

BYE LAW APPLICATION FEES

REF. NO.: 91A/1818 CERTIFICATE NO.: 17267
 PROPOSAL: Effluent Treatment Plant
 LOCATION: Ballynascort Rd, Walkinstown
 APPLICANT: James Corrigated (case)

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55					
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C <i>See 27/166</i>	Building for office or other comm. purpose <i>64m²</i>	@ £3.50 per M ² or £70	<i>£224</i>	<i>£224</i>	<i>-</i>		
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____
 Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____
 Columns 2,3,4,5,6 & 7 Certified: Signed: A. DORRIS Grade: III Date: 27/1/92
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

PLANNING APPLICATION FEES

Reg. Ref. 91A/1818 Cert. No. 27166

PROPOSAL Effluent treatment Plant

LOCATION Ballymart Road, Wickinstown

APPLICANT Smurfit Corrugated Cases

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32				
2	Domestic	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres <i>64m</i>	@£1.75 per m2 or £40	112	112		
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: *[Signature]* Grade *2/12* Date *22/11/91*

Column 1 Endorsed: Signed: Grade Date

Columns 2,3,4,5,6 & 7 Certified: Signed: *[Signature]* Grade *S.O* Date *21/11/91*

Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade Date

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: 91A/1818

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL: 689 FT²

MEASURED BY:

*J. Y.
22/11/91.*

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT:

MANAGER'S ORDER NO: P/ /
DATED

*Standard
nil
Treatment
plant*

ENTERED IN CONTRIBUTION REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

10/1/92
[Signature]
*No reports on
file at date
of assessment*
[Signature]

N.O.B.

Register Reference : 91A/1818

Date : 25th November 1991

Development : Erection of a new building to house a Treatment Plant

LOCATION : Ballymount Road, Walkinstown.

Applicant : Smurfit Corrugated Cases

App. Type : PERMISSION

Planning Officer : N.O'BYRNE

Date Recd. : 18th November 1991

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

DUBLIN COUNTY COUNCIL
16 JAN 1992
ENVIRONMENTAL HEALTH
Office: RSour

Yours faithfully,

.....
FOR PRINCIPAL OFFICER

No objections to this proposal, however see
Engineer's report re - Jackie Kelly EHO
insufficient information. 21/1/92.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 27.01.92
no. 4.00

John O'Keefe
John O'Keefe
SUPER-ENVIRON. HEALTH OFFICER,
33 GAROLNER PLACE,
DUBLIN 1.

21/1/92

OFFICE OF THE PRINCIPAL OFFICER
DUBLIN COUNTY COUNCIL

Register Reference : 91A/1818

Date : 25th November 1991

Development : Erection of a new building to house a Treatment Plant

LOCATION : Ballymount Road, Walkinstown.

Applicant : Smurfit Corrugated Cases

App. Type : PERMISSION

Planning Officer : N.O'BYRNE

Date Recd. : 18th November 1991

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT
 Date 15.01.92
 Time 12.45

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN Co. COU. ...
 28 NOV 1991
 SAN SERVICES

DUBLIN Co. COU. ...
 SANITARY SERVICES
 FOR PRINCIPAL OFFICER
 14 JAN 1992
 Returned *GH*

Date received in Sanitary Services

FOUL SEWER

Insufficient information.
 This application can not be considered until the applicant's have submitted details of the plant to be housed by their proposal, and its relationship to the various internal services.
 This application is premature in relation to its purpose and of itself could lead to mis understanding.
 SURFACE WATER

See above

Blair Brown
7.1.92

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

J.R.
9/1/92

Filed

Register Reference : 91A/1818

Date : 25th November 1991

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT
 Date 15.01.92
 Time 12.45

ENDORSED _____ DATE _____

WATER SUPPLY..... No objections. No Building to be constructed within 5m of a public watermain.

L.J. Spai
10/12/91

[Signature]
10/12/91

ENDORSED *[Signature]* DATE 10/1/92

M. O'Byrne.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1818.
 DEVELOPMENT: Effluent treatment building.
 LOCATION: Ballymount.
 APPLICANT: Smurfit Corrugated Cases.
 DATE LODGED: 18.11.91.

The proposal is for a building to house on effluent treatment process on the site of Smurfit Corrugated cases at Ballymount Road.

There are no Roads objections as this will not significantly affect the existing uses of the site.

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT
 Date 04.12.91
 Time 12.10

GC/BMCC
28.11.91.

SIGNED: Garrett Cune
 DATE: 2/12/91

ENDORSED: 492k
 DATE: 3/12/91

P/5908/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/1818

Date Received : 18th November 1991

Correspondence : Byrne O'Cleirigh Engineering,
Name and : 30A Westland Square,
Address : Pearse Street,
Dublin 2.

Development : Erection of a new building to house a Treatment Plant

sub 3

Location : Ballymount Road, Walkinstown.

Applicant : Smurfit Corrugated Cases

App. Type : Permission

*MT
Treatment
Plant*

Zoning :

Floor Area : 64 Sq.metres

(NOB/CM)

Report of the Dublin Planning Officer, dated 19th December, 1991.

This is an application for Permission to construct a new treatment plant building at the smurfit premises at Ballymount Road.

The site is located in an area subject to the zoning objective to provide for industrial and related uses.

Reg. Ref. 91A/1304 refers to a decision to grant permission for an extension to the existing factory complex.

The current application is for a new building to accommodate equipment to treat effluent arising from the production processes on site. The treated effluent will be discharged to the public sewer under licence.

This application is for permission for the building.

The proposed building is to be located at the western edge of the site adjoining existing settlement tanks. The building is to be 5.5 metres high with a gross floor area of 64sq. metres. The proposed external finish is ocean blue PVC coated cladding. This colour is already in use on the site. The location of the proposed building forms part of the extensive yard area surrounding the factory.

Roads Department report no objection.

Chief Fire Officer *report not received*

Supervising Environmental Health Officer *report not received*

MC

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1818

Page No: 0002

Location: Ballymount Road, Walkinstown.

sanitary Services Section report *not received*

I recommend that a decision to Grant Permission be made under the Local Government (Planning and Development) Acts, 1963-1990, subject to the following () conditions:-

CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

cancel
~~03 That a financial contribution in the sum of £ _____ be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.~~

~~REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.~~

written consent from the County Council under the Water Pollution Act 1977.
3 ~~04 That no industrial effluent be permitted without the prior approval of the Planning Authority.~~

04 REASON: In the interest of the proper planning and development of the area.

4 05 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1818

Page No: 0003

Location: Ballymount Road, Walkinstown.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

5 ~~06~~ That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of health.

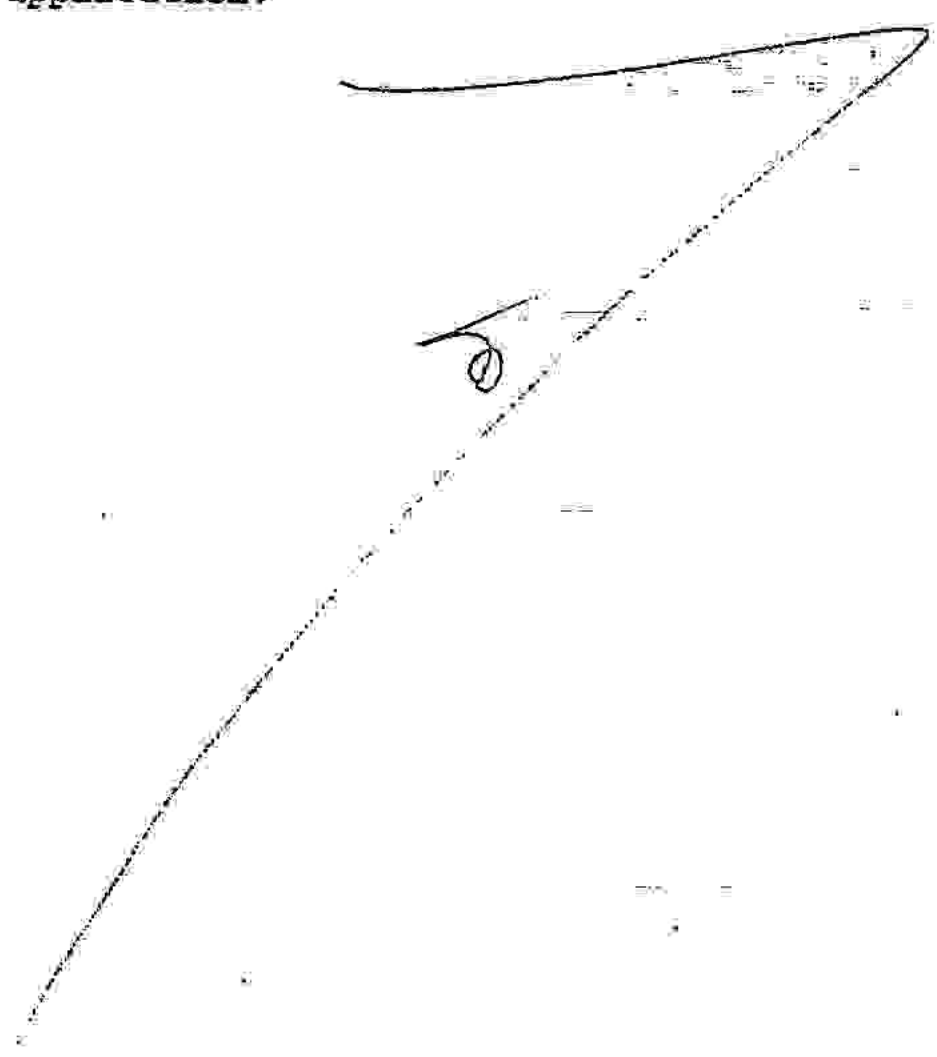
6 ~~07~~ That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of safety and the avoidance of fire hazard.

7 ~~08~~ That adequate off-street car parking facilities be provided on the site to cater for the proposed development.

~~08~~ REASON: In the interest of the proper planning and development of the area.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.



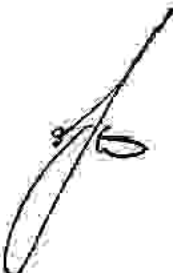
COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1818

Page No: 0004

Location: Ballymount Road, Walkinstown.

Endorsed: 
for Principal Officer


.....
for Dublin Planning Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (7) conditions set out above is hereby made.

Dated : 16th JANUARY 1992


.....
ASSISTANT COUNTY MANAGER/~~APPROVED OFFICER~~

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 10th December 1991.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.

Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Telephone: 773066

Telephone: 724755
Extension: 231/234

29th January, 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: Ballymount Road, Walkinstown, Dublin 12
PROPOSED DEVELOPMENT: Housing for effluent treatment plant
APPLICANT: Smurfit Corrugated Cases
PLANNING REG. REF.: 91A/1818
DATE OF RECEIPT OF SUBMISSION: 15th January, 1992

A Chara,

With reference to above, I acknowledge receipt of application for:

Building Bya-Law Approval

Mise, le meas

A. Smith

PRINCIPAL OFFICER

Byrns O Clairigh Limited,

30A Westland Square,

Pearse Street,

Dublin 12



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building BALLYMOUNT ROAD, WALKINSTOWN, DUBLIN, 12.
(If none, give description sufficient to identify)

3. Name of applicant (Principal not Agent) SMURFIT CORRUGATED CASES
Address BALLYMOUNT ROAD, WALKINSTOWN, DUBLIN, 12. Tel. No. 505196

4. Name and address of BYRNE O. CLEIRIGH LIMITED
person or firm responsible 30a WESTLAND SQUARE, PEARSE STREET, DUBLIN Tel. No. 770733
for preparation of drawings

5. Name and address to which BYRNE O. CLEIRIGH LIMITED
notifications should be sent as above

6. Brief description of HOUSING FOR EFFLUENT TREATMENT PLANT
proposed development

7. Method of drainage SEE ATTACHED LETTER 8. Source of Water Supply NONE

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor N/A - NEW STRUCTURE
or use when last used

(b) Proposed use of each floor

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11.(a) Area of Site 40,000 Sq. m.

(b) Floor area of proposed development 64 Sq. m.

(c) Floor area of buildings proposed to be retained within site 19,500 Sq. m.

12.State applicant's legal interest or estate in site FREEHOLD
(i.e. freehold, leasehold, etc.)

13.Are you now applying also for an approval under the Building Bye Laws?
Yes No Place / in appropriate box. **BYE LAW APPLICATION**
REC. No. NS4545/224.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal: Note has been taken of the DBR in preparing the plans, but this does not imply compliance either in whole or in part with the DBR.

15.List of documents enclosed with Specification L202-04-1018, Calculations L202-04-1020
application. Location Map L202-04-1017, Drawings L202-04-1008, L202-04-1010, to 1012 (12 copies)

16.Gross floor space of proposed development (See back) 64 Sq. m.

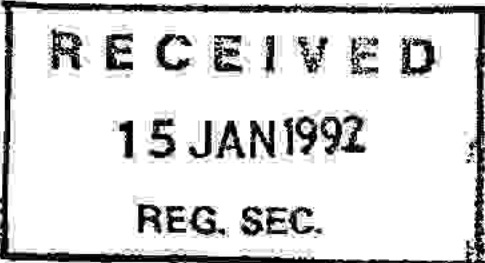
No of dwellings proposed (if any) - Class(es) of Development C

Fee Payable £ 224 Basis of Calculation 64 sqm. @ £3.50/sqm.

If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) [Signature] Date 13/1/92.

Application Type 7/2 FOR OFFICE USE ONLY
Register Reference 91A/1818
Amount Received £ 3,10.2.2
Receipt No BB2
Date



LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines;	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,

DUBLIN 1.

BYE LAW APPLICATION

REC. No. N 54545

£ 224.00

Received this

15th

day of

January

1992

from Smurfit Corrugated Cases,

Ballymount Rd,

Walkinstown

the sum of

two hundred and twenty four

Pounds

Pence, being

700 p

bye-law application at Ballymount Rd.

Shelley Deane

Cashier

S. CAREY

Principal Officer

(Signature)



Dublin County Council,
Planning Department,
Irish Life Centre,
Lr. Abbey Street,
DUBLIN, 1.

For attention of Mr. John Kearney

Byrne Ó Cléirigh Ltd
30A Westland Square
Pearse Street
Dublin 2
Ireland
Telephone: +353-1-770733
Fax: +353-1-770729
Telex: 90989 GLAM EI

16th January, 1991

Ref: L202/14.22/L078

Re: Smurfit Corrugated Cases, Ballymount Road, Walkinstown

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
15 JAN 1992
REG No. 91A/1818

Dear Sirs,

Further to our telecon of January 2nd regarding the requirements for Bye Law Approval for a building to house effluent treatment equipment at the above premises, we have lodged the application. A copy of this application, together with the relevant documentation is enclosed.

As discussed, this equipment is being provided to improve the environmental performance of the company and to satisfy effluent discharge conditions required under the 1977 Water Pollution Act. Planning Permission was sought in mid-November 1991 and hence receipt of the Bye Law Approval will be on the project critical path. An early commissioning date is desirable. We trust the enclosed documents will enable you to give advance consideration to the proposal in parallel with the processing of the formal application through other Departments. However, if you require any further clarifications or information, please contact the undersigned.

Yours faithfully,


GERARD TIERNAN

91A/1818
2.5.1.1
BBL

20 JAN 92

Encs

Directors:
L Ó Cléirigh, BE, MIE, Eur Ing, C Eng, FIEI
A J Clarke, BE, C Eng, FIEI
T V Cleary, BE, C Eng, MI Chem E
T S O'Neill

Bank: AIB Bank, 5 College Street, Dublin 2
Vat No. 4652551M
Registered in Ireland No. 83296



Dublin County Council,
Planning Department,
Irish Life Centre,
Lr. Abbey Street,
DUBLIN, 1.

Byrne Ó Cléirigh Ltd
30A Westland Square
Pearse Street
Dublin 2
Ireland
Telephone: +353-1-770733
Fax: +353-1-770729
Telex: 90989 GLAM EI

13th January, 1991

Ref: L202/14.22/L075

DUBLIN COUNTY COUNCIL
Planning Dept. Dublin Section
APPLICATION RECEIVED

15 JAN 1992

REG No. 91A/1818

Re: Smurfit Corrugated Cases, Ballymount Road, Walkinstown

Dear Sirs,

We enclose herewith Bye-Law Application, together with the following documents for a new building to house a process effluent treatment plant at the above premises:

- Building Specification No. L202-04-1018 (2 copies)
- Design Calculations No. L202-04-1020 (2 ")
- Location Map Drawing No. L202-04-1017 (2 ")
- Two copies of Drawings Nos. L202-04-1008, 1010, 1011 & 1012
- Cheque £224

At their premises in Ballymount Road, our clients are engaged in the production and printing of corrugated cases. These processes produce a trade effluent which must be treated prior to discharge to sewer under licence. Following discussions with your Environmental Services Section, our clients are now committed to the replacement of their effluent treatment system.

A detailed study carried out by Byrne Ó Cléirigh has identified the most appropriate technology and an order has been placed to purchase equipment from a US company specialising in this area. The structure for which approval is now sought will be necessary to protect this equipment and maintain suitable operating conditions. There is insufficient room to house the equipment within the present production area. Process details of the equipment to be housed in the building have already been provided in a letter dated 17/10/91 Ref: L202/14.22/L040 to Dublin County Council's Environmental Services Section. When the system has been commissioned, our client will be applying for a revised effluent discharge licence under the 1977 Water Pollution Act.

Directors:
L Ó Cléirigh, BE, MIE, Eur Ing, C Eng, FIEI
A J Clarke, BE, C Eng, FIEI
T V Cleary, BE, C Eng, MI Chem E
T S O'Neill

Bank: AIB Bank, 5 College Street, Dublin 2
Vat No. 4652551M
Registered in Ireland No. 83296



CONTD/1

In preparing the plans, note has been taken of the draft Building Regulations, but this does not imply compliance either in whole or in part.

An application for Planning Permission has already been lodged and acknowledged, Register Reference No. 91A/1818.

As this new equipment is being installed to improve the environmental performance of the company and produce an effluent discharge acceptable to the Co. Council's Environmental Services Section, we would appreciate this application being processed as soon as possible so that an early plant commissioning date can be achieved.

If you require any further information, please do not hesitate to contact us.

Yours faithfully,

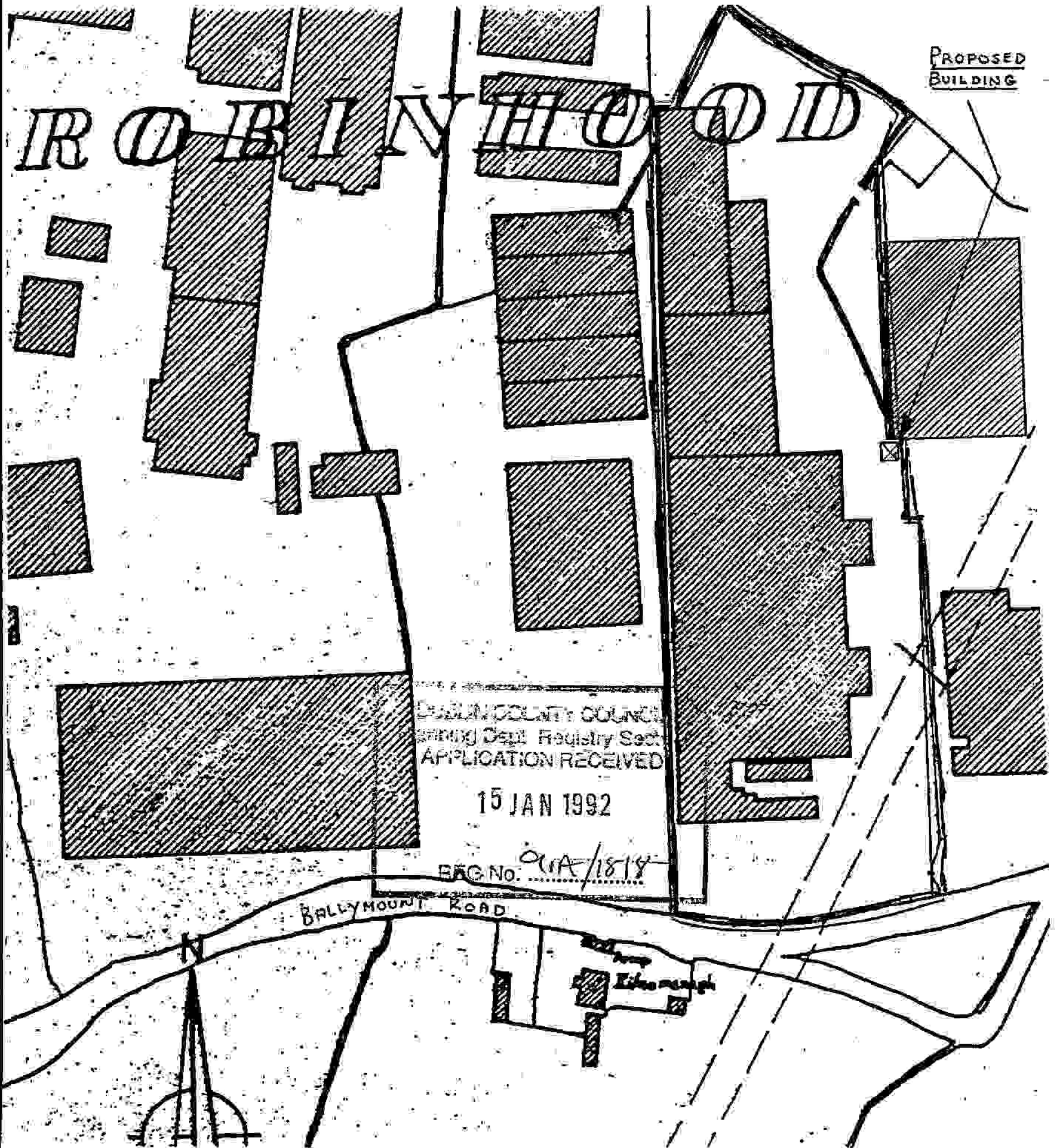
GERARD TIERNAN

Encs



CLIENT SMURFIT CORRUGATED CASES		
PROJECT EFFLUENT TREATMENT		
Job No. L202	Dwg. No. L202-04-1017	Page 1 of 1

SITE LOCATION MAP - WALKINSTOWN PLANT



PART OF O.S. MAP DUBLIN 22/1 AND 18/13

SCALE 1:2500

This document is the property of Byrne Ó Cléirigh Ltd © who reserve all rights to the information portrayed thereon.

Rev	Date	Description	By	Checked	App'd
0	5.11.91	FOR PLANNING	gt		

BYRNE Ó CLÉIRIGH ENGINEERING



CLIENT SMURFIT CORRUGATED CASES

PROJECT EFFLUENT TREATMENT

Job No. L202

Drg. No. L202-04-1020

Page 1 of

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 15 JAN 1992
 REG No. 911A/1818

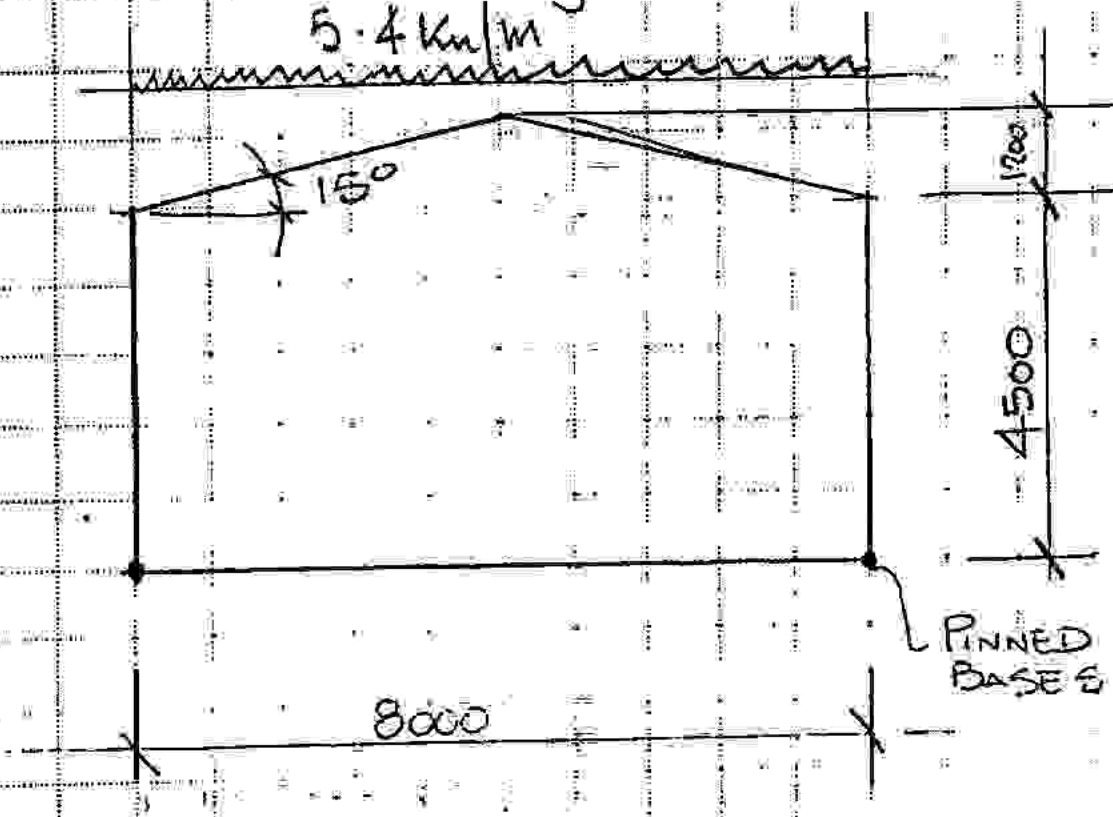
DESIGN CALCULATIONS FOR NEW EFFLUENT TREATMENT
 BUILDING AT WALKINSTOWN PLANT

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Rev	Date	Description	By	Checked	Appr'd
2	13.1.92	FOR BYE LAW APPLICATION	JPB	GF	GF

SMURFIT CORRUGATED CASES

DESIGN OF Portal Frame
USING PLASTIC ANALYSIS



Load
SPAN 4 m CES

LOADING

DEAD = 0.8 kN/m²
LIVE = 0.75 kN/m²
1.35 kN/m²
1.35 x 4 = 5.4 kN/m

$\lambda = 1.7$

$$M_p = \frac{1}{(1 + \frac{1}{2}k) + \sqrt{1 + k}} \frac{WL}{8}$$

$k = \frac{1.2}{4.5} = 0.26$

$W = \frac{8 + 1.7 \times 8}{5.4} = 73.44 \text{ kN}$

$$M_p = \frac{1}{(1 + \frac{26}{2}) + \sqrt{1 + 26}} \times \frac{7344 \times 8}{8}$$

$$= 0.44 \times 73.44$$

$$= 32.31 \text{ kNm}$$

Say 33 kNm

$M_p = 33 \text{ kNm}$

$$f_y = 250 \text{ N/mm}^2$$

$$M_p = Z_p \times f_y \Rightarrow Z_p = \frac{M_p}{f_y} = \frac{33 \times 10^6}{250}$$

$$= 132 \text{ cm}^3$$

USE 203 x 133 x 25. $Z_p = 259.8 \text{ cm}^3$

$$\eta = 1.7 \times \frac{259.8}{132} = 3.34$$

NEW LOAD = $3.34 \times 5.4 \times 8 = 144.5 \text{ kN}$

$$\frac{L}{h} = \frac{8}{4.5} = 1.77$$

SLOPE 15°

USE CHART No 8

$$\frac{L}{D} = \frac{8 \times 10^3}{2032} \times \frac{1}{48} = 0.82$$

REDUCTION FACTOR = 10%

∴ Correction $3.34 \times 10 - 3.34$
 $= 3.006 > 1.7$

CORRECTION FOR AXIAL LOADS

$Z_p = 259.8 - 457.3 n^2$

$n = \frac{P}{P_y}$ $P = \frac{1.7 \times 5.4 \times 4 \times 10^3}{32.3 \times 10^2}$ 11.36 N/mm^2

$n = \frac{11.36}{250} = 0.045$

$Z_p = 259.8 - 457.3 \times 0.045^2$

$Z_p = 258.8 \text{ cm}^3$

$\frac{258.8}{259.8} = 0.996$ ∴ REDUCTION = 0.4%

∴ ∴ REDUCTION = $3.34 \times 0.004 - 3.34$
 $= 3.32$

SUMMARY OF DESIGN PROCEDURE

(1) First obtain an estimate of the minimum required full plastic moment M_p as given by simple plastic theory. This may be calculated either by using any of the standard procedures for plastic analysis, or by using the following formulae (see Figs. 1(a) and 2(a)).

Fixed base frames
$$M_p = \frac{1}{(1+k) + \sqrt{1+2k}} \frac{WL}{8}$$

Pinned base frames
$$M_p = \frac{1}{(1+\frac{1}{2}k) + \sqrt{1+k}} \frac{WL}{8}$$

where $k = h_2/h_1$.

- (2) Knowing the minimum M_p value, select a suitable section. Using the actual M_p value provided by the section, calculate the plastic collapse load W by simple proportion.
- (3) Check whether deflexions at failure are sufficient to reduce the actual failure load below the required minimum by reference to the appropriate chart from Charts I to 12.
- (4) Check whether the frame is satisfactory with respect to deflexions at working loads by reference to Chart 13 or 14.
- (5) Repeat steps (2) to (4) as necessary if section has to be increased.

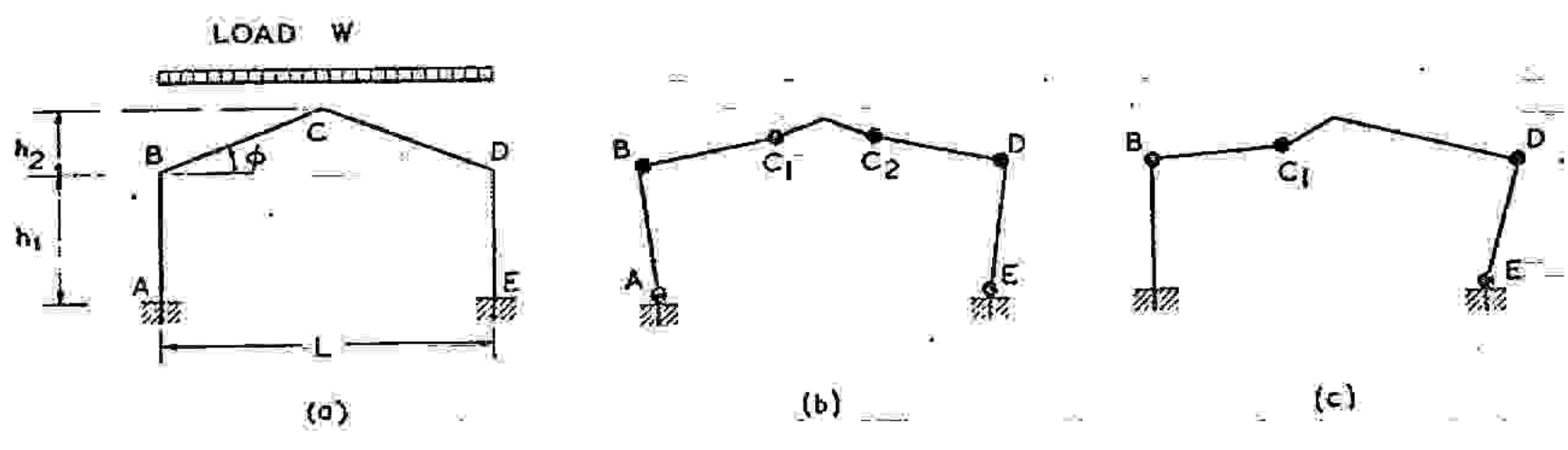


FIG. 1
Collapse Modes for Fixed Base Frames

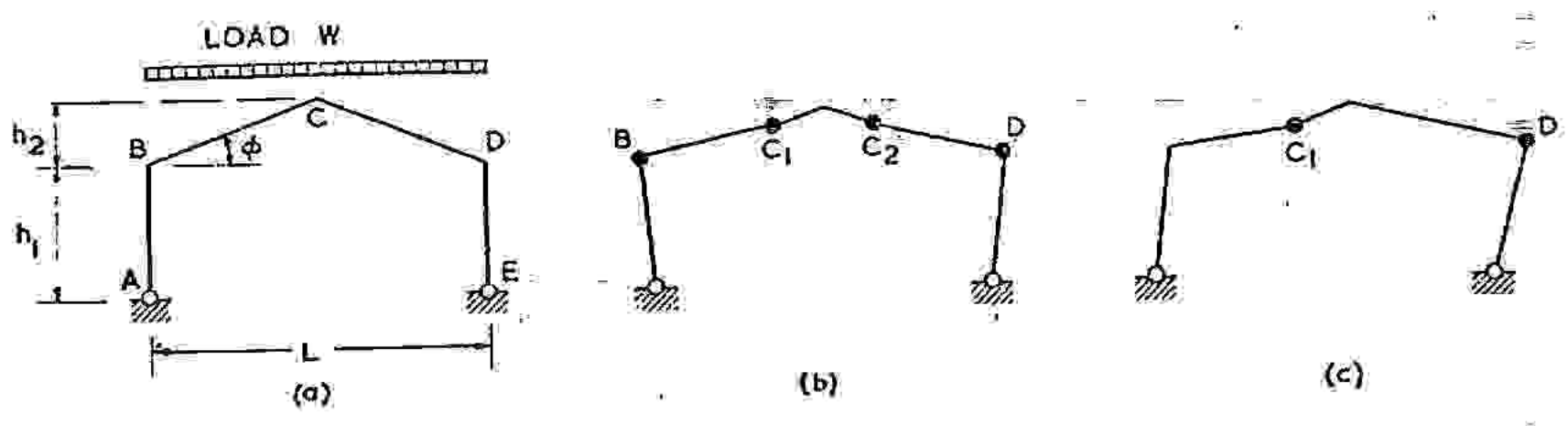


FIG. 2
Collapse Modes for Pinned Base Frames

PART II. EFFECT OF DEFLEXIONS AND STRAIN-HARDENING ON FAILURE LOADS

The portal frames considered are shown in Figs. 1(a) and 2(a). The span is L , the height to eaves h_1 and the rafter rise h_2 . The angle of pitch of the rafters is α and the total factored vertical load is W .

It is common in applying simple plastic theory to assume symmetrical modes of collapse as shown in Figs. 1(b) and 2(b), in which allowance has been made for the displacement of the sagging hinge away from the apex. In practice, failure usually occurs in an unsymmetrical mode (Figs. 1(c) and 2(c)), but these modes give simple plastic collapse values identical with the symmetrical modes. The full plastic moment M_p corresponding to a collapse load W may be obtained by any of the usual methods.

The actual positions of the sagging plastic hinges in the rafters will be determined by the purlin spacing, since the hinges will occur at purlin supports. The following formulae have been obtained by assuming the total vertical load W to be uniformly distributed along the rafters so that the hinge position can lie between purlin joints. The error entailed in using these formulae is negligible.

$$\text{Fixed base frames, } M_p = \frac{1}{(1+k) + \sqrt{1+2k}} \frac{WL}{8}$$

$$\text{Pinned base frames, } M_p = \frac{1}{(1+\frac{1}{2}k) + \sqrt{1+k}} \frac{WL}{8}$$

Where W = total factored vertical load per frame,

L = span,

h_1 = height to eaves,

h_2 = rise of rafters,

$k = h_2/h_1$.

Knowing the minimum full plastic moment as given by simple plastic theory, a suitable section is chosen. The actual value of M_p provided by the section then allows the simple plastic failure load W to be calculated by simple proportion. The effect of the axial loads in the frame on the value of M_p is usually negligible, but a safe allowance may be made by calculating M_p for the highest axial load in any member. Finally, a check is made to see whether deflexions at failure are sufficient to reduce the actual failure load below the required minimum. This last step is carried out by reference to the appropriate chart from Charts 1 to 12.

The chart is selected according to whether the feet are fixed (Charts 1 to 6) or pinned (Charts 7 to 12), and according to the angle of pitch. The horizontal scales are of span to height to eaves ratio (L/h_1), and the vertical scale is a measure of the slenderness of the frame. To obtain the figure with which to enter the vertical scale, the ratio of span L to section depth d is multiplied by $k_s \nu \sigma_y / E$ where k_s is the strain-hardening factor, ν the shape factor for the section, σ_y the yield stress and E the elastic modulus. It has been found that for steel to B.S. 968, a suitable value for k_s is 11.0, while it is sufficiently accurate to adopt for the other quantities standard values $\nu=1.14$, $\sigma_y=22.5$ tons/sq. in. and $E=13,400$ tons/sq. in. Hence

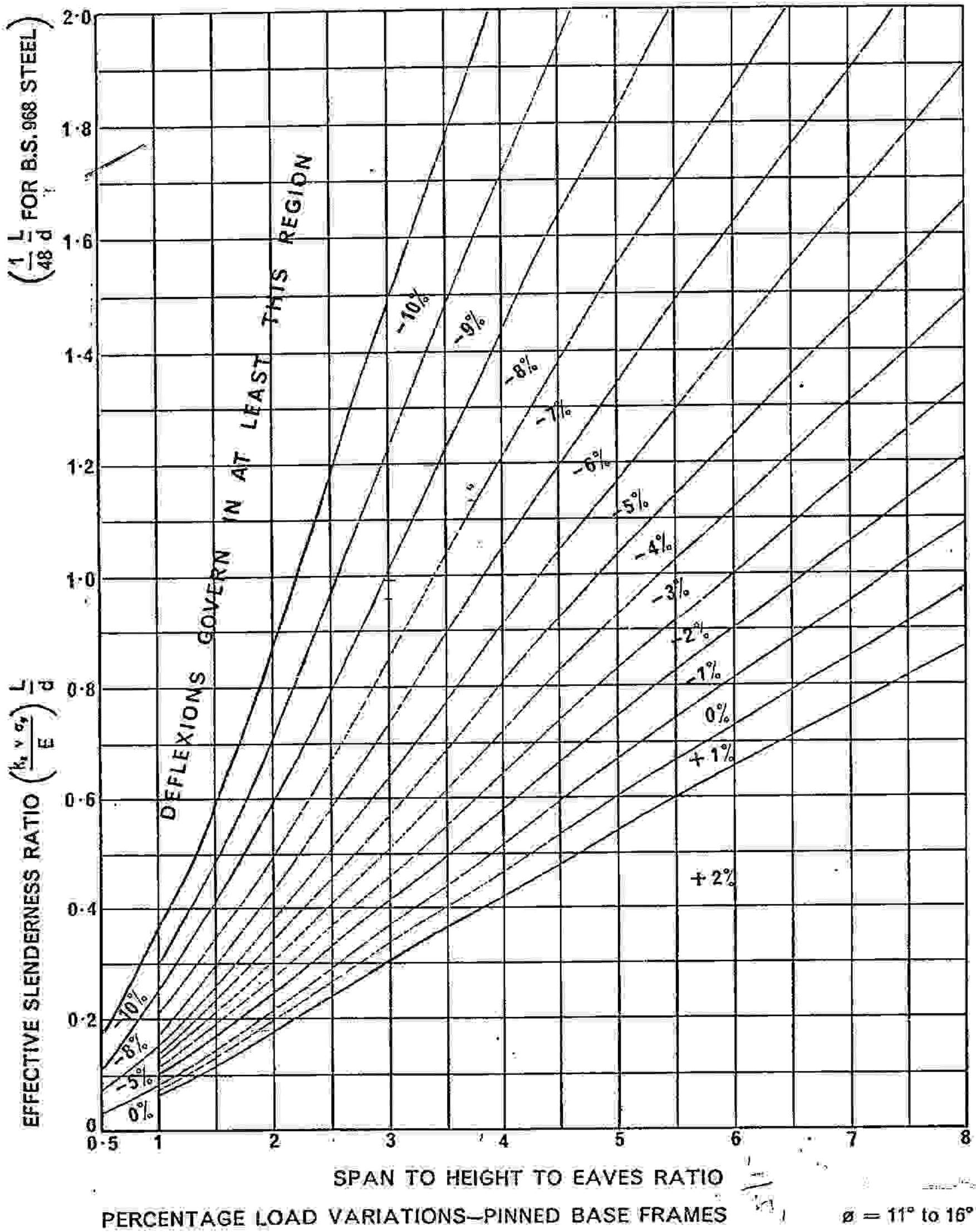
$k_s \nu \sigma_y / E = 1/48$, and the vertical scale in the charts is entered with the value of $\left(\frac{1}{48} \frac{L}{d}\right)$. The region

within which the resulting point lies gives the percentage correction (positive or negative) to be applied to the load W .

It will be seen that in each of Charts 7 to 12 there is a region for high values of $\left(\frac{1}{48} \frac{L}{d}\right) \div \left(\frac{L}{h_1}\right)$,

that is, high values of h_1/d , for which no percentage correction is given. This is because such frames are certain to be unsatisfactory with respect to deflexions. Frames for which percentage reductions of failure loads are given may also be unsatisfactory, and all frames should be checked (see Part III).

Charts 1 to 12 have been derived for vertical loading conditions only, but the same percentage variations may be applied to failure loads under combined vertical and wind loading. For practical frames, a safe result will be obtained. The percentage variation is to be applied as a common factor to all loading components.



BYRNE Ó CLÉIRIGH ENGINEERING



CLIENT SMURFIT CORRUGATED CASES LTD.

PROJECT EFFLUENT TREATMENT

Job No. L202

Drg. No. L202-04-1018

Page 1 of 7

DUBLIN COUNTY COUNCIL
 Planning Department Section
 APPLICATIONS RECEIVED
 15 MAY 1991
 REC No. 011A/1818

SPECIFICATION FOR SUPPLY & ERECTION
 OF EFFLUENT TREATMENT BUILDING AT
 SMURFIT CORRUGATED CASES (DUBLIN) LTD.

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Rev	Date	Description	By	Checked	Appr'd
0	20.11.91	FOR TENDER	ST.	HJC	



1 GENERAL

1.1 Scope:

This Specification covers the prefabrication, supply and erection of a building to house a process effluent treatment plant on the premises of Smurfit Corrugated Cases at Ballymount Road, Walkinstown, Dublin 12.

2 APPLICABLE DRAWINGS

The following drawings describe the work and form part of this Specification:

<u>DRAWING NO.</u>	<u>REV.</u>	<u>TITLE</u>
L202-04-1008	0	Location of effluent treatment building
L202-04-1010	A	Details of portal frames
L202-04-1011	A	Dimensional and R.C. details of plinth
L202-04-1012	A	Enlarged cross section and elevations of building

3 DETAILED SCOPE OF WORK

3.1 General:

The scope includes prefabrication, supply, site erection and painting necessary to provide the complete building as specified in the above drawings - L202-04-1010/1011/1012. Some items are highlighted in the following subsection but failure to mention any item does not mean that this item does not form part of the scope of work.

3.2 Floor & Foundations:

The existing reinforced concrete slab, which can be inspected during the recommended site visit, will be retained. Plinths, as detailed on drawing L202-04-1011 Rev A, shall be provided for the portal frames.



A 300 mm high R.C. upstand shall be provided, as detailed, at the base of all walls. A 150 mm high ramp shall be provided, as detailed, at the main entrance door. No major modifications shall be required to the ground slab. However, a provision should be made for concreting in of any significant cracks or holes.

3.3 Steelwork:

Steelwork shall be fabricated in accordance with BS 5950: 1985, matchmarked, shot blasted and painted off site. Shotblasting shall be to SA 2.5 and painting to the standard specified on drawing L202-04-1010, Rev A. Any damaged paintwork shall be repaired after erection.

All columns, beams and purlins shall be as specified on the drawings. Changes shall only be allowed following written approval from the engineers.

3.4 Cladding:

Cladding shall be single skin PVC coated sheeting of an approved profile as supplied by Tegral, Kingspan or equivalent. Colour shall be to match existing sheeting on site, which should be verified by the tenderer.

Cladding rails shall be as specified on the drawing L202-04-1012 and cladding shall be fixed in place with self drilling screws at manufacturer's recommended centres, complete with correctly coloured PVC head covers.

All flashings, guttering, etc. as specified shall be included and finished to a standard acceptable to the engineer.

3.5 Doors:

A manually operated PVC metal clad roller shutter door of the size specified shall be supplied and installed as part of this contract.

A personnel door, steel sheeted, as detailed, shall also be provided.

3.6 Drainage:

Provision shall be included for a 300 mm square X 300 mm deep sump in the south west corner of the building, complete with a 75 mm drain pipe to the adjacent underground tank. The extent of this item can be ascertained during the site visit.



4 SPECIFIC NOTES ON SITE WORK

4.1 Deliveries:

All materials delivered to site shall be off loaded by the contractor and stored in a tidy manner in a location agreed in advance with the engineers.

4.2 Cladding:

Any cladding damaged in transit or erection shall be replaced with new sheeting to the satisfaction of the engineers.

4.3 Lifting:

The contractor shall use only certified slings and lifting equipment for all operations. Use of chains shall not be permitted.

4.4 Bolts:

All holding down bolts shall be painted following final erection.

4.5 Reinforcing:

All concrete reinforcing shall be checked by the engineers prior to pouring.

4.6 Concrete Strength:

All concrete shall have a 28 day characteristic strength of 30 N/mm².

4.7 Dimensions:

Figured dimensions are to be followed, but whenever possible dimensions are to be taken on the site. The contractor shall be responsible for the accuracy of all dimensions.



5 NON-MATERIAL REQUIREMENTS

5.1 Inspection:

The engineers reserve the right to inspect the fabrication or erection work at any stage and request immediate remedial work if specifications are not being adhered to in every way.

5.2 Subcontractors:

The tender shall state if any parts of the work are being sublet. Any subcontractor must be approved by the engineers.

5.3 Site Safety:

The contractor and his employees and subcontractors shall, while on site, comply with all relevant regulations of the Safety, Health and Welfare at Work Act 1989.

5.4 Site Supervision:

The contractor shall nominate a competent foreman, or other approved supervisory person who shall be present at all times during site work. This person shall be authorised to act for and on behalf of the contractor and to receive instruction from the engineers, and shall maintain detailed and accurate records of the installation.

5.5 Existing Factory:

The contractor should note that this building is a minor development in a busy production facility. Access to the site shall be limited to the immediate work area. Entry shall be controlled by Smurfit Corrugated Cases' security personnel who reserve the right to refuse entry to any unapproved person.

While working on the site, contractor's personnel must adhere to all existing site regulations. Access to existing production areas will be restricted.

Due to the heavy lorry traffic in the area, unloading and erection operations will require some co-ordination with production personnel. Any disruption caused to this contract shall not form the basis of any claim.

**5.6 Source of Supply & Materials:**

Where technically and economically feasible, preference shall be given to materials and equipment manufactured or assembled in Ireland.

5.7 Instructions to Bidders:

The contractor shall follow the instructions to bidders, Appendix 1, when submitting the tender.

6 ALTERNATIVE SPECIFICATIONS

The tender shall be based on the specifications provided in Sections 1-5 of this document. However, the following alternatives shall be priced separately.

6.1 Upstand:

Indicate the reduction in tender sum appropriate to the replacement of the 300 mm high reinforced concrete plinth by a row of 225 mm solid concrete blocks.

6.2 Door:

Indicate the reduction in tender sum appropriate to the replacement of the roller shutter door by a two-leaf hinged steel clad door of the same dimensions.



APPENDIX I

- 1 The employer shall be Smurfit Corrugated Cases (Dublin) Ltd., Ballymount Road, Walkinstown, Dublin 12.
- 2 The contractor is advised to visit the site prior to submitting a tender. Failure to understand the site conditions shall not form the basis for any claim. Arrangements for visiting the site shall be made through the engineers.
- 3 The contractor shall submit a single tender for the complete scope of work as given in Sections 1-5 of this specification. Value added tax shall be shown separately.

This tender which shall be signed and dated shall state its period of validity.
- 4 The Employer shall not be obliged to accept the lowest, or any, tender.
- 5 A schedule of rates for labour shall be submitted with the tender.
- 6 The contractor shall submit the name of its insurers and the extent of cover for Employer's Liability and Public Liability.
- 7 The contractor shall state its terms of payment in the tender.
- 8 The Contractor shall state the completion period for the whole of the works from the date of order. Start date on site will be January '92.
- 9 Tenders shall be submitted to the offices of Byrne O Cleirigh Ltd., 30A Westland Square, Pearse Street, Dublin 2., by Friday, 6th December 1991.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To **Byrne O'Cleirigh Engineering,**
30A Westland Square,
Pearse Street,
Dublin 2.

Decision Order **P/5908/91, 16/1/92**
Number and Date

Register Reference No. **91A/1818**

Planning Control No. **18/11/91**

Application Received on

Applicant **Smurfit Corrugated Cases**

Floor Area. **64sq. metres**

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-

**Erection of a new building to house a Treatment Plant at
Ballymount Road, Walkinstown.**

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.	2. In order to comply with the Sanitary Services Acts, 1878-1964.
3. That no industrial effluent be permitted without the prior written consent from the County Council under the Water Pollution Act 1977.	3. In the interest of the proper planning and development of the area.
4. That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.	4. In order to comply with the Sanitary Services Acts, 1878-1964.

Contd/.....

Signed on behalf of the Dublin County Council

[Signature]
For Principal Officer

16/1/92

Date

IMPORTANT: Turn overleaf for further information

CONDITIONS	REASONS FOR CONDITIONS
<p>5. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.</p>	<p>5. In the interest of health.</p>
<p>6. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.</p>	<p>6. In the interest of safety and the avoidance of fire hazard.</p>
<p>7. That adequate off-street car parking facilities be provided on the site to cater for the proposed development.</p>	<p>7. In the interest of the proper planning and development of the area.</p>
<p>NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.</p>	

Rose Perry

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Building Control Department,
Liffey House,
Tara street,
Dublin 1.
telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1818

Date : 19th November 1991

Our Ref.

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACT 1963 TO 1990

Date

Dear Sir/Madam,

DEVELOPMENT : Erection of a new building to house a Treatment Plant

LOCATION : Ballymount Road, Walkinstown.

APPLICANT : Smurfit Corrugated Cases

APP. TYPE : PERMISSION

With reference to the above, I acknowledge receipt of your application received on 18th November 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

Byrne O'Cleirigh Engineering,
30A Westland Square,
Pearse Street,
Dublin 2.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
 Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building BALLYMOUNT ROAD, WALKINSTOWN, DUBLIN, 12.
 (If none, give description sufficient to identify)

3. Name of applicant (Principal not Agent) SMURFIT CORRUGATED CASES
 Address BALLYMOUNT ROAD, WALKINSTOWN, DUBLIN, 12. Tel. No. 505196

4. Name and address of person or firm responsible for preparation of drawings BYRNE O'CLEIRIGH ENGINEERING
30A WESTLAND SQUARE, PEARSE ST, DUBLIN, 2 Tel. No. 770733

5. Name and address to which notifications should be sent BYRNE O'CLEIRIGH ENGINEERING
AS ABOVE

6. Brief description of proposed development HOUSING FOR EFFLUENT TREATMENT PLANT

7. Method of drainage SEE ATTACHED LETTER 8. Source of Water Supply NONE

*Irish
 Press
 2/11/91*

9. In the case of any building or buildings to be retained on site, please state:-
 (a) Present use of each floor or use when last used N/a NEW STRUCTURE

*112 18/11
 N 51212*

(b) Proposed use of each floor

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11.(a) Area of Site 40,000 sq.m. Sq. m.
 (b) Floor area of proposed development 64 Sq. m.
 (c) Floor area of buildings proposed to be retained within site 19,500 Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD

13.Are you now applying also for an approval under the Building Bye Laws?
 Yes No Place / in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
 Note has been taken of the DBR in preparing the plans, but this does not imply compliance either in whole or in part with the DBR.

15.List of documents enclosed with Drawings Nos. L202-04-1010, 1011, 1012 & Location Map L202-04-1017
Drawing No. L202-04-1008

DUBLIN 12 Planning approval is being sought from Dublin Co. Council for the erection of a new building to house a Treatment Plant under Ballymount Rd Walkinstown site. By Smurfit Corrugated Cases.

16.Gross floor space of development (See back) 64 Sq. m.

No of dwellings proposed (if any) 4 Class(es) of Development 4

Fee Payable £ 112 Basis of Calculation 64 sq.m. at £1.75/sq.m.

If a reduced fee is tendered details of previous relevant payment should be given

18. NOV 91

Signature of Applicant (or his Agent) [Signature] Date 13.11.91

Application Type P FOR OFFICE USE ONLY

Register Reference 91A/1818

Amount Received £ 1.20.4

Receipt No 22/1

Date 22/1

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00
		Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls. For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ATHA CLIATH

PAID BY — DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET
DUBLIN 1.

CASH
CHEQUE
M.O.
B.L.
I.T.

Issue of this receipt is not an
acknowledgement that the fee
tendered is the prescribed application
fee. N 51212

£ 112.00

Received this 18th day of November 1991

from *Spencer Ltd* *Perungated Island*
Ballymount Rd,
Dalkinstown

the sum of *one hundred and twelve* Pounds

Pence, being *for* *planning application at Ballymount Rd.*

Maureen Deane Cashier

S. CAREY
Principal Officer *Ward 4*

BYRNE Ó CLÉIRIGH ENGINEERING

CONSULTANTS AND PROJECT MANAGERS



Planning Department,
Dublin County Council,
Irish Life Centre,
Lr. Abbey Street,
DUBLIN, 1.

Byrne Ó Cléirigh Ltd
30A Westland Square
Pearse Street
Dublin 2
Ireland
Telephone: +353-1-770733
Fax: +353-1-770729
Telex: 90989 GLAM EI

11th November, 1991

Ref: L202/14.22/L053

Re: Smurfit Corrugated Cases, Ballymount Road, Walkinstown

Dear Sirs,

We enclose herewith Planning Application, together with the following documents for a new building to house a process effluent treatment plant at the above premises:

- Brief description of the work and Outline Specification (4 copies)
- Location Map - Drawing No. L202-04-1017 (" ")
- Drawings Nos. L202-04-1008, L202-04-1010, L202-04-1011, L202-04-1012 (" ")
- Newspaper advertisement.
- Cheque for £112.

At their premises in Ballymount Road, our clients are engaged in the production and printing of corrugated cases. These processes produce a trade effluent which must be treated prior to discharge to sewer under licence. Following discussions with your Engineering Section, our clients are now committed to the replacement of their effluent treatment system.

A detailed study carried out by Byrne Ó Cléirigh has identified the most appropriate technology and an order has been placed to purchase equipment from a US company specialising in this area. The structure for which permission is now sought will be necessary to protect this equipment and maintain suitable operating conditions. There is insufficient room to house the equipment within the present production area. Process details of the equipment to be housed in the building have already been provided in a letter dated 17/10/91 Ref. L202/14.22/L040 to Dublin County Council Engineering Section. When the system has been commissioned, our client will be applying for a revised effluent discharge licence under the 1977 Water Pollution Act.

CONTD/

DUBLIN COUNTY COUNCIL Planning Dept. Registry Section APPLICATION RECEIVED 18 NOV 1991 REG No. 91A/1818...
--

Directors:
L Ó Cléirigh, BE, MIE, Eur Ing, C Eng, FIEI
A J Clarke, BE, C Eng, FIEI
T V Cleary, BE, C Eng, MI Chem E
T S O'Neill

Bank: AIB Bank, 5 College Street, Dublin 2
Vat No. 4652551M
Registered in Ireland No. 83296

18 NOV 91



CONTD/1

In preparing the plans, note has been taken of the draft Building Regulations, but this does not imply compliance either in whole or in part.

If you require any further information, please do not hesitate to contact us.

Yours faithfully,

GERARD TIERNAN

Encs

BYRNE O'CLEIRIGH ENGINEERING



CLIENT

SMURFIT CORRUGATED CASES

PROJECT

EFFLUENT TREATMENT

Job No.

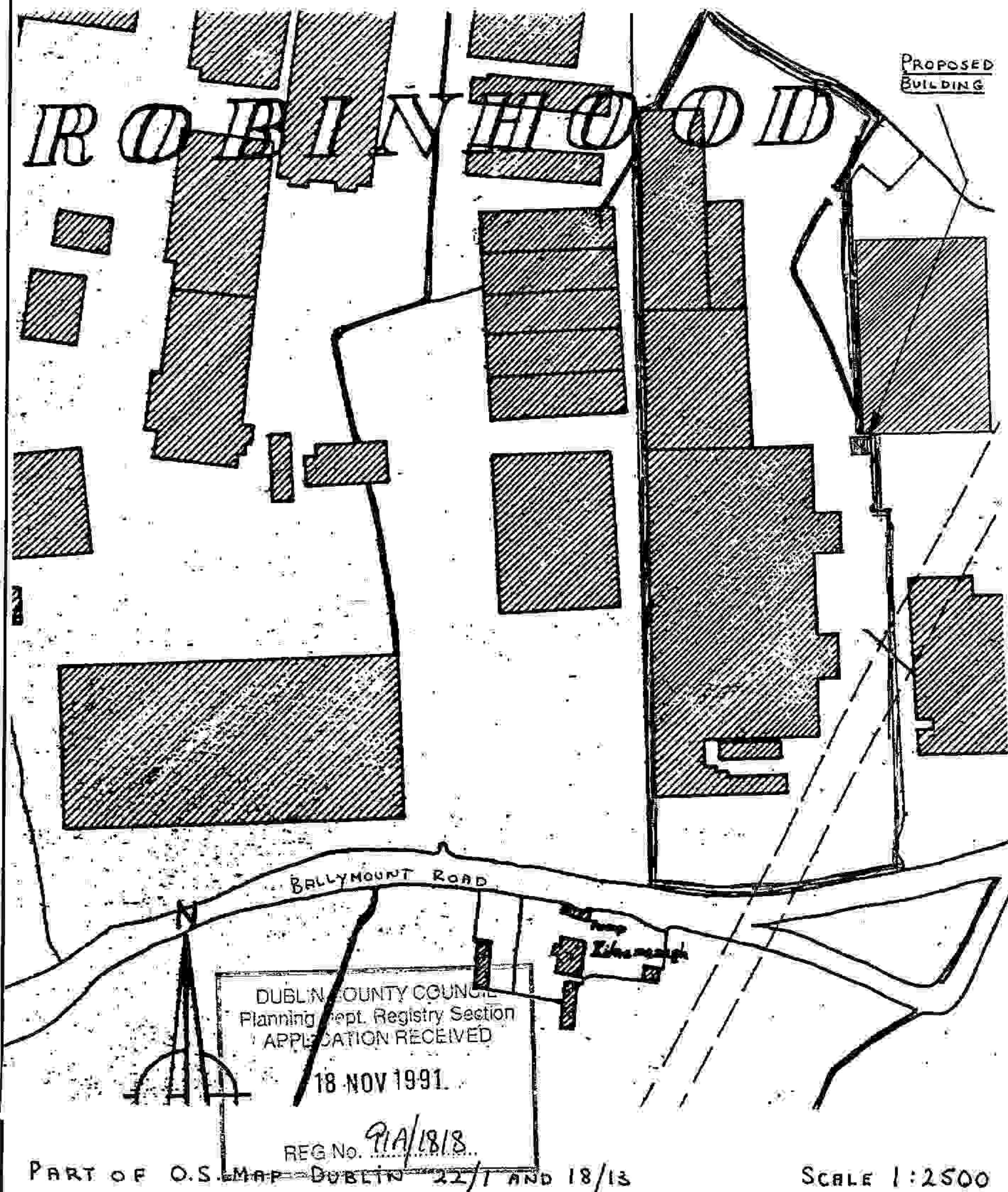
L202

Drg. No.

L202-04-1017

Page 1 of 1

SITE LOCATION MAP - WALKINSTOWN PLANT



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Rev	Date	Description	By	Checked	Appr'd
0	5.11.91	FOR PLANNING	gt		



PREMISES AT BALLYMOUNT ROAD, WALKINSTOWN FOR SMURFIT CORRUGATED CASES

BRIEF DESCRIPTION OF WORK AND OUTLINE SPECIFICATION

The work comprises the erection of a new single storey industrial unit to house a new process effluent treatment plant. The building will be located adjacent to an existing effluent collection and equalisation tank.

The unit, measuring 8 m x 8 m with 4.5 m high eaves is essential to protect the equipment from weather and to maintain a suitable working temperature so that the treatment system can operate effectively and produce a discharge to sewer within licence limits.

The building construction will be as follows:

Floor & Foundations:

An existing 200 mm R.C. slab will be modified with 300 mm high plinths as detailed to carry portal frames.

Walls:

A 300 mm high concrete plinth will form the base of all sides. Walls will be single skin colour coated metal cladding on steel portals. Colour will be ocean blue to match existing adjacent buildings.

Roof:

This will be single skin metal cladding on steel purlins with 10% Astolite panels. Aluminium gutters and rainwater pipes will be provided. Sheetting colour will be as for walls.

Door:

A double door will be provided for fork truck access with a 150 mm ramp.

Drainage:

The floor will be sloped to drain to a sump piped back to the adjacent equalisation tank.

L202/14.22/L053



11/11/91