

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1415.
 DEVELOPMENT: Town Centre High Street Dev.
 LOCATION: Belgard Road (as extended southwards) and Main Street, Tallaght.
 APPLICANT: Docfield Ltd.
 DATE LODGED: 29.8.91.

Further to original roads Report of 21st October, 1991 on this application the Roads Department wish to add the following.

- (a) A break in the median to provide for a right turn access into the site for northbound traffic on the Belgard Road is not acceptable.
- (b) The location of a roundabout at the junction of the Old Blessington Road and the Belgard Road is not acceptable to the Roads Department.

Roads would recommend that provision for a U-turn manoeuvre be made at the existing signal controlled junction above. It is felt that this U-turn facility could be incorporated into the light cycle with a minimum cost to the capacity of the junction. As the Belgard Road is completely signal controlled this is the solution recommended by the Roads Department.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
 Date 27.11.91
 Time 11.30

EM/BMcC
22.11.91.

SIGNED: _____ ENDORSED: E. Madden
 DATE: _____ DATE: 22nd Nov 91

Dr. Allen
 1 10 1 7

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF:

91A/1415.

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
Belgard 24/9/91	Belgard B. Com Delist for next meeting prepare slides & detailed report for discussion	NOTED	

PLANNING APPLICATION FEES

Reg. Ref. 910/1415 Cert. No. 26494

PROPOSAL..... Town Centre Development

LOCATION... Belgard Road Main Street, Tallaght

APPLICANT... Doxford Ltd

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32				
2	Domestic,	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres 11,780 m ²	@£1.75 per m2 or £40	£10,000	£10,000	—	Maximum fee
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: *[Signature]* Grade: *2/12* Date: *3/9/91*

Column 1 Endorsed: Signed: *[Signature]* Grade: Date:

Columns 2,3,4,5,6 & 7 Certified: Signed: *[Signature]* Grade: *S.O* Date: *3/9/91*

Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade: Date:

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1953 TO 1962

ASSESSMENT OF FINANCIAL CONTRIBUTION

EG. REF.: 91A/1415

DATE REG.:

SERVICES INVOLVED: WATER/FOOD/SEWER/SURFACE WATER

AREA OF SITE: 7.66 Ac g.m. 28-11-91

LOOR AREA OF PRESENT PROPOSAL: ~~26,803~~ FT²

MEASURED BY: J.Y.

CHECKED BY: 3/9/91.

METHOD OF ASSESSMENT: Standard,

TOTAL ASSESSMENT: 7.66 @ £6000

MANAGER'S ORDERED NO: /
DATE

ENTERED IN CONTRIBUTIONS REGISTER: = £45,960.

Roads

7.66 @ £17360

Omitted
by
Director
of A Smith 10
29/11/91

132,977.60

£132,978

Security
calculated as
at 90A/1413.

7.66 @ 15000

= 114,900.

Bond 115,000.

Cash 70,000

J 29/11/91.



Bloc 2, Ionad Bheatha Ma
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1415

Date : 2nd December 1991

Dear Sir/Madam,

Development : Town Centre High Street development in 1.2 & 3 storeys comprising 3 retail units, with nett floor areas of 2,613 sq.m., 1,251 sq.m., and 554 sq.m., and 52 remaining retail units totalling a nett floor area of 4,452 sq.m. with associated offices, storage, loading bays & signage Garden centre; Offices with nett floor area of 1,117 sq. m.; Medical Consulting Rooms with nett floor area of 175 sq.m.; 16 two bedroomed apartments; 22 bedroomed hotel with bar and

LOCATION : site at Belgard Road (as extended southwards) and Main Street (Old Blessington Road, Tallaght

Applicant : Docfield Ltd.

App. Type : PERMISSION

I wish to inform you that by order dated 29.11.91 it was decided to GRANT PERMISSION for the above proposal.

This decision, together with the conditions/reasons attached thereto, is recorded in the Planning Register kept at this office in accordance with Section 8 of the Local Government (Planning and Development) Act 1963. This register may be inspected during office hours [9.00a.m. - 12.30p.m. 2.15p.m. - 4.30p.m.] and interested party may obtain a certified copy of an entry therein on payment of a fee of £5 in respect of each entry.

It should be noted that the proposer may appeal to An Bord Pleanála against the decision or any conditions attached to the Council's decision within one month beginning on the day of receipt by him of the Council's decision. Any other person may appeal to An Bord Pleanála within three weeks beginning on the date of decision. Interested parties are advised to consult the Planning Authority or An Bord Pleanála to ascertain if an appeal has been lodged by the applicant.

Josephine Walsh,
National Monuments,
Office of Public Works,
St. Stephens Green, Dublin 2.



Bloc 2, Ionad Bheatha na hÉ.
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1415

Date : 2nd December 1991

All appeals against decisions of the Planning Authority and all correspondence in relation to new and existing appeals should be addressed to The Secretary, An Bord Pleanála, Blocks 6 & 7 Irish Life Centre, Lower Abbey Street, Dublin 1. (Tel.728011). Any appeal made to An Bord Pleanála will be invalid unless the correct fee is received by An Bord Pleanála within the statutory appeal period. The fee in respect of an appeal by an applicant for permission relating to commercial development is £100; any other appeal is £50.

Submissions or observations made to An Bord Pleanála by or on behalf of a person (other than the applicant) as regards an appeal made by another person must be accompanied by a fee of £15.

Yours faithfully,

A handwritten signature in dark ink, appearing to be 'L. D.' or similar, written over a dotted line.

for PRINCIPAL OFFICER

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed Town Centre High Street development in 1, 2 and 3-storeys comprising 3 retail units, with nett floor areas of 2,613 sq.m., 1,251 sq.m. and 554 sq.m. and 52 sq.m. with associated office, storage, loading bays and signage. Garden centre offices with nett floor area of 1,117 sq., medical consulting rooms with nett floor area of 175 sq.m., 16 two-bedroomed apartments, 22 bedroomed hotel with bar and restaurant/function room, 710 space car park partially on two levels, pedestrian bridge across Belgard Road with integral tower, access and egress from Main Street and Belgard Road with provision for pedestrian connection on 2.945 hectare site at Belgard Road (as extended southwards) and Main Street (Old Blessington Road), Tallaght for Docfield Ltd.

CONTRIBUTION:	
Standard:	45960
Roads:	32,998
S. Sers:	-
Open Space:	-
Other:	-
SECURITY:	
Bond / C.I.F.:	115,000
Cash:	72,000

Varming Mulcahy Reilly Assocs.,
Tramway House,
32 Dartry Road,
Dublin 6.

Reg. Ref. 91A/1415
App. Recd: 29.08.91
Floor Area: 15,170 sq.m.
Site Area: 29,450 sq.m.
Zoning: 'D'
T.X. up to & incl. 22.11.91

Report of the Dublin Planning Officer, dated 27 November 1991

This is an application for PERMISSION for a Town Centre High Street development in 1, 2 and 3 storeys at Main Street (Old Blessington Road), Tallaght.

The development will comprise:

- 3 major retail units
- 52 retail units and associated offices, storage, loading bays and signage.
- Garden Centre
- Offices
- 16 two-bedroom apartments
- Medical consulting rooms
- 22 bedroom hotel/bar/restaurant and function room
- 710 space car park, partially on two levels
- Pedestrian bridge across Belgard Road with integral tower
- Access and egress from Main Street and Belgard Road, with provision for pedestrian connection.

Over

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed Town Centre High Street development in 1, 2 and 3-storeys on a 2.945 hectare site at Belgard Road (as extended southwards) and Main Street (Old Blessington Road), Tallaght for Docfield Ltd.

The site, comprising 2,945 hectares (7.277 acres), is located at Belgard Road, as extended southwards, and Main Street (Old Blessington Road) Tallaght.

The submission of this application follows in-depth consultation with the Planning Department, and other Departments of the County Council.

The applicant is Docfield Ltd., who indicate their interest in the site as "agreement to purchase". Part of the lands included in the application are owned by Dublin County Council. The Council's agreement to this is indicated in letter from Development Department dated 22.08.91.

The site is zoned "to provide for major town centre activities" in the 1983 Development Plan. Within this zoning area "The Square" retail centre, comprising 57,000 sq.m. floor area, is the principal development. The latter development, when combined with the gross retail space quoted in the application, would give a total of 67,664 sq.m. of shopping.

DEVELOPMENT PLAN POLICY

A number of policy statements in relation to shopping provision are contained in the 1983 written statement which is pertinent to the consideration of the current application.

Section 2.12.1 states:

"It is the policy of the Council to provide for planned shopping facilities in all areas related to the population of such areas".

It is also the policy of the council to "provide for the improvement of existing shopping centres where this is appropriated and to ensure that future major centres shall be provided only at locations which are compatible with the planned development and growth envisaged in the Development Plan and which strengthen the town centre functions of Tallaght, Lucan/Clondalkin and Blanchardstown".

The Council will also encourage the provision of 'on-street' shopping centres with appropriate car parking in areas where this would enhance the village or town centre character of the area (3.3.10).

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MINISTERIAL DIRECTIVE

This directive to Planning Authorities issued in 1982 (S. 1 no. 264 of 1982) stated that:

Policy in relation to planning and development required that the establishment of retail shopping development which would represent a large scale addition to the existing retail shopping capacity in a locality should be guided by a number of considerations (see circulars appendix):

In issuing the directive the Minister explained the reason for the directive.

"The Minister appreciates that shopping provision generally must develop in line with population growth and movement, and with the formation of new communities. He is, however concerned by the adverse effects which such development may have on existing communities and their shopping outlets, including effects on the variety and convenience of local shopping, and in consequence, on the social fabric and quality of life in urban areas. He is also concerned that such development may aggravate the problem of maintaining viable central urban areas and of promoting necessary urban renewal and use of existing capacity in urban infrastructure. Accordingly, he considered it necessary to issue a directive under Section 7 of the 1982 Act in relation to the matter".

I consider that this proposal is in line with the above directive.

URBAN RENEWAL DESIGNATED AREA

An area of 48 hectares was designated for tax incentive relief under the 1988 Urban Renewal Act/Finance Act 1987. The site of the current proposal is within this area which incidentally also includes most of Tallaght Village and the new town centre area.

Due to the site being designated as an "Archaeological zone" an archaeological assessment has been carried out and was submitted on 18.09.91. This will be referred to later in this report.

Over

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SITE BOUNDARIES

The western boundary of the site is to Belgard Road. The proposed pedestrian bridge would cross the Belgard Road immediately north of the existing Garda Station; the strip of land owned by the County Council is at this point and is outlined in red on the site location map. The southern boundary is to the Westpark housing area. The major portion of the eastern boundary is to the graveyard at the rear of St. Maelruen's Church (an early Christian enclosure), with a portion onto the main street. The northern boundary/also meets graveyard lands.

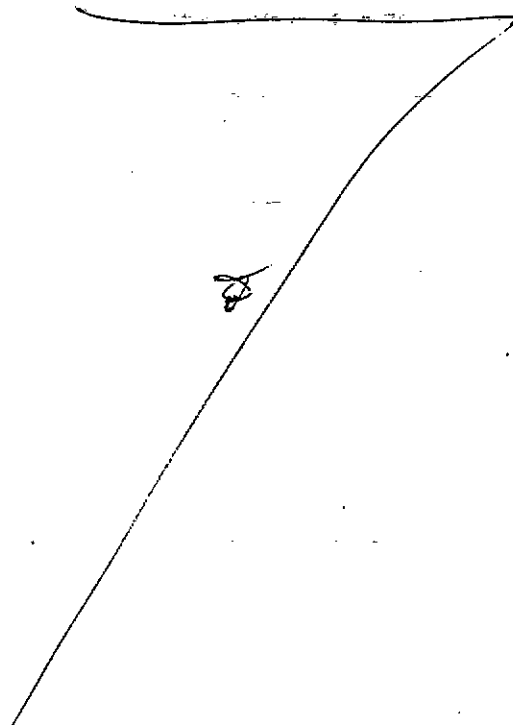
SCHEDULE OF ACCOMMODATION

A complete schedule of accommodation has been provided, making an overall total of 12,820 sq.m. (nett) or 15,270 (gross) and 164,362 sq.ft. This includes retail, residential, offices, hotel, consulting rooms, but excludes the garden-centre.

CAR PARKING

Both surface and underground parking is proposed.

Over



COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Development Plan Car Parking Requirements

		Car Parking Spaces
Retail		552
Office		59
3 Consultling Rooms		6
Hotel		22
Pub (c. 320 sq.m. public floor space)		81
Restaurant (ditto)		65
Dwellings		<u>20</u>
TOTAL REQUIRED		805
Proposed	710	
Less	<u>49</u>	
TOTAL PROPOSED		<u>661</u>
Shortfall		<u>144</u> (18%)

An estimated 805 parking spaces would be required to meet Development Plan Standards. Seven hundred and ten are proposed. Of these, 49 will be lost due to O.P.W. requirements for archaeological purposes (see below). Thus there would be a shortfall of 144 spaces (18%). However, vehicular access can be made to the existing under-utilised public car park to the south.

In addition, the applicants consider that people will walk from the existing "Square", thus making for joint usage of both car parks. They have discussed the issue of public transport with Dublin Bus, who will be providing 'local link' buses, with bus stops at both accesses.

Finally they point out that the varied uses within the proposed development will have peak usage at different times.

The proposal to locate a pedestrian gate from the Westpark Estate to the south into the development should not be accepted. The council has received numerous complaints about the impact of the "Square" on the residential development immediately to the west (Alderwood). Those residents have seen residential streets become major thoroughfares and parking areas as people approach the Square. There is a distinct danger that this could happen in Westpark, and I would not recommend this entrance, unless the people of Westpark request it at some later stage.

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EXTERNAL FINISHES

A mixture of external wall finishes is proposed, ranging from Pigmented Plaster Render; reconstituted stone/stone cladding; glazed curtain walling; profiled metal panels;

Windows will be mainly synthapulvin coated aluminium, with some painted timber.

A number of buildings will be fitted with canopies, which will be fitted with toughened or wired glass, PVC or Teflon fabric, or pressed aluminium. Blocks 7 and 10 will have concrete canopy. Stainless steel tie rods/frames will be used with canopies.

All shop front windows will be fitted with 'visiguard' or similar roller shutters mounted behind the facade.

A variety of signage is proposed, ranging from signs on buildings, flagpoles, hanging banners, shop fronts, walls, and a specific upright column sign relating to the pedestrian bridge over the Belgard Road. This is shown on the eastern side of the bridge only. It has a height of 17 metres, within a column of 44 metres. Tall free-standing signs 7.7 metres in height have been proposed at both access points.

In the main, the signs proposed to be attached to buildings appear to respect the design and scale of the development. However, signs of excessive height, such as the flagpole signs, and the bridge sign, would be undesirable. This type of sign has been discouraged elsewhere in Tallaght Town Centre.

Details of boundary treatment are provided in Section 8 of the accompanying Architect's report, and will mainly be of painted mild steel railings on stub walls, with variations in types of railings, piers, etc. A forticrete block stub wall has been proposed at the Belgard Road/open space boundary. The Planning Department would prefer limestone at this location.

With regard to lighting, mast top luminaires are provided for the area known as Prior Square and for larger areas. Bollard luminaires, standard type and wall mounted, will also be provided.

Popular high quality metal seating and litter bins are indicated as street furniture, and modern type automatic toilet facilities will be included.

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Record of Executive Business and Manager's Orders

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ARCHAEOLOGICAL CONSIDERATIONS

The site adjoins St. Maelruen's Church. This Church, its tower, fort and cross are listed on List 2 of the 1983 Development Plan and the area is considered to be archaeologically sensitive (List 2, No. 201).

For this reason, an archaeological assessment has been carried out on behalf of the developers by a qualified archaeologist. Her report, accompanied by maps, was received by the County Council on 18.09.91.

The only archaeological features noted were the two concentric ditches revealed in the initial examination of the site in August, 1990, encircling the Early Christian enclosure bank around St. Mealruen's Church and Graveyard.

A total of 22 trenches were opened throughout the site, but the assessment indicates that no evidence of archaeological deposits or features were revealed, apart from the above-mentioned two concentric ditches; there are no above ground indication of archaeological activity; there is nothing in the literature or cartographic sources to suggest that the area is of significant archaeological potential; even though it was thought likely that deposits were likely to be found along the frontage to Main Street, none were found.

However, the report reiterates the 'great significance' of the two concentric ditches, and it is considered likely that although no deposits were found in the fill recently examined, there are significant deposits dating back to the Early Christian period in the lower ditch fill. While this area will not be built on, it would be developed for car parking. It is unlikely that services will extend into this area.

These two concentric ditches around the early Christian enclosure which forms the present boundary between the graveyard and the development site, extend some 20 metres into the area to be developed. Therefore, a zone of at least 25 metres exists around this boundary. As such it will have the full protection of the National Monuments Acts of 1930-89.

The accuracy of the drawing where the bank ends abruptly is doubtful; this should be clarified.

The planning application was circulated to the Office of Public Works for comment on this issue. The assessment outlines a number of scenarios which might be presented by the OPW.

Over

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Three communications from the Office of Public Works have been received. These are dated 15.10.91, 24.10.91 and 08.11.91. The OPW now accepts the revised drawing submitted by the applicant showing a 7 metre band to be kept clear along the boundary of the Early Christian enclosure. In a telephone conversation with Ms. J. Walsh of the OPW on 20.11.91, it was confirmed that this drawing is 9118/09A. It was also confirmed that all other OPW requirements stated in the three communications should be adhered to. These conditions will result in the loss of 49 car parking spaces.

DEPARTMENTAL REPORTS

Roads Department reports dated 21.10.91 and 22.11.91 are noted. The latter report reiterates that Department's opposition to the proposed break in the Belgard Road median but states that a U-turn facility could be incorporated into the traffic signals at the Old Blessington Road/Belgard Road junction. This would facilitate traffic wishing to enter the site from the Tallaght By-Pass direction.

I consider that the question of the detailed arrangements for access to the site from Belgard Road requires further consideration.

Parks Department report dated 08.11.91 is noted.

A report on file from Sanitary Services indicates that water and foul sewer are available. With regard to surface water drainage, the S.S. engineers state that the system to which the applicant proposes to discharge is incorrectly described; that it has a sub-standard outfall point, and that it is overloaded.

The applicants are required to submit an acceptable proposal discharging to the river which would involve crossing the Tallaght By-pass and obtaining a wayleave from the Parks Department.

Over



COMHAIRLE CHONTAE ÁTHA CLIATH

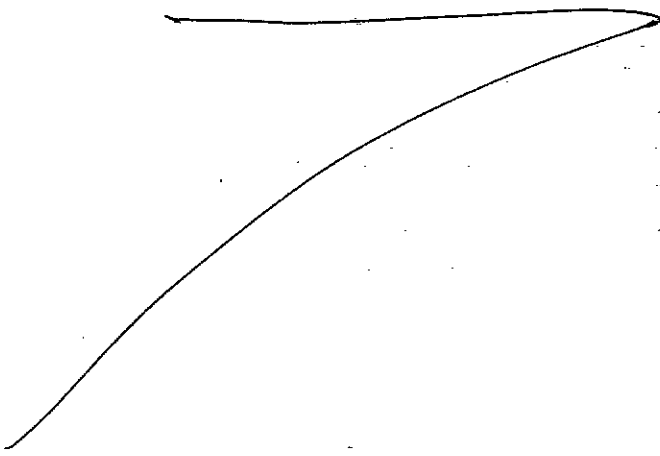
Record of Executive Business and Manager's Orders

Proposed Town Centre High Street development in 1, 2 and 3-storeys on a 2.945 hectare site at Belgard Road (as extended southwards) and Main Street (Old Blessington Road), Tallaght for Docfield Ltd.


CONCLUSION

The proposed development, of high quality, and offering a variety of Town Centre uses, is considered to be an asset to the developing urban centre of Tallaght.

I recommend that a decision to **GRANT PERMISSION** be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (19) conditions:-



(GB/AC)

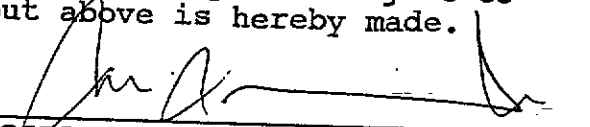
Endorsed:- 
for Principal Officer

 SEP
For Dublin Planning Officer

28/11/91
M.

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to **GRANT PERMISSION** for the above proposal subject to the (19) conditions set out above is hereby made.

Dated: 29th November, 1991.


ASSISTANT COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 6th November 1991.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed Town Centre High Street development in 1, 2 and 3-storeys on a 2.945 hectare site at Belgard Road (as extended southwards) and Main Street (Old Blessington Road), Tallaght for Docfield Ltd.

CONDITIONS

REASONS FOR CONDITIONS

- | | |
|--|--|
| <p>1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by revised Drg. No. 9118/09A save as may be required by the other conditions attached hereto.</p> <p>2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.</p> <p>3(a) That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.</p> <p>(b) Applicants shall submit an acceptable proposal ^{to Council for surface water} discharging to the river which would involve crossing the Tallaght By-Pass and obtaining a wayleave from the County Council Parks Department.</p> <p>4. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.</p> <p>5. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.</p> <p>6. That a financial contribution in the sum of £ 45,960 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.</p> | <p>1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.</p> <p>2. In order to comply with the Sanitary Services Acts, 1878-1964.</p> <p>3. In order to comply with the Sanitary Services Acts 1878-1964.</p> <p>4. In the interest of health.</p> <p>5. In the interest of safety and the avoidance of fire hazard.</p> <p>6. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.</p> |
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COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed Town Centre High Street development in 1, 2 and 3-storeys on a 2.945 hectare site at Belgard Road (as extended southwards) and Main Street (Old Blessington Road), Tallaght for Docfield Ltd.

CONDITIONS

REASONS FOR CONDITIONS

7. The following advertising signs shall be eliminated from the development:

- (a) flagpole signs - Belgard Road
- (b) flagpole signs - Blessington Road
- (c) Bridge sign.

8(a) The bank which marks the line of the early Christian enclosure around St. Maelruen's Church shall be retained, as shown in Drg. No. 9118/09A and the bank shall be protected throughout the development. Details of proposals for final protection of the bank to be agreed with the Planning Authority, in writing, prior to the commencement of development on site.

(b) All major ground disturbance on the site, and all work, including clearance of scrub, landscaping and the erection of the fence on the bank of the Early Christian enclosure which forms the boundary between the graveyard and the site shall only be carried out under archaeological supervision. In particular the excavation of the holes for the fence shall be archaeologically monitored.

(c) Further archaeological excavations shall be carried out by the developer in the area of the NE corner of Block 6 where a hand dug trench shall be excavated across the two ditches. A further trench shall be cut with a JCB east of this to see if the outer ditch joins up with the medieval ditch F4 of the latest testing. Also a JCB trench shall be dug along the south wall of Block 6 continuing the line of (3) as far as trench G to ensure whether a borough boundary survives here or not.

7. In the interest of visual amenity.

8. In the interest of the proper planning and development of the area.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed Town Centre High Street development in 1, 2 and 3-storeys on a 2.945 hectare site at Belgard Road (as extended southwards) and Main Street (Old Blessington Road), Tallaght for Docfield Ltd.

CONDITIONS

REASONS FOR CONDITIONS

- | | |
|---|--|
| <p>(d) That a hand dug cutting be excavated across both ditches and up to the boundary of the early Christian enclosure.</p> <p>(e) That a number of hand dug cuttings be cut across the outer ditch surrounding the boundary of the early Christian enclosure at points where maximum disturbance is likely to take place.</p> <p>9. The northern elevation of Block 1, which will adjoin an existing graveyard, shall be softened with suitable planting (climbers) and provided with suitable lighting to facilitate visitors to the graveyard.</p> <p>10. The proposed pedestrian entrances from Westpark Estate shall be eliminated from the development.</p> <p>11. Toilet facilities shall be provided to acceptable standards.</p> <p>12. Childcare facilities to acceptable standards to be provided.</p> <p>13. Adequate provision is to be made to facilitate access to and the use of the development, buildings, facilities and services by disabled persons. The minimum requirements to be provided shall be as set out in "Access for the Disabled - Minimum Design Criteria" published by the National Rehabilitation Board.</p> <p>14. Details of planting shall be agreed in writing with the Planning Authority prior to the commencement of development.</p> | <p>9. In the interest of the proper planning and development of the area.</p> <p>10. To avoid undesirable car parking in this estate, with consequent loss of amenity.</p> <p>11. In the interest of amenity.</p> <p>12. In the interest of amenity.</p> <p>13. In the interest of amenity.</p> <p>14. In the interests of visual amenity.</p> |
|---|--|

COMHAIRLE CHONTAE ÁTHA CLIATH

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Proposed Town Centre High Street development in 1, 2 and 3-storeys on a 2.945 hectare site at Belgard Road (as extended southwards) and Main Street (Old Blessington Road), Tallaght for Docfield Ltd.

CONDITIONS

REASONS FOR CONDITIONS

15. All trees and hedgerows on site shall be fenced off and protected prior to the commencement of development at Westpark Estate.

15. In the interest of the proper planning and development of the area.

16. Unit 1 shall be occupied as a single unit D.I.Y outlet, retailing only D.I.Y home improvement products and white goods i.e. fridges, freezers, cookers and similar goods, unless a separate grant of planning permission is obtained for another use.

16. In order to ensure that the proposed number of car parking spaces is adequate to cater for the development.

17. That the boundary wall/railing on Belgard Road/Park, (i.e. Detail No. 2) shall be of limestone, in place of proposed forticrete block.

17. In the interest of visual amenity.

18. The following details to be agreed in writing with the Planning Authority prior to commencement of development:-

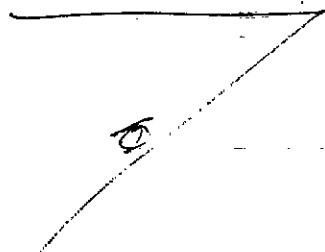
18. In the interest of the proper planning and development of the area.

(a) The design of the ~~proposed~~ access to Belgard Road.

(b) The design of the Tallaght main street access including alterations to existing road line, traffic signals etc.

(c) The design of the internal layout of the spine road including two roundabouts, parking at the side of the road, access details to the lower car park (also circulation and parking layout) and also access details to the existing public car park.

(d) Details and colour of the pedestrian bridge.



COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed Town Centre High Street development in 1, 2 and 3-storeys on a 2.945 hectare site at Belgard Road (as extended southwards) and Main Street (Old Blessington Road), Tallaght for Docfield Ltd.

Conditions

Reasons

A That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for roads, open spaces, car parks, sewers, watermains and drains, has been given by:

R To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

(a) Lodgement with the Council of an approved Insurance Company Bond in the sum of £ 115,000 which shall be renewed by the developer from time to time as the roads, open spaces, car parks, sewers, watermains and drains are taken in charge by the Council.

OR/....

(b) Lodgement with the Council of a cash sum of 72,000 to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications.

OR/.....

(c) Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

Note: Compliance with one or more conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

PEALS

App. Docs

NEW APPEALS

APPEALS CHECK LIST

REG. REF. NO. 91A-1415

1	ENTERED IN OBJECTORS REGISTER	✓
2	ENTERED IN BLUE FOLDER	✓
3	ENTERED IN APPEALS REGISTER	✓
4	ENTERED IN APPEALS INDEX	✓
5	ENTERED IN PLANAPS: I.E.:	
	Appeal Notified:	✓
	Appeal Type/Appellant Type:	✓
	Bord Pleanal Ref:	✓
	DOCS SENT TO AN BORD: (CHANGE STATUS TO 52)	NOTE = DON'T COPY
6	WRITTEN UP ON WEEKLY LIST FOR MARY/LAURA	✓
7	OBJECTORS NOTIFIED	no
8	BREAKDOWN OF CALCULATIONS REQUIRED - YES /NO	No
WITHDRAWN.		

DECISIONS

For filing only 3

APPEALS CHECK LIST

REG. REF. NO.

91A/1415

1	ENTERED IN OBJECTORS REGISTER	<input checked="" type="checkbox"/>
2	ENTERED IN BLUE FOLDER	<input checked="" type="checkbox"/>
3	ENTERED IN APPEALS REGISTER	<input checked="" type="checkbox"/>
4	ENTERED IN PLANAPS: I.E.:	
	Appeal Decision:	<input checked="" type="checkbox"/>
	Appeal Date:	<input checked="" type="checkbox"/>
5	COPY OF DECISION FOR WEEKLY LIST (LAURA/MARY)	<input checked="" type="checkbox"/>
6	DECISION CIRCULATED TO LISTED PERSONS	<input checked="" type="checkbox"/>
6	TO BONDS & CONTRIBUTIONS FOR FINANCIAL ASSESSMENT	<input checked="" type="checkbox"/>
7	TO L. DOYLE FOR NOTING	<input checked="" type="checkbox"/>

CHANGE STATUS IN PLANAPS:

REFUSAL:.....55
 GRANT:.....62
 WITHDRAWN:.....54
 CONDITIONS:.....53

Final grant issued

22/1.

P/344/92

22/1/92.

7/344/92

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

A decision has been made in the following case to grant permission under the above Acts:-

<u>Req. Ref.</u>	<u>Dec. Date</u>	<u>Applicant</u>	<u>Proposal</u>
91A/1415	29.11.91 5477	Docfield Ltd.	Proposed Town Centre High Street development in 1, 2 and 3 storeys comprising 3 retail units, with nett floor areas of 2,613 sq.m. associated office, storage, loading bays and signage. Garden centre offices with nett floor area of 1,117 sq.m., medical consulting rooms with nett floor area of 175 sq.m., 16 two-bedroomed apartments, 22 bedroomed hotel with bar and restaurant/function room, 710 space car park partially on two levels, pedestrian bridge across Belgard Road with integral tower, access and egress from Main Street and Belgard Road with provision for pedestrian connection on 2.945 hectare site at Belgard Road (as extended southwards) and Main Street (Old Blessington Road), Tallaght.

L.D.

As the appeal in the above case was ^{L.D.} ~~WITHDRAWN/LATE/INVALID~~, I recommend that the grant be made.

L.D.

[Signature]
Principal Officer.

ORDER: The permission which the Planning Authority decided to make by the order above specified is hereby granted by the Planning Authority, the grant to be subject to the conditions, if any specified in order relating hereto.

DATED: 22nd JANUARY 1992

[Signature]
ASST. COUNTY MANAGER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 10TH DECEMBER 1991

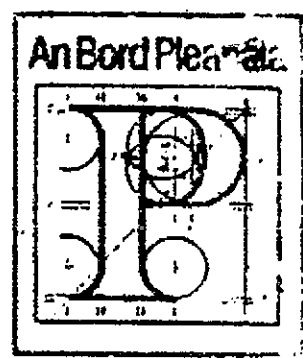
DATE: 21ST JANUARY 1992

Rang An Bord Pleanála and it was confirmed by KEVIN CARLETON
on 21ST JANUARY 1992 that there is no valid appeal lodged
against the Council's decision on Reg. Ref. No. 91A-1415
RE: Location: BELGARD RD. + MAIN ST. TALLAGHT.
Applicant: DOOLFIELD LTD.
Proposal: T.C. HIGH ST. DEVELOPMENT

SIGNED L. Doyle
APPEALS SECTION

IT SHOULD BE NOTED THAT PRESENTLY
DUE TO A STAFF SHORTAGE, AN BORD
PLEANALA ARE UNABLE TO HAVE THE
NECESSARY LETTER OF WITHDRAWAL DRAFTED.

L. Doyle



FAX INFORMATION SHEET

TO: Dublin Co. Council

ATTENTION OF: Les Doyle

FAX NUMBER: 724896

NO. OF PAGES INCLUDING THIS COVER NOTE: 3

DATE: 21/4/92

FAX NUMBER:
An Bord Pleanála:

DETAILS:
Copies of letters of withdrawal
for 6/5/87629 and 6/5/87390
as requested

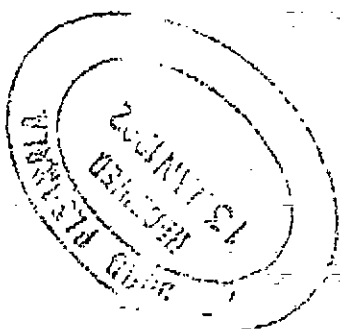
SIGNED: Kevin Carleton

40 Fitzwilliam Place
Dublin 2 Ireland
Telephone (01) 763661
Fax (01) 763662

Architect
and Town Planner

~~XXXXXXXXXXXXXXXXXXXX~~ Fergal MacCabe

An Bord Pleanala,
Block 2,
Irish Life Centre,
Lower Abbey Street,
DUBLIN 1



RE Proposed town centre high street development in one, two and three
storeys at Belgard Road, Main Street, Tallaght, Co Dublin (APPEAL) PL
6/5/87629

Date: 10th January 1992 Ref: FMacC/RB

Dear Sirs

I have been instructed by my clients The Square Management Limited to
withdraw their objection of the 17th December 1991 against the above
mentioned decision. Please consider this letter as formally withdrawing
the objection.

Yours faithfully

Fergal MacCabe

Geraldine Boothman.

FIG NA nOIBREACHA POIBLÍ

51 FAICHE STIABHNA, BAILE ÁTHA CLIATH, 2.

OFFICE OF PUBLIC WORKS, 51 ST. STEPHEN'S GREEN, DUBLIN, 2.

TELEX: 90160
TEILEAFÓN: 01-613111
FAX: 01-610747

TAG:
PLANNING DEPT.
DEVELOPMENT CONTROL SEC
Date 13.11.91
Time 4.30



Dublin Co. Council,
Planning Department,
Block 2,
Irish Life Centre,
Lr. Abbey St.,
Dublin 1.

Re: Ref 91A/1415 - Belgard Rd/Main St., Tallaght, Co. Dublin

Dear Sir,

Further to a meeting between ourselves and Jan Van Dijk of Murray O'Laoire and M. Gowen, Archaeologist. We have now received a revised plan which allows a 7 metre band along the curving boundary which is the Early Christian enclosure. I wish to advise that we are satisfied that this revised plan may proceed on the following conditions:

- (1) that a hand-dug cutting be excavated across both ditches and up to the boundary.
- (2) that a number of hand-dug cuttings be cut across the outer ditch at points where maximum disturbance is likely to take place.

Yours faithfully,

Josephine Walsh

Josephine Walsh.
National Monuments.

8th November 1991.

12 NOV 91

C.C. Jan Van Dijk



Bosca 174,
P. O. Box 174,
5 Rae Gardnar,
5 Gardiner Row,
Baile Atha Cliath 1.
Dublin 1.
Telephone: (01) 727777
Fax: (01) 725782

Mr. A. Smith,
Principal Officer,
Planning Department.

Our Ref.

Your Ref.

Date 08.11.1991

RE/ Proposed Town Centre High Street Development - 91A/1415.

I refer to yours of 29th October, 1991, which details the views of the Office of Public Works in relation to this development.

The Parks Department is in full agreement with the need to protect the bank of the Early Christian enclosure, and to leave an undisturbed green area at this location alongside the boundary with St. Maelruan's graveyard. As outlined in the Parks Department's report, there is need to preserve vegetation on this site, and concern must be expressed about the absence of any tree and vegetation survey in association with this application.

SENIOR PARKS SUPERINTENDENT

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 12.11.91
Time 4.15
.....

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1415.
DEVELOPMENT: Town Centre High Street Dev.
LOCATION: Belgard Road (as extended southwards) and Main Street, Tallaght.
APPLICANT: Docfield Ltd.
DATE LODGED: 29.8.91.

Further to original roads Report of 21st October, 1991 on this application the Roads Department wish to add the following.

- (a) A break in the median to provide for a right turn access into the site for northbound traffic on the Belgard Road is not acceptable.
- (b) The location of a roundabout at the junction of the Old Blessington Road and the Belgard Road is not acceptable to the Roads Department.

Roads would recommend that provision for a U-turn manoeuvre be made at the existing signal controlled junction above. It is felt that this U-turn facility could be incorporated into the light cycle with a minimum cost to the capacity of the junction. As the Belgard Road is completely signal controlled this is the solution recommended by the Roads Department.

EM/BMcC
22.11.91.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 26.11.91
Time 4.00

SIGNED: _____

ENDORSED: E. n/adden

DATE: _____

DATE: 22nd Nov 91

John Allen
22/11/91

Geraldine Boothman

PK



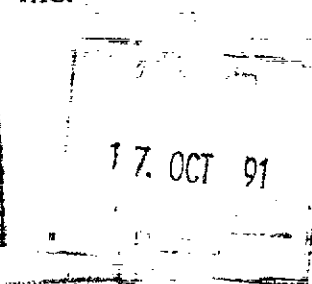
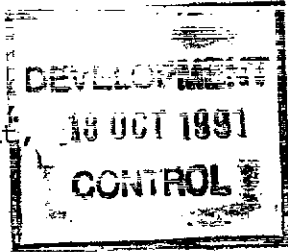
OIFIG NA nOIBREACHA POIBLÍ

51 FAICHE STIABHNA, BAILE ÁTHA CLIATH, 2.

OFFICE OF PUBLIC WORKS, 51 ST. STEPHEN'S GREEN, DUBLIN, 2.

TELEAFÓN: 01 - 613111
FAX: 01 - 610747

TAG:



18/10

OB

Dublin Co. Council
Planning Department,
Blocks 2,
Irish Life Centre,
Ir. Abbey St.,
Dublin 1.

Re: Ref 91A/1415 - Belgard Rd./Main St., Tallaght, Co. Dublin

Dear Sir,

We have examined the report on the test excavations which were carried out in connection with the above development and while we are satisfied that the testing is adequate for the major part of the site, we are not satisfied with the testing in the rectangular area fronting onto Main Street. We recommend that further testing be done here and that two complete transects of this area be carried out with a J.C.B. with the purpose of locating at least the outer ditch of the Early Christian enclosure with the N/W trench and the medieval town ditch with the E/W trench. This testing could have further archaeological implications for the areas of Blocks 6, 9 and 10. Block 6 cuts across the outer ditch but we would have no objections provided a hand dug cutting is opened across the two ditches and the entire area of the outer ditch disturbed by the development should be excavated.

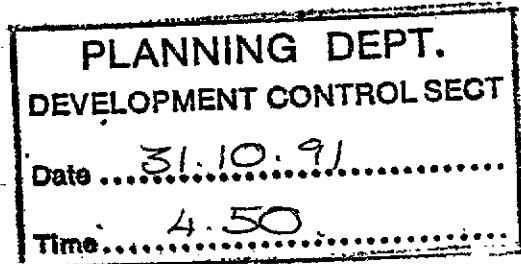
We would strongly object to car parking close to the bank of the Early Christian enclosure and recommend that a band 20m wide should be left as an undisturbed green area out from this bank. This band should be fenced off during development work and no site offices or materials should be placed here and no heavy machinery should cross it or be parked on it.

We also recommend archaeological supervision of all major ground disturbance on the site. All work, including clearance of scrub, landscaping and the erection of the fence on the bank of the Early Christian enclosure which forms the boundary between the graveyard and the site should only be carried out under archaeological supervision. In particular the excavation of the holes for the fence should be archaeologically monitored.

Yours faithfully,

Josephine Walsh
Josephine Walsh.
National Monuments.

15th October 1991.



c.c. Jan Van Dijk,
Murray O'Laoire Associates, Fumbally Court, Fumbally Lane, Dublin 8.

91A/1415
 Assessment of Parking Requirements

	Area (m ²)	Public	Operational	= TOTAL
Retail (5 per 100m ²)	10,667	533	319	552
Office (4 per 100m ²)	1,349	54	5	59
Consulting Rooms	(3)			6
Hotel	1 per bedspace			22
Pub	c. 320 public floor space	80	1	81
Restaurant - (ditto)		64	1	65
Dwellings				<u>20</u>
				805

Richard Cernins SEP
 28/11/91

Gereldine Boothman

DUBLIN COUNTY COUNCIL

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date.....4.11.91
Time.....10.15

REG. REF: 91A/1415.
DEVELOPMENT: Town Centre High Street Development.
LOCATION: Belgard Road (as extended southwards) and Main Street (Old Blessington Rd., Tallaght).
APPLICANT: Docfield Ltd.
DATE LODGED: 29.8.91.

Proposal is for a town centre type development on a 7.25 acre site between Tallaght Main Street and the Belgard Road. The proposal comprises almost 8,900m² retail space plus associated offices, a twenty two bed hotel with bar and restaurant/function room, 16 apartments, a Medical Consulting rooms plus a 710 space car park. The site is a commercial link between the Town Centre and Tallaght village. A pedestrian bridge is proposed over the Belgard Road to join with this link through the site. The proposal is in the designated tax incentive area and is zoned for commercial development.

Access to the site is proposed via an access to the main street north of the Oldbawn Road junction and via an access with an associated median break on the Belgard Road. The Belgard Road is a Regional Route dual carriageway and as such frontage access is not permitted on the Rd.

The site itself is deficient in car parking to Development Plan requirements. The applicant has addressed this to some extent however the following is of note-

- a) Calculation of car parking is based on the gross floor area. A calculation on the basis of net floor area would require a higher number of spaces per 100m² floor area.
- b) A 7.5m width of common boundary exists between the existing public car park and the site as outlined.
- c) A development is required to provide sufficient on site car parking to meet it's own requirements. The pedestrian bridge would not relieve, to any appreciate extent, the parking requirement because of the distances and difficulty involved in carrying purchases.
- d) It is accepted that the peak demand of different "units" within the proposed development will occur at different times. This will have a mitigating effect on the total car parking demand.

It is proposed to have access to the site via an access/exit onto the Old Blessington Road-Main Street and an access via the Belgard Road. Roads do not have an objection in principle to an access onto the Main Street. It should be noted, however, that

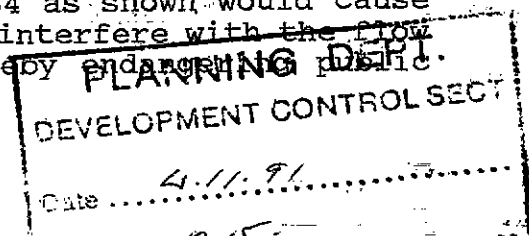
the proposed access onto this street is just 60-70m north of the existing signal junction on the Main Street/Oldbawn Road junction. This is within the control zone of these lights. A signal controlled junction is required at the proposed access. It cannot operate independently of the existing signal controlled junction. Details of this including revisions to the junction layout proposed would have to be agreed with the Roads Department. It would also be necessary to have the existing road (including paths and kerblines) between the junctions and also immediately north of the proposed junction included as part of the overall access requirement and subject to agreement as part of the access proposal. This would require a detailed survey of the area in question which is not submitted as part of the current lodgement.

It is also proposed to have access via the Belgard Road. The Belgard Road is part of a regional route and as such frontage access is not normally permitted. The generation potential of the site is such that a single access is not adequate to serve the site given the constraints outlined above regarding the Main Street access. The access proposed includes a median break for right turn access into the site from the Belgard Rd. As the Belgard Road is totally signal controlled the construction of a roundabout at the Blessington Road junction to provide for U-turns is not feasible. Having said this the Roads Department do not see a need to provide a break in the median as traffic approaching the site from the motorway ring via the Tallaght By-Pass have access via Oldbawn Rd at the existing signal controlled junction. In addition the creation of a right turn lane for this break in the median will extend the right turn lane down to the existing right turn into the Town Centre. The right turn is located some 85 to 90m south of the existing Blessington Road junction. The creation of turning movements at this location would conflict with not only the straight through southbound traffic on the Belgard Rd but also -

- (a) Right turn exit from the Town Centre at the Blessington Rd junction.
- (b) Left turn exit from the village at the Blessington Road junction.
- (c) It will also interfere with right turn traffic into the village at the Blessington Rd junction as it will hold up traffic wishing to get to the junction on the right turn lane. This could cause hazardous manoeuvres by this traffic trying to get around halted traffic in the right turn lane (entering the proposed site) by moving from a stopped position into the fast lane of the northbound Belgard Road.

The internal layout of the site is largely acceptable. The following should be rectified-

- (a) Access layout from the Belgard Road should be revised as access to and from car spaces, to 64 as shown would cause congestion at the access which would interfere with the flow of traffic on the Belgard Rd, thereby endangering public.



safety by reason of traffic hazard. This will require provision of an island in the access road past the access to these spaces. It will also require movement of the junction of the access road and the car park exit away from the Belgard Road. It should also provide for a mini roundabout on the spine road in the vicinity of car parking spaces 250 to 264.

- (b) Details of the proposed roundabout adjoining Priory Square to be agreed to include pedestrian provision site.
- (c) Car spaces 376 to 430 should be angled to the road at an angle to be agreed between 45° and 60° to prevent undue interference with traffic flow on the Spine Route. The roundabout at (b) above will provide for U-turning to Tallaght village.
- (d) Access details to the lower car park entrance should be agreed in detail to ensure circulation routes, ramp slopes and vision at the access.
- (e) Vehicular access to Dublin County Council car park to be provided. This will require a revision of car spaces 389 to 400. This is required to alleviate the shortage of car parking within the site.

Roads would recommend a submission of Additional Information to deal with the above, however, if permission is being contemplated it should be subject to:-

- 1) Access details of the Belgard Road access which shall not include a median ^{near} break to be agreed in writing with the Roads Department, to commencement of development.
- 2) Access details of the Tallaght main street access including alterations to existing road line, traffic signals etc. to be agreed in writing prior to commencement of development.
- 3) A contribution of (7.27 x ~~14,360~~ ^{→ E126207}) to be levied towards the provision of road infrastructure and traffic management work to be carried out in the immediate area which will facilitate the development. Any agreed works on public roads may be offset against this contribution.
- 4) Applicant to agree in writing with the Roads Department details of the internal layout of the spine road including two roundabouts, parking at the side of the road, access details to the lower car park (also circulation and parking layout) and also access details to the existing public car park. All the above to be agreed in writing prior to commencement of development.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 4.11.91
Time 10.15
.....

- 5) Details of the pedestrian bridge to be agreed with the Roads Department prior to commencement of development.



EM/BMCC
17.10.91.

SIGNED: _____

ENDORSED: E. W. J. J. J.

DATE: _____

DATE: 21st Oct 91

Req Ref 91A/1415.

Further to original roads report of 21st Oct '91 on this application the Roads dept. wish to add the following.

- a) A break in the median to provide for a right turn access into the site for northbound traffic on the Belgard Rd is not acceptable.
- b) The location of a roundabout at the junction of the Old Blessington Rd & the Belgard Rd. is not acceptable to the Rd's dept.

Roads would recommend that provision for a U-turn manoeuvre be made at the existing signal controlled junction above. It is felt that this U-turn facility could be incorporated into the light cycle with a minimum cost to the capacity of the junction. As the Belgard Rd. is completely signal controlled this is the solution recommended by the Roads Dept.

*Bridge - to be covered for own edge of reservation.
alt. Scheme to go up to the new line.*

E. Wadden P./S.E.E.

22nd Nov '91

PLANNING DEPT.
DEVELOPMENT CONTROL SEC
Date 22.11.91
Time 2:30

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1415.
 DEVELOPMENT: Town Centre High Street Dev.
 LOCATION: Belgard Road (as extended southwards) and Main Street, Tallaght.
 APPLICANT: Docfield Ltd.
 DATE LODGED: 29.8.91.

Further to original roads Report of 21st October, 1991 on this application the Roads Department wish to add the following.

- (a) A break in the median to provide for a right turn access into the site for northbound traffic on the Belgard Road is not acceptable.
- (b) The location of a roundabout at the junction of the Old Blessington Road and the Belgard Road is not acceptable to the Roads Department.

Roads would recommend that provision for a U-turn manoeuvre be made at the existing signal controlled junction above. It is felt that this U-turn facility could be incorporated into the light cycle with a minimum cost to the capacity of the junction. As the Belgard Road is completely signal controlled this is the solution recommended by the Roads Department.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
 Date 27.11.91
 Time 11.30

EM/BMcC
22.11.91.

SIGNED: _____ ENDORSED: E. Madden
 DATE: _____ DATE: 22nd Nov 91

Mr Allen
 1.11.91

Req Ref 91A/1415.

Further to original roads report of 21st Oct '91 on this application the Roads dept. wish to add the following.

- a) A break in the median to provide for a right turn access into the site for northbound traffic on the Belgard Rd is not acceptable.
- b) The location of a roundabout at the junction of the Old Blessington Rd & the Belgard Rd. is not acceptable to the Rd's dept.

Roads would recommend that provision for a U-turn manoeuvre be made at the existing signal controlled junction above. It is felt that this U-turn facility could be incorporated into the light cycle with a minimum cost to the capacity of the junction. As the Belgard Rd. is completely ~~to~~ signal controlled this is the solution recommended by the Roads Dept.

E Wadden P./S.E.E.

22nd Nov '91

PLANNING DEPT.	
DEVELOPMENT CONTROL SEC	
Date	22.11.91.....
Time	2:30.....

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed Town Centre High Street development in 1, 2 and 3 storeys comprising 3 retail units, with net floor area of 2,615sq. metres, 1,251sq. metres and 554sq. metres and 52 remaining retail units totalling a net floor area of 4,452sq. metres, with associated offices, storage, loading bays and signage; garden centre; offices with net floor area of 1,117 sq. metres; medical consulting rooms with net floor area of 175 sq. metres; 16 2-bedroomed apartments; 22 bedroomed hotel with bar and restaurant/function room; 710 space car park partially on two levels, pedestrian bridge across Belgard Road, with integral tower; access and egress from Main Street and Belgard Road, with provision for pedestrian connection on 2.945 hectare site at Belgard Road, (as extended southwards) and Main Street, (Old Blessington Road), Tallaght, for Docfield Limited.

Murray O'Laire Associates,
Fumbally Court,
Fumbally Lane,
Dublin 8.

Reg. Ref. 91A/1415
Appl. Rec'd: 29/8/91
Time Ext. up to. 22/11/91
Further Time Ext. up to. 02/12/91

Report of dated 22 November 1991.

This is an application for permission for the above development.

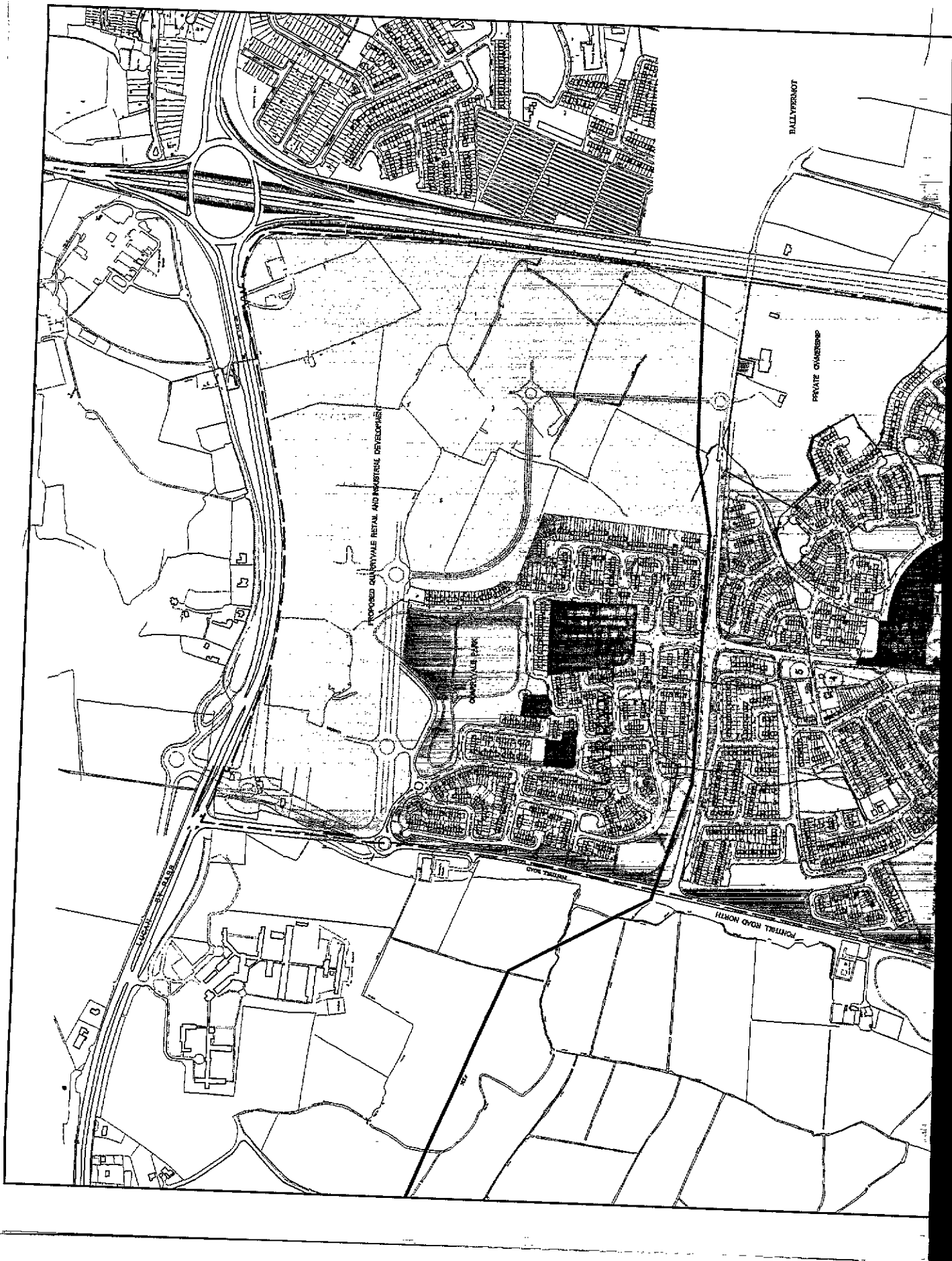
In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the applicant has furnished his consent in writing to the further extension by the Council of the period for considering this application within the meaning of subsection (4A) of Section 26, up to and including 2nd December, 1991.

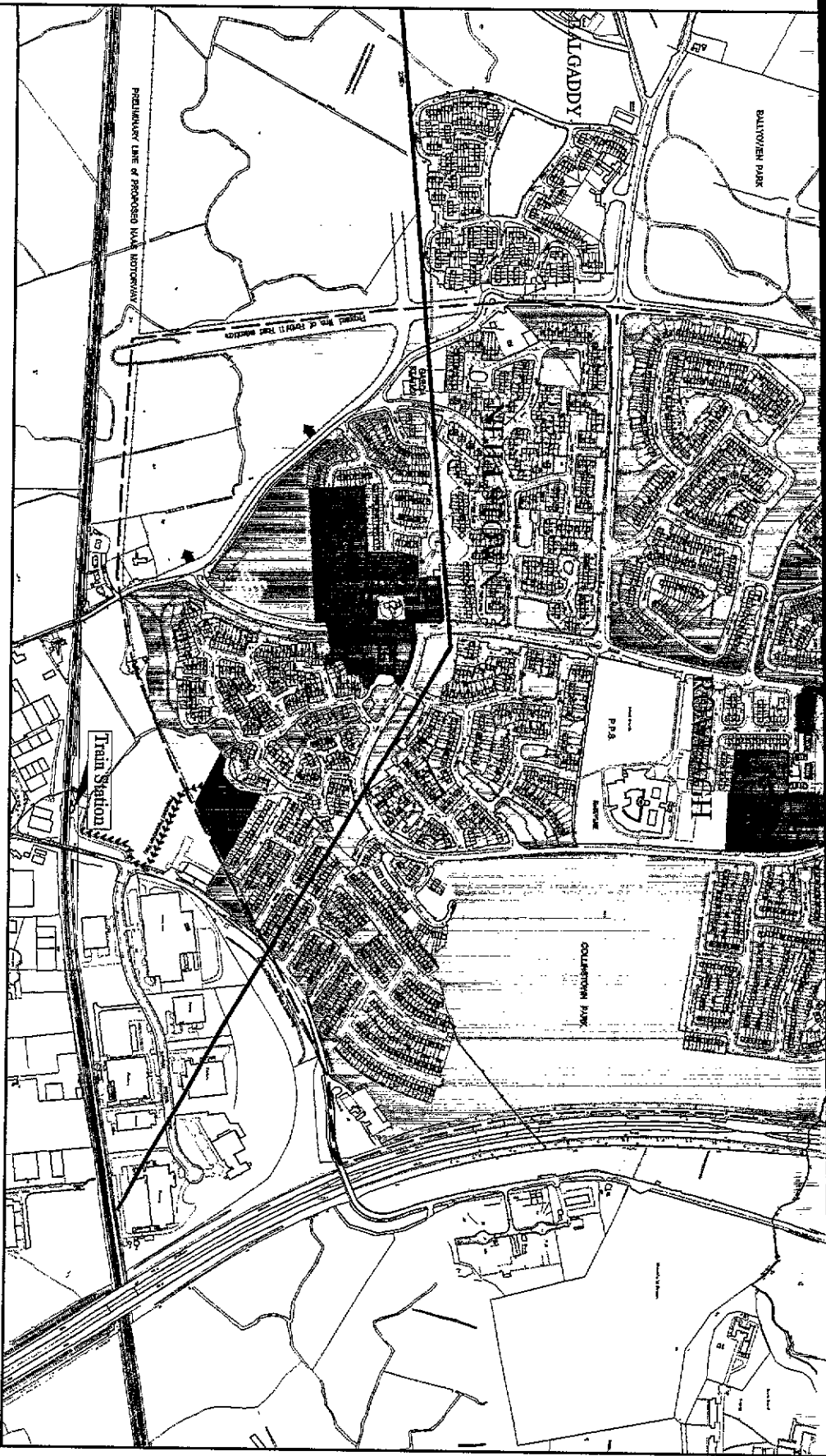
I recommend that the period to be extended accordingly.

Reason: To facilitate full consideration of the application.

Contd/.....







DRAFT ACTION PLAN NEILLSTOWN, ROWLAGH, QUARRYVALE.

- LEGEND:**
- RESIDENTIAL
 - RESIDENTIAL
 - GOVERNMENT STREETS
 - STREET LOCAL/COMMUNITY FACILITIES
 - HERITAGE/WOOD CENTRES
 - Neighbourhood Open
 - Primary School
 - Community Centre
 - Urban Bush Area
 - Canal
-
- PUBLIC OPEN SPACE
 - INDUSTRIAL
 - PROPOSED QUARRYVALE DEVELOPMENT
 - PROPOSED ROADS
 - PROPOSED ACCESS POINTS
 - E.S. & L.V. LINES
 - PROPOSED RESTRICTION WAY TO TRAIN STATION
 - ZONE OF ACTION AREA
 - PROPOSED CANALS FROM MAIN STN

SOUTH DUBLIN COUNTY COUNCIL
PLANNING DEPARTMENT

DRAFT ACTION PLAN

DATE: JANUARY 1998	DRAWN BY: D. MAHONEY
SCALE: 1:10000	DESIGNED BY: H. O'NEILL
E. P. CONWAY, B.E., M.I.P.L. County Planning Officer	



Page No.
10/10





**DRAFT
ACTION PLAN
NEILLSTOWN,
ROWLAGH,
QUARRYVALE.**

LEGEND:

- PROPOSED CYCLE ROUTES
- DIRECTION OF CYCLE ROUTES
- PROPOSED JOULES
- EXTENT OF ACTION AREA




**SOUTH DUBLIN COUNTY COUNCIL
PLANNING DEPARTMENT**

**DRAFT ACTION PLAN
(PROPOSED CYCLE ROUTES)**

DATE: DECEMBER 1983	PREPARED BY: D. McANULTY
SCALE: 1:10,000	DESIGNED BY: E. O'NEILL

H. P. CONWAY, B.E., M.I.P.L.
County Planning Officer

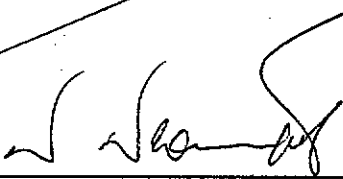


200 1000

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed Town Centre High Street development in 1, 2 and 3 storeys comprising 3 retail units, with net floor area of 2,615sq. metres, 1,251sq. metres and 554sq. metres and 52 remaining retail units totalling a net floor area of 4,452sq. metres, with associated offices, storage, loading bays and signage; garden centre; offices with net floor area of 1,117 sq. metres; medical consulting rooms with net floor area of 175 sq. metres; 16 2-bedroomed apartments; 22 bedroomed hotel with bar and restaurant/function room; 710 space car park partially on two levels, pedestrian bridge across Belgard Road, with integral tower; access and egress from Main Street and Belgard Road, with provision for pedestrian connection on 2.945 hectare site at Belgard Road, (as extended southwards) and Main Street, (Old Blessington Road), Tallaght, for Docfield Limited.



cm
for Principal Officer.

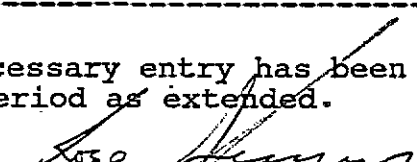
Order: A decision pursuant to Section 26(4A) to extend the period for considering the application as recommended is hereby made.

Dated: *22nd* November, 1991


Assistant County Manager

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated *6th* November 1991

NOTE: I have checked that the necessary entry has been made recording details of the period as extended.


SENIOR STAFF OFFICER.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building Belgard Road (As extended Southwards) and
(If none, give description Main Street (Old Blessington Road), Tallaght
sufficient to identify)

3. Name of applicant (Principal not Agent) Docfield Ltd
Address C/O Gerald Kean, St. Andrews House 28-30 Exchequer St. Tel. No.

4. Name and address of Murray O Laoire Associates
person or firm responsible
for preparation of drawings Fumbally Court, Fumbally Lane, Dublin 8. Tel.

5. Name and address to which Varming Mulcahy Reilly Associates
notifications should be sent Tramway House, 32 Dartry Road, Dublin 6.

6. Brief description of See enclosed copy of planning advertisement
proposed development

7. Method of drainage Mains 8. Source of Water Supply Mains

9. In the case of any building or buildings to be retained on site, please state:
(a) Present use of each floor N/A
or use when last used. N/A
(b) Proposed use of each floor N/A

10 Does the proposal involve demolition, partial demolition NO
or change of use of any habitable house or part thereof?

11. (a) Area of Site 7.277 acres/2.945 hectares 29,450 Sq. m.
(b) Floor area of proposed development 15,170 Sq. m.
(c) Floor area of buildings proposed to be retained within site N/A Sq. m.

12. State applicant's legal interest or estate in site Agreement to purchase
(i.e. freehold, leasehold, etc.)

13. Are you now applying also for an approval under the Building Bye Laws?
Yes No Place in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
The draft building regulations have been taken into account where applicable.

15. List of documents enclosed with Cheque for £10,000. Planning Application Report.
application. Irish Press 27th August 1991, Dublin County Council letter dated
22nd August 1991 for drawing list see planning application report.

16. Gross floor space of proposed development (See back) 15,170 Sq. m.

No of dwellings proposed (if any) 16 Class(es) of Development 1/4/91

Fee Payable £10,000 Basis of Calculation Maximum Fee
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) [Signature] Date 27/8/91

Application Type P FOR OFFICE USE ONLY

Register Reference 910/1415

Amount Received £3,112.4

Receipt No 21-12

Date

CO. DUBLIN Permission sought for Town Centre High Street development in 1, 2 and 3 storeys comprising 3 Retail units, with nett floor areas of 2,613 sq.m., 1,251 sq.m., and 554 sq. m. and 52 remaining retail units totalling a nett floor area of 4,452 sq. m. with associated offices, storage, loading bays and signage; Garden centre; Offices with nett floor area of 1,117 sq.m.; Medical Consulting Rooms with nett floor area of 175 sq.m.; 16 Two bedroomed apartments; 22 Bedroomed Hotel with Bar and Restaurant/Function Room; 710 space car park partially on two levels, pedestrian bridge across Belgard Road with integral tower; Access and egress from Main Street and Belgard Road with provision for pedestrian connection on 0.45 hectare site at Belgard Road (as extended southwards) and Main Street (Old Blessington Road), Tallaght. Signed: Docfield Ltd.

Irish Press 27/8/91

RECEIVED
29 AUG 1991
REG. SEC.

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.

4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension	
C	Building — Office/Commercial Purposes	£30.00 each
D	Agricultural Buildings/Structures	£3.50 per m ² (min. £70.00)
E	Petrol Filling Station	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
F	Development or Proposals not coming within any of the foregoing classes.	£200.00
		£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00
		Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

RILE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL

6/49 UPPER O'CONNELL STREET
DUBLIN 1

RECEIPT CODE

Issue of this receipt is not an
acknowledgement that the fee
tendered is the prescribed application
fee

N 47867

£10,000.00

Received this

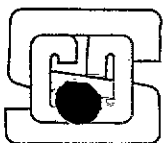
from Colin Mulcahy Reilly day of August 1997
Dartog Rd.
D.6

the sum of ten thousand

planning application at Balgard Rd.
Pence being two pence Pounds

Adrian O'Connell Cashier

S. CAREY
Principal Officer (Class U)



SPAIN COURTNEY DOYLE

**BUILDING
SURVEYING**

COMMERCIAL PROPERTY
CONSULTANTS & BUILDING
SURVEYORS

68 LOWER BAGGOT STREET,
DUBLIN 2, IRELAND.

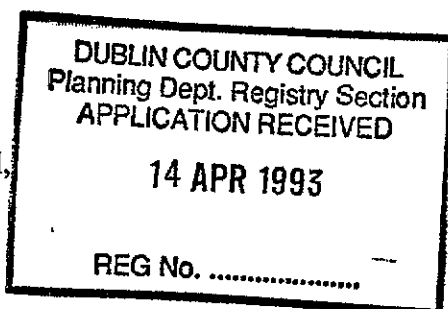
TELEPHONE: 01-760312
FAX: 01-767770.

DGC/DC

OUR REF:

YOUR REF:

The Principal Officer,
Dublin County Council,
Planning Department,
Irish Life Mall,
Talbot Street,
Dublin 1.



14th April 1993.

"ADDITIONAL INFORMATION"

**RE; Planning Application for Modifications to Previously Approved Scheme
Applicant - Docfield Limited. Register Reference No. 93A/0088**

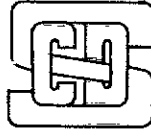
Dear Sir,

We refer to discussions with your office and enclose for your attention unsolicited additional information including a Schedule of Accommodation in connection with the above development. You will note from the documentation that the total number of car spaces being provided is approximately 490 spaces. An appraisal of the scheme on the basis of net accommodation being provided, having regard to the requirements of the Dublin County Council Development Plan indicates that approximately 563 spaces are required with a short-fall therefore in the order of 70 car spaces. We would point out that the current scheme has regard for a 7.00 m wide grassed strip required by the O.P.W. for archaeological purposes which cannot be used for carparking and results in the loss of c. 40 car spaces.

The original scheme as approved has a short-fall in carparking of some 18% on the overall scheme. The scheme as it is now proposed has a further short-fall of approximately 70 cars below the percentage previously approved. We would point out however that the enclosed site layout now indicates a vehicular entrance to the adjoining public carpark to the south which is currently under utilised.

In the light of the above information, we hope that you will look favourably upon our Clients application and consider the possibility of a carparking levy in respect of the short-fall of 70 car spaces which has resulted from the revised site layout.

We also enclose these copies of a revised site plan drawing no. 2518/103B indicating the 7.00 m wide strip which is to be grassed in accordance with the O.P.W. requirements. We also enclose four copies of the details of the proposed pedestrian bridge which is a replica of the existing bridge at the Square Shopping Centre.



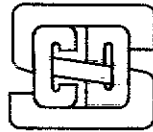
SPAIN COURTNEY DOYLE

We trust the enclosed contains the information which you require however should you have any queries in connection with the enclosed please contact David Courtney or Roderick Dunne of this office.

Yours faithfully,

SPAIN COURTNEY DOYLE.

Encl.



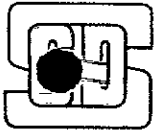
SPAIN COURTNEY DOYLE

TALLAGHT RETAIL CENTRE, DUBLIN 24.

SCHEDULE OF ACCOMMODATION

CAR PARKING REQUIREMENTS

ACCOMMODATION	GROSS AREAS	NET AREAS
Retail	510	468
Office	26	26
Hotel	24	24
Public House	65	65
Restaurant	35	35
Dance Hall	53	53
Dwellings	16	<u>16</u>
		<u>687</u>
	Total	687
	Less 18%	<u>124</u>
	Total Required (Based on 82%)	<u>563</u>



SPAIN COURTNEY DOYLE

**BUILDING
SURVEYING**

*add
24.12*

COMMERCIAL PROPERTY
CONSULTANTS & BUILDING
SURVEYORS

68 LOWER BAGGOT STREET,
DUBLIN 2, IRELAND.

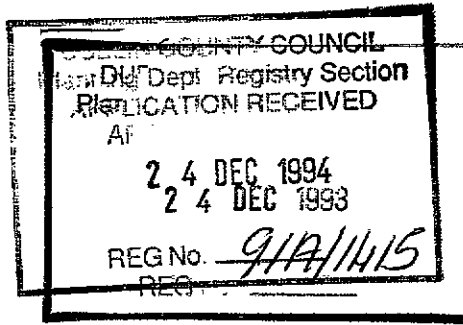
TELEPHONE: 01 - 676 0312
FAX: 01 - 676 7770

DGC/DC

OUR REF:

YOUR REF:

Mr. Harry Lawlor,
Senior Executive Planner,
Planning Department,
Dublin County Council,
Block 2,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.



23rd December 1993.

**RE: Our Clients, Docfield Limited - Development at Belgard Road, Tallaght
Register Reference No. 93A 0088 Granted on the 16th day of June 1993.
Root Permission Register Reference No. 91A/1415**

Dear Mr. Lawlor,

I refer to Enforcement Notice dated the 30th day of November 1993 addressed to our Clients in connection with the above. I also refer to our meeting at your office on December 10th 1993 and would comment on the matters contained in the Enforcement Notice as follows:-

1. Condition No. 14

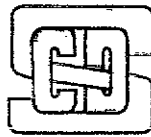
I enclose for your attention detailed drawings and specification containing the landscaping proposal in respect of this development for your approval.

2. Condition No. 18

I enclose for your attention Drawing No. 2518/101 Revision H. Revision C of this drawing contained the post planning revisions and was forwarded to your Department on the 20th day of May 1993. Revision B of this drawing was also forwarded to Building Control Department on May 10th 1993. To date we have not received any replies to this correspondence and we were unaware of the Authority's concerns in relation to the matters contained in the Enforcement Notice until receipt of same. I confirm that the enclosed drawing has been amended and revised following extensive discussions with Dublin County Council Roads Department and Building Control Department and outlines:-

- a) The design of the access to the Belgard Road.
- b) The design of the Tallaght Main Street access.

1.2.1



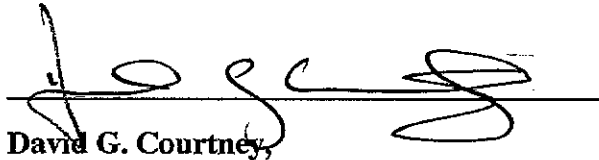
SPAIN COURTNEY DOYLE

- c) The design of the internal layout of the spine road, parking at the side of the road, access details to the lower car park and access details to the existing public car park. The roundabout indicated on the planning drawing was omitted by Condition No. 17(d) of the above mentioned Planning Permission and replaced by a speed control curve.
- d) It was our understanding in relation to the pedestrian bridge that the details and colour of the pedestrian bridge were governed by Condition No. 2 of the above permission.

We look forward to hearing from you in connection with the enclosed submission. I should be obliged if you could confirm that no further Enforcement action will be taken in respect of this matter.

Whilst writing to you, I would be grateful if you could advise if a Bond in the sum of £115,000 of two years duration issued by the Insurance Corporation of Ireland would be acceptable to your Bonds Department, provided that a minimum of one months notice of the expiry of the bond is given by Coyle Hamilton Insurance Brokers to your Department.

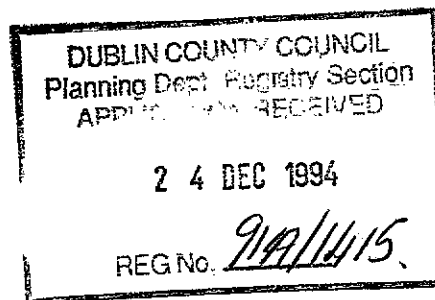
Yours sincerely,



David G. Courtney,

SPAIN COURTNEY DOYLE.

cc. - Administrative Officer, Dublin County Council, Block 2, Irish Life Centre



SPECIFICATION OF MATERIALS AND WORKMANSHIP

IN RESPECT OF

LANDSCAPING PROPOSAL

AT

**THE TALLAGHT RETAIL CENTRE,
BELGARD ROAD,
DUBLIN 24.**

DATE: 23rd December 1993.

2.0 SPECIFICATION

2.1 Materials

2.2 Topsoil

Topsoil to areas with acid loving planting is to be improved to achieve a pH 5.5 - 6.5 and to be of a good tilth. See also Workmanship - Cultivation Generally and Final Preparation - Shrub Planting Areas.

2.3 Plants Generally

All trees, specimen shrubs, shrubs and ground cover planting shall conform fully to the specification in respect of species, size and quality.

The Contractor shall investigate the sources of supply and satisfy himself that he can supply all of the plants specified on the planting schedule in the size, variety and quality rates before submitting a bid. Substitutions will not be permitted. If proof is submitted that any plant specified is not obtainable, a proposal will be considered for use of nearest equivalent size or variety, with an equitable adjustment of contract price.

All plants shall be well grown, sturdy and bushy, according to type, and free from all disease and defects.

Shrubs shall be container grown, root balled or bare rooted, as stated in the plant schedules. If container grown, root growth shall not have been restricted by the containers.

The Landscape Architect reserves the right to reject any plant material before or after planting if it does not conform with the specification.

All plants shall be adequately hardened off prior to planting, where frost or cold winds may be a problem.

All plants shall be supplied with temporary labels with the full botanic name, on each bundle or batch of plants.

2.4 Trees

All trees should be full and well shaped, bark unmarked and have healthy root systems.

The Landscape Architect must inspect and approve all trees prior to lifting.

Trees must all be of identical size and shape and should originate from the same stock, nursery and stand.

All semi-mature trees shall have been undercut at least every other year for the previous six years before lifting.

All standard trees and large shall be rootballed.

All trees smaller than standards shall be root wrapped.

Crowns to be thinned by 30% according to good horticultural practice and in a manner which does not affect the overall stature, structure or good appearance of the tree.

2.5 Tree Sizes

Unless otherwise specified, all trees shall be as follows:-

Feathered trees, 10 - 12 girth size, 3 - 3.6 m high. Rootballed and wrapped in hessian. To have sound central leader and well formed branches.

Standard trees, 10 - 12 girth size, 3 - 3.6 m high. Rootballed and wrapped in hessian. To have a sound central leader clear to 1.8 m from ground, and well formed branches.

Multistemmed trees, 8 - 10 girth size, 2.6 - 3 m high. Rootballed and wrapped in hessian. To have a minimum of three sound branches from ground level. Rootballed and wrapped in hessian. To have a sound central leader and well formed branches.

2.6 Shrubs and Ground Cover

Shall be bushy, well established nursery stock with a good fibrous root system.

They may be grown in open ground or containers but if so scheduled, will be container - grown.

They shall be true to size, name and description as scheduled.

2.7 Grass Seed

Grass seed shall conform to the requirements of British Standard 4428:1969 and subsequent amendments.

The Contractor shall supply, with each seed mixture, a certificate stating the composition, purity, germination, year of collection and country of origin.

The germination capacity of each constituent of the mixture should be not less than 80%, and the purity of the mixture not less than 90%.

Total weed seed content should not be more than 0.5% and the total content of other crop seeds should not be more than 1%. These minimum figures shall be for the current 14 month period of annual tests.

The seed is to be thoroughly re-mixed before sowing to avoid patchiness on the ground and is to be 'Mommersteeg' MM22 mix or similar approved, sown at a rate of 70 gms per square metre.

Mommersteeg Seed Co. Ltd., Station Road. Findeon Wellingboro' Northants, NN9 59T.
Tel 03 0933 680891

2.8 Tree Stakes

Tree stakes shall be peeled poles of oak, sweet chestnut or tanalised larch.

They shall be at least 2.5 metres long with a minimum diameter of 75 mm at both butts.

Feathered trees shall be tied to each stake (three stakes per tree) with a purpose made tie and spacer, the tie to be overlapped and thrice nailed to the stake.

Standard trees shall be tied to each stake (one stake per tree) with a purpose made tie and spacer and thrice nailed to the stake.

Multi-stemmed trees shall be tied to each stake (two stakes per tree) with a purpose made tie and spacer and thrice nailed to the stake.

2.9 **Approved Chemicals**

All chemicals used shall be non-toxic to human beings and animals under normal use, and chemicals which are not on agriculturally approved shall not be used.

2.10 **Mulch**

Mulch will be rejected if in the Landscape Architect's opinion it is likely to be wind blown.

The Contractor should arrange to have an on site sample (or samples) inspected by the Landscape Architect prior to spreading. Spreading without the approval of sample is at the Contractor's own risk.

3.0 **WORKMANSHIP**

3.1 **Site Clearance**

Remove and dispose of off-site any rubbish still occurring in topsoiled areas, including weeds, old masonry and rubble, metal, wood, and stones, excavating as necessary to permit the specified depth of final cultivations.

3.2 **Cultivation Generally**

The aim of cultivation is to produce a well-drained and textured soil suitable for plant growth.

All areas to be planted, or seeded shall be cultivated to a minimum depth of 300 mm or deeper if specified. Areas where obvious compaction has occurred shall be ripped.

Stones above 75 mm longest dimension shall be removed from the top 100 mm layer of shrub planting areas.

Stone over 40 mm shall be removed from the surface of seeding areas.

3.3 **Final Preparation - Shrub Planing Areas**

Coarse clean moist peat substitute* shall be forked in at a rate of 5kg per square metre and incorporated to a depth of 200 mm.

In the case of the heather planing (see drg no. 9114-13) peat shall be forked in at a rate of 5kg per square metre and incorporated to a depth of 200 mm, to adopt to the pH requirements of the heathers.

A bonemeal fertiliser shall be spread at a rate of 70g per square metre and raked into the top 50 mm layer.

The surface shall be raked to a tilth suitable for planting.

3.4 Final Preparation - Seeding Areas

One week before seeding, Fisons PS5 or similar approved pre-seeding fertiliser shall be spread at a rate of 70g per square metre and incorporated in the surface layer.

The soil shall be firmed and raked to a fine tilth suitable for seeding.

3.5 Planting Generally

The Contractor shall provide the Landscape Architect with the species and quantities reserved from each named nursery, and the Landscape Architect shall have the right to inspect such nursery stock as she/he deems necessary, prior to its purchase by the contractor.

All plant labels are to be kept on their respective plants by the Landscape Contractor until the final inspection has been carried out. Only on approval from the Landscape Architect may such labels be removed by the Landscape Contractor.

Bare root stock shall be delivered to the site on the day of planting. If under exceptional circumstances planting cannot take place within 12 hours of delivery, bare root stock shall be healed in.

Any plants stored temporarily on site shall be protected from adverse weather conditions.

Plants with damaged root systems shall not be accepted.

After planting, any minor damage shall be rectified by pruning.

Plants which, in the opinion of the Landscape Architect, have been seriously damaged during planting shall be rejected and replaced at the Landscape Contractor's expense.

All planting shall be firmed up if loosened by frost or wind.

3.6 Tree Planting

All tree pits shall be excavated 200 mm wider in all directions than the natural root spread, or rootball, and the base forked to improve drainage. Stakes shall be positioned before backfilling.

Topsoil backfill shall be mixed with peat substitute* in the ratio of 4:1.

60g Enmag or similar approved slow release fertiliser shall be incorporated.

The backfill shall be settled and well firmed around the roots avoiding air pockets.

Trees shall be planted at their original depth, and finished levels should marry in with the rest of the bed.

3.7 Shrubs

All shall be pit planted in precise locations as shown on plans.

Pits shall be excavated 150mm wider in all directions than the natural root spread of the plant, and the bottom of the pit must be well forked to improve drainage.

Backfilling of all pits shall be with soil and peat substitute* in the ratio of 4:1.

All containers shall be removed and disposed of off the site.

Trailing ground covers shall be pegged down to ensure even coverage of all areas shown on the plan.

* Use an alternative humus product to peat; or peat with two thirds alternative ie. spent mushroom compost (only well rotted); leaf mould; municipal compost; garden compost. Notify Landscape Architect of choice of alternative prior to use.

3.8 Mulch

On completion of planting, the total area of the shrub bed is to be mulched to 50mm. The soil and the mulch shall be thoroughly wetted prior to application, and also prior to application a complete clearing through and weeding of the shrub beds shall be carried out, leaving the soil weed free, smooth and conforming to acceptable finished levels.

Planted areas, planted with pot or container grown plants during the summer, shall be treated as above immediately after planting.

3.9 Grass Seeding and Establishment

Seeding rate shall be 70gm per square metre.

Seeding shall only be carried out at the correct season and in suitably calm but moist weather conditions.

Seed shall be cross sown in two directions at right angles to each other (half the seed to be used in each directions) to prevent striping.

After sowing, all areas shall be lightly raked with a chain harrow or by hand.

About 48 hours before first cut, large stones (more than 40 mm in any dimension), should be removed and all areas rolled with a light roller to firm grass and press in all remaining stones.

When the grass is established and from 40 mm to 75 mm high, according to the seed mixture, it should be topped with a roto-scythe so as to leave from 25 mm to 50 mm of growth, to cut weeds, to control the growth of coarser grass and to encourage tillering.

Grass areas shall only be accepted as reaching practical completion when germination has proved satisfactory and all weeds have been removed.

No payment for re-seeding shall be made to the landscaping Sub-Contractor if the seed fails due to any cause whatsoever. He shall be required to make good the soiling and repeat the seeding until a good sward is obtained.

3.10 Watering

During dry periods at any other times deemed necessary prior to practical Completion, the Contractor shall water all plants or grass areas.

The Contractor must give notice to the local water Authority that a supply of water will be required for the execution of the works.

The Contractor is to ensure that he is aware of any restrictions on the use of water and hose pipes which may be applied by the water Authority and is to comply with any such restrictions.

Any water carried out shall take care to avoid soilwash off the shrub area and disturbance of the peat mulch.

Any damage caused by soil-wash shall be immediately rectified by the Contractor at his own expense; to the approval of the Landscape Architect.

Watering shall be carried out to add moisture to the full planting depth. No minor surface watering shall be carried out.

3.11 Weeding

All planting areas are to be kept free of weeds and rubbish prior to Practical Completion.

All planting areas are to be hoed, forked or hand weeded.

The weeding operation shall be carried out when instructed by the Landscape Architect.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/Approval

Local Government (Planning and Development) Acts, 1963-1983

To Varming Mulcahy Reilly Assocs., Decision Order P/5477/91 - 29.11.1991
Number and Date
Tramway House, Register Reference No. 91A/1415
32 Dartry Road, Planning Control No.
Dublin 6. Application Received on 29.08.1991
Applicant Docfield Ltd.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/Approval for:-

(SEE BELOW)

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
<p>Proposed Town Centre High Street development in 1, 2 and 3-storeys comprising 3 retail units, with nett floor areas of 2,613 sq.m., 1,251 sq.m. and 554 sq.m. and 52 sq.m. with associated office, storage, loading bays and signage. Garden centre offices with nett floor area of 1,117 sq.m., medical consulting rooms with nett floor area of 175 sq.m., 16 two-bedroomed apartments, 22 bedroomed hotel with bar and restaurant/function room, 710 space car park partially on two levels, pedestrian bridge across Belgard Road with integral tower, access and egress from Main Street and Belgard Road with provision for pedestrian connection on 2.945 hectare site at Belgard Road (as extended southwards) and Main Street (Old Blessington Road), Tallaght for Docfield Ltd.</p>	

Signed on behalf of the Dublin County Council

[Signature]
For Principal Officer

29 November 1991

Date

IMPORTANT: Turn overleaf for further information

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by revised Drg. No. 9118/09A save as may be required by the other conditions attached hereto.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

3(a) That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

(b) Applicants shall submit an acceptable proposal to provide for surface water discharging to the river which would involve crossing the Tallaght By-Pass and obtaining a wayleave from the County Council Parks Department.

4. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.

5. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

6. That a financial contribution in the sum of £45,960. be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

7. The following advertising signs shall be eliminated from the development:

- (a) flagpole signs - Belgard Road
- (b) flagpole signs - Blessington Road
- (c) Bridge sign.

Over

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. In order to comply with the Sanitary Services Acts, 1878-1964.

3. In order to comply with the Sanitary Services Acts 1878-1964.

4. In the interest of health.

5. In the interest of safety and the avoidance of fire hazard.

6. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

7. In the interest of visual amenity.

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To Varming Mulcahy Reilly Assocs., Decision Order P/5477/91 - 29.11.1991
Number and Date
Tramway House, Register Reference No. 91A/1415
32 Dartry Road, Planning Control No.
Dublin 6. Application Received on 29.08.1991
Applicant Docfield Ltd.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
<p>8(a) The bank which marks the line of the early Christian enclosure around St. Maelruen's Church shall be retained, as shown in Drg. No. 9118/09A and the bank shall be protected throughout the development. Details of proposals for final protection of the bank to be agreed with the Planning Authority, in writing, prior to the commencement of development on site.</p> <p>(b) All major ground disturbance on the site, and all work, including clearance of scrub, landscaping and the erection of the fence on the bank of the Early Christian enclosure which forms the boundary between the graveyard and the site shall only be carried out under archaeological supervision. In particular the excavation of the holes for the fence shall be archaeologically monitored.</p>	<p>8. In the interest of the proper planning and development of the area.</p>

Over

Signed on behalf of the Dublin County Council


For Principal Officer

29 November 1991

Date

IMPORTANT: Turn overleaf for further information

CONDITIONS
(c) Further archaeological excavations shall be carried out by the developer in the area of the NE corner of Block 6 where a hand dug trench shall be excavated across the two ditches. A further trench shall be cut with a JCB east of this to see if the outer ditch joins up with the medieval ditch F4 of the latest testing. Also a JCB trench shall be dug along the south wall of Block 6 continuing the line of (3) as far as trench G to ensure whether a borough boundary survives here or not.

(d) That a hand dug cutting be excavated across both ditches and up to the boundary of the early Christian enclosure.

(e) That a number of hand dug cuttings be cut across the outer ditch surrounding the boundary of the early Christian enclosure at points where maximum disturbance is likely to take place.

9. The northern elevation of Block 1, which will adjoin an existing graveyard, shall be softened with suitable planting (climbers) and provided with suitable lighting to facilitate visitors to the graveyard.

10. The proposed pedestrian entrances from Westpark Estate shall be eliminated from the development.

11. Toilet facilities shall be provided to acceptable standards.

12. Childcare facilities to acceptable standards to be provided.

Over

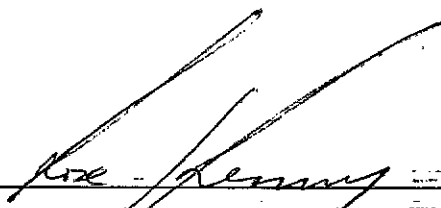
REASONS FOR CONDITIONS

9. In the interest of the proper planning and development of the area.

10. To avoid undesirable car parking in this estate, with consequent loss of amenity.

11. In the interest of amenity.

12. In the interest of amenity.



NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

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Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To Varming Mulcahy Reilly Assocs., Decision Order P/5477/91 - 29.11.1991
Number and Date
Tramway House, Register Reference No. 91A/1415
32 Dartry Road, Planning Control No.
Dublin 6. Application Received on 29.08.1991
Applicant Docfield Ltd.

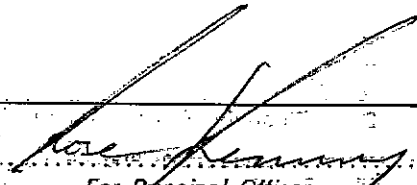
In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
13. Adequate provision is to be made to facilitate access to and the use of the development, buildings, facilities and services by disabled persons. The minimum requirements to be provided shall be as set out in "Access for the Disabled - Minimum Design Criteria" published by the National Rehabilitation Board.	13. In the interest of amenity.
14. Details of planting shall be agreed in writing with the Planning Authority prior to the commencement of development.	14. In the interests of visual amenity.
15. All trees and hedgerows on site shall be fenced off and protected prior to the commencement of development at Westpark Estate.	15. In the interest of the proper planning and development of the area.
16. Unit 1 shall be occupied as a single unit D.I.Y outlet, retailing only D.I.Y home improvement products and white goods i.e. fridges, freezers, cookers and similar goods, unless a separate grant of planning permission is obtained for another use.	16. In order to ensure that the proposed number of car parking spaces is adequate to cater for the development.

Over

Signed on behalf of the Dublin County Council


For Principal Officer

29 November 1991

Date

IMPORTANT: Turn overleaf for further information

CONDITIONS

REASONS FOR CONDITIONS

17. That the boundary wall/railing on Belgard Road/Park, (i.e. Detail No. 2) shall be of limestone, in place of proposed forticrete block.

17. In the interest of visual amenity.

18. The following details to be agreed in writing with the Planning Authority prior to commencement of development:-

18. In the interest of the proper planning and development of the area.

(a) The design of the access to Belgard Road.

(b) The design of the Tallaght main street access including alterations to existing road line, traffic signals etc.

(c) The design of the internal layout of the spine road including two roundabouts, parking at the side of the road, access details to the lower car park (also circulation and parking layout) and also access details to the existing public car park.

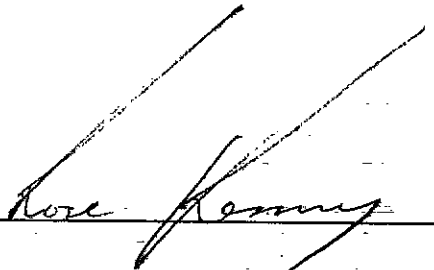
(d) Details and colour of the pedestrian bridge.

19. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car parks, Sewers, Watermains and Drains, has been given by:-

19. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £115,000. which shall be renewed by the developer from time to time as required during the course of the development and kept in force by him until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.
OR.....

Over



NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:-
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

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Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To Varming Mulcahy Reilly Assocs., Decision Order P/5477/91 - 29.11.1991
Tramway House, Number and Date
32 Dartry Road, Register Reference No. 91A/1415
Dublin 6. Planning Control No.
 Applicant Docfield Ltd. Application Received on 29.08.1991

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS

REASONS FOR CONDITIONS

- b. Lodgement with the Council of a Cash Sum of £72,000. to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specification.
OR.....
- c. Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

Signed on behalf of the Dublin County Council

[Signature]
For Principal Officer

29 November 1991

Date

IMPORTANT: Turn overleaf for further information

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To Varming Mulcahy Reilly Assocs., Decision Order P/5477/91 - 29.11.1991
Tramway House, Number and Date
32 Dártry Road, Register Reference No. 91A/1415
Dublin 6. Planning Control No.
 Applicant Docfield Ltd. Application Received on 29.08.1991

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
<p>b. Lodgement with the Council of a Cash Sum of £72,000. to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specification. OR.....</p> <p>c. Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.</p>	
<p>NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.</p>	

Signed on behalf of the Dublin County Council

[Signature]
For Principal Officer

29 November 1991

Date

IMPORTANT: Turn overleaf for further information

CONDITIONS	REASONS FOR CONDITIONS

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

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Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

GRANT OF
PERMISSION

724755 (ext. 262/264)

P / 344 / 92

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Grant of Permission/~~Approval~~

Local Government (Planning and Development) Acts, 1963-1983

To Varming Mulcahy Reilly Assocs., Decision Order P/5477/91 - 29.11.1991
Tramway House, Number and Date
32 Dartry Road, Register Reference No 91A/1415
Dublin 6. Planning Control No.
Application Received on 29.08.1991
Applicant Docfield Ltd.

A PERMISSION/~~APPROVAL~~ has been granted for the development described below subject to the undermentioned conditions.

(SEE BELOW)

CONDITIONS	REASONS FOR CONDITIONS
<p>Proposed Town Centre High Street development in 1, 2 and 3-storeys comprising 3 retail units, with nett floor areas of 2,613 sq.m., 1,251 sq.m. and 554 sq.m. and 52 sq.m. with associated office, storage, loading bays and signage. Garden centre offices with nett floor area of 1,117 sq., medical consulting rooms with nett floor area of 175 sq.m., 16 two-bedroomed apartments, 22 bedroomed hotel with bar and restaurant/function room, 710 space car park partially on two levels, pedestrian bridge across Belgard Road with integral tower, access and egress from Main Street and Belgard Road with provision for pedestrian connection on 2.945 hectare site at Belgard Road (as extended southwards) and Main Street (Old Blessington Road), Tallaght for Docfield Ltd.</p>	

Signed on behalf of the Dublin County Council

L. Doyle
For Principal Officer

Date 22 JAN 1992

Approval of the Council under Building Bye-Laws must be obtained before the development is commenced and the terms of approval must be complied with in the carrying out of the work.

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by revised Drg. No. 9118/09A save as may be required by the other conditions attached hereto.

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

2. In order to comply with the Sanitary Services Acts, 1878-1964.

3(a) That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

3. In order to comply with the Sanitary Services Acts 1878-1964.

(b) Applicants shall submit an acceptable proposal to provide for surface water discharging to the river which would involve crossing the Tallaght By-Pass and obtaining a wayleave from the County Council Parks Department.

4. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.

4. In the interest of health.

5. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

5. In the interest of safety and the avoidance of fire hazard.

6. That a financial contribution in the sum of £45,960. be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

6. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

7. The following advertising signs shall be eliminated from the development:

7. In the interest of visual amenity.

- (a) flagpole signs - Belgard Road
- (b) flagpole signs - Blessington Road
- (c) Bridge sign.

Over

L.D.
22 JAN 1992

DUBLIN COUNTY COUNCIL

GRANT OF PERMISSION

724755 (ext. 262/264)

P / 344 / 92

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Grant of Permission/

Local Government (Planning and Development) Acts, 1963-1983

To	Varming Mulcahy Reilly Assocs.,	Decision Order	P/5477/91 - 29.11.1991
	Tramway House,	Number and Date	
	32 Dartry Road,	Register Reference No.	91A/1415
	Dublin 6.	Planning Control No.	
Applicant	Docfield Ltd.	Application Received on	29.08.1991

A PERMISSION/ has been granted for the development described below subject to the undermentioned conditions.

CONDITIONS

REASONS FOR CONDITIONS

- b. Lodgement with the Council of a Cash Sum of £72,000. to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specification.
OR.....
- c. Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

Signed on behalf of the Dublin County Council

L. Doyle
For Principal Officer

Date 22 JAN 1992

Approval of the Council under Building Bye-Laws must be obtained before the development is commenced and the terms of approval must be complied with in the carrying out of the work.

DUBLIN COUNTY COUNCIL

GRANT OF
PERMISSION

724755 (ext. 262/264)

P / 344 / 92

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
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DUBLIN 1.

Notification of Grant of Permission/

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To	Varming Mulcahy Reilly Assocs.,	Decision Order	P/5477/91 - 29.11.1991
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Signed on behalf of the Dublin County Council

L. Doyle
For Principal Officer

Date 22 JAN 1992

Approval of the Council under Building Bye-Laws must be obtained before the development is commenced and the terms of approval must be complied with in the carrying out of the work.

DUBLIN COUNTY COUNCIL

GRANT OF PERMISSION

724755 (ext. 262/264)

P/ 344/92

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
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DUBLIN 1.

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Local Government (Planning and Development) Acts, 1963-1983

To Varming Mulcahy Reilly Assocs., Decision Order P/5477/91 - 29.11.1991
 Tramway House, Number and Date
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 Dublin 6. Planning Control No.
 Application Received on 29.08.1991
 Applicant Docfield Ltd.

A PERMISSION/ has been granted for the development described below subject to the undermentioned conditions.

CONDITIONS

8(a) The bank which marks the line of the early Christian enclosure around St. Maelruen's Church shall be retained, as shown in Drg. No. 9118/09A and the bank shall be protected throughout the development. Details of proposals for final protection of the bank to be agreed with the Planning Authority, in writing, prior to the commencement of development on site.

(b) All major ground disturbance on the site, and all work, including clearance of scrub, landscaping and the erection of the fence on the bank of the Early Christian enclosure which forms the boundary between the graveyard and the site shall only be carried out under archaeological supervision. In particular the excavation of the holes for the fence shall be archaeologically monitored.

Over

REASONS FOR CONDITIONS

8. In the interest of the proper planning and development of the area.

Signed on behalf of the Dublin County Council

L. Donohue
For Principal Officer

22 JAN 1992

Date

Approval of the Council under Building Bye-Laws must be obtained before the development is commenced and the terms of approval must be complied with in the carrying out of the work.

(c) Further archaeological excavations shall be carried out by the developer in the area of the NE corner of Block 6 where a hand dug trench shall be excavated across the two ditches. A further trench shall be cut with a JCB east of this to see if the outer ditch joins up with the medieval ditch F4 of the latest testing. Also a JCB trench shall be dug along the south wall of Block 6 continuing the line of (3) as far as trench G to ensure whether a borough boundary survives here or not.

(d) That a hand dug cutting be excavated across both ditches and up to the boundary of the early Christian enclosure.

(e) That a number of hand dug cuttings be cut across the outer ditch surrounding the boundary of the early Christian enclosure at points where maximum disturbance is likely to take place.

9. The northern elevation of Block 1, which will adjoin an existing graveyard, shall be softened with suitable planting (climbers) and provided with suitable lighting to facilitate visitors to the graveyard.

10. The proposed pedestrian entrances from Westpark Estate shall be eliminated from the development.

11. Toilet facilities shall be provided to acceptable standards.

12. Childcare facilities to acceptable standards to be provided.

Over

9. In the interest of the proper planning and development of the area.

10. To avoid undesirable car parking in this estate, with consequent loss of amenity.

11. In the interest of amenity.

12. In the interest of amenity.

L.D.
22 JAN 1992

DUBLIN COUNTY COUNCIL

GRANT OF
PERMISSION

724755 (ext. 262/264)

P/ 344/92

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Grant of Permission/

Local Government (Planning and Development) Acts, 1963-1983

To Varming Mulcahy Reilly Assocs., Decision Order P/5477/91 - 29.11.1991
Tramway House, Number and Date 91A/1415
32 Dartry Road, Register Reference No.
Dublin 6. Planning Control No. 29.08.1991
Application Received on
Applicant Docfield Ltd.

A PERMISSION ~~XXXXXX~~ has been granted for the development described below subject to the undermentioned conditions.

CONDITIONS	REASONS FOR CONDITIONS
13. Adequate provision is to be made to facilitate access to and the use of the development, buildings, facilities and services by disabled persons. The minimum requirements to be provided shall be as set out in "Access for the Disabled - Minimum Design Criteria" published by the National Rehabilitation Board.	13. In the interest of amenity.
14. Details of planting shall be agreed in writing with the Planning Authority prior to the commencement of development.	14. In the interests of visual amenity.
15. All trees and hedgerows on site shall be fenced off and protected prior to the commencement of development at Westpark Estate.	15. In the interest of the proper planning and development of the area.
16. Unit 1 shall be occupied as a single unit D.I.Y outlet, retailing only D.I.Y home improvement products and white goods i.e. fridges, freezers, cookers and similar goods, unless a separate grant of planning permission is obtained for another use.	16. In order to ensure that the proposed number of car parking spaces is adequate to cater for the development.

Over

Signed on behalf of the Dublin County Council


For Principal Officer

Date

22 JAN 1992

Approval of the Council under Building Bye-Laws must be obtained before the development is commenced and the terms of approval must be complied with in the carrying out of the work.

P / 344 / 92

17. That the boundary wall/railing on Belgard Road/Park, (i.e. Detail No. 2) shall be of limestone, in place of proposed fortcrete block.

17. In the interest of visual amenity.

18. The following details to be agreed in writing with the Planning Authority prior to commencement of development:-

18. In the interest of the proper planning and development of the area.

(a) The design of the access to Belgard Road.

(b) The design of the Tallaght main street access including alterations to existing road line, traffic signals etc.

(c) The design of the internal layout of the spine road including two roundabouts, parking at the side of the road, access details to the lower car park (also circulation and parking layout) and also access details to the existing public car park.

(d) Details and colour of the pedestrian bridge.

19. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car parks, Sewers, Watermains and Drains, has been given by:-

19. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £115,000. which shall be renewed by the developer from time to time as required during the course of the development and kept in force by him until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.
OR.....

Over

22^{L D} JAN 1992

Our Ref: PL 6/5/87629
P.A. Reg. Ref: 91A/1415

The Secretary,
Dublin County Council,
Planning Section,
Block 2,
Irish Life Centre,
Dublin 1.

Date: 21st January 1992

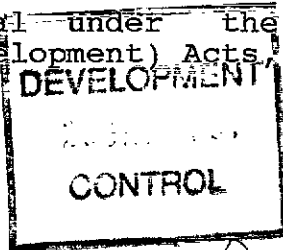
Appeal re: Erection of town centre high street
development in 1, 2 and 3 storeys at Belgard Road
and Main Street, Tallaght, Co. Dublin.

Dear Sir/Madam,

The above-mentioned appeal under the Local
Government (Planning and Development) Acts, 1963 to
1990, has been withdrawn.

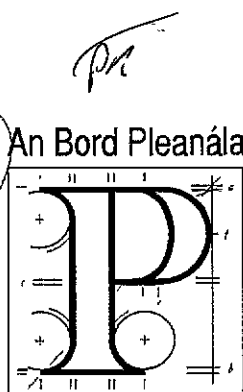
Yours faithfully,

Patricia Tobin
Patricia Tobin



Handwritten signature and number 2871 inside a circle.

JAN 92



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1415

Date : 30th August 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Town Centre High Street development in 1.2 & 3 storeys comprising 3 retail units, with nett floor areas of 2,613 sq.m., 1,251 sq.m., and 554 sq.m., and 52 remaining retail units totalling a nett floor area of 4,452 sq.m. with associated offices, storage, loading bays & signage Garden Centre; Offices with nett floor area of 1,117 sq. m.; Medical Consulting Rooms with nett floor area of 175 sq.m.; 16 two bedroomed apartments; 22 bedroomed hotel with bar and restaurant/function room ; 710 space car park partially on two levels, pedestrian bridge across Belgard Road with integral tower; Access & egress from Main Street and Belgard Road with provision for pedestrian connection on 2,945 hectare site

LOCATION : site at Belgard Road (as extended southwards) and Main Street (Old Blessington Road, Tallaght

APPLICANT : Docfield Ltd.

APP. TYPE : PERMISSION

With reference to the above, I acknowledge receipt of your application received on 29th August 1991.

Yours faithfully,

Varming Mulcahy Reilly Associates,
Tramway House,
32 Dartry Road,
Dublin 6

.....
for PRINCIPAL OFFICER

Our Ref: PL 6/5/87629
Your Ref: 91A/1415

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 18th December 1991.

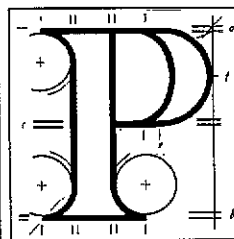
Planning authority decision re: Erection of town centre High Street development in 1, 2 and 3 storeys at Belgard Road and Main Street, Tallaght, County Dublin.

Dear Sir/Madam,

Enclosed is a copy of an appeal under the Local Government (Planning and Development) Acts, 1963 to 1990, in relation to the above-mentioned decision. So that consideration of the appeal may proceed, you are requested to forward to the Board within two weeks:

- (1) The application made to the planning authority.
- (2) Particulars of the applicant's interest in the land or structure, as supplied to the planning authority.
- (3) A copy of the public notice, whether published in a newspaper or on the site.
- (4) Any drawings, maps, particulars, information, evidence or written study received or obtained from the applicant, including the ordnance survey number.
- (5) Copies of requests (if any) to the applicant for further information relating to the application under appeal and copies of reply and documents (if any) submitted in response to such requests.
- (6) A certified copy of the relevant Manager's Order.
- (7) Copies of any technical or other reports relevant to the decision on the application.
- (8) Particulars and relevant documents relating to previous decisions affecting the same site or relating to applications for similar development close by.

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
Tel (01) 728011

DEVELOPMENT
- 6 JAN 1991
CONTROL

Please note that the other parties to the appeal are being notified that copies of the planning authority documents relevant to the decision which gave rise to the above-mentioned appeal will be available for inspection at your offices after the expiration of a period of fourteen days from the date of this letter. It would be appreciated if parties could be facilitated in this regard.

Copies of the representations or observations made to the planning authority in relation to the application should not be sent to the Board. It is assumed that the planning authority has notified observers of the decision made and of the right of appeal.

The planning authority may make to the Board, in writing, such observations on the appeal as it thinks fit. Where practicable, any such observations should be submitted with the documents listed above but the furnishing of the documents should not be held up until observations are available. In any event, to ensure that they will be taken into account in the determination of the appeal, any such observations should be furnished within one month of the date of this letter.

Please quote the above appeal reference number in any further correspondence.

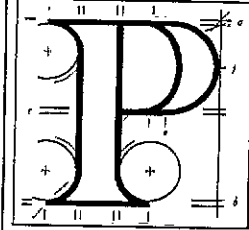
Yours faithfully,

Suzanne Lacey
Suzanne Lacey

Encl.

BP 005

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

40 Fitzwilliam Place
Dublin 2 Ireland
Telephone (01) 762594
Fax (01) 762310

Architect
and Town Planner

Fergal MacCabe
BArch DipTm MRAI MIP

An Bord Pleanála,
Block 2,
Irish Life Centre,
Lower Abbey Street,
DUBLIN 1

RE Proposed retail units, garden centre, offices, medical consulting
rooms, apartments, hotel, car park, bridge and tower at Belgard
Road/Blessington Road, Tallaght, Co Dublin (APPEAL)

Date 17th December 1991

Ref FMacC/RB

Dear Sir

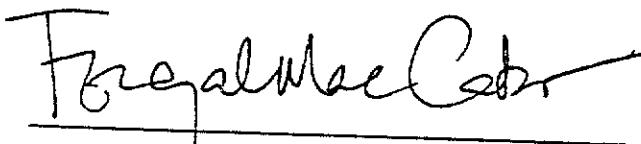
On behalf of my clients the Square Management Limited, the Square Town
Centre, Tallaght, Co Dublin, I wish to appeal against the decision
(91A/1415) of Dublin County Council on the 29th November to grant
permission for the above development, subject to 19 conditions.

My grounds of appeal are that:-

- (a) The retail element of the proposal is excessive and unjustified and
will impact adversely on established retail outlets in the vicinity.
- (b) The off-street car parking provision is inadequate in terms of its
quantity and layout and will give rise to serious traffic hazard.

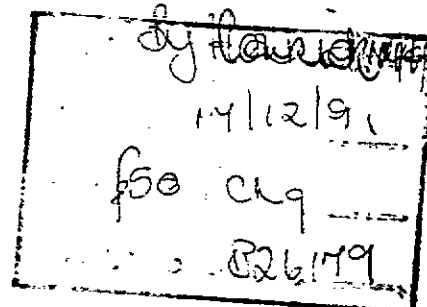
I enclose herewith a fee of £50 in accordance with Regulations and
undertake to submit further and additional grounds of appeal to the Bord
having examined the internal reports of the Planning Authority.

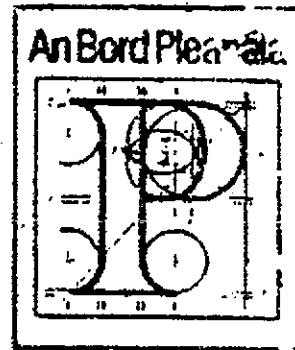
Yours faithfully



Fergal MacCabe

c.c. Monarch Properties Limited





FAX INFORMATION SHEET

TO:

Dublin Co Council

ATTENTION OF:

Les Doyle

FAX NUMBER:

724896

NO. OF PAGES
INCLUDING THIS
COVER NOTE:

3

DATE:

21/1/92

FAX NUMBER:

An Bord Pleanála:

DETAILS:

Copies of letters of withdrawal
for 6/5/83629 and 6/5/87390
as requested

SIGNED:

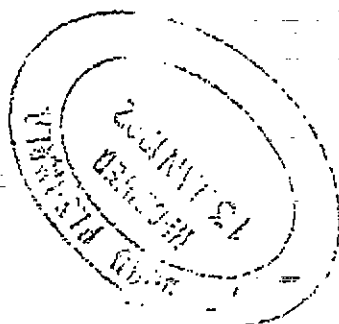
Kevin Percotton

40 Fitzwilliam Place
Dublin 2 Ireland
Telephone (01) 767594
Fax (01) 767595

Architect
and Town Planner

Fergal MacCabe P.A.

An Bord Pleanala,
Block 2,
Irish Life Centre,
Lower Abbey Street,
DUBLIN 1



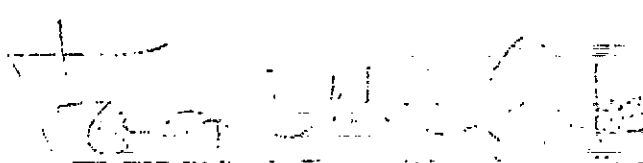
RE Proposed town centre high street development in one, two and three
storeys at Belgard Road, Main Street, Tallaght, Co Dublin (APPEAL) PL
6/5/87529

Date: 10th January 1992 Ref: FMacC/RS

Dear Sirs

I have been instructed by my clients The Square Management Limited to
withdraw their objection of the 17th December 1991 against the above
mentioned decision. Please consider this letter as formally withdrawing
the objection.

Yours faithfully


Fergal MacCabe

Geraldine Boothman.

County Council Comhairle Chontae Atha Cliath

Engineering Department
Sanitary Services Section



Bosca 174
P. O. Box 174
46/49 Sraid O'Connell Uacht,
46/49 Upper O'Connell Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)727777
Fax. (01) 727434

Mr. M. Phillips,
Senior Engineer,
Drainage Maintenance.

Our Ref. NM/DF
Your Ref.
Date 22/3/93

**RE: Proposed Surface Water Pipe to serve Docfield Limited,
Tallaght.**

Since issuing the design drawing 3067/3 for the above, a planning application for apartments and shopping units has been received for the area adjacent to proposed MH.2.

In the setting out of the location for this manhole it will be necessary that it be:

- 1) at least 5.0m from any proposed apartment.
- 2) Located in public property.

Please consult Mr. Val Ryan of Thomas McKenna and Partners, Consulting Engineers, 22, Crofton Road, Dun Laoghaire, Telephone 2800858/2841893 for exact location of proposed buildings.

N. Murphy

N. Murphy,
E. E.

Endorsed: -----
A. O' Dunlaing,
A/Senior Engineer.

C. C. B. Morris, A/S.E.E.

PLANNING DEPT.
DEVELOPMENT CONTROL SEC

DATE 29/03/93

TIME 5.00

PLANNING DEPT.	
DEVELOPMENT CONTROL SECTION	
Date	29/03/93
Time	5.00

Register Reference : 93A/0180

Date : 25th February 1993

Register Reference : 93A/0180

Date : 25th February 1993

DEVELOPMENT : Mixed development comprising 22 apartments in two 3 storey blocks, 842sq.m. offices & 462sq.m. of office/retail/showroom/banking hall use in two 2-storey blocks including carparking for 84 cars on 1.65 acre site

LOCATION : junction of Tallaght Bypass & Old Bawn Road, Tallaght Town Centre

Applicant : Park Developments (Dublin) Ltd.

App. Type : PERMISSION

Date Recd. : 16th February 1993

Planning Officer : R O'DONNELL

ENDORSED _____ DATE _____

WATER SUPPLY.....

Refusal Recommended. Application cannot be considered without details of proposed watermain layout, location of hydrants, point of connection, ~~water~~ demand to Co. Council watermain, ~~to~~ water demand etc.

G. Brennan 11/3/93

D. Ryan 11/3/93

K. Egan 11/3/93

Pauline 24/3/93

1/2
Rita O'Donnell.

Register Reference : 93A/0180

Date : 25th February 1993

DEVELOPMENT : Mixed development comprising 22 apartments in two 3 storey blocks, 842sq.m. offices & 462sq.m. of office/retail/showroom/banking hall use in two 2-storey blocks including carparking for 84 cars on 1.65 acre site

LOCATION : junction of Tallaght Bypass & Old Bawn Road, Tallaght Town Centre

Applicant : Park Developments (Dublin) Ltd.

App. Type : PERMISSION

Date Recd. : 16th February 1993

Planning Officer

Date received in Sanitary Services

3 MAR 1993

M. R. O'DONNELL
MUNICIPAL
SANITARY SERVICES

26 MAR 1993

Returned *[Signature]*

FOUL SEWER

See unredacted information (copies attached)

Drawings 93-38/03 (Section)

and 93-08/01 Site Drainage, and

report attached.

SURFACE WATER

[Signature]

22.3.92

PLANNING DEPT.
DEVELOPMENT CONTROL SEC

Date 29/03/93

Time 5.00

[Signature] 24/3/93
SENIOR ENGINEER,
ENVIRONMENTAL SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

Req. Ref: 93A/0180
Development: 22 Apartments (two 3-storey blocks) offices, Retail/Showroom/Banking Mall.
Location: Tallaght By-Pass and Old Bawn Road/Town Centre
Applicant: Park Developments.

Foul Sewer:

The line of the proposed FS.1 - FS.2 - FS.3 - FS.4 to be revised to be 5.0m clear of all proposed buildings. A compliance drawing is required.

Surface Water:

Available subject to the following:-

- 1) The precise location of the outfall manhole is to be determined before work commences. (see attached letter).
- 2) Before work commences the condition and depth of the existing 525mm diameter and 225mm diameter sewers entering the site are to be determined by a joint inspection with the Maintenance section of the Dublin County Council Drainage Division. (The cover within the site could be minimal and the sewers could be destroyed by construction traffic).
- 3) New manholes are to be installed where the above 525mm diameter and 225mm diameter sewers interconnect with the existing 525mm sewer which is to be rerouted.

B. Morris

B. Morris, 23.3.93.
A/S.E.E.

Endorsed: *A. O' Dunlaing*

A. O' Dunlaing,
A/Senior Engineer.

PLANNING DEPT.
DEVELOPMENT CONTROLS
Date 29/03/93
Time 5.00

MC DONALDS

FOR PAVING SEE DETAIL B
LANDSCAPE MANUAL

STAIR

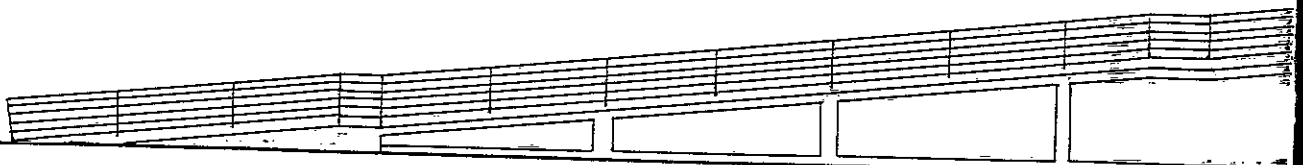
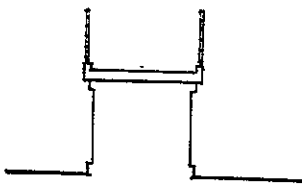
RAMP

GARDA STATION

PLAN 1:200

SECTION 1:200

ELEVATION 1:200



MC DONALDS

FOR PAVING SEE DETAIL B
LANDSCAPE MANUAL

STAIR

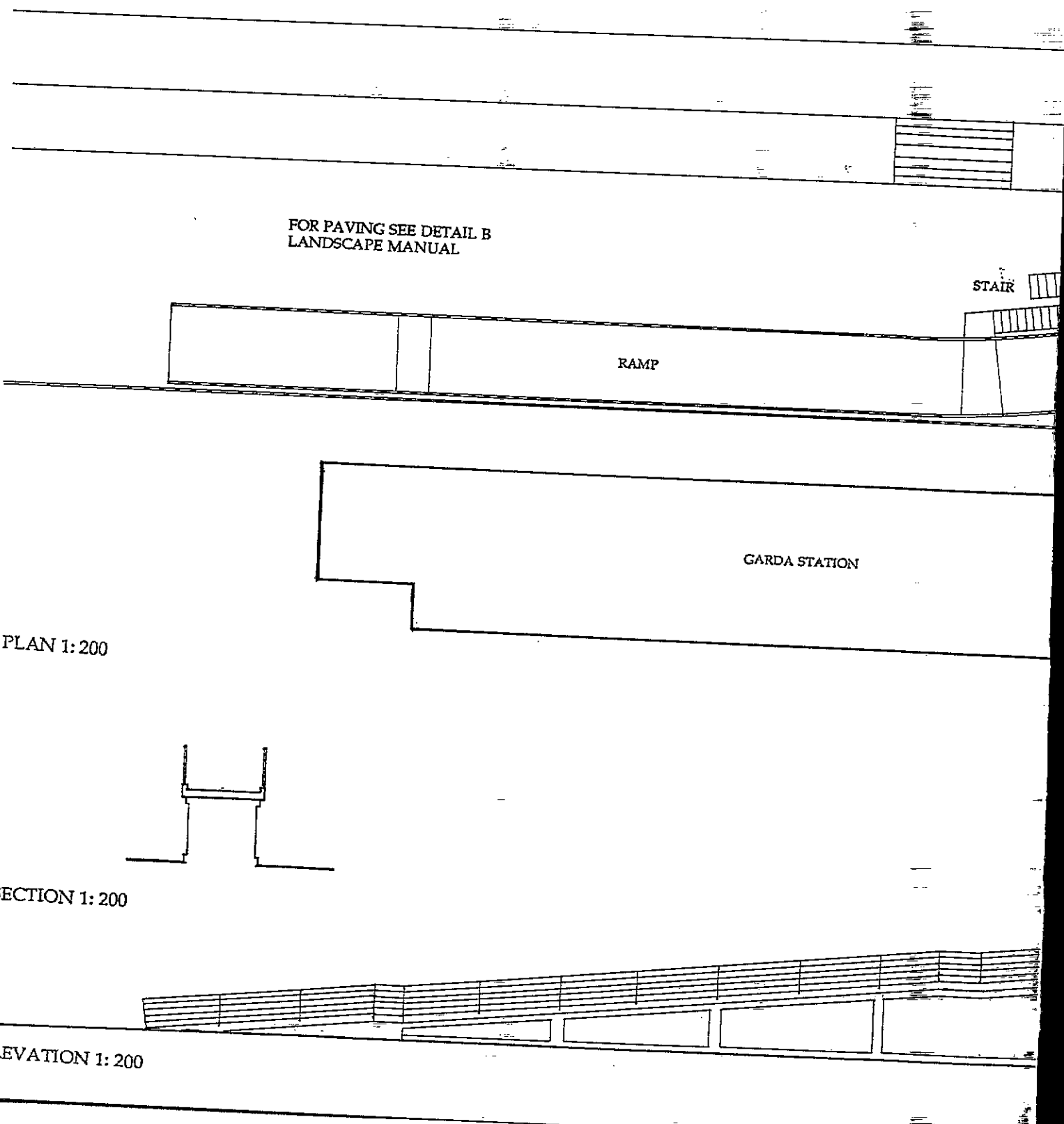
RAMP

GARDA STATION

PLAN 1:200

SECTION 1:200

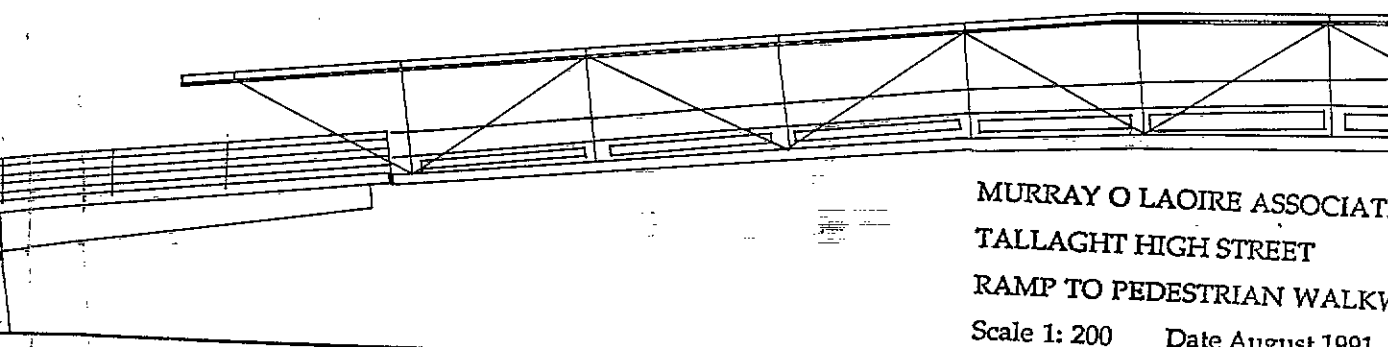
ELEVATION 1:200



MURRAY O LAOIRE ASSOCIATES
Planning Dept. Planning Section
APPLICATION NO. 918-100
29 AUG 1991
REG. NO. 918/1415
APPLICATION TYPE
N.O.L.C.

PEDESTRIAN WALKWAY

BELGARD ROAD



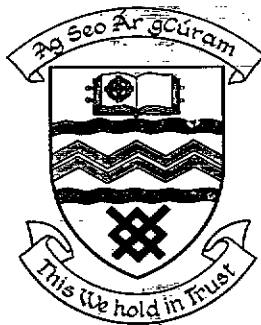
MURRAY O LAOIRE ASSOCIATES
TALLAGHT HIGH STREET
RAMP TO PEDESTRIAN WALKWAY
Scale 1: 200 Date August 1991

DRWG. NO. 9118-100.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Bloc 2, Ionad Bheatha na hÉireann,
Sráid na Mainistreach lacht,
Baile Átha Cliath 1.

Telefon: 01-8724755
Facs: 01-8724896



PLANNING DEPARTMENT
Block 2, Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Telephone: 01-8724755
Fax: 01-8724896

Register Reference : 91A-1415

Date : 19 January 1994

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT ACTS, 1963 - 1993)

Dear Sir/Madam,

DEVELOPMENT : Town Centre High Street development in 1.2 7 3 storeys comprising 3 retail units, with nett floor areas of 2,613 sq.m., 1,251 sq.m., and 554 sq.m. and 52 remaining retail units totalling a nett floor area of 4,452 sq.m. with associated offices, storage, loading bays & signage. Garden Centre; Offices with nett floor area of 1,117 sq.m.; Medical Consulting Rooms with nett floor area of 175 sq.m.; 16 two bedroomed apartments; 22 bedroomed hotel with bar and restaurant/function room; 710 space car park partially on two levels, pedestrian bridge across Belgard Road with integral tower; Access & egress from Main Street and Belgard Road (as extended southwards) and Main Street.

LOCATION : Old Blessington Road, Tallaght

David G. Courtney,
Spain Courtney Doyle,
66 Lower Baggot Street,
Dublin 2.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Bloc 2, Ionad Bheatha na hÉireann,
Sráid na Mainistreach Iacht,
Baile Átha Cliath 1.

Telefon: 01-8724755
Facs: 01-8724896



PLANNING DEPARTMENT
Block 2, Irish Life Centre,
Lower Abbey Street,
Dublin 1.

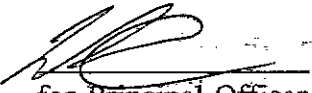
Telephone: 01-8724755
Fax: 01-8724896

APPLICANT : Docfield Limited

APP. TYPE : Compliance with Conditions

With reference to the above, I acknowledge receipt of your submission to comply with conditions received on 24th December, 1993.

Yours faithfully,


for Principal Officer.

Mr. William Murray
Senior Planning Officer
Dublin County Council
Block 4
Irish Life Centre
Lower Abbey Street
Dublin 1.

Murray O'Laoire

A S S O C I A T E S

■ ARCHITECTS ■ PLANNERS ■ URBAN DESIGNERS ■

26th August 1991

Re: Tallaght High Street - Planning Application

Dear Mr. Murray,

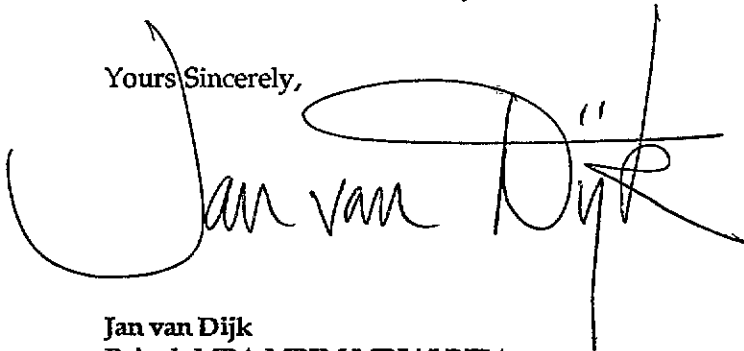
Please find enclosed planning application for Town Centre / High Street development on site at Belgard Road (as extended southwards) and Main Street (Old Blessington Road), Tallaght, County Dublin.

As part of the enclosed Planning Application Report, we enclose an initial Archeological Report which has been carried out on the site due to it's categorisation as an "Archeological Zone". This report is preliminary in nature and suggests the need for further investigations to be carried out. These further investigations are being carried out at present and will be submitted to yourselves and to the Office of Public Works within the next two weeks.

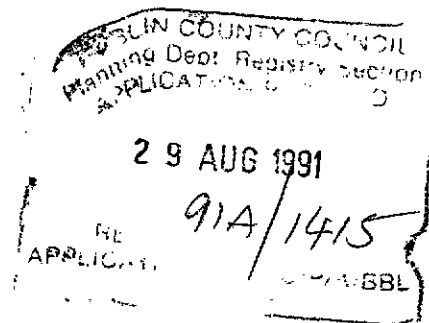
Also, please find enclosed letter from Dublin County Council, Development Department authorising the inclusion of lands belonging to Dublin County Council for the purpose of erecting the pedestrian footbridge across the Belgard Road.

I trust that this is satisfactory.

Yours Sincerely,



Jan van Dijk
B.Arch MBA MBIM MRIAI RIBA



Partners Hugh Murray
Sean O'Laoire
Associate Jim Coady
Consultant Ruairi Quinn

Pat Cassidy
Frank Cooney
Margaret Coyle
David Devlin
Margaret Doab
Anne Fletcher
Noreen Gaffney

Bernard Gilho
Harry Kennedy
Mike Keyes
Gerry Lombard
Michael Martin
Cairiona McCann
Brian McClinton

J.J. Mc Donnell
Bernadette Moloney
Brian Moran
Calvac O'Carroll
Michael O'Carroll
Nicky O'Donnell

Deirdre O'Farrelly
Roy O'Flanagan
Ger Somers
Simone Stephenson
Brian Thompson
Jan Van Dijk



P.O. Box 174
Bosca 174.
2/3 Cearnog Parnell,
2/3 Parnell Square,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)727777
Fax. (01)727247

Mr. Jan van Dijk,
Murray O'Laoire Associates,
Fumbally Court,
Fumbally Lane,
Dublin 8.

Our Ref.

Your Ref.

Date

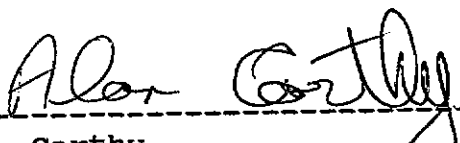
22nd August, 1991

RE Mixed Development Belgard Road, Tallaght, Co. Dublin

Dear Sir,

I wish to confirm that the Council have consented to your clients, Docfield Ltd., c/o Gerald Keane, St. Andrews House, 28-30, Exchequer Street, Dublin 2, including in their planning application in respect of the above development lands owned by Dublin County Council for the purpose of erecting thereon the pedestrian footbridge at Belgard Road, Tallaght or any ancillary works connected with such footbridge.

Yours faithfully,



A. Carthy
SENIOR ADMINISTRATIVE OFFICER

AC/ML

FILE REF: 91A 1415.

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
<p>BELGARD H + P <u>31/10/91</u></p>	<p>Ulls Hanna + McBeath state in favourable terms</p> <p>Ulls Cass - wants library site retained for a library.</p> <p>This will Help Integrate new Town Centre with old village.</p> <p>Best access is from Belford Rd - sending traffic through Main St would be chaotic.</p> <p>Can we ensure Traffic doesn't use West Park Hwy Estate as a 'rat run'</p>		

Dublin Corporation

Bárdas Átha Cliath

Development Department

Exchange Buildings,
Lord Edward Street,
Dublin 2.
Tel.: 6796111 Ext.: 2837/8
Fax: 777780

Our Ref: M.Twomey/CW

16th December, 1992.



Mr. A. Smith,
Principal Officer,
Planning Department,
Dublin County Council,
Irish Life Mall,
Lower Abbey Street,
Dublin 1.

Dear Sir,

Further to our recent discussion in relation to the development of Site F, Tallaght Town Centre by Messrs. Docfield Limited I attach for your information copy of the terms and conditions of agreement entered into by the Corporation and the company in respect of this site.

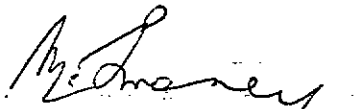
I would draw your particular attention to conditions 1A, 2A, 3A and 3B.

I wish to confirm that arrangements have been made with the company and its Advisors to attend in your office at 3 p.m. Monday next to discuss the development and put in place arrangements to monitor the development of the site in accordance with a works programme to be presented at the meeting.

I attach copy of Commencement Notice which they say was delivered by hand to your Department.

In view of the fact that these lands are the subject of the 50/50 agreement with the Council I have also asked the Development Department of the County Council to be present.

Yours faithfully,


PRINCIPAL OFFICER.

To the Right Honourable
The Lord Mayor, Aldermen &
Members of the Dublin City Council.

Report No.: 266/1992

Report of
Assistant City Manager.

With further reference to the proposed disposal of a site at the
Town Centre lands, Tallaght, for commercial development to
Docfield Limited, c/o Gerald Kean, Solicitor, St. Andrews House,
28/30 Exchequer Street, Dublin 2.

The City Council at its meeting held on the 3rd December, 1990 assented to the proposals as outlined in Report No. 391/1990. However, due to the scale of the development and the prevailing economic climate it was not possible to proceed. Following protracted negotiations the following revised terms have been negotiated and recommended for acceptance by the Chief Valuer. Accordingly it is proposed in accordance with the provision of Section 83 of the Local Government Act 1946 as amended by Section 88 of the Housing Act 1966 to dispose of the site, having an area of 7.277 acres, shown outlined red on Map Index No. 10489/18 to Docfield Limited, c/o Gerald Kean, Solicitor, St. Andrews House, 28/30 Exchequer Street, Dublin 2.

TERMS AND CONDITIONS.

1(a)

In consideration of the capital sum payable as set out in terms 4 and 5 below and in consideration of the other terms hereinafter contained, the Corporation agrees that for a period of 24 months from the date of issue of the requisite approvals and consents to the proposed disposal terms or in the circumstances as set out in term 7 below, Messrs. Docfield Limited shall have the right to enter upon the lands outlined red on Map Index No. 10489/18, for the purposes only of undertaking and completing the development for which Planning Permission has been granted (Decision Order P./5477/91 Reg. Ref. 91A 1415), and for which any variations or modifications thereto approved by the Corporation as Grantor/Lessor of the site apart from any approvals required under the Local Government Planning and Development Acts 1963 - 1990.

Contd...

1(b) Messrs. Docfield Limited shall be liable for all rates, taxes and outgoings in respect of the said lands from the date of issue of a Building Licence or date of entry onto the site, whichever shall be the earlier.

1(c) Messrs. Docfield Limited must at all times obtain the Corporation's approval as Grantor/Lessor for any modification/variation of the proposed development prior to the making of applications for Planning Permission.

1(d) Messrs. Docfield Limited shall be liable for all fees or charges incidental to the completion of the development.

Water, foul sewer and surface water sewer are available in the immediate vicinity of the property. Messrs. Docfield Limited or its agent shall at their own expense carry or procure the carrying out of all works necessary to connect to these services and shall be responsible for the relocation of such services including electricity, gas, and telephone cable as may be required. Messrs. Docfield Ltd. shall also be responsible for the cost of providing kerbs, footpaths and grass verges as may be required by Dublin County Council along the roads bounding the property.

2(a)

The Proposed Agreement shall provide for the granting of a Building Licence to Messrs. Docfield Limited which shall permit entry onto the site for the purposes of undertaking building/block works. The Licence shall issue within 14 days of the issuing of the requisite approvals and consents to the proposed disposal.

Messrs. Docfield Limited must without delay immediately from the date of issue of the Licence commence work on the proposed development and must ensure that the work will proceed in a regular manner without delay or interruption (except where such is caused by circumstances outside their control) until completion.

Building/block works must be carried out in full compliance with current Building Control Regulations.

2(b)

The Corporation, its officials, employees or agents shall have the right at all reasonable times to enter upon the said plot of ground to view the state of progress of the said works, to inspect and test the materials and workmanship and for any reasonable purposes including the construction or repairing or cleansing of any drain or sewer from any adjoining land of the Corporation.

Contd...

The Building Licence shall not be transferrable save in the case of a Financial Institution which has entered into a mortgage with Messrs. Docfield Limited, which mortgage must be approved of by the Corporation in writing and must have been specifically entered into for the purposes of financing Messrs. Docfield Limited to undertake the development of the land, the subject matter of this agreement.

2(c) Messrs. Docfield Limited shall not use the site for purposes other than that of carrying out the agreed development (as per Planning Permission (Reg. Ref. 91/A/1415) or such variations or modifications to the development as may be approved by the Corporation as Grantor/Lessor apart from any approvals and permissions required under the Local Government (Planning and Development) Acts 1963-1990.

2(d) In the event of site development works not commencing prior to 10th November 1992, then Dublin Corporation shall have the right to rescind this proposed Agreement and retain the deposit deemed to have been already paid.

2(e) During the building period, Messrs. Docfield Limited or its agents shall insure the buildings against fire and all other insurable risks with an approved Insurance Company. The insurance shall be in the joint names of Messrs. Docfield Limited and the Corporation and will be for such an amount as will provide for the Full Reinstatement Value of so much of the Building/Development as is erected at any time, together with a sum for Architect's and Surveyor's fees and removal of debris charges.

Messrs. Docfield Limited shall indemnify and keep indemnified the Corporation against all and any expenses costs, claims and demands, damages and other liabilities, whatsoever in respect of injury or death of any person or damage to property howsoever arising directly or indirectly out of;

- (i) The state of repair or condition (including structure and foundations) of the approved development and covenanted works.
- (ii) The existence of any alterations thereto and to the state of repair or condition (including structure and foundations) of such alternations.
- (iii) The user of the demised lands.

Contd...

- (iv) Any work carried out or in the course of being carried out to the demised land, the Approved Development and covenanted works by Messrs. Docfield Limited, its agents, nominees, sublessees.
- (v) Anything now or hereafter attached therefrom or any other case arising out of the demised land

3(a)

It shall be a condition of the Agreement/Licence that Messrs. Docfield Limited shall prior to 31st May 1993, construct and complete; -

- (i) A road and services (drainage) along the line A-B-C as shown shaded blue on Map No. 243-1. The road shall be constructed in accordance with standards set out in "Dublin County Council's Roads Department Specification for Housing Development Works".
- (ii) Foundations to the statutory standards (Building Control Regulations) to all buildings/blocks 1 - 10 as shown hatched blue on Map No. 243-1 and for which Planning Permission has been granted (Decision Order P /5477/91 Reg. Ref. 91A/1415).

3(b)

It shall also be a condition of the Proposed Agreement that Messrs. Docfield Limited shall provide a Pedestrian Overbridge (across Belgard Road) linking the property at point D to point E as shown on Map No. 243-1. The proposed Overbridge shall be to a design and construction which shall fully meet with the requirements of the Planning Authority for the area. (Sufficient land will be available at point E. for this purpose.

The Pedestrian Overbridge must be erected following the granting of leases to the portion of the site upon which buildings/blocks 1 & 2 are to be constructed i.e. sites 1 & 2 as hatched blue on Map No. 243-1 and prior to the granting of leases to any other portion of the site.

Messrs. Docfield Limited shall also provide a high quality paved and lighted pedestrian link between that portion of the site from Main Street (point C) and that adjoining Belgard Road near point D as shown on Map No. 243-1.

The building covenant shall relate to the completion of the entire of the approved development. The "Covenanted Works" shall be the works referred to in term 3 (a) and 3(b) above.

Contd...

4(a) The Proposed Agreement shall provide for the granting of a lease or leases to Messrs. Docfield Limited to the entire site or of parts of the site upon which buildings/blocks 1 - 10 are to be erected.

In the event of a lease being granted of the entire of the site, then the Conditions of Sale and terms of the Original Agreement shall apply save for amendments where necessary in respect of dates for completion of works etc.

A lease of the entire of the site or any part thereof shall only be granted on (i) payment in full of all of the Capital Premium or an agreed sum (apportionment in respect of any part (See term 5 below) and (ii) following satisfactory completion prior to 31st May 1993, of the works specified in Term 3(a) above. The initial payment due in respect of site No. 1 must be paid not later than 30th June 1993.

4(b) In the event of more than 2 leases being granted, then the proposed Agreement shall provide for the granting by the Corporation of a Licence to Messrs. Docfield Limited of the land other than that land upon which buildings are to be erected. It will be a condition of the Licence Agreement that Messrs. Docfield Limited shall be responsible for providing/constructing the required car parking facilities for the proposed development and for which Planning Permission has been granted and for maintaining same. Messrs. Docfield Limited shall also be liable for completion of all boundary treatment to the site as required under the said Planning Permission (Decision Order P 5477/91 Reg. Ref. 91A/1415).

The said Licence Agreement shall be for a term of 250 years and it shall only be revoked on breach of the terms of this proposed Agreement by Messrs. Docfield Limited.

The Licensee shall be bound to covenants/conditions relating to Insurance, Maintenance and User of the Licenced land.

5. The Capital Premium shall be apportioned to each portion of the site upon which the buildings for which Planning Permission has been granted, are to be erected (Decision Order P./5477/91).

The Capital Premium shall therefore be apportioned as between sites (for buildings/blocks 1 - 10) as follows and payment in full must be made in each case, on the granting of the lease, save for the initial payment which must be made prior to 30th June, 1993 OR, on the granting of the lease to site (1), whichever date shall be the earlier.

Contd...

Site 1	-	32.5%
Site 2	-	16.25%
Site 3	-	9.75%
Site 4	-	9.00%
Site 5	-	9.00%
Site 6	-	5.50%
Site 7	-	4.00%
Site 8	-	2.00%
Site 9	-	4.20%
Site 10	-	7.80%

Note: The deposit deemed to have been already paid shall be credited against the amounts due on the final two payments.

The initial payment must be made not later than 30th June 1993, and it shall be a condition of the Proposed Agreement that the initial lease shall be granted in respect of Site (1) upon which block 1 shown hatched blue on the drawing is to be erected and that the second lease shall be granted in respect of Site (2) upon which Block 2 shown hatched blue on the drawing is to be erected. The third and fourth leases to be granted shall be in respect of Site (3) and Site (10), upon which blocks 3 and blocks 10 respectively are to be erected, the choice of order being the preference of Messrs. Docfield Limited.

Leases in respect of any of the remaining sites upon which the remaining blocks as shown hatched blue on the drawing are to be erected shall be granted in whatever order Messrs. Docfield Limited require and more than one lease may be granted at any time following the granting of leases to sites 1, 2, 3, 10, if so required, by Messrs. Docfield Limited.

In the event of the Initial Payment not being paid within the specified time period, then the Corporation shall have the right to either rescind this proposed Agreement and repossess the land with the benefit of the works thereon or charge interest at the rate of 20% per annum until such time as it has been paid.

5(b)

Messrs. Docfield Limited shall be responsible for all or any payments in respect of a requirement for the payment of Value Added Tax relating to any part of this proposed transaction as well as Stamp Duty due on any lease and counterparts.

Contd....

6. The lease or leases to be granted shall be for a term of 250 years commencing from a date to be agreed upon. The terms, conditions/covenants incorporated in the lease/leases shall be similar in all respects to the terms/conditions/covenants as contained in the original Lease save for amendments necessitated by the above terms and conditions and the following amendments shall also be made;

Clause 1C(iii) shall relate to the particular building/block to be erected and for which Planning Permission has been granted. The restriction on office development shall be deleted/waived.

It should be noted that the restriction against the use of the site or any part thereof as a multiplex cinema, a drive in fast food outlet and a petrol filling station shall continue to apply.

The lease/leases shall be amended to take account of changes in site areas and the lease rent of £500 shall be divided equally between the number of leases to be granted.

7. In the event of the entire of the proposed development not having been completed within the period of 24 months from the date of issue of the requisite approvals and consents to the proposed disposal and all of the Capital Premium not having been paid, then Messrs. Docfield Limited shall pay interest to Dublin Corporation at the rate of 20% per annum on any outstanding balance due for payment and this provision for the payment of interest shall be applicable up to and until 30th September 1995.

Dublin Corporation shall reserve the right to repossess any part or parts of the site in the event of buildings to be erected on such part/parts not having been completed prior to 30th September 1995.

8. Messrs. Docfield Limited shall have the Option to purchase the Corporation's fee simple interest in the entire property on the satisfactory completion of the approved development and covenanted works for the sum of ten thousand pounds.

9. The Agreement shall provide for the reservations as provided for and set out in the First Schedule of the copy/draft lease.

10. Messrs. Docfield Limited must immediately provide Dublin Corporation with satisfactory evidence that sufficient funds are available to finance the proposed building programme and to discharge the Capital Premium.

Contd...

11. That there are no claims whatsoever in respect of any matter by any party relating to the site or to design and working drawings for the proposed development arising out of discussions, contracts or the application for Planning Permission for the Proposed Development by Messrs. Docfield Limited.

The lands to be disposed of were acquired from James Kevin Molloy, Park Development (Dublin) Limited, Viscount Securities Limited and Dermot Kennedy/Townsave Limited under the Tallaght/Whitestown/Jobstown Area C.P.O. 1970

The adoption of this report shall be taken as authorisation to affix the City Seal to all documents necessary to give effect to the resolution.

Dated this day of 1992

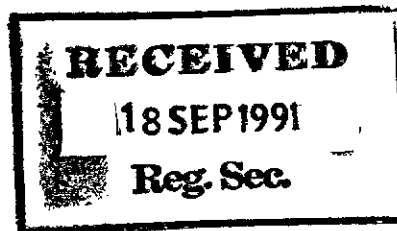
ASSISTANT CITY MANAGER.

ARCHAEOLOGICAL ASSESSMENT

OF A PROPOSED DEVELOPMENT SITE BOUNDED BY
BELGARD ROAD, ST. MAELRUAN'S CHURCH AND GRAVEYARD
AND MAIN STREET, TALLAGHT, CO. DUBLIN.

for

Murray O'Laoire and Associates, BMRA and J.B. Barry and Partners



Margaret Gowen

September 1991

CONTENTS

1. INTRODUCTION
2. DESCRIPTION OF THE TRENCHES OPENED
3. THE ARCHAEOLOGICAL ASSESSMENT
4. IMPACT OF THE PROPOSED DEVELOPMENT ON ARCHAEOLOGICAL FEATURES
5. CONCLUSIONS: POSSIBLE REQUIRED MITIGATION
6. APPENDIX : Copy of the full report on a partial assessment of the site, carried out in August 1990.

FIGURES

1. Location map
2. Location of archaeological test trenches (ATTACHED)

1. INTRODUCTION

- 1.1 This report describes the results of recent test trenching on an already partially investigated site bounded by Belgard Road, the graveyard of St. Maelruan's church and Main Street, Tallaght, Co. Dublin.
- 1.2 The site is presently divided into two fields; a seven-acre field to the southwest of St. Maelruan's church and graveyard measuring 1650m north-south and a maximum 1750m east-west, and a strip 100m x 50m extending back towards it from Main Street (Fig. 1).
- 1.3 The test trenching was carried out to form part of an archaeological assessment for planning purposes.
- 1.4 The main area tested for the purposes of this report was not available when the initial assessment was prepared in August 1990 (copy attached). The site was then owned by Dublin Corporation and a playing pitch on the site could not be trenched. Furthermore, a time constraint of one day on the initial test trenching of the site resulted in an incomplete archaeological assessment at that time.
- 1.5 The trenching described in this report was completed on 29th August 1991 under licence to the Office of Public Works.
- 1.6 A mechanical excavator with a 1m wide bucket was used to remove sod and topsoil. The subsoil surface was then examined for traces of archaeological soils and features.
- 1.7 The only archaeological features noted were the two concentric ditches, revealed in the initial examination of the site in August 1990, encircling the Early Christian enclosure bank around St. Maelruan's church and graveyard.

2. DESCRIPTION OF THE TRENCHES OPENED

2.1 A total of twenty-two trenches were opened:

- two extending out from the Early Christian bank to confirm the position of an external ditch discovered in the initial trenching of the site,
- fifteen in the main site to the southwest of the church and graveyard, and
- five in the strip extending westwards from Main Street.

Each group is described in turn below.

2.2 The enclosure ditches

Two trenches were opened across these features, one at the northernmost corner of the site and one at the east. Both were opened in these positions because access to these areas was restricted in August 1990 and it was felt that the precise location of the outer ditch (Ditch B) could not be suggested on the basis of the earlier investigation. The purpose of these trenches was to confirm the area of archaeological interest, within the proposed development site, around the standing bank which forms the boundary of the graveyard.

Trench 1

This was 23m long. It was not considered either wise, or necessary, to take this cutting right up to the supposed site of the bank edge.

The position of the outer edge of Ditch A (the inner ditch) was revealed 10.40m from a stone wall which marks the position of the bank in this area.

The outer ditch (Ditch B) was revealed 15.80-18.30m from the stone wall (ie. 2.50m wide and some 5.40 from Ditch A). While this area was very disturbed with modern rubbish intermixed with topsoil a thin layer (100-150mm) of redeposited subsoil was noted between the two ditches. This deposit may possibly be interpreted as upcast from one or other ditch which probably formed a low bank between them. There was no evidence, however, for the Old Ground Level beneath this deposit.

.../...

2.2 contd.

Trench 1 (contd.)

The fill of both ditches was remarkable in that few obvious archaeological indicators were present. It differed from subsoil only in its texture and its very slightly darker colour. Charcoal was very sparse but was present along the sloping ditch edges at the interface between ditch fill and subsoil.

Trench 2

This was opened at the easternmost accessible position along the bank within the development site. At this point the enclosure bank survives some 3m high. In order to record the position of the trench reasonably accurately, it was cut parallel to the north-south field boundary to the east. The trench, therefore, crosses the ditches obliquely. It was 20m long.

The outer edge of Ditch A (inner ditch) was revealed some 10-11m from a notional centre of the bank (7.70m measured from the base of the bank).

The outer ditch (Ditch B) was located 12.30m from the base of the bank (ie. c. 15.50m from a notional centre of the bank) and was 4.75m wide.

As in Trench 1, the ditch fill was poorly defined but scant traces of charcoal were present along the ditch edges and one small fragment of poorly preserved animal bone was noted.

This trench was opened in the same position as Trench 5 of the initial investigation and confirms that the fill revealed in Trench 5 at that time is, as was thought, the fill of Ditch B (the outer ditch).

Conclusion

The existence of these two ditches means that there is a zone of archaeological potential of some 25m width within the proposed development site along its boundary with the graveyard.

2.3 Trenches 3-17

To the west and southwest of the graveyard boundary, where ten short trenches had already been opened in August 1990, a further fifteen trenches were opened. These were all roughly 10m long, cut in both north-south and east-west orientation and were spaced between 15m and 30m apart (Fig. 2).

.../...

2.3 contd.

Trenches 3-17 (contd.)

Only two trenches (Trenches 12 and 13) revealed any subsurface features. In both cases these were interpreted as field drains, due to their narrow width and/or a total lack of even the most ephemeral archaeological indicators. They were not excavated. In Trench 12 a drain was cut obliquely. It had a maximum width of 4.50m. In Trench 13 two parallel drains, one 1m wide and a second almost 2m wide, were noted. Modern delph was present in the trenches in which they occurred

2.4 Trenches 18-22

These trenches were opened in the portion of the site which extends westwards back from Main Street. In August 1990 two of the pits opened revealed dark, humic silty soil and one crossed a possible ditch.

Trench 18

This was opened to extend back from the front wall of recently demolished cottages approximately 7m from the street front. It was 8.50m long and the back wall of the cottage was cut through 4m from the front wall. The soil profile was almost exactly that noted in Trench 16 of the 1990 investigation (report attached):-

- 0-.40m Demolition rubble in topsoil.
- .40m-.90m Dark humic silty soil - garden soil with no archaeological inclusions.
- .90m-1.20m Undulating cuts in subsoil, probably cultivation ridges but not all of uniform size or depth (deepest .30cm, widest 1.20m but these may be cut obliquely).

Trench 19

This lay parallel to Trench 20 and was cut 4m closer to the streetline and was 9m long.

The garden soil noted in Trench 20 did not occur in this location. No archaeological soils, artefacts or other inclusions were noted.

- 0-.60cm Wall foundation and demolition rubble in topsoil.
- .60m-.65m Disturbed subsoil.
- .65m Subsoil.

Trench 20

This was cut in a north-south orientation. It was 5m long. No archaeological soils or inclusions were noted.

0-.25m Sod

.25m-.80m Agricultural soil.

.80m Subsoil.

Trench 21

This was cut parallel to Trench 23 and 10m to the east of it. It was also 5m long and displayed a very similar profile to that revealed in Trench 23 with no archaeological inclusions.

Trench 22

This trench was cut in an east-west direction to test the southwestern portion of the site. It had been planned to cut a long trench in this location but when the soil profile revealed was similar to that in Trenches 22 and 23, above, it was not considered either necessary or desirable to open any more ground. The trench was 5m long with topsoil and agricultural soil up to 60cm deep. There were no archaeological inclusions.

3. THE ARCHAEOLOGICAL ASSESSMENT

- 3.1 No evidence of archaeological deposits or features, apart from the two concentric ditches around the early Christian enclosure, were revealed which might suggest that the area to be developed has archaeological potential.
- 3.2 While it could be argued that the gaps between the trenches opened is significant (14m - 30m maximum) the complete lack of any archaeological features or deposits suggests any archaeological presence on the site would be highly localized.
- 3.3 There are no above ground indications of archaeological activity.
- 3.4 There is nothing in the literature or cartographic sources to suggest that this particular area should have significant archaeological potential.
- 3.5 It was felt that archaeological deposits were highly likely to be present along the frontage to the Main Street, but none were revealed.
- 3.6 The two concentric ditches surrounding the standing bank of the Early Christian enclosure are of great significance. While the fill material revealed in this and the earlier investigation is not rich in archaeological remains, it is likely that significant deposits of occupation debris dating to the Early Christian period exist in the lower ditch fill. (The fill in the uppermost portion of the ditches revealed in this investigation could be backfilled bank material).

4. IMPACT OF THE PROPOSED DEVELOPMENT ON ARCHAEOLOGICAL FEATURES

- 4.1 There appear to be no archaeological features on the site apart from the two ditches outside the boundary with St. Maelruan's church and graveyard.
- 4.2 The portion of the site adjacent to the Early Christian bank, and covering the area in which the ditches are situated, will not be built on but will be developed for car parking.
- 4.3 Preparation of the area for car parking is likely to involve significant earthmoving, leveling and preparation. It may also involve a reduction of the present ground level for hardcore.
- 4.4 Services are unlikely to extend into the area crossed by the ditches.

5. CONCLUSIONS: POSSIBLE REQUIRED MITIGATION

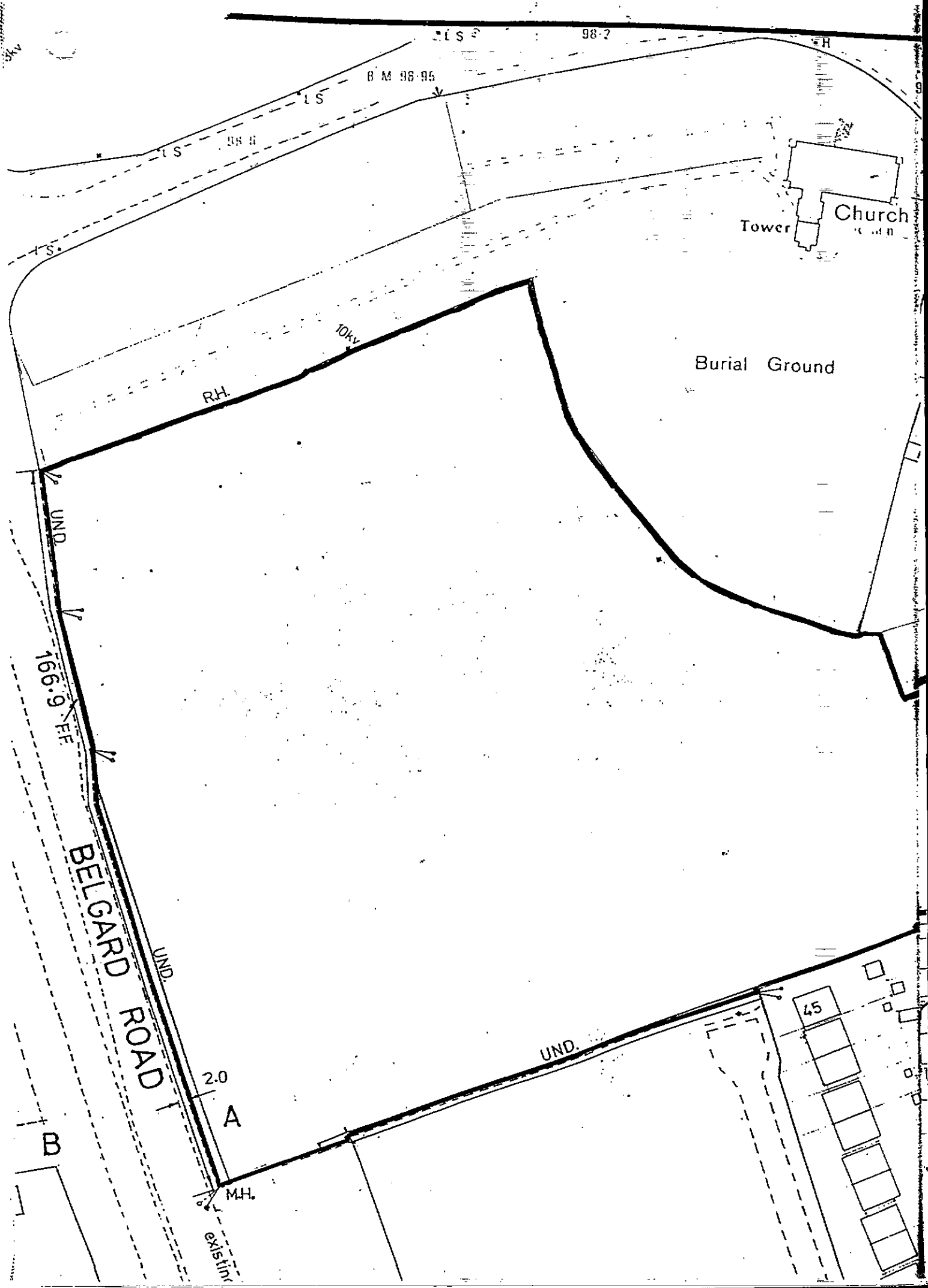
- 5.1 No archaeological features or deposits were revealed anywhere on the site, except adjacent to the boundary with St. Maelruan's church and graveyard. Planning permission should not, therefore, carry any precondition for further archaeological investigation of the area in which the proposed buildings are to be constructed. At most, an archaeological watching brief on the excavation of foundation trenches and service trenches could be suggested. //
- 5.2 The two concentric ditches around the the Early Christian bank which forms the present boundary between the proposed development site and the graveyard of St. Maelruan's church extend roughly 20m into the area to be developed.
- 5.3 A zone of archaeological potential of at least 25m therefore exists around this boundary. As such, it will have the full protection of the National Monuments Acts 1930-1989.
- 5.4 There are a number of possible scenarios which may be presented by the Office of Public Works, National Monuments Branch, during the review of this planning application:-
- The area in which the ditches occur may be declared an 'exclusion zone' where no development of any sort may take place.
 - Prior excavation and subsequent display of the bank and the two enclosure ditches may be recommended. This would involve the landscaping of a 20-25m strip within the proposed development, inside the existing boundary bank, and the loss of proposed car parking spaces in that area.
 - A full archaeological excavation of the two ditches and portions of the bank may allow development of the car park to extend as far as the present boundary, provided that the bank will not be encroached on, or damaged in any way, during the development process. The bank is in relatively good condition and the basal slope of it appears to extend into the area in which proposed car parking spaces are planned.

5.4 contd.

- Even if the bank is not encroached on, the bank and the area around it at present is covered by a dense growth of small trees and shrubs. If these are to be cleared as part of the development process prior archaeological excavation of a portion of the bank will probably be recommended and an archaeological watching brief on the clearance of undergrowth will undoubtedly be required.

5.5 In summary, it is likely that some archaeological excavation will have to be carried out in advance of development and that the proposed car park layout will have to be altered, with a consequent loss of a minimum 24-26 car parking spaces, and possibly more, in the area immediately adjacent to the existing boundary bank.


Margaret Gowen, 9th Sept. 1991



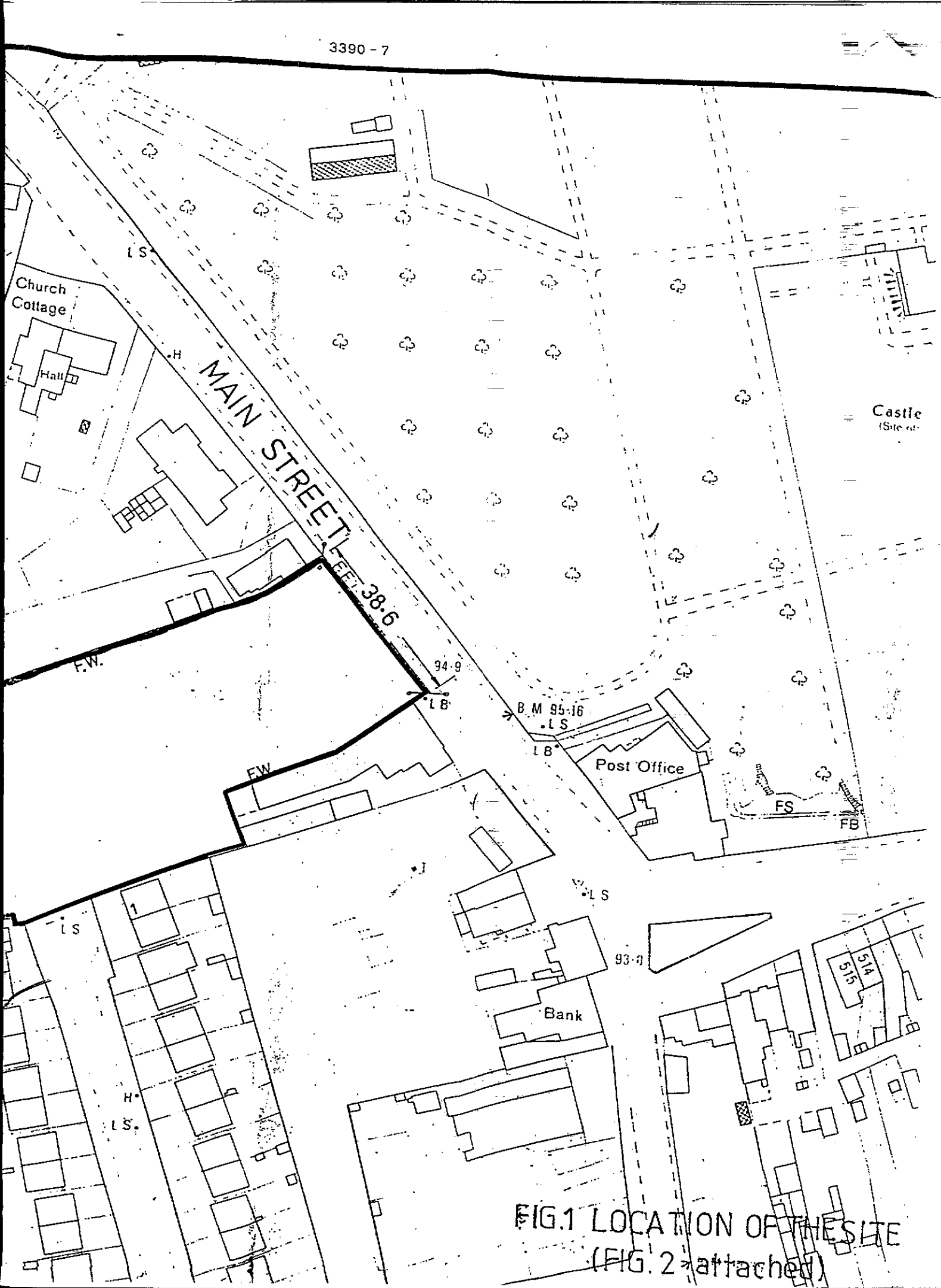


FIG.1 LOCATION OF THE SITE
(FIG. 2 attached)

APPENDIX

REPORT

Results of archaeological test-trenching at a development site
bounded by Belgard Road,
Main Street and the church and graveyard of St. Maelruan, Tallaght.

Margaret Gowen, MA MIAPA

21 August 1990

CONTENTS

1. INTRODUCTION
2. THE INVESTIGATION
3. SUMMARY AND IMPLICATIONS

1. INTRODUCTION

1.1 This report describes the results of test-trenching for archaeological purposes at a 7.033 acre development site bounded by the Belgard Road, the graveyard of St. Maelruan's Church and Main Street, Tallaght (Fig. 1).

1.2 The purpose of the investigation was to assess the archaeological implications for proposed development regarding the National Monuments Acts and the requirements of the Commissioners of Public Works in Ireland.

1.3 Due to the nature of the present useage of the site as a football pitch and the time constraint imposed by Dublin Corporation, the trenching was completed in one day, in a limited portion of the area to be developed.

1.4 The site work was carried out on Monday 20th August 1990. A JCB was used to cut the trenches through topsoil, and a thin layer of agricultural soil beneath it, to the subsoil surface. Each trench was examined in detail and the sectional profiles recorded. There was no necessity for scaled section drawings as no archaeological features were exposed.

1.5 The time limit imposed on the test trenching resulted in the excavation of small pits rather than extensive trenches and thus the interpretation of the results is, of necessity, broadly based.

1.6 Apart from two external ditches ('fosses') concentric to and apparently contemporary with the enclosure around the graveyard of St. Maelruan's Church, no archaeological features or deposits were noted.

2. THE INVESTIGATION AND RESULTS

2.1 The Investigation

In all, nineteen trenches were opened (Fig.2).

- i) Five trenches (1-5) were excavated running west and southwest of the surviving bank enclosing St. Maelruan's Church and graveyard,
- ii) three pairs (6-11) of short trenches were opened at the north of the football pitch,
- iii) four small trenches (12-15) were opened at the south and east of the football pitch, and
- iv) four trenches (16-19) were opened in the narrow extension to the site towards Main Street.

Each group is described, in turn, below.

2.2 The Results

The soils on the site are a dark, rich topsoil, generally 20-25cm deep, but up to 30-40cm deep in the northeast corner, overlying a layer of apparently agriculturally altered subsoil, 15-30cm deep, which overlies a compact, grey-brown stoney boulder clay. The trenches were excavated to a level at which subsoil was recognised. Where archaeological fill occurred it was not excavated.

Group i), Trenches 1-5

In all these cuttings evidence for at least one ditch (Ditch A) was revealed and in two trenches (4 and 5) evidence for a second external ditch (Ditch B) was revealed. The ditch fill, in each case, was recognised as a deposit of relatively open-textured soil, very similar in composition to the subsoil but marginally darker colour, with a lower stone content and sparse charcoal-flecks. There were no obvious archaeological inclusions except one small fragment of animal bone in Trench 3. In all cases undergrowth had to be cleared to gain access and the measurements taken are likely to be inaccurate due to the presence of dense undergrowth. Furthermore, where the monastic bank survives it is not a uniform thickness and modern dumping up against it further complicates the picture.

Trench 1

13m long, excavated to a maximum depth of 40cm. Topsoil was 25-30cm deep. A layer of redeposited soil, interpreted as ditch fill ran westwards as far as an interface with subsoil, ascertained as the external edge of the inner ditch (A) some 9m from a stone wall which defines the position of the monastic bank in this area.

Trench 2

9.50m long, excavated to a maximum depth of 40cm. Topsoil was 30-35cm deep over ditch fill and 25cm over boulder clay. The position of the external edge of Ditch A was located 7.50m from the monastic bank.

Trench 3

13.50m long, excavated to a maximum depth of 40cm. Topsoil was 30-35cm deep throughout. In this cutting the external edge of Ditch A was located some 6.70m from the monastic bank and the internal edge of the fill of a second ditch (Ditch B) was revealed at a distance of some 11m from the monastic bank.

Trench 4

17.50m long, excavated to a depth of 45cm. Topsoil was 25cm deep over a layer of altered soil 20cm deep. The external edge of Ditch A was located approximately 7m from the monastic bank and the two edges of Ditch B were also revealed at distances of 11.70m and 15m, respectively from the monastic bank.

Trench 5

The measurements from this trench are likely to be highly inaccurate due to the dense undergrowth and the unclear nature of the monastic bank in this area. The trench was 4m long, opened some 10m from the monastic bank. The external edge of one or other ditch (probably Ditch B) was noted some 12.50m from the accessible limit of the bank.

Interpretation

The monastic bank surrounding the church and graveyard of St. Maelruan was formed from the upcast of a now backfilled/silted external ditch and there is now evidence for a second, outer ditch. Bivallate enclosures surrounding early church site are not uncommon. While no evidence for a second bank survives, the nature of the (upper) ditch fill exposed in these trenches may suggest a levelling of the second bank and a backfilling of the ditches with bank material.

Group ii), Trenches 6-11

These were three pairs of short trenches opened at the north side of the the site, west of the monastic encloure.

The profiles exposed in these trenches were remarkably similar and no archaeological features or deposits were revealed in them. They do not need to be described individually.

Trenches 6-8 were opened some 4-5m from the edge of the field ditch at the north of the site (the field boundary is composed of a bank and ditch). All trenches were c.2.50m long and were excavated to depths of 45-70cm were characterised by the presence of a 25-40cm deep layer of altered soil beneath topsoil which was an average 25-30cm deep. This altered soil cannot be regarded as an archaeological deposit even though it contained some sparse flecks of charcoal. It may represent the levelled remains of a bank on this side of the field boundary.

Trenches 9-11 were also c.2.50m long. In these trenches 20-25cm of topsoil covered the layer of altered soil (without charcoal inclusions in this area) which was 20-25cm deep.

Interpretation

The layer of soil beneath topsoil in this area is not an archaeological deposit. No archaeological features were noted in these trenches. While it is not possible, on the basis of such a limited investigation, to say for certain that no archaeological features occur in this area, it seems unlikely that any features do occur. Neither topsoil or 'B' horizon contained any archaeological inclusions.

Group iii), Trenches 12-15

These three trenches were opened at the southern limit of the site. like Trenches 6-11 these were approximately 2.50m long. The profile exposed here was very similar to that revealed in trenches 9-11. Topsoil, 20cm deep, covered a 'B' horizon 15-25cm deep which differed slightly from subsoil. It had a lower stone content and was a more yellow-brown colour. There were no inclusions in it.

Interpretation

These profiles revealed no evidence for archaeological activity.

Group iv), Trenches 16-19

This group of trenches was opened in the extension to the site eastwards, towards Main Street. The area was covered by buildings and a roadway until recently and the profiles revealed in the trenches reflect this.

Trench 16

0-70cm Recent demolition rubble

70cm-1m Dark, humic silty (garden?) soil.

1m Boulder clay

Trench 17

0-70cm Recent demolition rubble

70cm-1.25 Yellow-grey silty soil

1.25-1.90m Grey humic silt with frequent, dispersed. charcoal inclusions.

Interpretation: relatively recent wet ditch, possibly N/S orientation - not confirmed.

Trench 18

Abandoned at 15cm due to the presence of a concrete floor.

Trench 19

0-50cm Concrete rubble

50cm-60cm Black, humic silty soil.

60cm Boulder clay

Interpretation Group iv)

It is impossible on the basis of so few trenches to assess the nature of the archaeological potential of this area, especially since it fronts on to Main Street and may have been settled during the medieval period. However, no archaeological material was retrieved from the three excavated trenches.

3. SUMMARY AND IMPLICATIONS FOR DEVELOPMENT

3.1 Within the time allowed the area tested was insufficient to allow more than an interpretation of a very general nature.

3.2 The monastic bank appears to be an archaeological feature, possibly dating to the Early Christian period. Trenches 1-5 revealed that is surrounded by two concentric ditches having a maximum width outside the bank of roughly 15m.

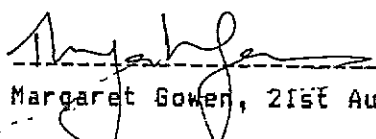
On the basis of these results an area of exclusion of c.20m around the standing church enclosure is likely to be recommended by OPW as part of the planning approval, unless prior archaeological excavation is carried out. Such an excavation would take at least three weeks to complete on site.

3.3 The remainder of the site appears to have no features or soils of archaeological significance. However, further test-trenching is needed before this supposition can be confirmed, especially in the portion of the site extending towards Main Street.

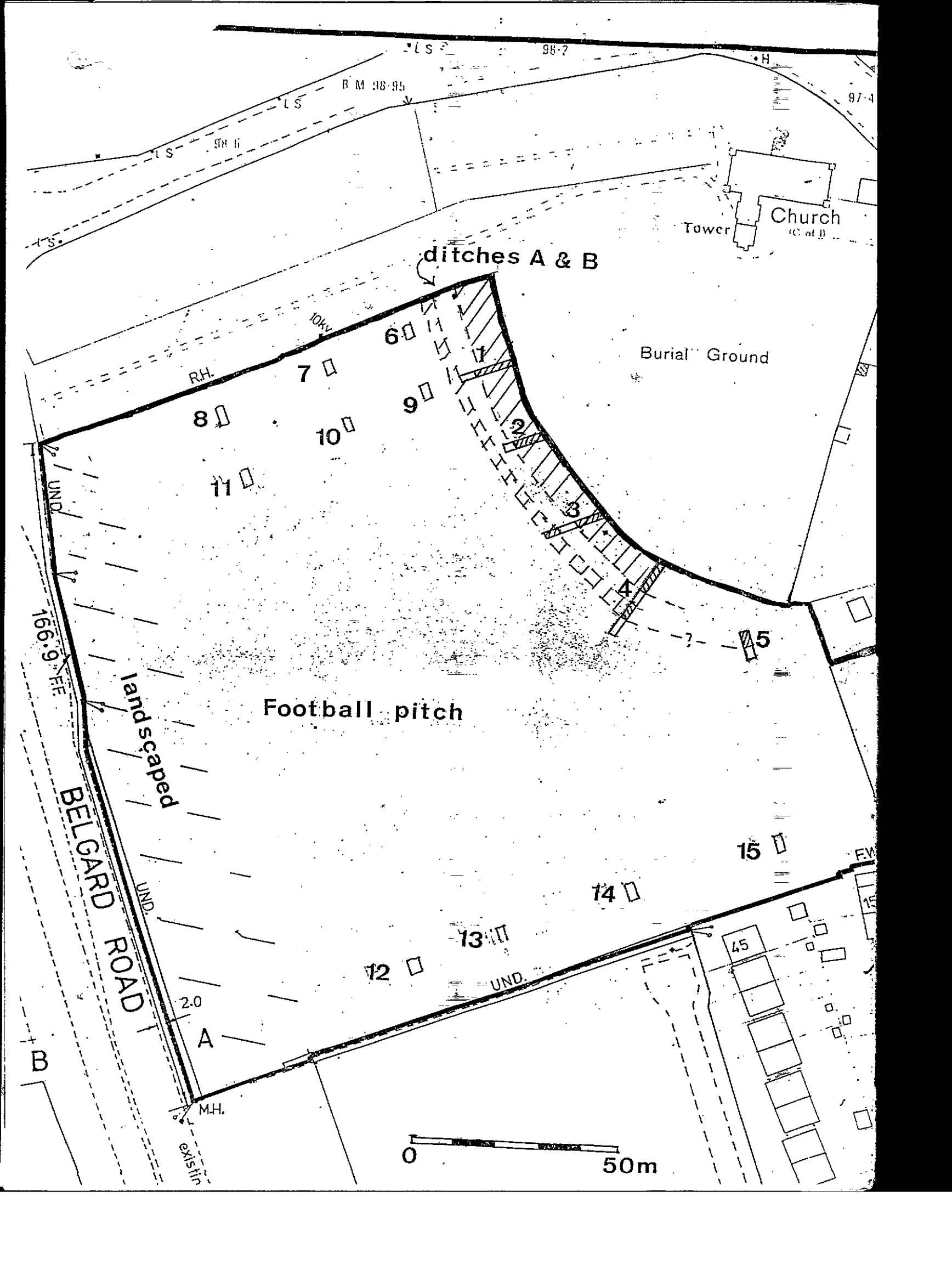
3.4 Due to the incomplete nature of the investigation it is likely that an archaeological watching brief on the excavation of foundation trenches, and on any removal of overburden prior to construction, will be recommended as part of the planning approval. If archaeological features are revealed during these processes, sufficient time has to be allowed for excavation and recording of the features revealed. This can be costly if it involves a delay in the construction programme.

3.5 If prior excavation on the monastic ditches is agreed and carried out, then it would be wise to open a number of further, more extensive, test trenches along the lines of proposed foundation trenches etc.

If no archaeological features are revealed at that stage, the bulk of the site will be effectively 'cleared' in advance of construction. If features are revealed it would be more cost-effective to excavate and record such features before building commences.


Margaret Gowen, 21st August 1990

c.c. Office of Public Works, National Monuments Branch.



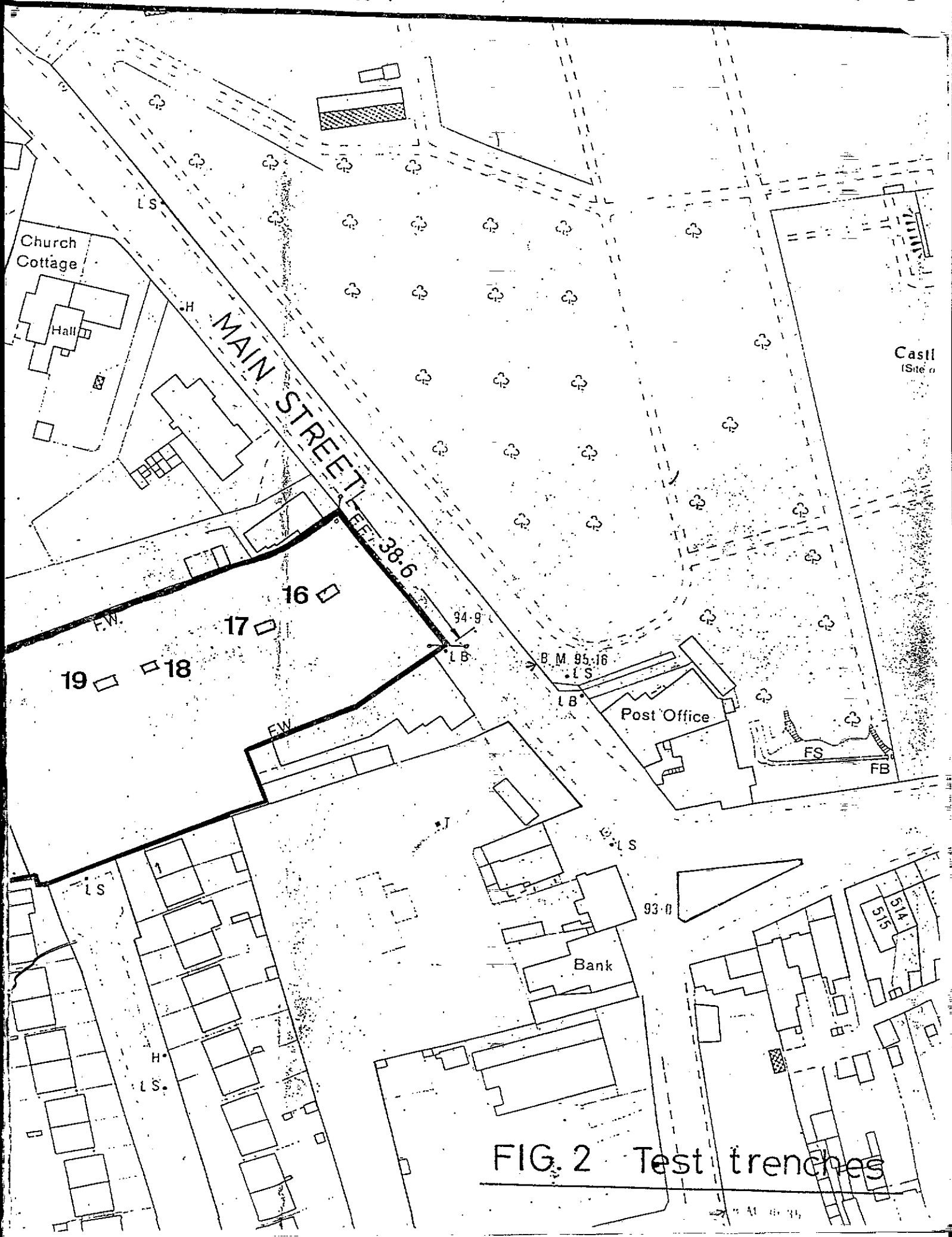


FIG. 2 Test trenches

WEXFORD COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED

29 AUG 1991

91A/1415

PLANNING APPLICATION REPORT

TALLAGHT HIGH STREET
Murray O'Laoire Associates
August 1991

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General Policy Directive 1982
- 7.0 Outline Specification including Schedule of Finishes
- 8.0 Typical Landscaping Details
- 9.0 Signage Schedule and Typical Details
- 10.0 Archeologist's Report

1.0 Introduction

1.0 Introduction

The proposed development of Tallaght High Street is situated on a 7.277 acre (2.945 hectare) site lying between the Belgard Road (as extended southwards to wards the Tallaght By-pass) and Tallaght Main Street (Old Blessington Road). It is bounded on the North and West sides by a graveyard and on the south side by a housing estate and an area of public open space which is intended to be treated as a small urban park.

The development of Tallaght High Street as a mixed development comprising Various sizes of retail units, Offices, Medical consulting rooms, Hotel, Apartments etc. is envisaged as creating an strong urban link between the Tallaght Shopping Centre (The Square) and the Main Street. This link is facilitated by the proposal to build a pedestrian bridge across the Belgard Road completing a pedestrian route from the Main Street through "The Square" and then across the Tallaght By-pass to Tymon Park and beyond.

The development consists of the 'High Street' linking Tallaght Main Street with 'Priory Square', envisaged as an outdoor focal point for Tallaght and a car park on two levels which is placed in the centre of the site away from the Street and Square so as to reduce the impact of car parking on the urban nature of the development.

It is intended that the development would have significant evening time as well as day time uses. To that end, the development includes 16 Two bedroomed Apartments and a 22 Bedroomed Hotel with Bar and Restaurant / Function Rooms as well as intending many retail outlets to have evening time usage.

2.0 Planning Application Form



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building Belgard Road (As extended Southwards) and
(If none, give description sufficient to identify) Main Street (Old Blessington Road), Tallaght

3. Name of applicant (Principal not Agent) Docfield Ltd

Address C/O Gerald Kean, St. Andrews House 28-30 Exchequer St. Tel. No. _____

4. Name and address of Murray O Laoire Associates
person or firm responsible Fumbally Court, Fumbally Lane, Dublin 8. Tel. No. 537300
for preparation of drawings

5. Name and address to which Varming Mulcahy Reilly Associates
notifications should be sent Tramway House, 32 Dartry Road, Dublin 6.

6. Brief description of See enclosed copy of planning advertisement
proposed development

7. Method of drainage Mains 8. Source of Water Supply Mains

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor N/A
or use when last used
(b) Proposed use of each floor N/A

10 Does the proposal involve demolition, partial demolition No
or change of use of any habitable house or part thereof?

11.(a) Area of Site 7.277 acres/2.945 hectares 29,450 Sq. m.
(b) Floor area of proposed development 15,170 Sq. m.
(c) Floor area of buildings proposed to be retained within site N/A Sq. m.

12.State applicant's legal interest or estate in site Agreement to purchase
(i.e. freehold, leasehold, etc.)

13.Are you now applying also for an approval under the Building Bye Laws?
Yes No Place / in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
The draft building regulations have been taken into account where applicable.

15.List of documents enclosed with Cheque for £10,000 Planning Application Report
application. Irish Press 27th August 1991, Dublin County Council letter dated
22nd August 1991 for drawing list see planning application report.

16.Gross floor space of proposed development (See back) 15,170 Sq. m.
No of dwellings proposed (if any) 16 Class(es) of Development 1/4/91
Fee Payable £10,000 Basis of Calculation Maximum Fee
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) _____ Date 27/8/91

Application Type _____ FOR OFFICE USE ONLY
Register Reference _____
Amount Received £ _____
Receipt No _____
Date _____

3.0 List of Documents enclosed with
planning application

TALLAGHT HIGH STREET	Job	9118
List of documents enclosed with planning application	Date	6.8.91
MURRAY O'LAOIRE ASSOCIATES		

Architect's Drawings :

<u>Drawing No.</u>	<u>Title</u>	<u>Size</u>	<u>Scales</u>	<u>Comments</u>
9118 / 01	Site Location Map	A1	1 : 1250	
9118 / 02	High Street Plan - Level 1	A1	1 : 200	
9118 / 03	High Street Plan - Level 2	A1	1 : 200	
9118 / 04	High Street Plan - Level 3	A1	1 : 200	
9118 / 05	Priory Square Plan - Level 1	A1	1 : 200	
9118 / 06	Priory Square Plan - Level 2	A1	1 : 200	
9118 / 07	Block 1 - Plan Levels 1 and 2	A1	1 : 200	
9118 / 08	Block Plan - Level 1	A1	1 : 500	
9118 / 09	Overall Roof Plan	A1	1 : 500	
9118 / 10	Belgard Road, Square + Street Elevations	A1	1 : 200	
8118 / 11	High Street + Priory Square North Elevations	A1	1 : 200	
9118 / 12	Elevations	A1	1 : 200	
9118 / 13	Blocks 1 + 2 and Part Elevations	A1	1 : 200	
9118 / 14	S. Elevation Blocs 7 + 8 and Section D-D	A1	1 : 200	
9118 / 15	Section E-E and F-F	A1	1 : 200	
9118 / 16	Elevation / Construction Studies Blocks 6 / 9 / 10	A1	1:50	
9118 / 17	Elevation / Construction Studies Blocks 8 / 7 / 4	A1	1:50	
9118 / 18	Elevation / Construction Studies Blocks 3 / 5	A1	1:50	
9118 / 19	South Elevation and Section C-C	A1	1 : 200	
9118 / 20	Lighting Layout	A1	1 : 200	
9118 / 21	Sections A-A and B-B	A1	1 : 200	
9118 / 100	Ramp to pedestrian Walkway	A3	1 : 200	

Engineers Drawings :

<u>Drawing No.</u>	<u>Title</u>	<u>Size</u>	<u>Scales</u>	<u>Comments</u>
91112/ 01	FW,SW and Watermain Layout Level 2	A1	1 : 500	
91112 / 02	FW,SW and Watermain Layout Level 1	A1	1 : 500	
91112 / 03	Pavement Details	A1	1:20	
91112 / 04	Belgard Road Access	A1	1 : 500/100	

Landscape Drawings :

<u>Drawing No.</u>	<u>Title</u>	<u>Size</u>	<u>Scales</u>	<u>Comments</u>
9125 / 01	Landscape Layout	A1	1 : 500	

Survey Drawings :

<u>Drawing No.</u>	<u>Title</u>	<u>Size</u>	<u>Scales</u>	<u>Comments</u>
	Site Survey	A1	1 : 500	

Other Documents :

Planning Application Report
 Cheque for £10,000
 Copy "Irish Press" Tuesday 27th August 1991
 Dublin County Council Letter dated 22nd August 1991

4.0 Schedule of Accommodation

TALLAGHT HIGH STREET	Job No.	9118
SCHEDULE OF AREAS	Date	Aug '91
Murray O'Laoire Associates		

BLOCK 1		Sq.m.	Sq.m.	Sq.ft	Sq.ft
Level	Type	Nett	Gross	Nett	Gross
2	1 No. Retail Unit	2238	2838	24090	30548
3	Offices	115	115	1238	1238
	Mezzanine - Retail	260	260	2799	2799
Sub - Total		2613	3213	28126	34585
Outdoor	Garden Centre	480	480	5167	5167
Total		3093	3693	33293	39751

BLOCK 2		Sq.m.	Sq.m.	Sq.ft	Sq.ft
Level	Type	Nett	Gross	Nett	Gross
1	2 No. Retail Units	642	912	6910	9812
2	1 No. Retail Unit	1251	1337	13466	14391
Total		1893	2249	20376	24204

Block 3		Sq.m.	Sq.m.	Sq.ft	Sq.ft
Level	Type	Nett	Gross	Nett	Gross
Basement	Bar Store	60	60	646	646
1	Hotel Foyer	69	98	743	1055
	Bar	384	444	4133	4779
2	Restaurant / Function Room	264	360	2842	3875
3	Restaurant / Function Room	109	128	1173	1378
Total		886	1090	9537	11733

Block 4		Sq.m.	Sq.m.	Sq.ft	Sq.ft
Level	Type	Nett	Gross	Nett	Gross
1	6 No. Retail Units	580	690	6243	7427
2	22 No. Hotel Bedrooms	732	732	7879	7879
Total		1312	1422	14122	15306

Block 5		Sq.m.	Sq.m.	Sq.ft	Sq.ft
Level	Type	Nett	Gross	Nett	Gross
1	7 No. Retail Units	530	580	5705	6243
2	7 No. Retail Units	472	522	5081	5619
3	4 No. Office Suites	233	253	2510	2725
	3 No. Medical Consulting Rooms	175	190	1882	2044
Total		1410	1545	15177	16630

Block 6		Sq.m.	Sq.m.	Sq.ft	Sq.ft
Level	Type	Nett	Gross	Nett	Gross
1	1 No. Retail Unit	554	649	5963	6986
	8 No. Retail Units	261	261	2809	2809
2	Offices	360	424	3875	4564

Total 1175 1334 12648 14359

Block 7		Sq.m.	Sq.m.	Sq.ft	Sq.ft
Level	Type	Nett	Gross	Nett	Gross
1 and 2	8 No. Retail Units	924	978	9946	10527

Total 924 978 9946 10527

Block 8		Sq.m.	Sq.m.	Sq.ft	Sq.ft
Level	Type	Nett	Gross	Nett	Gross
1	2 No. Retail Units	288	329	3100	3541

Total 288 329 3100 3541

Block 9		Sq.m.	Sq.m.	Sq.ft	Sq.ft
Level	Type	Nett	Gross	Nett	Gross
1	8 No. Retail Units	500	710	5382	7642
2	8 No. Apartments	520	700	5597	7535
	8 No. Apartments	520	700	5597	7535

Total 1540 2110 16577 22712

Block 10		Sq.m.	Sq.m.	Sq.ft	Sq.ft
Level	Type	Nett	Gross	Nett	Gross
1	2 No. Retail Units	237	310	2551	3337
2	Offices	262	336	2820	3617
3	Offices	262	336	2820	3617

Total 761 982 8191 10570

Kiosks		Sq.m.	Sq.m.	Sq.ft	Sq.ft
Level	Type	Nett	Gross	Nett	Gross
1	2 No. Retail Units	18	18	194	194

Total 18 18 194 194

TOTAL FLOOR AREA 12820 15270 137994 164362
(Excudes outdoor Garden Centre)

5.0 Services Traffic, Car Parking and Access

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1. **FOUL DRAINAGE**

The foul drainage system has been designed to cater for this development which is mainly retail (115,000 sq ft) along with offices (15,000 sq ft), a hotel (22 rooms), a bar and restaurant together with 16 no. dwellings. The estimated peak flow is of the order of 3 l/s with a daily volume of 43m³.

It is proposed to drain the site eastwards to the Old Blessington Road and connect to the existing 225mm diameter foul sewer approximately 50m south of the proposed access road (the existing pipe invert level adjacent to the access road is not sufficiently low to make a connection at that point). The existing 225mm diameter in turn discharges to the Dodder Valley trunk sewer adjacent to the Tallaght By-Pass Road.

2. **STORM DRAINAGE**

The storm system is designed to cater for a rainfall intensity of 40mm/hour on the 3 ha site (which is assumed to be 100% impermeable). A 450mm diameter outfall pipe is sufficient to cater for the entire site.

It is proposed to drain the site to its south western corner and connect to the existing 450mm diameter storm sewer located in open space adjacent to West Park to the south of the development. This existing storm system ultimately outfalls to the Bancroft River at Watergate Bridge on the Old Bawn Road.

3. **WATER SUPPLY**

It is proposed to connect to a 300mm diameter branch watermain off the existing 600mm diameter watermain in the margin of the Belgard Road just south of the site. The incoming 200mm diameter pipe runs east/west through the site and a loop connection is proposed to the existing 6" diameter C.I. watermain in the Old Blessington Road.

The remainder of the watermain layout will be in 150mm diameter pipe which will cater for fireflow requirements.

4. CAR PARKING

Usage and computed parking requirements are as follows:

Use	Area (sq ft)		Parking Spaces	
	Gross	Nett	Gross	Nett
Retail	114,783	98,222	575	491
Office	14,522	12,025	58	48
Consulting Rooms	2,044	1,882	8	8
Hotel	22 Rooms		22	22
Pub	4,779	4,133	103 (nett)	103
Restaurant	5,253	4,015	80 (nett)	80
Dwellings	16 no.		20	20
Total			866	772

Surface and underground parking is proposed to serve the development. The total number of parking spaces to be provided is 715 against a calculated requirement on gross areas of 866. This leaves an apparent shortfall of 151 spaces (approximately 17.5%). However, this shortfall must be viewed in the context of the following:

- (1) The calculated parking requirement for retail and offices is based on gross areas i.e. including storage areas, stairwells and toilets etc. The nett areas of these uses i.e. actual retail and office area is somewhat less and it is more realistic to calculate the parking requirement on a nett area basis. This reduces the number of calculated spaces required by 94 spaces to a total of 772.
- (2) It is proposed to provide pedestrian access from the development is the connection to the existing adjacent public car park to the south east of the site. This car park is currently being under utilised and was observed to be empty during the times of the traffic survey carried out during peak shopping hours. The car park has approximately 100 spaces.
- (3) An intrinsite feature of the development is the connection to "The Square" via a pedestrian bridge over the Belgard Road. Shoppers will be attracted from the Square via this link thereby creating an aggregation of use of the existing 2200 space car park in the Square.

- (4) Discussions have been held with Dublin Bus to provide a "Local Link" bus service through the development. It is also proposed to create bus stops at both accesses thereby providing a good public transport to the development.
- (5) There are a number of proposed varied uses within this development each of which have peak usage at different times. Therefore, the total calculated car parking requirement would not be needed at the same time. For example, the peak shopping period on Friday evening and Saturday afternoon does not coincide with the peak office usage (which is daytime office hours during the week). Nor does peak use of the pub and restaurant coincide with either peak shopping or office periods. Therefore a lesser number of spaces than the theoretical calculated total would be sufficient to cater for the variety of uses within the development.

Taking all of the above aspects into consideration, it is clear that the car parking spaces included in the development will cater for the actual usage requirements.

5. VEHICULAR ACCESS

It is proposed to provide two access routes to the development, one from the Belgard Road and one from the Old Blessington Road near the village.

(i) Belgard Road

The Belgard Road is a 4 lane dual carriageway linking the Tallaght By Pass to the Naas dual carriageway at Newlands Cross. Since the opening of the M50 last year however, its role as the major link from the south suburbs to the Naas Road has been all but eliminated and it currently acts as a local distribution providing access to the major retail and industrial development in the Tallaght area.

(a) Layout

The section of Belgard Road under consideration is the 400 metre section linking Tallaght By Pass with Blessington Road. There are traffic lights at either end of the section of road under consideration.

Road cross section consists of a 7.3 metre two lane carriageway in each direction with a 4 metre wide median and footpath either side. A right turning lane has been incorporated into the medium half way along the section to facilitate traffic from the north turning into "The Square". The median has also been reduced on the approaches to the traffic lights to provide turning lanes at the junctions. There is little development fronting Belgard Road and just one junction which links across to "The Square."

(b) Present Traffic Flows

Belgard Road is not a heavily trafficked route and has capacity far in excess of present loading. Surveys taken on a Friday evening (5.00pm to 9.00pm) and Saturday morning (11.00am to 3.00pm) in August 1991 show that the maximum recorded flow, northbound, was 355 pcu/hr and the maximum flow southbound was 575 pcu/hr (5.00 - 6.00pm Friday)(see Appendix 1). The HCV content was less than 5%. These flows represent less than 25% of the free flow capacity of the road which is over 2,000 pcu/hr in each direction. However, the practical capacity of Belgard Road is governed by the capacity of the signalised junctions.

The traffic lights at the Blessington Road junction have a four stage cycle with a fifth stage called up on demand through a loop system.

Total cycle time is 120 seconds with 110 seconds of green time spread over the four stages. Considering the straight through movements, northbound traffic has 17 seconds of green time and southbound traffic has 50 seconds of green time per cycle. Straight through discharge rates are 10 cars/lane/cycle northwards and 32 car/lane/cycle southwards. There are 30 cycles per hour, giving a capacity of 600 cars/hour northwards and 1920 cars/hour southwards. The left and right filter lanes at the junction provide extra capacity to the junction. The maximum recorded quarter hourly flow northwards was 83 pcu which is just over half the capacity, indicating that lanes are cleared on each cycle.

(c) Proposed Junction

It is proposed to form an access point to the new development from the southbound carriageway of Belgard Road. Part of the access proposals include the provision of a right turn holding lane for traffic approaching the site from the south. The median is wide enough to accommodate such a lane without reducing the capacity or safety of the northbound through lanes. There is a right turn lane on Belgard Road at the approach to the Blessington Road lights and the proposed new lane will be an extension of the existing. Present traffic flow from Belgard Road turning right into Blessington Road traffic lights is very light (< 25 per hour).

A deceleration lane and merging lane will also be provided on Belgard Road at the new junction to cater for traffic approaching the site from the north and exiting from the site to the south. The right turn exit movement from the site onto Belgard Road (crossing the southbound lane) will not be permitted.

*i.e. left turn only
going out onto
Belgard Rd.*

(d) Projected Traffic Generated by the Proposed Development

Different activities within the proposed centre will generate different volumes of traffic at different times. The total floor area of buildings proposed amounts to 15,356m², of which some 10,700m² will be devoted to retail use, and the balance of 4,356m² devoted to office space, apartments and a hotel. The retail area will be concerned mainly with durable goods, having only about 10% of floor area allocated to convenience goods. Customer visitation rates to shopping centres vary between 20 and 50 trips per day per 100m² of GLA depending on the apportionment of space between convenience goods, durable goods and services. Because of the mix proposed, visitation rates in this instance would be at the lower end of the scale. Adopting a visitation rate of 25 trips per 100m² of GLA for the proposed development would result in a maximum of 2750 cars/day visiting the proposed centre, with a maximum hourly inflow of 330 cars/hr (12% of daily flow). Assuming 50% of these cars would use each entrance, the peak hour inflow from the Belgard Road would be 165 cars. Further dividing up this inflow to 50% from the north and 50% from the south would result in 83 cars per hour coming from the south end making the right turn from the northbound carriageway of Belgard Road into the centre. A similar number would approach the centre along Belgard Road from the north.

On a 10% exit basis there would be less than 150 cars per hour exiting from the development and merging into the southbound traffic lanes on Belgard Road.

(e) Effect of Generated Traffic on Existing Flows

To recap, present northbound flow on Belgard Road is 355 pcu/hr and southbound flow is 575 pcu/hr. It is proposed to introduce a flow of 83 pcu/hr crossing the southbound lane on Belgard Road. Rounding up these figures would give 100 pcu/hour crossing 600 pcu/hr, in two lanes. Various formulae have been developed by Traffic Engineers (Tanner, Hobbs, Flaherty) to determine volume of traffic which can cross a main stream flow by availing of suitable gaps in the passing flow.

Figure 1 is an extract from Hobbs which is a graph showing the capacity of an uncontrolled junction for various flows on minor and major roads. As can be seen, a flow of 100 vehicles per hour can be accommodated to cross mainstream flow of 450 vehicles per hour per lane. Belgard Road has two southbound lanes carrying 600 vehicles per hour or 300 vehicles per lane. The proposed right returning lane can therefore be accommodated within the existing system.

Apart from the above, there is a further factor which provides gap opportunity for right turning vehicles off the northbound carriageway of

Belgard Road. The traffic lights at the junction of Blessington Road and Belgard Road curtails the southbound flow of traffic on Belgard Road to guarantee suitable gap opportunities for turning traffic on each cycle.

It can therefore, be concluded that the proposed entrance to the development from Belgard Road can operate safely and with little disruption to existing flows on that road.

(ii) Blessington Road

A second access to the development is proposed off Blessington Road 100 metres north of Old Tallaght village centre. Carriageway width at this point is 7.0 metres with footpaths on either side. This entry is intended to provide access from the village area and the Greenhills Road and areas to the east and north of the By Pass.

SUMMARY

It has been shown that the proposed access from the Belgard Road is feasible. A single access to the development on the Old Blessington Road would not be adequate given the nature of the village which is currently heavily trafficked with restricted capacity due to widths of roads, on street parking and the traffic signalled junction. Therefore, a second access on Belgard Road as proposed is essential to cater for traffic which would be generated by this development.

TRAFFIC SURVEY - SATURDAY AUGUST 17, 1991

Belgard Road at Old Blessington Road Junction

Time	"The Square"		Newlands X		Village		Tallaght By Pass	
	Cars	HGV	Cars	HGV	Cars	HGV	Cars	HGV
11.00 - 11.15	1	3	64	2	-	-	66	2
11.15 - 11.30	-	-	79	2	5	-	72	3
11.30 - 11.45	6	1	62	2	2	-	68	-
11.45 - 12.00	6	1	67	4	6	-	80	4
12.00 - 12.15	15	2	58	5	7	-	93	3
12.15 - 12.30	6	1	47	3	3	-	57	1
12.30 - 12.45	11	1	58	3	2	-	87	2
12.45 - 1.00	10	1	60	2	4	1	87	2
1.00 - 1.15	11	1	65	1	3	-	77	2
1.15 - 1.30	5	1	49	2	4	-	87	5
1.30 - 1.45	7	-	65	3	5	-	77	6
1.45 - 2.00	12	1	59	3	2	-	88	5
2.00 - 2.15	7	-	40	4	3	-	97	5
2.15 - 2.30	7	-	60	1	5	-	90	7
2.30 - 2.45	8	-	65	-	5	-	100	4
2.45 - 3.00	17	-	73	4	6	-	72	-

TRAFFIC SURVEY - SATURDAY AUGUST 17, 1991

Belgard Road at Old Blessington Road Junction

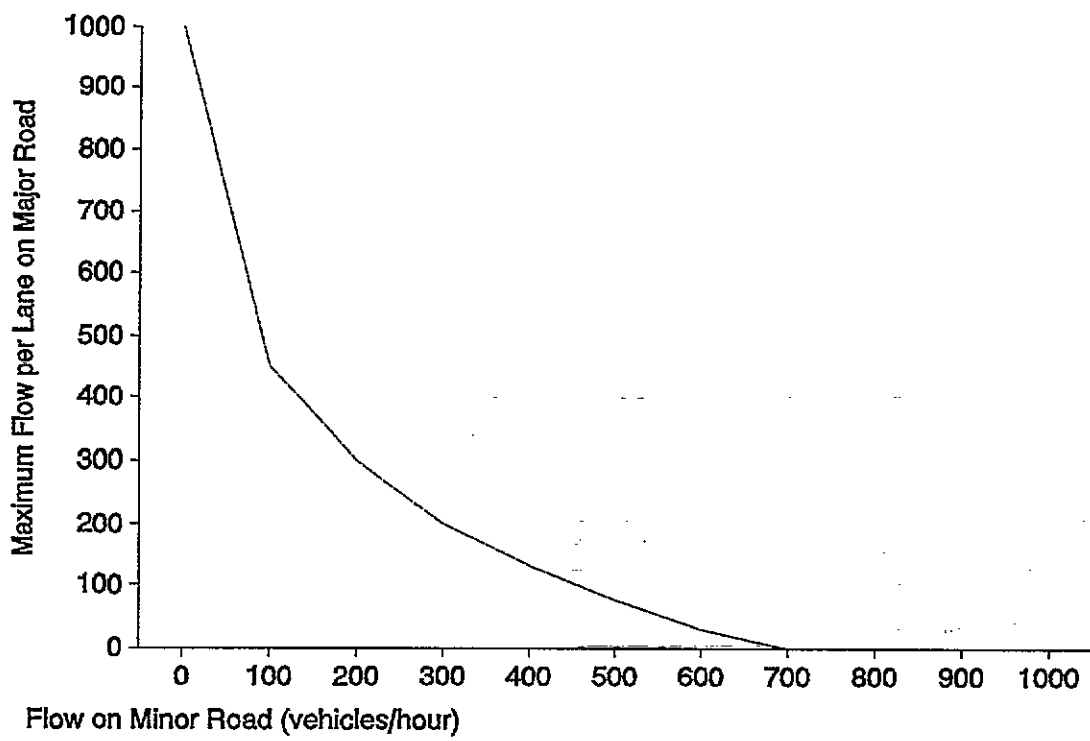
Time	"The Square"		Newlands X		Village		Tallaght By Pass	
			↑	↑			↓	↓
	Cars	HGV	Cars	HGV	Cars	HGV	Cars	HGV
11.00 - 11.15	1	3	64	2	-	-	66	2
11.15 - 11.30	-	-	79	2	5	-	72	3
11.30 - 11.45	6	1	62	2	2	-	68	-
11.45 - 12.00	15	2	67	4	6	-	80	4
12.00 - 12.15	6	1	58	5	7	-	93	3
12.15 - 12.30	11	1	47	3	3	-	57	1
12.30 - 12.45	10	1	58	3	2	-	87	2
12.45 - 1.00	11	1	60	2	4	1	87	2
1.00 - 1.15	5	1	65	1	3	-	77	2
1.15 - 1.30	7	-	49	2	4	-	87	5
1.30 - 1.45	12	1	65	3	5	-	77	6
1.45 - 2.00	7	-	59	3	2	-	88	5
2.00 - 2.15	7	-	40	4	3	-	97	5
2.15 - 2.30	8	-	60	1	5	-	90	7
2.30 - 2.45	17	-	65	-	5	-	100	4
2.45 - 3.00	6	-	73	4	6	-	72	-

APPENDIX 2

Drawing List

<u>Description</u>	<u>Drg. No.</u>
Foul and Storm Drainage and Watermain Layout - Upper Level	91112/01
Foul and Storm Drainage and Water Layout - Lower Level	91112/02
Pavement Cross sections and Details	91112/03
Belgard Road Access	91112/04

FIGURE 1



6.0 Local Government (Planning &
Development) General Policy
Directive 1982

6.0 LOCAL GOVERNMENT (PLANNING & DEVELOPMENT)
GENERAL POLICY DIRECTIVE 1982

The proposed development relates to the considerations outlined in the Directive under the headings (a) - (f) as follows:

(a), (b) & (c) - Consideration of existing retail shopping outlets in terms of adequacy, size & location, quality & convenience.

The application site is located within the area zoned "Major Town Centre Activities" (D) in the 1983 location Dublin County Development Plan. Within this zoned area, The Squares development constitutes the only significant existing retail development and is located to the west of the Belgard Road as extended Southwards to link with the Tallaght By Pass. The square development has a gross floor area of approximately 700,000 sq. ft and a net letting area of 485,000 sq ft accommodating 6 major stores, 136 further retail units and restaurants and a 12 screen multiplex cinema. The three anchor stores comprise units of 110,000 sq ft 60,000 sq ft and 55,000 sq ft. The square functions as a major retail outlet for Tallaght est. population of over 7900 for a wider catchment area. The population within a ten minute drive time is estimated at 200,000 and 500,000 within a twenty minute drive time.

Apart from The Square, the only other significant retail development in the vicinity of the current application site is located in Tallaght Village, centred along Main Street. This area is zoned for local/neighbourhood facilities (C1) in the 1983 Dublin County Development plan and includes a variety of retail and other commercial facilities of a primarily local nature.

A total of 64,000 sq. ft gross floor area for shopping provision within Tallaght Village was stated in the Tallaght Information sheets produced by Dublin County Council in 1987.

The current development proposal has some 100,643 sq ft of net retail floor area within 55 retail units. In terms of net retail floor space, the largest retail unit is 28126 sq. ft. the next largest being 13,466 sq ft and 5,963 sq. ft respectively. The remaining 50 retail units have a total area of 53,088 sq. ft.

The proposed development is located between Belgard Road and Main Street, Tallaght and will facilitate the linking of the existing Square development and the/Tallaght Village Main Street commercial area. The application provides for a pedestrian connection through the site and across the Belgard Road by means of a new pedestrian Bridge. On site parking for 710 spaces is provided.

The High Street nature of the development in urban design and retailing terms will provide a link between the major Town Centre facilities of the Square development and the more locally based retail developments within Tallaght Village.

The 1983 Dublin County Development Plan for Tallaght states in respect of the area zoned for major Town Centre facilities (D).

" The 'D zoning' to provide for major town centre facilities reflects the Council's policy of promoting and concentrating the widest range of facilities of the highest order in the new town centre".

In the context of the Development Plan policy and having regard to both the quantitative and qualitative aspects of the proposed development as outlined above, it is concluded that it will facilitate the integration and extension of the existing retail structure of Tallaght in terms of adequacy, size, location, quality and convenience.

(D) The effect on existing communities including, in particular, the effect on established retail shopping outlets and on employment.

Items (a), (b) & (c) as considered above relate essentially to the need for the proposed development, having regard to its retail nature, size, location etc. Item (d) closely relates to the issue of need as it considers the effects of the development on existing retail outlets. On the basis that there is a need for the proposed development, it is submitted that its effects on existing retail outlets will generally be complimentary and will strengthen the overall retail function of the Tallaght Town Centre and Village commercial area. The proposed development is anticipated to provide in the region of 200 - 250 jobs in retailing and in the region of 100 - 150 further jobs in it's non retailing uses.

(E) The needs of the elderly, infirm or disabled persons and of other persons who may be dependent on the availability of local retail shopping outlets.

The design allows for the easy access of disabled people to the greater part of the development.

(F) The need to counter urban decline and to promote urban renewal and to promote the utilisation of unused infra-structural facilities in urban areas.

The site is within an area designed for urban renewal purposes under the Urban Renewal Act 1986 and associated Finance Acts which provide financial incentives for renewal. Having regard to it's central location, the proposed development will promote the utilization of existing infrastructure and be complimentary to the evolving development of the Tallaght Town Centre area as a retailing centre and for other town centre activities.

Dr. Brian Meehan
B.SocSc. DipTP MSc MIPI PhD

**7.0 Outline Specification and
Schedule of Finishes**

7.0 OUTLINE SPECIFICATION

(19) Substructure

Reinforced concrete strip and pad foundations. Solid 225mm concrete block rising walls to 300mm below DPC level. 150mm clean sharp hardcore, 50mm sand blinding, 1000 guage polythene DPM lapped with wall DPC and 150mm concrete ground floor slab. All in accordance with structural engineer's detail.

(21) External Walls

300mm cavity wall construction. Outer leaf either 100mm concrete blockwork rendered with pigmented sand and cement render or 100mm clay facing brick. 100mm cavity with 50mm polystyrene insulation to inner face with 100mm concrete blockwork inner leaf with 12.5mm plaster to inner face. Wall ties at 450mm vertically and 900mm horizontally.

or

100mm composite double skin insulated architectural profiled metal cladding panels on cladding rails on steel structure to engineer's detail with 100mm cavity with 50mm polystyrene insulation to inner face with 100mm concrete blockwork inner leaf with 12.5mm plaster to inner face or proprietary lining panels.

(22) Internal Walls and Partitions

Party walls - 215mm solid concrete blockwork carried tight to underside of roof or slab finish with fire resistance greater than 1 hour. Partitions 100mm concrete blockwork or 100mm stud and slab skimmed or patent partitioning system.

(23) Floors and Galleries

Precast concrete slab flooring on concrete blockwork or reinforced concrete frame.

(24) Stairs, Ramps and Bridge

Ramp - Reinforced concrete structure with terracotta coloured non slip concrete paving slabs.

or

Electronically operated moving ramp to engineers specification.

Stairs - Reinforced concrete structure with terracotta coloured non slip ceramic tile finish.

Bridge - The pedestrian footbridge over the Belgard Road will be a cable stayed structure with a clear span of approximately 44m over both carriageways and a minimum clearance of 5.3m. The mast cables and the main deck will be constructed in steel. The foundation for the mast and the anchor block for the cable stays will be concrete. The walkway will have steel mesh sides and a polycarbonate cover.

(27) Roofs and Canopies

Roofs :

HP200 or similar coated 100mm double skin profiled metal roofing on 'multibeam' or similar proprietary steel purlins on steel roof trusses or portal frames.

or

'Tropical' or similar proprietary flat roofing membrane on built up roof deck on steel lattice trusses.

or

Lead or copper roofing on roofing felt on marine plywood base on conventional pitched hipped or gabled roof. 100mm fibreglass insulation laid between ceiling joists.

Canopies :

Toughened or wired glass and stainless or painted steel frame with stainless steel tie rod supports.

or

Polyester coated Pvc or Fibreglass coated teflon fabric canopy supported by painted or stainless steel frame and stainless steel tie rods.

or

Pressed formed aluminium sheet canopies supported by painted or stainless steel frame and stainless steel tie rods.

(31) Windows

See Schedule of Finishes below.

All shopfronts to be fitted with "Visiguard" or similar roller shutters mounted behind facade.

(41) External Wall Finishes

See Schedule of Finishes below.

(42) Internal Wall Finishes

Gypsum plaster or dry lining

or

Fairfaced concrete blockwork to receive occupier / tenant's own finishes and fit-out.

(45) Ceiling finishes

Gypsum plaster or plasterboard and skim

or

Fairfaced concrete structure to receive occupier / tenant's own finishes and fit-out.

(47) Roof Finishes

See Schedule of Finishes below.

(52) Drainage and Refuse Disposal

Drainage - see Engineer's drawings.

Refuse Disposal - To be carried out by a private company as part of the management of the development.

(57) Ventilation

Each habitable room will be provided with one permanent ventilator providing at least 6500 sq.mm. free area.

The Mechanical Services Installation will comprise the provision of low temperature hot water boiler plant to provide the primary heating medium for fabric heating, supply ventilation/air conditioning plant and hot water requirements of public areas, retail units and office accommodation.

The boiler plant will be dispersed as required. The boiler plant will be suitable for firing on oil or natural gas, a decision on which will be made as the design process develops. Heating and chilled water distribution pipework will be run in mild steel pipework, medium grade to BS 1387: 1987.

Mechanical ventilation/air conditioning plant will be located in plantrooms below roof level and will be located as close as possible to the mechanically ventilated areas. Toilet areas, wherever possible, will be naturally ventilated. Where this is not feasible, local ducted extract systems with duty/standby fans will be provided.

Air conditioning chiller plant where required, will be located at roof level, as close as possible to the point of use and with due consideration being given to minimising plant noise levels.

Cold water storage will be provided at high level. storage capacity will be adequate to meet the minimum hot and cold water requirements of the development, required by Dublin County Council.

A separate Water Storage facility will be provided for sprinkler systems where these systems are provided.

A pressurised mains water system will be provided to serve first aid fire hose reels and mains water to high level cold water storage tanks. Water services distribution systems will be run in light gauge copper tube to IS 238 and BS 2871.

A mains water supply and natural gas supply will be provided to each retail unit.

Covered car parking areas will be naturally ventilated where possible. Where adequate natural ventilation is not feasible, mechanical ventilation will be provided to a level of 6 - 10 air changes per hour by a ducted, duty/standby extract system. Extract ducting will be arranged to allow 2/3 of the air to be extracted at

low level and 1/3 at high level. All ventilation duct work will be in mild steel and galvanised to HVCA DW/142.

All work will be carried out in accordance with the relevant safety regulations and particularly in accordance with the Health and Welfare at Work Act 1989.

The installation will comply with all relevant and statutory instruments and regulations and in particular the following:

- (i) Fire Services Act 1981
- (ii) Proposed Building Regulations
- (iii) Relevant Irish Standards, British Standards and Codes of Practice

The entire mechanical services installation will be designed in accordance with the requirements of the Chartered Institution of Building Services Engineer (C.I.B.S.E.) Guide 1986.

(61/63)Electrical Installations

The electrical services installation will comprise the provision of an electricity centre, main distribution cabling and switchgear, power distribution services, lighting services, communication services, transport services (including lifts) and protective services.

All work will be carried out in accordance with relevant safety regulations and particularly in accordance with the Safety Health and Welfare at Work Act 1989.

The installation will comply with all relevant statutory instruments and regulations and in particular with the following:

- (i) Factories (Electricity) Regulations, 1972
- (ii) Fire Services Act, 1981
- (iii) Proposed Building Regulations
- (iv) ETCI National Rules for Electrical Installations.

Apparatus and/or installation will comply with all relevant Irish/British standards and codes of practice and in particular with the following in so far as they apply:

- (i) ETCI Guide to Selection of Electrical Equipment for use in Potentially Explosive Atmosphere.
- (ii) ETCI Code of Practice for the Design, Selection and Erection of Low-voltage Switchgear Assemblies.
- (iii) Irish Standard IS 3217: 1989 "Code of Practice for Emergency Lighting".
- (iv) Irish Standard IS 3218 : 1989 "Code of Practice for Fire Detection and Alarm Systems for Buildings".
- (v) Irish standard IS/EN 81 : Part 1 : 1987 "Safety Rules for the Construction and Installation of Lifts and Services Lifts".

Protective services will comprise, inter alia, an appropriate emergency lighting system in accordance with IS 3217 and an appropriate Fire Detection and Alarm System in accordance with IS 3218.

Upon completion all apparatus systems will be tested and commissioned in accordance with manufacturers and certification in accordance with ETCI National Rules and with the relevant Irish/British standards.

- (30) **Site Enclosures**
See Section 8.0 - Landscaping Details
- (40) **Roads, Paths and Paving**
See Section 8.0 - Landscaping Details
- (70) **Site Fittings**
See Section 8.0 - Landscaping Details
- (90) **Site Works**
See Section 8.0 - Landscaping Details

THE FOREGOING OUTLINE SPECIFICATION IS TABULATED IN ACCORDANCE WITH THE NATIONAL STANDARD BUILDING ELEMENT TABLE.

TALLAGHT HIGH STREET EXTERNAL FINISHES SCHEDULE

Job No. 9115 Date: August 1991
Murray O'Laoire Associates

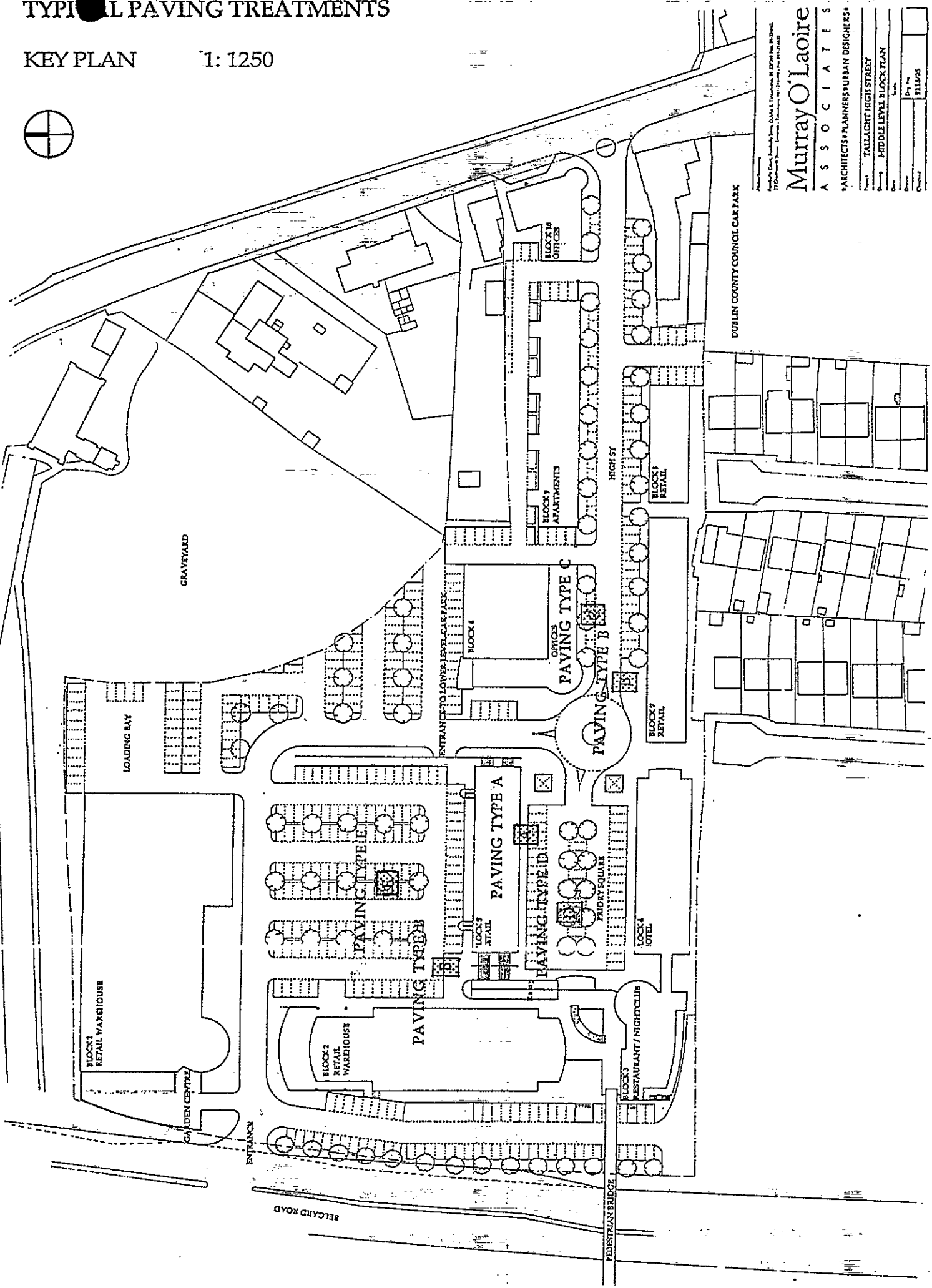
		Block 1	Block 2	Block 3	Block 4	Block 5	Block 6	Block 7	Block 8	Block 9	Block 10
EXTERNAL WALLS	Pigmented Plaster Render				●	●	●	●	●	●	●
	Reconstituted Stone / Stone Cladding		●	●	●	●	●			●	●
	Glazed Curtain Walling	●	●	●		●	●		●		
	Profiled Metal Panels	●	●								
WINDOWS	Synthapulvin coated Aluminium	●	●	●	●	●	●	●	●	●	
	Painted Timber						●	●		●	●
ROOFING	Profiled Metal Roofing				●	●	●	●	●	●	
	Lead or Copper Sheeting			●			●				
	Trocal or similar Flat Roof Membrane	●	●	●			●				
CILLS & HEADS	Precast Concrete	●	●								
	Pressed Metal	●	●				●	●	●	●	
	Reconstituted Stone / Stone			●	●	●	●			●	●
	Ceramic Tiles			6				●		●	
CANOPIES	PVC or Teflon Fabric	●	●								
	Pressed Aluminium	●	●				●				
	Toughened or Wired Glass			●	●	●	●		●	●	●
	Concrete							●			●

8.0 Typical Landscaping Details

TYPICAL PAVING TREATMENTS

KEY PLAN

1:1250



Murray O'Laoire
 ASSOCIATES
 ARCHITECTS PLANNERS URBAN DESIGNERS

Project: **TALLAGHT HIGH STREET**
 Drawing: **MIDDLE LEVEL BLOCK PLAN**
 Date: _____
 Checked: _____
 Drawn: _____
 Date: _____
 P115/15

PAVING TYPE A.
PRIORY SQUARE

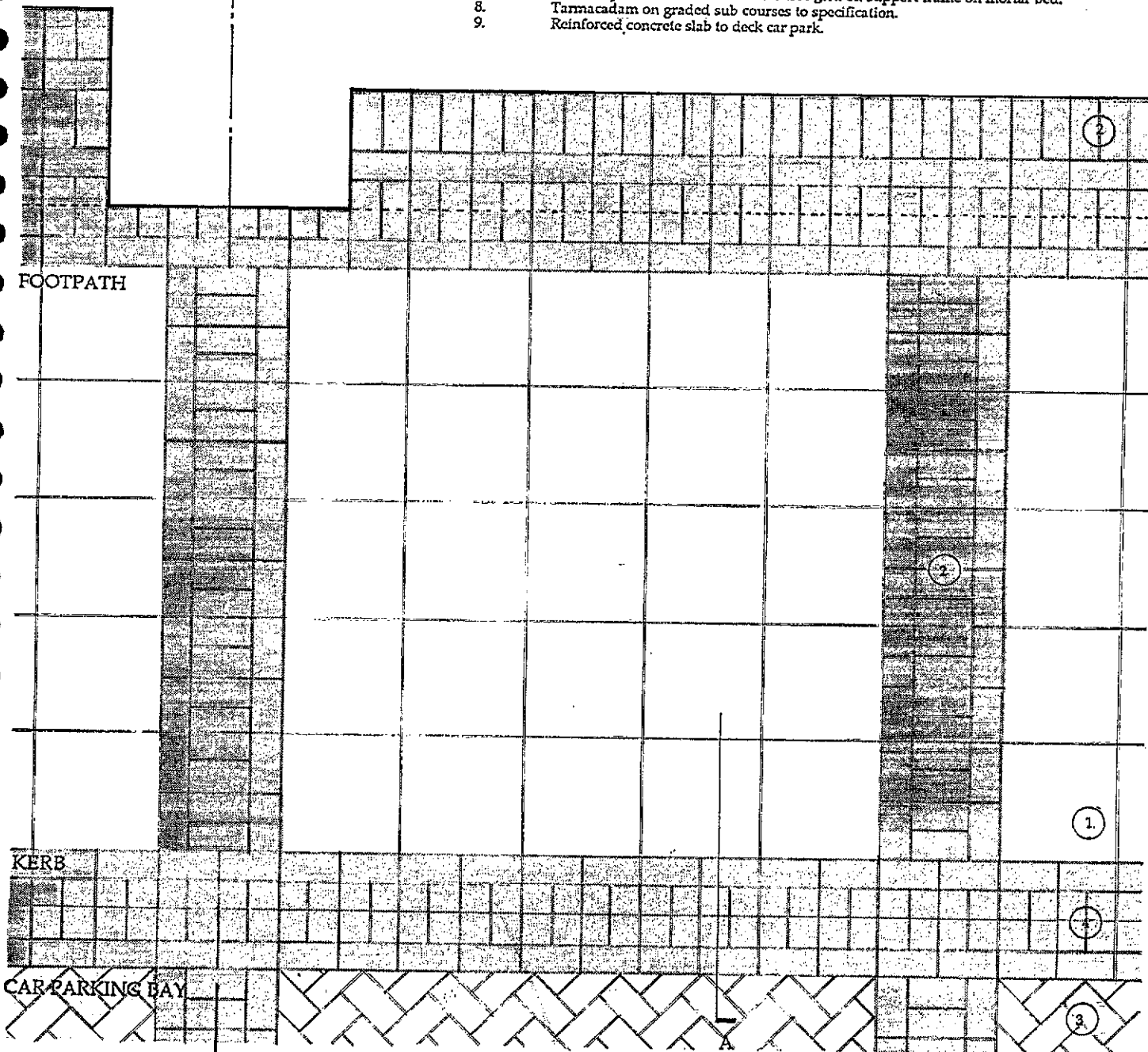
1. 400 x 400 x 50 Roadstone concrete paving flags on equivalent on min. 50 mm blinding on min. 150 mm hardcore sub base laid to fall.
2. 200 x 100 x 80 Tobermore 'Pedespa' concrete paviors or equivalent stretcher bonded on 50 mm blinding on min. 150 mm hardcore sub base laid to fall.
3. Concrete paviors as 2. In 45 degree herring bone pattern.
4. Tobermore 100 mm wide low rise curb set or equivalent on 20 mm mortar bed on concrete base.
5. 200 x 100 x 60 Roadstone cobbleset or equivalent on 20 mm mortar bed on concrete base.
6. 200 x 100 x 700 Roadstone concrete drainage channel or equivalent on 20 mm mortar bed on concrete base.
7. Townscape 'Baltimore' 1200 x 1200 tree grid on support frame on mortar bed.
8. Tarmacadam on graded sub courses to specification.
9. Reinforced concrete slab to deck car park.

BUILDING LINE

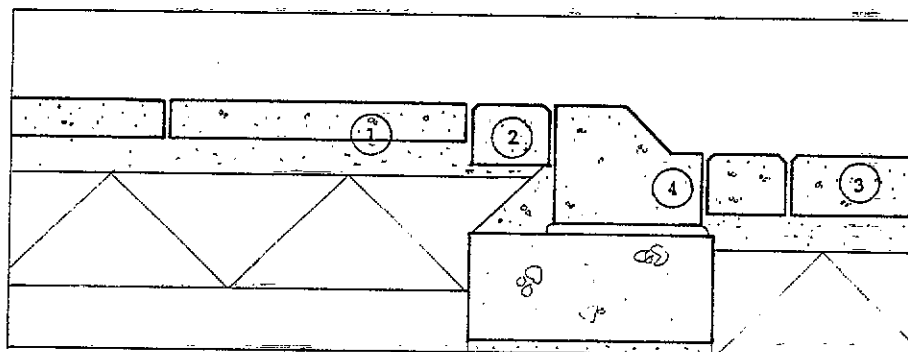
FOOTPATH

KERB

CAR PARKING BAY



PLAN DETAIL 1: 20

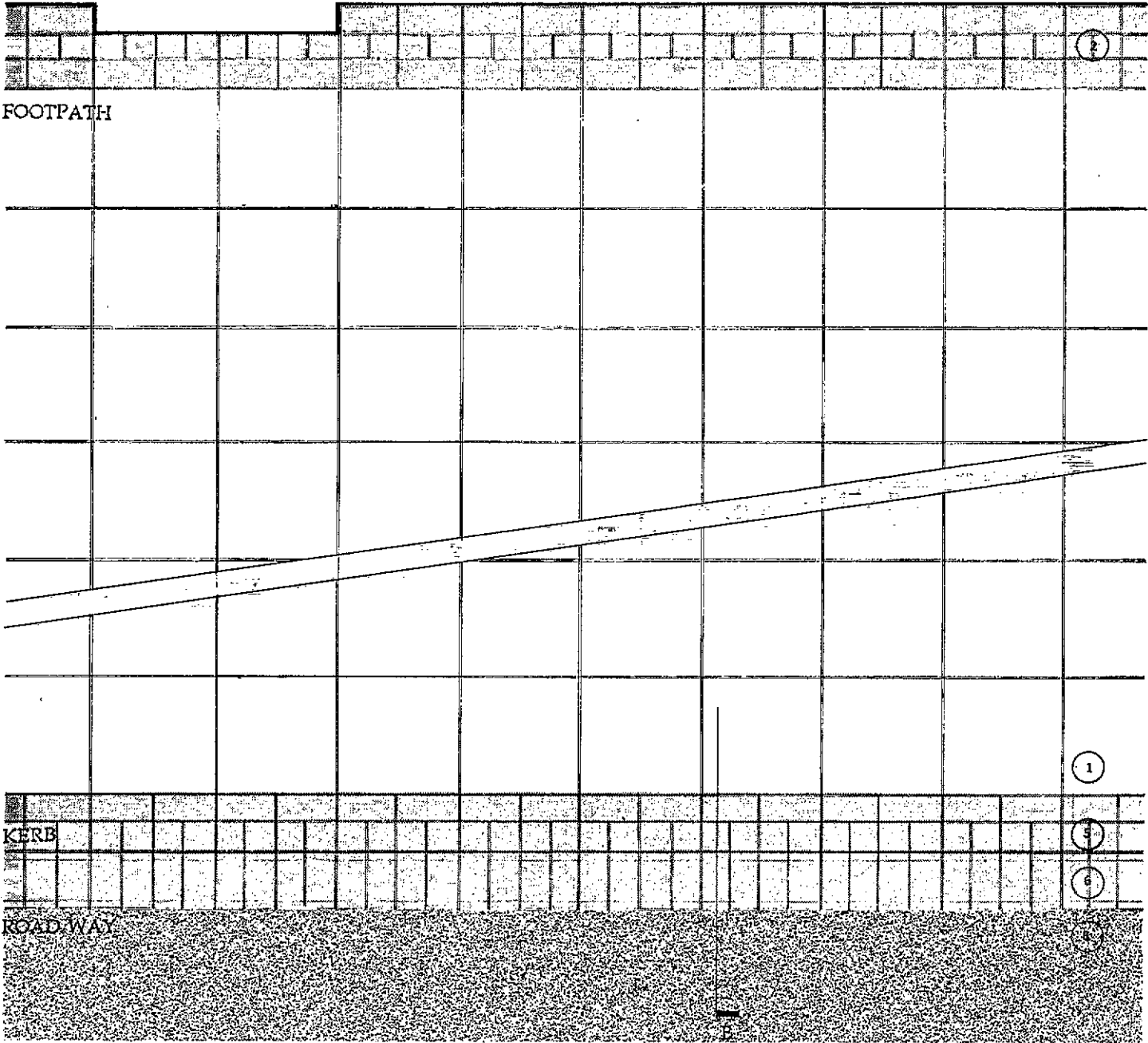


SECTION A DETAIL 1: 10

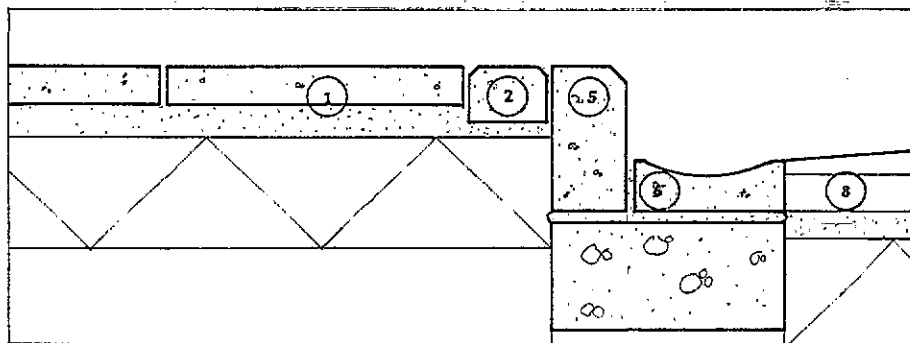
**PAVING TYPE B
HIGH STREET
MAIN CAR PARK**

1. 400 x 400 x 50 Roadstone concrete paving flags on equivalent on min. 50 mm blinding on min. 150 mm hardcore sub base laid to fall.
2. 200 x 100 x 80 Tøbermore 'Pedespa' concrete paviors or equivalent stretcher bonded on 50 mm blinding on min. 150 mm hardcore sub base laid to fall.
3. Concrete paviors as 2. In 45 degree herring bone pattern.
4. Tøbermore 100 mm wide low rise curb set or equivalent on 20 mm mortar bed on concrete base.
5. 200 x 100 x 60 Roadstone cobbleset or equivalent on 20 mm mortar bed on concrete base.
6. 200 x 100 x 700 Roadstone concrete drainage channel or equivalent on 20 mm mortar bed on concrete base.
7. Townscape 'Baltimore' 1200 x 1200 tree grid on support frame on mortar bed.
8. Tarmacadam on graded sub courses to specification.
9. Reinforced concrete slab to deck car park.

BUILDING LINE



PLAN DETAIL 1: 20

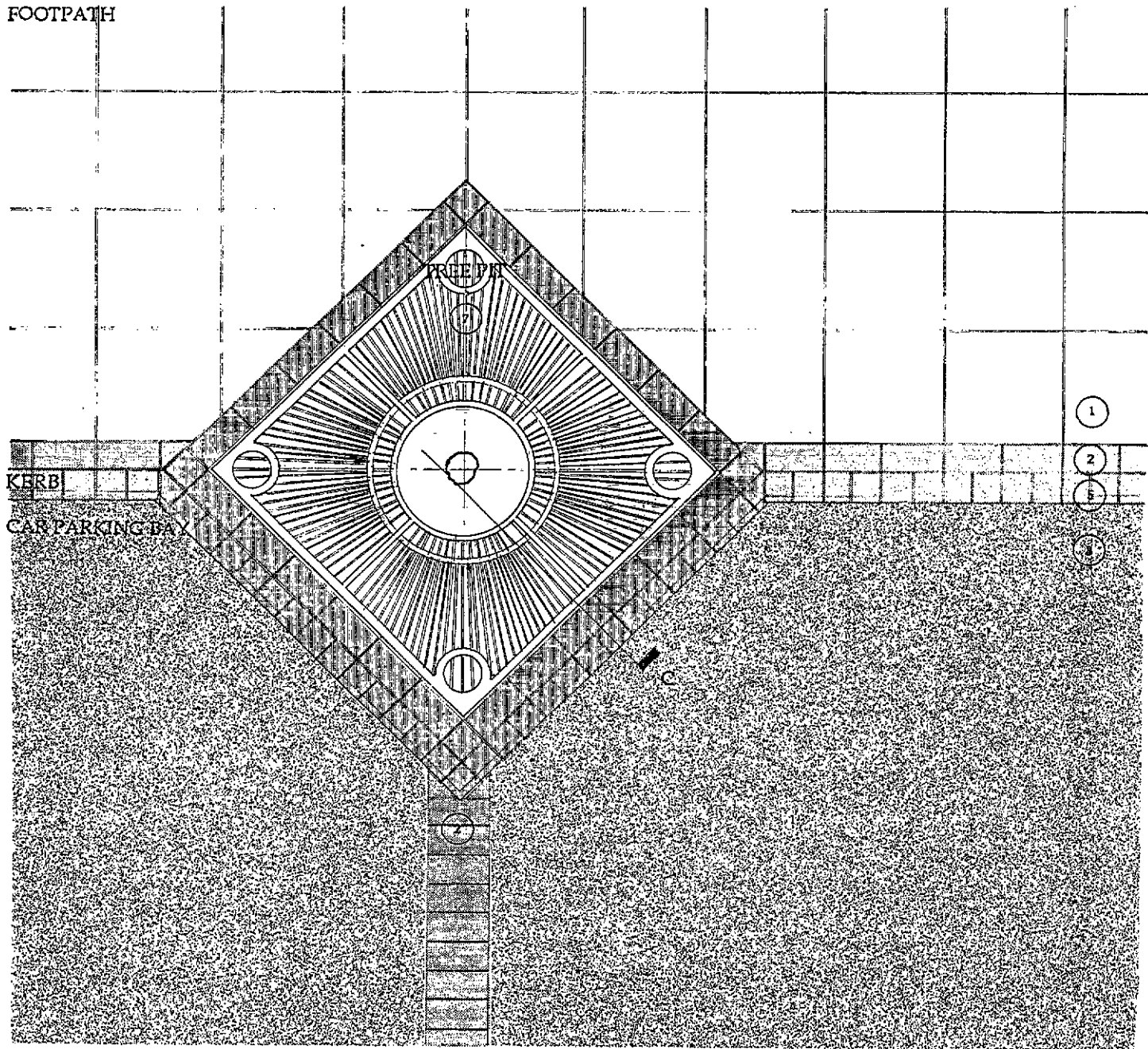


SECTION B DETAIL 1: 10

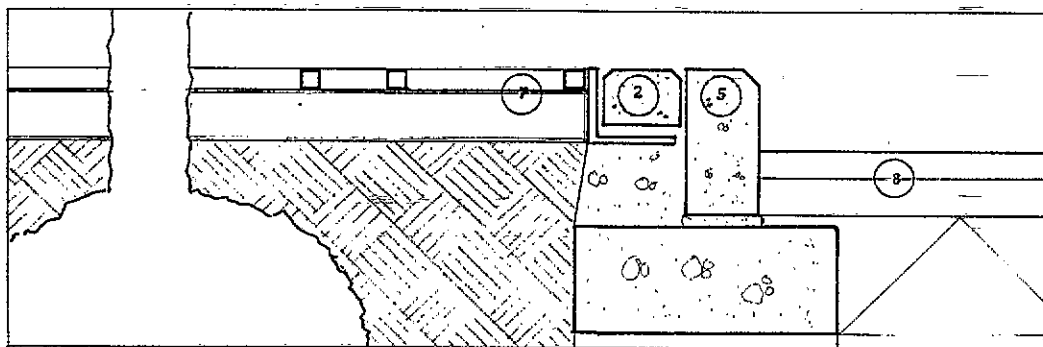
PAVING TYPE C
HIGH STREET

1. 400 x 400 x 50 Roadstone concrete paving flags on equivalent on min. 50 mm blinding on min. 150 mm hardcore sub base laid to fall.
2. 200 x 100 x 80 Tobermore 'Podespa' concrete paviors or equivalent stretcher bonded on 50 mm blinding on min. 150 mm hardcore sub base laid to fall.
3. Concrete paviors as 2. In 45 degree herring bone pattern.
4. Tobermore 100 mm wide low-rise erb set or equivalent on 20 mm mortar bed on concrete base.
5. 200 x 100 x 60 Roadstone cobbleset or equivalent on 20 mm mortar bed on concrete base.
6. 200 x 100 x 700 Roadstone concrete drainage channel or equivalent on 20 mm mortar bed on concrete base.
7. Townscape 'Baltimore' 1200 x 1200 tree grid on support frame on mortar bed.
8. Tarmacadam on graded sub courses to specification.
9. Reinforced concrete slab to deck car park.

FOOTPATH



PLAN DETAIL 1: 20

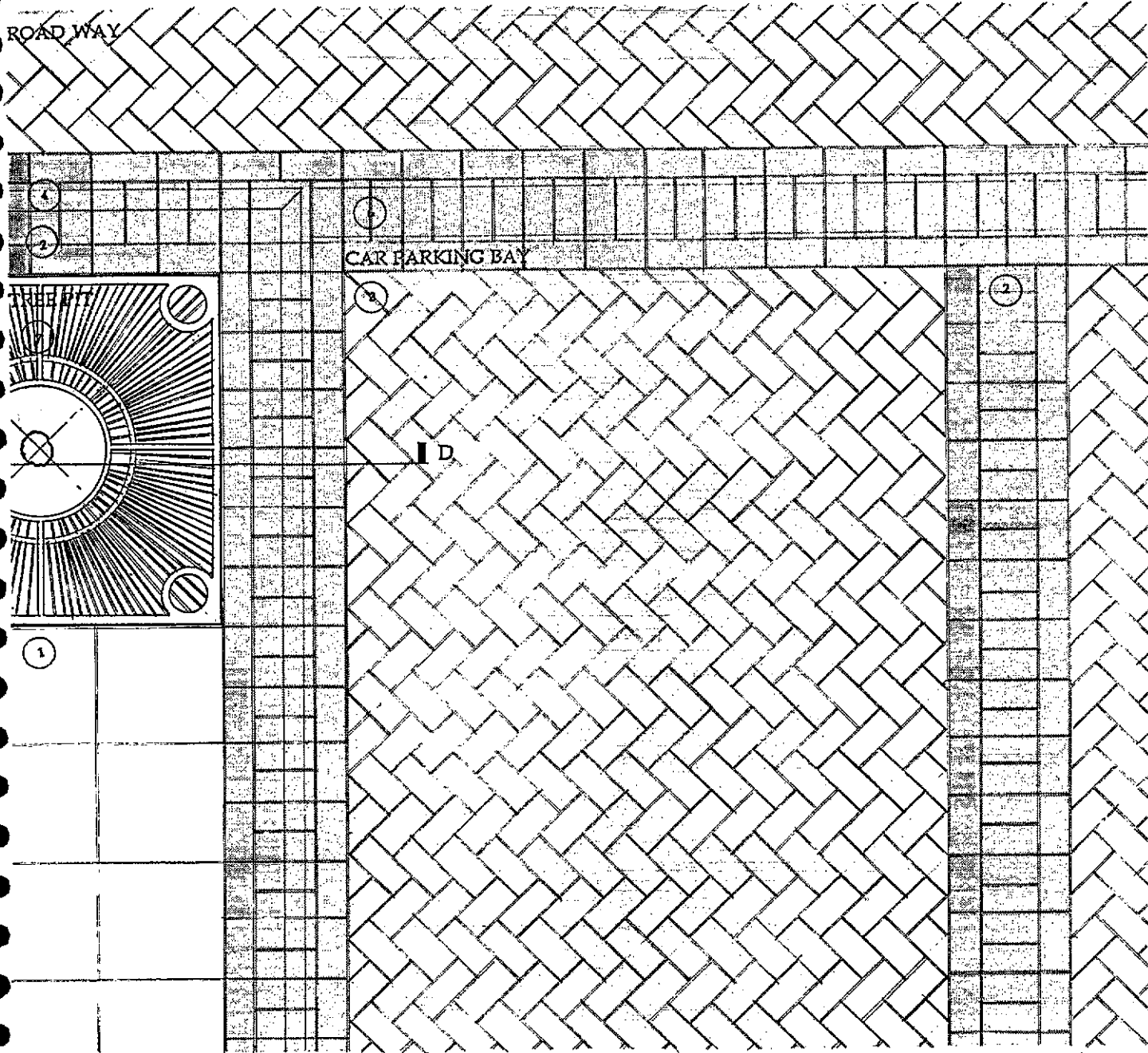


SECTION C DETAIL 1: 10

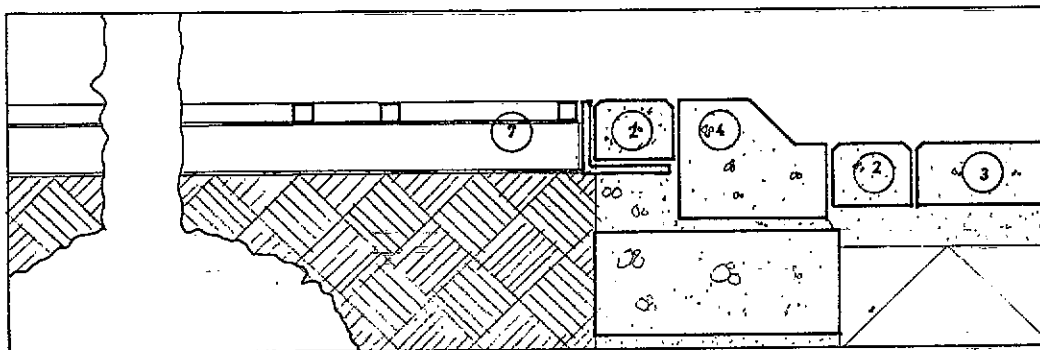
PAVING TYPE D PRIORY SQUARE

1. 400 x 400 x 50 Roadstone concrete paving flags on equivalent on min. 50 mm blinding on min. 150 mm hardcore sub base laid to fall.
2. 200 x 100 x 80 Tobermore 'Pedespa' concrete paviors or equivalent stretcher bonded on 50 mm blinding on min. 150 mm hardcore sub base laid to fall.
3. Concrete paviors as 2. In 45 degree herring bone pattern.
4. Tobermore 100 mm wide low rise erb set or equivalent on 20 mm mortar bed on concrete base.
5. 200 x 100 x 60 Roadstone cobbleset or equivalent on 20 mm mortar bed on concrete base.
6. 200 x 100 x 700 Roadstone concrete drainage channel or equivalent on 20 mm mortar bed on concrete base.
7. Townscape 'Baltimore' 1200 x 1200 tree grid on support frame on mortar bed.
8. Tarmacadam on graded sub courses to specification.
9. Reinforced concrete slab to deck car park.

ROADWAY



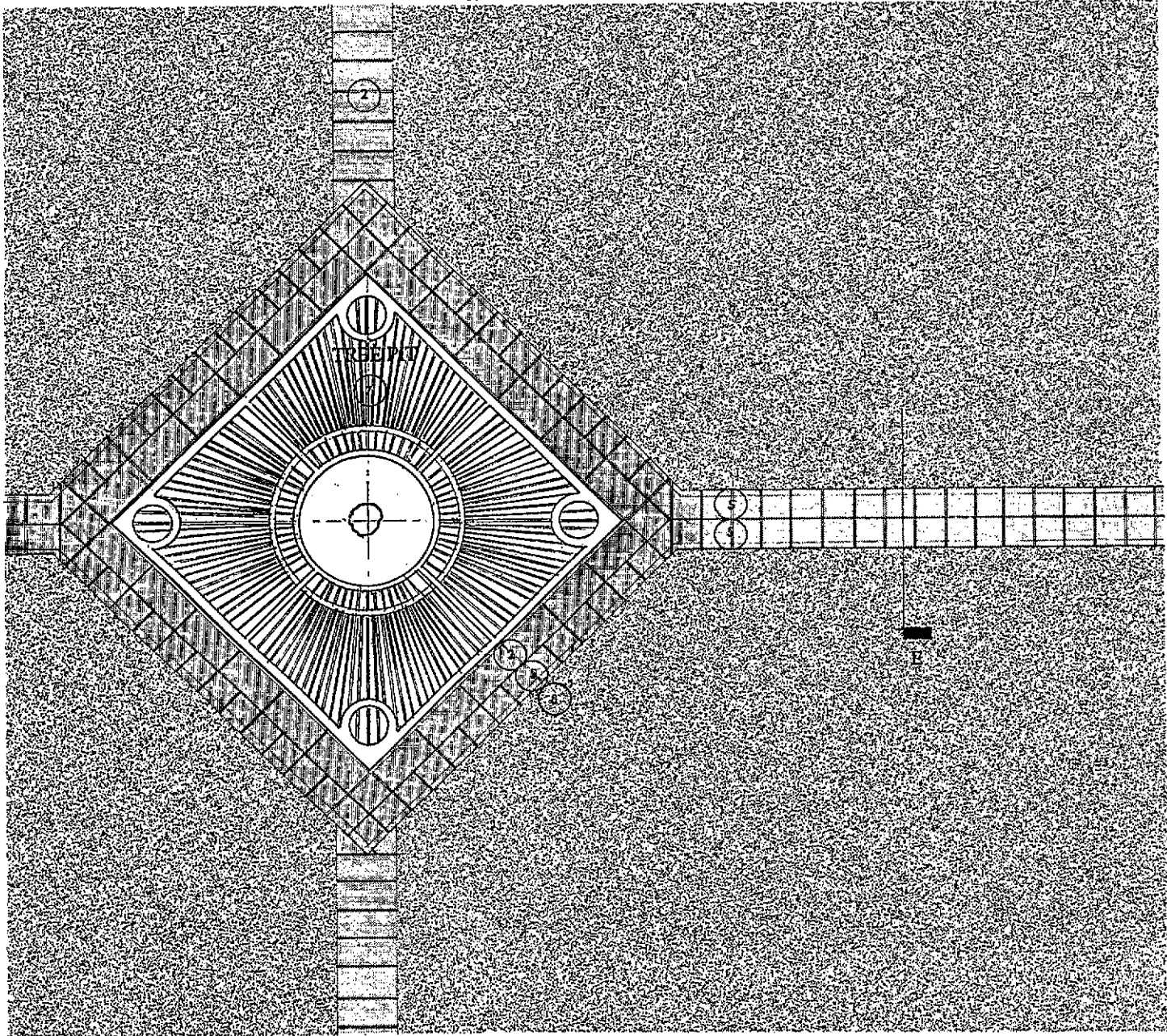
PLAN DETAIL 1: 20



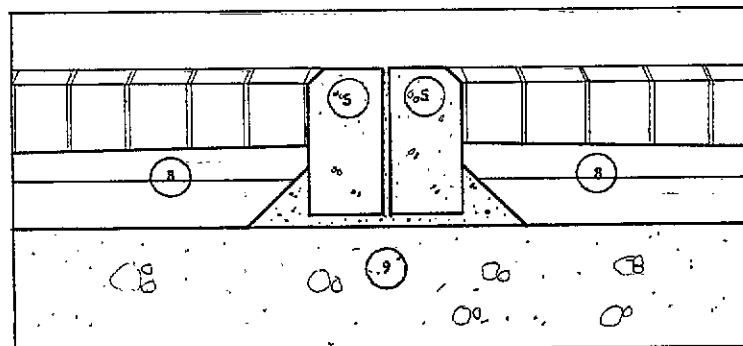
SECTION D DETAIL 1: 10

PAVING TYPE E MAIN CAR PARK

1. 400 x 400 x 50 Roadstone concrete paving flags on equivalent on min. 50 mm blinding on min. 150 mm hardcore sub base laid to fall.
2. 200 x 100 x 80 Tobermore 'Pedespa' concrete paviors or equivalent stretcher bonded on 50 mm blinding on min. 150 mm hardcore sub base laid to fall.
3. Concrete paviors as 2. In 45 degree herring bone pattern.
4. Tobermore 100 mm wide low rise curb set or equivalent on 20 mm mortar bed on concrete base.
5. 200 x 100 x 60 Roadstone cobbleset or equivalent on 20 mm mortar bed on concrete base.
6. 200 x 100 x 700 Roadstone concrete drainage channel or equivalent on 20 mm mortar bed on concrete base.
7. Townscape 'Baltimore' 1200 x 1200 tree grid on support frame on mortar bed.
8. Tarmacadam on graded sub courses to specification.
9. Reinforced concrete slab to deck car park.



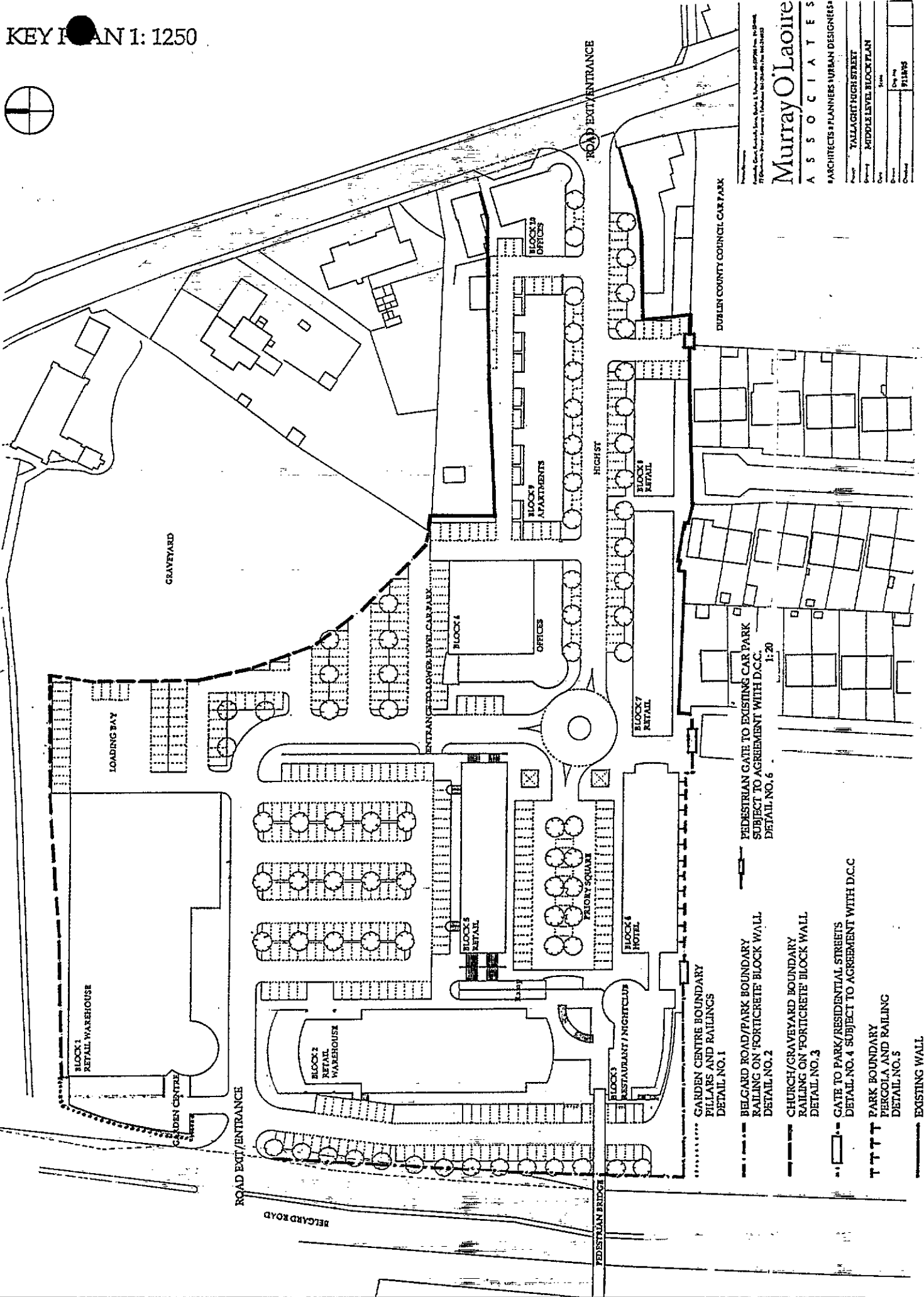
PLAN DETAIL 1: 20



SECTION E DETAIL 1: 10

BOUNDARY TREATMENTS

KEY PLAN 1: 1250

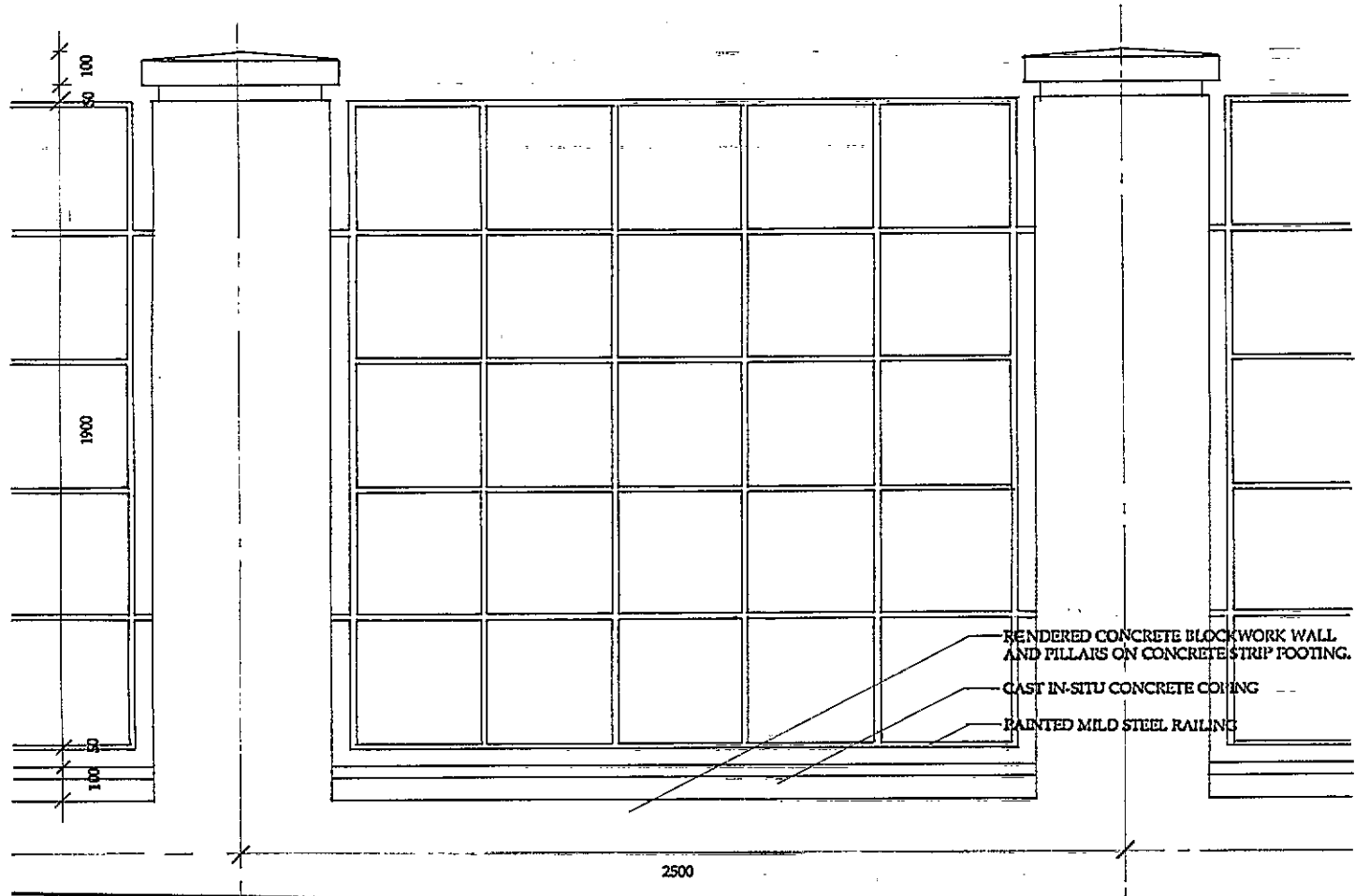


Architects & Planners
 Murray O'Loire
 ASSOCIATES
 ARCHITECTS & PLANNERS
 TALLAGHT HIGH STREET
 MIDDLE LEVEL BLOCK PLAN
 Scale: 1:250
 Date: []
 Drawn by: []
 Checked by: []

- GARDEN CENTRE BOUNDARY PILLARS AND RAILINGS DETAIL NO. 1
- - - BELGARD ROAD/PARK BOUNDARY RAILING ON 'FORTICRETE' BLOCK WALL DETAIL NO. 2
- - - CHURCH/GRAVEYARD BOUNDARY RAILING ON 'FORTICRETE' BLOCK WALL DETAIL NO. 3
- - - GATE TO PARK/RESIDENTIAL STREETS DETAIL NO. 4 SUBJECT TO AGREEMENT WITH D.C.C.
- - - PARK BOUNDARY PERGOLA AND RAILING DETAIL NO. 5
- EXISTING WALL

4.0 Schedule of Accommodation

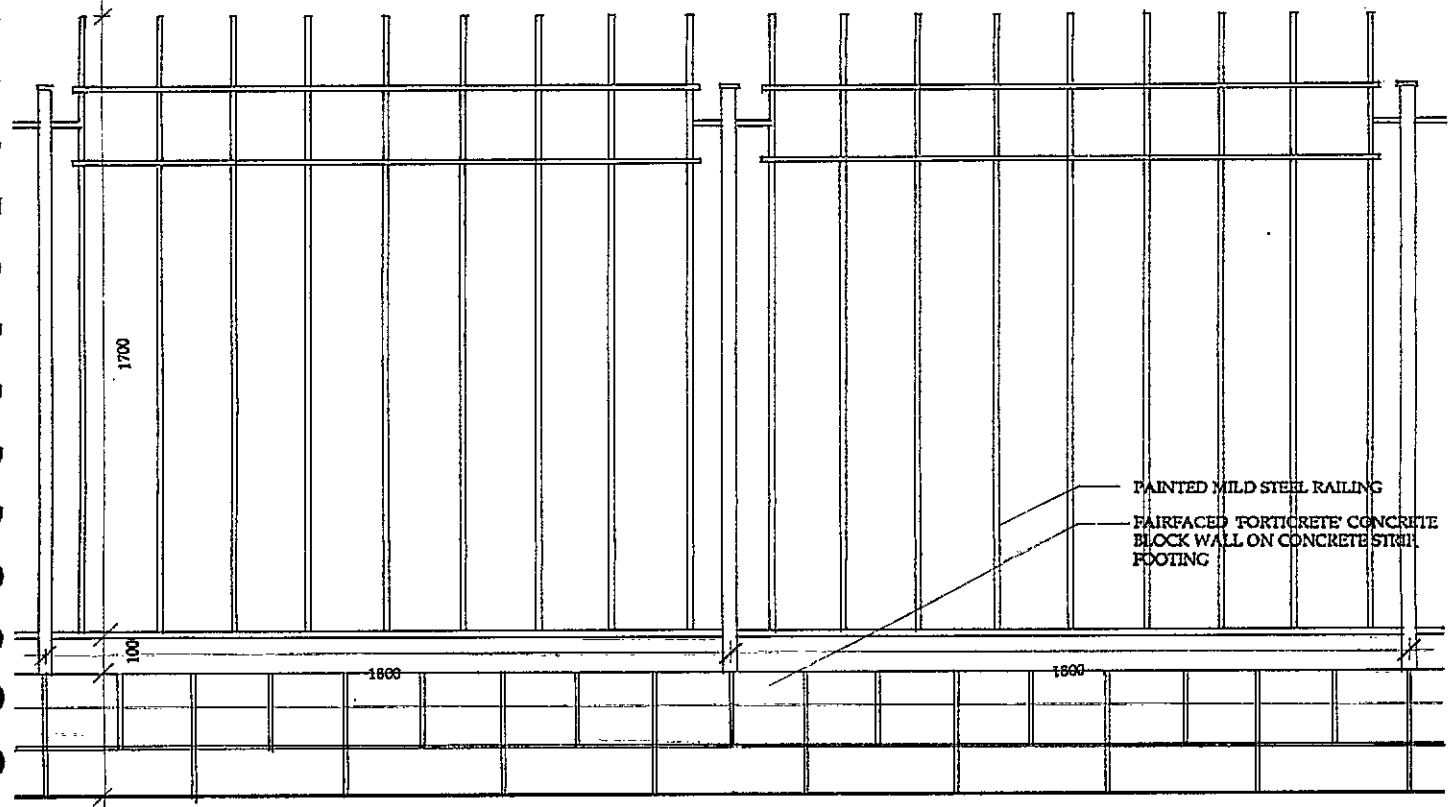
BOUNDARY TREATMENTS



GARDEN CENTRE BOUNDARY
PILLARS AND RAILINGS

DETAIL NO. 1

1:20

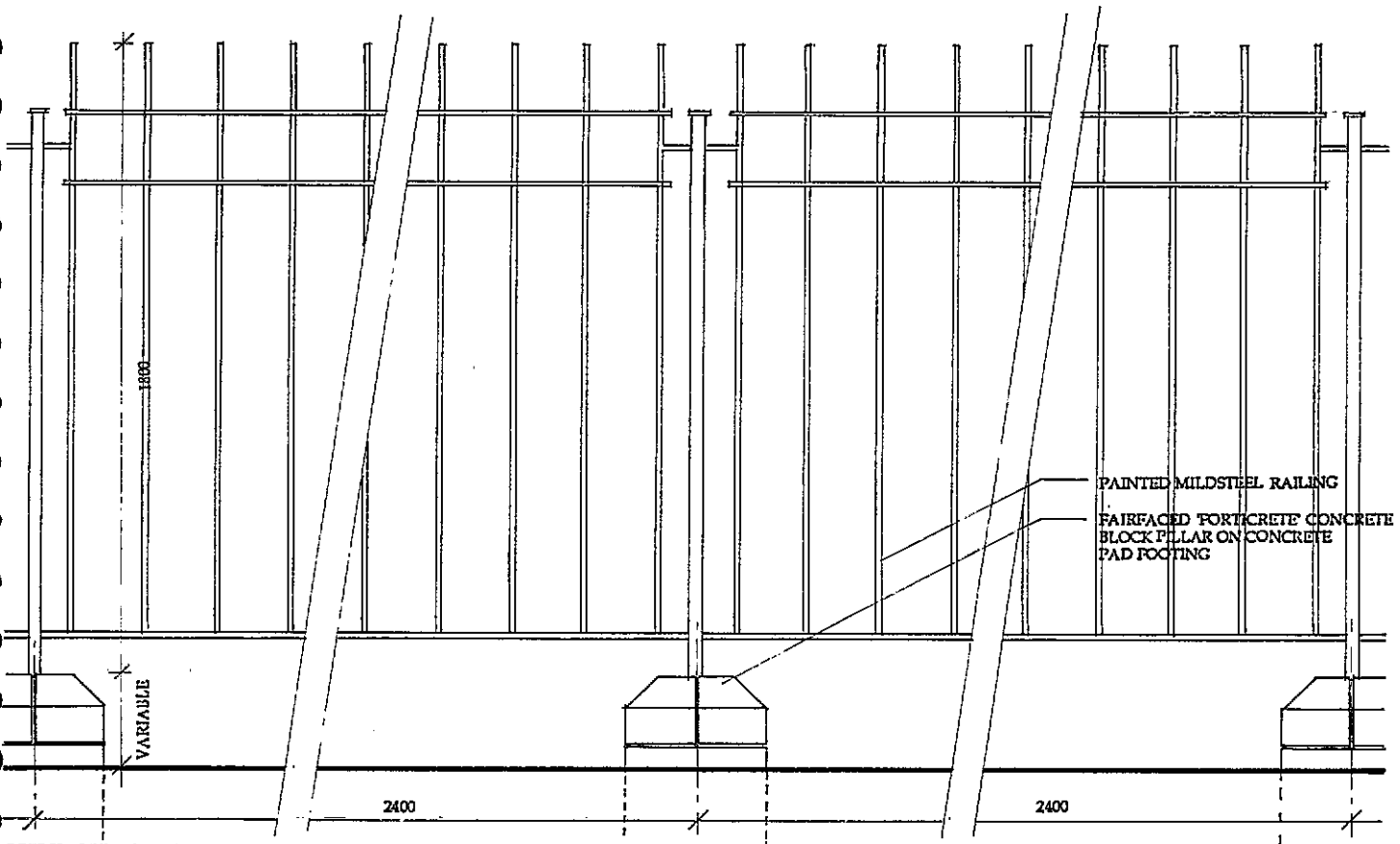


BELGARD ROAD/PARK BOUNDARY
RAILING ON 'FORTICRETE' BLOCK WALL

DETAIL, NO. 2

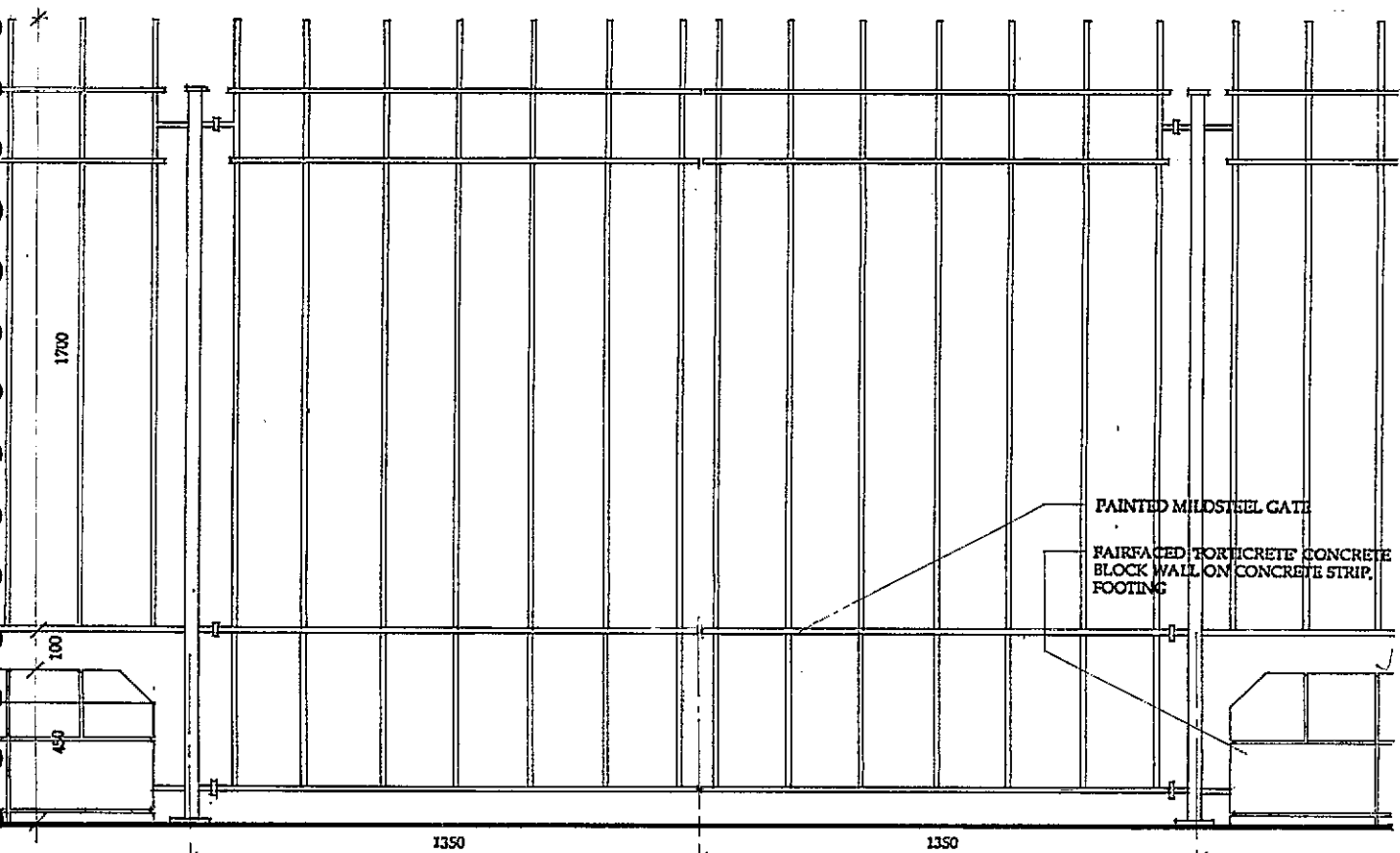
1:20

BOUNDARY TREATMENTS



CHURCH/GRAVEYARD BOUNDARY
RAILING ON 'FORTICRETE' BLOCK PILLARS

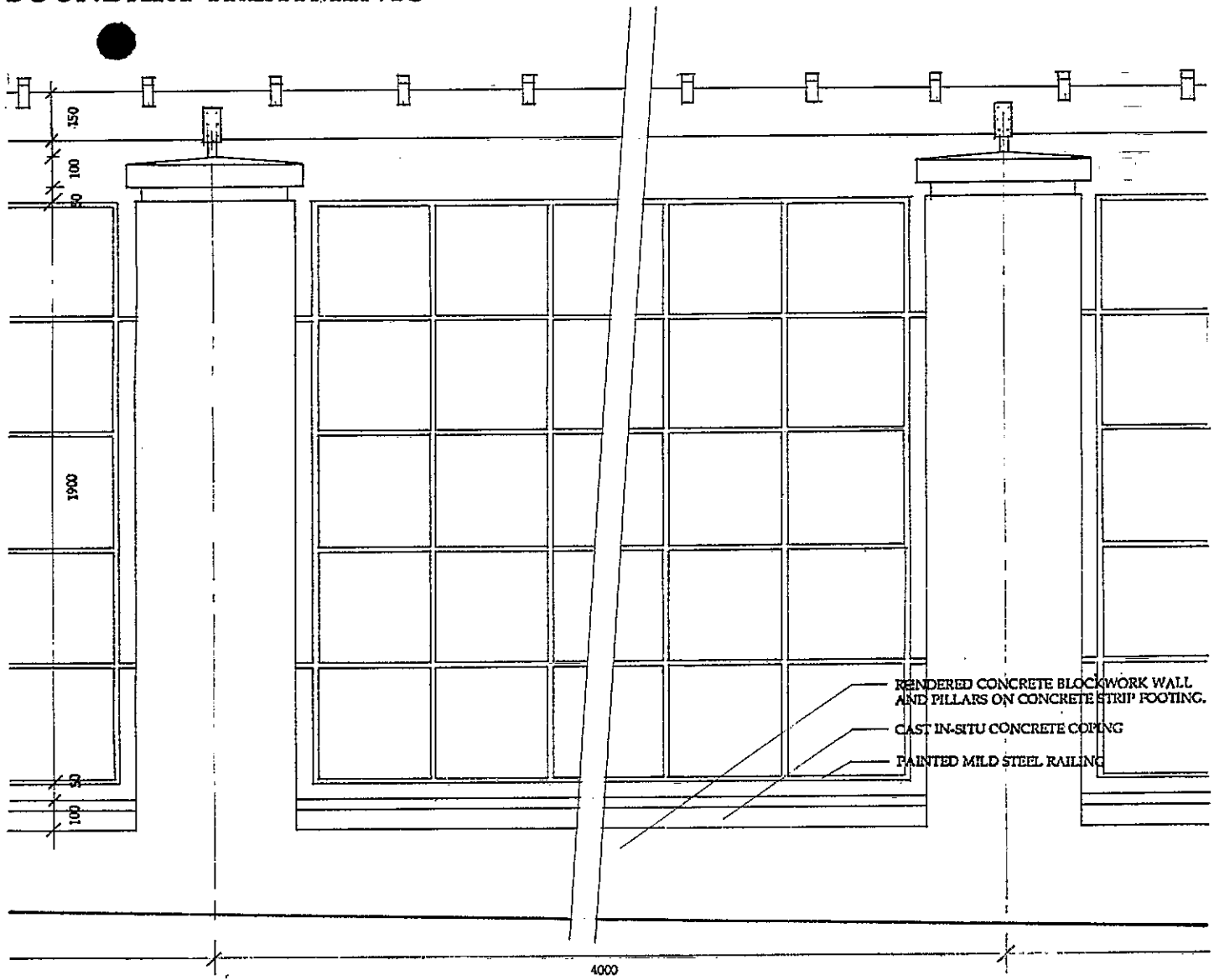
DETAIL NO. 3 1:20



GATE TO PARK/RESIDENTIAL STREETS

DETAIL NO. 4 1:20

BOUNDARY TREATMENTS

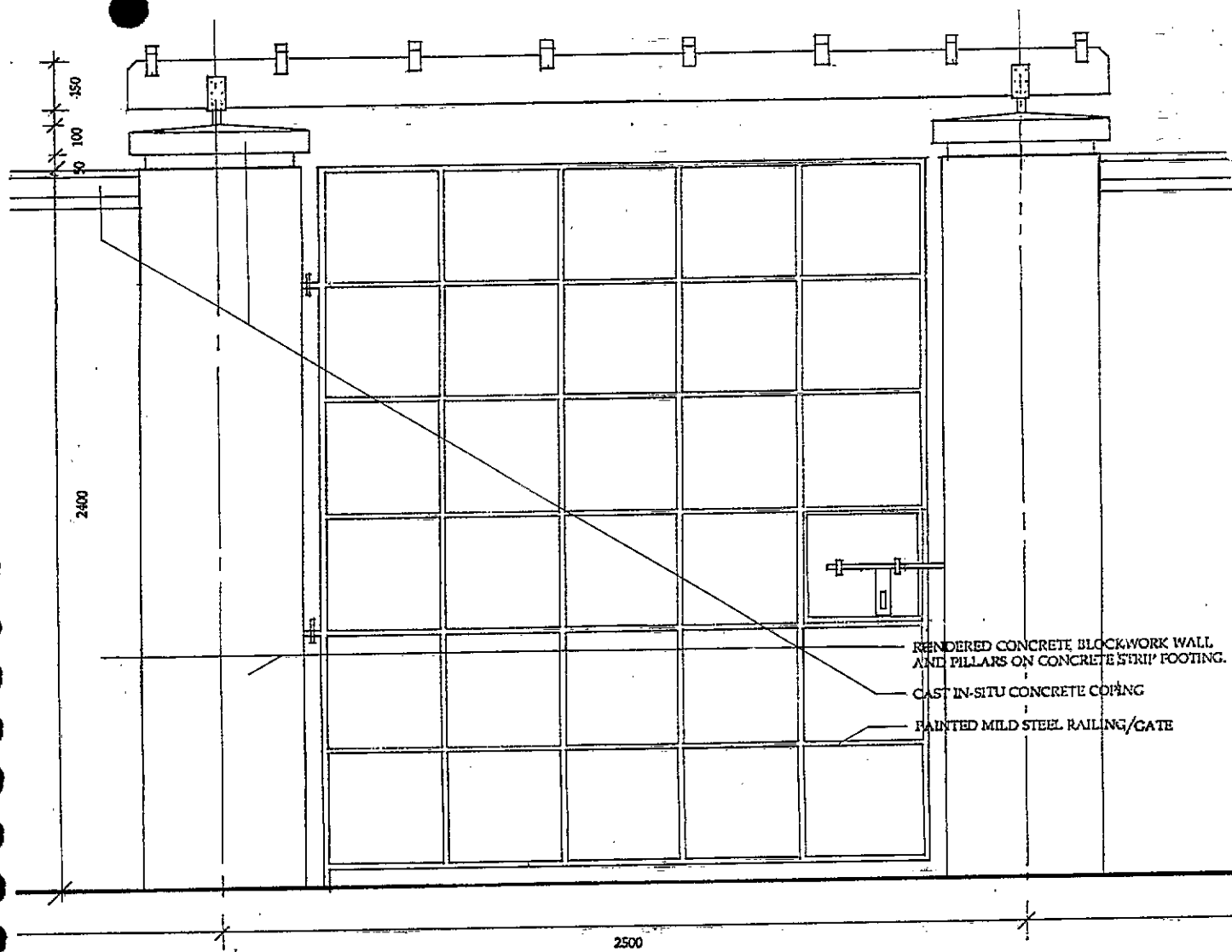


PARK BOUNDARY
PERGOLA AND RAILING

DETAIL NO. 5

1:20

BOUNDARY TREATMENTS



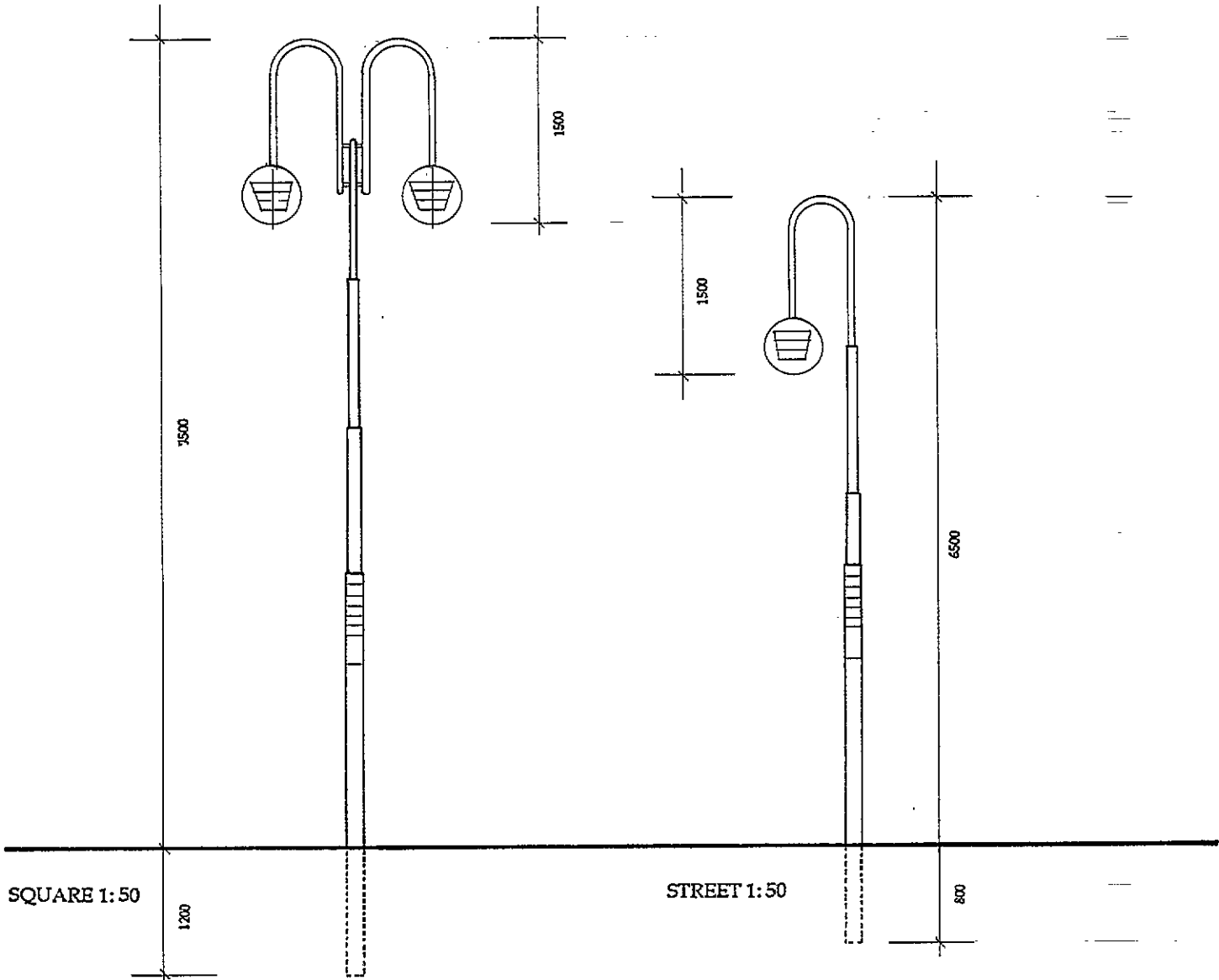
PEDESTRIAN GATE TO EXISTING CAR PARK
SUBJECT TO AGREEMENT WITH D.C.C.

DETAIL NO. 6

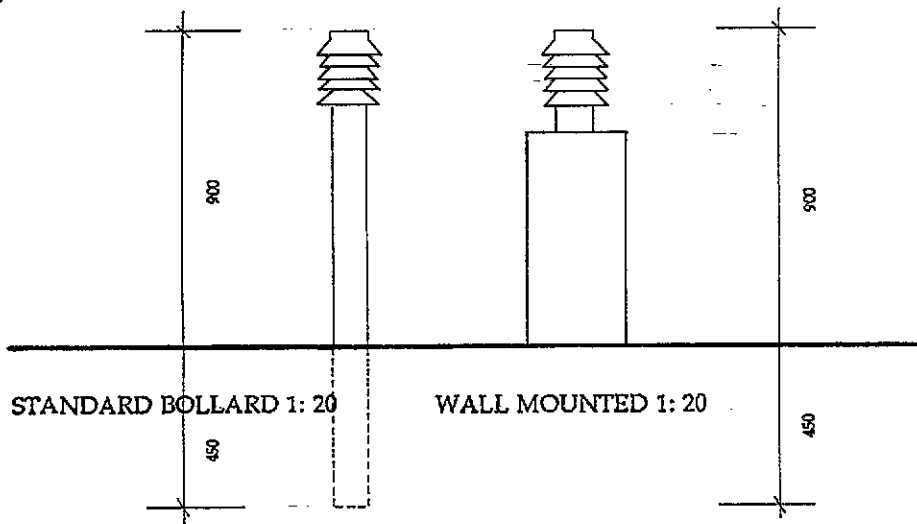
1:20

STREET LIGHTING TYPES

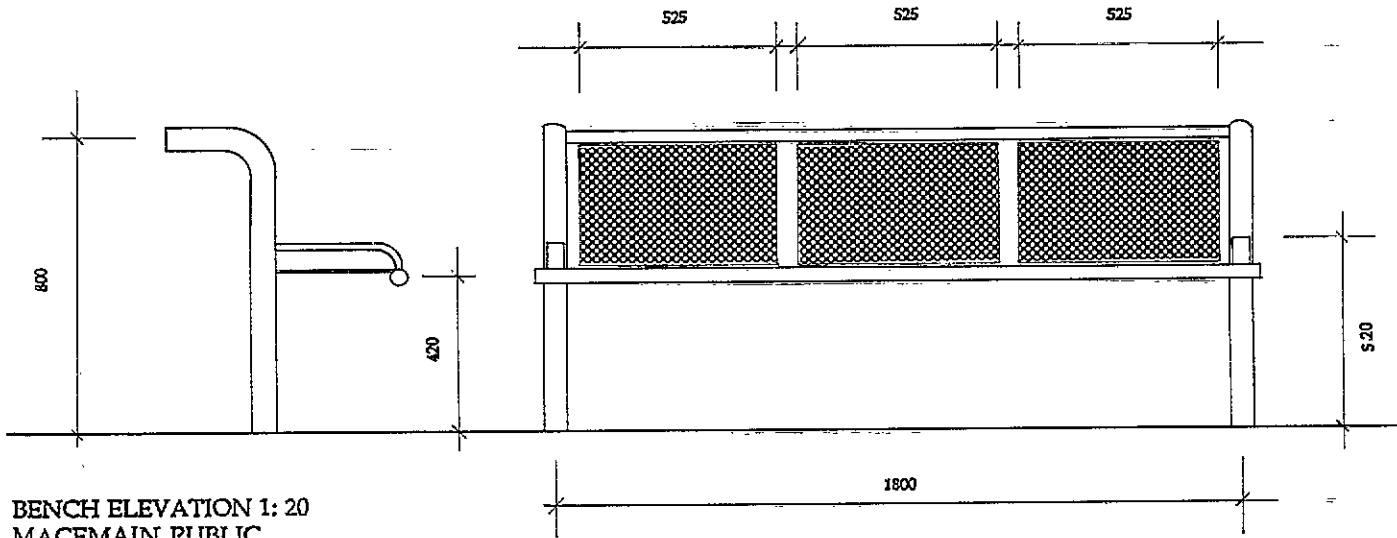
MAST TOP LUMINAIRES - HOFF MEISTER 'ARCOS' RANGE



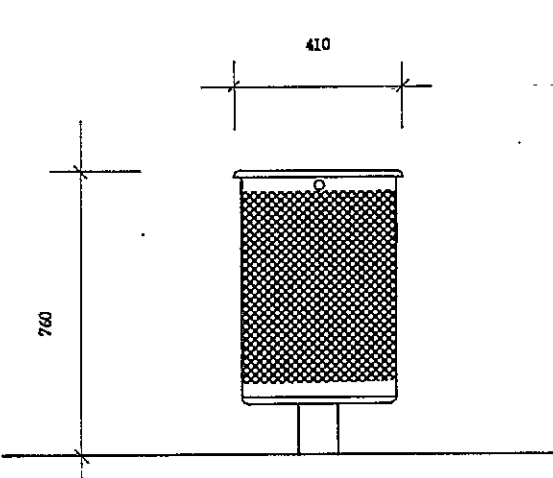
BOLLARD LUMINAIRES - WE-EF 'GTY FITTING



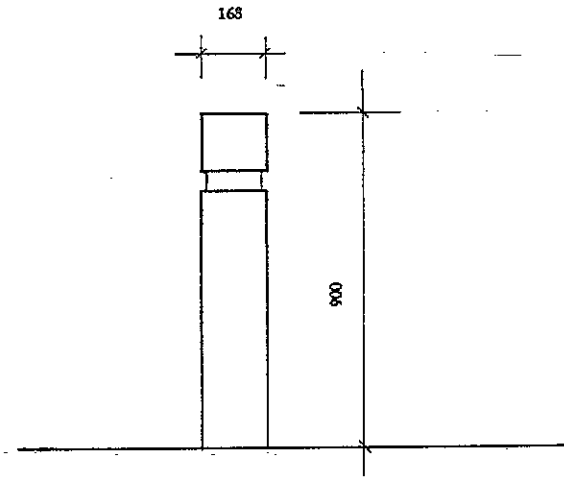
STREET FURNITURE



BENCH ELEVATION 1: 20
MACEMAIN PUBLIC

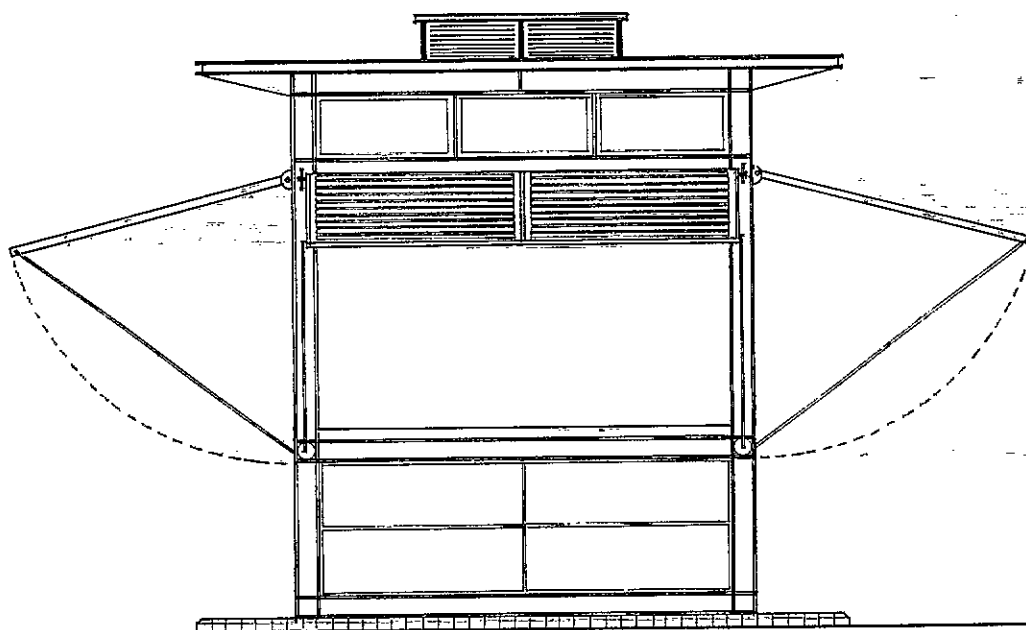


BIN ELEVATION 1: 20
TOWNSCAPE - 'SOVERIGN PEDESTAL'

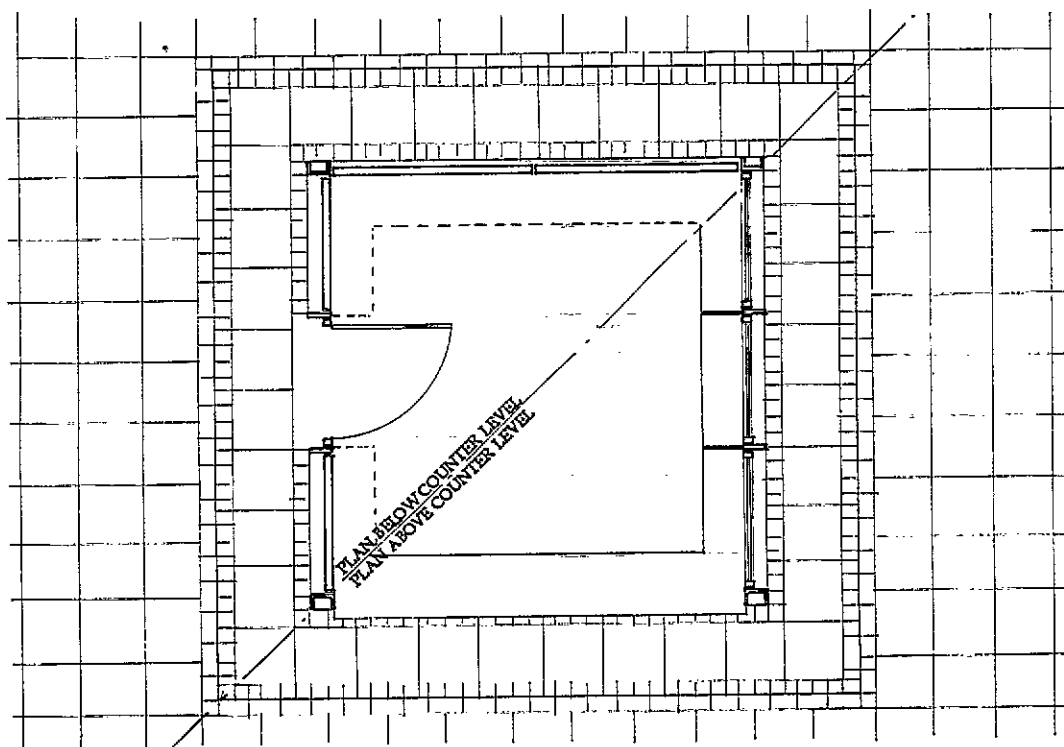


BOLLARD ELEVATION 1: 20
TOWNSCAPE - 'COLDSTREAM'

STREET FURNITURE
VENDING KIOSK



ELEVATION 1: 50



PLAN 1: 50

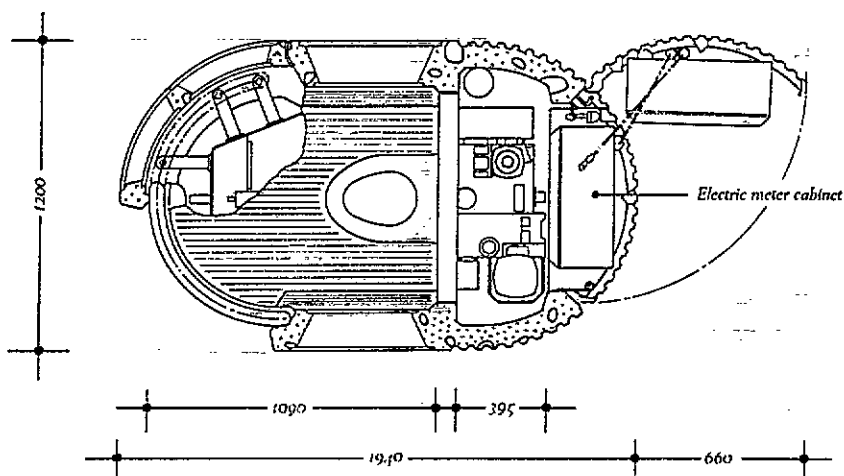
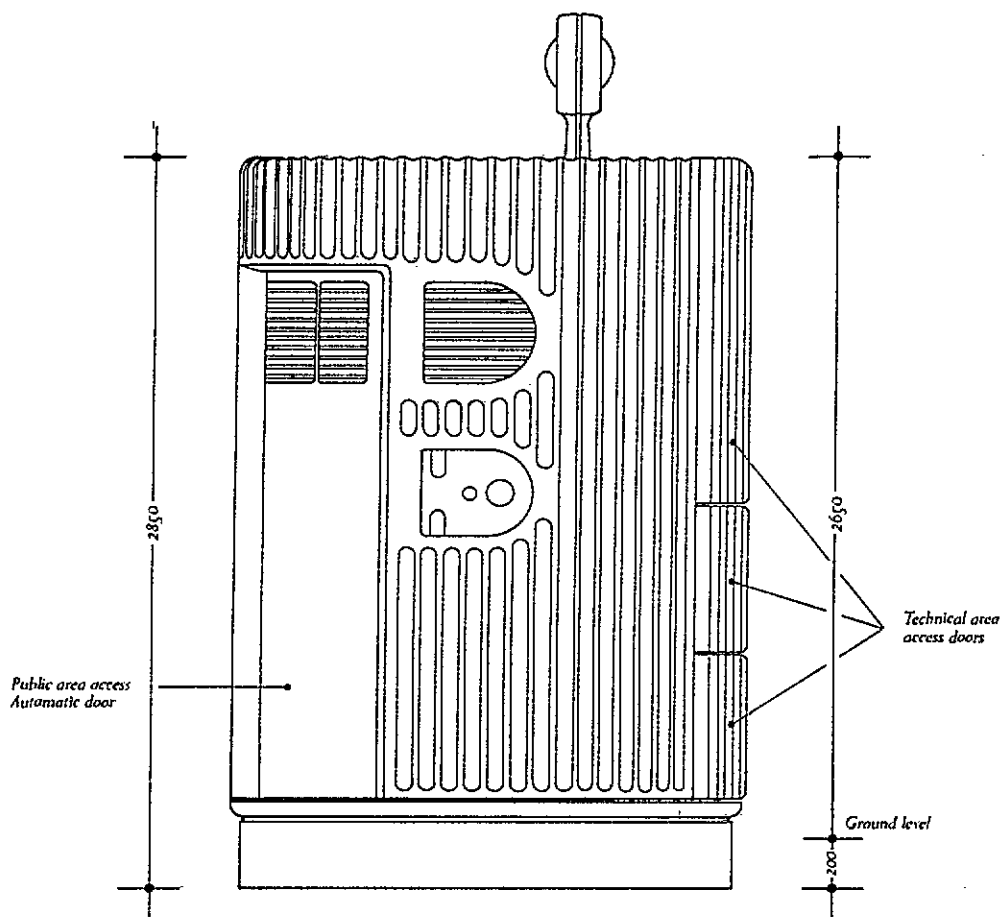
STREET FURNITURE

PUBLIC TOILET

STREET FURNITURE (IRELAND LTD)

MODEL V6

NOT TO SCALE



9.0 Signage Schedule and Typical Details

**SIGNAGE
LOCATION SCHEDULE**

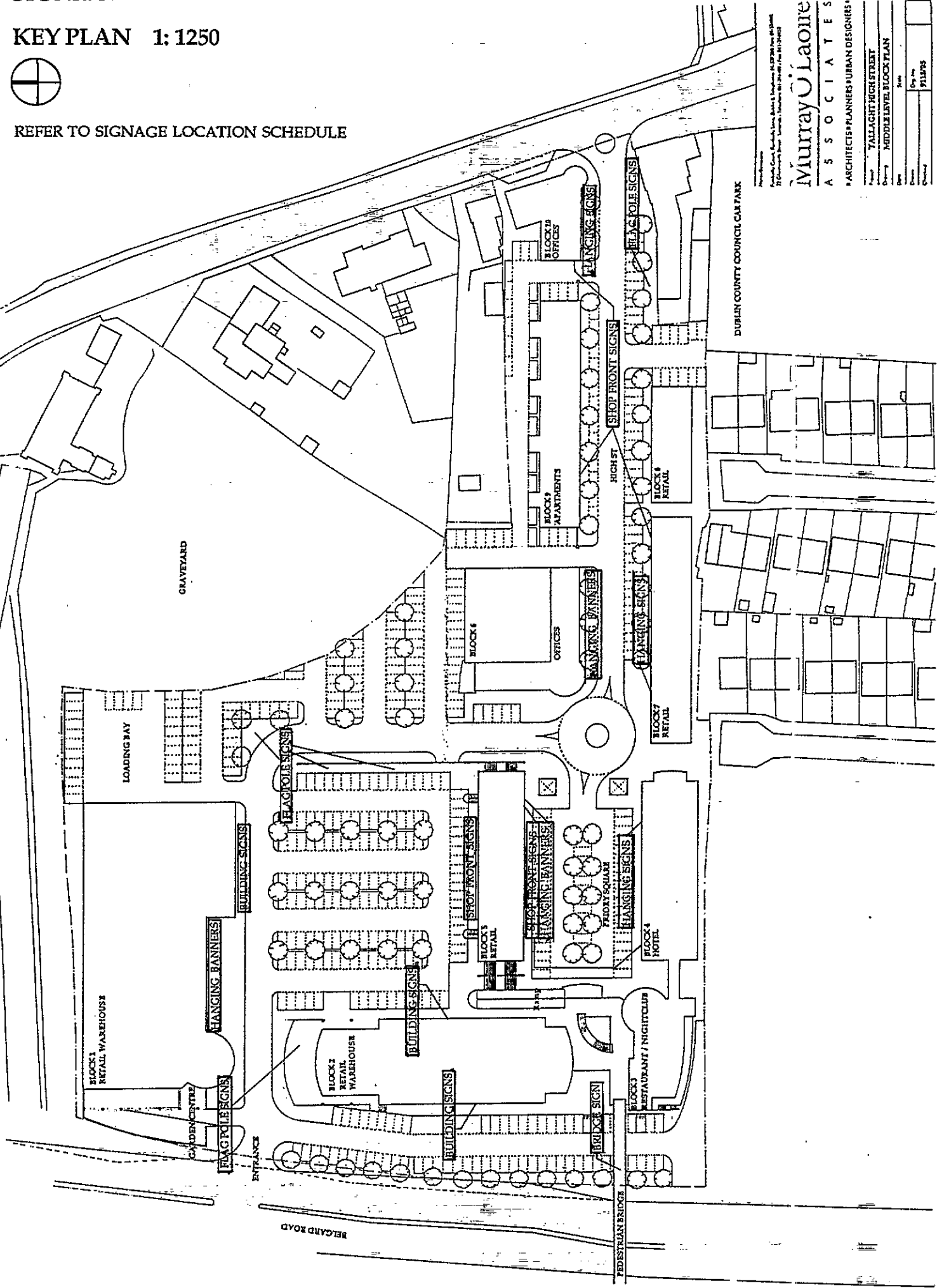
Block	Sign Type						
	Building Sign	Flagpole Signs	Hanging Banner Signs	Hanging Signs	Shopfront Signs	Wall Signs	Bridge Sign
Block 1				●	●	●	
Block 2		●	●	●	●	●	
Block 3	●	●	●		●	●	
Block 4	●	●					
Block 5	●	●	●	●	●	●	
Block 6						●	
Block 7							
Block 8				●	●	●	
Block 9			●			●	
Block 10	●	●	●			●	
Bridge							●

SIGNAGE

KEY PLAN 1:1250



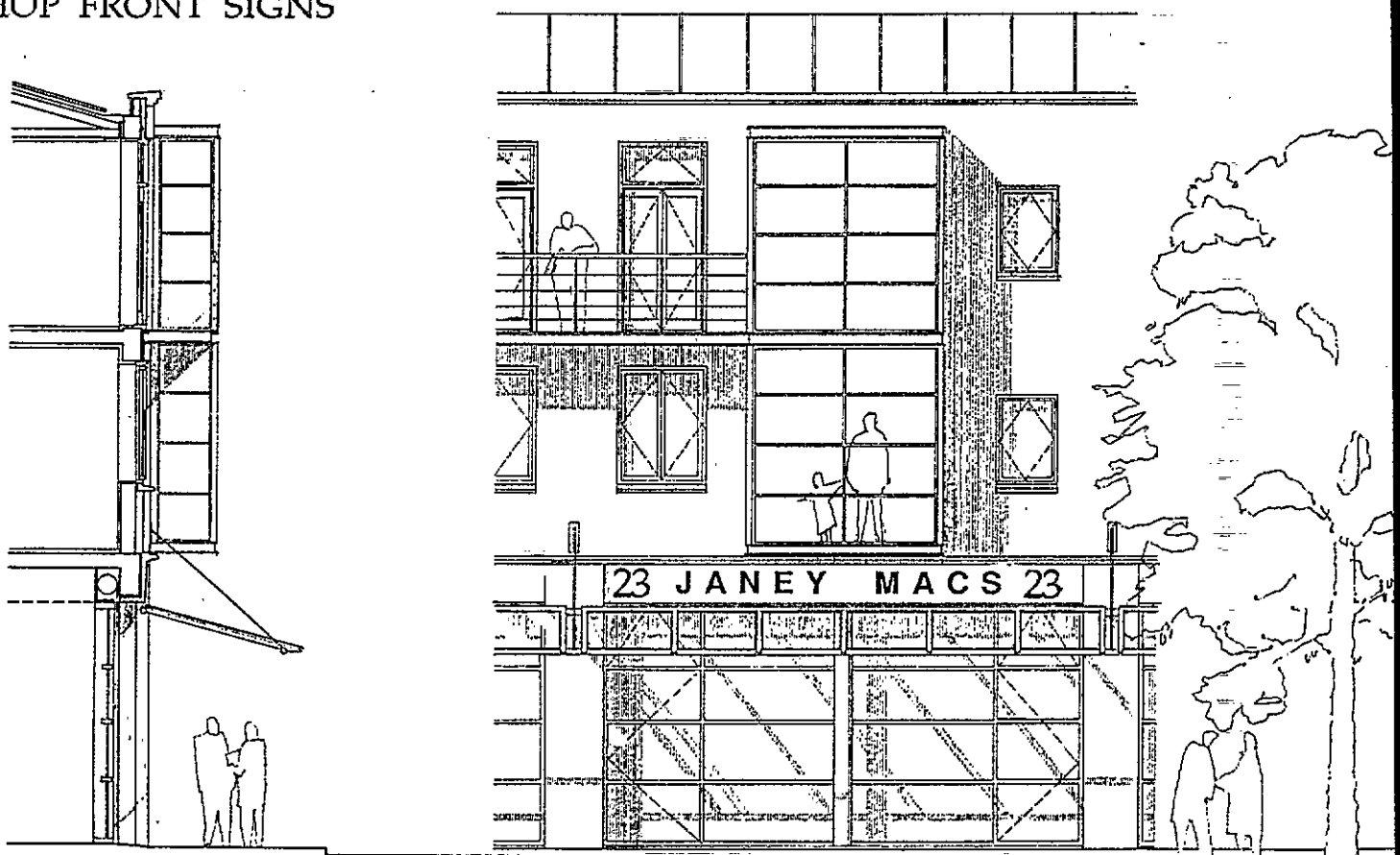
REFER TO SIGNAGE LOCATION SCHEDULE



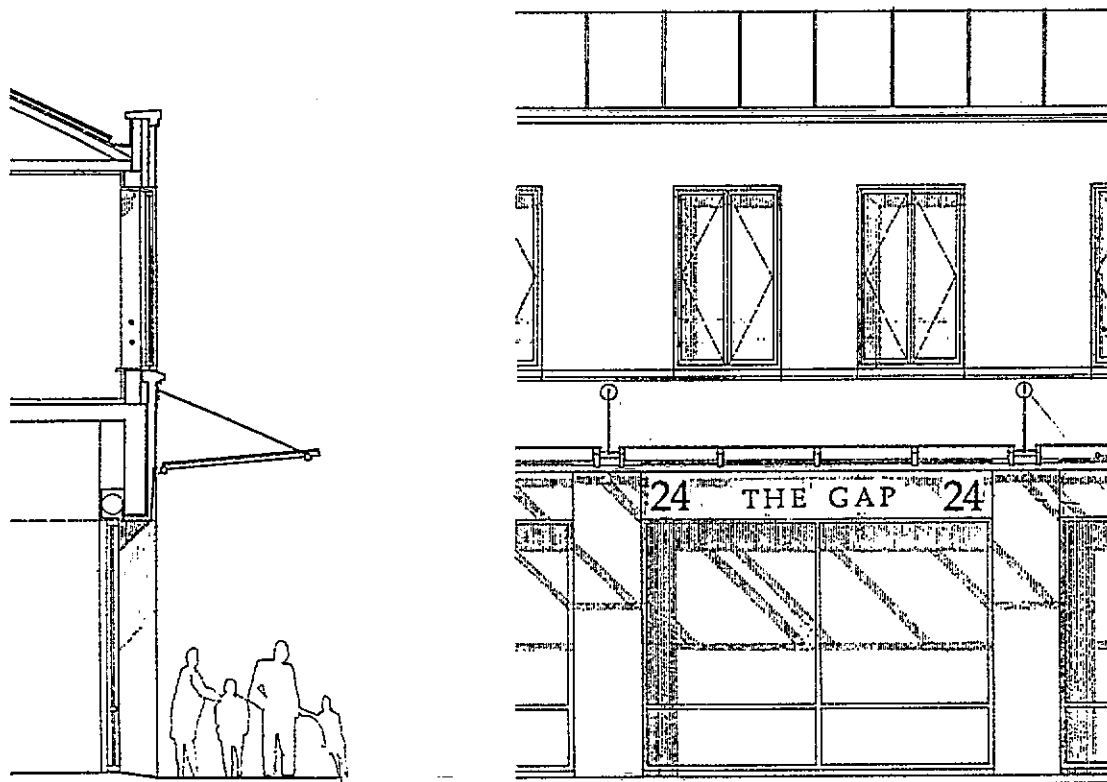
Murray O'Loire
 ARCHITECTS PLANNERS URBAN DESIGNERS
 ASSOCIATES
 TALLAGHT HIGH STREET
 MIDDLE LEVEL BLOCK PLAN
 9119/95

SIGNAGE

SHOP FRONT SIGNS



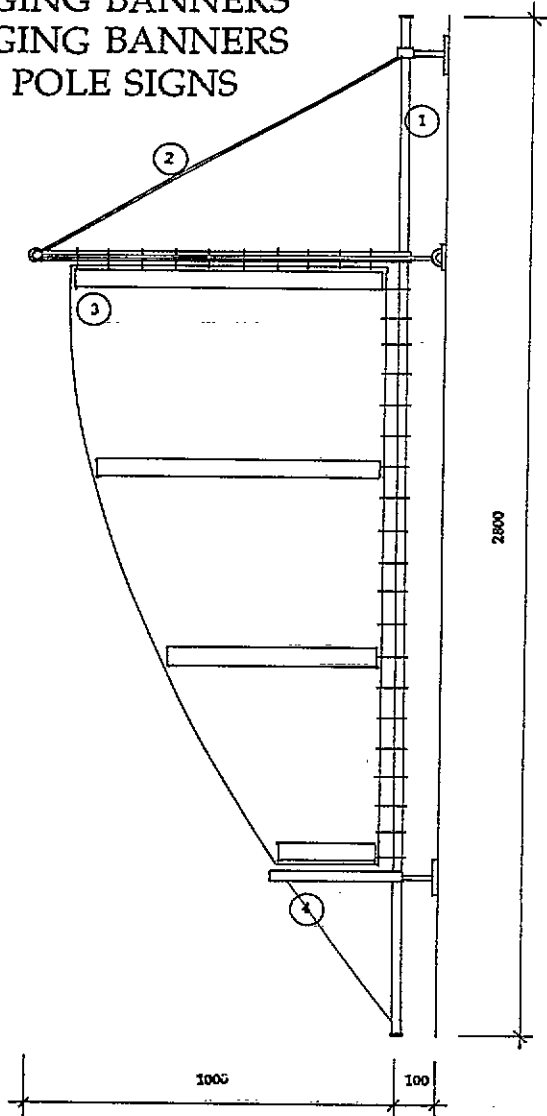
SHOP FRONT ELEVATION & PART SECTION 1: 100



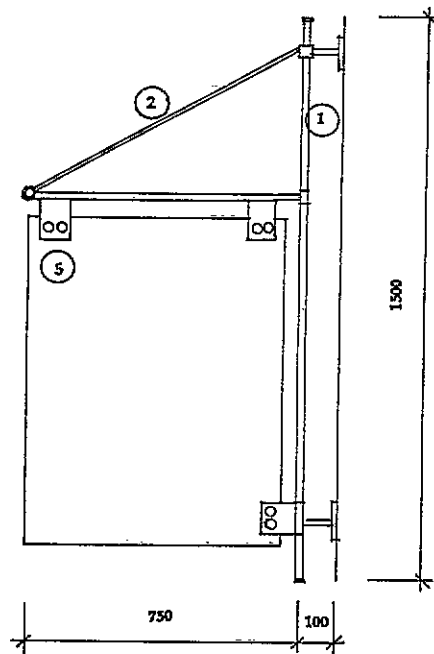
SHOP FRONT ELEVATION & PART SECTION 1: 100

SIGNAGE

HANGING BANNERS HANGING BANNERS FLAG POLE SIGNS

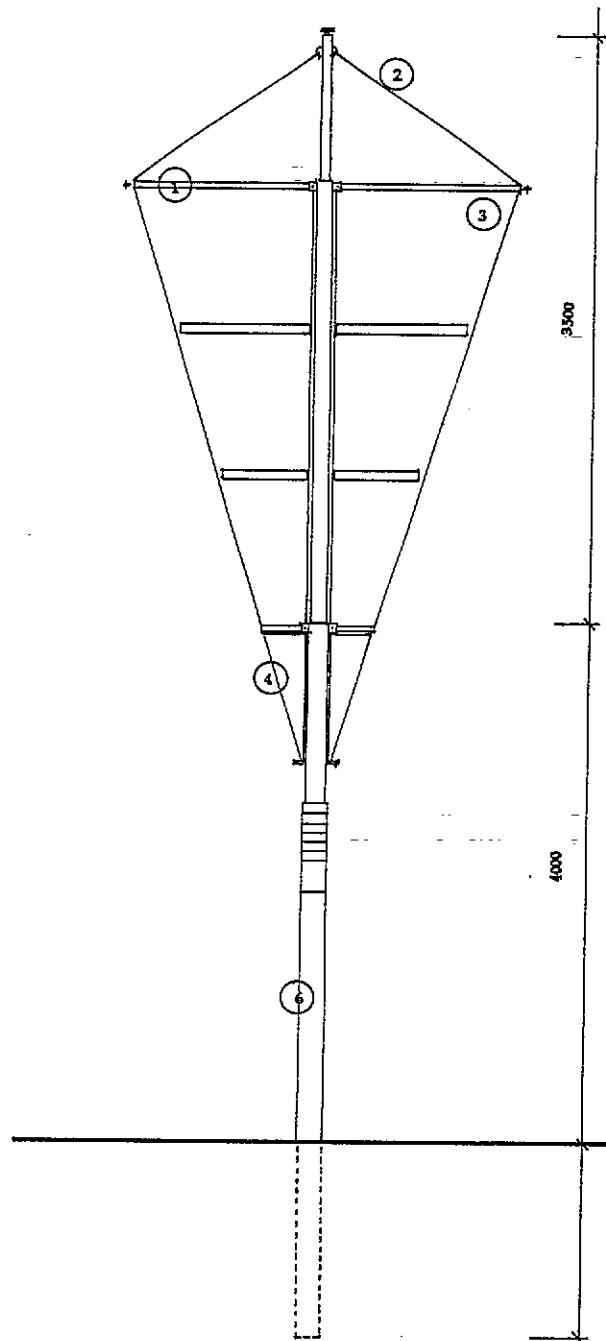


HANGING BANNER 1: 20



HANGING SIGN 1: 20

1. Polished stainless steel circular solid section fixed to stainless steel wall bracket with allen key ring fitting.
2. Stainless steel tie wires to brace sign bracket.
3. Teflon 'sail' banner with stiffening battens fixed to bracket with st. steel hoops.
4. Stainless steel stiffening flange.
5. Acid etched laminated glass sign with screen printed letting and logo fixed with allen key patch plate fittings to bracket.
6. Stainless steel stepped and tapered flag pole.

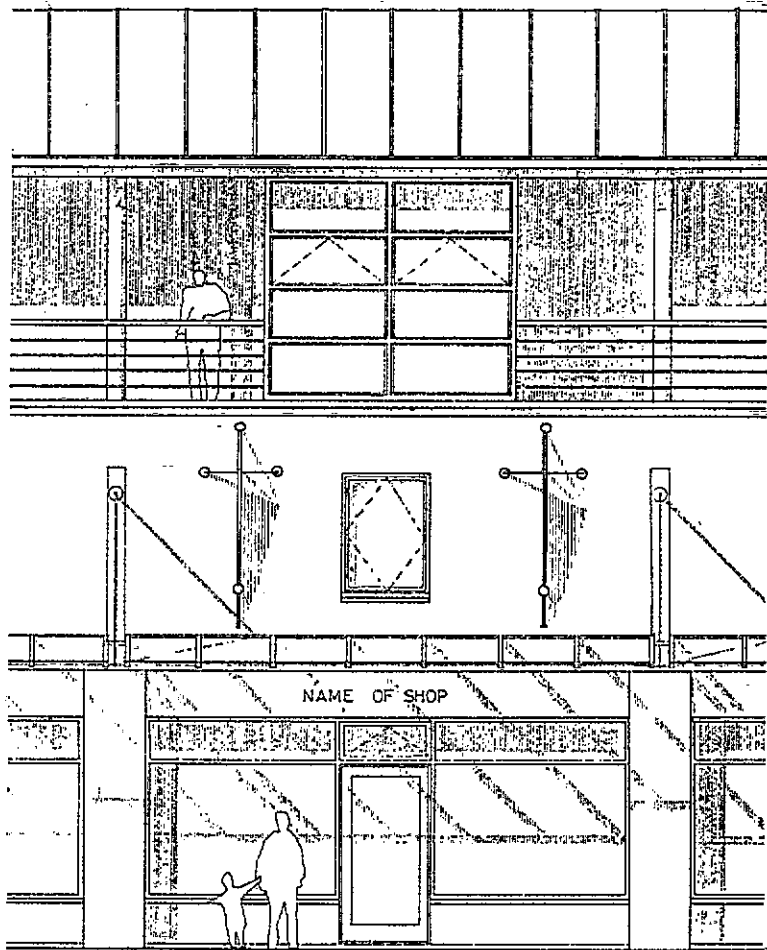
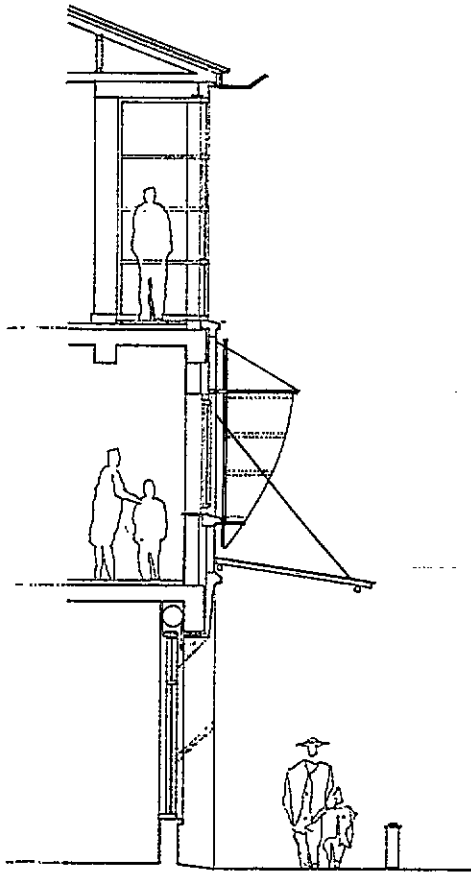


FLAG POLE SIGN 1: 50

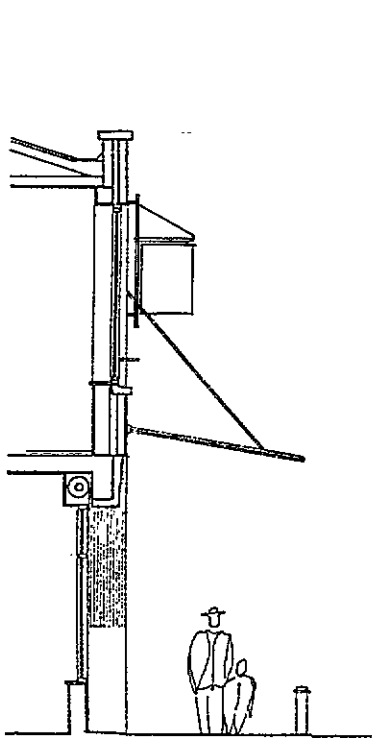
SIGNAGE

HANGING BANNERS

HANGING SIGNS



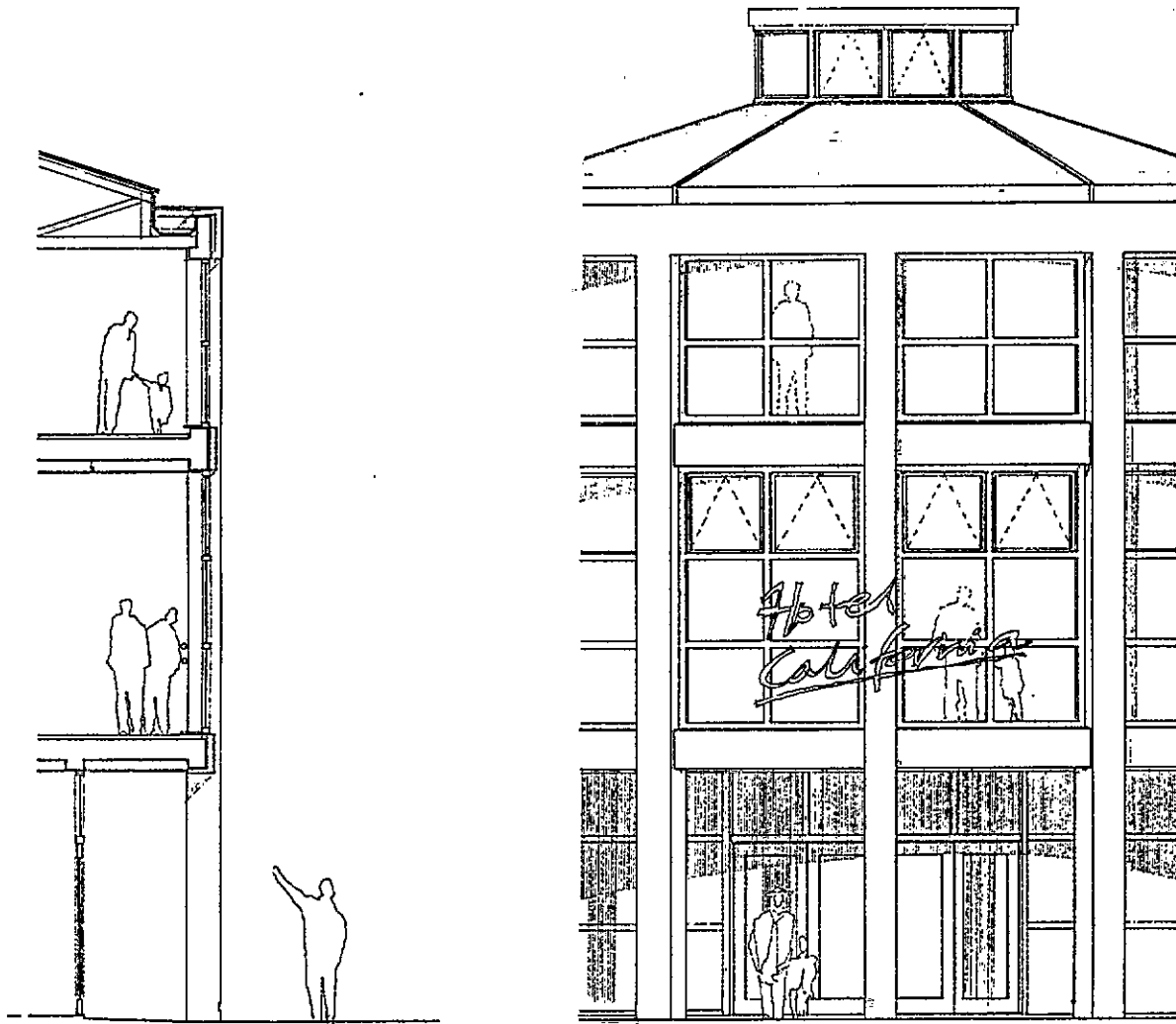
SHOP FRONT ELEVATION & PART SECTION WITH HANGING BANNER 1:100



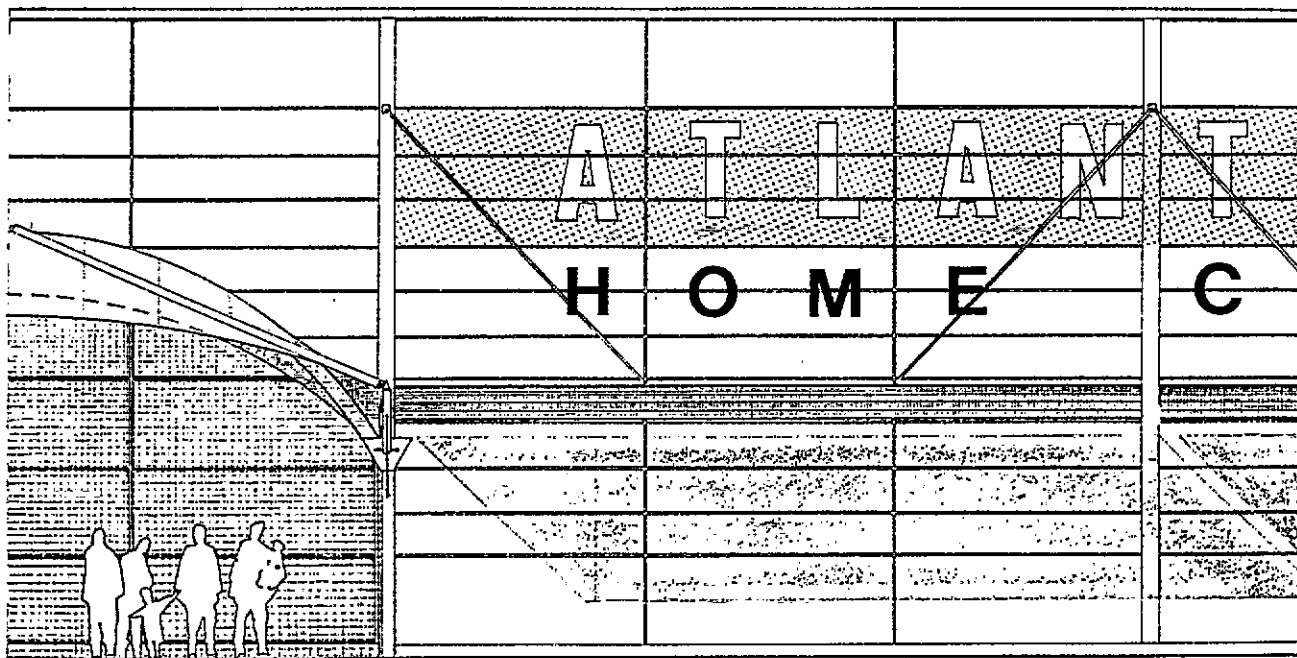
SHOP FRONT ELEVATION & PART SECTION WITH HANGING SIGN

● SIGNAGE

● BUILDING SIGNS



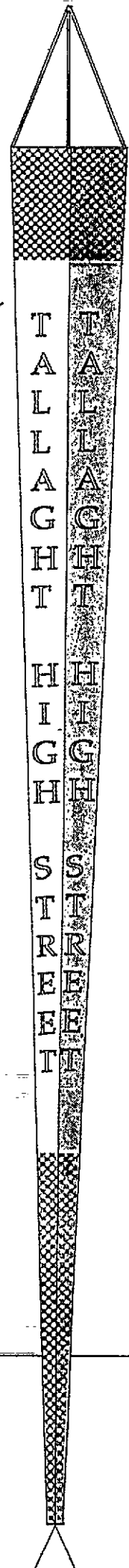
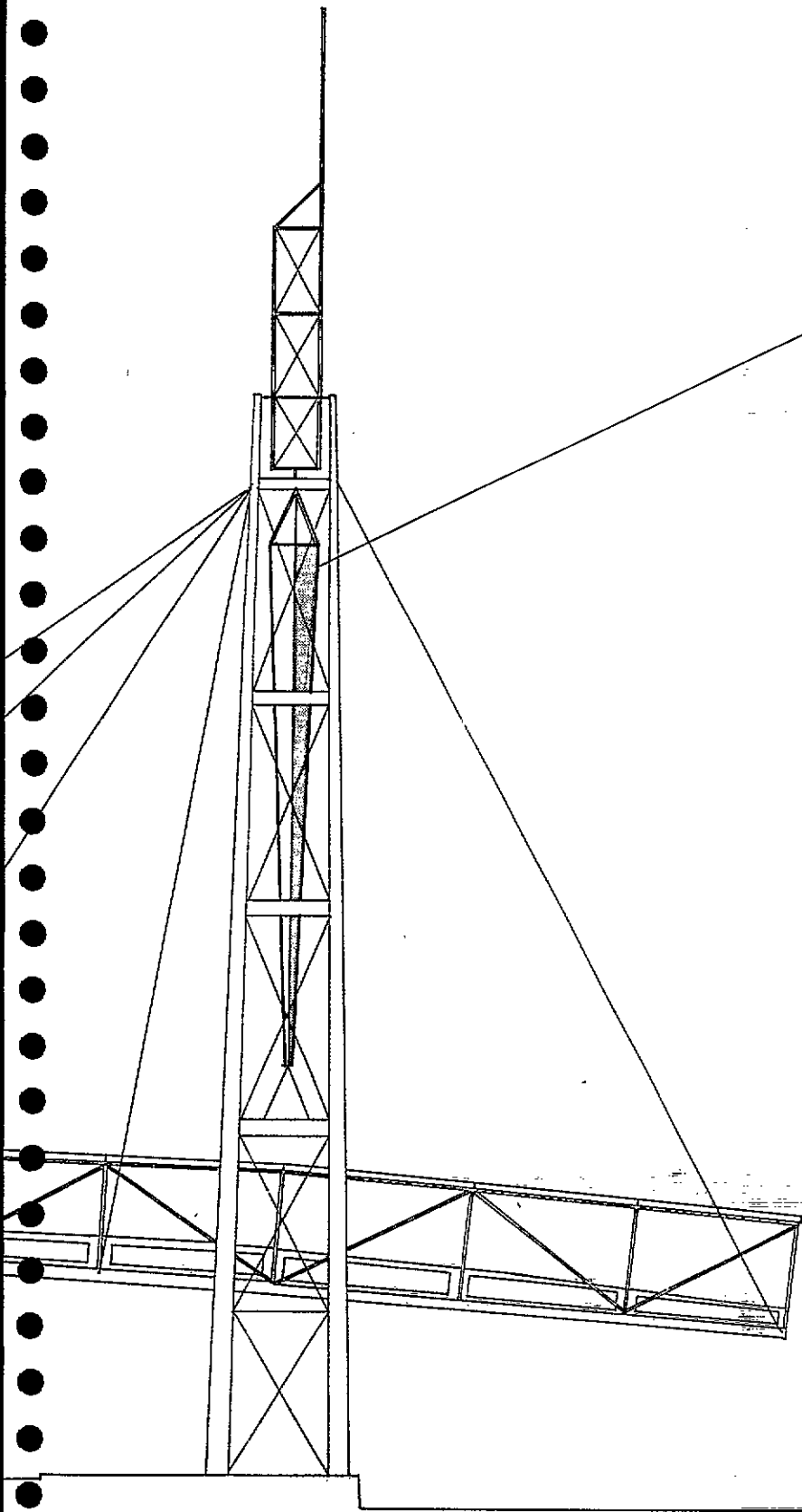
HOTEL PART ELEVATION & SECTION WITH BUILDING SIGN 1: 100



RETAIL WAREHOUSE PART ELEVATION & SECTION WITH BUILDING SIGN 1: 100

SIGNAGE

BRIDGE SIGN



ELEVATION 1: 200

BRIDGE SIGN 1:20

10.0 Archeologist's Report

REPORT

Results of archaeological test-trenching at a development site
bounded by Belgard Road,
Main Street and the church and graveyard of St. Maelruan, Tallaght.

Margaret Gowen, MA NIAPA

21 August 1990

CONTENTS

1. INTRODUCTION
2. THE INVESTIGATION
3. SUMMARY AND IMPLICATIONS

1. INTRODUCTION

1.1 This report describes the results of test-trenching for archaeological purposes at a 7.033 acre development site bounded by the Belgard Road, the graveyard of St. Maelruan's Church and Main Street, Tallht (Fig. 1).

1.2 The purpose of the investigation was to assess the archaeological implications for proposed development regarding the National Monuments Acts and the requirements of the Commissioners of Public Works in Ireland.

1.3 Due to the nature of the present usage of the site as a football pitch and the time constraint imposed by Dublin Corporation, the trenching was completed in one day, in a limited portion of the area to be developed.

1.4 The site work was carried out on Monday 20th August 1990. A JCB was used to cut the trenches through topsoil, and a thin layer of agricultural soil beneath it, to the subsoil surface. Each trench was examined in detail and the sectional profiles recorded. There was no necessity for scaled section drawings as no archaeological features were exposed.

1.5 The time limit imposed on the test trenching resulted in the excavation of small pits rather than extensive trenches and thus the interpretation of the results is, of necessity, broadly based.

1.6 Apart from two external ditches ('fosses') concentric to and apparently contemporary with the enclosure around the graveyard of St. Maelruan's Church, no archaeological features or deposits were noted.

2. THE INVESTIGATION AND RESULTS

2.1 The Investigation

In all, nineteen trenches were opened (Fig.2).

- i) Five trenches (1-5) were excavated running west and southwest of the surviving bank enclosing St. Maelruan's Church and graveyard,
- ii) three pairs (6-11) of short trenches were opened at the north of the football pitch,
- iii) four small trenches (12-15) were opened at the south and east of the football pitch, and
- iv) four trenches (16-19) were opened in the narrow extension to the site towards Main Street.

Each group is described, in turn, below.

2.2 The Results

The soils on the site are a dark, rich topsoil, generally 20-25cm deep, but up to 30-40cm deep in the northeast corner, overlying a layer of apparently agriculturally altered subsoil, 15-30cm deep, which overlies a compact, grey-brown stoney boulder clay. The trenches were excavated to a level at which subsoil was recognised. Where archaeological fill occurred it was not excavated.

Group i), Trenches 1-5

In all these cuttings evidence for at least one ditch (Ditch A) was revealed and in two trenches (4 and 5) evidence for a second external ditch (Ditch B) was revealed. The ditch fill, in each case, was recognised as a deposit of relatively open-textured soil, very similar in composition to the subsoil but marginally darker colour, with a lower stone content and sparse charcoal-flecks. There were no obvious archaeological inclusions except one small fragment of animal bone in Trench 3. In all cases undergrowth had to be cleared to gain access and the measurements taken are likely to be inaccurate due to the presence of dense undergrowth. Furthermore, where the monastic bank survives it is not a uniform thickness and modern dumping up against it further complicates the picture.

Trench 1

13m long, excavated to a maximum depth of 40cm. Topsoil was 25-30cm deep. A layer of redeposited soil, interpreted as ditch fill ran westwards as far as an interface with subsoil, ascertained as the external edge of the inner ditch (A) some 9m from a stone wall which defines the position of the monastic bank in this area.

Trench 2

9.50m long, excavated to a maximum depth of 40cm. Topsoil was 30-35cm deep over ditch fill and 25cm over boulder clay. The position of the external edge of Ditch A was located 7.50m from the monastic bank.

Trench 3

13.50m long, excavated to a maximum depth of 40cm. Topsoil was 30-35cm deep throughout. In this cutting the external edge of Ditch A was located some 6.70m from the monastic bank and the internal edge of the fill of a second ditch (Ditch B) was revealed at a distance of some 11m from the monastic bank.

Trench 4

17.50m long, excavated to a depth of 45cm. Topsoil was 25cm deep over a layer of altered soil 20cm deep. The external edge of Ditch A was located approximately 7m from the monastic bank and the two edges of Ditch B were also revealed at distances of 11.70m and 15m, respectively from the monastic bank.

Trench 5

The measurements from this trench are likely to be highly inaccurate due to the dense undergrowth and the unclear nature of the monastic bank in this area. The trench was 4m long, opened some 10m from the monastic bank. The external edge of one or other ditch (probably Ditch B) was noted some 12.50m from the accessible limit of the bank.

Interpretation

The monastic bank surrounding the church and graveyard of St. Maelruan was formed from the upcast of a now backfilled/silted external ditch and there is now evidence for a second, outer ditch. Bivallate enclosures surrounding early church sites are not uncommon. While no evidence for a second bank survives, the nature of the (upper) ditch fill exposed in these trenches may suggest a levelling of the second bank and a backfilling of the ditches with bank material.

Group ii), Trenches 6-11

These were three pairs of short trenches opened at the north side of the site, west of the monastic enclosure.

The profiles exposed in these trenches were remarkably similar and no archaeological features or deposits were revealed in them. They do not need to be described individually.

Trenches 6-8 were opened some 4-5m from the edge of the field ditch at the north of the site (the field boundary is composed of a bank and ditch). All trenches were c.2.50m long and were excavated to depths of 45-70cm were characterised by the presence of a 25-40cm deep layer of altered soil beneath topsoil which was an average 25-30cm deep. This altered soil cannot be regarded as an archaeological deposit even though it contained some sparse flecks of charcoal. It may represent the levelled remains of a bank on this side of the field boundary.

Trenches 9-11 were also c.2.50m long. In these trenches 20-25cm of topsoil covered the layer of altered soil (without charcoal inclusions in this area) which was 20-25cm deep.

Interpretation

The layer of soil beneath topsoil in this area is not an archaeological deposit. No archaeological features were noted in these trenches. While it is not possible, on the basis of such a limited investigation, to say for certain that no archaeological features occur in this area, it seems unlikely that any features do occur. Neither topsoil or 'B' horizon contained any archaeological inclusions.

Group iii), Trenches 12-15

These three trenches were opened at the southern limit of the site. Like Trenches 6-11 these were approximately 2.50m long. The profile exposed here was very similar to that revealed in trenches 9-11. Topsoil, 20cm deep, covered a 'B' horizon 15-25cm deep which differed slightly from subsoil. It had a lower stone content and was a more yellow-brown colour. There were no inclusions in it.

Interpretation

These profiles revealed no evidence for archaeological activity.

Group iv), Trenches 16-19

This group of trenches was opened in the extension to the site eastwards, towards Main Street. The area was covered by buildings and a roadway until recently and the profiles revealed in the trenches reflect this.

Trench 16

0-70cm Recent demolition rubble
70cm-1m Dark, humic silty (garden?) soil.
1m Boulder clay

Trench 17

0-70cm Recent demolition rubble
70cm-1.25 Yellow-grey silty soil
1.25-1.90m Grey humic silt with frequent, dispersed. charcoal inclusions.

Interpretation: relatively recent wet ditch, possibly N/S orientation - not confirmed.

Trench 18

Abandoned at 15cm due to the presence of a concrete floor.

Trench 19

0-50cm Concrete rubble
50cm-60cm Black, humic silty soil.
60cm Boulder clay

Interpretation Group iv)

It is impossible on the basis of so few trenches to assess the nature of the archaeological potential of this area, especially since it fronts on to Main Street and may have been settled during the medieval period. However, no archaeological material was retrieved from the three excavated trenches.

3. SUMMARY AND IMPLICATIONS FOR DEVELOPMENT

3.1 Within the time allowed the area tested was insufficient to allow more than an interpretation of a very general nature.

3.2 The monastic bank appears to be an archaeological feature, possibly dating to the Early Christian period. Trenches 1-5 revealed that is surrounded by two concentric ditches having a maximum width outside the bank of roughly 15m.

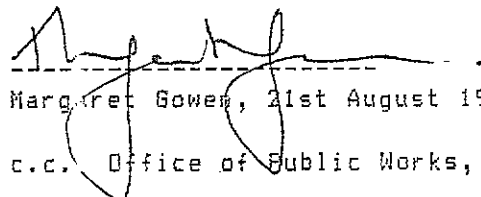
On the basis of these results an area of exclusion of c.20m around the standing church enclosure is likely to be recommended by OPW as part of the planning approval, unless prior archaeological excavation is carried out. Such an excavation would take at least three weeks to complete on site.

3.3 The remainder of the site appears to have no features or soils of archaeological significance. However, further test-trenching is needed before this supposition can be confirmed, especially in the portion of the site extending towards Main Street.

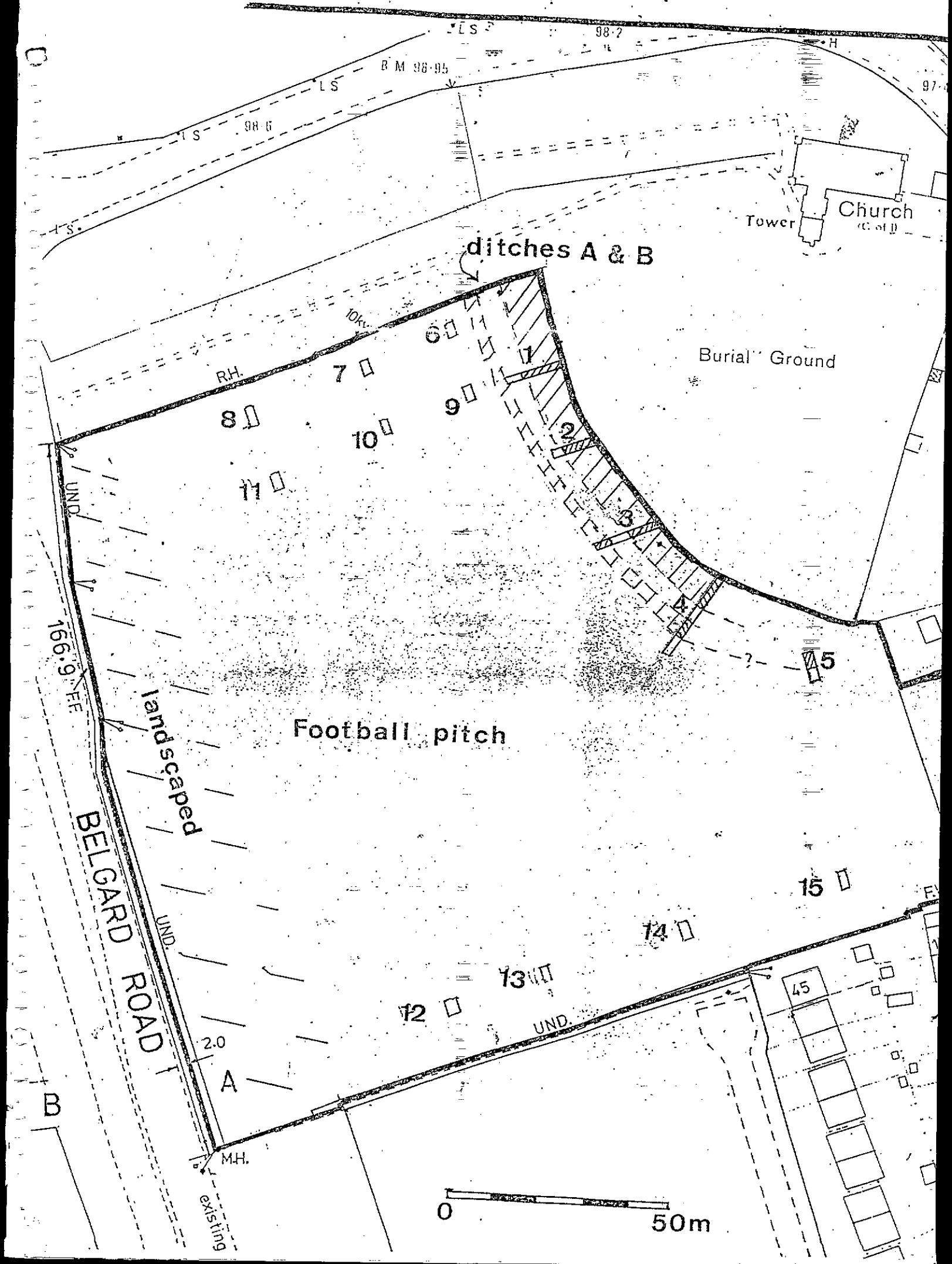
3.4 Due to the incomplete nature of the investigation it is likely that an archaeological watching brief on the excavation of foundation trenches, and on any removal of overburden prior to construction, will be recommended as part of the planning approval. If archaeological features are revealed during these processes, sufficient time has to be allowed for excavation and recording of the features revealed. This can be costly if it involves a delay in the construction programme.

3.5 If prior excavation on the monastic ditches is agreed and carried out, then it would be wise to open a number of further, more extensive, test trenches along the lines of proposed foundation trenches etc.

If no archaeological features are revealed at that stage, the bulk of the site will be effectively 'cleared' in advance of construction. If features are revealed it would be more cost-effective to excavate and record such features before building commences.


Margaret Gowen, 21st August 1990

c.c. Office of Public Works, National Monuments Branch.



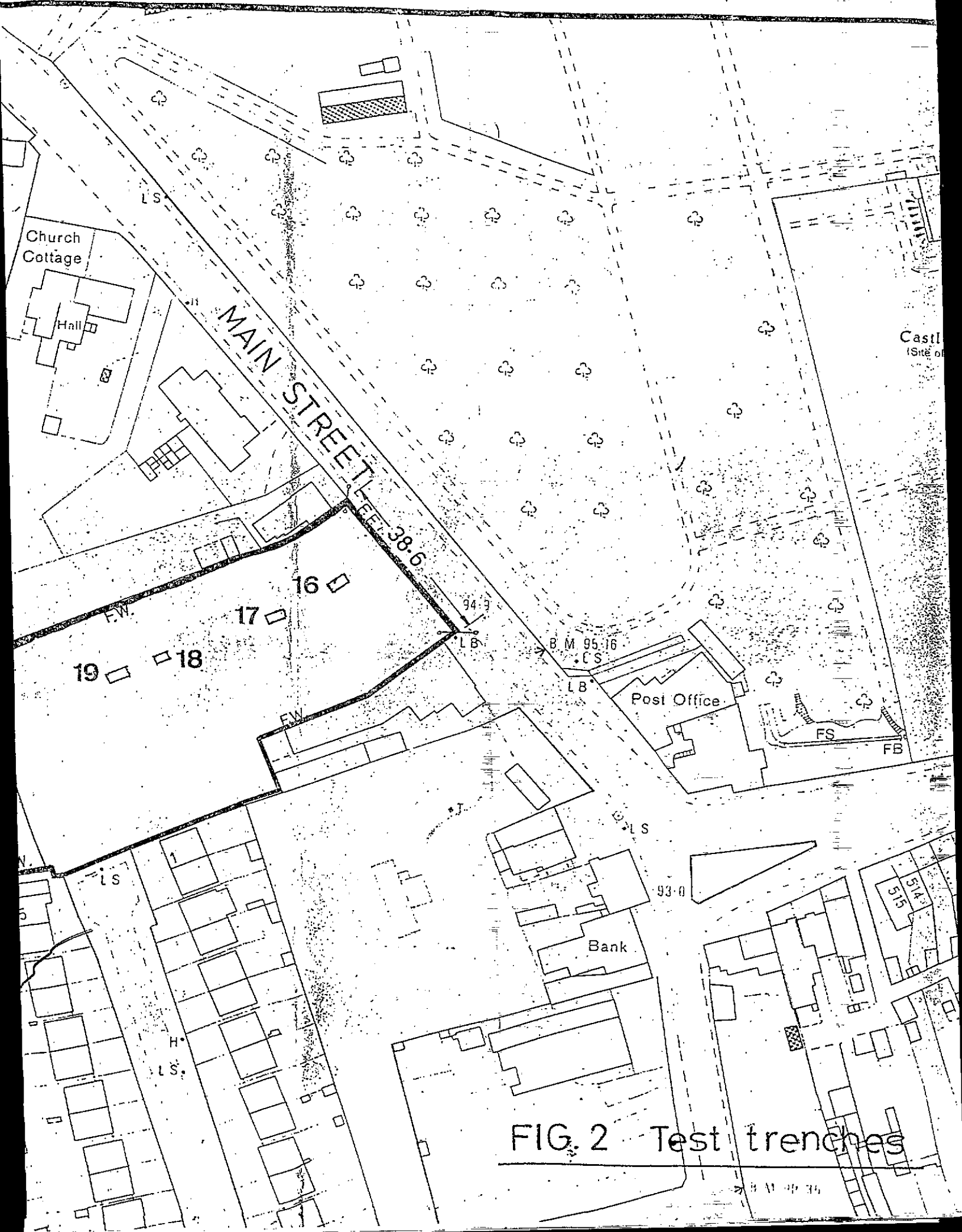


FIG. 2 Test trenches