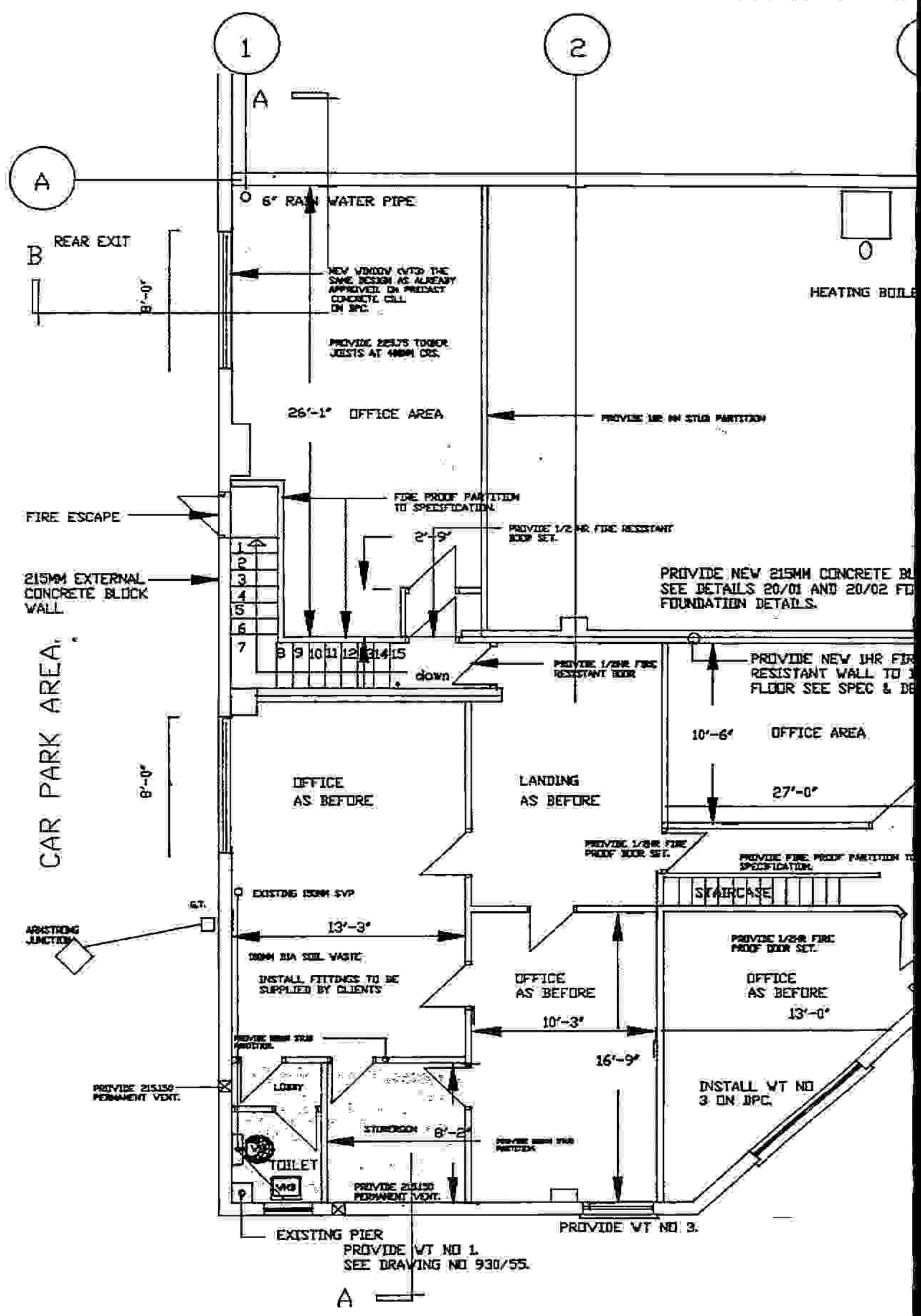


DUBLIN COUNTY COUNCIL
 Planning Dept. - Planning Section
 APPLICATION RECEIVED
 12 DEC 1991
 REG No. 9118/1963...

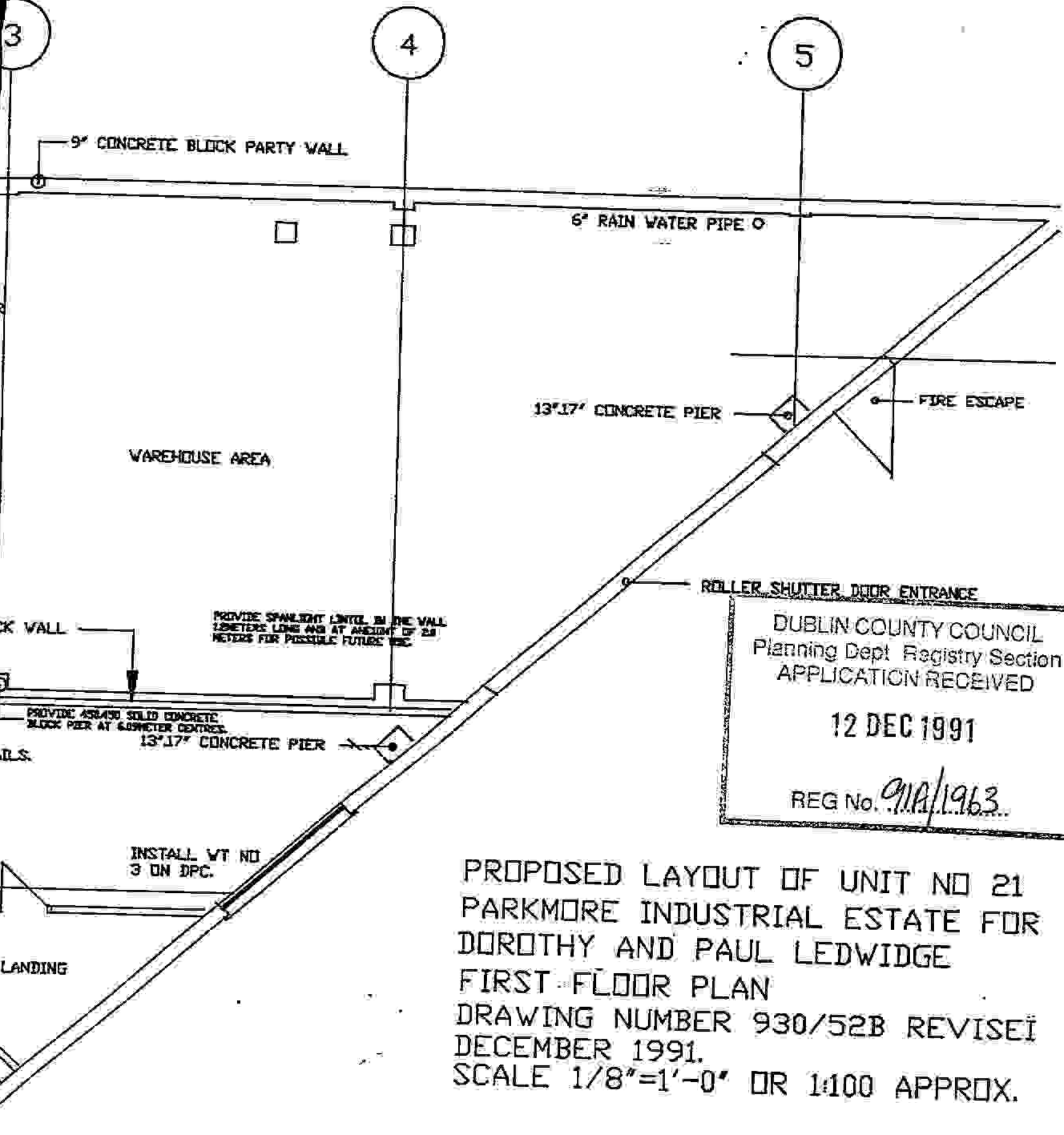
PROPOSED LAYOUT OF UNIT NO 21
 PARKMORE INDUSTRIAL ESTATE FOR
 DOROTHY AND PAUL LEDWIDGE
 DRAWING NUMBER 530/51B REVISED
 GROUND FLOOR PLAN SCALE 1/8"=1'

OSBORNE ASSOCIATES
ARCHITECTURE
PLANNING
PROJECT MANAGEMENT

Kerrymount Avenue
Foxrock
Dublin 18.



20

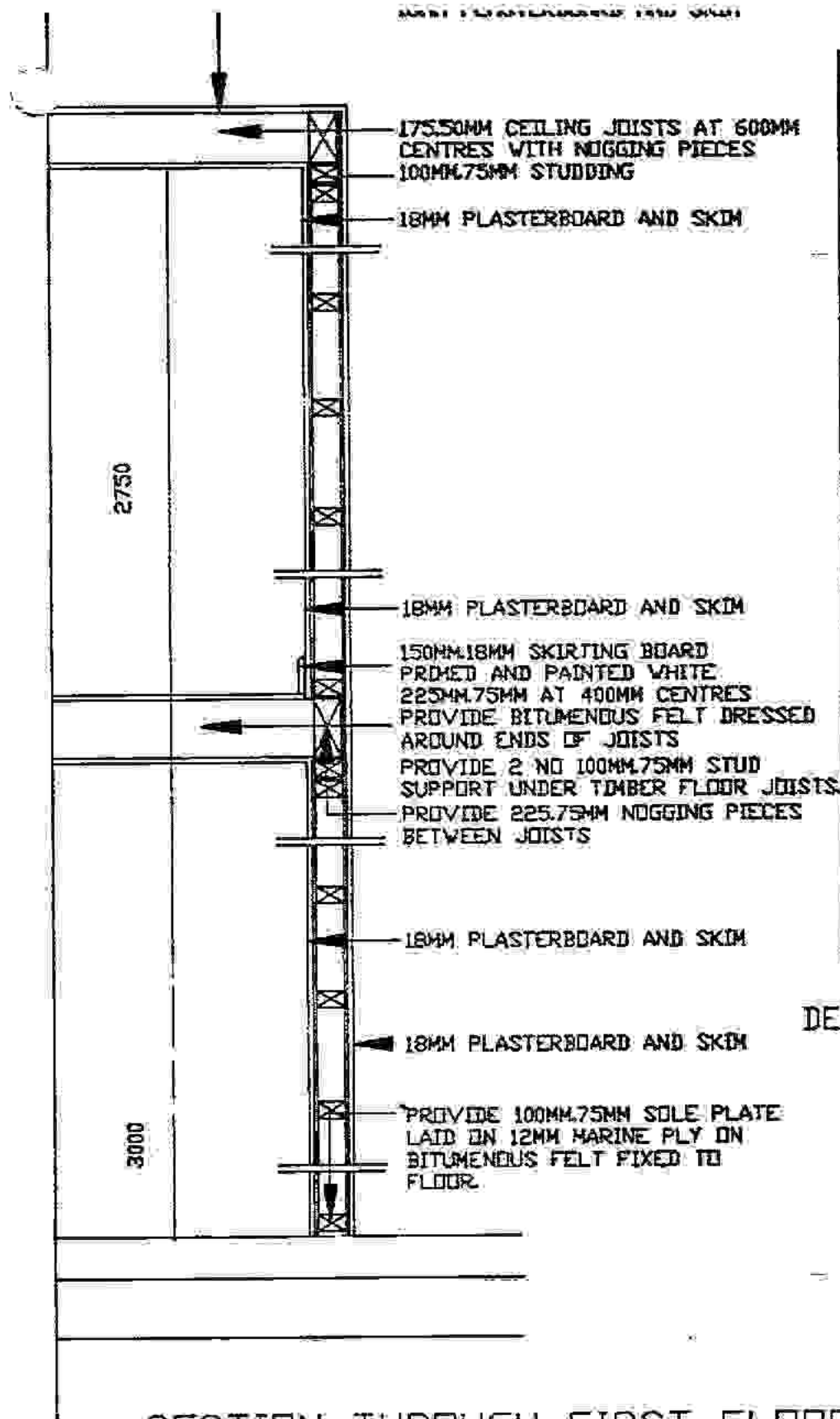


DUBLIN COUNTY COUNCIL
 Planning Dept Registry Section
 APPLICATION RECEIVED
 12 DEC 1991
 REG No. 91A/1963

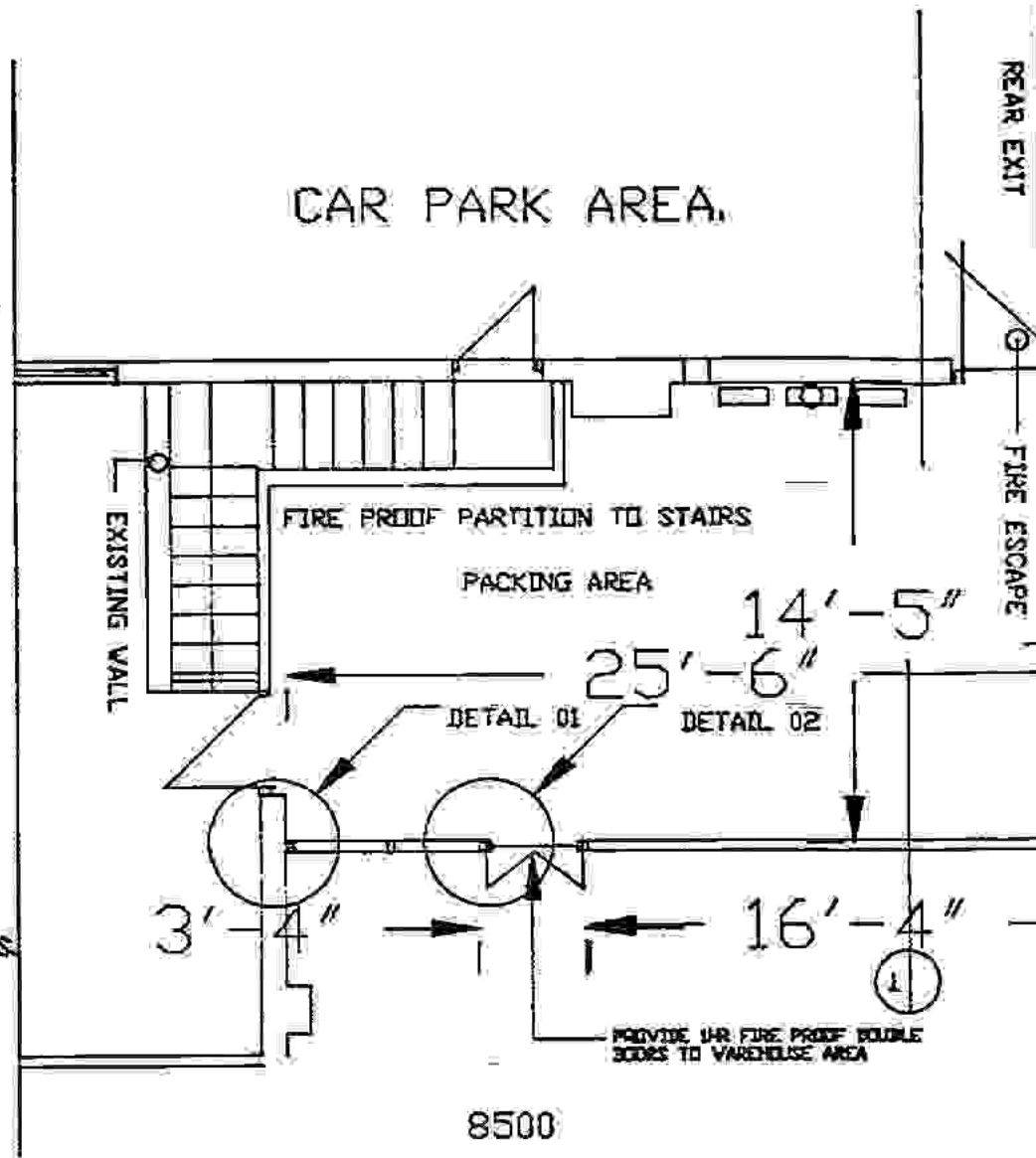
PROPOSED LAYOUT OF UNIT NO 21
 PARKMORE INDUSTRIAL ESTATE FOR
 DOROTHY AND PAUL LEDWIDGE
 FIRST FLOOR PLAN
 DRAWING NUMBER 930/52B REVISED
 DECEMBER 1991.
 SCALE 1/8"=1'-0" OR 1:100 APPROX.

OSBORNE ASSOCIATES
ARCHITECTURE
PLANNING
PROJECT MANAGEMENT

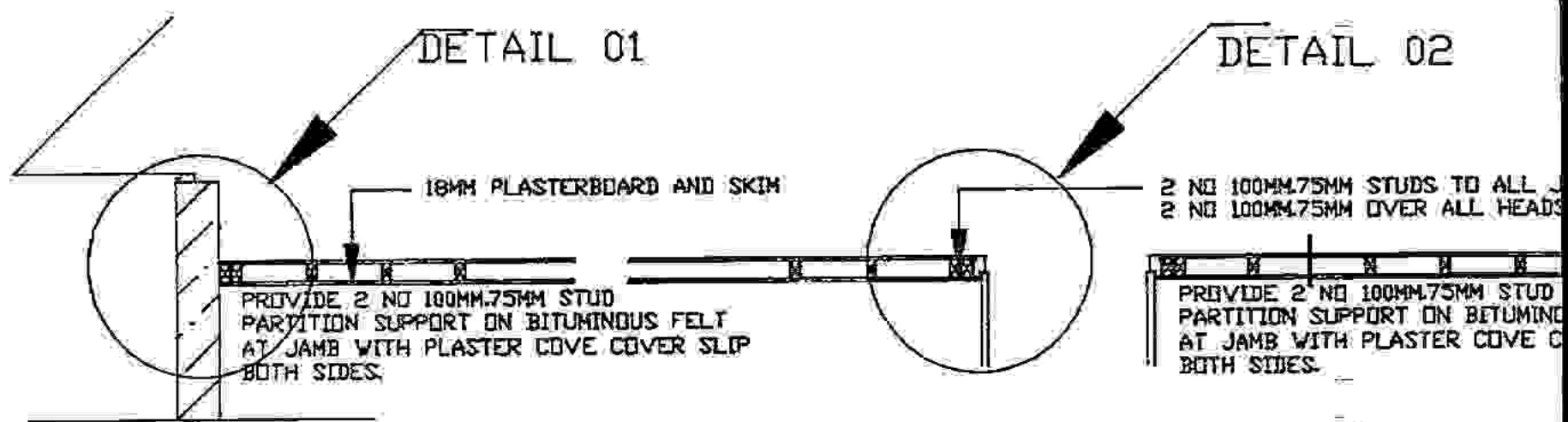
Kerrymount Avenue
Foxrock
Dublin 18.



SECTION THROUGH FIRST FLOOR SUPPORT

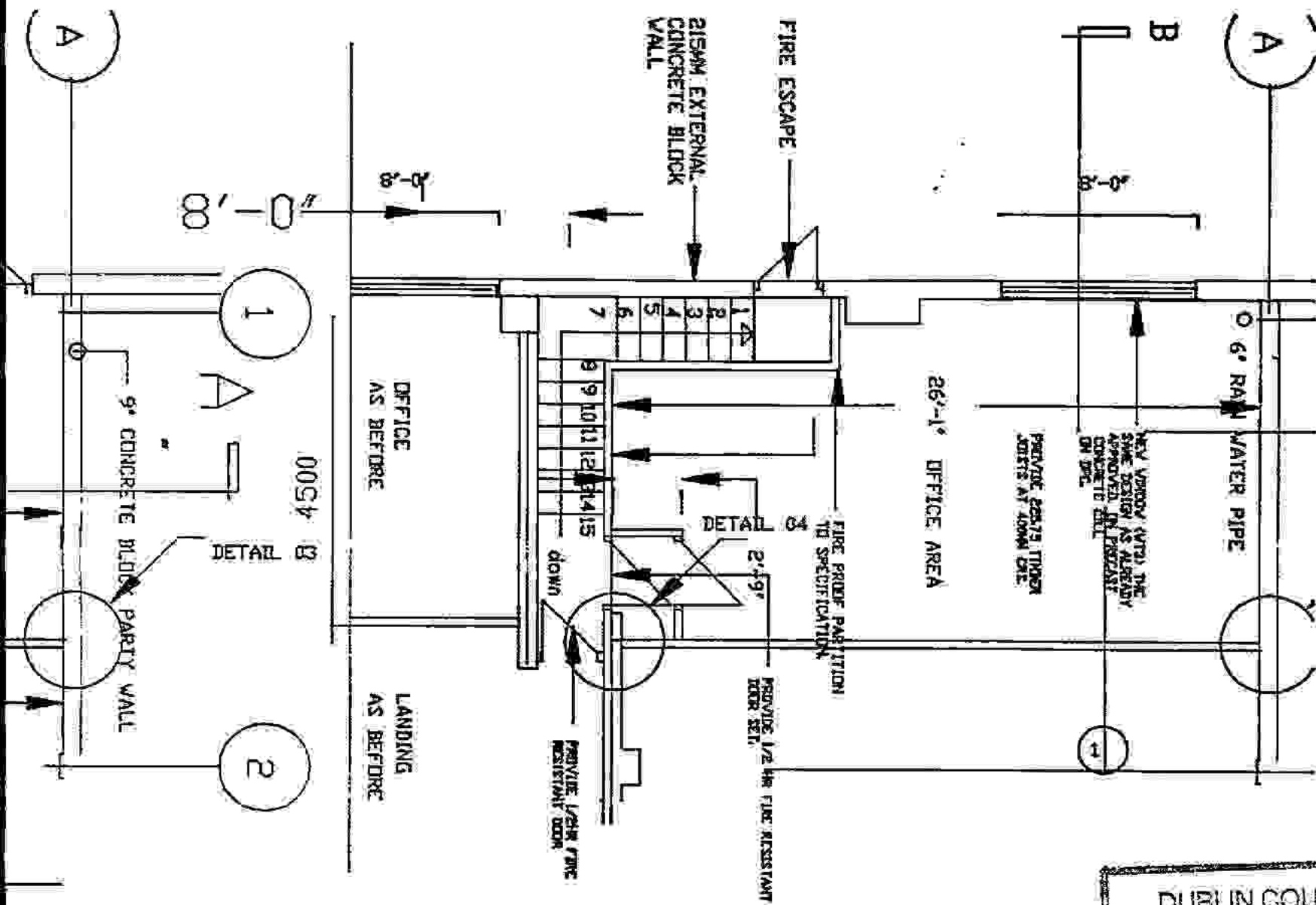


DETAILS AT GROUND FLOOR LEVEL.



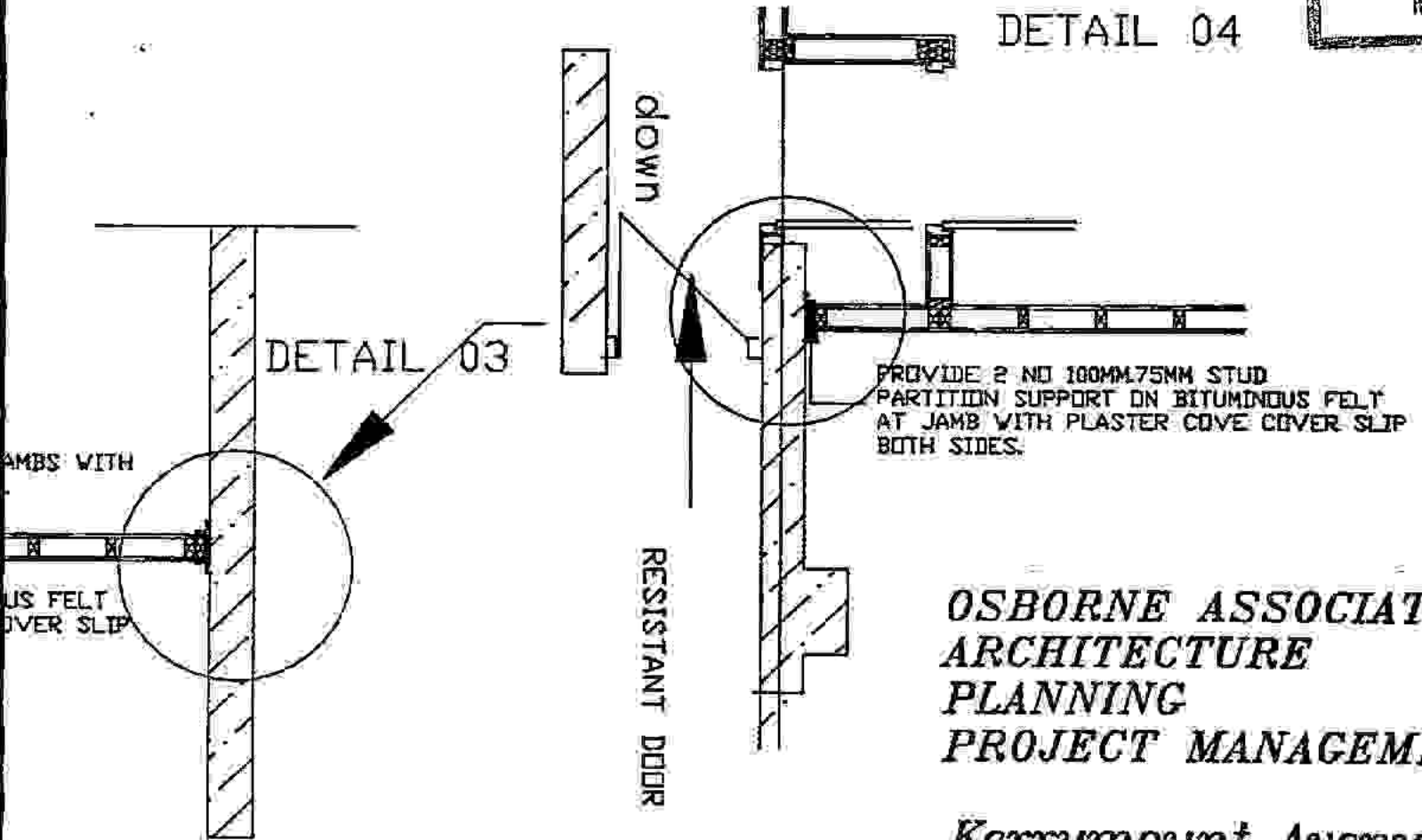
DETAILS OF PARTITION

DETAILS OF FIRST FLOOR SUPPORT
DRAWING NUMBER 930/06.



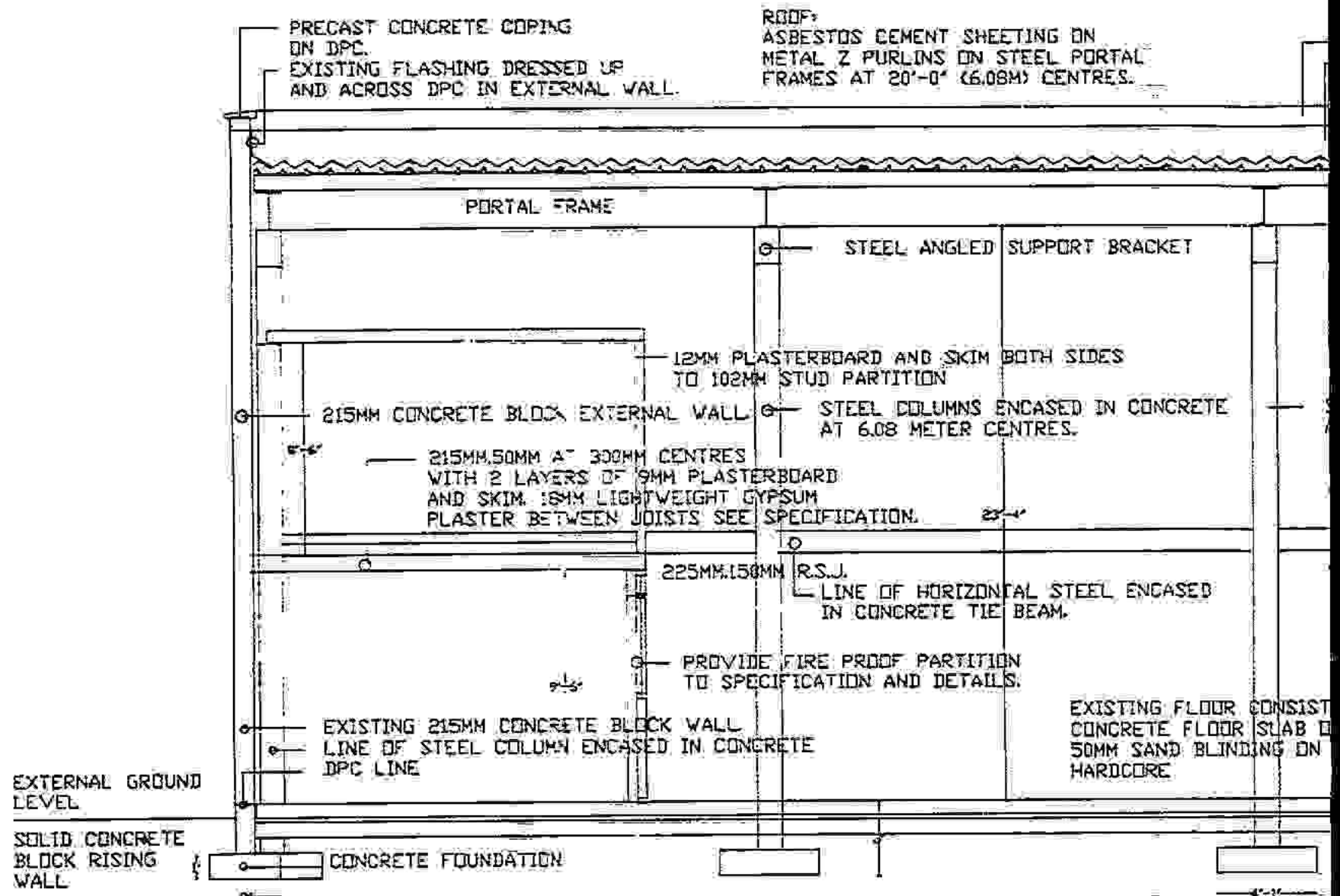
PLAN OF PROPOSED OFFICE ON THE FIRST FLOOR.

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 12 DEC 1991
 REG. NO. 91A/1963



**OSBORNE ASSOCIATES
 ARCHITECTURE
 PLANNING
 PROJECT MANAGEMENT**

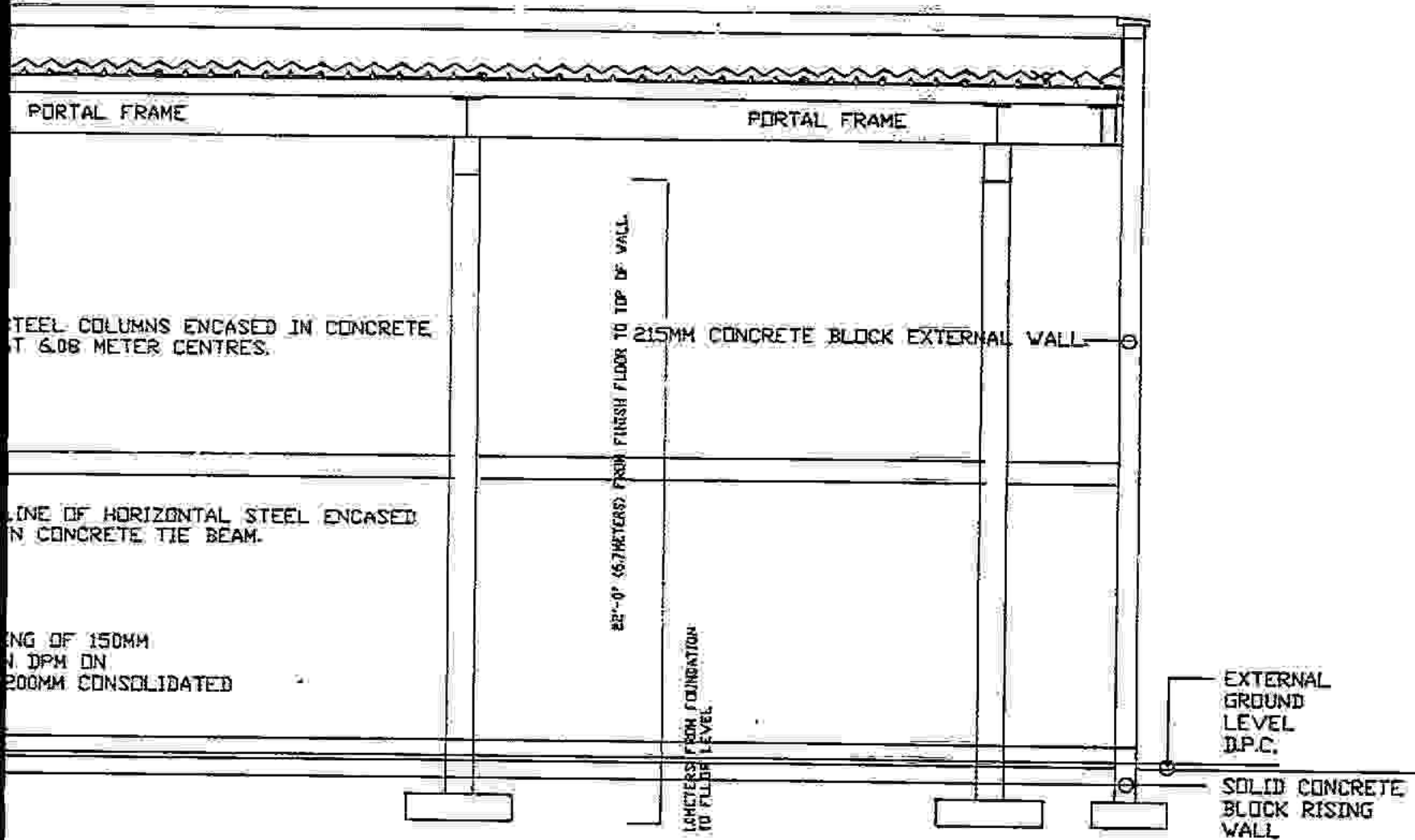
Kerrymount Avenue
 Foxrock
 Dublin 18.



CROSS-SECTION A-A THROUGH UNIT NO 21

PROPOSED ALTERATION TO EXISTING OFFICES AT NO 21 PARKMORE INDUSTRIAL ESTATE FOR DOROTHY PAUL LEDWIDGE.
 CROSS-SECTION A-A.
 SCALE 1/8" TO 1'-0".
 DRAWING NUMBER 930
 REVISED NOVEMBER

EXISTING PARTY WALL
LEAD FLASHING



PARKMORE INDUSTRIAL ESTATE

NS TO
UNIT
USTRIAL
AND

0/53A
1991

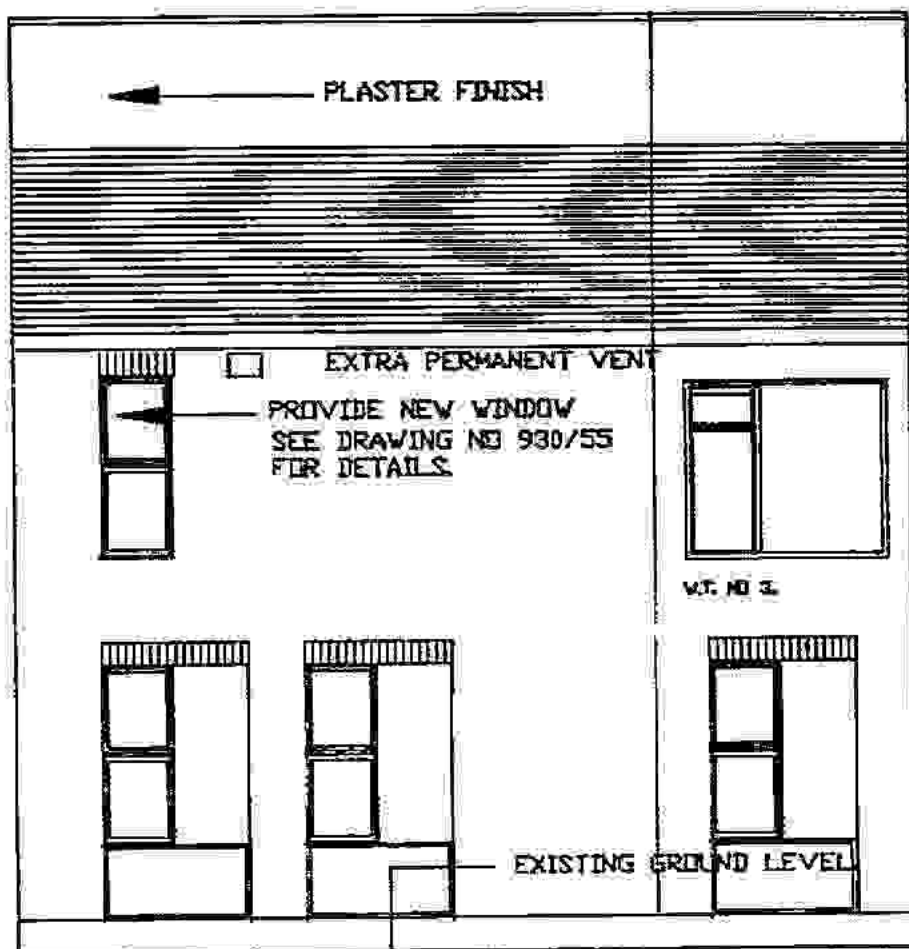
DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
12 DEC 1991
REG No. 91A/1963

RIAI

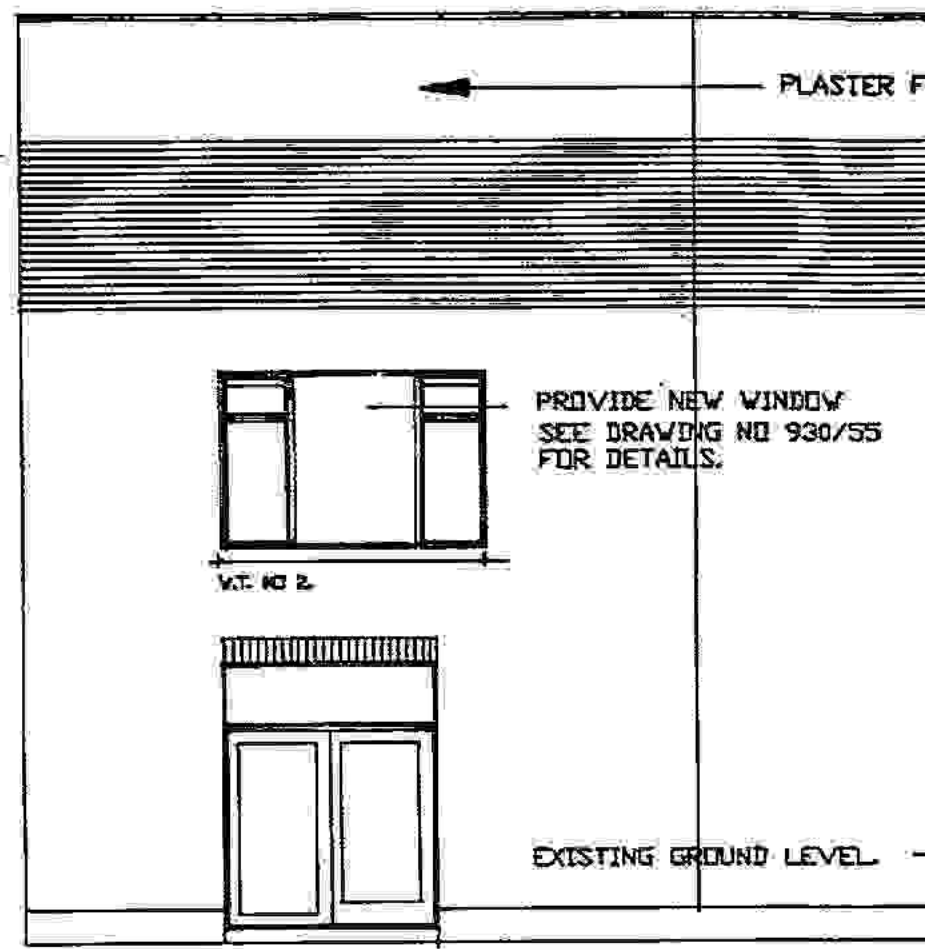


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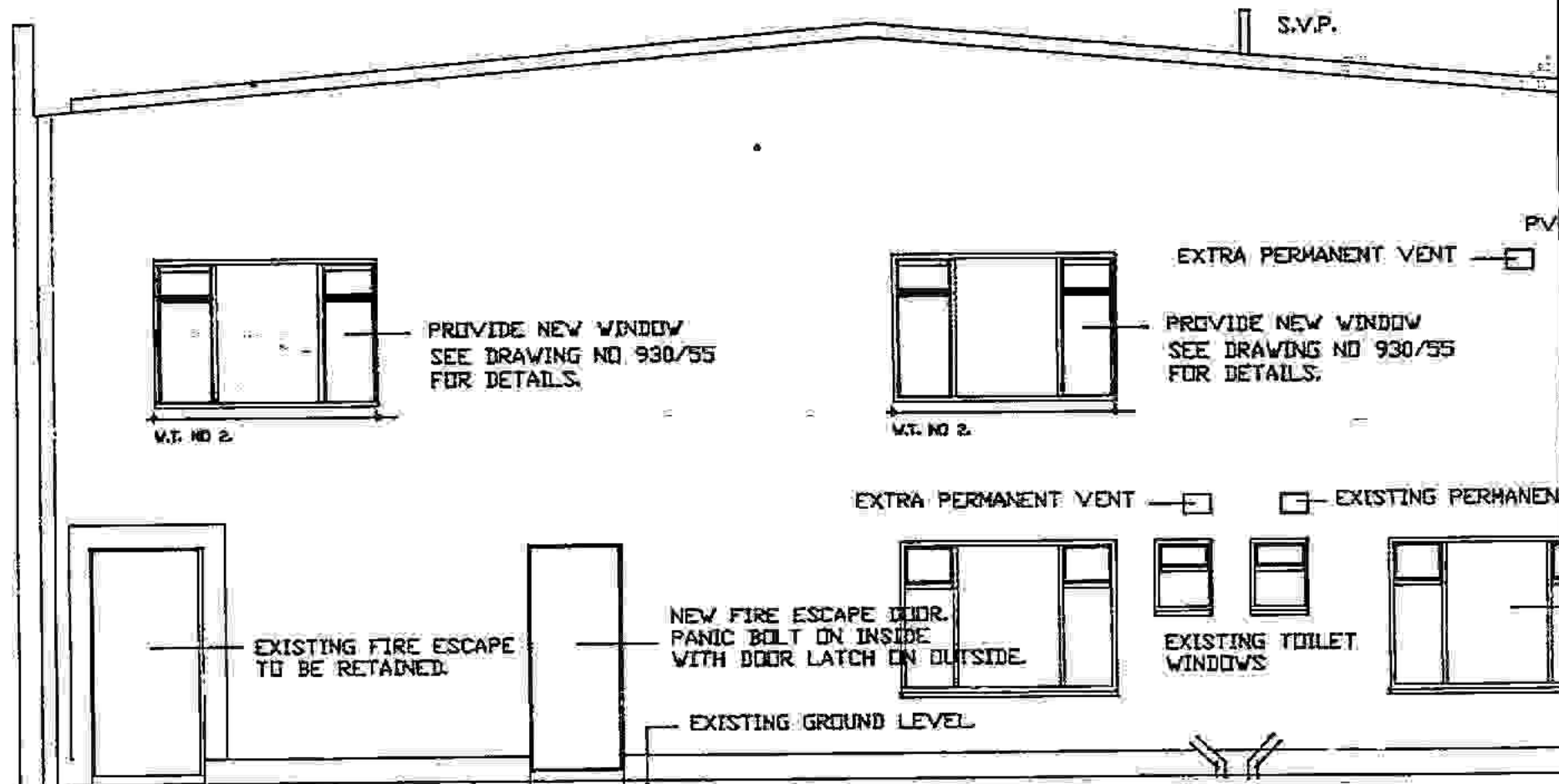
Kerrymount Avenue
Foxrock
Dublin 18.



SIDE ELEVATION

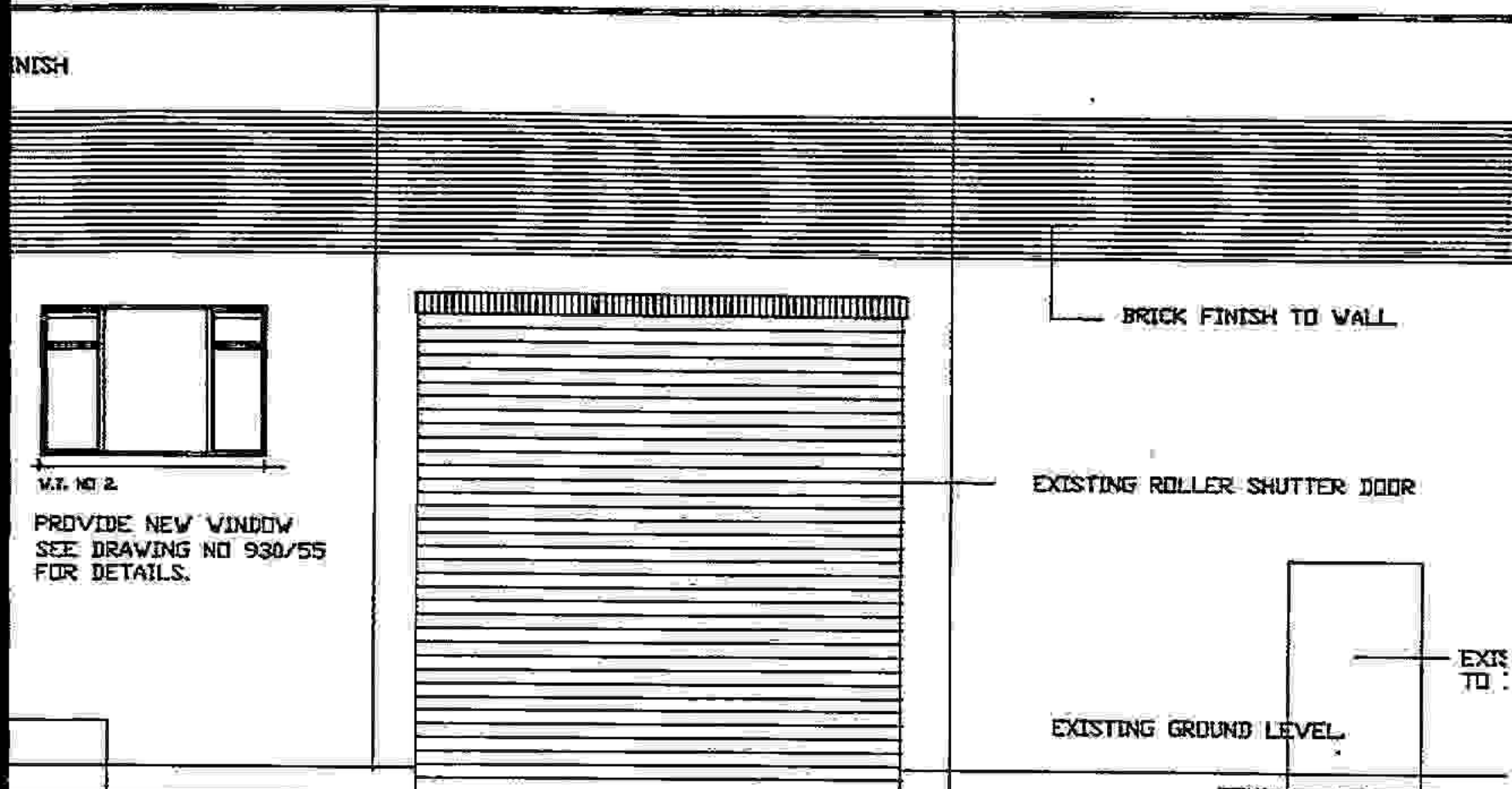


ELEVATION TO LONG M



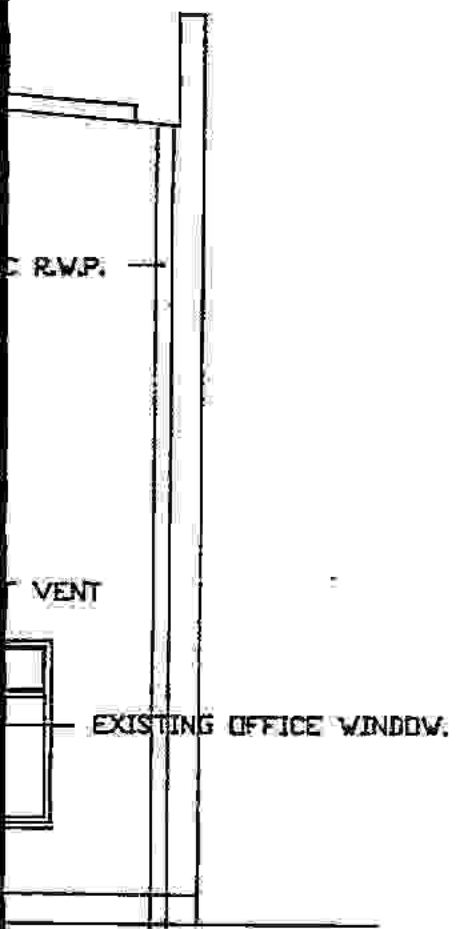
ELEVATION TO INDUSTRIAL ESTATE.

SCALE



...ILE ROAD. SCALE 1/8"=1'-0".

DUBLIN COUNTY COUNCIL
 Planning Dept Registry Section
 "APPLICATION RECEIVED
 12 DEC 1991
 REG No. 91A/1963.

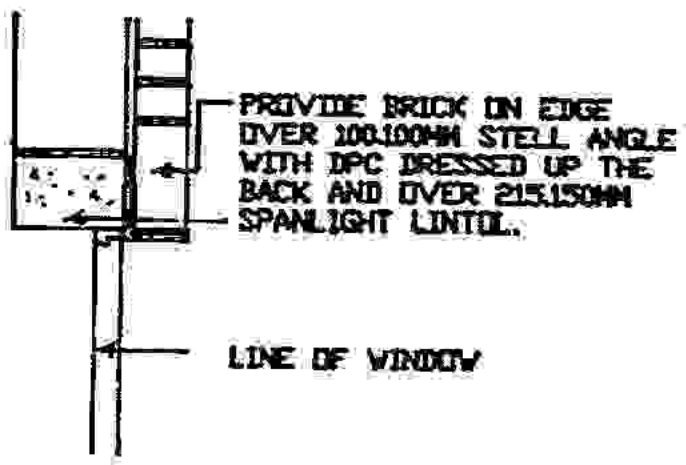


EXISTING ELEVATIONS OF UNIT NO
 PARKMORE INDUSTRIAL ESTATE SH
 POSITIONS OF NEW WINDOWS FOR
 DOROTHY AND PAUL LEDWIDGE.
 DRAWING NUMBER 930/56B.
 ELEVATIONS SCALE 1/8"=1'-0".
 REVISED DECEMBER 1991.

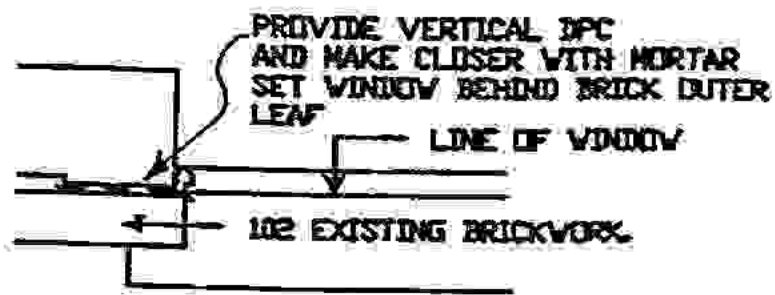
OSBORNE ASSOCIATES
ARCHITECTURE
PLANNING
PROJECT MANAGEMENT

Kerrymount Avenue
Foxrock
Dublin 18.

E 1/8"=1'-0".

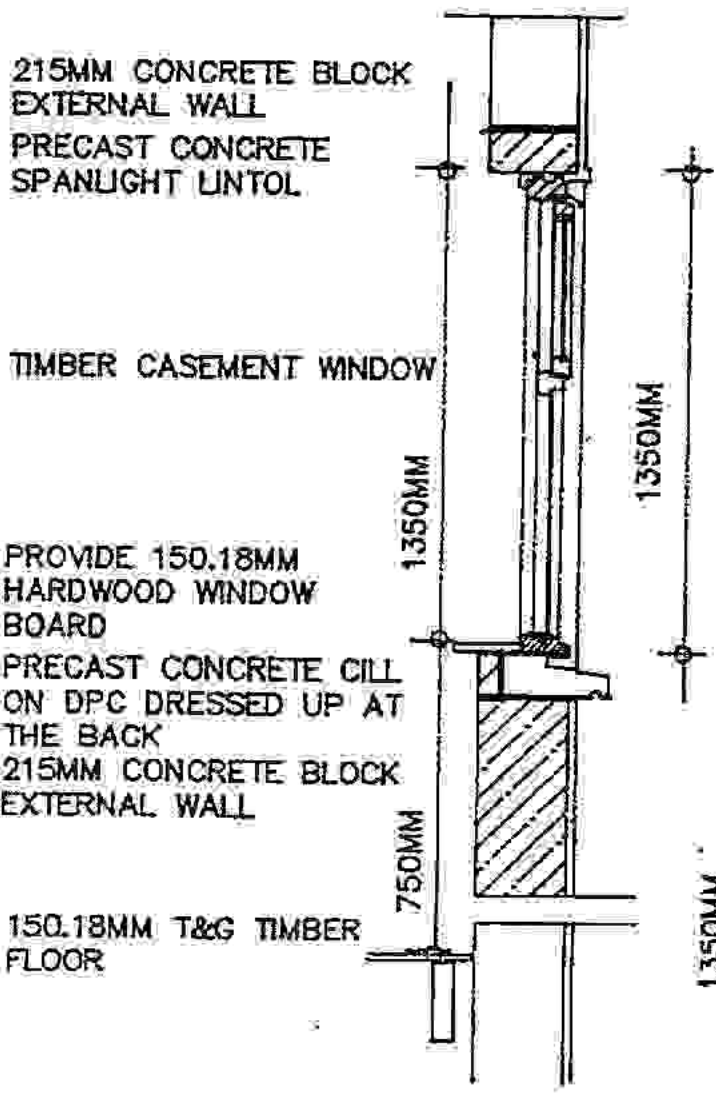


SECTION OVER BRICK HEAD

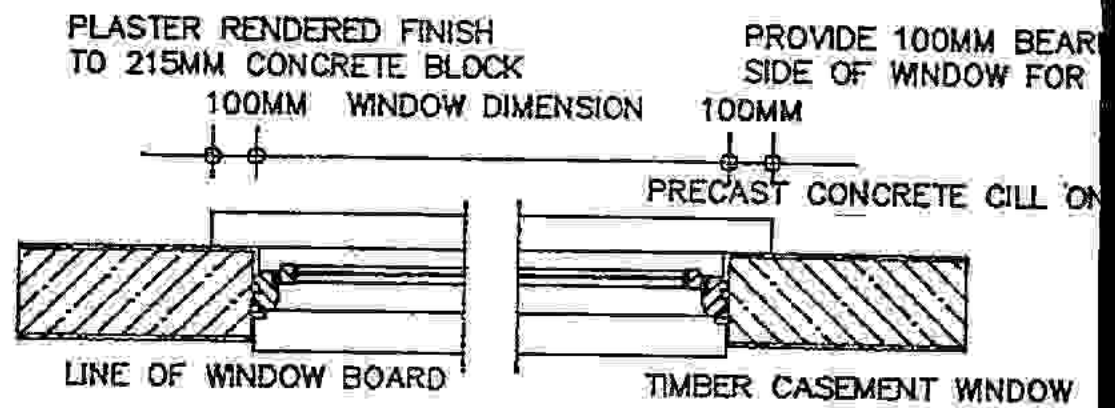


PLAN OF BRICK REVEAL

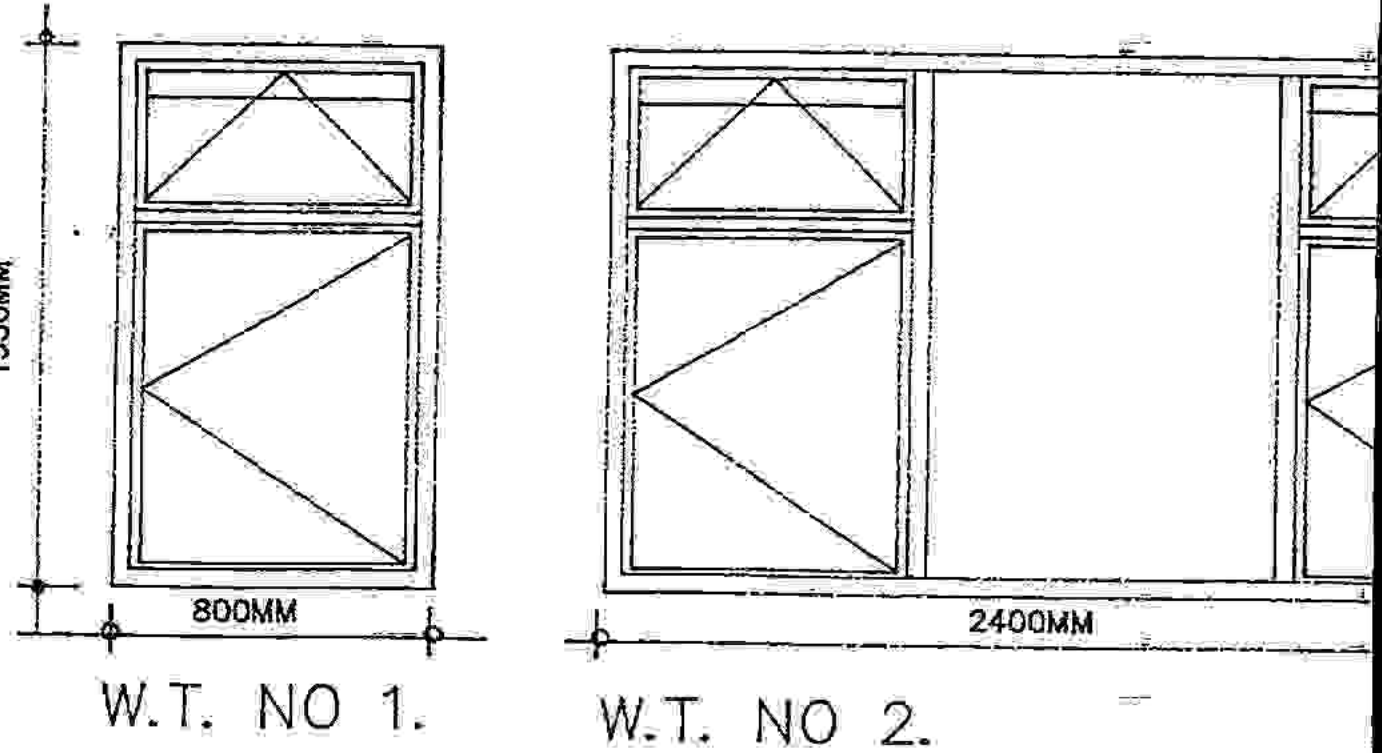
CILL DETAIL FOR BRICK THE SAME AS CROSS-SECTION EXCEPT ALLOW FOR EXTRA DEPTH BEHIND THE DPC.



CROSS-SECTION OF TYPICAL WINDOW.



PLAN OF TYPICAL WINDOW



WINDOW DETAILS FOR UNIT NO 21 PARKMOF
DRAWING NO 930/55.

SPECIFICATION NOTES: -

NG EITHER
CILL ON DPC.

DPC

ALL SPANLIGHT LINTOLS ARE TO HAVE A MINIMUM BEARING OF 100MM EITHER SIDE OF WINDOW OPENING.

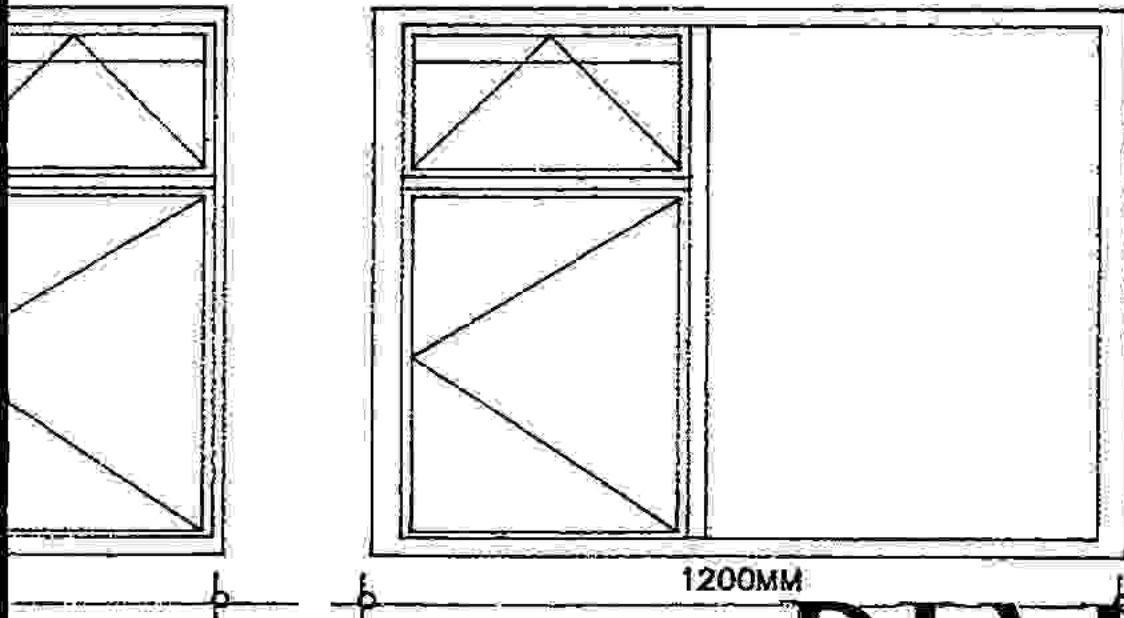
A DPC MOVEMENT JOINT IS TO BE INSERTED ABOVE THE SPANLIGHT LINTOL IN ALL CASES. THE WINDOWS ARE TO BE ERECTED ON A PRECAST CONCRETE CILL WITH A DPC UNDER AND DRESSED UP AT THE BACK OF THE CILL. A CONCRETE FILLET TO THE VERTICAL DPC AT THE BACK OF THE CILL IS TO BE INSERTED.

A WINDOW BOARD IN HARDWOOD IS TO BE INSERTED ON TIMBER GROUNDS. THE PRECAST CONCRETE CILL IS TO EXTEND 100MM ON EITHER SIDE OF THE OPENING AND THE EXTERNAL FINISH IS TO BE MADE GOOD.

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED

12 DEC 1991

REG No. 91A/1963



W.T. NO 3.

RIAI

RE INDUSTRIAL E



Osborne
Architecture
Planning
Project Management

Kerrymount Avenue
Foxrock
Dublin 18.

David McCready & Associates
Civil and Structural Engineers
29 Pembroke Park
Ballsbridge
Dublin 4.
Phone 680342.

Mr G. Osborne-Burke
Osborne Architecture
Kerrymount, Avenue,
Foxrock
Dublin 18

10/12/1991

Dear Sir,

Please find enclosed a copy of structural engineering calculations for by-law of drawings #930. All calculations have been prepared in accordance with the appropriate standards and/or codes of practise as individually specified.

D C McCready

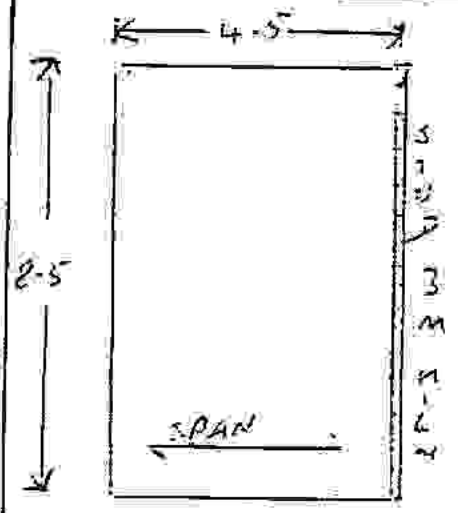
D C McCready



David McCready MBE Civil and Structural Engineer

Title		O.A.		Project No.	
Element		ADDITIONAL FLOOR + PARTITION		Page No. 5	
Drawing	Calcs. by	Checked	Date		
930/51	D.M.		12/10/91		

Ref.	CALCULATIONS	OUTPUT
------	--------------	--------



DIMENSIONS IN mm

B5 6394
T8
ET 203
PART 1
AF TABLES

FLOOR LOAD = 2.5 kN/m²

FLOOR JOISTS TO BE 75x275 @ 400 c/c

SERVICE LOAD TO STUDS = 3 x 4.5 / 2 = 6.75 kN
 SERVICE LOAD TO STUD @ 400 c/c = 6.75 x 0.4 = 2.7 kN

FLOOR JOISTS
TO BE M.C. NOR
OR SI. SP. 65 GRADE
75 x 275 @ 400 c/c

B3 5268
10.1. TP
10.2. T14
15.3. T19
15.4
15.5
T20

SC2 : $\sigma_{c11} = 5.3 \text{ N/mm}^2$
 $k_{211} = 0.6$
 $\sigma_{c11} = 5.3 \times 0.6 = 3.18 \text{ N/mm}^2$
 $L_e = 3,000 \text{ mm}$
 $i = 50 \quad L_e/i = 3000/50 = 60 < 180 \text{ -- OK}$
 $E/\sigma_{c11} = 5000/3.18 = 1572$
 $L_e/i = 3000/100 = 30$
 $K_{11} = 0.47$
 $\sigma_{c11 \text{ max}} = 5.3 \times 0.47 \times 0.6 = 1.5 \text{ N/mm}^2$
 $\sigma_{c11 \text{ app}} = 2.7 \times 10^3 / (100 \times 50) = 0.54 \text{ N/mm}^2$
 $\sigma_{c11 \text{ max}} > \sigma_{c11 \text{ app}} \dots \text{OK.}$

STUD MEMBERS
TO BE 65 GRADE
CLASS SC2
100 x 50 @ 400 c/c
BRIDGING @ 1000 c/c
FULLY BRACED BY
END WALLS AND
TREATED WITH
PRESISTIVE.
JOISTS TO BE
POSITIONED DIRECTLY
ABOVE STUDS.

SPECIFICATION FOR FIRST FLOOR OFFICE

UNIT NO 21

PARKMORE INDUSTRIAL ESTATE

for

Dorothy and Paul Ledwidge



**Osborne Associates
The Mews
Kerrymount Avenue
Foxrock
Dublin 18.**

GENERAL

Local and Other Authorities:

The contractor shall comply with all the bye-law and other requirements of the Local Authority.

Conditions of Contract:

This specification is an outline specification and should be carefully read in conjunction with the working drawings and the provisions laid down in the Contract Document.

Materials and Workmanship:

The materials and workmanship shall be in accordance with the drawings and the specification.

Quality of Materials:

The term "standard specification" means the latest specification for the respective articles so described and accepted by the Local Authority or otherwise by agreement with the Architect.

Water:

The contractor shall be responsible for the provisions of a proper water supply of clean water for the use of the works.

Notification:

The contractor shall notify the Local Authority at the appropriate stages of the work and arrange for all inspections.

Contractor to examine drawings and visit the site.

The contractor undertaking the work and tendering will be deemed to have examined the Drawings and the Specification, the site and all features thereof with all the drains, mains, adjoining premises or other matter affecting in any way the proposed works. The contractor will have ascertained for himself the nature and extent of the work to be carried out, the conditions under which it is to be executed, levels of the ground and facilities for delivery and storage of materials, plant, etc. and to have generally obtained his own information in all matters and incidentals which could in any way influence his tender. The client accepts no responsibility for any additional works outside any extra works ordered or variations to the main contract.

Satisfaction of the Works.

The work is to be executed under the supervision, control and to the entire satisfaction of the Architect, and the contractor shall give due and proper notice to the Architect and await his inspection before executing foundations or any other work connected with drainage, or otherwise, covering up works or proceeding with works about which there is any difficulty or doubt.

Samples

Samples of all materials, manufactured articles and workmanship shall be procured in accordance with the specification and submitted to the Architect for provisional approval before adoption, but such approval shall not relieve the contractor in any way from responsibility for defects appearing subsequently. Approved samples will be retained until completion of the contract by the Architect, who shall have power to reject all materials and samples in all respects. Materials and manufactured articles supplied or fixed, or work executed without submission or approval of samples shall be removed and the necessary reinstatements executed at the contractors expense should the Architect so direct. All materials are to be new unless otherwise specified and if required, the contractor is to furnish evidence that the materials are of the origin, description and quality or price specified.

Safety Precautions.

The contractor shall take all the necessary precautions for the safety of the workmen and the public and shall comply with the provisions of the current Building (Safety, Health and Welfare) Regulations.

Protection of the works.

The contractor is to permit nothing to be done calculated to injure the stability of the work or building, and no cutting through walls or floors is to be allowed, other than where required by the drawings or the specification therein without the sanction of the Architect, and the contractor will be held responsible for all damage arising through carelessness or inadvertence in this respect.

Conditions of Contract.

The conditions of contract shall be the R.I.A.I. form of contract without Bills of Quantities.

Scope of the Contract.

The whole of the works are to be carried out in a good and workmanlike manner to the full intent and the meanings of the drawings and standards together with all materials and workmanship etc. are to be of the respective kinds as described in this

specification and in accordance with the conditions of contract and to the satisfaction of the Architect.

Commencement of the Work.

The work shall be commenced when so directed by the Architect and shall be carried out with due diligence and with such expedition as, in the opinion of the Architect, maybe considered necessary to ensure its completion within the contract period. The contractor shall submit a progress schedule for the Architect's approval within 14 days of his receipt of the order to commence, setting out a building programme.

In all contracts, the contractor shall arrange with the Local Authority Bye-Law section to examine the work at the following stages:-

1. Trenches for foundations.
2. Damp Proof Course Level.
3. Fire Protection of Floors.
4. Fire Protection of Roof.
5. Completed Contract.

Temporary Fencing and Protection.

The contractor shall provide all temporary fencing, hoarding and the like, that he considers necessary for the protecting of the works, adjoining property, and the public, and for the proper execution of the works. It is the contractor's responsibility to see that no foreseen accidents occur on the site.

Demolition and Removals.

The contractor shall be deemed to have visited the site and examined the existing building, and site etc in order to ascertain their nature, and the extent of the work involved in their retention where shown and their removal where necessary. Old materials, if considered suitable by the Architect may be subsequently be re-used as dry filling or otherwise, subject to the Architect's approval.

No buildings or other works are to be taken down or otherwise interfered with without the approval of the Architect. Provide for the filling in of all openings and for taking up any old drains, sewers or pipes met during excavation, and for properly sealing up outlets of the same. Cart away all rubble matter off the site.

TIMBER AND JOINERY.

Materials:

The materials must conform at least to the appropriate British or Irish Standards where such standards exist.

The following British Standards should be noted:-

Timber nomenclature	BS 589, 881.
Structural Softwoods	BS 1860.
Softwood Flooring Grading and Sizing	BS 1297.
British Made Plywoods	BS 1455.
Nails	BS 1202 Parts 1-3. BS 1494.
Screws	BS 916, 1210, 1494. BS 1769, BS 2465.
Timber Connections	BS 1579.
Bolts	BS 916, 1494, 1769. BS 3139 Part 1. BS 4395 Part 1.
Preservatives	BS 144, 913, 1282, BS 3051, 3452-3, BS 3842, 4072.
Adhesives	BS 1203, 1204.

Timber for carcassing shall comply with BS 1860 and with the recommendations contained in BS and Cp 112.

Hardwood shall comply with BS 1186, Parts 1 and 2.

Hardwood shall be mahogany, teak or iroko where specified to match a sample already approved by the Architect.

All timber used throughout the work shall be well seasoned and dry, free from sap, shakes, large or loose knots, waney edges or other imperfections. All timbers found defective in these respects shall be removed from the site.

White deal shall be spruce, straight, well seasoned and free from sapwood. Red deal for joinery shall be redwood or other approved timber by the Architect.

Moisture Content:

The moisture content of all timber shall not exceed the permitted maxima set out in IS 96.

All timber shall be free from surface moisture at time of treatment with preservative.

Timber Preservatives:

All timber is to be machined to profile prior to treatment. All timbers are to be pre-treated with preservative in strict accordance with the recommendations of the respective preservative manufacturer. The reduction in size of pre-treated timbers on the job shall be kept to a minimum and timbers so cut, together with all cut ends, notches etc., shall be treated liberally brushing on two coats of distinctively coloured preservative. Small pieces of timber used for grounds etc. shall also be treated with Protim or other approved material. Suitable precaution shall be taken by the contractor by way of the provision of PVC gloves, etc. to ensure that any men in contact with timber preservatives in their wet state are protected from any possible skin irritation which might result from direct contact.

Workmanship:

any timber splitting or opening to the extent of 2mm or more within the contract period shall be replaced. All joiners work is to be properly wrought and framed together and finished in a workmanlike manner. All framing to be morticed and tenoned. Tonguing to be crossgrained.

Skirtings:

Skirtings are not to be laid until after the flooring is laid, unless otherwise specified. Skirtings shall be scribed along their lower edge to the contours of the flooring. All floors to have 150mm.18mm red deal skirting mitred and angled. Where skirting is fixed to blockwork, they shall be secured with 50mm.22mm white deal treated grounds plugged to walls.

Windows:

The windows shall incorporate a permanent in the glazing section.
See drawing no 930/55 for details.
Window boards, 25mm wrough moulded on edges and corners and secured to grounds and shall be fixed to all windows.
All frames to be bedded in mastic on concrete cill upstands.

External Door Frame:

External door frames shall be prepared 75mm.112mm in wrough deal, rebated in the solid, secured to grounds and doweled at foot to heel blocks. Frames shall not be set into paving or set into concrete step.

Internal Door Frame:

Internal door frame shall be 40mm thick wrough deal with 60mm planted stops. They shall be 100% solid and fixed in accordance with the manufacturer's instructions.

DETAILS OF PARTITION.

Sole Plate:

Provide a 100mm.75mm sole plate fixed to the ground. The sole plate is to be laid on a 12mm marine ply strip 100mm wide on a strip of bitumen felt.

Studding:

The studding is to consist of vertical 100mm.75mm studs at 400mm centres. Horizontal bracing of 100mm.75mm is to be located at 1000mm centres.

Openings:

Where a door or fire proof 6mm Georgian window is to be inserted at ground floor level the head is to be supported by 2 no 100mm.75mm trimmers supported on 2 no 100mm.75mm reveal supports as indicated on the details. Under no circumstances are any openings to be greater than 1200mm or adjacent to each other more than 1200mm.

First Floor Joists:

The first floor joists are to consist of 225mm.75mm sections at 400mm centres. The joists are to be supported on 2 no 100mm.75mm continuous heads. Between each joists a 225mm.75mm end piece is to be inserted. At the ends of the joists insert a bituminous felt strip dressed up and over the head supports.

Ceiling Joists:

At ceiling level insert 175.50mm joists at 600mm centres over 2 no 100mm.75mm heads. Between each joists a 175mm.75mm end piece is to be inserted. At the ends of the joists insert a bituminous felt strip dressed up and over the head supports. The ceiling shall consist of 18mm plasterboard and skim both sides of the ceiling joists.

Partition:

The partition is to consist of 18mm plasterboard and skim both sides.

Abutements:

At both ends of the partition insert 2 no 100mm.75mm studs. At the ends of the studs insert a bituminous felt strip dressed up against the wall abutment. Place a plaster cove strip over the ends of the partition and paint.

External Wall Support:

The joists are to be supported off the external wall by inserting the ends of the joists into the wall and resting them on a minimum of 100mm bearing. Any opening for the joists made shall be cemented back in.

Toilet Area:

Provide standard 75mm stud partitions with 9mm plasterboard and skim both sides to the toilet area. A whb and toilet shall be provided by the clients to the locations as indicated on the plans. A permanent vent shall be installed in the window and additional 225.150mm permanent vents shall be installed to both the toilet lobby and the reduced storeroom area. The wastes shall be connected to the existing 150mm Soil Vent Pipe.

Stair Enclosures:

The stair enclosures are to be provide with 100.50mm studs at 600mm centres with a 18mm plasterboard and skim both sides.

At ceiling level insert 175.50mm joists at 600mm centres over 2 no 100mm.75mm heads. At the ends of the joists insert a bituminous felt strip dressed up and over the head supports. The ceiling shall consist of 18mm plasterboard and skim both sides of the ceiling joists.

Fire Doors:

All fire doors shall be a minimum of 1/2 hour fire door sets unless stated otherwise on the drwaings. They shall comply with B.S. 476 Part 8:1972. The contractor will supply fire certificates for the same. All fire doors should have closers on them. In addition smoke seals should be provided. Adequate fire extinguishers should be provided throughout the warehouse, ground floor and first floor offices.

PAINING AND DECORATING.

Painting:

None other than skilled workmen, except apprentices, to be employed on the works. All paint is to be prepared and applied strickly in accordance with the manufacturer's instructions. The approval of the Architect must be obtained to any proprietary paint before use. The contractor shall be allowed to use only paint as approved. The paint shall be delivered to the site in sealed tins bearing the manufactures name and clearly labeled as to the quality of the paint. Additions or alterations of these products will not be allowed. The undercoating shall be the same brand as the finishing coat. Paints for internal and external use shall be of first quality hard gloss conforming to IS32. All surfaces to be thoroughly dry before knotting, stopping or painting.

Primer:

The priming paint for joinery shall be an approved oil resin primer containing aluminium to comply with BS 4756. Priming shall be carried out at an early stage on the site and before the joinery is exposed to weather but not less than ten days after treatment with preservatives as herein before specified. The primer shall be applied to all door and window surrounds prior to fitting.

Internal Woodwork:

All internal woodwork shall be knotted, primed, stopped, filled and painted one coat of undercoating and one finishing coat of white gloss.

External Woodwork:

All external woodwork be knotted, primed, stopped and filled. Bottom edges of all doors shall be primed and painted one coat prior to hanging, all other woodwork to have two coats of undercoating and one finishing coating white unless stated otherwise.

Ceilings:

Ceilings throughout shall be finished in two coats emulsion paint in colour white and applied in accordance with the manufacturer's specifications.

Internal Wall Finishes:

All internal wall finishes should be coated with 2 coats of emulsion to the schedule of colours as defined by the client.