

REF. NO.: 91A/1226 CERTIFICATE NO.: 1587B
 PROPOSAL: Toilet, kitchen, lounge extensions, gable bay window, Shopfront, alts
 LOCATION: The Seeheld Lane Luan road, Luan
 APPLICANT: Hugh Courtney

| | 1 | 2 | 3 | 4 | 5 | 6 | 7 |
|-------|---|---|----------------------|-------------|-------------|----------------|------------------|
| CLASS | DWELLINGS/AREA LENGTH/STRUCTURE | RATE | AMT. OF FEE REQUIRED | AMT. LODGED | BALANCE DUE | RED. FEE APPL. | AMT. OF RED. FEE |
| A | Dwelling (Houses/Flats) | @ £55 | | | | | |
| B | Domestic Ext. (Improvement/Alts.) | @ £30 | £30 | £30 | | | |
| C | Building for office or other comm. purpose <u>268.0m²</u> | @ £3.50 per M ² or £70 | £938 | £938 | — | | |
| D | Building or other structure for purposes of agriculture | @ £1.00 per M ² in excess of 300 M ² Min. £70 | | | | | |
| E | Petrol Filling Station | @ £200 | | | | | |
| F | Dev. of prop. not coming within any of the forgoing classes | £70 or £9 per .1 hect. whichever is the greater | | | | | |

Column 1 Certified: Signed: [Signature] Grade: D/II Date: 26/7/91
 Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____
 Columns 2,3,4,5,6 & 7 Certified: Signed: noth Grade: C/O Date: 25/7
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

PLANNING APPLICATION FEES

Reg. Ref. 91A/1226

Cert. No. 26/41

PROPOSAL... To let, kitchen, large extensions, stable bay, window, shopfront, etc.

LOCATION... The Sarsfield Bar, Leam road, Leam

APPLICANT... High Country

| CLASS | DWELLINGS/AREA LENGTH/STRUCT. | RATE | AMT. OF FEE REQ. | AMOUNT LODGED | BALANCE DUE | BALANCE PAID |
|-------|-------------------------------|--|------------------|---------------|-------------|--------------|
| 1 | Dwellings | @£32 | | | | |
| 2 | Domestic, | @£16 | £16 | £16 | — | |
| 3 | Agriculture | @50p per m ² in excess of 300m ² . Min. £40 | | | | |
| 4 | Metres 110.0m | @£1.75 per m ² or £40 | 192.50 | 194.25 | 1.75p | Overpayment |
| 5 | x .1 hect. | @£25 per .1 hect. or £250 | | | | |
| 6 | x .1 hect. | @£25 per .1 hect. or £40 | | | | |
| 7 | x .1 hect. | @£25 per .1 hect. or £100 | | | | |
| 8 | | @£100 | | | | |
| 9 | x metres | @£10 per m ² or £40 | | | | |
| 10 | x 1,000m | @£25 per £1000m or £40 | | | | |
| 11 | x .1 hect. | @£5 per .1 hect. or £40 | £40 | £40 | | |

Column 1 Certified: Signed: *[Signature]* Grade: *D/E* Date: *26/7/91*

Column 1 Endorsed: Signed: Grade: Date:

Columns 2,3,4,5,6 & 7 Certified: Signed: *M.H.* Grade: *1/2* Date: *25/7*

Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade: Date:

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1955 TO 1962

ASSESSMENT OF FINANCIAL CONTRIBUTION

EG. REF.: 91A/1226

CH. REF.:

SERVICES INVOLVED: WATER/POOL/SEWER/SURFACE WATER

REF. OF SITE:

FLOOR AREA OF PRESENT PROPOSAL: 1195 FT²

MEASURED BY:

HECKED BY:

STAGE OF ASSESSMENT:

TOTAL ASSESSMENT

AMASSOR'S ORDER NO. & DATE

INDEXED BY CONTRIBUTIONS REGISTER:

J.S.
26/7/91
Jeweland
1195
1000 @ 70

= 896.25
£ 896

298³²
189 6¹⁴

EMPLOYMENT CONTROL ASSISTANT GRADE

Detoured car
parking lamp
cut back development
Controlled
15 ft h. of 40mm window
generate approx 4 cubic ft
- less to apply
4 x 100
2 1/2 hrs. per 2/9/91

No repairs as
filed date
of assessment
11/9/91

Mary Galvin.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1226.
DEVELOPMENT: Toilet, kitchen & lounge extns., gable bay window, shopfront and other alterations.
LOCATION: The Sarsfield Bar, Lucan Road, Lucan.
APPLICANT: Hugh Courtney.
DATE LODGED: 22.7.91.

It is noted that 17 car parking spaces have been provided. To comply with Development Standards not less than 43 spaces would be required. Car park entrance treatment is not given.

The applicant should be requested to show how he proposes to overcome the deficiency in car parking spaces, failing which a refusal is recommended.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 18.09.91
Time 9.30

TB/BMcC
2.9.91.

SIGNED: 4-Bank
DATE: 3/9/91

ENDORSED: _____
DATE: _____

Mary Galvin

Register Reference : 91A/1226

Date : 25th July 1991

Development : Toilet, kitchen & lounge extensions, gable bay window, shopfront & other alterations

LOCATION : The Sarsfield Bar, Lucan Road, Lucan

Applicant : Hugh Courtney

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning officer : M.GALVIN

Date Recd. : 22nd July 1991

DUBLIN COUNTY COUNCIL
- 5 SEP 1991
ENVIRONMENTAL HEALTH OFFICERS

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 11.09.91
Time 10.00

Yours faithfully,
Paul Galvin

FOR PRINCIPAL OFFICER

The proposal is acceptable subject to

- ① Compliance with the Food Hygiene Regulations 1950/89
- ② Provision of suitable and adequate ventilation in the sanitary accommodation and lobbies leading thereto.
- ③ A suitable layout plan of the kitchen showing location of cooking equipment, storage facilities, ventilation details etc. to be submitted to this office prior to commencement of work

SUPER. ENVIRON. HEALTH OFFICER,
33 GARDINER PLACE,
DUBLIN 1.

for John O'Keilly SEHO 9/9/91

17/4243/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/1226

Date Received : 22nd July 1991

Correspondence : James A. Delahunty, Architect,
Name and : 122 Merrion Road,
Address : Ballsbridge,
Dublin 4

Development : Toilet, kitchen & lounge extensions, gable bay window,
shopfront & other alterations

Location : The Sarsfield Bar, Lucan Road, Lucan

Applicant : Hugh Courtney

App. Type : Permission

Zoning :

Handwritten notes:
1000 sqm
1/3200
4 x 1/2000
Signature

(MG/AC)

Report of the Dublin Planning Officer dated 2 September 1991.

this is an application for PERMISSION for toilet, kitchen and lounge extensions, gable bay window shop front and other alterations at the Sarsfield Bar, Lucan Road, Lucan.

The proposed site which has a stated area of 1080 sq.m. is located close to the centre of Lucan Village in an area zoned 'C1', "to provide for and/or improve local/neighbourhood centre facilities". The proposed site is also located within the extended conservation area in the context of the County Development Plan review.

The proposed site fronts onto Lucan Road to the ^{North} south, Adamstown Road to the east and the Griffeen River to the west. There is an existing house to the rear. There is no reference on the planning register of any previous grants of permission in relation to this site.

This site was inspected on 22.08.91. Existing buildings on site include two-storey pitched roof buildings on the street frontage with a mono-pitched annex to rear. There is an existing vehicular access from Adamstown Road.

The current application provides for the construction of a 111 sq.m. flat roofed extension to the rear. This will involve the demolition of an existing toilet block. This extension is to accommodate a kitchen area, toilets and an additional lounge area. This will involve an additional public area of c. 15 sq.m. within the extension area. First-floor accommodation is to be used for residential purposes.

The proposed application provides for several alterations to both front and

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1226

Page No: 0002

Location: The Sarsfield Bar, Lucan Road, Lucan

side elevations. The existing frontage is to be broken up into 3 separate shop fronts. The existing shop front to the west "R. Carroll" is to be retained and the new shop fronts are to match this. Window opes are to be altered to provide for greater vertical emphasis and hardwood windows are proposed. Painted signs at first-floor level are to be removed although lodged plans identify existing projecting advertising signs. It is considered that these should be removed having regard to the location of the site adjacent to the conservation area.

A new shop front (including new window opes) is to be provided at the Adamstown Road frontage which will improve the appearance of the existing premises at this location.

The western elevation is also to be altered. An existing *flue* and advertising hoarding are to be removed. The hoarding is to be replaced by a projecting gable window with canopy over. ~~It is considered that while a window could be incorporated at this location a projecting window of the type proposed is out of keeping with the traditional character of the existing building. This matter can be conditioned.~~

The proposed extension encroaches on an area of car parking to the rear. However the applicants state this car park is little used at present. In addition as so little car parking can be accommodated here anyway this encroachment is not considered significant. Roads Department report notes, ~~received to date - it is likely that Roads will want a financial contribution in lieu of parking.~~

The proposed site is quite open and the rear yard is clearly visible from the Lucan Road to the west. A pitched/hipped roof finish to the extension would be preferable to the flat roof proposed. However it is considered that landscaping could be provided along the Griffeen to screen the extension from view. This can be conditioned.

Sanitary Services Department report *done in duplicate*

Supervising Environmental Health Officer's report *not done*

Forward Planning report noted.

The proposed development provides for significant improvements to the existing building.

I recommend that a decision to GRANT PERMISSION be made under the Local.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1226

Page No: 0003

Location: The Sarsfield Bar, Lucan Road, Lucan

Government (Planning and Development) Acts 1963-1990, subject to the following (||) conditions:-

C O N D I T I O N S / R E A S O N S

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 04 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of safety and the avoidance of fire hazard.
- 05 That the requirements of the supervising Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of health.
- 06 That no advertising sign or structure be erected, including those which are exempted development, without the prior approval of the Planning Authority.
REASON: To prevent unauthorised development.
- 07 That the existing projecting signs on the front facade and the existing advertising hoarding on the side (west) elevation be removed prior to the commencement of development on site.
REASON: In the interest of visual amenity.
- 08 ~~That the proposed gable bay window on the western elevation be omitted. Details of a revised window design to be submitted for the written agreement of the Planning Authority.~~

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1226

Page No: 0004

Location: The Sarsfield Bar, Lucan Road, Lucan

08 REASON: ~~In the interest of the proper planning and development of the area.~~

08 That a 2 metre wide landscape strip be provided along the western and southern boundary of the ^{site}. This landscape strip to be planted with a variety of shrubs and trees of native species. Full details to be submitted to and agreed in writing with the Planning Authority prior to commencement of development on site.

09 REASON: In the interest of the proper planning and development of the area.

10 That the proposed car park/yard area be tarmacadamed and car parking spaces marked out on site prior to the commencement of development on site.

11 REASON: In the interest of the proper planning and development of the area.

11 That a financial contribution in the sum of £ 316 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

12 REASON: The provision of such services in the area by the council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

12 That a financial contribution in the sum of £ 3200 be paid by the applicant to Dublin County Council towards the improvement of the road network in the area of the proposed development, and which will facilitate this development. This contribution to be paid prior to the commencement of development on site.

13 REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 91A/1226

Page No: 0005

Location: The Sarsfield Bar, Lucan Road, Lucan

[Signature]
Endorsed:
for Principal officer

[Signature]
.....
for Dublin Planning Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (ii) conditions set out above is hereby made.

Dated : 16 September 1991 *[Signature]*
ASSISTANT CITY AND COUNTY MANAGER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 26 August, 1991.

16 September

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1226.

DEVELOPMENT: Toilet, kitchen & lounge extns., gable bay window, shopfront and other alterations.

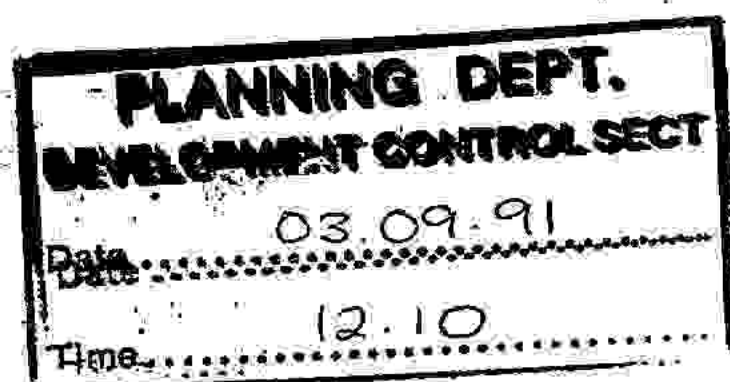
LOCATION: The Sarsfield Bar, Lucan Road, Lucan.

APPLICANT: Hugh Courtney.

DATE LODGED: 22.7.91.

It is noted that 17 car parking spaces have been provided. To comply with Development Standards not less than 43 spaces would be required. Car park entrance treatment is not given.

The applicant should be requested to show how he proposes to overcome the deficiency in car parking spaces, failing which a refusal is recommended.



DP 1987
1.3.1..

SIGNED: AFK

DATE: 3.9.91

ENDORSED: _____

SS + CWS

M. Galvin

Register Reference : 91A/1226

Date : 25th July 1991

Development : Toilet, kitchen & lounge extensions, gable bay window, shopfront & other alterations

LOCATION : The Sarsfield Bar, Lucan Road, Lucan

Applicant : Hugh Courtney

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : M.GALVIN

Date Recd. : 22nd July 1991

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT
 Date 05-09-91
 Time 4.40

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN Co. COUNCIL
 ..12 AUG 1991..
 SAN SERVICES

DUBLIN Co. COUNCIL
 SANITARY SERVICES
 FOR PRINCIPAL OFFICER
 4 SEP 1991
 Returned. J.G.

Date received in Sanitary Services ..12 AUG 1991..

FOUL SEWER

Available - existing system.
 This proposal represents an intensification of existing use.
 A suitable and adequate grease interceptor is to be installed on the outlet from the proposed kitchen

SURFACE WATER

Available to River Griffeen.
 Floor level of proposed development is to be at least 300 mm above the highest recorded flood level in the area.

SENIOR ENGINEER,
 SANITARY SERVICES DEPARTMENT,
 46/49 UPPER O'CONNELL STREET,
 DUBLIN 1

J. J. Sullivan 20/8/91.

J.J. 29/8/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 05-09-91
Time 4.40

Register Reference : 91A/1226

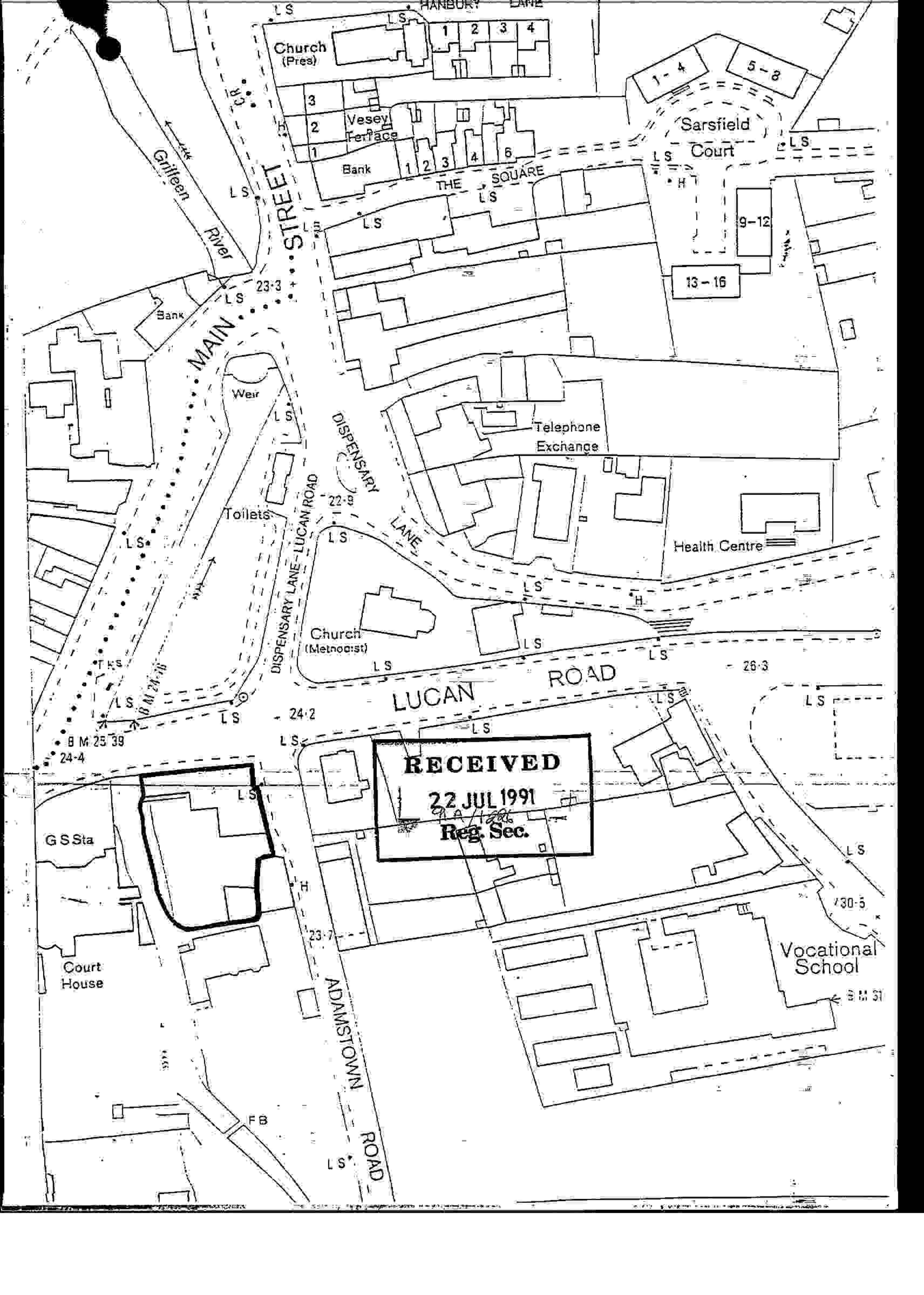
Date : 25th July 1991

.....
ENDORSED _____ DATE _____

WATER SUPPLY..... Existing metered supply.....

A. J. Deakin
19/8/91
A. J. Deakin
20/8/91

.....
ENDORSED DATE 28/8/91





Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 4243 /91 Date of Decision : 16th September 1991

Register Reference : 91A/1226 Date Received : 22nd July 1991

Applicant : Hugh Courtney

Development : Toilet, kitchen & lounge extensions, gable bay window,
shopfront & other alterations

Location : The Sarsfield Bar, Lucan Road, Lucan

Floor Area : Sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

subject to the conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- ...11....ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer

Date: ...18/9/91.....

James A. Delahunty, Architect,
122 Merrion Road,
Ballsbridge,
Dublin 4

NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,
Blocks 6 and 7
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Reg. Ref. 91A/1226
Decision Order No. P/ 4243 /91
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Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

C O N D I T I O N S / R E A S O N S

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
REASON: In order to comply with the sanitary Services Acts, 1878-1964.
- 04 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of safety and the avoidance of fire hazard.
- 05 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of health.
- 06 That no advertising sign or structure be erected, including those which are exempted development, without the prior approval of the Planning Authority.
REASON: To prevent unauthorised development.
- 07 That the existing projecting signs on the front facade and the existing advertising hoarding on the side (west) elevation be removed prior to the commencement of development on site.
REASON: In the interest of visual amenity.
- 08 That a 2 metre wide landscape strip be provided along the western and southern boundary of the carpark. This landscape strip to be planted with a variety of shrubs and trees of native species. Full details to be submitted to and agreed in writing with the Planning Authority prior to commencement of development on site.
08 REASON: In the interest of the proper planning and development of the area.
- 09 That the proposed car park/yard area be tarmacadamed and car parking spaces marked out on site prior to the commencement of development on site.

NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,
Blocks 6 and 7
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
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Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Reg.Ref. 91A/1226

Decision Order No. P/ 4243 /91

Page No: 0003

09 REASON: In the interest of the proper planning and development of the area.

10 That a financial contribution in the sum of £896.00 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

11 That a financial contribution in the sum of £3200.00 be paid by the applicant to Dublin County Council towards the improvement of the road network in the area of the proposed development, and which will facilitate this development. This contribution to be paid prior to the commencement of development on site.

REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,
Blocks 6 and 7
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

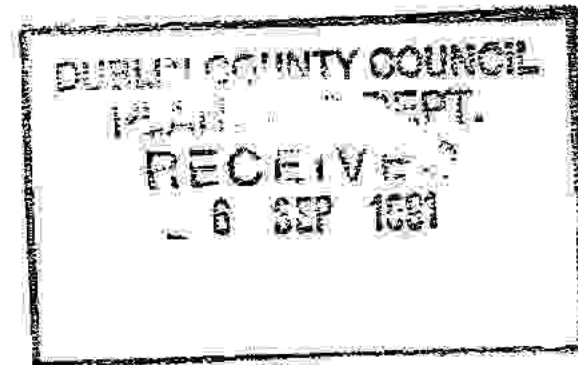
5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

WM

JAMES A. DELAHUNTY
ARCHITECTS - INTERIOR DESIGNERS
122 Merrion Road Ballsbridge Dublin 4
Telephone 01. 2693325 / 088.554516 Fax 01. 2837972

James A. Delahunty Dip.Arch., B.Arch.Sc., MRIAI - Joan Harley B. Des.

Dublin County Council
Planning Department
Irish Life Centre
Lower Abbey Street
Dublin 1



4 September 1991

For attention of Ms Mary Galvin

Re: Proposed toilet, kitchen and lounge extensions, gable bay window, shopfront and other alterations
At: The Sarsfield Bar, Lucan Road, Lucan, Co. Dublin
For: Mr Hugh Courtney

Planning Reg. Ref. 91a/1226

Dear Ms Galvin,

Thank you for the opportunity to discuss the above proposals recently at your office.

With regards to the points discussed, I would like to again remind you that;

1. There are a number of prominent bay windows in the immediate locality, notably the one over Coleman's shop in the new shopping mall, and in Kenny's Public House. Bay windows are extensively featured in the Weston Park development. The gable bay window will be a convincing and unarguable reason for the removal of the advertising structure on this gable, and a considerable improvement on this. Note that the latter structure is in place for some considerable time, long prior to my clients purchase of the premises.
2. Improvements in parking surfacing and marking, together with clearance of derelict site ancillary areas, will result in a net increase in parking facilities.
3. The monopitch roof on the lounge area is long existing and my client is not in a financial or practical position to alter it.
4. It would be difficult if not impractical to avoid a flat roof on the new service block, and views towards this area are limited. The applicant would accept conditions requiring either a muted colour on this section, or slate cladding of part [the upper or one face] of the wall, or a slate clad mansard / eaves, say 1000mm high.

If you require any further information, I would appreciate a phone call.

Yours faithfully,

James A. Delahunty

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone: (01)724755
Fax: (01)724896

Register Reference : 91A/1226

Date : 23rd July 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Toilet, kitchen & lounge extensions, gable bay window,
shopfront & other alterations

LOCATION : The Sarsfield Bar, Lucan Road, Lucan

APPLICANT : Hugh Courtney

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application
received on 22nd July 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

James A. Delahunty, Architect,
122 Merrion Road,
Ballsbridge,
Dublin 4



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building THE SARRSFIELD BAR - LUCAN ROAD - LUCAN
(If none, give description sufficient to identify) CO. DUBLIN

3. Name of applicant (Principal not Agent) HUGH COURTNEY

Address THE SARRSFIELD BAR - LUCAN - CO. D. Tel. No. _____

4. Name and address of person or firm responsible for preparation of drawings JAMES A DELAHUNTY Tel. No. _____
DIP. ARCH. & ARCH. SURV.

5. Name and address to which notifications should be sent ARCHITECT
122 MERION ROAD, BALLSBRIDGE, DUBLIN, 4. 01 2693325
Mobile Teleph. 038-554516 FAX 2837972.

6. Brief description of proposed development TOILET, KITCHEN & LOUNGE EXTENSIONS, GABLE BAY WINDOW, SHOPFRONT & OTHER ALTERATIONS

7. Method of drainage EX MAINS 8. Source of Water Supply EX MAINS

9. In the case of any building or buildings to be retained on site, please state:-

(a) Present use of each floor or use when last used. 1st - LIVING G.F. - PUBLIC BAR

(b) Proposed use of each floor "

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11(a) Area of Site 1080 Sq. m.

(b) Floor area of proposed development 177 Sq. m.

(c) Floor area of buildings proposed to be retained within site 1ST FLOOR: 112.64 CELLAR 49 STORES (EXT) 60 GROUND FL 215 Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box. **FEE PAID: 250.25 DATE: 22/7**

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal: SEE LETTER RECEIVED N44291

15. List of documents enclosed with application. Newspaper notice
4 Copies Survey Drawing I, II, letter, Spec, O.S. Map.
910502 - 01A/02/03/04/05/06

16. Gross floor space of proposed development (See back) 1968 N45330

No of dwellings proposed (if any) 1 Class(es) of Development 4/C

Fee Payable £ 1218.25 Basis of Calculation 11 x £1.75 + £3.50 EXT/BAY + FLRT ALTERATIONS £30 + £16
If a reduced fee is tendered details of previous relevant payment should be given: SHOPFRONT AUTO £40 PLANNING ONLY
197m² x £3.50 BBL FOR ALL LOUNGE AREA.

Signature of Applicant (or his Agent) Hugh Courtney Date 19th July 1991

Application Type P/B FOR OFFICE USE ONLY 22/7

Register Reference 91A/1226

Amount Received £ 17-6 2.36.4

Receipt No _____

Date _____

Irish
Press
19/7/91

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

| CLASS NO. | DESCRIPTION | FEE |
|-----------|--|---|
| 1. | Provision of dwelling — House/Flat. | £32.00 each |
| 2. | Domestic extensions/other improvements. | £16.00 |
| 3. | Provision of agricultural buildings (See Regs.) | £40.00 minimum |
| 4. | Other buildings (i.e. offices, commercial, etc.) | £1.75 per sq. metre (Min. £40.00) |
| 5. | Use of land (Mining, deposit or waste) | £25.00 per 0.1 ha (Min. £250.00) |
| 6. | Use of land (Camping, parking, storage) | £25.00 per 0.1 ha (Min. £40.00) |
| 7. | Provision of plant/machinery/tank or other structure for storage purposes. | £25.00 per 0.1 ha (Min. £100.00) |
| 8. | Petrol Filling Station. | £100.00 |
| 9. | Advertising Structures. | £10.00 per m ² (min £40.00) |
| 10. | Electricity transmission lines. | £25.00 per 1,000m (Min. £40.00) |
| 11. | Any other development. | £5.00 per 0.1 ha (Min. £40.00) |

BUILDING BYE-LAW APPLICATIONS

| CLASS NO. | DESCRIPTION | FEE |
|-----------|--|---|
| A | Dwelling (House/Flat). | £55.00 each |
| B | Domestic Extension (improvement/alteration) | £30.00 each |
| C | Building — Office/Commercial Purposes | £3.50 per m ² (min. £70.00) |
| D | Agricultural Buildings/Structures. | £1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00) |
| E | Petrol Filling Station | £200.00 |
| F | Development or Proposals not coming within any of the foregoing classes. | £9.00 per 0.1 ha (£70.00 min.) |
| | | Min. Fee £30.00 Max. Fee £20,000 |

Cheques etc. should be made payable to: Dublin County Council.

Gross floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.



- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

REC. NO. N 45330

£ 968.00

Received this 27th day of July 1991

from Raymond Inns Ltd

the sum of nine hundred and sixty eight Pounds

Pence, being fee for bye-law application at Lucan Rd.

Maele Deane Cashier

S. CAREY Principal Officer (Asst B)

COMHAIRLE CHONTAE ÁTHA CLATH

RECEIPT CODE

PAID BY DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET
DUBLIN 1

Issue of this receipt is not an acknowledgment that the fee tendered is the prescribed application fee

N 44291

CASH
CHEQUE
M.O.
B.L.
I.T.

£250.25

Received this 25th day of July 1971
from S. J. McKeown Ltd.

The sum of two hundred and fifty Pounds
Twenty five Pence being for the
planning application at Liscannor Rd.

M. J. Deane

Cashier

S. CAREY
Principal Officer 11004

JAMES A DELAHUNTY

A R C H I T E C T

Phone/Fax 2837972.

122 Merrion Rd Ballsbridge Dublin 4
Telephone 01.693325 Mobile 088.554516

18 July 1991

Dublin County Council
Planning Department
Irish Life Centre
Lower Abbey Street
Dublin 1

RECEIVED

22 JUL 1991

91A/1226
Reg. Sec.

Re: Proposed toilet, kitchen and lounge extensions, gable bay window, shopfront and other alterations
At: The Sarsfield Bar, Lucan Road, Lucan, Co. Dublin
For: Mr Hugh Courtney

Dear Sirs,

I enclose drawings and documents relating to the above application.

The proposals will greatly improve the appearance of the premises, contain only minimal provisions for extension of lounge facilities, provide for improved toilet, kitchen, safety and fire precaution and escape facilities, with improved residential amenity for Mr Courtney and his family [who will live on the premises], and will I hope meet with your approval.

Note that parking provisions will be considerably enhanced by the surfacing, marking, signposting, supervision and control of car parking facilities. The yard is already used as such, but due to the condition of the yard, this is little used.

Please note that it is my practice to take account of the Proposed Building Regulations in the design of buildings, but this is not a guarantee that the Regulations have been implemented in full.

With regard to Building Bye Laws;

I am also making an application for Building Bye Law Approval. Note that Mr Courtney is a registered builder, and will personally carry out construction work.

I request a waiver of Bye Laws to permit use of a single stack soil system to BS 5572 (1978).

I enclose cheque in respect of Planning and Bye Law Fees for the application.

If you require any further information, I would appreciate a phone call.

Yours faithfully,

James A. Delahunty

James A Delahunty

22 JUL 91

DISPENSARY
LAMP

2259
FS

RECEIVED

22 JUL 1991

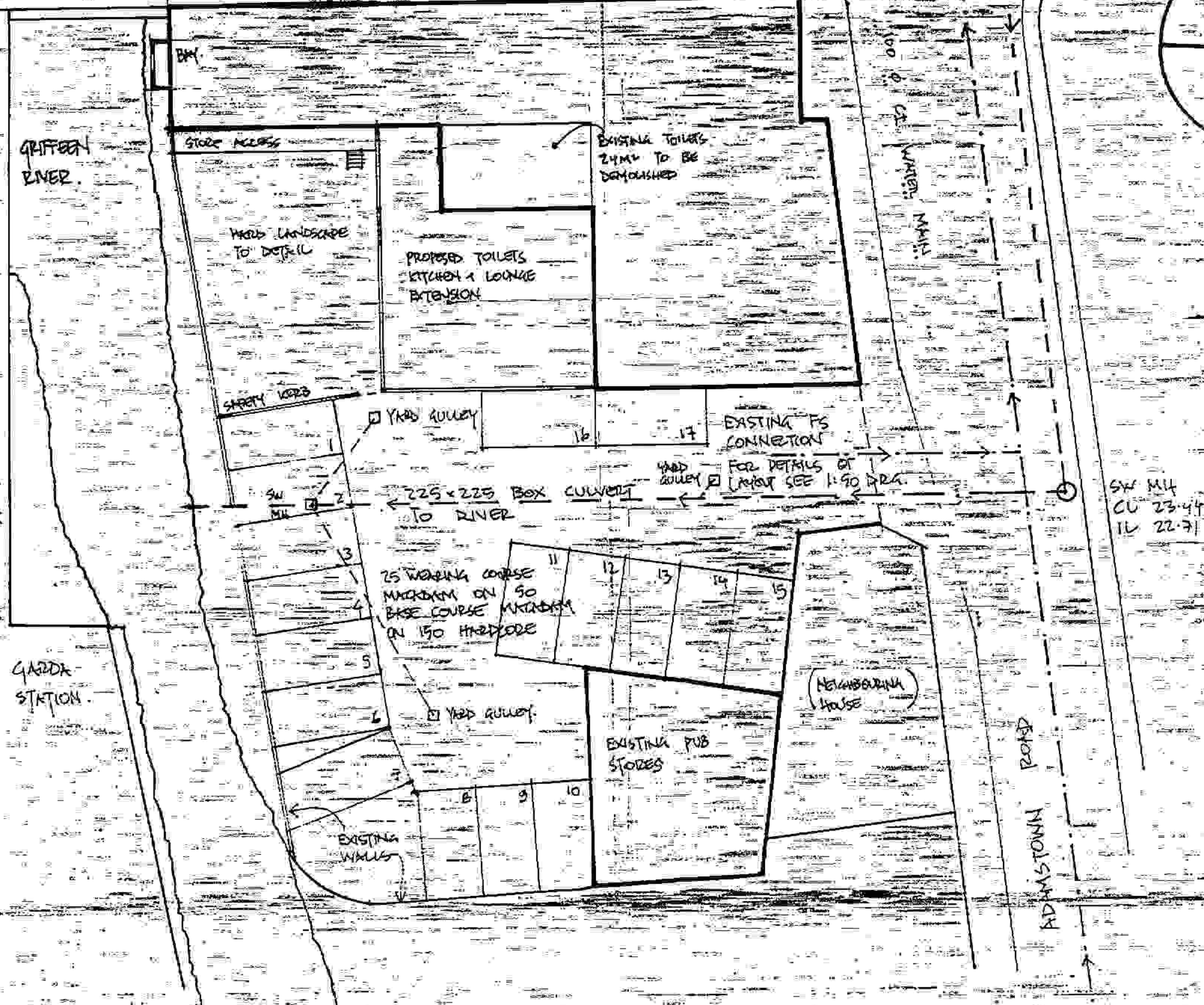
91A/1276
Reg. Sec.

ELMH
CL 24.11
IL 21.06

SWMH
CL 23.96
IL 23.00

WYNN ROAD

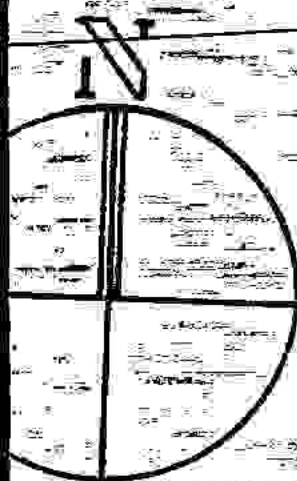
150 Ø CI WATER MAIN



SWMH
CL 23.44
IL 22.71

FS MH
CL 23.7
IL 22.33

S of SW



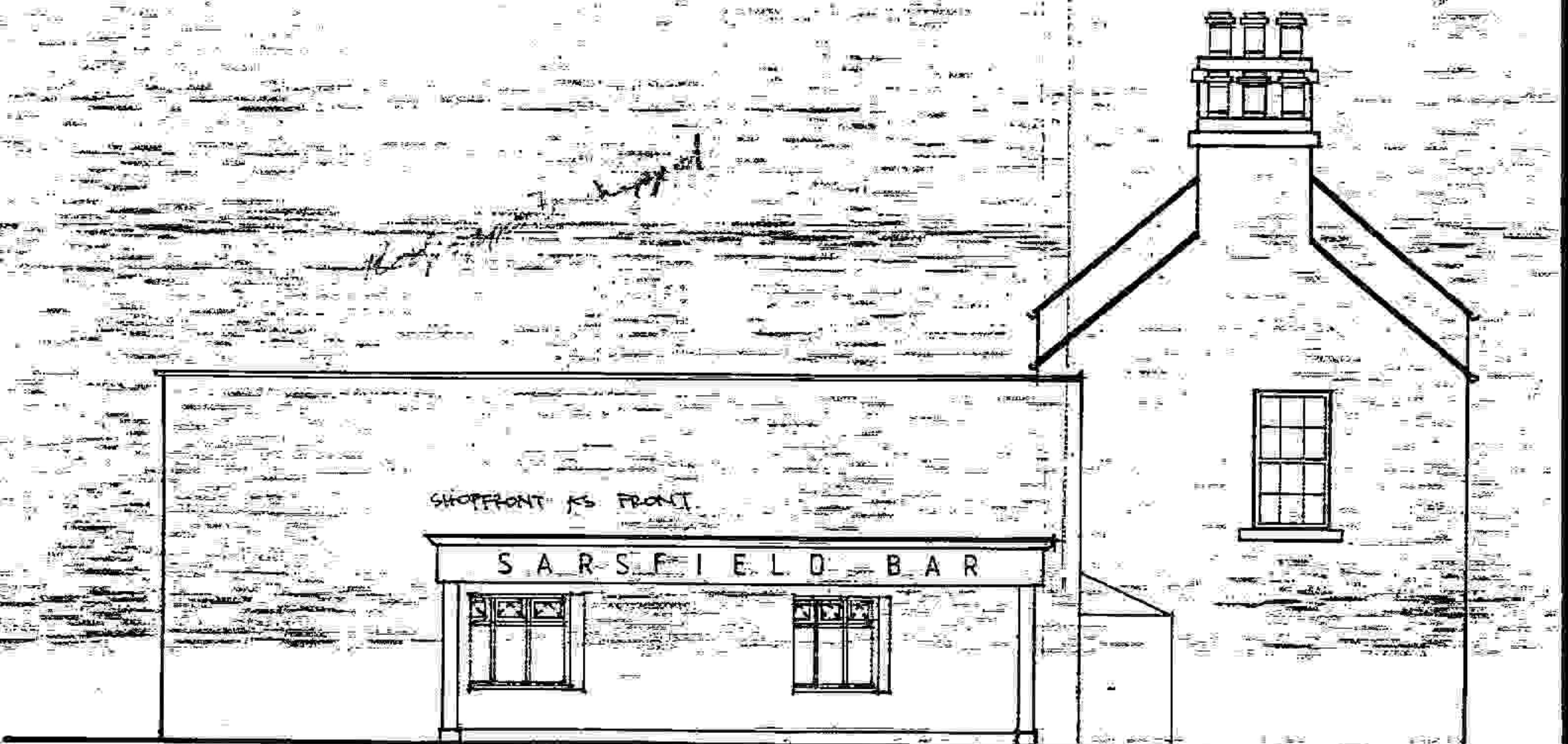
| No. | Revision | Date |
|---|--|------------------|
| No dimensions to be scaled off this drawing. All dimensions to be checked on site. Any discrepancies and errors to be brought to the architect's attention. | | |
| This drawing is copyright | | |
| James A. Deahunty, Dip. Arch., B. Arch. Sc., M.R.I.A.I. Architect. 122 Merrion Road, Balisbridge, Dublin 4. 088 85 65 66 693325 | | |
| Job | RENOVATIONS TO SARFIELD DAZ - LUCAN | |
| Title | SITE LAYOUT / BLOCK PLAN | |
| Client | HUGH COURTNEY | |
| Date | WLT 91 | Drawn JAD Chko ✓ |
| Scale | 1:250 1:100 to 910502 1:1000 to 06 | |

RECEIVED

22 JUL 1991
91A11226
Reg. Sec.



● FRONT ELEVATION



● SIDE ELEVATION

SPECIFICATION [OUTLINE] REFER TO FULL SPEC.

NOTE: ALL DIMENSIONS ARE IN MILLIMETERS.

EXCAVATION: for foundations, floors, drains and siteworks to the depths and dimensions as shown on the drawings.

FOUNDATIONS: to be laid to the depth and dimensions as shown on the drawings, in concrete mix 1:2:4 (cement : fine aggregate : coarse aggregate). Rising walls to be 300 solid blockwork, with 1:3 sand cement mortar.

EXTERNAL WALLS: to be constructed as shown on the drawings.

CAVITY WALLS: 100 brick or concrete block outer leaf as shown, 100 cavity with 40 rigid insulation board, 100 block inner leaf. Wall ties in accordance with manufacturers instructions, min 900 c/c horizontally, 450 c/c vertically, staggered. Cavity to be drained all round at base through vertical joints @ 1800 c/c. Cavity closed at top.

OR, WHERE HOLLOW BLOCK WALLS ARE SPECIFIED: 215 concrete block, hollow over DPC, solid below. Render as shown on the drawings. Dry line internally, to later detail.

EXTENSIONS: To new masonry in key in, or fix to approved patent fixings, or hilti-nail expand mesh @ 450c/c vertically.

DAMP PROOF COURSES: Approved DPC to be laid under all walls, cills and wall plates: stepped at lintols; behind door and window jambs (NOTY CLOSED).

INTERNAL WALLS: 100 concrete block on existing (or new 300 x 100 new) foundations, OR, 100 stud partitions, AS SHOWN.

GROUND FLOOR: 150 concrete powerfloat slab with light mesh reinforcing on 25 rigid insulation on 1000g Visqueen DPM on 150 bladed compacted hardcore.

ROOF: GENERAL: Wall plates shall be treated with preservative and fixed with holding down bolts. Fascia, barge and soffits to be as indicated on the drawings. Soffits shall have 12mm CONTINUOUS GAP for roofspace ventilation. Care to be taken to ensure ventilation of all areas; patent spacers to be used to prevent insulation blocking eaves. Lay 100mm fibreglass quilt, allowing ventilation throughout.

PITCHED ROOF: To be constructed as detailed on the drawings.

THRONE SLATES: To be as shown indicated on 36 x 19 treated battens @ 350 c/c.

CONCRETE TILES: (Standard) on 36 x 25 treated battens @ 300 c/c.

EITHER OR: Untearable felt with horizontal joints well lapped, turned into gutters, 150 x 36 joists @ 400 c/c, spiked to 75 x 100 wallplates (150 x 50 where fixed to side of existing wall) bolted to walls @ 900 c/c. Other timber members as shown.

CEILING: Plasterboard ceiling @ 9.5 foilbacked skim plastered. 5/9.5 with polythene vapour barrier skim plastered.

ROOFLIGHTS: To be Condore or VELUX as approved, installed fully in accordance with manufacturers instructions.

FLASHINGS: all aprons, soakers, cover flashings or stepped flashings to be copper, lead or aluminium, as indicated on the drawings. Provide complete metal tray membrane to chimney stacks.

FLAT ROOFS AND VALLEY GUTTERS: Dimensional reflective coating on Karalon RT4 on Isperrene primer (all fixed by approved sub contractors in accordance with manufacturers instructions) on 19 marine ply on structural timbers as detailed on the drawings.

EXTERNAL RENDER: Stud in 1:3 cement and coarse sand and render in 1:1:3 hydrated lime: cement: sand, finished 10 thick, smooth and even. Finishing coat to be 10 rough cast 1:3 cement: sand.

INTERNAL PLASTER: CEILINGS: fix plasterboard slabs and tape all joints.

WALLS: To stud partitions fix plasterboard slabs and tape all joints. To solid walls and partitions apply Gyplite undercoat. Tape all joints, angles, around openings and corners. Skim to plasterboard, finish coat to solid surfaces.



CILLS: Precast concrete to ISS.

LINTOLS: Approved patent to BS 1239 in accordance with manufacturers instructions. No spanlites unless specifically specified on drawings.

WINDOWS AND DOORS: To ISS; Approved hardwood or softwood as shown.

INTERNAL DOORS: 30mm flush with softwood frames.

DRAINAGE: Under all drains, gulleys, junctions, etc. lay bedding of min. 100 1:7 cement: aggregate mix to min 1:50 falls, width equal to twice diameter of pipes or fittings, humped half way up. New drains 100 & PVC. Where drain passes under building, encase in 150 conc. Where passing through walls, provide 75 spanlite lintol with 150 tolerance for settlement. WASTES: PVC with 75 CP deep seal traps to ISS. SINGLE STACK SOIL SYSTEMS TO BS 3571 (1978) WHERE PERMITTED.

PLUMBING: HOT & COLD SUPPLIES: Provide supplies to fittings shown. Stopcocks to main runs. Conceal pipes in floors, behind presses, etc.

PIPING: Hot and cold supplies in copper tube to BS 2871 and CP 1:1971 with compression fittings. Lag in attic and underfloor areas. Support to prevent deformation or deflection.

ELECTRICAL: All electrical work to ESS standards and regulations.

PAVE / DRIVEWAYS: 100 concrete finished with a wood float, with expansion joints @ 2500 c/c, on 150 hardcore.

PAVING: 600 x 600 paving slabs on 150 compacted hardcore.

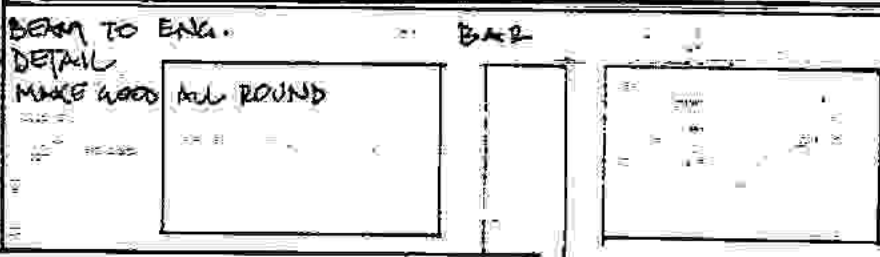
COMPLETION: Windows, doors, walls and floors to be cleaned down, and the whole building and site to be left in a clean and habitable state.

Mortar 1:3 sand/cement with approved plasticiser
Light mesh reinforcing to strip foundations

| No. | Revised | Date |
|--|---|-----------------|
| No alterations to be made off this drawing. All dimensions to be checked on site. Any discrepancies and errors to be brought to the architect's attention. | | |
| This drawing is copyright. | | |
| James A. Deishunty, Dip. Arch., B. Arch. Sc., M.R.I.A.I. Architect. | | |
| 122 Merrion Road, Ballsbridge, Dublin 4. | | 01 454 16 69325 |
| Job | RENOVATIONS TO SARSFIELD BAR - LUCAH - CO. DUBLIN | |
| Title | ELEVATIONS: FRONT & SIDE | |
| Client | HUGH COURTENAY | |
| Date | JUNE '01 | Drawn 5/1/01 |
| Scale | 1:100 | Job No. 910502 |
| | | Drawn No. 02 |

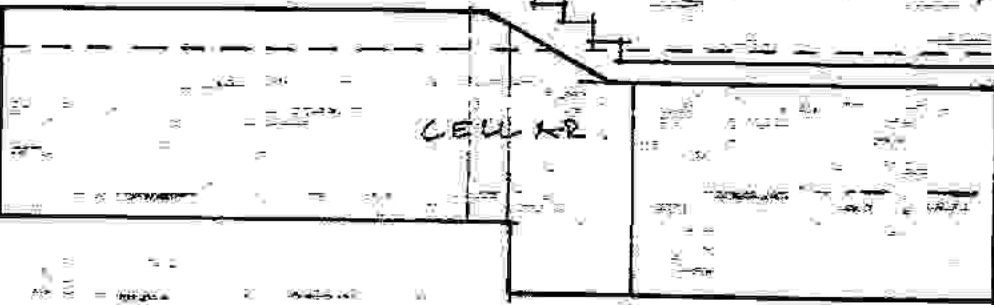
175x50
RIDGE

SEE DRG 03
FOR BAY
CONSTRUCTION
DETAILS



UPGRADE CEILING UNDER FLAT
TO 1 HOUR FIRE RESISTING CONSTRUCTION

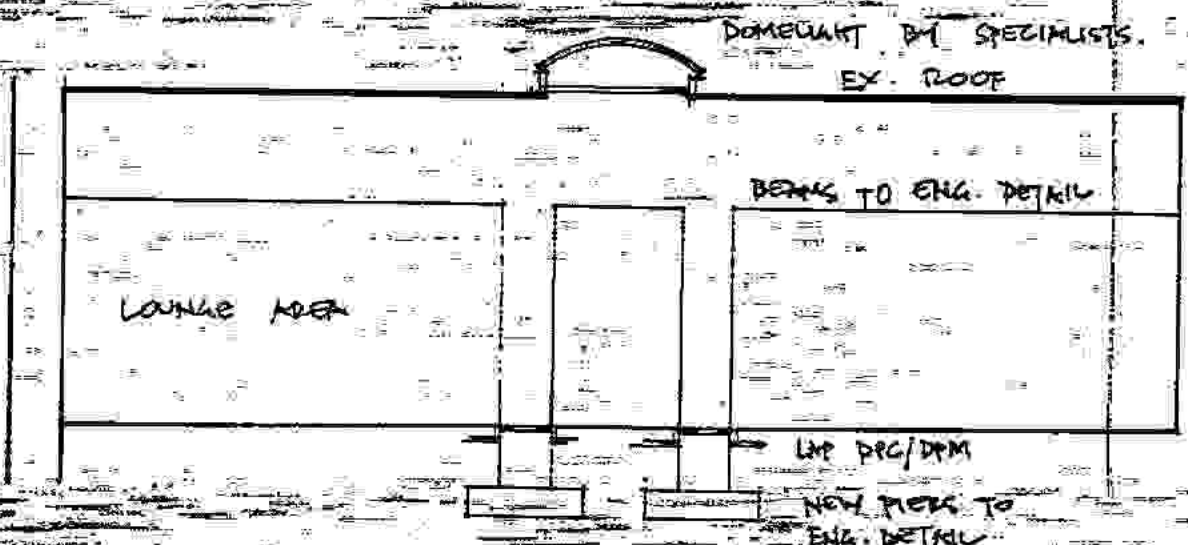
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MASTERPLAN
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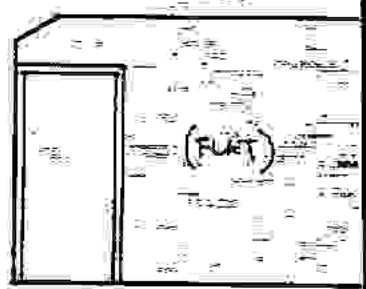
RIVER
BANK

● SECTION AA

● SECTION BB



DOMICANT BY SPECIALISTS.
EX. ROOF



UPGRADE CEILING UNDER
FLAT TO 1 HOUR FIRE
RESISTING CONSTRUCTION

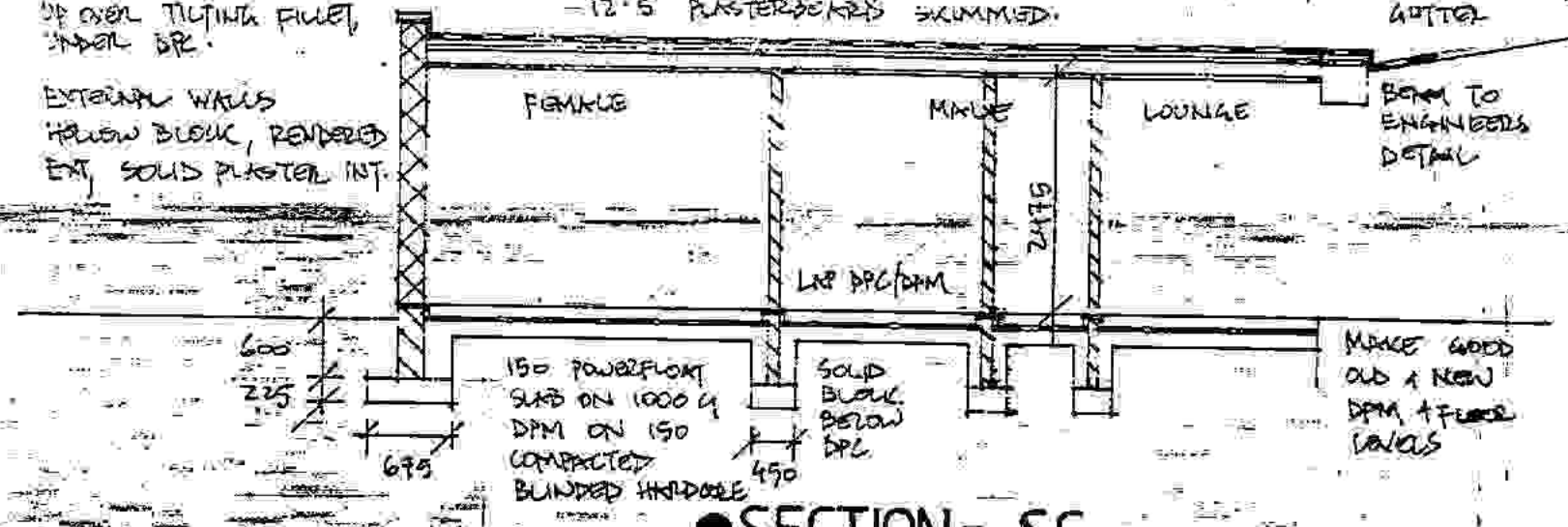
ROOF: 50 IMPERMEABLE CHIPPINGS ON 50 STYROBOLES
 INSULATION ON PARALON AS SPEC ON
 25 MASONRY PUT ON EX. 90 X 37. FRANKS
 LATH TO FACED ON 38 X 200 JOISTS @ 400 c/c
 ON JOIST ENDERS, SOLID STRUTTING @ 1800 c/c
 12.5 PLASTERBOARDS SKIMMED.

FORM (PARALON)
 GUTTER

PREFABRICATION COPING
 ON DPC. PARALON DRESSED
 UP OVER TILTING FILLET,
 UNDER DPC.

EXTERNAL WALLS
 HOLLOW BLOCK, RENDERED
 EXT, SOLID PLASTER INT.

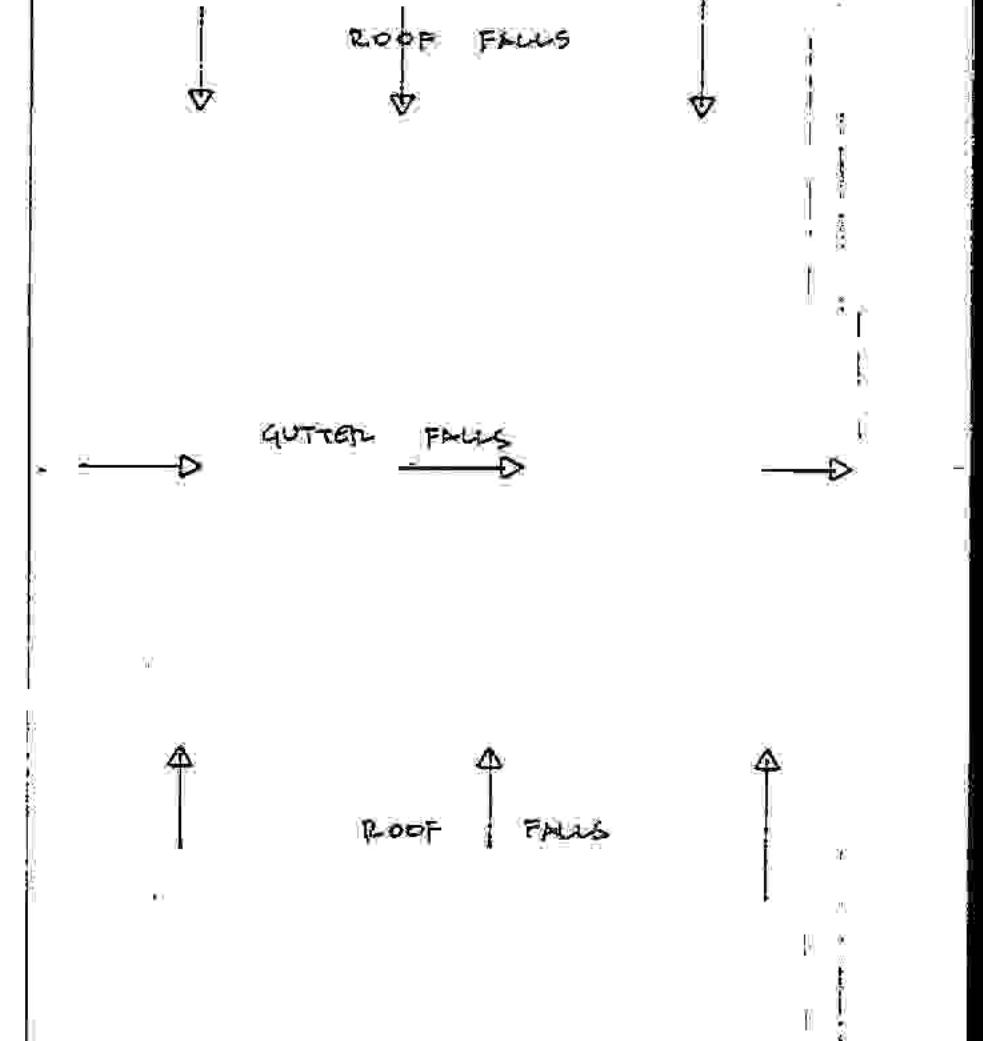
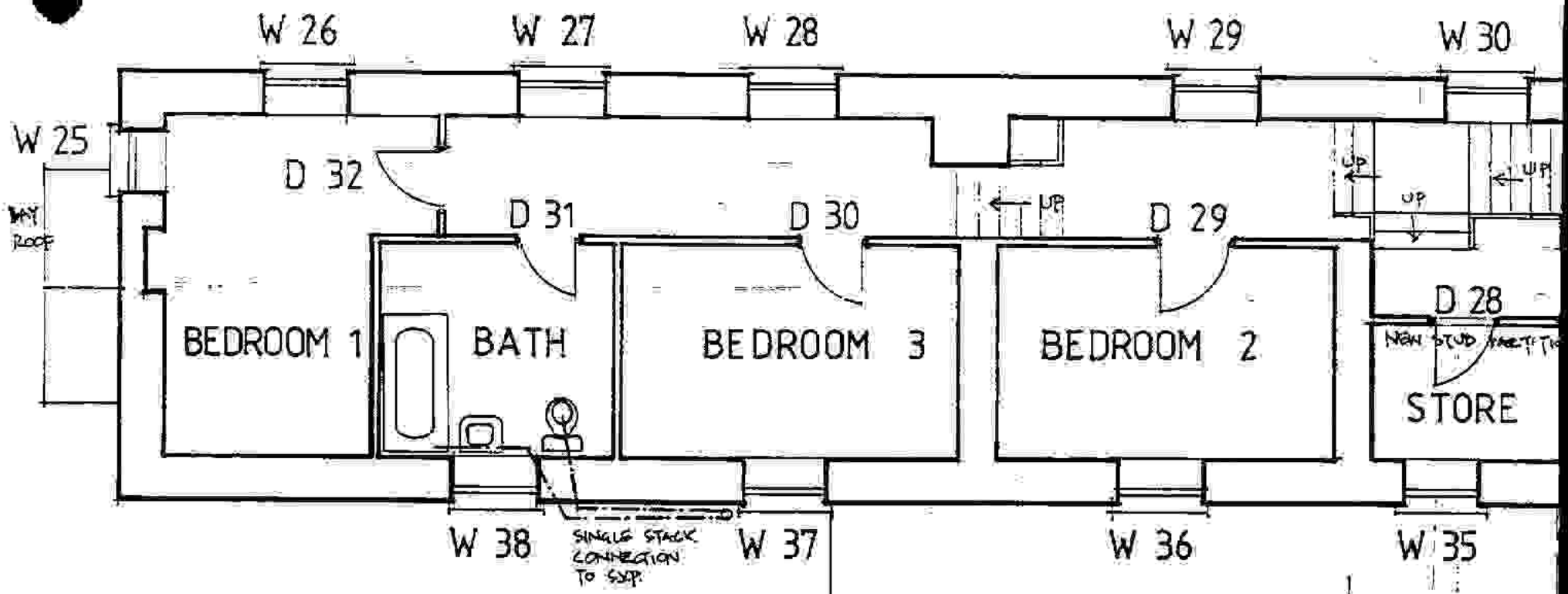
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SECTION EC

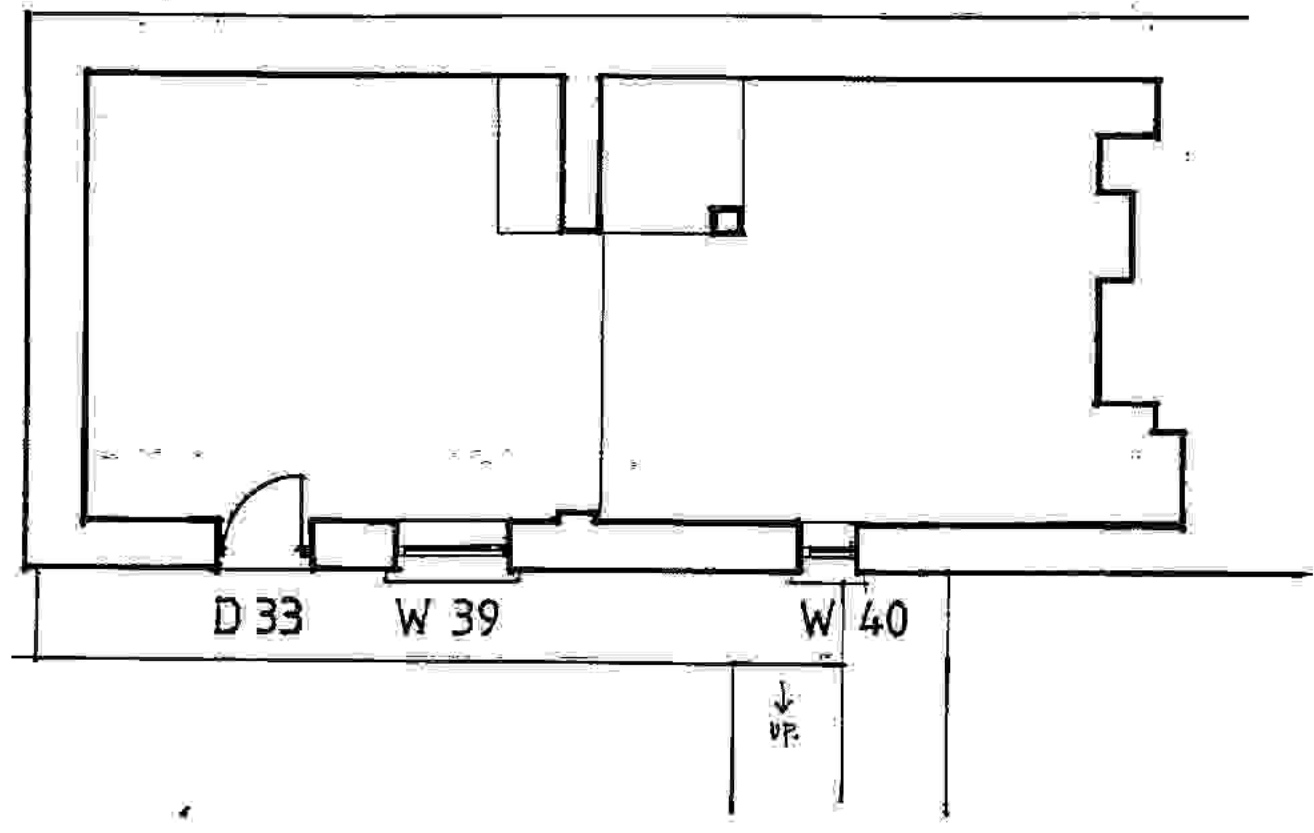
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 22 JUL 1991
 11A/1226
 Reg. Sec.

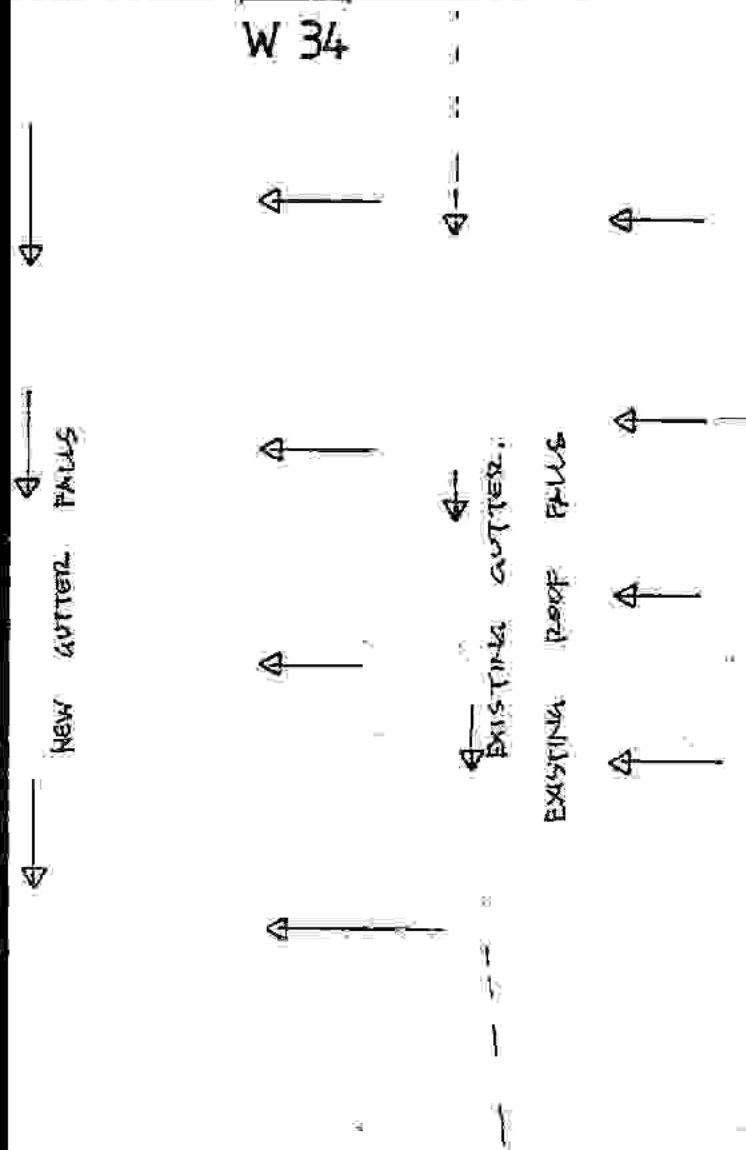
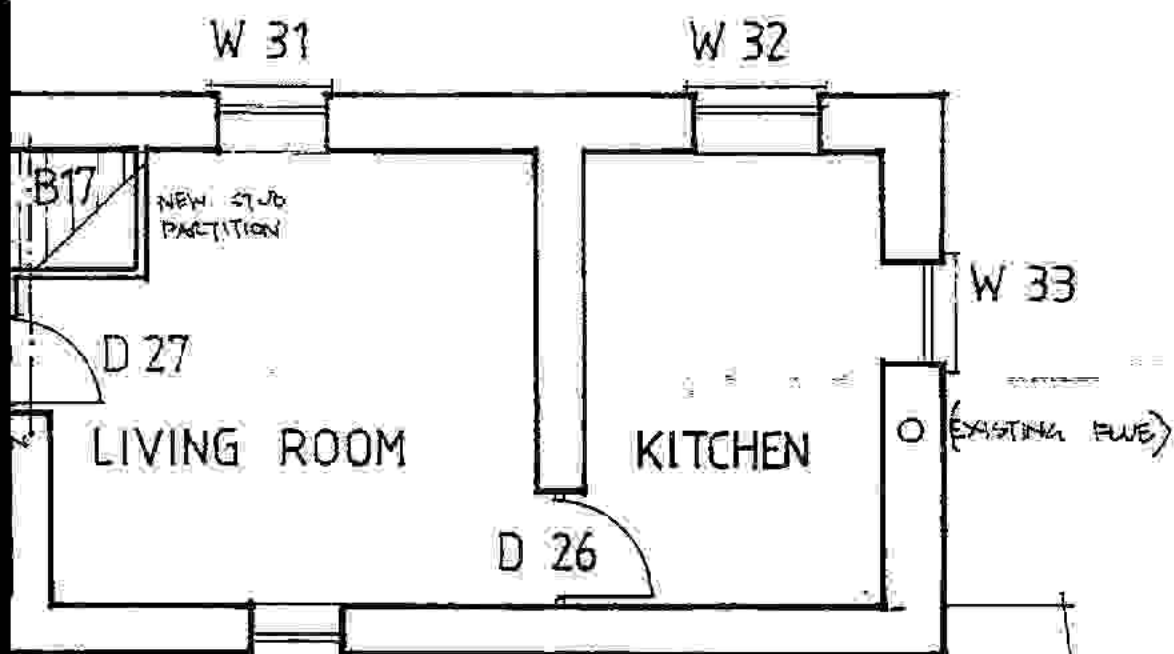
| No. | Revision | Date |
|--|----------|--------|
| No dimensions to be read off this drawing All dimensions to be checked on site Any discrepancies and errors to be brought to the architect's attention. | | |
| This drawing is correct | | |
| James A. Delahunty, Dip. Arch., B. Arch. Sc., M.R. (A.I.) Architect 122 Merrion Road, Ballsbridge, Dublin 4 403325 ORG 55 45 16 | | |
| Job: RENOVATIONS TO SALSFIELD BAR - LUEN | | |
| Title: SECTION AA, CC, BB, | | |
| Client: HUGH COURTNEY | | |
| Date | Drawn | Chkd |
| JUL 91 | JKD | ✓ |
| Scale | 1:100 | Dep No |
| | 010502 | 04 |



● FIRST FLOOR UNCHANGED EXCEPT
 B 17, D 27 + 28
 2 STUD PARTITIONS
 + STRIPS.

● CELLAR UNCHANGED

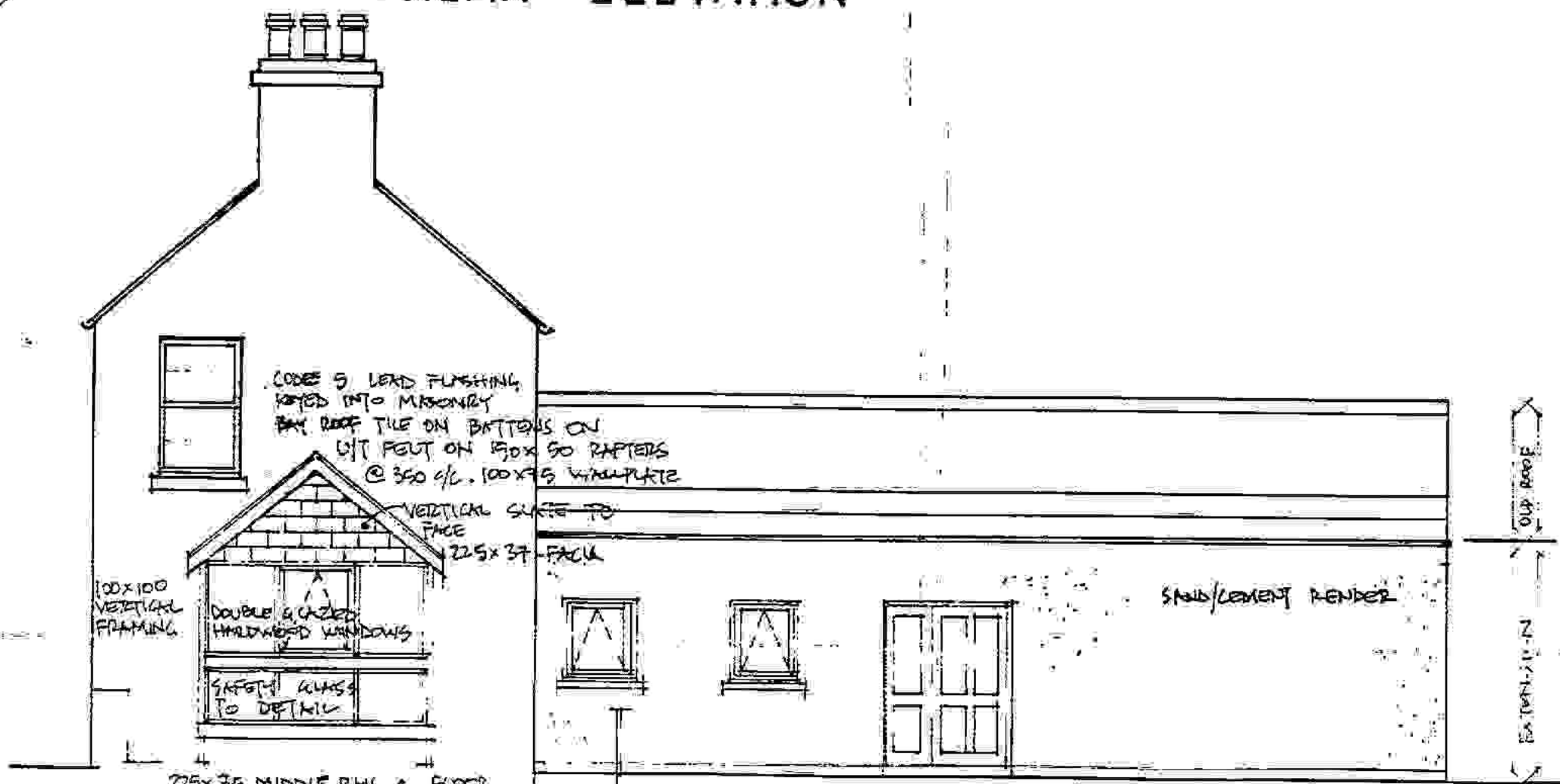




| No. | Revision | Date |
|--|----------|----------|
| <p>No dimensions to be scaled off this drawing. All dimensions to be checked on site. Any discrepancies and errors to be brought to the architect's attention.</p> | | |
| <p>This drawing is copyright.</p> | | |
| <p>James A. Delahunty, Dip. Arch., B. Arch. Sc. Architect. MR. IAI</p> <p style="text-align: right;">FAX 2837972</p> <p>122 Merrion Road, Ballsbridge, Dublin 4. 2693325</p> | | |
| <p>Job RENOVATIONS TO CARSFIELD BAR - LUCAN - CO. DUBLIN</p> | | |
| <p>Title FIRST FLOOR & CELLAR PLANS</p> | | |
| <p>Client HUGH COURTNEY</p> | | |
| Date | Drawn | Chkd. |
| JULY '91 | JAS | ✓ |
| Scale | Job No. | Dwg. No. |
| 1:100 | 910502 | 05 |



● REAR ELEVATION



225x75 MIDDLE RAIL & FLOOR TRIMMER. 225x50 FLOOR JOISTS. 200x100 RHS STEEL STRUTS TO 300x200 BASE PLATE, RASBOLTED TO WALL

● SIDE ELEVATION - RIVER



RECEIVED
 22 JUL 1991
 QIA 1226
 Reg. Sec.

| No. | Revisor | Date |
|-----|---|------|
| | No dimensions to be taken from this drawing. All dimensions to be checked on site. Any discrepancies and errors to be brought to the architect's attention. | |
| | This drawing is copyright | |
| | James A. Delahunty, Dip. Arch., B. Arch. Sc. M.B.I.A.I. Architect. | |
| | Merrion Road, Ballsbridge Park, Dublin 4. A57725 | |
| | 100 RENOVATIONS TO SASSFIELD BAR - LUCKY - CO. D. | |
| | Title ELEVATIONS: REAR & RIVER SIDE | |
| | 1000 HUGH COURTENAY | |
| | Date JUNE '91 | |
| | 1000 910502 | 23 |

3150

OUTLINE SPECIFICATION OF WORK REQUIRED AND MATERIALS TO BE USED IN THE CONSTRUCTION OF TOILET, KITCHEN AND LOUNGE EXTENSIONS, GABLE BAY WINDOW, SHOPFRONT AND OTHER ALTERATIONS TO THE SARSFIELD BAR, LUCAN ROAD, LUCAN.

FOR:

HUGH COURTNEY
THE SARSFIELD BAR, LUCAN ROAD, LUCAN

18 JULY 1991.

DRAWINGS:

These specifications to be read in conjunction with Architect's Drawings 910502. 01/A, 02, 03, 04, 05, 06. Engineer's Details WHERE APPROPRIATE. All dimensions and layouts to be checked on site; any discrepancies to be drawn to the Architect's attention and any necessary alterations agreed before proceeding on site.

A. NOTES:

A.1. NOTES:

All dimensions are in millimetres.
All materials to conform to relevant Irish or British Standards to architect's approval, and shall be of Irish source where possible.
All works shall comply with relevant Permissions, approvals and Bye Laws.
Contractor to give 2 days clear notice in writing to BBL authority before covering any drain, filling in of any foundation and where otherwise agreed.
Where appropriate, Engineer's structural drawings and specifications to be read in preference to architect's; to be brought to Architect's attention.

A.2. EXTENSIONS:

In extension and alteration work, all materials and elements to match existing as closely as possible unless otherwise required. Any discrepancies to be queried with Client and/or Architect.

B. CONTRACT:

B. 1. CONTRACT:

The client shall not bind himself to accept the lowest or any tender.
The RIAI Contract (without quantities) shall apply.
The contractor shall familiarise himself with the site, and any works implied on the drawings, and be responsible for site safety, scaffolding, site security, insurances and ancillary requirements.
Confirmation of all insurances to be given to Architect prior to commencement.

C. EXCAVATION AND DEMOLITIONS;

C.1. EXCAVATE:

For foundations, floors, drains and siteworks to the depths and dimensions as shown on the drawings, minimum 900 below ground level. Level off trench bottoms. Keep drained.

C.2. DEMOLITIONS:

Demolish the walls shown dotted, and elements as implied, on the drawings. Provide props, party wall bracing, etc as required. Allow for all necessary opening up and investigation work. Make good as required.

D. CEMENT / CONCRETE;

D.1. CEMENT:

Portland cement to IS.1 stored in dry conditions

D.2. HYDRATED LIME:

To IS.8.

D.3. SAND AND AGGREGATES:

Fine aggregates to be clean sharp sand, coarse aggregates to be clean hard pit gravel or stone to IS.5.

D.4. CONCRETE MIX A:

1:3:6 cement:dry fine aggregate:coarse [40mm max] aggregate. Water / cement ratio minimum allowing workability but not exceeding 35 litres / 50 kg.
28 day cube strength 14N/mm²

D.5. CONCRETE MIX B:

1:2:4 cement:dry fine aggregate:coarse [20mm max] aggregate. Water / cement ratio minimum allowing workability but not exceeding 35 litres / 50 kg.
7 day cube strength 14N/mm² - 28 day cube strength 21N/mm²

D.6. CONCRETE MIX C:

1:7 cement:dry fine [14mm max] aggregate. Water / cement ratio minimum allowing workability but not exceeding 35 litres / 50 kg.

E. FOUNDATIONS AND WALLS;

E.1. FOUNDATIONS:

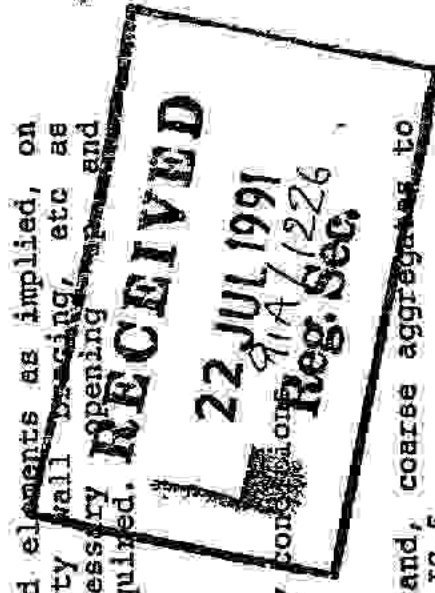
To be laid to the depths and dimensions as shown on the drawings or engineers details otherwise, in concrete mix B-1:2:4 (cement : fine aggregate : coarse aggregate). To external walls 300 thick, three times width of walls. Rising walls to be 225mm/300mm solid blockwork, with 1:3 (sand : cement mortar). Steel reinforcing to engineers details.

E.2. EXTERNAL WALLS:

To be constructed as shown on the drawings. Ensure that any penetrations do not direct water inwards.

E.5. BLOCKWORK as shown:

To IS 20. To be carried up uniformly, no section over 900 higher than surrounding unless raked back in accordance with good practice. Bond in all walls where possible. Rising walls below DPC in solid blockwork.



E.7. HOLLOW BLOCK WALLS as shown:
215 hollow block [rendered externally, drylined internally].
Keep cavities clean and free from mortar.

E.9. MORTAR:

Natural colour mortar.
Below DPC; 1 cement to 3 sand mixed in small quantities.
Above DPC; gauged mortar 1 cement to 6 sand with approved plasticiser as instructed.

E.10. REMOVATIONS AND EXTENSIONS:

Tie new masonry in; key in, or fix to approved patent fixings, or hilti-nail galvanised or stainless steel expamet mesh @ 450mm c/c vertically.

E.12. DAMP PROOF COURSES:

Not less than 150 over ground level.
Approved polythene DPC to BS 743 to be laid under all walls, and wall plates; stepped at lintols; behind door and window jambs, turned up behind gills. Use 150 wide DPC to 100 walls. Lap 150 at joints. Bed on mortar.

E.14. CILLS & COPINGS:

Precast concrete to IS.89, on DPC dressed up behind. Throating clear of finished face.

E.15. LINTOLS:

Minimum bearing 225 each end.
Approved patent to BS 1239 in accordance with manufacturers instructions.
No spanlites unless specified; spanlites acceptable with 450 solid blockwork over.
In situ lintols where specified concrete mix B, 225 deep, reinforcing to detail, concrete cover 25mm.
Steelite A85/100 steel lintol to 3000 span, 128 high, 3 thick, with insulation and plaster key soffit.

E.16. VENTILATOR GRILLES:

225 x 150 Galvanised steel or PVC. Form duct in cavity construction.

E.18. SOLID INTERNAL WALLS as shown;

100mm concrete block bonded into external walls on 300mm x 100mm foundations.
215mm concrete block on 675mm x 300mm foundations.
Plastered both faces.

E.19. INTERNAL PARTITION WALLS as shown:

Gypsum board each side of partitioning; 75 x 35 softwood studs, head and sole pieces @ 400 cc; 75 x 35 cross bracing each 600.
Fire rating to Gypsum specification;
Half hour; 12.7 plasterboard each side, joints taped and filled.
One hour; 15 Gyproc fireline board each side, joints taped and filled.
Non fire resisting partitions 9.5 plasterboard each side, skin finish.

E.20. STEEL COLUMNS AND BEAMS:

As shown on the drawings or to engineers detail otherwise.
1 hour fire protection if required; 19mm Cape Monolux edge screw panels with cover strips behind all joints.

E.21. EXTERNAL RENDER, HOLLOWBLOCK WALLS:

Scud in 1:3 cement and coarse sand and first coat render in 1:1:6 (hydrated lime : cement : sand) 10mm thick, smooth and even. Finishing coat to be 10mm 1:1:6 finished knap or smooth or combed for roughcast or pebbledash.

E.22. EXTERNAL RENDER, CAVITY BLOCK WALLS:

Scud in 1:3 cement and coarse sand and render in 1:1:6 (hydrated lime : cement : sand) 13 thick finished knap or smooth or combed for roughcast or pebbledash.

E.23. ROUGH CAST:

1:1:5 cement:lime:washed sand and pebbles.

E.24. PATENT REVEALS:

20mm patent reveals required at all windows, scored drip groove to window soffit. All arrises neatly finished.

E.25. PLINTH:

Weather at top edge, extend below ground level, break at DPC.

E.26. INTERNAL WALL PLASTER:

To solid walls and partitions apply 1 cement : 1 lime : 6 sand scud and plaster 12mm thick, gypsum skim finish coat. Metal angle trim to all corners, reveals, arrises, etc.
Finish coat may be grey coat of gauged mortar, applied with a wood float.

F. FLOORS:

F.1. CONCRETE GROUND FLOOR:

Where practical, finished not less than 175 over ground level.
50 1:3 trowelled concrete screed on 100 mix B concrete slab with light mesh reinforcing on 25 closed cell insulation 1200 wide on 1000g Visqueen DPM turned up at edge of floor and welt lapped 150 with DPC, on 50 sand blinding on 100 compacted hardcore.
Hardcore broken brick or coarse gravel or hard stone, free from dust and debris.

F.3. TIMBER UPPER FLOOR:

Repairs if required;
25 T&G boarding on joists as shown on the drawings.
Joists (doubled, bolted together @ 1200 c/c with M10 bolts and 50-0 dogtooth washers, if carrying partitions) spiked to wall plates and with 35 x 44 herringbone bridging @ 1800cc.
Chimney trimmers 75 x depth of joist, on joist hangers, 50 clear of breast.

F.7. SKIRTINGS:

Ogee moulded skirtings ex 25 x 175 wrought deal.
Securely fixed to grounds.

Toilet tiling with patent tiled skirtings.

F.8. MATWELL:

Form matwell as indicated, with brass surround strip.

F.9. FLOOR REPAIRS:

Remove existing timber floors as required; make good thoroughly throughout to provide level surface and avoid steps throughout.

Levels to allow for timber floor finishes where shown.

All floors to be opened for relevant tradesmen and services in reasonable time, and made good on completion for relevant floor finish. Levelling screeds as required.

G. STRUCTURAL TIMBERS:

G.1. STRUCTURAL TIMBER:

To SR.11 [1988].

Wallplates, joist ends, fascia, etc. preservative treated to BSCP 98.

Free of disease, infestation, loose knots, waney edges. White deal for carpentry. Red deal or better for joinery.

Use Catnic joist hangers at stair and chimney trimmers.

G.2. BEAMFILL:

In blockwork or mass concrete between timbers built into inner leaf or resting on walls.

G.3. JOIST HANGERS / METAL STRAPS:

As required.

H. ROOFS:

H.1. ROOF; GENERAL:

Wallplates 75 x 100 (150 x 50mm where fixed to side of existing wall) shall be fully treated with preservative and fixed with holdings down bolts @ 900mm c/c, plates halved and spiked at headings and angles.

Rafters, ends treated, twice spiked to wallplates, also at purlin and ridge.

Timber members as shown.

Lateral restraint of structural timbers with 30 x 6 galvanised MS straps built in and secured @ 2000 c/c and for a length of 1200 along timbers @ right angles to walls or over 3 joists, struttled, where timbers are parallel to walls. Fixings to CP 111, 1970.

H.9. ROOFLIGHTS:

Trimmers as required, same size as rafters removed.

Flat rooflights; 2 no. Coxdomes 1200 x 900 or as approved.

Insulated upstands, cord or lever operated sections. Frame structure as required to accommodate.

H.11. PARALON FLAT ROOF:

Elastomul reflective coating to Paralon NT4 on Impertene primer on 19 marine ply [kept dry at all times] on firrings and joists as detailed.

or;

H.12. ASPHALT FLAT ROOF;

Solar reflective paint on 2 coats 10mm asphalt to BS988B/BS998T, 150mm laps on metal lath to BS1369 Type 1(a) to vertical and diagonal surfaces only, black sheathing felt isolating membrane to BS747 Type 4A(i), on 50mm closed cell insulating board, bonding primer to concrete surfaces, vapour barrier under insulation, on decking as detailed.

H.13. ROOF DETAILS:

Rainwater; Fullbora outlets to 150 Ø drainage quality PVC downpipe to later detail.

Ventilation to roof voids to later detail, thro 12 wide continuous Necoflex patent insect excluder / ventilator at upstand or eaves. All roof voids to be adequately ventilated. Herringbone struts at mid point of flat roof joists.

Solid bridging at eaves; to provide for ventilation path.

Insulation; 100 fibre glass quilt.

Incorporate light mesh galvanised reinforcing [anti-burglar] under roof finish.

H.14. FLASHINGS:

All aprons, soakers, cover flashings or stepped flashings to be Code 5 lead [22/24 gauge copper / 20 gauge super-purity aluminium if otherwise indicated]. Bell cast to render over lead flashing keyed into chase or dressed over wall in new construction.

Down 75mm over Paralon upstand at flat roof perimeters.

At abutting roof / wall junctions, stepped flashing to be carried through cavity to collect moisture gathering on inner face of external leaf.

J. CEILINGS;

J.1. CEILING AND STAIR SOFFIT:

* Where 1 hour rating required; 9.5mm plasterboard with 13mm lightweight aggregate vermiculite gypsum plaster finish.

* Where 1/2 hour rating required; 9.5mm plasterboard with 13mm gypsum plaster finish.

* Where 1 hour rating required for existing ceilings (assumed to be 9.5mm plasterboard, or lath and plaster ceilings; min 50mm wide joists); 9.5mm plasterboard with 13mm lightweight aggregate vermiculite gypsum plaster finish.

* Other ceilings; 9.5mm foilbacked plasterboard, skinned or taped finish.

J.2. CORNICES:

Ogee prefabricated plaster moulding ex 225 x 225 to bar areas.

[None] fair finish square elsewhere.

K. DOORS AND WINDOWS;

K.1. EXTERNAL TIMBER DOORS:

To IS.48 or IS.52, 50 wrought red deal door, 100 x 50 top rail and styles, 200 x 50 lock and base rail, panels rebated all round, where glazed with slips. One and a half pairs steel washer brass butt hinges to 100 x 75 frame, dowelled at foot

to heel blocks. With hardwood weatherboard and aluminium weatherbar to threshold. One and a half pairs hinges per door. 5 lever lock to each, brass handle and plate. Cylinder night latch, pull handle, post box, knocker to front door.

K.2. EXTERNAL TIMBER WINDOWS:

Standard; red deal; 75 x 64 head, style, mullions, transoms; 75 x 75 cill with drip, 50 x 50 opening section [50 x 64 base]. Prime hidden sections before fixing. Casement stay. Pair hinges. Security latch to windows on ground floor and over any abutment.

K.4. GLAZING:

Windows single glazed, to IS. 63; Before glazing, prime and back putty timber rebates. Glass to be sprung and puttied with linseed oil putty to IS.28, neatly struck off. 6mm float glass throughout. Fix with hardwood glazing strip, pinned and bedded in mastic. Etched glass to doors, screens, internal screens to main windows. Safety glass panel behind those accessible while standing or on bar stools. Mirrors to back bar fittings.

K.5. INTERNAL DOORS:

Resistance as specified on the drawings. All fire doors to be certified to BS 476 Part 8, smoke sealed to BS PD 6512 Part 1. Self closing with "Fire door keep closed" sign. Panelling to detail [4 Georgian style per door in solid doors, 2 low level in glazed doors]. Provide glazed panels to upper panel of each door unless otherwise specified. Toilet doors; Formica or similar system with bolt, hanger, WC roll holder. One and a half pairs hinges per door. 3 lever lock to each, brass handle and plate. 44 wrought deal rebated frames, secured to grounds.

K.6. ARCHITRAVES:

Ogee moulding door and window architrave ex 19 x 125 wrought deal mitred at angles, fixed to grounds. Reveals as required. Window boards ex 32 x 200 hardwood bullnosed on edge and 32 projecting ends. Door saddles 25 x 150 / 250 hardwood as appropriate, splayed and scribed to frames, secured to floor.

K.7. SHOPFRONT:

New brass handle, kick plate, push pull plate, concealed heavy duty closer, 5 lever lock to each door. New sign to detail. Framing and finish to detail.

L. DRAINAGE / PLUMBING / MECHANICAL SERVICES;

L.1. DRAINAGE:

Under all drains, gulleys, junctions, etc, excavate then lay bedding of min. 100mm Mix C concrete; 1:7 cement; aggregate mix width equal to twice diameter of pipes or fittings, haunched half way up.

Falls min 1:50, max 1:30, splay in direction of fall, in straight lines between manholes.

New drains 100mm [150 if specified] 9-PVC.

Where drain passes under building, drives or roads, encase in 150mm conc Mix B. Where passing through walls, in straight runs with manhole or AJ each end, provide 75mm spanlite lintol with 150mm tolerance for settlement.

Block up each end of redundant drains.

To be tested in the presence of the BBL inspector before backfilling and on completion.

Manholes prefabricated PVC or in 215 solid block with mortar bedding finished internally with 25 cement render, well haunched to half round channels. 150 Mix B concrete floor. Cast iron or hot dipped galvanised steel frame and lid.

Manhole or AJ at each change in direction, sized to permit easy cleaning.

Outfall manhole with interceptor trap, stopped cleaning eye, and fresh air inlet.

Gulleys and AJs set level on 150 Mix B concrete bed.

Back fill after inspection in fine material topped with well rammed excavated material.

WAIVER REQUESTED TO PERMIT SINGLE STACK SOIL SYSTEMS TO BS 5572 (1978).

No wastes connection within 200 of WC connection or within 950 of easy bend bottom.

Box in wastes.

Internal SVP to patent tile vent with approved ducting, min 1000 above any opening.

External SVP carried over eaves or min 1000 above any opening, on suitable brackets, with cowl.

Proprietary fittings to be used throughout. No joints within thickness of walls.

GTs to have suitable grids and to be set in dished concrete surround.

L.2. WASTES:

PVC with 75 CP deep seal traps to ISS.

L.4. PLUMBING - HOT AND COLD SUPPLIES:

Insulated 15 e supply in 600 deep trench; not sewer trench.

Provide supplies to fittings shown. Stopcocks to main runs; never on expansion pipe. Draw off cock sat lowest suitable point. Conceal pipes in preformed runs in floors, wall chases, behind fittings, etc.

225 litre tank [360 for 4 or more bedrooms] on 2 no 125 x 50 timber bearers across rafters, 22 overflow to external. 22 feed to 150 litre hot water cylinder to IS.161, 22 branch over top of cylinder to bath. 100 fibreglass net wrapped to sides, 50 rigid insulation on top.

Dual immersion group with copper cylinder with isolator switch.

Hot supplies in copper tube to BS 2871 and CP 1:1971 with compression fittings, plastic cold supplies to IS.123, 134, 135 at least 75 clear of hot pipe runs, jointed with patent fixings. Lag in attic and underfloor areas. Support to prevent deformation or deflection.

L.5. BATHROOM FITTINGS:

White vitreous china contract quality.
WC with white plastic seat and cover, low level [not close coupled] cistern to IS. 70.
Basin with 2 15 e-chromium plated taps, brackets or pedestal.
150 clearance each side. Inset in vanity unit finished in mosaic tile to detail.
Internal overflows to WHB, external overflow from WC system.
Slab urinals with surface mounted cystem and chased supply and washdown piping.
Hot air driers as shown.

L.6. WC TILING:

150 x 150 white ceramic tile to all wall surfaces; 750 x 750 mirror over each WHB retained with hardwood architrave moulding.
Tile trim to all edges and arris protection where window reveal / cill tiled.
Provide PC Sum f18m2.
Floor tiles; 150 x 150 Ruabon slip resistant quarry tiles with granular safety finish.
Allow for laying mosaic floor tiling in bar area as shown.

L.7. HEATING AND VENTILATION:

Full spec. inlet and exhaust system by specialist sub contractor,
100 e-inlet duct to WC compartment, extract fan in lobby connected to 100 e-duct to open air.
Provide housing for ESB meter box as shown.
Sleeveing and joints to heating piping to approval.

L.8. RAINWATER GOODS:

To IS 59 with approved brackets, swan-necks, hoppers and toes.
Gutters to falls. Toes to discharge 50 above gully grid.
Downpipes to stand 25 clear of finished wall surfaces.
Gutters half round 100 e-PVC, 100 Ø PVC downpipe.
Aluminium Ogee gutters 125 x 125 with 100 Ø downpipe.
Brackets @ 1200 c/c.

M. ELECTRICAL:

M.1. ELECTRICAL:
Provide PC Sum f
See layout drawing.
All electrical work to ESB / ETCI standards and regulations.
Phone system by others.
Provide all necessary chases, conduit and ducts, conceal and make good. Conduit where buried in plaster or surface mounted, where necessary bore hole through joist centres; do not notch.

M.2. EMERGENCY LIGHTING if required:

Emergency lighting system to BS 5266 Part 1 1985.

M.3. FIRE DETECTION / ALARM / EMERGENCY LIGHTING / FIRE EXTINGUISHER SYSTEMS:

To later detail to conform with BS 5839 Part 1 1988.
Smoke detectors and fire/smoke doors to all stores.

M.4. BURGLAR ALARM:

By specialists.

N. DECORATION:

N.1 DECORATION:

Strip any wallpaper.
Clean down surfaces and prepare by wire brushing, sanding or approved burning or chemical stripping.
Preparatory filling as required.
Allow for satin varnish to all doors, skirtings, architraves, external surfaces, timber windows.
Allow for 2 coats white [oil based in bar areas, emulsion elsewhere] to all walls and ceilings.
External timber; knot, stop, prime, 2 undercoats, 1 coat gloss paint or varnish.
External ironwork; wirebrush, prime and paint 2 undercoats, 1 coat gloss enamel.
Shopfitter will varnish hardwood doors, screens, architraves, shelves, cornices, back bar, counter, etc. as supplied.

P. EXTERNAL WORKS:

P.1. PAVING:

Repair as required in 150 concrete paving laid to falls on 150 hardcore finished smooth with a wood float, 150ft2 min to BBL.
Expansion joints at 2500 c/c. Steps as required, with suitable junction near DPC / DPM.
Concrete bases to base of external door frames.

R. MISCELLANEOUS:

R.1. MISCELLANEOUS:

Provide gas supply to 2 no. ground floor fireplace only.
Remove and fit fireplaces.
Make good existing flues as required.
Minton tiles 150 x 150 to concrete hearth.
No curtain rails.
Roller blinds by others, to each window ope.
New drains; allow for 150 e instead of 100 foul waste, to be agreed with Bye Law Inspector.

S.1. GENERAL CONTRACTOR TO OMIT:

Shopfitting work; by specialists. If general contractor wishes to quote, discuss with architect.

T. TIMBER FLOOR:

Patent hardwood floor to detail.

U. CARPETS:

Low radius of ignition to BS. 4790 [1972], BS.5267 [1976].
Altro behind bar.

V. SERVICE DUCTS:
Form as required to Beer pumps etc. Allow one 150 e PVC to
each bar area.

W.
X.
Y.

Z.1. COMPLETION:
Windows, doors, walls and floors to be cleaned down, and the
whole building and site to be left in a clean and habitable
state.

NOTE:
The Architect will welcome suggestions to lower cost while
maintaining standards.
Any errors to be drawn to the Architects attention.

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Employers Quantity Surveyor;