

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

REGISTRY SECTION,
PLANNING DEPARTMENT,
IRISH LIFE CENTRE,
LOWER ABBEY STREET,
DUBLIN 1.

6.9.91

Mr J. Carson,
Senior Staff Officer,
Building Control Department,
Liffey House,
Tara Street,
Dublin 1.

Please note that on 4.9.91 all outstanding fees were paid
on file Number/s 91A/1.311

Deanne Deane

STAFF OFFICER



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1311

Date : 3rd September 1991

Dear Sir/Madam,

Development : Conversion of existing first floor store to offices
and alterations to existing offices and toilets at
ground floor and the provision of new entrance

LOCATION : Unit 7, Cookstown Industrial Estate, Tallaght

Applicant : Datarol Ltd.,

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Date Recd : 8th August 1991

Your application in relation to the above was submitted with a fee of
275.63 .

On examination of the plans submitted it would appear that the
appropriate amount should be 316.50 .

I should be obliged if you would submit the balance of 40.87
as soon as possible as a decision cannot be made on this application
until the correct fee is received.

Yours faithfully,

.....

FOR PRINCIPAL OFFICER

Maurice Drennan, ARCHITECT,
National Management Centre,
Sandyford Road,
Dublin 6.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

NO FEE WITH BYE LAW APPLICATION

TELEPHONE: 724755

EXTENSION: 231/234

FAX.: 724896

Maurice Drennan, Architect,

National Management Centre,

Sandyford Road,

Dublin 6.

PLANNING DEPARTMENT,

IRISH LIFE CENTRE,

LOWER ABBEY STREET.,

DUBLIN 1.

29/8/91

REG. REF.: 91A/1311

RE: Convert first floor to office and alts., entrance to Unit 7 Cookstown Industrial Estate,
for Datarol Ltd.

Dear Sir/Madam,

I refer to your application for Bye Law approval in respect of the above proposal. I wish to inform you that the Planning Authority will not commence to consider the application until the appropriate fee is paid. If no fee or a fee less than the appropriate fee has been received by the Council on the expiration of two months, commencing on the day the application is received, the application will be regarded as having been withdrawn.

The correct fee for the above mentioned application is £ 140.00.

Please quote the Register Reference No. stated above when submitting the fee.

Yours faithfully,

for PRINCIPAL OFFICER

REF. NO.: 91A/1311 CERTIFICATE NO.: 16008
 PROPOSAL: Convert First Floor to office + alterations + entrance
 LOCATION: Unit 7 Cooristown Industrial Estate
 APPLICANT: Datarol Ltd

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55					
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose <i>157.50m²</i>	@ £3.50 per M ² or £70	<i>£70</i> £553	<i>N4</i>	<i>£70</i> £553	<i>£70 paid 4/9/91</i> <i>N47228</i>	
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes <i>No Area outlined</i>	£70 or £9 per .1 hect. whichever is the greater	<i>£70</i>	<i>N11</i>	<i>£70</i>	<i>£70 paid 4/9/91</i> <i>N47228</i>	

Column 1 Certified: Signed: [Signature] Grade: DHT Date: 27/8/91
 Column 1 Endorsed: Signed: [Signature] Grade: S.O Date: 13/8/91
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 13/8/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1953 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: **91A/1311**

INT. REF.:

SERVICES INVOLVED: WATER/FOUL SEWER, SURFACE WATER

AREA OF SITE:

LOCAL AREA OF PRESENT PROPOSAL:

**1696 sq
J.Y.
27/8/91**

PROPOSED EIA:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S OFFICE NO: P/ /
DATE:

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRAIS

Maurice Drennan Architect,
National Management Centre,
Sandyford Road,
Dublin 16.

RW/GC

14/8/91

Re; Conversion of existing first floor store to offices and alterations to existing offices and toilets at grant floor and new entrance at Unit 7, Cookstown Industrial Estate. Reg.Ref. 91A/1311

Dear Sir,

I refer to the above application for planning and building bye law approval received in this department on 3/8/91. The correct fee in respect of these applications cannot be assessed as the area of proposed development has not been outlined on the drawings lodged.

As the statutory 2-month period within which the planning authority must make a decision will not begin to run until the correct fee has been paid it is important that you submit the required information immediately.

Yours faithfully,



for PRINCIPAL OFFICER

PLANNING APPLICATION FEES

Reg. Ref. 9/A/1311 Cert. No. 26293
 PROPOSAL Convert 1st Floor to Office + alterations + Entrance
 LOCATION Unit 7 Corotown Industrial Estate
 APPLICANT Datarol Ltd

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32				
2	Domestic	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres <u>157.50m</u>	@£1.75 per m2 or £40	<u>276.50</u>	<u>275.63</u>	<u>87p</u>	
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40	<u>£40</u>	<u>NIL</u>	<u>£40</u>	<u>£40.00 4/9/91</u> <u>N47729</u>

Column 1 Certified: Signed: [Signature] Grade D.M.I. Date 27/8/91
 Column 1 Endorsed: Signed: [Signature] Grade S.O. Date 13/8/91
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade S.O. Date 13/8/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: [Signature] Grade S.O. Date 13/8/91

EASTERN HEALTH BOARD

P.C. _____ Reg. Ref: 91A/1311

Proposed: Conversion of existing 1st floor store to offices and alterations to ground floor

At: Unit 7 COOKSTOWN INDUSTRIAL ESTATE, THURMONT

For: DATAPOL LTD

Plans lodged: _____

Architect: _____

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

8. Permanent Ventilation must be provided to all offices.
9. Drinking water facilities being made available to the staff at suitable locations. The supply to be taken directly from the rising main and not fed through a storage tank.
10. DRAINAGE connections to be such as not to give rise to a Public Health Nuisance.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 2.10.91
Time 10.00

Peter Whelan
24/9/91

Gerardine Botman.

DUBLIN COUNTY COUNCIL
PLANNING AND BUILDING CONTROL DEPARTMENT

DUBLIN COUNTY COUNCIL
- 6 SEP 1991
ENVIRONMENTAL HEALTH
OFFICERS

Senior Environmental Health Officer,
33 Gardiner Place.

Register Reference : 91A/1311

Date : 9th August 1991

Development : Conversion of existing first floor store to offices and alterations to existing offices and toilets at ground floor and the provision of new entrance

LOCATION : Unit 7, Cookstown Industrial Estate, Tallaght

Applicant : Datarol Ltd.,

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 8th August 1991

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 2.10.91
Time 10.00
.....

Attached is a copy of the application for the above development. Please ensure that your report is received within 5 weeks from 8th August 1991.

Yours faithfully,

.....
For PRINCIPAL OFFICER

- THE ABOVE PROPOSAL IS ACCEPTABLE TO THIS OFFICE SUBJECT TO...
1. Compliance with THE BUILDING BYE-LAWS.
 2. Compliance with THE OFFICE PREMISES ACT 1958 and regulations made thereunder.
 3. Compliance with the SAFETY, HEALTH and welfare at work Act 1989.
 4. A system of mechanical EXTRACT VENTILATION capable of providing a minimum of 3 air changes per hour to be provided to the proposed ground floor and first floor sanitary arrangements.
 5. Localised extraction to be provided over all cooking and steam emitting equipment in the canteen and ducted to the outer air.
 6. Adequate heating and lighting to be provided in all places of work.
 7. Where visual display units are utilized compliance with the requirements of the E.E.C Directive on V.D.U.s re: lighting, sitting, seating, breaks for staff etc.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed conversion of existing first floor store to offices and alterations to existing offices and toilets at ground floor and the provision of new entrance at Unit 7, Cookstown Industrial Estate, Tallaght, for Datarol Limited.

UN 5253

PERMISSION

Standard: *all*

Roads: *full*

S. Sers: *in*

Open Space: *full*

Other:

SECURITY:

Bond/C.I.F.:

Cash:

Maurice Drennan Architect,
National Management Centre,
Sandyford Road,
Dublin 16.

Reg. Ref. 91A/1311
Appl. Rec'd: 8/8/91
Floor Area: 157.50sq. m.
Site Area: 2710.50sq. m.
Zoning: 'E'

Report of the Dublin Planning Officer, dated 1 October 1991

This is an application for PERMISSION. The proposal is for the conversion of existing first floor store to office, alterations to existing offices, toilets at ground floor and the provision of a new entrance. The location of this development is Unit 7, Cookstown Industrial Estate, occupied by Datarol Ltd., (applicants).

The area in which this site is located is zoned with the objective "to provide for industrial and related uses".

The floor area of proposed development would be 157sq. metres. The total area would be 1477.50sq. metres. The site area is stated to be 2710sq. metres.

Elevations indicated are fairly standard for this estate; part brick/plaster with standard windows and doors. The existing sign will be relocated, and the new glazed entrance porch will be an improvement.

With regard to the appearance of the site, space to the front is limited. The boundary wall is intact, but there is no space for planting.

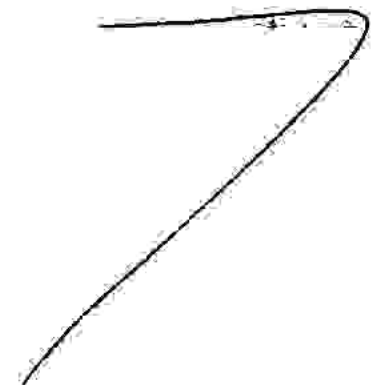
There is no report on file from Roads Department.

There appears to be no relevant history to this site.

A report on file from Sanitary Services indicates that water and sewers are available.

I recommend that a decision to Grant Permission be made under the Local Government (Planning and Development) Acts, 1963-1990, subject to following (5) conditions:-

Contd/....



COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed conversion of existing first floor store to offices and alterations to existing offices and toilets at ground floor and the provision of new entrance at Unit 7, Cookstown Industrial Estate, Tallaght, for Datarol Limited.

CONDITIONS

REASONS FOR CONDITIONS

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

2. In order to comply with the Sanitary Services Acts, 1878-1964.

3. That all external finishes harmonise in colour and texture with the existing premises.

3. In the interest of visual amenity.

aw
~~4. That a financial contribution in the sum of £ be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.~~

~~4. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.~~

SM
4. That the water supply and drainage arrangements be in accordance with the requirements of the Sanitary Services Department.

4. In order to comply with the requirements of the Sanitary Services Department.

SM
5. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

5. In the interests of fire prevention.

Contd/.....

SM
Note compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed conversion of existing first floor store to offices and alterations to existing offices and toilets at ground floor and the provision of new entrance at Unit 7, Cookstown Industrial Estate, Tallacht, for Datarol Limited.

CB (GB/CM)

[Signature]
Endorsed:- *[Signature]*
for Principal Officer

Richard Cremino SEP
For Dublin Planning Officer

2.10.91

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to GRANT PERMISSION for the above proposal subject to the (5) conditions set out above is hereby made.

Dated: 3 October, 1991.

[Signature]
Approved Officer
1.10.91

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 2.10.91

geraldine Boothmore + cns =

DUBLIN COUNTY COUNCIL
PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Engineer,
Sanitary Services Dept.

Register Reference : 91A/1311

Date : 9th August 1991

Development : Conversion of existing first floor store to offices
and alterations to existing offices and toilets at
ground floor and the provision of new entrance

LOCATION : Unit 7, Cookstown Industrial Estate, Tallaght

Applicant : Datarol Ltd.,

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 8th August 1991

Attached is a copy of the application for the above development. Your
report would be appreciated within the next 28 days.

Date received in Sanitary Services

DUBLIN Co. COUNCIL
16 AUG 1991
SAN SERV.

DUBLIN COUNTY COUNCIL
SANITARY SERVICES
- 5 SEP 1991
Returned *EG*

FOUL SEWER

Available - existing system.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date *10.09.91*
Time *9.30*

SURFACE WATER

Available - existing system.

J.P. 2/9/91

J.P. 2/9/91

Register Reference : 91A/1311

Date : 9th August 1991

ENDORSED _____ DATE _____

WATER SUPPLY..... *counts supply - as object*

Refer to C.F.O.

[Signature]
2/8/91

ENDORSED *[Signature]* DATE *2/9/91*

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 10.09.91
Time 9.30

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/ [REDACTED]

Local Government (Planning and Development) Acts, 1963-1983

To: **Maurice Drennan Architect,**
National Management Centre,
Sandyford Road,
Dublin 16.
Datarol Limited.
Applicant

Decision Order Number and Date: **P/4614/91, 3/10/91**
Register Reference No.: **91A/1311**
Planning Control No.: **8/8/91**
Application Received on: **8/8/91**
Floor Area: **157.50sq. m.**

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/[REDACTED] for:-

Proposed conversion of existing first floor store to offices and alterations to existing offices and toilets at ground floor and the provision of new entrance at Unit 7, Cookstown Industrial Estate, Tallaght.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
<p>1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.</p> <p>2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.</p> <p>3. That all external finishes harmonise in colour and texture with the existing premises.</p> <p>4. That the water supply and drainage arrangements be in accordance with the requirements of the Sanitary Services Department.</p> <p>Contd/.....</p>	<p>1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.</p> <p>2. In order to comply with the Sanitary Services Acts, 1878-1964.</p> <p>3. In the interest of visual amenity.</p> <p>4. In order to comply with the requirements of the Sanitary Services Department.</p>

Signed on behalf of the Dublin County Council

[Signature]
For Principal Officer
3/10/91

Date

IMPORTANT: Turn overleaf for further information

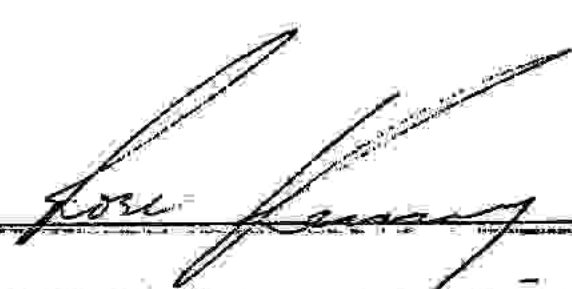
CONDITIONS

5. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

REASONS FOR CONDITIONS

5. In the interest of fire prevention.



NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

HAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

Balance

BYE LAW APPLICATION.

REC. No. N 47228

CASH
CHEQUE
M.O.
B.L.

£140.00

Received this *5th* day of *September* 19*91*

from *Maurice Brennan*
National Management Centre
Sundymford Rd.

the sum of *one hundred and forty* Pounds

Pence, being *balance*

of fee on 91A/1311

Maeleer Deane Cashier

S. CAREY *Class F*
Principal Officer

HAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1.

Issue of this receipt is not an acknowledgement that the fee tendered is the prescribed application fee. N 47729

- CASH
- CHEQUE
- M.O.
- S.L.
- I.T.

£40.00

Received this 5th day of September 1991

from Maurice Drennan,
National Management Centre,
Sandyford Rd.

the sum of forty Pounds

planning application 91A/1211

Noeleen O'Connell Cashier

S. CAREY
Principal Officer

MAURICE DRENNAN MRIA
Architect-Project Manager

National Management Centre Sandyford Road Dublin 16 Telephone: 01-956911 Telex: 30325 Fax: 01-955147

3rd September 1991


Mr Richard Wheelan
Dublin County Council
Planning Department
P.O. Box 174
Block 2
Irish Life Centre
Lower Abbey Street
Dublin 1

Re: Conversion of existing first floor store to offices and alterations to existing offices and toilets at ground floor and new entrance at Unit 7, Cookstown Industrial Estate. Reg. Ref. 91A/1311

Dear Mr Wheelan,

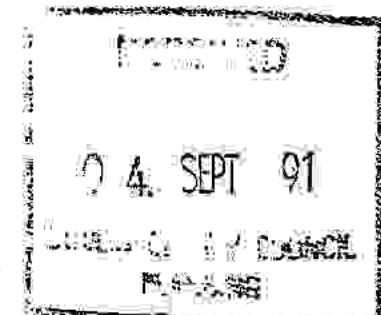
With reference to my recent telephone conversation and your letter dated August 14th in connection with the above, I now enclose cheque in the sum of £180.00 being the balance of adjusted fee requirements for the above project to be fully processed.

Yours sincerely,



Maurice Drennan

encl



Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1311

Date : 9th August 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Conversion of existing first floor store to offices
and alterations to existing offices and toilets at
ground floor and the provision of new entrance

LOCATION : Unit 7, Cookstown Industrial Estate, Tallaght

APPLICANT : Datarol Ltd.,

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application
received on 8th August 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

0.5 x 4

Maurice Drennan, Architect,
National Management Centre,
Sandyford Road,
Dublin 6.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building Unit 7 Cookstown Industrial Estate
(If none, give description sufficient to identify) Belgard Road Tallaght Dublin 24

3. Name of applicant (Principal not Agent) DATAROL Ltd
Address Unit 7 Cookstown Industrial Estate Dublin 24 Tel. No. N 47468

4. Name and address of person or firm responsible for preparation of drawings Maurice Drennan Architect National Management Centre
Sandyford Road Dublin 16 Tel. No. 956911

5. Name and address to which notifications should be sent Maurice Drennan Architect
National Management Centre Sandyford Road Dublin 16

6. Brief description of proposed development Alterations to existing ground floor offices and provision of new first floor offices and Staff Facilities

7. Method of drainage Public 8. Source of Water Supply Public

9. In the case of any building or buildings to be retained on site, please state:
(a) Present use of each floor or use when last used Ground Floor: Offices, Production & Storage

(b) Proposed use of each floor GF: Offices, Production & Storage 1st F: Offices & Staff Facilities

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No

11.(a) Area of Site 2710.50 Sq. m.
(b) Floor area of proposed development BYE LAW APPLICATION 157.50 Sq. m.
(c) Floor area of buildings proposed to be retained within site REC NO NIL 1477.50 Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) Freehold

13.Are you now applying also for an approval under the Building Bye Laws?
Yes No Place / in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
Substantially

15. List of drawings submitted with application DUBLIN 24 planning permission and building bylaw permission is sought for the conversion of existing first floor store to offices and alterations to existing offices and toilets at ground floor and the provision of new entrance for Dataroll Limited, at Unit 7, Cookstown Industrial Estate, Tallaght.
Floor Plans / Elevation / Section / Detail Floor Plans /
Location Map / Outline Specification / Planning Notice
Structural Engs. Calculations, Drawings, Certificates, 2 Copies.

16. Gross floor space of proposed development (See back) 157.50 Sq. m.

No of dwellings proposed (if any) N/A Class(es) of Development Class 4

Fee Payable £ 275.63 Basis of Calculation 157.5 x £1.75

If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) M. J. ... Date 6th August 91

Application Type P. BBL FOR OFFICE USE ONLY

Register Reference 91A/1311

Amount Received £

Receipt No 21-8

Date

8/8 1-16-8

g. Pres
6/8/91

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET
DUBLIN 1.

Receipts of this RECEIPT CODE
indicate that the fee
required in the prescribed application

N 47468

£275.63

Received this

8th

day of

August

1991

from

Maurice Drennan

Sandford road, D16

the sum of

two hundred and seventy five

Pounds

and three

pence being

60 pence planning

application at unit 7 Cookstown Industrial Estate

Michael O'Her

Cashier

S. CAREY
Principal Officer

Class

4

Datarol Manufacturing Ltd.

Site Location Map.

Scale: 1/100000

8 AUG 1991

91A/131
APPLICATION FOR ZONING
PERMIT

10KV

UNIT No 7

B M 102-10

101-9

Cookstown Industrial Estate



LS

LS

101-9

LS

LS

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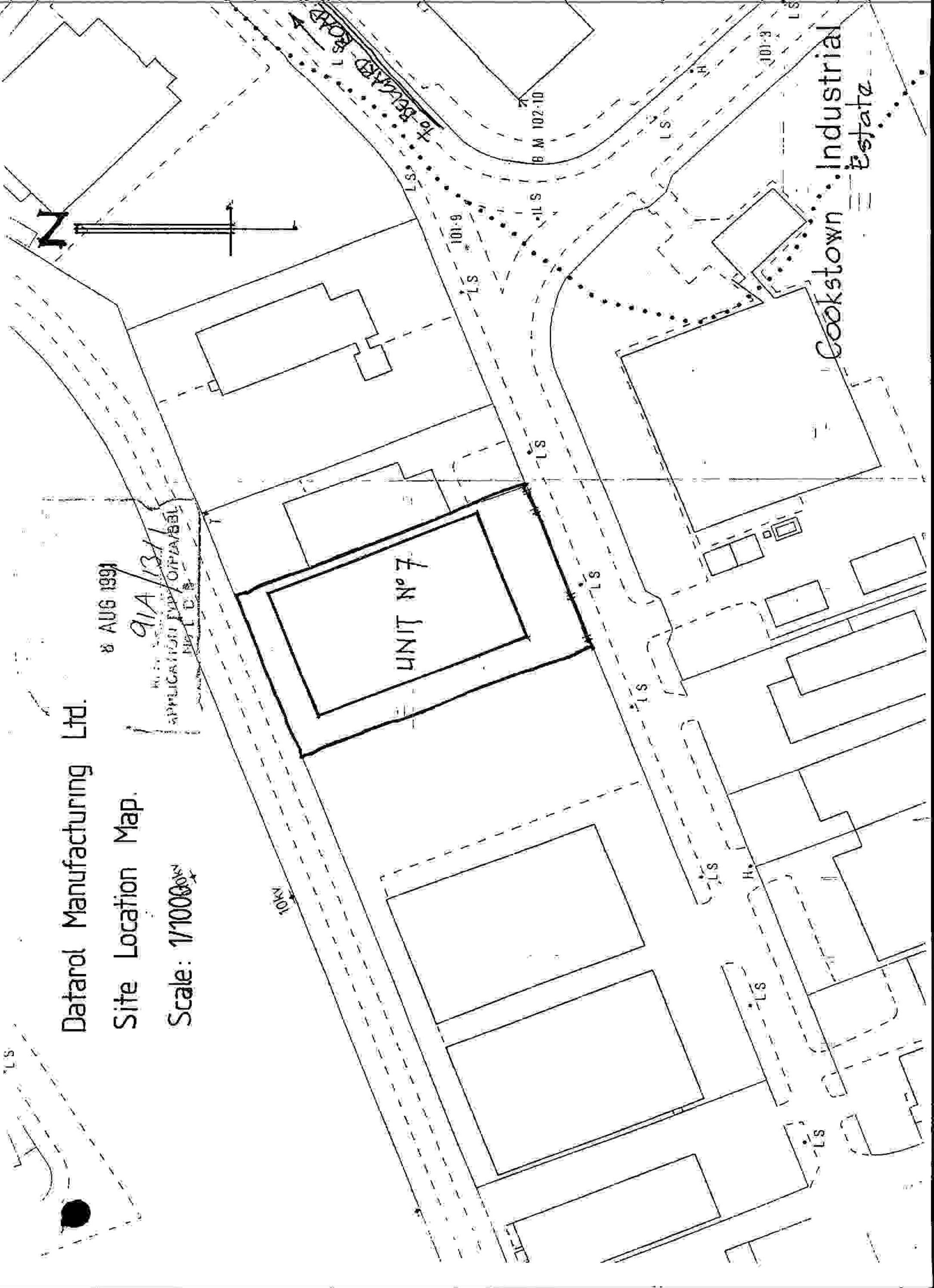
LS

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TO BELMONT ROAD



DUBLIN COUNTY
Planning Dept. 20018
APPLICATION NO. 1

8 AUG 1991

91A/1311

42 Casimir Road,
Harold's Cross,
Dublin 6W
Telephone: 974589/974035
Fax No: 974589

Your Ref:

Our Ref:

Date:

DB/MG/102

18th July, 1991

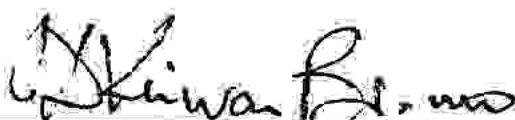
RE: CERTIFICATE.

Data Rol Manufacturing Ltd., Unit 7, Cookstown Industrial Estate.

We have been retained by M.Drennan, Architect.

We certify that the structural elements of the proposed first floor extension as shown on Architects Drawings No.9103/10 & 11 have been designed by this office in accordance with current Codes and Standards.

SIGNED:



J.D. Kirwan Browne, MA, BAI, CEng, MIEI.,
For McCabe, Delaney & Associates.

STRUCTURAL CALCULATIONS

DATA ROL

UNIT 7 COOKSTOWN INDUSTRIAL ESTATE.

JULY, 1991.

McCabe, Delaney & Associates
Consulting Engineers
42 Casimir Road, Harold's Cross,
Dublin 6W
Telephone (01) 974589/974035
Fax 974589

Contract **Data Rol.**

Job ref.

Part of structure

Alterations

Calc. sheet No.

1

Drawing ref.

Calculations by

JKR.

Checked by

Date

July '91.

Members ref.

CALCULATIONS

OUTPUT

Proposed alterations as shown
on **Maurice Brennan Drawg No**

9103/10 & 11 of June 1991.

Existing building is precast concrete
frames with single storey office
unit a front.

"Ceiling" of existing office is
unsucced precast concrete units.

The proposal is to provide
office at first floor level with
access to same by stairs
as shown on the drawings.

Elements to be considered:

① Precast floor

② New blockwork walls.

③ Truss beam for stairs open

④ Foundations.

See Appendix A4 sheets
showing extracts from
Architect's Drawg.

McCabe, Delaney & Associates

Consulting Engineers

42 Casimir Road, Harold's Cross,

Dublin 6W

Telephone (01) 974589/974035

Fax 974589

Contract

Data rol

Job ref.

Part of structure

Precast Slab

Calc. sheet No.

2

Drawing ref.

Calculations by

JAKB

Checked by

Date

Members ref.

CALCULATIONS

OUTPUT

Precast slab

Most likely was designed for storage loading. No records or information on design available.

Allow for test loading slab in accordance with 9.S.2 CP110 Part 2 1972.

Provide Aeread 80 mm thick 30N10 concrete. B 503, 8mm dia bars @ 100 & 8mm dia bars @ 200

Imposed slab load 2.5 kN/m² General office load.

Dead load:
P.C. unit. 2.7 kN/m²
Sweat 1.92 "
Partitions 1.0

5.62 kN/m²

Design ult. load
 $= 5.62 \times 1.4 + 2.5 \times 1.6$
 $= 11.87 \text{ kN/m}^2$

$G_k + Q_k = 8.12$

McCabe, Delaney & Associates
Consulting Engineers
 42 Casimir Road, Harold's Cross,
 Dublin 6W
 Telephone (01) 974589/974035
 Fax 974589

Contract

Data Rsl.

Job ref.

Part of structure

Beam.

Calc. sheet No.

3

Drawing ref.

Calculations by

JDS

Checked by

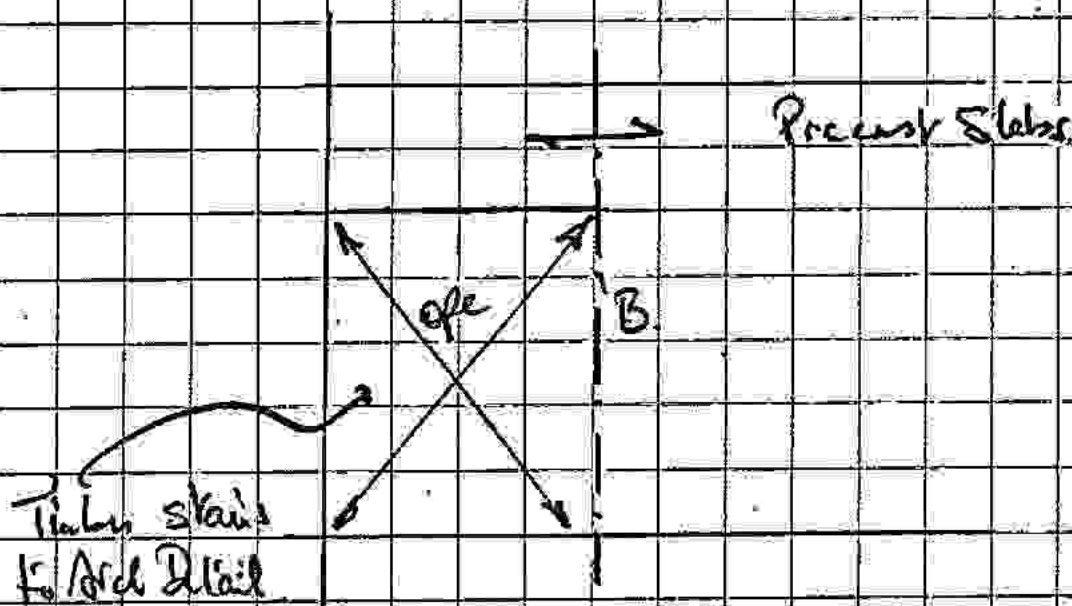
Date

Members ref.

CALCULATIONS

OUTPUT

Beam A train precast Slabs at
 Stair ope



Beam B
 loading



loading $\frac{2.5}{2} \times 1 \times 8.12 = 10.15$
 plus stairs $2.5 \times 3.5 \times 1 = 8.75$
 $\Sigma 18.90 \text{ kN}$

Slab to ope $8.12 \times \frac{4}{2} \times 3.8 = 61.91 \text{ kN}$

beam self wt. $0.40 \times 3.8 = 1.52$
 $\Sigma 63.23$

McCabe, Delaney & Associates

Consulting Engineers

42 Casimir Road, Harold's Cross,

Dublin 6W

Telephone (01) 974589/974035

Fax 974589

Contract

Data Lab

Job ref.

Part of structure

Terminal beam,

Calc. sheet No.

4.

Drawing ref.

Calculations by

Checked by

Date

July 91

Members ref.

CALCULATIONS

OUTPUT

Moment

$$M = 63.23 \times 3.8 + \frac{(16.41 \times 1)^2}{18.9} \times \frac{18.9}{2}$$

$$= 30.03 + 7.12$$

$$M = 37.15 \text{ kNm}$$

Try 152 x 152 UC

$$\frac{I}{y} = \frac{3800}{36.8} = 103.26$$

$$\Rightarrow P_{bc} = 160$$

$$\frac{M}{I} = \frac{37.15 \times 10^6}{165.7 \times 10^9} = 224.2 \text{ W}$$

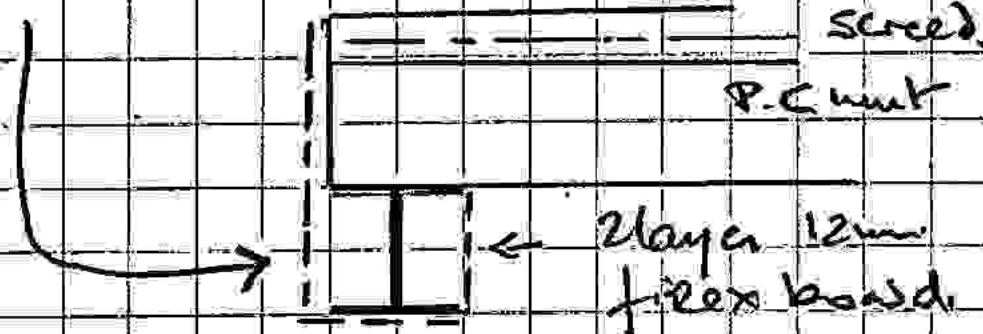
$$7160$$

Not adequate

Try 202 x 203 UC

$$\frac{I}{y} = 8270 < 160$$

Use 203 x 203 x 46 UC



Provide 400 long x 200 x 200 concrete pad under beam ends.

Cabe, Delaney & Associates

Consulting Engineers
42 Casimir Road, Harold's Cross,
Dublin 6W
Telephone (01) 974589/974035
Fax 974589

Contract

Data Rcl

Job ref.

Part of structure

Walls

Calc. sheet No.

5.

Drawing ref.

Calculations by

Checked by

Date

July 91

Members ref.

CALCULATIONS

OUTPUT

Wall close to & parallel to Grid C
and wall in reception area
parallel to Grid D support trimmer
beam. Other walls partition walls

Wad from beam.

$$16.41 + 31.62 = 48.03$$

Wall self

$$0.215 \times 20 \times 3.5 \times 1. = 15.05$$

Foundation

$$0.8 \times 0.3 \times 24 \times 1. = 5.76$$

$$\underline{68.84 \text{ kN}}$$

Ground Press.

$$\frac{68.84}{0.8 \times 1.} = 86.05$$

Foundations

$$800 \times 300 \text{ } 30\% \text{ Conc.}$$

Allowable bearing press.

assumed to be $> 100 \text{ kN/m}^2$

∴ foundations as shown
or Arch Drgs satisfactory.

Wall at 1st floor level

Stabilised by metal tie
fixed. $30 \times 60 \times 200$ long at
400 c/s
to w/side of Precast panel

1150

2

1

Canteen

Lobby

Lockers

Works Office

Male Toilet

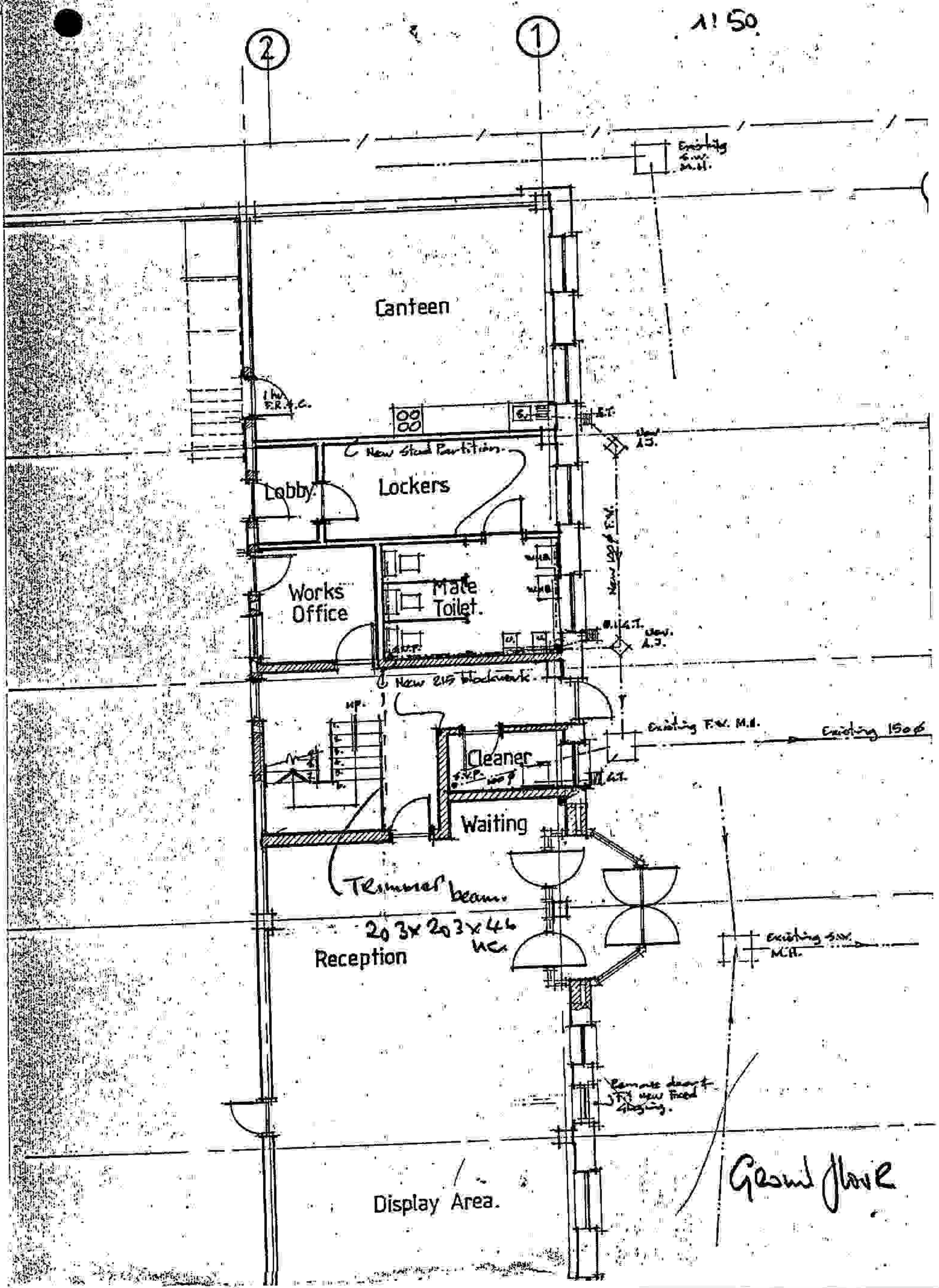
Cleaner

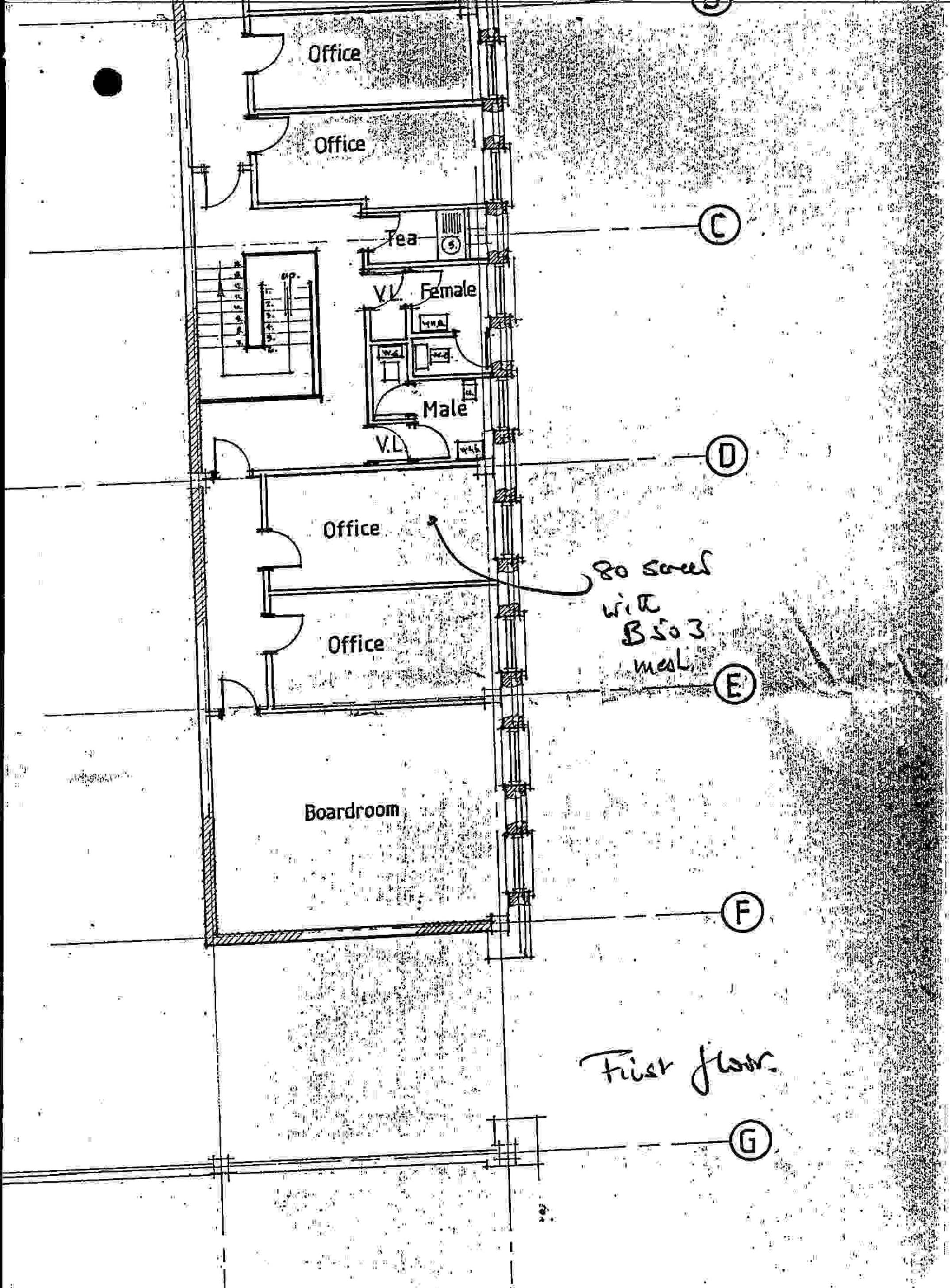
Waiting

Reception

Display Area

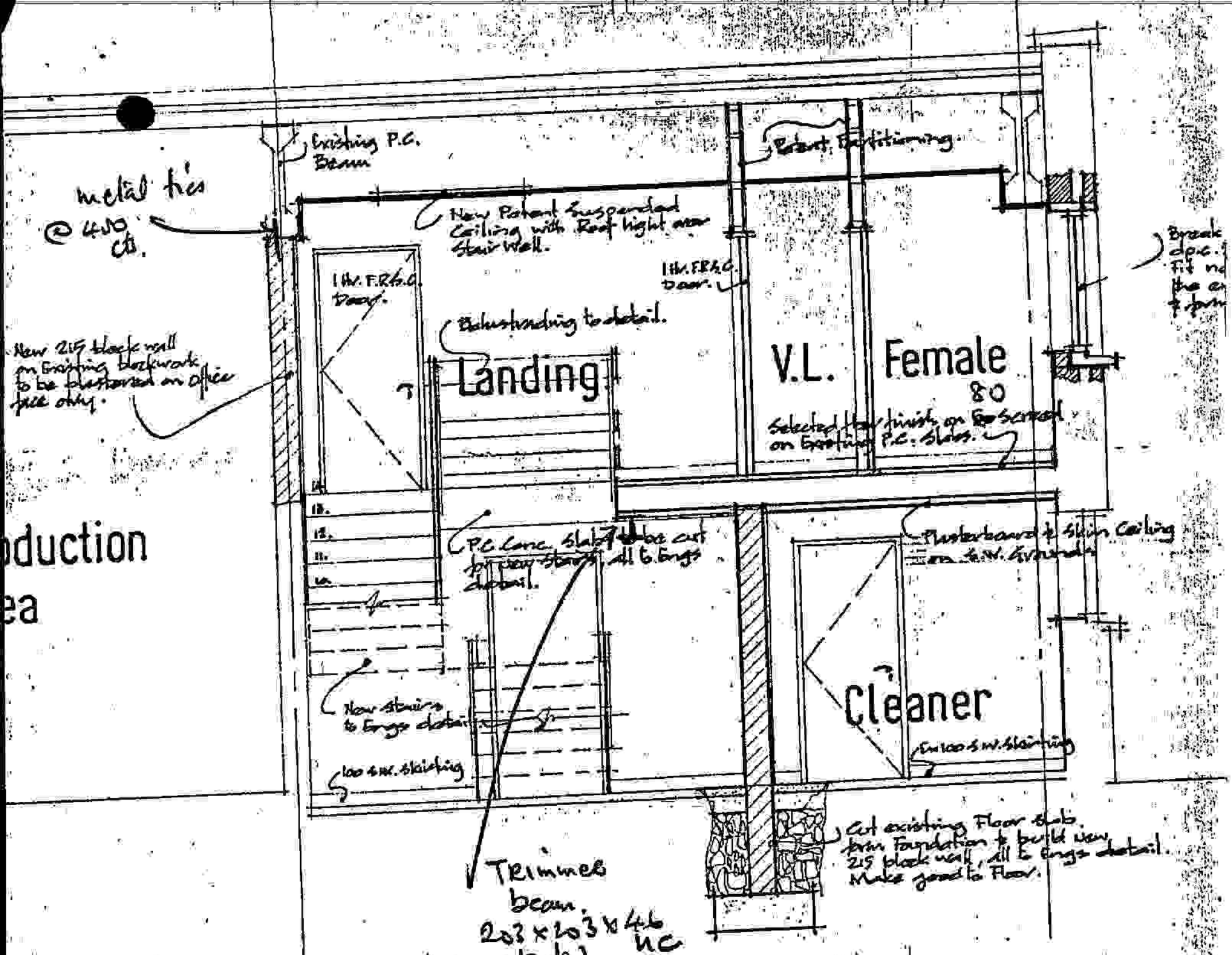
Grand floor





First floor

1 Floor Plan Scale 1:100



Trimmed
beam
203 x 203 x 46
UC
fire protected.

Section A-A

Scale: 1:50

Production
area

metal ties
@ 400
c/s.

New 215 block wall
on existing blockwork
to be plastered on office
side only.

Existing P.C.
Beam

New Patent suspended
ceiling with Roof light over
stair wall.

114. FRAG.
Door.

Balustrading to detail.

Landing

V.L. Female
80

Selected floor finish on 80 screen
on Existing P.C. Slabs.

Break
d.p.c.
Fit in
the air
pipe

18.
18.
18.
18.

P.C. conc. slab to be cut
for new stairs, all to Eng's
detail.

Plasterboard to skin ceiling
on 215 blockwork

New stairs
to Eng's detail.

100 mm. slaking

Cleaner

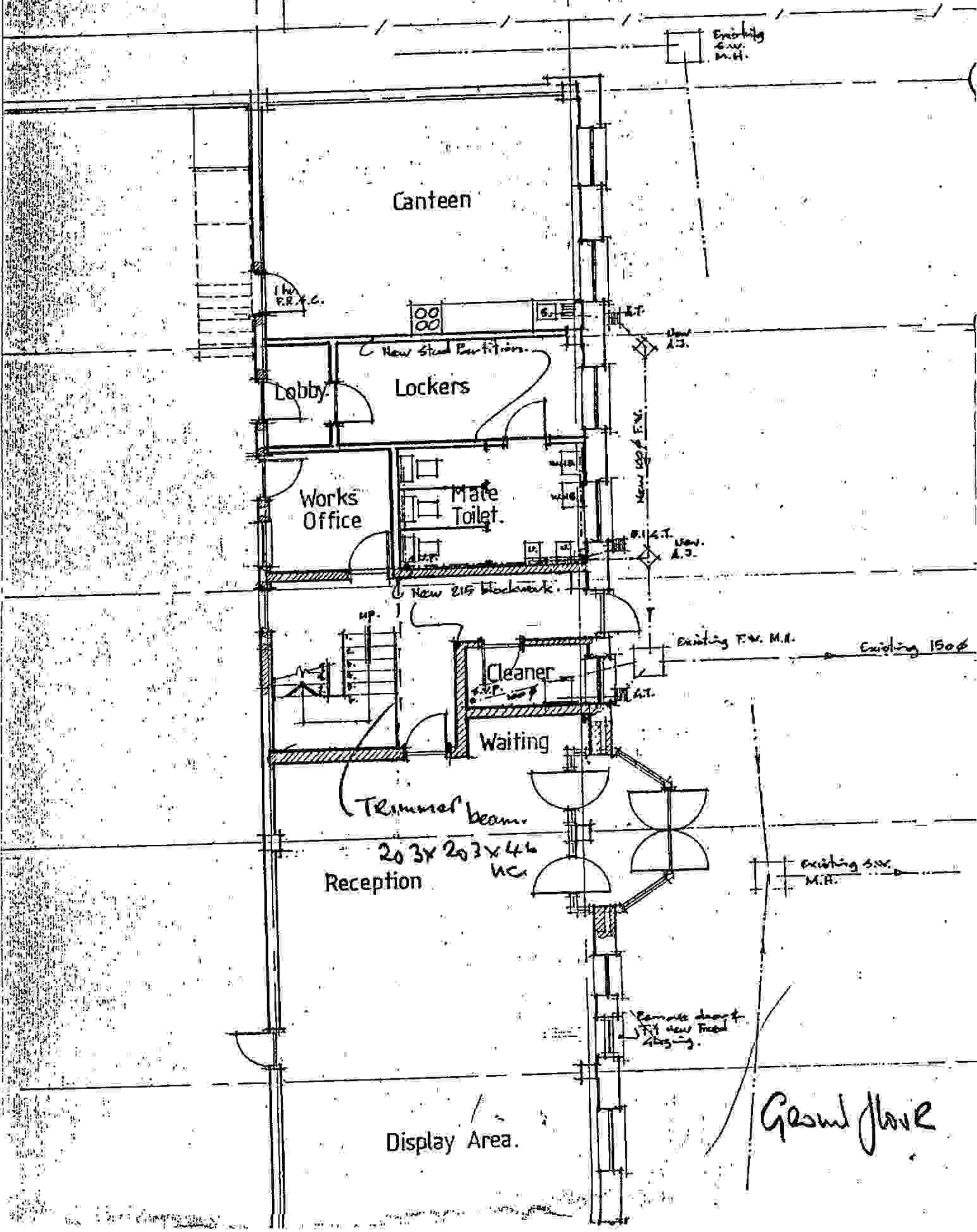
5000 s.w. slaking

Cut existing floor slab
from Foundation to build new
215 block wall, all to Eng's detail.
Make good to floor.

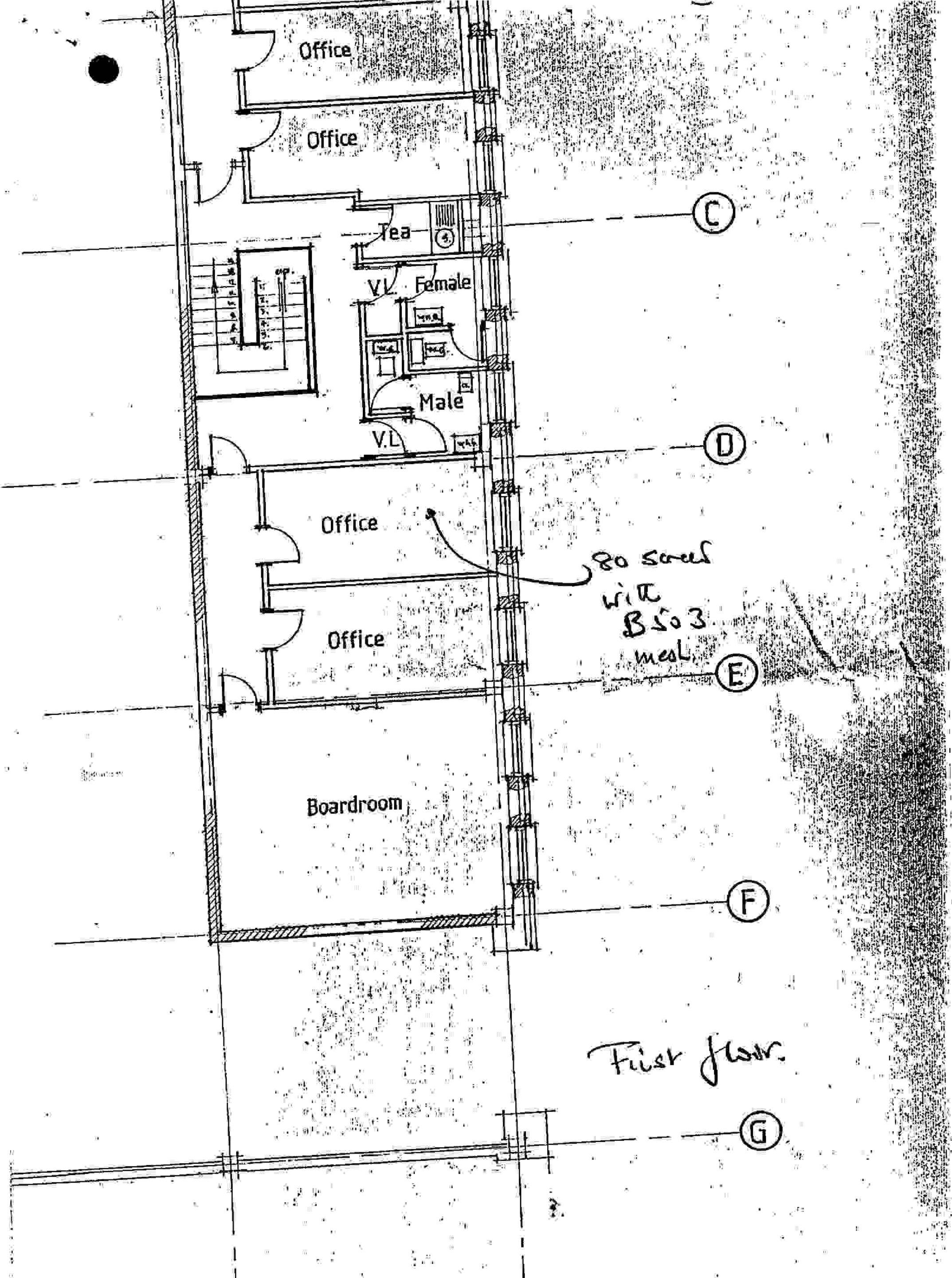
1150

2

1



Ground floor



Office

Office

Tea

V.L. Female

Male

V.L.

Office

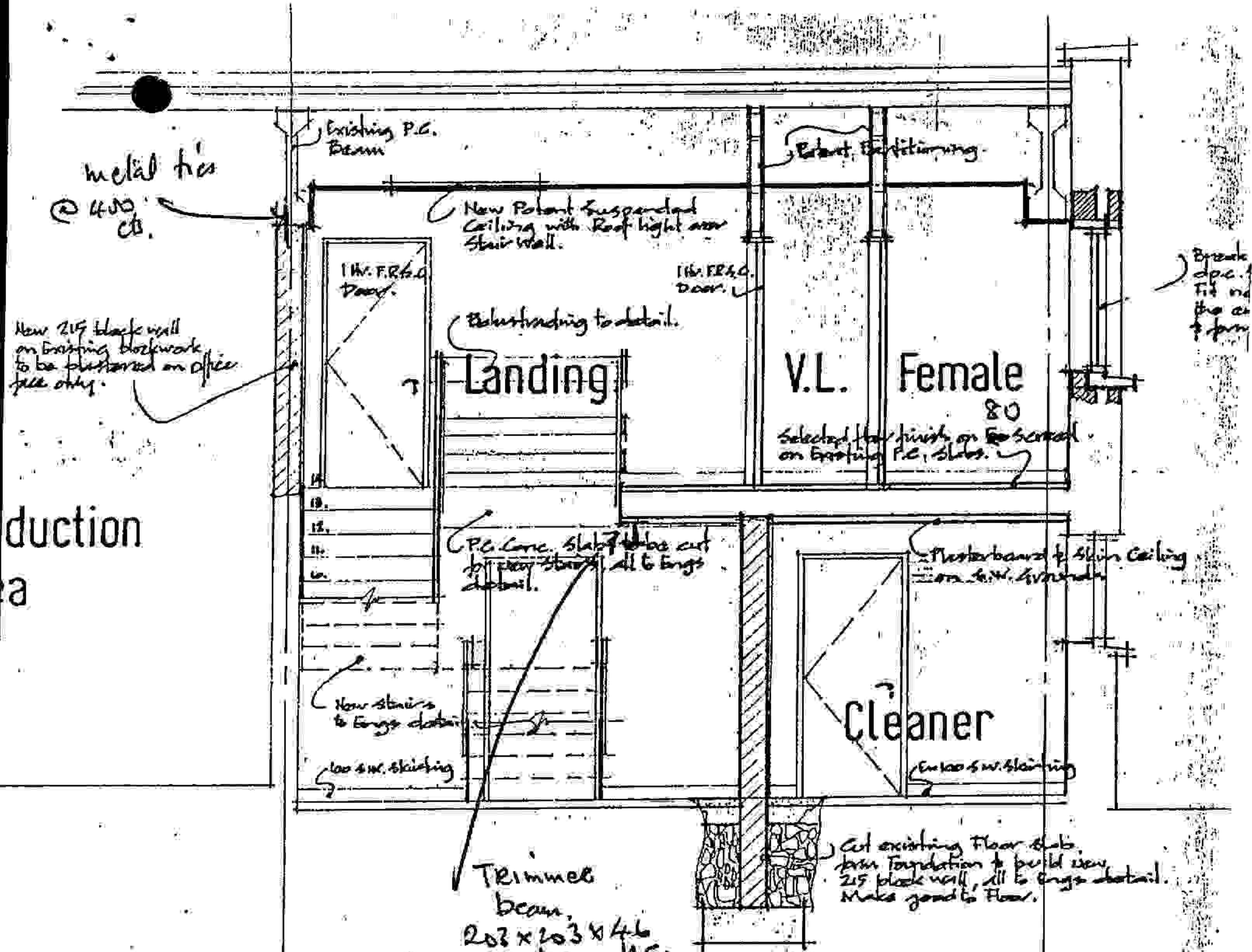
Office

Boardroom

80 screws
with
B503
metal

First floor

Floor Plan Scale: 1:100



metal ties
@ 400
cb.

New 215 block wall
on existing blockwork
to be plastered on office
side only.

duction
a

Existing P.C.
Beam

New Patent Suspended
Ceiling with Roof light over
Stair wall.

Patent Partitioning

116. F.R.G.
Door

116. F.R.G.
Door

Reinforcing to detail.

Landing

V.L. Female
80

Selected floor finish on floor screed
on existing P.C. Slabs.

Break
dpc.
Fit in
the
c/c
& form

10.
11.
12.
13.

P.C. Conc. Slab to be cut
by new stairs, all to Engg
detail.

Plasterboard to skin Ceiling
on 215 blockwork

New stairs
to Engg detail

100 mm skirting

Cleaner

100 mm skirting

Trimmed
beam,
203 x 203 x 46
nc
fire protected.

Cut existing floor slab,
from foundation to build new
215 block wall, all to Engg detail.
Make good to floor.

Section A-A Scale: 1:50

DUBLIN COUNTY COUNCIL
Planning Dept August
APPLICATION

8 AUG 1991
91A 1311

Outline Specification

of

Works to be done &

materials used in the

Alterations and Additions

to:

Datarol Ltd.,
Unit 7,

Cookstown Industrial Estate,
Tallaght,
Dublin 24.

In accordance with the drawings
and specification prepared by
and under the supervision of

Maurice Drennan M.R.I.A.I.,
Architect & Project Manager
National Management Centre,
Sandyford Road,
Dublin 16.

Dated August 1991.

Description:

The works consist of the alterations of the offices and staff areas on the ground floor of the existing premises and the fitting out of new offices & staff facilities at first floor level, together with all necessary ancilliary works.

Demolition:

Take down and cart away all ground floor office partitions, disconnect and seal off all existing soil and waste pipes, cut existing F.F. P.C. Conc. slabs and support same to allow for new conc. staircase, all in accordance with the Structural Engineers drawings & details. Cut out opes at F.F. level to form new windows to new F.F. offices etc. All demolition work to be in accordance with B.S.6187 "Code of Practice for Demolition".

Foundations:

in

Cut existing G.F. slab and excavate for new R.C. foundations to sizes and

location, all as shown on Architects and Structural Engineers drawings and details.

Concrete mixes shall be designed mixes in accordance with B.S. 5328. and shall be in accordance with the Structural Engineers Schedule.

Blockwork:

Shall comply with the requirements of I.S.20 for solid and hollow concrete blocks.

Lintols:

The Engineers approval in writing of suppliers of Prestressed or Pressed Metal Units must be obtained. Prestressed Lintols shall conform to I.S. 240.

D.P.C's.:

To be P.V.C. & shall be laid for the full width of walls and shall be overlapped at joints minimum 150mm.

D.P.M.:

Make good where necessary to existing D.P.M. with 1000 guage Visqueen.

Walls & Partitions: Form 215 solid block walls and stud partitions of 100 X 50 S.W. studs at 400cts at G.F. level in positions shown. F.F. partitions to be patent partitioning by approved manufacturer.

Windows: To be double glazed P.V.C. or other approved to match the existing.

Doors: To be 1 hour Fire Resisting Self Closing Ash Veneered flush doors & ½ hour F.R. as shown on the drawings.

Entrance Lobby: To be Double Glazed Aluminium to Architects detail & to be supplied and erected by a nominated sub-contractor.

Drainage: To be in u P.V.C. and shall be installed and laid in accordance with manufacturers recommendations. Single stack installations shall comply with the requirements of B.S. All new foul drains are to be connected to the existing foul manhole as shown.

Ceilings: The ground floor ceiling shall be plasterboard and skim on ex.25mm S.W. brandering fixed to the P.C. slabs. First floor ceilings shall be patent suspended ceilings, 600 X 600 selected tiles on a lay-in suspended grid, all by a nominated sub-contractor.

Plumbing: The plumbing and sanitary installations are to be carried out by a competent sub-contractor and shall comply with Local Authority requirements.

Heating: Alterations and additions to the existing heating installation is to be carried out by a competent contractor.

Electrical: installation The alterations to the existing and of new work will be carried out by a competent sub-contractor and shall be in accordance with E.S.B. and I.E.E. regulations.

Decoration: The entire ground & first floor shall be decorated throughout.

Clear & Tidy: rubble The Contractor shall clear away all and rubbish and shall leave the site clean and tidy.