

BYE LAW APPLICATION FEES

REF. NO.: 9/17/1155 CERTIFICATE NO.: 15682B
 PROPOSAL: Change of house type
 LOCATION: 6 Ballymore Lane, Ballydoon, Ucom
 APPLICANT: L. Wall

CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	£ 555	485	455	—		
B	Domestic Ext. (Improvement/Alts.)	£ 530					
C	Building for office or other comm. purpose	£ 23.50 per M ² or £70					
D	Building or other structure for purposes of agriculture	£ 21.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	£ 200					
F	Dev. of prop. not coming within any of the foregoing classes	£70 or 5% per hect. whichever is the greater					

Column 1 Certified: Signed: _____ Date: _____

Column 1 Endorsed: Signed: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: L. Wall Date: 12/7/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Date: _____

PLANNING APPLICATION FEES

Reg. Ref. 91A/1155

Cert. No. 25980

PROPOSAL: Change of House type

LOCATION: Site 6, Ballygawn Lane, Ballydoon, Lucan

APPLICANT: L. Wall

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32	£32	£32	—	
2	Domestic	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres	@£1.75 per m2 or £40				
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Refund made
 £23/8/91

Column 1 Certified: Signed: Grade: Date:

Column 1 Endorsed: Signed: Grade: Date:

Columns 2,3,4,5,6 & 7 Certified: Signed: *[Signature]* Grade: Date: 12/7/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade: Date:

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1953 TO 1962

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/POUL SEWER, SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S CHECKED NO: 57 /
DATE

ENTERED IN CONTRIBUTIONS REGISTER:

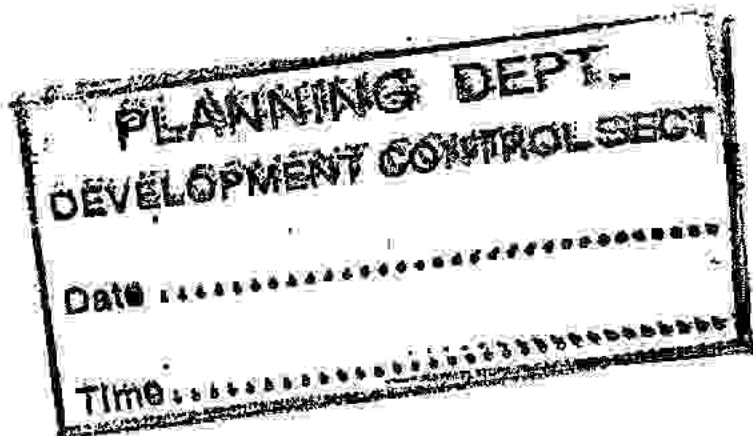
DEVELOPMENT CONTROL ASSISTANT GRACE

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1155.
DEVELOPMENT: Change of house type on site no. 6 of approved housing development.
LOCATION: Lands adjoining Ballyowen Lane, Ballydowd, Lucan.
APPLICANT: L. Wall.
DATE LODGED: 10.7.91.

By previous Roads Reports of 20.7.89 and 28.9.89 (89A/1004) we indicated our opposition to this development.

In so far as a permission exists on this site, Roads Department have no further comments.



TB/BMcC
29.7.91.

SIGNED: *G. B. ...*
DATE: 29/7/91

ENDORSED: _____
DATE: _____

SS only

10

Register Reference : 91A/1155

Date : 17th July 1991

Development : Change of house type on site no. 6 of approved housing development

LOCATION : lands adjoining Ballyowen Lane, Ballydowd, Lucan

Applicant : L. Wall

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : M.GALVIN

Date Recd. : 10th July 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN Co. COUNCIL
- 7 AUG 1991
SAN SERVICES

DUBLIN Co. COUNCIL
SANITARY SERVICES
18 SEP 1991
Returned

Date received in Sanitary services

FOUL SEWER

Available to approved system.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 20.09.91
Time 10.30

SURFACE WATER

Available to approved system.

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

[Signature] 10/9/91

J.R.
10/9/91

LW
15/7

Register Reference : 91A/1155

Date : 17th July 1991

.....
ENDORSED _____ DATE _____

WATER SUPPLY..... *Water available. See previous report.....*

*A. De... 2/5/91
F... 12/5/91*

.....
ENDORSED _____ DATE _____

PLANNING DEPT.
DEVELOPMENT CONTROL SEC.
Date 20.09.91
Time 10.30
.....

01/4001/91

CONTRIBUTION:
Standard: 2 6180
DS: 1420
Jers:
Open Space: 9600
Other:
SECURITY:
Sond: C.I.F. 23000
Cart: 12.000

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/1155

Date Received : 10th July 1991

Correspondence : Oliver Ganly, Dip. Architect,
 Name and : St. Anthony's,
 Address : Ballydowd,
 Lucan,
 Co. Dublin

Development : Change of house type on site no. 6 of approved housing development

Location : lands adjoining Ballyowen Lane, Ballydowd, Lucan

Applicant : L. Wall

App. Type : Permission

Zoning : 21

(MG/BB)

Report of Dublin Planning Officer dated 26th August, 1991.

This is an application for planning permission for change of house type on site No. 6 of approved housing development and lands adjoining Ballyowen lane, Ballydowd, Lucan for L. Wall.

Reg. Ref. 89A/1004 refers to a grant of permission for 6 no. houses at this location. 1 no. house (No. 1) was omitted by the council. However this was reinstated by An Bord Pleanala on appeal who conditioned that the 2 storey portion of this house shall be located not less than 7.6 metres from the set back boundary at the adjoining Ballyowen Lane.

Reg. Ref. 89A/2285 refers to a subsequent grant of permission for 6 no. houses at this location. The layout submitted provided for a 10 metre set back to Ballyowen Lane.

The current application provides for a revised house type on site No. 6, the eastern most site No. 6. The layout site boundary identified corresponds with that permitted under the original grant of permission, Reg. Ref. 89A/1004, i.e. a larger site at site no. 6, than that subsequently approved under Reg. Ref. 89A/2285. The lodged plans provide for a ~~3~~ larger house type (floor area 195 sq. metres). The site is sufficiently large to cater for this larger house (the applicant was contacted by phone, he notes that this is a change of house type over that approved under the earlier grant of permission 89A/1004).

Roads Department Report *not received*

COMHAIRLE CHONTAE ÁTHA CLIATH

Reg. Ref. 89A/1004 Record of Executive Business and Manager's Orders

Page No: 0002

Location: lands adjoining Ballyowen Lane, Ballydowd, Lucan

The proposed development is considered acceptable.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (17) conditions:-

CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

the
03 That ~~each~~ proposed house be used as a single dwelling unit.

REASON: To prevent unauthorised development.

be
04 That arrangements, made for the payment of the financial contribution in the sum of £6180 in respect of the overall development required by Condition No. 4 of planning permission granted under Reg. Ref. 89A/1004 ~~be strictly adhered to in respect of the above proposal.~~ *must be complied with in full.*

REASON: In the interest of the proper planning and development of the area.

be
05 That ~~the~~ arrangements, made for the lodgement of security in the form of an approved Insurance Company Bond or Letter of Guarantee in the sum of £20000 or a cash lodgement of £12000 in respect of the overall development, required by Condition No. 5 of planning permission granted under Reg. Ref. 89A/1004 ~~be strictly adhered to in respect of the above proposal.~~ *must be arranged in full.*

REASON: In the interest of the proper planning and development of the area.

06 That the proposed development be carried out in strict conformity with conditions nos. 6-16 and 18-~~23~~ *ind.*, and condition no. 17, as amended by An

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Page No: 0003

Location: lands adjoining Ballyowen Lane, Ballydowd, Lucan

Bord Pleanála, of the decision to grant permission under Reg. Ref. 89A/1004.

06 REASON: In the interest of the proper planning and development of the area.

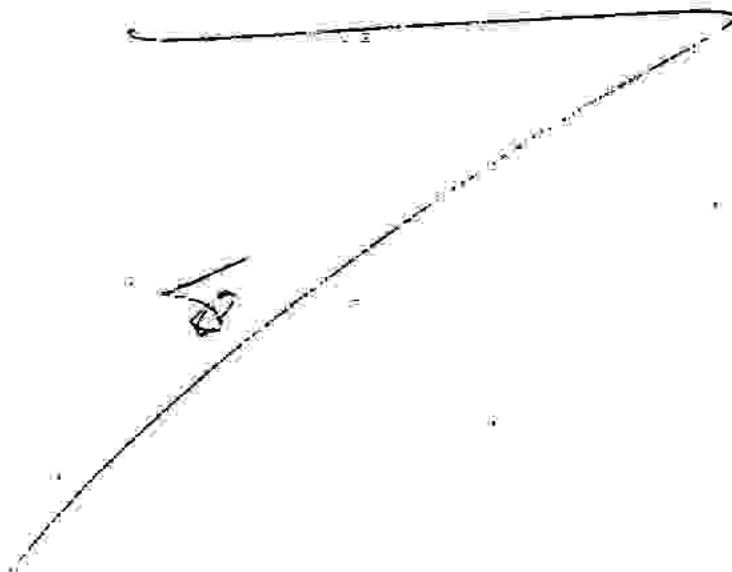
07 That arrangements, made for the payment of the financial contribution in the sum of £1000 per house in respect of the overall development required by Condition No. 24 of planning permission granted under Reg. Ref. 89A-1004 be strictly adhered to in respect of the above proposal.
REASON: In the interest of the proper planning and development of the area.

08 That arrangements, made for the payment of the financial contribution in the sum of £1420 in respect of the overall development required by Condition No. 25 of planning permission granted under Reg. Ref. 89A/1004 be strictly adhered to in respect of the above proposal.
REASON: In the interest of the proper planning and development of the area.

8 That a financial contribution in the sum of £1,420. ~~be~~ be paid by the proposer to the Dublin County Council towards the cost of road improvements in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on site.
Reason In the interest of reducing air pollution

109 That a financial contribution in the sum of £1,420. ~~be~~ be paid by the proposer to the Dublin County Council towards the cost of road improvements in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on site.

109 REASON: In the interest of the proper planning and development of the area.

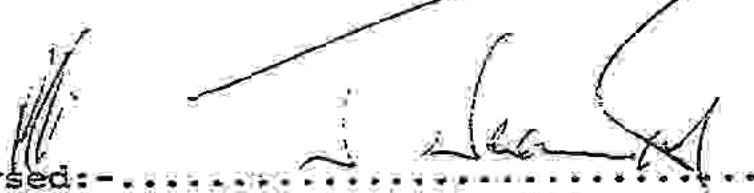


COMHAIRLE CHONTAE ÁTHA CLIATH

Reg. Ref. **Record of Executive Business and Manager's Orders**

Page No: 0004

Location: lands adjoining Ballyowen Lane, Ballydowd, Lucan

Endorsed: 
for Principal officer


for Dublin Planning officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (9) conditions set out above is hereby made.

Dated : 5 September 1991 K.C. Sullivan
ASSISTANT CITY AND COUNTY MANAGER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated ~~26 August, 1991.~~
4th September

OLIVER J. GANLY • ARCHITECT

PK

ST. ANTHONYS • BALLYDOWD • LUCAN • CO. DUBLIN • TEL. 6241922

Dublin Co. Co.,
Planning Dept.

Re: Planning & Bye-Law charges in respect of applications for change of house type at site No. 6, of approved housing development at Ballyowen Lane, Ballydowd, Lucan, Co. Dublin, for Mr. Liam Wall.

DEVELOPMENT
24 JUL 1991
CONTROL

Ref: 91A/1155

*any full fees paid all 12 months since
26/7/89 14/8/89 disallowed, Bye law charges*

Dear Sirs,

I refer to the above applications and our recent telephone conversation in connection with reduced fee for the applications.

I have paid full fees on 10/7/'91, but now realise that a reduced fee would be applicable in this situation. Bye-Laws for the scheme were approved 6th. Nov. '90, and planning permission granted on appeal 2nd. May '90.

I would appreciate, if you would examine the matter and make the appropriate refund.

Yours sincerely,

OLIVER GANLY Dip. Arch.

23 JUL 91

Oliver Ganly Dip. Arch.

Mr. A. Hinchy,
Senior Executive Draughtsman/Technical

RE: Site 6 levels adjoining Buckley's Lane
Pollydoree Green

REG. REF.: G11A/1155

RE: LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) (FEES AND AMENDMENT)
REGULATIONS, 1983 - ARTICLE 6.1

A reduced fee (i.e. 1/2) has been paid in respect of the above application.
Please confirm this is the correct fee under Article 6.1 of the Local
Government (Planning and Development) (Fees and Amendment) Regulations, 1983.
File Reg. Ref.: G11A/1004 on which a full fee was paid is attached.

Richard Whelan,
Staff Officer,
Registry Section.

No alteration to site layout.

*J.S.
6/8/90*

Mr. R. Whelan,
Registry Section.

A. Hinchy,
Senior Executive Draughtsman/Technical



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreachí Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 4061 /91 Date of Decision : 5th September 1991

Register Reference : 91A/1155 Date Received : 10th July 1991

Applicant : L. Wall

Development : Change of house type on site no. 6 of approved housing
development

Location : lands adjoining Ballyowen Lane, Ballydowd, Lucan

Floor Area : Sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin
County Council, being the Planning Authority for the County Health
District of Dublin, did by order dated as above make a decision to
GRANT PERMISSION in respect of the above proposal.

subject to the conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:-⁹...ATTACHED.

Signed on behalf of the Dublin County Council.....*J. de Bantrol*.....
for Principal Officer

Date:.....*6/9/91*.....

Oliver Ganly, Dip. Architect,
St. Anthony's,
Ballydowd,
Lucan,
Co. Dublin

NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,
Blocks 6 and 7
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Reg.Ref. 91A/1155
Decision Order No. P/ 4061 /91
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

C O N D I T I O N S / R E A S O N S

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.
REASON: In order to comply with the sanitary services Acts, 1878-1964.
- 03 That the proposed house be used as a single dwelling unit.
REASON: To prevent unauthorised development.
- 04 That arrangements be made for the payment of the financial contribution in the sum of £6,180 in respect of the overall development required by condition No. 4 of planning permission granted under Reg. Ref. 89A-1004 prior to commencement of development.
04 REASON: In the interest of the proper planning and development of the area.
- 05 That arrangements be made for the lodgement of security in the form of an approved Insurance Company Bond or Letter of Guarantee in the sum of £20000 or a cash lodgement of £12000 in respect of the overall development, required by condition No. 5 of planning permission granted under Reg. Ref. 89A-1004 prior to commencement of development.
05 REASON: In the interest of the proper planning and development of the area.
- 06 That the proposed development be carried out in strict conformity with conditions nos. 6-16 and 18-23 incl., and condition no. 17, as amended by An Bord Pleanála, of the decision to grant permission under Reg. Ref. 89A/1004.
06 REASON: In the interest of the proper planning and development of the area.
- 07 That arrangements be made for the payment of the financial contribution in the sum of £1000 per house in respect of the overall development required by condition No. 24 of planning permission granted under Reg. Ref. 89A-1004 prior to commencement of development.
07 REASON: In the interest of the proper planning and development of the area.

NOTES

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Bloc 2, Ionad Bheatha na hEireann,
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Telephone. (01)724755
Fax. (01)724896

Reg.Ref. 91A/1155

Decision Order No. P/ 4061 /91

Page No: 0003

08 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

REASON: In the interest of reducing air pollution.

09 That a financial contribution in the sum of £1,420 be paid by the proposer to the Dublin County Council towards the cost of road improvements in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on site.

09 REASON: In the interest of the proper planning and development of the area.

NOTES

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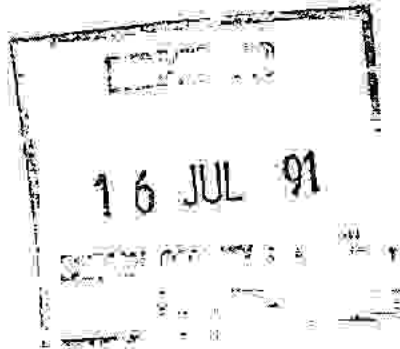
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OLIVER J. GANLY • ARCHITECT

ST. ANTHONYS • BALLYDOWD • LUCAN • CO. DUBLIN • TEL. 6241922

Building Control,
Liffey House,
Tara St.,
Dublin 2.



12. 7. '91

91A/1155
I.O.O.4
and A.I. for BBL

Re; Bye-Law application for change of house type for site No. 6, of approved six house development on lands adjoining Ballyowen Lane, Ballydowd, Lucan, Co. Dublin for Mr. Liam Wall.

Reg. ref: 91A / 1155

Previous Bye-Law ref. No. BBL/3645/90 (approved)

Dear Sirs,

I refer to the above Bye-Law application lodged 10/7/'91, which did not include the enclosed engineers details on beam at first floor level of proposed house. To complete the application, I now enclose four copies of engineers calculations and relevant details.

Please note that enclosed engineers details will supercede information shown on architects drawings, if applicable.

Planning application was lodged on the same date.

I look forward to hearing from you as soon as possible.

Yours faithfully,


OLIVER GANLY Dip. Arch.

Oliver Ganly Dip. Arch.

HOUSE ON SITE NO 6 - BALLYOWEN LANE.
BALLYDOWD LUCAN FOR MR. LIAM WALL

R.S.J across sitting room (See Arch. drg. W20)

LOAD 10' Bedroom floor @ 60 lbs/sq ft = 600 lbs/ft.
8 wall (stud) over @ 20 x 0.75 = $\frac{120}{720}$

Span = 20'. Load = $\frac{20 \times 720}{2240}$ Tons = 6.42 Tons.

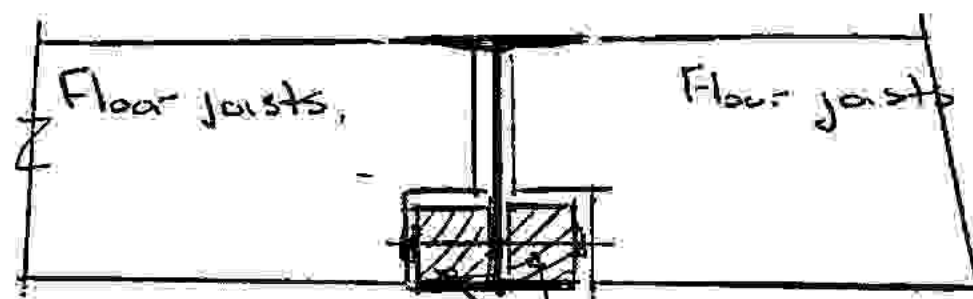
Fleming Tables. 6.42 Tons on 20' Requires a
10' x 5 3/4" x 29 U.B. — 254 x 146 x 43 kg/m.

Bearing Pressure at end of U.B.

LOAD = 720 x 10' = 7200 lbs.

Area of blockwork reqd. $\frac{7200}{100} = 72$ sq ins.

9" x 9" block pier with 9" deep bearing pad
of R.C. on top or 9" x 9" R.C. Col with 4 #16 bars.
Similar sized pad at chimney side.



to act for lateral
restraint to U.B.

Cont. 75 x 75 timbers bolted
through with 10 mm bolts
@ 600 mm c/s.

16/7/07

9/11/155

~~16/7/07~~

u

John J. McShane & Assoc's
Consulting Engineers
124 Foxfield Park
Raheny Dublin 5
Tel. 323610

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Blac 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1155

Date : 11th July 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Change of house type on site no. 6 of approved housing
development

LOCATION : lands adjoining Ballyowen Lane, Ballydowd, Lucan

APPLICANT : L. Wall

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application
received on 10th July 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

Oliver Ganly, Dip. Architect,
St. Anthony's,
Ballydowd,
Lucan,
Co. Dublin



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building Site No. 6 of six house development
(If none, give description sufficient to identify) at Ballyowen Lane, Ballydowd, Lucan Co. Dublin

3. Name of applicant (Principal not Agent) Mr. Liam Wall

Address Bayern, Ballyowen Lane, Lucan Tel. No. 6264057

4. Name and address of person or firm responsible for preparation of drawings Oliver Ganly Dip. Arch.
St. Anthony's, Ballydowd, Lucan, Co. Dublin Tel. No. 6241922

5. Name and address to which notifications should be sent As No. 4 above. 432 - 19/7

6. Brief description of proposed development Change of house type for site No. 6 N 44/42

7. Method of drainage Public Sewers 8. Source of Water Supply Public Watermain

9. In the case of any building or buildings to be retained on site, please state:-

(a) Present use of each floor or use when last used. None

(b) Proposed use of each floor

CO DUBLIN Planning Permission sought for change of house type on Site No 6. of approved housing development on lands adjoining Ballyowen Lane, Ballydowd, Lucan for L. Wall.

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No.

Site Plan 2/7/91

11(a) Area of Site 745.00 Sq. m.

(b) Floor area of proposed development 455 N 45/195 195.10 ~~195.10~~ Sq. m.

(c) Floor area of buildings proposed to be retained within site None Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) Freehold

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box.

RECEIVED
10 JUL 1991
REC. SEC.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:

Complied with

15. List of documents enclosed with application. 4 copies each of drawings, Nos. W. 20, W. 21, W. 22, Specification, Site Location Map, Newspaper Ad + cheque

16. Gross floor space of proposed development (See back) 213.55 m² (inc. garage + soil) Sq. m.

No of dwellings proposed (if any) 1 Class(es) of Development 1

Fee Payable € 84.00 Basis of Calculation 1 house = €52 + €32 p.p + Bye-Law
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Oliver Ganly Date 5/7/91

Application Type P/B FOR OFFICE USE ONLY 10/7

Register Reference 91A/1155 2.16.4

Amount Received €

Receipt No 17/7

Date 17/7

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/ Commercial Purposes	£3.50 per m ² (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls. For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET
DUBLIN 1.

Issue of this receipt is not an
acknowledgement that the fee
tendered is the prescribed application
fee. N° 44142

- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

£ 32.00

Received this 10th day of July 1991

from Oliver Ganly
St. Anthony's
Ballyowen

the sum of thirty two Pounds

Pence, being Ten for

planning application at 6 Ballyowen
lane

Noelleen Deane Cashier

S. CAREY
Principal Officer Class 1 x 1

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

PAID BY
CASH
CHEQUE
M.O.
B.L.
I.T.

BYE LAW APPLICATION.

REC. NO. N 45195

£ 55.00

Received this

10th

day of

July

1991

from Oliver Canby,
St Anthony's
Ballydoon

the sum of

Fifty five

Pounds

Pence, being

bye-law applications at 6 Rallipower Lane

Aslee

Doc

Cashier

S. CAREY
Principal Officer

Wass 1x1

OLIVER J. GANLY

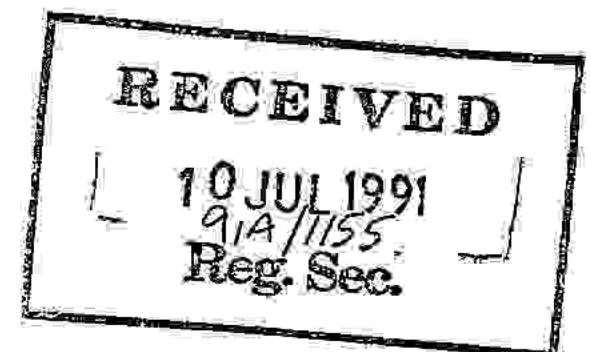
ARCHITECT

ST. ANTHONYS • BALLYDOWD • LUCAN • CO. DUBLIN • TEL. 6241922

The Principal Planning Officer,
Planning Dept.,
Dublin Co. Co.
Irish Life Cr.
Lr. Abbey ST,
Dublin 1.

5. 7. '91

Re: Planning and Bye-Law applications for change
of house type on site No. 6 of approved six house
development on lands adjoining Ballyowen Lane,
Ballydowd, Lucan, Co. Dublin for Mr. Liam Wall.



Ref. No. for approved development: 89A/1004.

Dear Sirs,

I refer to the enclosed planning and Bye-Law applications for change
of house type at the above address. The alteration involves mostly
an increase in floor area on the already approved house for site No. 6.

A Bye-Law application is being made at this stage, and an engineers
detail on steel beam at first floor level of proposed house will be
submitted to Building Control in a matter of days.

I look forward to an early decision on both applications.

Yours faithfully,

A handwritten signature in cursive script, appearing to read "Oliver Ganly".

OLIVER GANLY Dip. Arch.

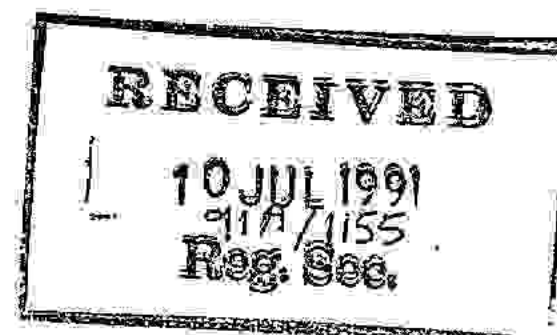
Oliver Ganly Dip. Arch.

S P E C I F I C A T I O N

Proposed change of house type for
site No. 6, of six house development
on lands adjoining Ballyowen Lane,
Ballydowd, Lucan, Co. Dublin.

for

Mr. Liam Wall.



Oliver Ganly - Architect

July '91.

Section 1 - EXCAVATIONS AND SUB-STRUCTURES

1. Site

The site shall be adequately drained and have no features likely to render the house unstable (or uninhabitable).

2. Preparing Site

The entire site of buildings and paved areas shall be cleared of all vegetable soil to a depth of at least 200 mm. Where the bearing quality of the ground is suspect special care shall be taken in the design of the foundations.

3. Excavation

The trenches shall be excavated to the depths and widths required to accommodate foundations or to such further depths or widths as may be necessary to ensure the stability of the structure. Trench bottoms and foundations shall be levelled off in horizontal benches. The bottom of trenches shall be not less than 450 mm below the finished ground level and kept clear of water before concreting.

4. Foundations

Shall be concrete mix A, to widths and depths indicated and reinforced as necessary.

5. Floor Level

The height of the finished floor over the highest point of the finished ground level shall be not less than 350 mm in the case of concrete floors.

6. Rising Walls

Rising walls shall be of solid blockwork bedded in cement mortar, to widths and heights indicated. See also 2.4.

7. Cement

Normal Portland Cement shall be in accordance with I.S. 1 and stored under dry conditions.

8. Lime

Hydrated lime to be to I.S. 8.

9. Water

Water shall be clean and free from harmful impurities.

10. Sand and Aggregates

Fine aggregates shall be clean, sharp pit or river sand free from all impurities and in accordance with I.S. 5
Coarse aggregates shall be suitably graded hard clean pit gravel or crushed stone in accordance with I.S. 5 and to sizes set out below.

11. Concrete Mixes

Concretes	Aggregates	Nominal Mix			28 day Strength (Newtons) per mm ²
Mix	Maximum Size	Cement	Fine Aggregate	Graded Coarse Aggregate	
A	40 mm	1	3	6	14
B	20 mm	1	2	4	21
C	14 mm	1	3	6	-

The water-cement ratio shall be kept to the minimum needed to ensure reasonable workability, but should not exceed 35 litres per 50 kg of cement.

12. Cement Mortar

Shall be 1 part cement to 3 parts sand.

13. Lime Mortar

Shall be 1 part hydrated lime to 6 parts sand.

14. Gauged Mortar

Shall be 10 parts lime mortar mixed with 1 part cement just before use.

15. Strong Gauged Mortar

Shall be 5 parts lime mixed with 1 part cement immediately before use.

16. Additives

Plasticisers, waterproofers, sealers and bonding agents if used, shall be used in accordance with manufacturer's instructions.

Section 2 - BLOCKLAYING AND CONCRETING

17. Mixes

See Section 1 for concrete and mortar.

18. Blockwork

Concrete blocks shall be in accordance with I.S. 20 and bricks, if clay, in accordance with I.S. 91. All blockwork and brickwork shall be properly coursed and bonded and bedded in gauged mortar. All walls shall be carried up regularly not leaving any part 1 m lower than another.

19. Cavity Walls

Walls shall be formed of two solid 112 mm leaves of blocks or bricks with 75 mm cavity between. Outer and inner leaves to be tied together by accepted wall ties, not less than four per square metre with extra ties at opes. Care to be taken that mortar dropping into the cavity or lying on ties, is clean out, through openings left for the purpose. Head of cavities to be closed in the solid. All window, door and other opes in cavities to be sealed and so arranged as to prevent the passage of moisture. The cavity is to extend at least 150 mm below the level of the D.P.C. and shall provide for drainage of moisture to the outside, at the base.

20. Hollow Block Walls

225 mm hollow blocks shall be plastered externally. Bedding mortar shall be confined to abutting surfaces, and shall not enter the cavities of the block.

21. Solid Block Walls

225 mm solid concrete blocks shall be plastered internally.

22. Opes in External Walls

Where any duct, pipe, etc., is required to penetrate through an external wall it shall be so arranged as to prevent the passage of moisture inwards.

23. Pointing

All wall faces finished without plastering shall be pointed in the building mortar as the work proceeds, or the joints may be taken out 20 mm deep and pointed in cement mortar.

24. Solid Partition

Solid partitions shall be 112 mm thick brick or block work, laid to break joint, in gauged mortar, bonded 112 mm at junctions.

25. D.P.C.

The damp-proof courses shall be polythene in accordance with B.S. 743 or bitumen sheeting on hessian or canvas base in accordance with I.S. 57 laid to prevent the passage of moisture and lapped adequately at joints, all as described below.

In all ground floor walls and breasts to full width and stepped as necessary, in cavity walls in both outer and inner leaves separately, and shall be laid not less than 150 mm over finished ground level or paved area or highest ground within one metre of house.

At sides of opes in cavity walls and over all opes 250 mm longer than opes and stepped down and outward all to prevent passage of moisture from outer to inner leaf.

Under the turned up at ends and back of all cills and external room ventilation grids and recessed edges of all concrete roof slabs.

In all chimney stacks immediately above the level of the flashing and under all cappings and copings.

Where the waterproofing membrane in a concrete floor is not level with the wall D.P.C. care shall be taken to ensure continuity of damp proofing by stepping, turning up and lapping as necessary.

26. Concrete Copings

Concrete copings in lengths of not more than 1 metre, shall be weathered and throated, bedded in gauged mortar on D.P.C. and pointed in cement mortar.

27. Lintels

Concrete lintels mix B cast in situ shall be 225 mm deep with 225 mm bearing at each side of the ope, and shall be reinforced for full length with one 10 mm mild steel for every foot of span. Bars are to be placed 25 mm from bottom of lintel. Lintels for opes greater than 2.5 m shall be specially designed. Precast lintels to be as above and in addition to have 2 No. 10 mm mild steel bars at the top with 25 mm cover and to be clearly marked for correct placing. Accepted patent or proprietary lintels to B.S.1239 to be used in accordance with manufacturer's instructions.

28. Window Cills

Concrete window cills shall be to I.S. 89, 65 mm thick on front face, 120 mm thick at back, and 225 mm wider than ope; reinforced adequately, seated, rebated, weathered and throated and set in gauged mortar on D.P.C. as previously specified. Care to be taken that the throating is clear of the finished wall face, or r.c. cills in-situ to detail. Alternatively brick cills on d.p.c (to detail).

29. Chimney Breasts and Stacks

Chimney breasts shall be built of solid concrete blocks or decorative blocks or bricks, all to a thickness of not less than 112 mm bedded in gauged mortar with splayed R.C. lintel over fire ope. Each fireplace recess shall have 200 mm solid incombustible material to sides and back excluding any fireback, carried up to full height of recess. Each fireplace shall have an independent flue, separated by not less than 100 mm of solid incombustible material (excluding the thickness of any flue liner) from any other flue. Each flue shall be lined with fireclay liners to I.S. 51 not less than 200 mm internal diameter, backed with weak mortar and carried 150 mm above capping. Splayed liners shall be used in forming bends to flues. Chimney stacks over roof shall be built of 112 mm solid concrete blocks bedded in gauged mortar and plastered or, where special precautions are taken, of decorative blocks, bricks or natural stone. Due to the exceptional exposure of stacks the use of decorative blocks, bricks or natural stone in stacks may cause dampness. Special care in construction and in the design and placing of the D.P.C. is necessary.

30. Capping to stack shall be of reinforced concrete, mix C, weathered and throated, not less than 75 mm thick at edge and flaunched up around pots. Top of stack, excluding chimney pots, to be 600 mm over ridge where stack is within 600 mm of the ridge.

31. Care should be taken that construction and height of stack is such as to ensure adequate structural stability and satisfactory drawing of smoke.

32. Fireplaces, Heating Units, Cookers.

Fireplaces to have a fireclay back and incombustible surround and to be properly gathered into flue. Enclosed cookers and heating units to be fitted to manufacturer's instructions, with incombustible flue, ventilated as necessary and shall stand on a concrete hearth projecting 150 mm from face of appliance all round.

33. Hearths

Ground floor hearths shall be 125 mm, finished fine, on hardcore as necessary.

All hearths to be 150 mm wider than fire ope on each side and to project 500 mm from face of breast.

34. Paved Court.

Provide 10 m² of impervious paved area laid to falls on suitably prepared base and adjacent to back door e.g. 100 mm concrete, 50 mm tarmacadam or 50 mm paving slabs.

35. Concrete Floors

All concrete ground floors shall be laid on a bed of clean hardcore not less than 150 mm thick and well consolidated. Soft material shall not be used in making up level under floors. Concrete ground floor shall be 150 mm thick mix B finished fine, laid on a continuous damp proof membrane on a layer of fine sand and turned up at edges of slab as necessary to meet and seal with wall D.P.C. Polythene sheeting where used shall be not less than 1000 gauge.

36. Screen and Garden Walls

Screen or garden walls shall not abut main walls of house.

Section 3 - CARPENTRY AND JOINERY

37. Timber

Timber shall be sound, free from disease and infestation and large loose knots or waney edges, with a moisture content within the limits set out in I.S. 96. Timber for carpentry to be white deal. Timber for joinery to be red deal, hard wood or other timber suitable for the purpose and free from all defects.

38. Preservative

Soft wood used externally, to be pressure impregnated with coloured preservative. Softwoods in contact with concrete to be treated with coloured preservative. Frames, barge-boards, fascias to be primed before fixing.

Roof Timbers

Wall plates 75 mm x 100 mm fully treated with preservative, halved and spiked at headings and angles, set level and bolted down at 1 m intervals.

Rafters 50 mm x 100 mm minimum and 50 mm x 125 mm at 400 mm centres, treated at feet with preservative, and cut to angles, checked and twice spiked to wall plates, properly aligned to back and spiked to ridge and purlin.

Trimming rafters 44 mm thick around chimney shafts and 50 mm clear of shaft.

Hip and valley rafters 50 mm x 225 mm treated at feet with preservative and fixed as for rafters above.

Valley and gutter boards 22 mm x 225 mm wrot, to take gutter, treated with preservative and secured to rafters.

Ridge board 35 mm x 175 mm set level, kept 50 mm clear of chimney shaft.

Purlins 75 mm x 175 mm adequately supported at intervals of approximately 2 m. Joints, where necessary, shall be half lapped over a support.

Struts 75 mm x 100 mm properly supporting purlins from solid bearing, or from spreaders not more than 500 mm from load bearing partitions. Where such bearing support cannot be provided, suitably trussed rafters or purlins shall be used to ensure stability.

Spreaders and thrust pieces 44 mm x 115 mm under struts, spiked to ceiling joists to distribute load.

Collar ties 35 mm x 115 mm fix collars to every fourth rafter. All collars to be twice spiked to rafters.

Soffit bearers 35 mm x 75 mm to every rafter, treated with preservative.

Soffit at least 200 mm wide 16 mm wrot softwood, pressure impregnated or other material suitable for external use and secured to bearers.

Fascia 32 mm x 175 mm wrot deal, well secured to roof timbers and pressure treated.

Ceiling joists 35 mm x 115 mm at 400 centres, cut to angles and twice spiked to rafters. Where not in one length, form 500 mm securely spiked lap over partition walls.

39(a). Stud partitions

Studs, head and sole pieces, and bridging 35 mm x 75 mm. Studs at 350 mm to 400 mm centres. Sole piece to be well spiked to floor and if parallel to joists, shall be carried on double joists. Provide 2 No. rows of nogging. Where a partition is load bearing increase timber sections as required.

39(b). Stairs

Stairs shall have 2 m headroom measured vertically from the pitch line and 1.5 m clearance measured at right angles to the pitch line, widths as shown on drawing.

Stairs shall have 32 mm red deal round nosed treads and 22 mm risers all glued blocked and bracketed checked and wedged into 44 mm strings. Newel posts, balusters and handrail to be standard machine prepared sections or suitable steel/timber combination.

Every flight shall be adequately protected on each side and have at least one hand rail, secured at a height not less than 840 mm and not more than 1 m measured vertically from the pitch line. Closed string stairs shall be to I.S 158.

39(c). First Floor

Joists to be 225 x 50 at 350 crs having bridging 50 mm x depth of joist. Where stud partitions are located joists shall be doubled to carry partition.

Flooring shall be 22 mm t & g boarding well cramped twice halled withh 60 mm cut brads in narrow widths to minimise the effects of cupping and shrinkage.

40. Windows

Sliding, hung or pivoted timber sashes and frames to be made from standard machine-prepared sections pressure impregnated with preservative.

Wood casement windows shall be I.S. 63.

Galvanised steel casement windows shall be to I.S. 60.

Aluminium or P.V.C. windows of accepted make may also be used, in accordance with manufacturer's instructions.

NOTE: Glazed area to be not less than 10% of floor area of room.

Opening area to be not less than 5% of floor area of the room.

Window boards shall be 32 mm wrot, moulded on edges and corners and secured to grounds.

41. External Door Frames

External door frames shall be machine prepared 75 mm x 115 mm in wrot deal, rebated in the solid, secured to grounds and dowelled at foot to heel blocks.

Note: Under no circumstances should feet of external door frames rest on, or be set into, concrete paving or step.

42. Internal Door Frames

Internal door frames shall be 35 mm thick wrot deal with 16 mm planted stops or 44 mm thick wrot deal rebated in the solid, secured to grounds.

43. External Door

External doors shall be to I.S. 48 or I.S. 52, hung on 1½ pair 100 mm steel butt hinges.

44. Internal Door

Internal doors to habitable rooms shall be to I.S. 48 or I.S. 52 hung on 1 pair 100 mm steel butt hinges, Sliding doors to be not less than 44 mm thick and hung on acceptable proprietary track.

45. Trap Door

Form trap door 500 mm square of half hour fire rating suitably located to give access to roof space.

46. Hot Press

Hot press to have not less than 2m² of spar shelving, 22 mm x 44 mm wrot, at 75 mm centres supported on 22mm x 44mm battens. Where necessary, the cylinder shall be carried on 22 mm T and G on 35 mm x 75 mm framed bearers. Hang suitable door, framed to prevent warping and fitted with suitable catch. Holes for pipes etc. to be neatly made good.

Note: Hot press doors are very liable to distort due to temperature differences. Consideration should be given to insulating the inner face of the door.

47. Fitments

All fitments and built-in units shall be of such design, material and workmanship so as to satisfy completely the demands of normal usage.

48. Trimmings

Skirtings 16mm x 150mm wrot deal to all floors well fixed to grounds.

Architraves may be 16mm x 75 mm wrot deal or as necessary to form neat joint, mitred at angles and securely fixed to grounds.

Saddles shall be hardwood, cut of 22mm x 150mm splayed, scribed to door frames and secured to floor. For external doors accepted proprietary thresholds may be used.

Section 4 - IRONMONGERY AND GENERAL

49. Eave Gutters and Rain Water Pipes

Eave gutters and rain water pipes shall be to relevant I.S.S. and may be:-

GUTTERS	I.S.	PIPES
125 mm	59	75 mm 14 SWG Galvanised pressed steel
125 mm		75 mm aluminium
115 mm		65 mm P.V.C.

Metal and A.C. gutters to be supported on suitable brackets at not more than 2m centres, joisted with mastic compound (and gaskin washers in the case of asbestos cement) and bolted with galvanised gutter bolts and nuts. P.V.C. gutters to be supported on suitable brackets at not more than 1 m centres and jointed in accordance with manufacturers instructions. Gutters to be set to falls. At least two stacks of rain water pipes shall be provided secured by holder brackets and kept clear of wall. Provide and fit all necessary matching stop ends, angles and drop nozzles, swannecks, hopper heads and toes. Rainwater pipes to discharge approximately 50 mm above gully grid.

50. Door Fittings

Internal doors shall be hung on one pair 100mm steel butt hinges and fitted with suitable mortice type lock or catch and complete with furniture. Provide bolt or locking device to bathroom and toilet doors.

External doors shall be hung on $1\frac{1}{2}$ pair of 100mm steel butt hinges. Entrance door shall be fitted with cylinder night latch and external pull handle. Provide and fit letter place on or near door. Other external doors shall be fitted with bolt and rim or mortice lock suitable for external use.

51. Ventilation Grids

External openings to ventilators shall be fitted with galvanised cast iron, aluminium, concrete, or accepted P.V.C. louvred grids.

Section 5 - ROOFING

52. Sarking Felt

Untearable sarking felt to I.S. 36 shall be laid under all slates and tiles, lapped horizontally not less than 75 mm for pitches greater than 25° and 150 mm for lesser pitches, carried down into eave gutters. Side lap shall not be less than 150 mm for pitches over 25° and 500 mm for lesser pitches. Felt to be carried fully over ridge board.

53. Laths or Battens

Laths or battens shall be 44 mm for rafter spacings not greater than 400 mm. For spacing up to 600 mm battens not less than 44 mm x 44 mm shall be used. Tilting fillet to be provided at eaves where necessary.

54. Asbestos Cement Slates

Asbestos cement slates shall be to I.S. 7. The normal pitch for asbestos cement slates shall be 30° , lap 100 mm. Each slate shall be fixed with 2 No. 10 gauge 35 mm galvanised nails and copper crampion at bottom. Provide double course at ridge and treble course at eaves.

Asbestos cement slates may be laid at a pitch lower than 30° in special circumstances.

55. Concrete Roofing Tiles (normal pitch - 30° and over)

Concrete roofing tiles (normal pitch) shall be to I.S. 3 laid to a pitch of not less than 30° . Every tile in every alternative course to be fixed with 1 No. 50 mm 10 gauge galvanised nail. Lap 75 mm clear of nail hole. Pantiles shall be closed at eaves with a course of plain tiles or slate underclock and suitably coloured sand/cement pointing. Alternatively patent eave closer and filler clip may be used.

56. Concrete Tiles (low pitch) - under 30°)

Low pitch concrete tiles shall be laid in accordance with manufacturers instructions and to the minimum pitches accepted by the Department which may not be as low as those recommended by the Manufacturers.

57. General

Slates and tiles to be neatly trimmed where necessary. Part tiles and slates to be adequately secured.

Drip overhang to be provided at eave and valley gutters.

At verges slates or tiles shall oversail wall face or barge, by at least 25 mm in the case of slates and 50 mm in the case of tiles, and shall be neatly pointed in suitably coloured sand/cement mortar.

Ridge and hip tiles shall be bedded in gauged mortar and pointed with cement mortar, suitably coloured; bedding and pointing to be done in one operation.

Provide suitable hip hooks, screwed to end of hip rafters. In industrial atmosphere special nails may be necessary. Over party walls the space between battens shall be filled with mortar to complete fire stop.

58. Flashings

Valley gutters, cover flashings and flashings to chimneys shall be

No. 5 lead to B.S. 1178 or accepted proprietary systems.

58. cont/..

To chimney, flashing shall consist of aprons, soakers and cover flashings. The latter shall be secured in a chase in concrete block chimneys, wedged and pointed in with cement fillet formed over. To brick chimneys cover flashings shall be stepped, wedged and pointed into brick joints. Saddle pieces shall be provided at all ridges and roof intersections. Valley gutters shall be laid on felt on 20 mm x 225 mm wrot boarding treated with wood preservative, and turned up at edges under roof felt tiles or slates..

Section 6 - PLASTERING

59. External Plastering

225 mm hollow block, 225 mm solid block and chimney stacks:- scud walls in 3:1 sharp sand and cement. Apply 2 coats of plaster (1 cement: 1 lime: 6 sand). The total thickness of plaster shall be 20 mm minimum. The second coat to be finished nap or smooth or combed for rough cast or pebbledash; or prepared for proprietary finish.

275 mm cavity walling may be scud and one coat 1:1:6 plaster approximately 13mm thick and finished as above.

60. Rough Cast

Rough cast shall consist of 5-6 parts washed sand and pebbles: 1 part lime: 1 part cement.

61. Reveals

Plaster reveals to opes shall be 20 mm thick and finished smooth with scored drip groove to soffit of head. All arrises shall be neatly finished.

62. Plinths

Plaster plinths to be finished smooth, and neatly cut off or weathered at top edge.

Plaster finish to extend below finished ground level.

63. Internal Plastering

Scud walls and plaster one coat 12 mm thick, 1 cement: 1 Lime: 6 sand. Finish with neat gypsum plaster skim, or a grey coat of gauged mortar applied with wood float. Alternatively, proprietary finishes may be used to manufacturer's instructions.

64. Ceilings and stud partitions.

Ceilings to be covered with 10mm plaster boards or slabs with skimmed plaster finish or alternatively 12 mm patent plaster sheets, all erected, jointed and finished to manufacturer's instructions.

All wall plastering should be carried behind skirtings and architraves.

All internal wall and ceiling finishes, including decorative finishes, shall comply with the relevant local fire requirements.

General

Precautions shall be taken to protect floors and surrounding work during plastering. Make good neatly to holes for pipework etc.

Plasticisers, water proofers, sealers, and bonding agents shall be used in accordance with manufacturer's instructions.

Section 7 - PLUMBING

65. Service Pipe

Incoming service pipe to be 15 mm laid in trench 600 mm deep, or otherwise suitably protected against frost, and connected to internal stopcock.

66. Cold Water Supply

From stopcock take 15 mm cold supply to sink with branch to high pressure ball valve in service tank, capacity 225 litres, for 3 bedroom houses or 360 litres for 4 or more bedrooms or as required by local authority. Tank to be covered and adequately supported over a partition where possible and at such height as to ensure proper working of the system. Provide 22 mm overflow from tank to discharge externally. Connect to service tank 50 mm over bottom of tank and take 22 mm feed to 150 litre hot water cylinder to I.S. 161 with 22 mm branch over top of cylinder to bath and 15 mm connections off wash hand basin and W.C.

Supply taken from group scheme on public road.

67. Hot Water Supply

An adequate water heating apparatus must be provided and fitted in accordance with manufacturer's instructions. Flow and return pipes, where appropriate, shall be as recommended by the manufacturer of the heating apparatus. A 22 mm copper or stainless steel expansion pipe to be taken from top of cylinder to discharge over service tank, with a 22 mm do.

67. cont/..

branch to bath and 15 mm connection off for wash hand basin, sink etc.

68. General

Fit full way stopcock on cold feeds from service tank and fit draw off cock at lowest convenient point of system. On no account should a stop-cock be fitted on an expansion pipe.

Copper piping to be not less than 18 gauge hard drawn.

69. Plastic pipes to I.S. 123, 134, or 135 where used shall be fixed at least 75 mm clear of hot pipe runs. Pipes shall be fixed in straight lines as far as possible, properly jointed with patent fittings and adequately supported and secured with proper pipe clips.

Storage tanks and pipes to be insulated against frost where necessary.

Where other domestic water heating systems are used they shall be competently designed and installed.

70. Sink

Provide and fit in kitchen, stainless steel sink and drainer to I.S. 132 suitably supported. Sink to be provided with adequate overflow. Top of sink to be not less than 850 mm over floor level.

71. Bath and Wash Hand Basin

Fit where indicated a bath in vitreous enamelled cast iron or other accepted material, minimum length 1700 mm nominal and panelled as necessary and vitreous china wash hand basin 550 mm x 400 mm suitably supported and secured with not less than 150 mm clearance to sides. Both to be provided with adequate overflow.

72. Plugs, Traps, Wastes and Taps

15 mm hot and cold chrome plated brass taps to be fitted to sink and wash hand basin, and 22 mm do. to bath. Provide 42 mm waste fitting to bath and sink and 35 mm to wash hand basin. All complete with plug and chain. Fit S or P trap, complete with cleaning eye and copper, lead or acceptable plastic waste pipe adequately secured and fitted with cleaning eyes as necessary and discharging approximately 50 mm over gully trap.

73. W.C. Suites

Provide and fit where indicated W.C. suite, with cistern, to I.S. 70, all fully supported and secured. Connect to soil pipe with proprietary flexible coupling or other acceptable joint. Cistern to be provided with adequate overflow.

Pipes shall not be jointed within the thickness of a wall.

Section 8 - DRAINAGE

74. Trenches

Trenches shall be excavated to the necessary depths, widths and falls to allow the drains to be properly laid. The water service shall be in a separate trench from the drain. See also 1.3.2.

75. Drain

The drains shall be 100 mm diameter laid to continuous falls of not less than 1 in 60 or not more than 1 in 30, with bends and junctions, splayed in the direction of flow, where required, and laid in straight lines from manhole to manhole. The drain shall be P.V.C. laid, jointed and back filled to manufacturer's instructions.

76. Back Filling

Immediately over pipes back fill in fine material and fill remainder of trench in selected excavated material, well rammed and remove surplus spoil.

77. Drains under Roads and Buildings

Where drains pass under roadways or are likely to be subjected to heavy traffic, they should be fully encased in 150 mm concrete mix B. Drains shall not be taken under any buildings unnecessarily, but where this is unavoidable pipes shall be cast iron, or encased in 150 mm of concrete mix B or otherwise to local authority requirements and laid in straight lines. Form ducts through rising walls or foundations as necessary to avoid damage to drains.

78. Gullies and A.J.s

Gullies and Armstrong junctions to be set level, supported on 150 mm concrete bed, mix B, and connected to drain as previously specified. Armstrong junctions shall have frame and cover of cast iron, aluminium or galvanised steel.

79. Gully Traps

Gully traps shall be set in dished concrete surround, to take wastes from bath, sink and wash hand basin and discharge from rain water pipes, and shall be fitted with cast iron, aluminium, or other suitable grid.

80. Septic Tank

Septic tank, where provided, shall be located so as not to endanger any well or other source of water supply and shall be in accordance with S.R. 6 1975.

Septic tanks to accepted prefabricated systems may also be used.

81. Vent Shaft

At head of drain, carry up 50 mm minimum diameter vent pipe over eave level or to 1m over head of highest window within 4 m of vent, secured with proper brackets and fitted with cowl or cage.

82. Testing

Test plumbing and drainage on completion to ensure watertightness and efficient working of the system, and as may be required by the local authority. See also 8.2

83. General

House to be thoroughly cleaned and all rubbish removed, on completion.

Section 12 - FIRE PRECAUTIONS

84. Garage

85. Garage under first floor rooms:- the ceiling in the garage shall be 10 mm plaster slab with skim coat finish or 10 mm soft asbestos sheets with joints thoroughly sealed.

86. Garage directly under roof of house:- separating wall to be taken to plane of roof and treated as for party wall to complete fire stop.

87. Door between garage and dwelling shall be self closing and door and frame shall have half hour fire rating. Garage floor shall be 100 mm under floor level of house.

88. Central Heating

A central heating unit shall be not be located in a garage.

Section 13 - VENTILATION

89. Rooms

Every habitable room, kitchen, and scullery shall have an opening window area of not less than one twentieth of the room area, ventilated directly to open air.

90. Bathrooms

Bathroom and W.C. apartment shall be ventilated as above subject to a minimum of $0.1m^2$.

91. Lobby

A ventilated lobby shall be provided between any W.C. apartment and a living room, kitchen or utility.

92. Presses

All built in cupboards, presses, closets and wardrobes to be adequately through ventilated.

93. Garage

Garage must have permanent ventilation.

Section 9 - ELECTRICAL INSTALLATION

Installation

Electrical installation shall be in accordance with the "National Rules for Electrical Installations" obtainable from the Electro-Technical Council of Ireland and shall have, in suitable locations, at least:-

Conduit shall be used where cable is buried in plaster. Joists shall not be notched; where necessary the cable shall be taken through holes bored in centres of joists.

Section 10 - PROTECTIVE PAINTING

Preparation

All surfaces to be painted or otherwise protectively coated shall be cleaned down and prepared by wire brushing, sanding, planing or as necessary to obtain the best possible finish. Timber preservatives should be applied where already specified in 3.2 et seq.

Paints

Thinners, sealers, primers, colour washes, paints, varnishes or other brush, roller or spray applied finishes shall be of suitable manufacture for the surface and material to be covered and shall be applied strictly in accordance with the manufacturer's instructions.

Woodwork

All woodwork usually painted shall be knotted, stopped, primed and painted with two undercoats and one finishing coat. Alternatively, may be stained or dyed and knotted, primed and finished with two coats varnish.

Decorative hardwoods may be treated traditionally internally and shall be oiled or treated with suitable preservatives externally, or may be painted or varnished, as previously specified.

Metal Work

All metalwork, ironmongery, rainwater goods, shall be cleaned down, suitably primed, twice, undercoated and one coat finished.