

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1953 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/POUL SEWER, SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S CHECKED NO. BY
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRANTS

PLANNING APPLICATION FEES

Reg. Ref. 91A/1961 Cert. No. 27400
 PROPOSAL House Garage & Septic Tank
 LOCATION "Casa at last" Redgar Rathcoole
 APPLICANT Paul M. Meehan

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32	£32	£32	—	
2	Domestic,	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres	@£1.75 per m2 or £40				
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: Grade Date
 Column 1 Endorsed: Signed: Grade Date
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade S.O Date 17/2/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade Date

EASTERN HEALTH BOARD

Reg. Ref: 91A/1961

re: Proposed: "RELOCATION OF HOUSE AND SEPTIC TANK."
 At: Red Gap, Rockledge."
~~For: [unclear]~~
 Plans lodged:
 Architect:

~~Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.~~

Dear Mr. Downey, I refer to your recent query re Cond. 2 of the above permission which is stated: -

AS THE SEPTIC TANK AND PERCOLATION AREA WAS INSTALLED PRIOR TO ~~THE~~ INSPECTION ~~BY~~ THE SUPERVISING HEALTH OFFICERS HE WAS UNABLE TO COMMENT ON THE SOIL SUITABILITY FOR THE TREATMENT OF SEPTIC TANK EFFLUENT OR THE WATER TABLE LEVEL IN THE PERCOLATION AREA.

~~A TRIAL HOLE WAS INSPECTED ADJACENT TO THE EXISTING PERCOLATION AREA - TRIAL HOLE 6'6" DEEP - 1 FOOT OF WATER~~
~~A LOT OF STONE AND ROCK NOTED.~~

However, from a visual inspection, ON THE DAY THE SEPTIC TANK APPEARED TO BE OPERATING IN A SATISFACTORY MANNER.

~~[Signature]~~
21/8/92



ENVIRONMENTAL HEALTH BOARD

2000
BLANTE
AN DIRTNAIR

ENVIRONMENTAL HEALTH OFFICERS' SERVICE
23 Gordon Road
DUBLIN 7
Tel 127777

OUT FAX NO. 747677.

DATE: 21 AUGUST 1992 TIME: 10.30 A.M.

FROM: PETER WHELAN

TO: MR. RICHARD CRENSHAW

NO. OF PAGES: TWO

COMMENTS:

SIGNED: Peter Whelan

EASTERN HEALTH BOARD

P.C. _____ Reg. Ref: 91A/1961
 Proposed: RELOCATION OF HOUSE AND SEPTIC TANK
 At: RED GAP, RATHLEIGH
 For: PAUL MURPHY
 Plans lodged: _____
 Architect: _____

Observations and recommendations of Env. Health Officers and/or
 Supervising Env. Health Officer.

AS THE SEPTIC TANK AND PERCOLATION AREA WAS
 INSTALLED PRIOR TO MY INSPECTION I AM UNABLE TO
 COMMENT ON THE SOIL SUITABILITY FOR THE TREATMENT
 OF SEPTIC TANK EFFLUENT OR THE WATER TABLE LEVEL
 IN THE PERCOLATION AREA.

A TRIAL HOLE WAS INSPECTED ADJACENT TO THE
 EXISTING PERCOLATION AREA - TRIAL HOLE 6'6" DEEP - 1 FOOT OF
 WATER
 A LOT OF SHALE AND ROCK NOTED.

FROM VISUAL INSPECTION, ON THE DAY THE SEPTIC TANK
 APPEARED TO BE OPERATING IN A SATISFACTORY MANNER.

Peter Whelan
 21/8/92.

May Galvin

EASTERN HEALTH BOARD

P.C. _____ Reg. Ref: ZA 453 and 9.4/1961

Proposed: REMOVAL OF HOUSE AND DRIVE

At: 222 SP, RATHCOLE

For: PAUL MURPHY

Plans lodged: _____

Architect: _____

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

The Septic Tank and Percolation area are already in place on this site. A trench here was inspected adjacent to the existing percolation area. This hole 6' deep - 1 foot wide. A lot of shale and rock.

The Percolation area is located at a suitable distance away from the adjoining wells and Percolation areas.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 04.05.92
Time 12.30

Endorsed
for John O'Reilly P.E.H.B.
30/4/92

Peter Shanahan
29/4/92

P/417/92

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

BELGARD

Register Reference : 91A/1961

Date Received : 12th December 1991

Correspondence : Mac Conville Downey Architects,
Name and : 17 Brighton Square,
Address : Dublin 6

Development : Retention for approved house, garage and septic tank as altered and built

Location : "Casa at East", Redgap, Rathcoole

Applicant : W. Paul Mulhern

App. Type : Permission

Zoning : B

Floor Area : 142.6 sq. metres

(GB/BB)

Report of Dublin Planning Officer dated 27th January, 1992.

This is an application for PERMISSION. The proposal consists of the retention of an approved house, garage and septic tank, ^{an} altered and built at Redgap, Rathcoole.

The area in which the site is located is zoned with the objective "to protect and provide for the development of agriculture". ("B").

The site area is stated to be 3,456 sq. metres and the floor area of the house 142.6 sq. metres.

The planning history of this site is as follows:-

YA 1261 - Outline permission refused for a dwelling house in 1983.

ZA 463 - Permission granted by An Bord Pleanala for a house overturning a refusal by the Planning Authority. The house type shown was a modern design, with a plain rendered finish.

CONTRIBUTION:	
Standard	All
	Septic tank + 1000
	Road Contribution
	Not conditional
	House is
	latent then
	Form/Con.
	Cash:

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1961

Page No: 0002

Location: "Casa at Last", Redgap, Rathcoole

The house was subsequently constructed with a number of variations:-

- (a) exact location slightly different, but acceptable,
- (b) alterations in elevations to include balcony, omission of a boiler house, different design to steps at side,
- (c) grey split block and black concrete roof tiles used instead of plaster finish and slates.

The applicant contacted this Department during 1991 with a view to extending the existing permission (ZA 463) under Section 4 of the Local Government (Planning and Development Act) 1982, by which the Planning Authority may extend a permission if it is satisfied that, inter alia, substantial works have been carried out pursuant to the permission and development will be carried out within a reasonable time. *An application was made and was refused by the Planning Authority on 14/11/91 (Ref. 4/30/E/424).*

Because the house was already completed, applicant was advised to apply for retention of the dwelling.

It is with ~~extreme~~^{Ec.} reluctance that planning permission ~~would~~ be recommended for this dwelling as finished. The combination of split block and concrete tiles are not at all suited to the location. However, the basic design of the house is close to that for which planning permission was granted, and the design of many surrounding dwellings leaves much to be desired. It would seem unreasonable in the circumstances to withhold planning permission.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following () conditions:-

CONDITIONS / REASONS

- 01 The development in its entirety to be in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1961

Page No: 0003

Location: "Casa at Last", Redgap, Rathcoole

02 That the applicant shall satisfy himself with regard to the compliance with the requirements of Supervising Health Inspector in regard to water supply and septic tank.

02 REASON: In the interest of the proper planning and development of the area.

03 That the block wall at the entrance to the dwelling to be completed, capped and rendered.

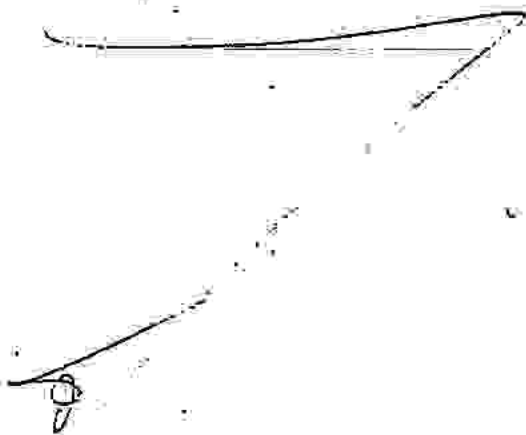
03 REASON: In the interest of the proper planning and development of the area.

04 ~~04 That a financial contribution, in the sum of money equivalent to the value of £800. as on 1st January, 1991, updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.~~

~~04 REASON: In the interest of the proper planning and development of the area.~~

05 05 That entrance gates to be recessed 1.5 metres from the new boundary with wing walls splayed at 45 degrees.

~~05~~ REASON: In the interest of the proper planning and development of the area.




COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 91A/1961

Page No: 0004

Location: "Casa at Last", Redgap, Rathcoole


Endorsed:
for Principal Officer


Richard Cosmino SEP
for Dublin Planning Officer 31/4/92

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (4) conditions set out above is hereby made.

Dated : 7th ^{February} JANUARY 1992


ASSISTANT COUNTY MANAGER/~~APPROVED OFFICER~~

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 10th December 1991.

Geraldine Boothman.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1961.
DEVELOPMENT: Ret. for approved house, garage.
LOCATION: "Casa at Last" Redgap, Rathcoole.
APPLICANT: W.P. Mulhern.
DATE LODGED: 12.12.91.

An application for a house on this site was previously refused by Dublin County Council Reg. Ref: ZA/0463 for reasons including traffic hazard. This was subsequently granted by An Bord Pleanala on 14th June 1984. It is noted that this permission has now elapsed.

If, however, due to An Bord Pleanala decision, permission is being granted this should be subject to:-

1. A financial contribution, in the sum of money equivalent to the value of £800. as on 1st January, 1991, updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.
2. Entrance gate to be recessed 1.5 metres from the new boundary with wing walls splayed at 45°.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 21.01.92
Time 4.00

AMCS/BMcC
13.1.92.

SIGNED: A. McSlágh
DATE: 13/1/1992

ENDORSED: G.P. Smith
DATE: 13/1/92



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 0417 /92 Date of Decision : 7th February 1992

Register Reference : 91A/1961 Date Received : 12th December 1991

Applicant : W. Paul Mulhern

Development : Retention for approved house, garage and septic tank as altered and built

Location : "Casa at Last", Redgap, Rathcoole

Floor Area : Sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

Subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- 4.....ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer

Date:.....15/2/92

Mac Conville Downey Architects,
17 Brighton Square,
Dublin 6

Reg.Ref. 91A/1961
Decision Order No. P/ 0417 /91
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

CONDITIONS / REASONS

- 01 The development in its entirety to be in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That the applicant shall satisfy himself with regard to the compliance with the requirements of Supervising Health Inspector in regard to water supply and septic tank.
02 REASON: In the interest of the proper planning and development of the area.
- 03 That the block wall at the entrance to the dwelling to be completed capped and rendered.
03 REASON: In the interest of the proper planning and development of the area.
- 04 That entrance gates to be recessed 1.5 metres from the new boundary with wing walls splayed at 45 degrees.
04 REASON: In the interest of the proper planning and development of the area.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1961

Date : 13th December 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Retention for approved house, garage and septic tank
as altered and built

LOCATION : "Casa at Last", Redgap, Rathcoole

APPLICANT : W. Paul Mulhern

APP. TYPE : PERMISSION

With reference to the above, I acknowledge receipt of your application
received on 12th December 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

Mac Conville Downey Architects,
17 Brighton Square,
Dublin 6



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building "Casa at Last" Redgap Rathcoole Co. Dublin
(If none, give description sufficient to identify)

3. Name of applicant (Principal not Agent) W. Paul Mulhern
Address "Casa at Last" Redgap Rathcoole Tel. No.

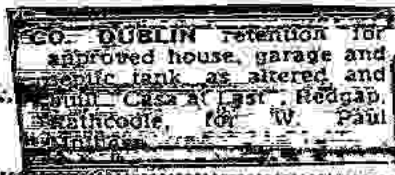
4. Name and address of person or firm responsible for preparation of drawings Mac Conville Downey Architects
17 Brighton Square Dublin 6 Tel. No 902446

5. Name and address to which notifications should be sent Mac Conville Downey Architects
17 Brighton Sq., Dublin 6 32 12/12

6. Brief description of proposed development House, Garage and Septic Tank N S 4077

7. Method of drainage Septic Tank 8. Source of Water Supply Pumped from well

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used. N.A.
(b) Proposed use of each floor N.A.



10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No

11. (a) Area of Site 3456 (Approx.) Sq. m.
(b) Floor area of proposed development (Incl garage) 142.62 Sq. m.
(c) Floor area of buildings proposed to be retained within site N.A. Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) Freehold

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place / in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal: N.A.

15. List of documents enclosed with application. 4 copies Drg no.s 91/4/1 91/4/2
Page 28 Irish Press Dec 10, 1991
Covering Letter and cheque for £32

16. Gross floor space of proposed development (See back) Sq. m.
No of dwellings proposed (if any) 1 Class(es) of Development 12 DEC 91
Fee Payable £32 Basis of Calculation
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) [Signature] Date 11 December 1991

Application Type P FOR OFFICE USE ONLY
Register Reference 91A/1961
Amount Received £ 2.8.0
Receipt No
Date 21/13

Irish Press 10/12/91

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
 2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
 3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.
- NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
 5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
 6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS			BUILDING BYE-LAW APPLICATIONS		
CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension	
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	(Improvement/alteration)	£30.00 each
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Building — Office/ Commercial Purposes	£3.50 per m ² (min. £70.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	E	Petrol Filling Station	(min. - £70.00) (Max. - £300.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)	F	Development or Proposals not coming within any of the foregoing classes.	£200.00 £9.00 per 0.1 ha (£70.00 min.)
8.	Petrol Filling Station.	£100.00			
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls. For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMPTROLLER CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

Issue of this receipt is not a

PAID BY
CASH
CHECK
M.O.
B.I.

N 54077

€ 32 00

Received this 22nd day of December 19 91

from Mr. Max Conville - C. Downey
Brighton Square

the sum of thirty two Pounds

Pence, being ten for

planning application at "Casa at last"

at 100 to
Doane Cashier

S. CAREY
Principal Officer

Class 1 x F

Chief Planning Officer
Dublin County Council
Planning Department
Irish Life Center
Lower Abbey Street
Dublin 1

11 December 1991

re; House at Redgap Rathcoole
Reg Ref za/ 0463

Dear Sirs,

I enclose application for permission to retain above as altered and built, together with cheque in amount of £32 and all nessecary documentation.

Planning permission was issued in respect of house at above on 14 February 1985 and the house was substantially complete by February 1990. We sought unsuccessfully to have this permission extended and are thus applying for retention.

Conditions 2 and 3 of this original permission required that the finishes and the entrance way be agreed with your department and we have discussed these with the planning officer for this area.

Should you have any queries, please contact us.

Yours sincerely



Colette Downey

12 DEC 91

MacConville Downey Architects,
17 Brighton Square,
Dublin 6.

91A/1961

24 August 1992

RE: Retention of approved house, garage and septic tank as altered and built at "Casa at Last", Redgap, Rathcoole, for W. Paul Mulhern.

Dear Ms. Downey,

I refer to your recent query re. Condition 2 of the above Permission which stated:-

That the applicant shall satisfy himself with regard to the compliance with the requirements of Supervising Health Inspector in regard to water supply and septic tank.

As the septic tank and percolation area was installed prior to the Supervising Health Officers inspection, he was unable to comment on the soil suitability for the treatment of septic tank effluent or the water table level in the percolation area.

However, from a visual inspection on the day, the septic tank appeared to be operating in a satisfactory manner.

Yours faithfully,


for Principal Officer.