

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 9/A 1161

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
SOUTH DUBLIN PLANNING SUB-COMTEE 14-4-92	All 0 Couns - Too much bldg in area. Residents fear Many estates will be built		

DECISIONS

APPEALS CHECK LIST

REG. REF. NO. 91A 1161

1	ENTERED IN OBJECTORS REGISTER	✓
2	ENTERED IN BLUE FOLDER	✓
3	ENTERED IN APPEALS REGISTER	✓
4	ENTERED IN PLANAPS: I.E.:	/
	Appeal Decision:	/
	Appeal Date:	/
5	COPIES OF DECISION FOR WEEKLY LIST (LAURA/MARY)	/
6	DECISION CIRCULATED TO LISTED PERSONS	/
6	TO BONDS & CONTRIBUTIONS FOR FINANCIAL ASSESSMENT	
7	TO L. DOYLE FOR NOTING	

CHANGE STATUS IN PLANAPS:

REFUSAL:.....55
 GRANT:.....62
 WITHDRAWN:.....54
 CONDITIONS:.....53

EYE LAW APPLICATION FEES

REF. NO.: 91A/1161 CERTIFICATE NO.: 15-013
 PROPOSAL: Bungalow + Septic tank
 LOCATION: Coolmine, Saggart
 APPLICANT: Mrs Paul Davis

CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	REQ. FEE APPL.	AMT. OF SEC. FEE
A	Dwelling (Houses/Flats)	£ 555	£55	£55	—		
B	Domestic Ext. (Improvements/Alts.)	£ 30					
C	Building for office or other comm. purpose	£ 23.50 per M ² or £70					
D	Building or other structure for purposes of agriculture	£ 21.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	£ 200					
F	Dev. of prop. not coming within any of the foregoing classes	£70 or £3 per sect. whichever is the greater					

MEASUREMENT NOT REQUIRED

Column 1 Certified: Signed: _____ Grade: _____ Date: _____
 Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____
 Columns 2,3,4,5,6 & 7 Certified: Signed: M.O.K. Grade: C/O Date: 16/7
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

PLANNING APPLICATION FEES

Reg. Ref. 919/1161.

Cert. No. 26024

PROPOSAL... Bangalore + Septic tanks

LOCATION... Coolmine, Sagart

APPLICANT... Mrs. Paul Davis

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32	£32	£32	—	
2	Domestic,	@£16				
3	Agriculture	@50p per m ² in excess of 300m ² . Min. £40				
4	Metres	@£1.75 per m ² or £40				
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m ² or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: Grade: Date:

Column 1 Endorsed: Signed: Grade: Date:

Columns 2,3,4,5,6 & 7 Certified: Signed: *MOK* Grade: *C/D* Date: *16/7*

Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade: Date:

Note for file re Proposed House at
Coolmine Sogart for Mr. Masterson
9/14/92

Mr. Masterson phoned me today re the above.
I advised him that, given the planning
history (see planners report), I considered it
unlikely that he would get permission for a
house on the site.

Mr. Masterson said that he needed
a house for his daughter and that the
Council would not provide one - also that
the land was levelled and 'passed for
septic tank'.

He said he would do something,
perhaps move a caravan on it to live
in. I advised him that this would
require permission.

We concluded by discussing possible
agricultural uses & structures, which would
be exempt. Mr. Masterson said he
would phone me back when he had
further proposals.

R. Connors 9.50 A.M.

3/9/92

8 June 1992

Councillor S. Laing,
Chairman,
Dublin County Council,
Chairman's Office,
O'Connell Street.

Dear Chairman,

I wish to refer to your recent letter concerning Ms. Paula Davis who applied for planning permission for a bungalow at Coolmine, Saggart, Co. Dublin.

This application, Reg. Ref. 91A/1161, was received in the Planning Department on the 11th July, 1991. On the 4th October, 1991 the Planning Authority made a decision to refuse permission in respect of this proposal. Following an appeal An Bord Pleanala, on the 30th March, 1992, also refused permission (copies of both decisions are attached).

In view of the situation it is difficult to see that there is anything the Planning Authority can do to assist Ms. Davis. However, if she contacts this Department we will arrange a meeting with her and the Planning Officer to discuss the matter.

Yours faithfully,

PRINCIPAL OFFICER

ENCL. 2

AS/MC



SECRETARIAT DEPARTMENT
46/49 Upper O'Connell Street,
Dublin 1.
Telephone: 727777
Fax: 725782

To: MARY CURTIS

From: Helen Behan,

Date: 4/6/92

Number of pages to follow: 3

Message: Copy letter as
discussed.

Mr. A. Smith,
Principal Officer,
Planning Department.

30th April, 1992

Dear Mr. Smith,

I enclose correspondence relevant to a matter which I was discussing with you a week or two ago.

Perhaps you, or your Department, might find time to let me know what would be the possibility of a fresh application on this site in view of the reasons set out in schedule 4.

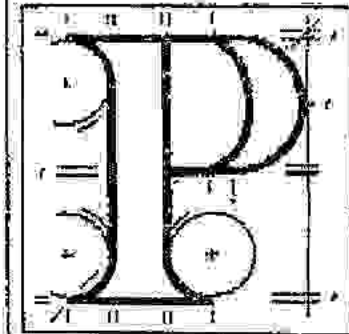
An early reply would be appreciated.

Yours sincerely,

STANLEY LAING, M.C.C., P.C.,
CHAIRMAN,
DUBLIN COUNTY COUNCIL.

Mrs. Paula Davis,
c/o Mr. Michael Masterson,
Coolmine,
Saggart,
Co. Dublin.

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
Tel (01) 722011

Date: 31 MAR 1992

Appeal re: Erection of a bungalow at Coolmine,
Saggart, County Dublin.

Dear Madam,

An order has been made by An Bord Pleanála determining the above-mentioned appeal under the Local Government (Planning and Development) Acts, 1963 to 1990. A copy of the order is enclosed.

Yours faithfully,

Norma O'Connor
Norma O'Connor

Encl.

BP 352

PL 6/5/87177

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/1161

APPEAL by Paula Davis of Coolmine, Saggart, County Dublin against the decision made on the 4th day of October, 1991 by the Council of the County of Dublin to refuse a permission for the erection of a house at Coolmine, Saggart, County Dublin:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, permission is hereby refused for the erection of the said house for the reasons set out in the Schedule hereto.

SCHEDULE

1. The proposed development would contravene materially a development objective indicated in the current Dublin County Development Plan for the use primarily of this area for agricultural purposes. This objective is considered to be reasonable. The proposed development would, therefore, be contrary to the proper planning and development of the area.
2. The proposed development would endanger public safety by reason of traffic hazard because of the additional traffic turning movements that it would generate on the inadequate road network serving the area.
3. There are no public piped water or sewerage facilities to serve the proposed development.
4. The proposed development would contravene materially a condition attached to a permission for development namely, condition number 5 attached to the permission granted by the planning authority under register reference number S.A.348 on the 3rd day of May, 1979. It would, therefore, be contrary to the proper planning and development of the area.

Handwritten notes:
 An M. Donnet
 John Lunnell
 580422



P. P. Duffy

Member of An Bord Pleanála duly authorised to authenticate the seal of the Board.

Dated this 30th day of *March* 1992.

FINANCIAL CONTRIBUTION :-
 AMOUNT € 115
 Refused

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/1161

APPEAL by Paula Davis of Coolmine, Saggart, County Dublin against the decision made on the 4th day of October, 1991 by the Council of the County of Dublin to refuse a permission for the erection of a house at Coolmine, Saggart, County Dublin:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, permission is hereby refused for the erection of the said house for the reasons set out in the Schedule hereto.

SCHEDULE

1. The proposed development would contravene materially a development objective indicated in the current Dublin County Development Plan for the use primarily of this area for agricultural purposes. This objective is considered to be reasonable. The proposed development would, therefore, be contrary to the proper planning and development of the area.
2. The proposed development would endanger public safety by reason of traffic hazard because of the additional traffic turning movements that it would generate on the inadequate road network serving the area.
3. There are no public piped water or sewerage facilities to serve the proposed development.
4. The proposed development would contravene materially a condition attached to a permission for development namely, condition number 5 attached to the permission granted by the planning authority under register reference number S.A.348 on the 3rd day of May, 1979. It would, therefore, be contrary to the proper planning and development of the area.



P. O' Duffy

Member of An Bord Pleanála duly authorised to authenticate the seal of the Board.

Dated this 30th day of March 1992.

P/1642/92

2

PL 6/5/87177

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/1161

Order Noted: <u>L.D.</u>	<i>[Signature]</i>
Dated: <u>3rd APRIL 92</u>	<u>ASST. COUNTY MANAGER</u>
to whom the appropriate powers have been delegated by order of the Dublin City and County Manager.	
Dated <u>10th</u> day of <u>FEBRUARY</u> 19 <u>92</u>	

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1161
DEVELOPMENT: Bungalow
LOCATION: Coolmine, Saggart
APPLICANT: Mrs. Paula Davies
DATE LODGED: 11/7/91

This application is for full permission for a bungalow at Coolmine, Saggart.

This proposal constitutes undesirable ribbon development on a substandard rural road network, which will lead to a demand for the uneconomic provision of services and would set an undesirable precedent for further similar developments in the area.

However if further consideration is given to this application it should be subject to:

- 1) Access to be relocated adjacent to northeastern boundary in order to increase sight distance to the southeast.
- 2) All stormwater shall be disposed of to soakpits or natural watercourse within the site and shall not discharge onto the public road.
- 3) The gradient of the access shall not exceed 2.5% over the last 6 metres of approach to the public road.
- 4) Entrance gate to be recessed 1.5 metres from the new boundary with wing walls splayed at 45°.
- 5) The wing walls and fences not to exceed 900mm in height.
- 6) Parking for two cars to be provided within the curtilage of the site with an adequate turning area.
- 7) All of the above works to be carried out at the developer's expense and to the satisfaction of Dublin County Council prior to the house being occupied.

- 8) A financial contribution, in the sum of money equivalent to the value of £800.00 as on 1st January, 1991, updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area.

MA/AW
1/8/91

SIGNED: Michael Arthur

DATE: 2-8-91

ENDORSED: C.P. Burke

DATE: 2/8/91

Order No. P/4301/91
COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed bungalow at Coolmine, Saggart, for Paula Davis.

Mr. Maurice Masterson,
Coolmine,
Saggart,
Co. Dublin.

Reg. Ref. 91A/1161
Appl. Rec'd: 11/7/91
Floor Area: 196sq. m.
Site Area: c.0.4 ha.
Zoning: 'B'

Report of the Dublin Planning Officer, dated 6 September 1991

This is an application for PERMISSION for a bungalow at Coolmine, Saggart.

The area in which the site is located is zoned with the objective 'B' - "to protect and provide for the development of agriculture".

The history of the site, taken from File Reg. Ref. WA.1910, is as follows:- (some of the history files are not available at present for perusal).

By Order No. P/532/72, dated 6/3/72, Reg. Ref. E.76, a decision was made by the Council granting planning permission for a dwellinghouse on a 2-acre site.

By Order No. P/1673/79, dated 3/5/79, Reg. Ref. SA.348, a decision was made by the Council granting permission for a proposed change of house plan and a septic tank on the same site. There were five conditions attached to this later permission, one of which stated "that one dwellinghouse only be erected on this 2-acre site." The one acre site referred to in this application originally formed part of the aforementioned 2-acre site.

By Order No. PA/3451/79, dated 18/10/79, Reg. Ref. SA.1429, a decision to refuse outline permission for the construction for a bungalow on the subject site was made by the Council. This decision was later upheld on appeal to An Bord Pleanala.

By Order No. P/2463/81, (Reg. Ref. WA.1910), permission was refused for a house on this site. Essentially that application was for two houses on a site which was specifically conditioned to ensure that only one house would be constructed thereon. (See Order P/1678/79, SA.348 - file not available at present).

This site is in a rural area, served by sub-standard roads where demand for one-off housing has been heavy.

Contd/.....



Order No. P/4301/91
COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed bungalow at Coolmine, Saggart, for Paula Davis.

A septic tank is proposed for drainage, and at the date of writing there is no report on file from the Environmental Health Officer. A well is proposed for water supply.

A report on file from Roads Department indicates that the proposal constitutes further ribbon development on a sub-standard road network, leading to a demand for uneconomic provision of services and setting an undesirable precedent for further similar development in the area.

The application has been submitted in the name of Mrs. Paula Davis, and the address is given as c/o Coolmine, Saggart. No case is made with regard to special need for a house in this area.

I recommend that a decision to Refuse Permission be made under the Local Government (Planning and Development) Acts, 1963-1990, for the following (4) reasons:-

1. The proposed development would materially contravene a development objective indicated in the Development Plan for the use primarily of this area for agricultural purposes.
2. The proposal constitutes undesirable ribbon development on a sub-standard rural road network.
3. There are no public piped water or sewerage facilities to serve the proposed development.
4. The proposal would materially contravene a condition of a previous planning permission, i.e. Condition No. 5, of Order No. P/1678/79, Reg. Ref. SA.348, and would not be in accordance with the proper planning and development of the area.

Contd/.....



COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed bungalow at Coolmine, Saggart, for Paula Davis.

gb. (GB/CM)

Endorsed:- [Signature]
for Principal Officer

[Signature]
For Dublin Planning Officer

Order:- Pursuant to Section 26(1) to the Local Government (Planning and Development) Acts, 1963-1990 a decision to REFUSE PERMISSION for the above proposal is hereby made by the Council for the (4) reasons set out above and PERMISSION is REFUSED accordingly.

Dated: 4th September, 1991.
OCTOBER -

[Signature]
Assistant City & County Manager.

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 4th September, 1991.

OCTOBER -

28 AUG 1991

ENVIRONMENTAL HEALTH OFFICERS

Register Reference : 91A/1161

Date : 17th July 1991

Development : Bungalow

LOCATION : Coolmine, Saggart

Applicant : Mrs. Paula Davies,

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : G. BOOTHMAN

Date Recd. : 11th July 1991

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Yours faithfully,

Paul Tobin

FOR PRINCIPAL OFFICER

The above proposal is acceptable subject to

- (1) The permeation area to be shown a minimum distance of 18m from the proposed house.
- (2) A reserve permeation area to be indicated.
- (3) Evidence of an adequate and potable water supply to be submitted.

NOTE : TRAP HOLES INSPECTED ON 10/9/91
7" seef - 6" water
6" seef - 14" water

SUPER. ENVIRON. HEALTH OFFICER,
33 GARDINER PLACE,
DUBLIN 1.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 18.09.91
Time 4.40

Paula Davies
for John O'Reilly JBO
12/9/91

Peter Whelan
11/9/91

S. Q.

P

Register Reference : 91A/1161

Date : 17th July 1991

Development : Bungalow

LOCATION : Coolmine, Saggart

Applicant : Mrs. Paula Davies,

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : G. BOOTHMAN

Date Recd. : 11th July 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN CO. COUNCIL
SANITARY SERVICES
27 AUG 1991
FOR PRINCIPAL OFFICER
Returned *[Signature]*

Date received in Sanitary Services

DUBLIN Co. COUNCIL
- 8 AUG 1991
SAN SERVICES

FOUL SEWER

Septic Tank proposed - refer to E. H. B.

It is noted that no proposal for a reserve percolation area has been indicated

SURFACE WATER

Loak pits proposed - refer to B.B.L. Dept.

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 27.08.91
Time 4.30

*J. Rice,
22/8/91*

*ENED
25/7*

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 27.08.91
Time 4.30

Register Reference : 91A/1161

Date : 17th July 1991

.....
ENDORSED _____ DATE _____

WATER SUPPLY.....

Well supply - no watermain
in vicinity -
V. Selhin
9/8/91.

.....
ENDORSED Morison DATE 22/8/91

Order No. P/4301/91
COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed bungalow at Coolmine, Saggart, for Paula Davis.

Paula Davis,
c/o Coolmine,
Saggart,
Co. Dublin.

Reg. Ref. 91A/1161
Appl. Rec'd: 11/7/91
Time Ext. let. rec'd: 6/9/91
Time Ext. up to: 6/10/91

Report of the Dublin Planning Officer, dated 9 September 1991

This is an application for permission for a bungalow at Coolmine, Saggart, for Paula Davis.

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the applicant has furnished his consent in writing to the extension by the Council of the period for considering this application within the meaning of subsection (4A) of Section 26, up to and including 6th October, 1991.

I recommend that the period to be extended accordingly.

Reason: To facilitate full consideration of the application.


for Principal Officer.

Order: A decision pursuant to Section 26(4A) to extend the period for considering the application as recommended is hereby made.

Dated: 7 September, 1991.


Assistant City & County Manager

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 4th September, 1991.

NOTE: I have checked that the necessary entry has been made recording details of the period as extended.


SENIOR STAFF OFFICER.

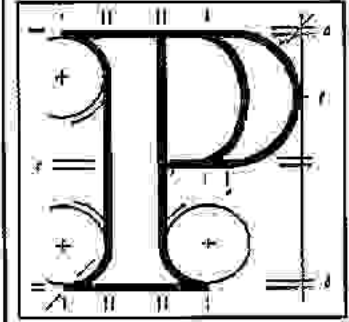
Our Ref: PL 6/5/87177
P.A. Reg. Ref: 91A/1161

OT

Secretary,
Dublin County Council,
Planning Section,
Block 2,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

DEVELOPMENT
- 2 APR 1992
CONTROL

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Date: 31 MAR 1992

Appeal re: Erection of a bungalow at Coolmine,
Saggart, County Dublin.

Dear Sir,

An order has been made by An Bord Pleanála determining the above-mentioned appeal under the Local Government (Planning and Development) Acts, 1963 to 1990. A copy of the order is enclosed.

Yours faithfully,

Norma O'Connor
Norma O'Connor

Encl.

BP 352

RECEIVED
01 APR 92
DUBLIN COUNTY COUNCIL
PLANNING

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

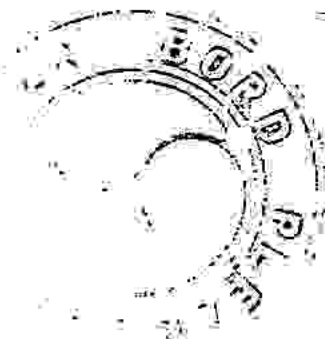
Planning Register Reference Number: 91A/1161

APPEAL by Paula Davis of Coolmine, Saggart, County Dublin against the decision made on the 4th day of October, 1991 by the Council of the County of Dublin to refuse a permission for the erection of a house at Coolmine, Saggart, County Dublin:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, permission is hereby refused for the erection of the said house for the reasons set out in the Schedule hereto.

SCHEDULE

1. The proposed development would contravene materially a development objective indicated in the current Dublin County Development Plan for the use primarily of this area for agricultural purposes. This objective is considered to be reasonable. The proposed development would, therefore, be contrary to the proper planning and development of the area.
2. The proposed development would endanger public safety by reason of traffic hazard because of the additional traffic turning movements that it would generate on the inadequate road network serving the area.
3. There are no public piped water or sewerage facilities to serve the proposed development.
4. The proposed development would contravene materially a condition attached to a permission for development namely, condition number 5 attached to the permission granted by the planning authority under register reference number S.A.348 on the 3rd day of May, 1979. It would, therefore, be contrary to the proper planning and development of the area.



P. D'uffy

Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this 30th day of *March* 1992.

COMHAIRLE CHONTAE ATHA CLIATH

Tel.: 724755
Ext. 268/269

Planning Department,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

Your Ref.: PL6/5/87177

Our Ref.: 91A/1161

An Bord Pleanála,
Blocks 6 and 7,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1983

Proposal: Proposed bungalow

Applicant: Paula Davis

Dear Sir,

With reference to your letter dated 7/11/91 I enclose herewith:-

- (1) & (2) A copy of the application which indicated the applicant's interest in the land or structure.
- (3) A copy of the public notice given, i.e. Evening Herald 10/7/91.
- (4) The plan(s) received from the applicant on 11/7/91.
- (6) & (7) A certified copy of Manager's Order P/4301/91 DATED, 4/10/91 together with technical reports in connection with the application.
- (8) Histories to follow

Yours faithfully,

R. Farrell
for Principal Officer.
Encls.

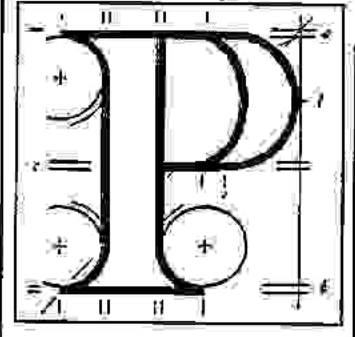
Our Ref: PL 6/5/87177
Your Ref: 91A/1161

PK

*Ret
12/11*

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

08 NOV 91

Date: 7th November 1991.

Planning authority decision re: Erection of bungalow
at Coolmine, Saggart, County Dublin.

Dear Sir/Madam,

Enclosed is a copy of an appeal under the Local Government (Planning and Development) Acts, 1963 to 1990, in relation to the above-mentioned decision. So that consideration of the appeal may proceed, you are requested to forward to the Board within two weeks:



- (1) The application made to the planning authority.
- (2) Particulars of the applicant's interest in the land or structure, as supplied to the planning authority.
- (3) A copy of the public notice, whether published in a newspaper or on the site.
- (4) Any drawings, maps, particulars, information, evidence or written study received or obtained from the applicant, including the ordnance survey number.
- (5) Copies of requests (if any) to the applicant for further information relating to the application under appeal and copies of reply and documents (if any) submitted in response to such requests.
- (6) A certified copy of the relevant Manager's Order.
- (7) Copies of any technical or other reports relevant to the decision on the application.
- (8) Particulars and relevant documents relating to previous decisions affecting the same site or relating to applications for similar development close by.


Please note that the other party/parties to the appeal are being notified that copies of the planning authority documents relevant to the decision which gave rise to the above-mentioned appeal will be available for inspection at your offices after the expiration of a period of fourteen days from the date of this letter. It would be appreciated if parties could be facilitated in this regard.

Copies of the representations or observations made to the planning authority in relation to the application should not be sent to the Board. It is assumed that the planning authority has notified observers of the decision made and of the right of appeal.

The planning authority may make to the Board, in writing, such observations on the appeal as it thinks fit. Where practicable, any such observations should be submitted with the documents listed above but the furnishing of the documents should not be held up until observations are available. In any event, to ensure that they will be taken into account in the determination of the appeal, any such observations should be furnished within one month of the date of this letter.

Please quote the above appeal reference number in any further correspondence.

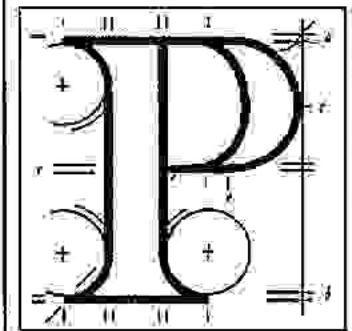
Yours faithfully,


Suzanne Lacey

Encl.

BP 005

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011



An Bord Pleanála,
Irish Life Centre,
Abbey Street,
Dublin 1.

Dear Sirs,

I am writing to appeal Dublin County Council's refusal to my father Mr. Maurice Masterson, Coolmine, Saggart, Co. Dublin, Reference: 91A/1161 - Order No:P/4301/91 for a family bungalow at Coolmine, Saggart.

I am appealing to An Bord Pleanála on the following grounds:-

1. Under the County Development Plan, a home for a family member of the existing resident is grantable. My family home, on two acres, can accommodate this application and comply with the necessary planning, sanitary and engineering guidelines.
2. We have carried out trial holes for the appropriate percolation area and the site meets with the Health Inspector's requirements.
3. Re: Condition 5 - P/1678/79
The sterilization of the site we correctly accept and interpret.

Regarding the seeking of planning permission for additional disposal, this is not the case with our appeal.

I Mrs. Paula Davis intend to return from the United Kingdom with my husband and two children and would ask an Bord Pleanála to grant this appeal with a condition that the bungalow applied for will be resided in by myself and my family.

ACK
COPY TO -
DATE 30.10.91

4. The Council's refusal:

- (1). Does not apply for a member of the family.
- (2). Condition - The road is suitable with visibility and other safety guidelines.
- (3). Well water can be provided to the resident as well as the appropriate septic tank facility.
- (4). We trust family basis condition number 5 as referred to above, does not apply.

I would ask An Bord Pleanala to sympathetically review the appeal to allow my family return to Ireland and reside close to my parents.

Yours sincerely,



Paula Davis Mrs.

Dr. L. E. Hamilton

Comine,
Rathcoole,
Co. Dublin.
Tel. 580324.

19, Woodavons,
Clondalkin,
Dublin 22.
Tel. 574200.

LEH/IH

24 October 1991

Dear Sir

Re: THE DAVIS FAMILY:

John and Paula wish to return to Dublin from London. Both their children, Daniel and Roxanne, have chronic health problems.

As you will appreciate they have no family back-up in London and are finding the going very rough.

They have decided to return in December and, I believe, they have intention to settle beside Paula's parents.

I would very much appreciate any assistance you could give in expediting this matter.

Yours sincerely

Lynda Hamilton

Dr Lynda E Hamilton



PR



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Mr. Maurice Masterson,
Coolmine,
Saggart,
Co. Dublin.

91A/1161

4 October 1991

RE: Proposed bungalow at Coolmine, Saggart, for Paula Davis.

I, the undersigned, hereby acknowledge receipt of Notification of Decision, dated 4 October 1991, in connection with the above.

Signed: _____

On behalf of: (Name) _____
(Address) _____

I hereby certify that the above Notification, dated 4 October 1991, was handed by me to the above signed today.

SIGNED: Mary Murphy.
DATED: 4. 10. 91

Dropped in letter box.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

NOTIFICATION OF A DECISION TO REFUSE:

██████████ PERMISSION: ██████████

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963-1983

To Mr. Maurice Masterson, Register Reference No. 91A/1161
Coolmine, Planning Control No. _____
Saggart, Application Received 11/7/91
Co. Dublin. Additional Information Received _____
Applicant Paula Davis Time Ext. up to 6/10/91

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order, P/ 4301/91 dated 4/10/91 decided to refuse:

██████████ PERMISSION ██████████

For Proposed bungalow at Coolmine, Saggart.

for the following reasons:

1. The proposed development would materially contravene a development objective indicated in the Development Plan for the use primarily of this area for agricultural purposes.
2. The proposal constitutes undesirable ribbon development on a sub-standard rural road network.
3. There are no public piped water or sewerage facilities to serve the proposed development.
4. The proposal would materially contravene a condition of a previous planning permission, i.e. Condition No. 5, of Order No. P/1678/79, Reg. Ref. SA/348, and would not be in accordance with the proper planning and development of this area.

Signed on behalf of the Dublin County Council

for PRINCIPAL OFFICER

Date 4/10/91

IMPORTANT:

NOTE: (1) An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. The appeal shall be in writing and shall state the subject matter of the appeal and grounds of appeal and should be addressed to *An Bord Pleanala, Irish Life Centre, Lower Abbey Street, Dublin 1.* An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36. (Thirty-six pounds). (2) A party to an appeal making a request to An Bord Pleanala for an oral hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanala a fee of £36. (Thirty-six pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten pounds) to An Bord Pleanala in relation to an appeal. When an appeal has been duly made and has not been withdrawn, An Bord Pleanala will determine the application for permission as if it had been made to them in the first instance.

ATTENTION
MR D. DRUMGOOLE.

Coolmine,
Saggart,
Co. Dublin

Dear Sir/Madam

The following reasons apply in regards to my request for planning permission on the land of Gredanadreen, Saggart, Co. Dublin.

91A/1161
10.0
msl A.1

1 My mother is very nervous being alone in the house after the event of two break-ins and she and I would feel more secure if I was living near by as my father works away from home alot.

2 I would also like for to live in Saggart as my father was born and reared here in the old Glade.

Yours Sincerely
Paula Drums

Paula Davis,
c/o Coolmine,
Saggart,
Co. Dublin.

Reg. Ref. 91A/1161

9 September 1991

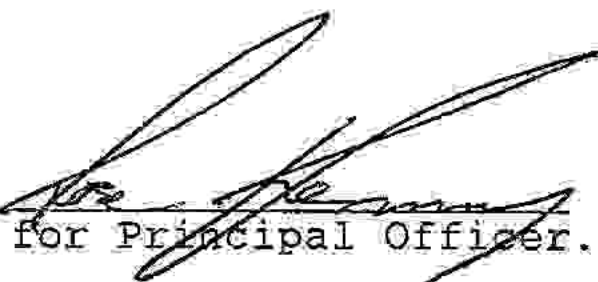
Re: Permission for proposed bungalow at Coolmine, Saggart for Paula Davis.

Dear Madam,

With reference to your planning application received here on 11th July, 1991, (letter for extension period received 6th September, 1991), in connection with the above, I wish to inform you that:-

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the period for considering this application within the meaning of subsection (4A) of Section 26 has been extended up to and including 6th October, 1991.

Yours faithfully,


for Principal Officer.

Attention

P/4301/91

Mr D. Drumgoole Coolmine

Laggan-

Co Dublin.

6th Sept 1911

Recd 6/9
Take upto
incl 6/10.

Ref 91A/1161.

Dear Sir, I wish to apply
for 1 months extension on
planning application Ref 91A/1161.
Coolmine Laggan- Co Dublin.

Yours Sincerely.

Paula Davis

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1161

Date : 12th July 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Bungalow

LOCATION : Coolmine, Saggart

APPLICANT : Mrs. Paula Davies,

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application received on 11th July 1991.

Yours faithfully,

.....
FOR PRINCIPAL OFFICER

Mr. Maurice Masterson,
Coolmine,
Saggart,
Co. Dublin.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place in appropriate box.
 Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building Coolmine, Saggart, Co. Dublin
 (If none, give description sufficient to identify)

3. Name of applicant (Principal not Agent) Mrs Paul Davis
 Address C/o Coolmine, Saggart, Co. Dublin Tel. No. 580422

4. Name and address of Mr Maurice Masterson, person or firm responsible for preparation of drawings Coolmine, Saggart, Co. Dublin Tel. No. 580422

5. Name and address to which Mr Maurice Masterson notifications should be sent Coolmine, Saggart, Co. Dublin

6. Brief description of proposed development Bungalow and Septic tank.

7. Method of drainage Septic Tank 8. Source of Water Supply Well

9. In the case of any building or buildings to be retained on site, please state:
 (a) Present use of each floor or use when last used. N/A
 (b) Proposed use of each floor N/A

FEE PAID: £32 DATE: 11/7
 RECEIPT No: N44157

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No

11. (a) Area of Site ca. 0.4 HA
 (b) Floor area of proposed development 196 Sq. m.
 (c) Floor area of buildings proposed to be retained within site N/A Sq. m.

BYE-LAW APPLICATION
 REC. N^o 55 N45211

12. State applicant's legal interest or estate in site Owner (i.e. freehold, leasehold, etc.)

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
As far as possible

15. List of documents enclosed with application. See letter of application

CO. DUBLIN - Permission sought for bungalow at Coolmine, Saggart, for Paula Davis.

RECEIVED
 11 JUL 1991
 REC. SEC.

16. Gross floor space of proposed development (See back) 1 Sq. m.
 No of dwellings proposed (if any) 1 Class(es) of Development A
 Fee Payable £ 87 Basis of Calculation 1 X £55 + £32 = £87
 If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Mrs Paula Davis Date 11/7/91

Application Type P/B FOR OFFICE USE ONLY
 Register Reference 91A/1161
 Amount Received £ 2113
 Receipt No 2113
 Date

212.4 11/7

See Herold 10/7/91

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A.	Dwelling (House/Flat)	£55.00 each
B.	Domestic Extension (improvement/alteration)	£30.00 each
C.	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
D.	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E.	Petrol Filling Station	£200.00
F.	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls. For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY — DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

[Empty box for Receipt Code]

CASH
CHEQUE
M.O.
B.L.
I.T.

REC. NO. N 45211

£55.00

Received this 11th day of July 1981
from Mrs Paul Davis

the sum of fifty five Pounds
Pence being 00

application at Coolmine, Saggart

Michael O'K [Signature] Cashier

S. CAREY
Principal Officer
Class A
14/81

COMHAIRLÉ CHONTAE ÁTHA CLATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,

DUBLIN 1.

ISSUED BY this receipt is not valid unless countersigned by the Principal Officer

PAID BY
CASH
CHEQUE
M.O.
B.L.
I.T.

N 44157

£32.00

Received this

day of

19

from

Mrs Paul Davis

the sum of

thirty two

Pounds

Pence, being

to be plain

application at Codrino, Saggart

(Class)

Michael O'Keefe

Cashier

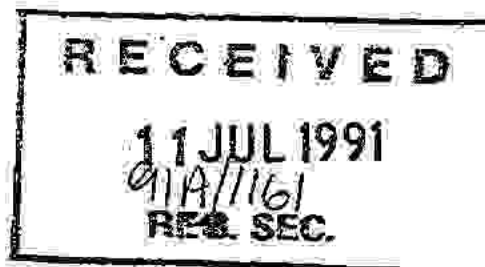
S. CAREY
Principal Officer

11/10/98

JD/SC/JD-001

5th July 1991

Principal Officer
Dublin County Council
Planning Department
Block 2
Irish Life Centre
Lower Abbey Street
Dublin 1



Re:

BUNGALOW AND SEPTIC TANK
AT
COOLMINE SAGGART, CO.DUBLIN
FOR
MRS. PAULA DAVIS

Dear Sirs,

I wish to apply for Planning Permission and Bye-Law Approval for the above development which consists of a Bungalow and Septic tank, at Coolmine, Saggart, Co.Dublin.

Hoping the above is to your satisfaction. However, should you have any queries, please do not hesitate to contact the undersigned.

I enclose the following documentation in quadruplicate:-

1. Site location Map & Site Plan Drw.No.S01 1:2500 & 1:500
2. House, Plans, Sections & Elevations Drw.No.S02
3. Septic Tank Detail Drw.No.S03
4. Outline Specification
5. Newspaper Advertisement dated 7 10/7/1991
6. Planning fee £87.00

Yours faithfully,

Paula Davis
Paula Davis

Encls.

OUTLINE SPECIFICATION

FOR

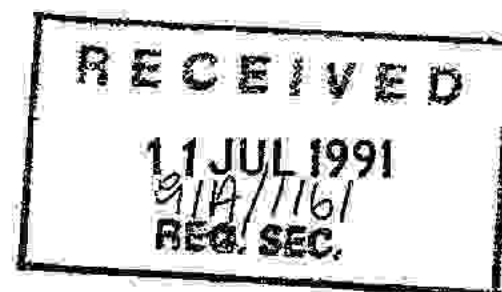
HOUSE.

AT

COOLMINE, SAGGART
CO. DUBLIN

FOR

MRS. PAULA DAVIS
COOLMINE, SAGGART
CO. DUBLIN



EXTERNAL WALLS

Foundations; All external walls and blockwork partitions to be laid on grade 20 concrete to sizes and depths shown and according to Engineers drawings were required.

Walls and Insulation: External wall consists of 215 cavity blocks with insulated dry lining internally DPC 150 over ground level minimum.

or

100 Blockwork inner leaf or 215 block inner leaf rendered internally with 100mm cavity with 50 cavity insulation with 100mm external clay brick leaf or 100mm external block leaf.

Blockwork: All blocks to be 440 X 215 X 215mm size hollow concrete blocks.

All blockwork to be Type A 5n/m² to I.S. 20

Mortar to be 1:1:6 mix throughout.

Windows and external Doors;

To be selected hardwood or approved pressure treated softwood.

INTERNAL WALLS AND PARTITIONS

Blockwork: All blocks to be 440 X 215 X 100mm size solid concrete blocks.

All blockwork to be Type A 5n/m² to I.S.20

Mortar to be 1:1:6 mix throughout.

Party Walls: All party walls to be 215mm 5n/m² solid concrete blocks carried up to underside of roofing felt and fire-stopped.

Stud Partitions: Partitions to consist of 75 X 38 mm SW studs at 400mm centres lined on both sides with 9mm plasterboard.

Base plates and wall plates of studs to be fixed with shot fired nails at 300mm.

Dry Lining: All external walls to be dry lined internally.

FLOORS, ROOF & STAIRS

Ground Floor: To be 150mm power floated concrete slab using concrete mix grade 20 on 2000 gauge. Visqueen DPM on blinded compacted hardcore. Hardcore shall consist of large gravel crushed stones, broken brick of hard and durable nature free from fines. It shall be well watered and blinded with fines prior to laying of dpm and concrete. hardcore to be a minimum of 200mm.

Roof: Selected concrete roof tiles on 38 X 50mm battens on roofing felt to BS 747 on prefabricated roof trusses at 60mm centres or timber cut roofs as shown.

Stairs: As shown or to engineers drawings where applicable.

LIGHT AND VENTILATION

Natural Light: All habitable rooms to have a minimum window glazed area of 10% of the floor area and a minimum opening section of 5% of the floor area.

Ventilation: Roof voids to be permanently ventilated.
Bedrooms and Kitchens (Where applicable) to have permanent ventilation not less than 6500mm². Approved mechanical ventilation where required to provide minimum 3 air changes per hour activated by switch or as required.

Mechanical ventilation: To be approved type activated by light switch to provide required air charges per hour.

DRAINAGE

Rainwater Goods: Gutterwork, U.P.V.C. Marley and fixings or similar Mastic sealed patent joists with brackets at 900mm centres. Pipework, U.P.V.C. Marley rectangular 63 X 50mm pipe and fittings or similar approved. Brackets and backplates at maximum of 2000mm crs.

Building Drainage Goods: Armstrong junctions, gully traps, back inlet gully traps, rainwater outlets, pipes to be U.P.V.C. Marley or similar approved. All pipework under floor to be 100 dia. with 150 concrete surround. All 100 dia. pipes outside of building to have concrete bed and haunch.

INSULATION

- Dry Lining: External walls to be lined with insulated Plasterboard foilbacked or fibergalss or similar laid between 50 X 50 battens, visqueen vapour barrier and plasterboard or and as specified on drawings.
- Roof insulation: 100mm fiberglass insulation on vapour barrier laid on ceiling joists.
- Perimeter Insulation: 1000mm X 25mm rigid polystyrene board under perimeter of ground floor slab or alternately under entire floor slabs as required.
- External Walls: Rear garden walls to be 1800 high 100 block or brick with 225 X 675 piers at 3000 c/c. Dividing wall to be 100 block or brick 1000 high. Front walls to be 600 high 100 block plastered and capped with brick or plastered block piers 675 X 675 X 900 high at entrances. On sloped ground front walls to be laid horizontal stepped so that no part of the wall is less than 450 or more than 900 high. Boundary screen walls to be 2000mm high as shown.
- Site and Development Works: The specification for site and development works will be in accordance with :

An Foras Forbartha Specification.