

DUBLIN COUNTY COUNCIL

PLANNING DEPARTMENT

Register Reference : 91A/0994

Date Received : 19th June 1991

Applicant : J.B. Greene & Co. Ltd

Appl.Type : PERMISSION/BUI

Development : Change of house plan

LOCATION : No. 6 Fonthill Court, Fonthill Estate

O.S.REFS.

22/10			
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AREA REFERENCE

S	S	1	2	0	1
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HISTORY

85A/1333	88A/1261	89A/1474		

FEE CERTIFICATE NO.

FEE CLASS

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MEASUREMENT FOR FEES

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SIGNED

DATE

SENIOR EXECUTIVE DRAUGHTSMAN

FEE PAID

FEE ASSESSED

BALANCE DUE

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CERTIFIED _____

GRADE _____

DATE _____

BYE LAW APPLICATION FEES

REF. NO.: 919/0994 CERTIFICATE NO.: 15454

PROPOSAL: Change of house type

LOCATION: Fonthill Estate, Rathfriland

APPLICANT: J. B. Greene & Co

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	<u>£55</u>	<u>£55</u>	—		
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M ² or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the foregoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 25/6/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

91A/0994

Change of house type
 Fonthill Estate, Rushmore
 J. B. Green Ltd

PROPOSAL:
 LOCATION:
 APPLICANT:

Dwellings/Area Length/Struct	RATE	AMT. OF FEE RES.	AMOUNT LOGGED	BALANCE DUE	BALANCE DUE	PAY/RECEIPT NO.
Dwellings	1152	7/32	7/32	—		

Copies Signed: _____ Date: _____
 Endorsed: Signed: _____ Date: 25/6/91
 Copies Signed: _____ Date: _____
 Endorsed: Signed: _____ Date: _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

ASSESSED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDER NO: P/ /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

15/09/91 407070

CO:	
Standard	nil
Roads	paid in full
S. Servs:	
Open Space:	
Other:	
SECURITY:	
Bond/C.I.F.:	nil
Cash:	lodged

Proposed change of house plan No. 6, Fonthill Court, Fonthill Estate for J. B. Greene & Co. Ltd.

J. McDaid,
2, South Park,
Dublin 18.

Reg. Ref.	91A-0994
Appl. Rec'd:	19.06.1991
Floor Area:	153 sq. m.
Site Area:	328 sq. m.
Zoning:	

Report of the Dublin Planning Officer, dated 7 August 1991

This is an application for PERMISSION. The proposed development consists of a change of house plan at 6, Fonthill Court, Fonthill Estate for J. B. Greene & Co. Ltd.

The planning history of the site is as follows:

Reg. Ref. 88A-1261: Permission granted by Dublin County Council for 7 houses in lieu of 10 already approved apartments at Fonthill Estate (Decision Order P/4097/88 dated 24th November, 1988).

Reg. Ref. 89A-1474: Permission granted by Dublin County Council for alternate house type on site at Fonthill Estate (Decision Order P/4400/89 dated 6th October, 1989).

Development on this site is taking place on foot of the permission granted under Reg. Ref. 89A-1474. At the time of my site inspection, houses 1-4 were built while nos. 5 and 6 were under construction.

The proposed house differs in the following ways from the house approved on this site under Reg. Ref. 89A-1474: (i) floor plans have been altered; (ii) a terrace is provided for over the original utility roof, and (iii) a workshop has been provided for adjoining the proposed garage.

The proposed sun terrace would result in the overlooking of the adjoining rear garden to the south west which is unacceptable.

The proposed development is considered acceptable subject to the garage and workshop being used solely for purposes incidental to the enjoyment of the dwelling house and a condition should be attached with regard to this. I note that a letter submitted to this Department on 24th July, 1989, as unsolicited additional information states that the proposed garage and workshop are for the future occupant of this house.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (8) conditions:-

(Continued)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed change of house plan No. 6, Fonthill Court, Fonthill Estate for J. B. Greene & Co. Ltd.

CONDITIONS

REASONS FOR CONDITIONS

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

2. In order to comply with the Sanitary Services Acts, 1878-1964.

3. The development shall be carried out in conformity with Conditions Nos. 3 ~~and 6~~ of the decision to grant permission by Order No. P/4097/88, dated 24th November, 1988, Reg. Ref. 88A-1261, save as amended to conform with the revisions indicated in the plans lodged with Dublin County Council in connection with this application.

3. In the interest of the proper planning and development of the area.

omit
~~4. That the arrangements made for the payment of the financial contribution in the sum of £2,520 in respect of the overall development required by Condition No. 4 of planning permission granted under Reg. Ref. 88A-1261 be strictly adhered to in respect of the above proposal.~~

~~4. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.~~

omit
~~5. That the arrangements made for the lodgement of security in the form of an approved Insurance Company bond or Letter of Guarantee in the sum of £16,000 or a cash lodgement of £10,000 in respect of the overall development, required by Condition No. 5 of planning permission granted under Reg. Ref. 88A-1261 be strictly adhered to in respect of the above proposal.~~

~~5. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.~~

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed change of house plan No. 6, Fonthill Court, Fonthill Estate for J. B. Greene & Co. Ltd.

CONDITIONS

REASONS FOR CONDITIONS

6. ~~That a financial contribution in the sum of £ be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.~~

~~6. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.~~

7. ~~That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car parks, Sewers, Watermains and Drains, has been given by:-~~

~~7. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.~~

a. ~~Lodgement with the Council of an approved Insurance Company Bond in the sum of £ which shall be renewed by the developer from time to time as required during the course of the development and kept in force by him until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.~~

b. ~~Lodgement with the Council of a Cash Sum of £ to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specification.~~

~~OR.....~~

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed change of house plan No. 6, Fonthill Court, Fonthill Estate for J. B. Greene & Co. Ltd.

CONDITIONS

REASONS FOR CONDITIONS

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~~6. Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.~~

4.8. That the areas indicated as 'workshop' and 'garage' on the floor plans submitted shall be used solely for proposes incidental to the enjoyment of the dwelling house as such and shall not be used for the carrying on of any trade or business.

5.9. That the external finishes including the brick and roof tiles shall match the external finishes used on the adjoining houses both in terms of colour and texture.

6.8. That the proposed terrace and railings provided for above the proposed workshop be omitted from the proposed development. *the proposed doors to this terrace be omitted and a window provided instead.*

7.9. That the proposed doors serving bedroom 1 be omitted from the proposed development and replaced by windows to match those proposed for bedroom ~~2~~. 2.

8. Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

4.8. In the interest of the proper planning and development of the area.

5.9. In the interest of the proper planning and development of the area.

6.8. In the interest of residential amenity and to ensure that no overlooking of adjoining rear gardens to the south west occurs.

7.9. In the interest of residential amenity.

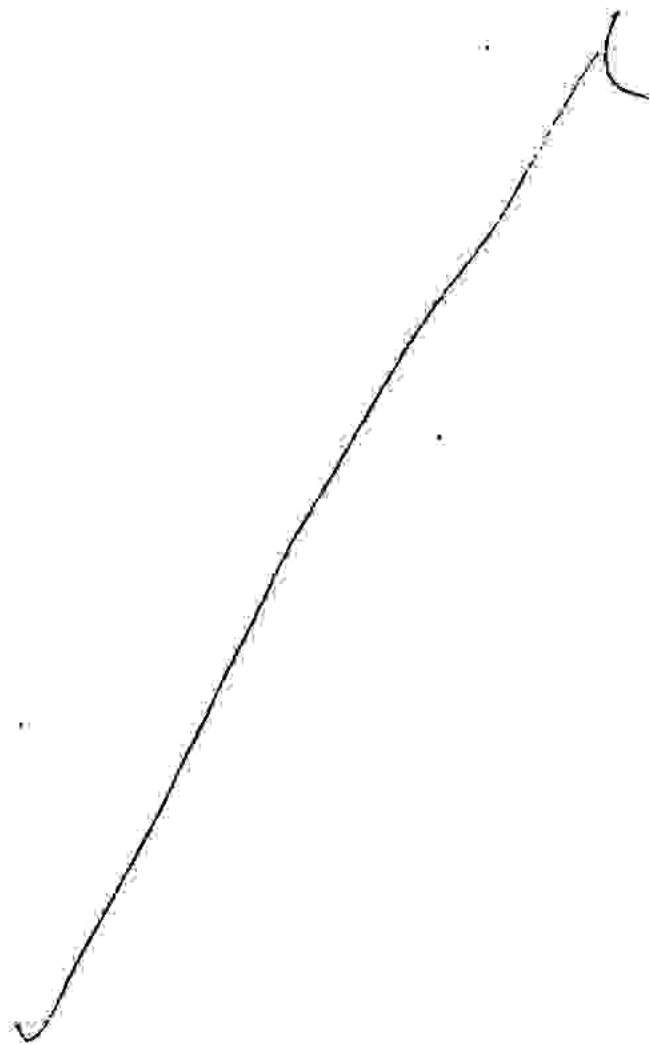
8. In the interest of reducing air pollution.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed change of house plan No. 6, Fonthill Court, Fonthill Estate
for J. B. Greene & Co. Ltd.

(Continued)



MOS
(MOS/DK)

Endorsed:- *[Signature]*
for Principal Officer

Richard Connors SEP
For Dublin Planning Officer
13.8.91

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to GRANT PERMISSION for the above proposal subject to the (8) conditions set out above is hereby made.

Dated: 15 August, 1991.

[Signature]
Approved Officer.

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 6th August, 1991.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Mr. J. Carson,
Liffey House,
Dublin 2.

Our Ref.

Your Ref.

Date 20.2.92

Re: Development at Fonthill Court

Reg. Ref. No. : 91A/99W

I refer to the submission for Building Bye-Law Approval received in this Department on 15.1.92.

The submission is in compliance with conditions of Building Bye-Law Approval issued. Please confirm that the submission is strictly compliance as requested and not a new application and accordingly that a Bye-Law fee is not required. Documents enclosed.

for Nadine Deane
STAFF OFFICER,
REGISTRY SECTION

MC DAID CASSIDY ASSOCIATES
ARCHITECTS & ENGINEERS

14 ADELAIDE ST.,
DUN LAOGHAIRE,
CO. DUBLIN.
TEL. 284 4213

17th December, 1991.

Building Control Section,
Planning Department,
Block 2,
Irish Life Centre,
Lr. Abbey Street,
Dublin, 1.

91A/994
2.2.0.1
BBL work



Dear Sirs,

Re: B.B.L/2995/91. Reg. NO. 91A/994.
Change of house plan, No. 6
Fonthill Court, Fonthill Estate.

Enclosed herewith documentation requested in the above B.B.L Approval Notice:

- (a) Details of alterations and structural members. Drg. Nos. 2/A/1 and 8/A/1.
- (b) Design calculations.
- (c) Engineer's certificate as requested.

Yours faithfully,

J.J. McDAID, B.Arch., M.R.I.A.I.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To **J. McDaid,** Decision Order **P/3705/91 - 15.08.1991**
 Number and Date
 2, South Park, Register Reference No. **91A-0994**
 Dublin 18. Planning Control No.
 Application Received on **19.06.1991**
 Applicant **J. B. Greene & Co. Ltd.** Floor Area: **153 sq. m.**

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission for proposed change of house plan No. 6, Fonthill Court, Fonthill Estate.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.	2. In order to comply with the Sanitary Services Acts, 1878-1964.
3. The development shall be carried out in conformity with Conditions Nos. 3, and 6-16 of the decision to grant permission by Order No. P/4097/88, dated 24th November, 1988, Reg. Ref. 88A-1261, save as amended to conform with the revisions indicated in the plans lodged with Dublin County Council in connection with this application.	3. In the interest of the proper planning and development of the area.
4. That the areas indicated as 'workshop' and 'garage' on the floor plans submitted shall be used solely for proposes incidental to the enjoyment of the dwelling house as such and shall not be used for the carrying on of any trade or business.	4. In the interest of the proper planning and development of the area.

See Over...

Signed on behalf of the Dublin County Council

[Signature]
For Principal Officer

15th August, 1991.

Date

IMPORTANT: Turn overleaf for further information

CONDITIONS	REASONS FOR CONDITIONS
<p>5. That the external finishes including the brick and roof tiles shall match the external finishes used on the adjoining houses both in terms of colour and texture.</p>	<p>5. In the interest of the proper planning and development of the area.</p>
<p>6. That the proposed terrace and railings provided for above the proposed workshop be omitted from the proposed development and the proposed doors to this terrace be omitted and a window provided instead.</p>	<p>6. In the interest of residential amenity and to ensure that no overlooking of adjoining rear gardens to the south west occurs.</p>
<p>7. That the proposed doors serving bedroom 1 be omitted from the proposed development and replaced by windows to match those proposed for bedroom 2.</p>	<p>7. In the interest of residential amenity.</p>
<p>8. Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.</p>	<p>8. In the interest of reducing air pollution.</p>

Rose Perry

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

MC DAID CASSIDY ASSOCIATES
ARCHITECTS & ENGINEERS

14 ADELAIDE ST.,
DUN LAOGHAIRE,
CO. DUBLIN.
TEL. 284 4213

23rd July, 1991.

Dublin Co. Council,
Planning Department,
Block 2,
Irish Life Centre,
Dublin, 1.

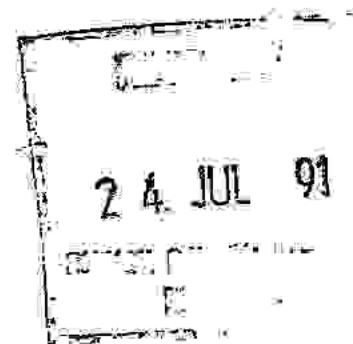
Re: No. 6 Fonthill Court,
Fonthill Estate, Rathfarnham.
Ref. 91/A/0994

Dear Sirs,

I confirm that the garage and workshop as proposed in the above application is for the personal use of Mr. Noel Greene, son of the applicant, who intends to occupy the house.

No commercial use is proposed.

Yours faithfully,



91A/0994

1.0.0

Hand A.1

J.J. McDAID

J.J. McDAID, B. Arch., M.R.I.A.I.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone: (01)724755
Fax: (01)724896

Register Reference : 91A/0994

Date : 20th June 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Change of house plan
LOCATION : No. 6 Fonthill Court, Fonthill Estate
APPLICANT : J.B. Greene & Co. Ltd.
APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received on 19th June 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

J. McDaid,
2 South Park,
Dublin 18.

McDAID CASSIDY ASSOCIATES
ARCHITECTS & ENGINEERS

2 South Park,
Foxrock,
DUBLIN. 18.
TEL. 284 4213

19th June, 1991.

Planning Department,
Dublin Co. Council,
Irish Life Centre,
Dublin, 1.

Dear Sirs,

RE: Planning permission P/4400/89 of 6.10.89
Reg. ref. No. 89A/1474, B.BL4/4049/89.
Alteration of house plan, Fonthill
Estate - No. 6, Fonthill Court.

19 JUN 1991
91A/0994
REG. SEC.

A permission and bye-law approval is sought for the alteration of house plan No. 6 Fonthill Court, from approved plan P/4400/89 of 6.10.89 and B.B.L. 4099/89.

This application is accompanied by the following documents:-

- (a) Cheque in the sum of £87 in respect of a planning and bye-law Application.
- (b) Completed application form.
- (c) One copy of notice of intent in respect of the application as published in the Irish Press of 21st June, 1991.
- (d) Four sets of drawings:-

Drawing No. 1 - Location map and layout plan with site outlined red.

Drawing No. 2 - Ground floor plan of proposed house, scale 1 : 50

Drawing No. 3 - First floor plan, scale 1 : 50

Drawing No. 4 - Elevation to front scale 1 : 50

Drawing No. 5 - Elevation to rear scale 1 : 50

Drawing No. 6 - Side elevation scale 1 : 50

Drawing NO. 7 - Sections scale 1 : 100

- (e) Four copies of specification.

Yours faithfully,


J.J. McDAID, B.Arch., M.R.I.A.I.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building Fonthill Estate Rathfarnham
(If none, give description sufficient to identify).....

3. Name of applicant (Principal not Agent)..... JACKIE GREENE & CO LTD, BUILDING CONTRACTORS
Address..... 48 FORTFIELD PARK, DUBLIN 6 Tel. No. 902436

4. Name and address of person or firm responsible for preparation of drawings MR DAID CASSIDY ASSOCIATES, ARCHITECTS & ENGINEERS
14 ADELAIDE ST, DUNLAOGHAIRE Tel. No. 2844213 or 2894254

5. Name and address to which notifications should be sent J. Mc DAID
2 SOUTH PARK, DUBLIN 8 Tel. No. 455-41652

6. Brief description of proposed development CHANGE of 1 HOUSE PLAN FROM APPROVED PLAN HOUSE NO 6

7. Method of drainage MAINS. 8. Source of Water Supply PUBLIC MAIN SUPPLY

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used NOT APPLICABLE

(b) Proposed use of each floor.....

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

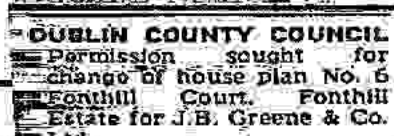
11. (a) Area of Site 328 M² Sq. m.
(b) Floor area of proposed development 153 M² (including 30.8 M² for garage & workshop) Sq. m.
(c) Floor area of buildings proposed to be retained within site NOT APPLICABLE Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box. 19 JUN 1991

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal: FULLY

15. List of documents enclosed with application. FOUR SETS of DRS in SETS of 7, 4 COPIES of SPECIFICATION
PRESS NOTICE of INTENT of THIS APPLICATION, FEE for APPLICATION
COMPLETED APPLICATION FORM, COVERING LETTER



16. Gross floor space of proposed development (See back) 153 M² (including 30.8 M² for garage & workshop) Sq. m.

No of dwellings proposed (if any) ONE Class(es) of Development P/B

Fee Payable £ 87-00 Basis of Calculation FOR P.P £32 for B.B.L.55

Signature of Applicant (or his Agent) John J. McArdal Date 17 June 1991

Application Type P/B FOR OFFICE USE ONLY 19/6
Register Reference 91A/0994

Amount Received £ 2,28.4

Receipt No 22/10

Date

Irish Press 18/6/91

9/6
132
N 41282

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.

- (a) The address of the structure or the location of the land.
- (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
- (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.

4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1:2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET, DUBLIN 1.

[Empty box for Receipt Code]

- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

DYE LAW APPLICATION.

REC. No. N 41652

£ 55.00

Received this 19th day of June 1991

from Jackie Greene Const. Ltd.,
48 Portfield Park,
D.6

the sum of fifty five Pounds

Pence, being fee for
dye-law application of Konthill Estate

Abelen O'Carroll Cashier

S. CAREY
Principal Officer (Sgt. Ax)

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY
CASH
CHEQUE
M.O.
B.L.
I.T.

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL
DUBLIN 1.

Issue of this receipt is not an
admission of liability nor is the fee
tendered is the prescribed application
fee
N 41282

£32.00

Received this 21st day of June 1991
from Jackie Greene Const Ltd,
48 Fortfield Park

the sum of thirty two Pounds

planning application at Fonthill Estate

Madge Deane Cashier

S. CAREY
Principal Officer (Cross 1x1)

EXISTING SW

S1 GL 59-51
IL 50-20

S2 IL 58-35
RL 59-37

WILSDROOK LAWN 80-10

S2
IL 59-02

EXISTING FS.
F1 CL 60-49
IL 58-30

F2 IL 59-10

S3 IL 59-44

2.25' FS 1 in 30

2.25' SW 2 1/2' W 61.0'

S4 IL 59-70

RL 62-35

FACTORIES

TURNING ROADS

BOUNDARY WALL

FIELD BY PUBLIC LANDSCAPE

BOUNDARY WALLS EXISTING

FFL 62-5

FFL 62-5

FFL 62-5

FFL 62-8

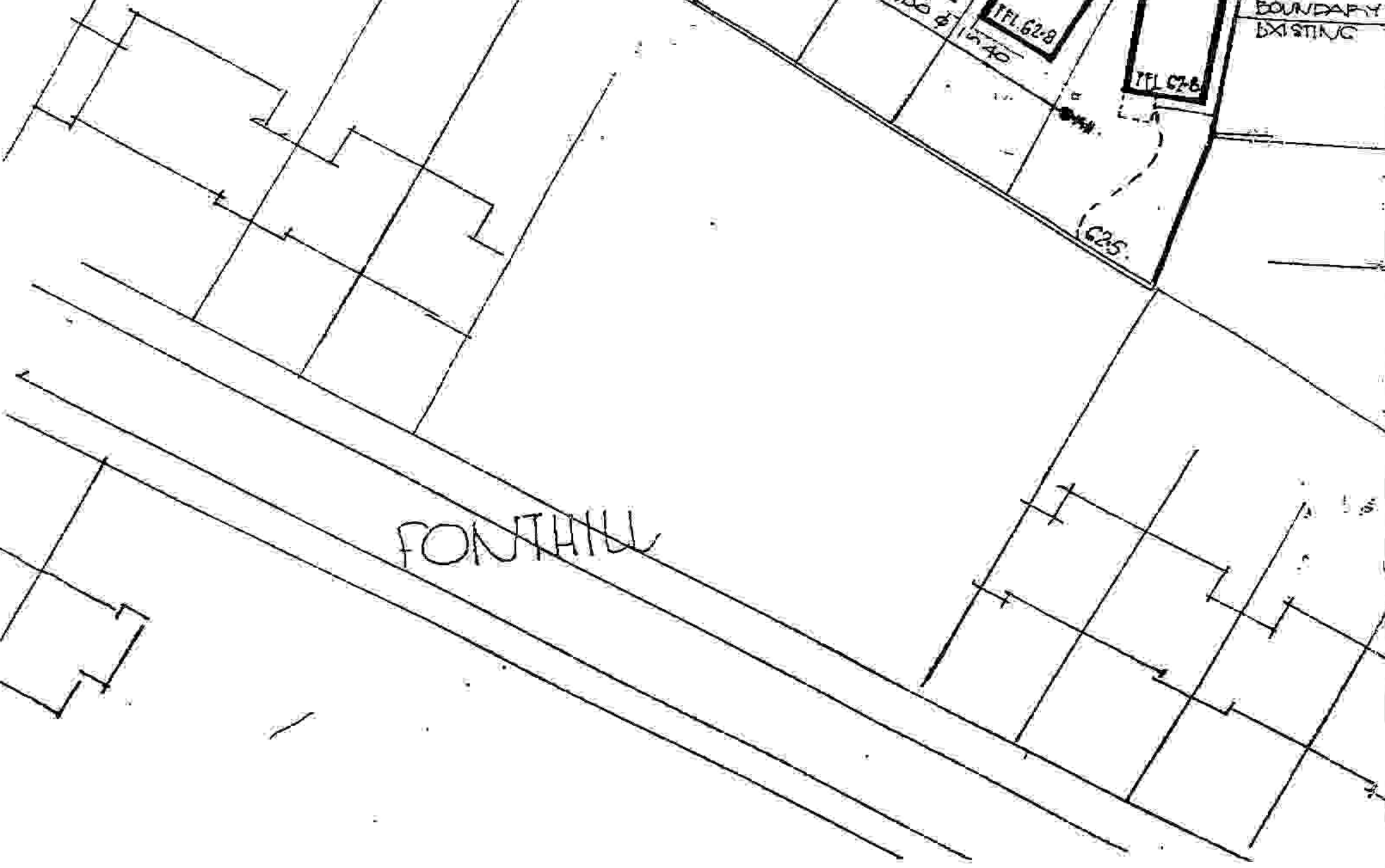
FFL 62-8

FFL 62-8

S5 IL 61-00

BOUNDARY EXISTING

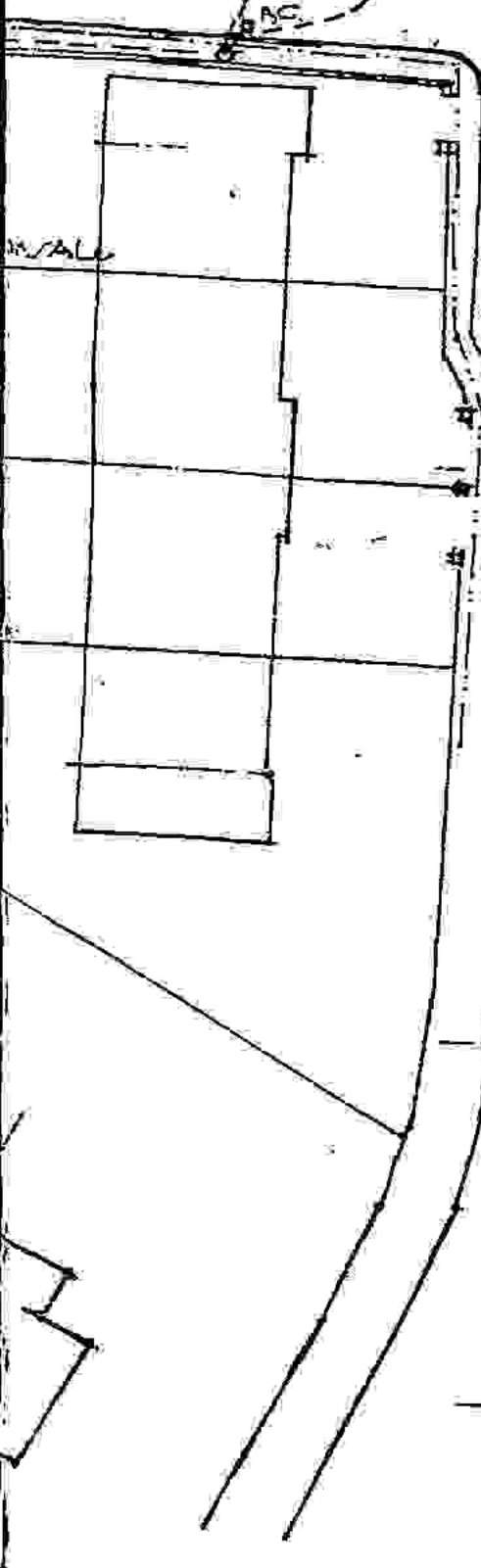
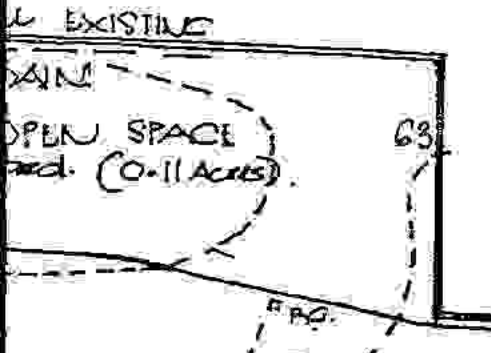
FONTHILL





RECEIVED
 19 JUN 1991
 91A/0996

DAY AS AGREED WITH DUBLIN 6 COUNCIL
 DEPT. 1/12/89.



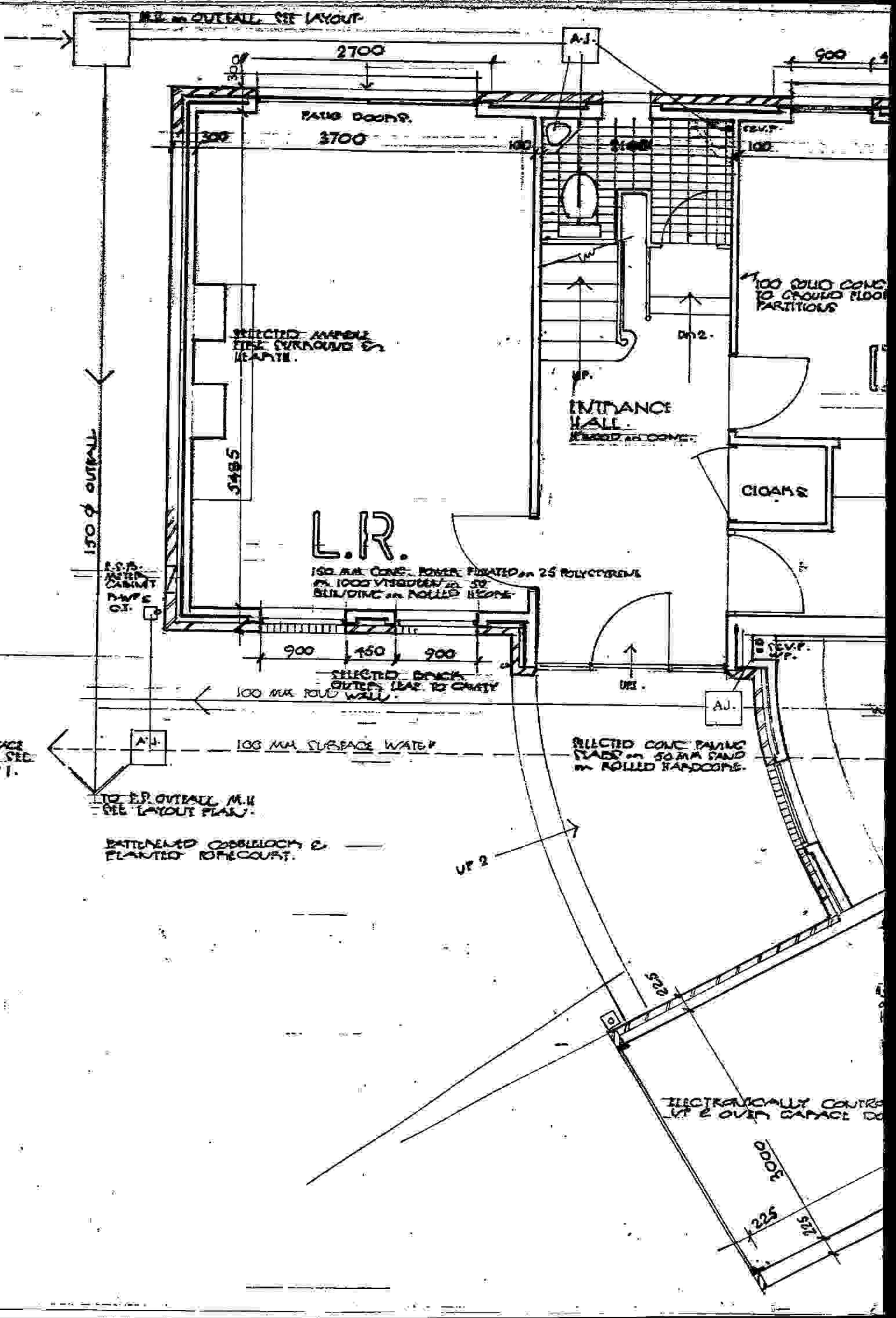
CARRIAGEWAY 1.5M FROM BOUNDARY WALL
 DUBLIN 6 COUNCIL LETTER 26-6-89
 RELATION TO PERMISSION BY ORDER NO PA097/88 of 24/11/88

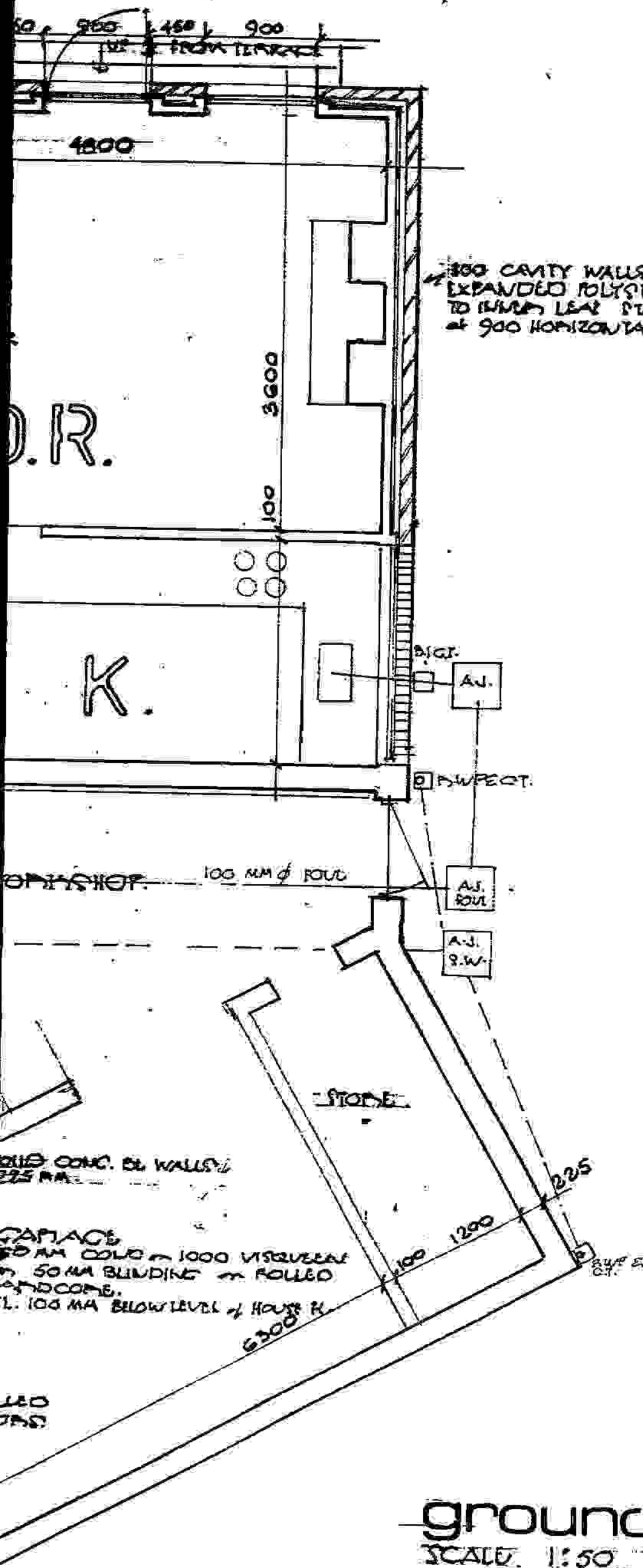
63.29
 EXTEND EXISTING WATERMAIN TO
 DUCKS FOOT TERMINAL AS AGREED WITH AREA ENGINEER SANDYFORD
 WATER DEPOT 4.12.89 (DBL/4049/89 CONDITION 5)
 PUBLIC OPEN SPACE

AMENDMENTS
 ROAD AS AGREED WITH ROADS DEPT. DUBLIN 6 COUNCIL
 1ST DEC 1989. (DBL 4049/89 CONDITION 12)
 DRAINAGE AS AGREED WITH SANITARY SERVICES DEPT.
 DUBLIN 6 COUNCIL 1ST DEC. 1989. (D.B.L/4049/89 CONDITION 3)
 WATERMAIN AS AGREED WITH AREA ENGINEER SANDYFORD
 4.12.89 (DBL/4049/89 CONDITION 5)

PROPOSED CHANGE OF HOUSE PLAN FROM APPROVED
 PLAN HOUSE NO 6 Fonthill COURT, Fonthill
 ESTATE BATHNASHAM

LAYOUT PLAN	SCALE 1:500	DATE : JUNE 1991.
MCD AID CASSIDY ASSOCIATES ARCHITECTS & ENGINEERS 12 SOUTH PARKS, DUBLIN 18		DRG No 1



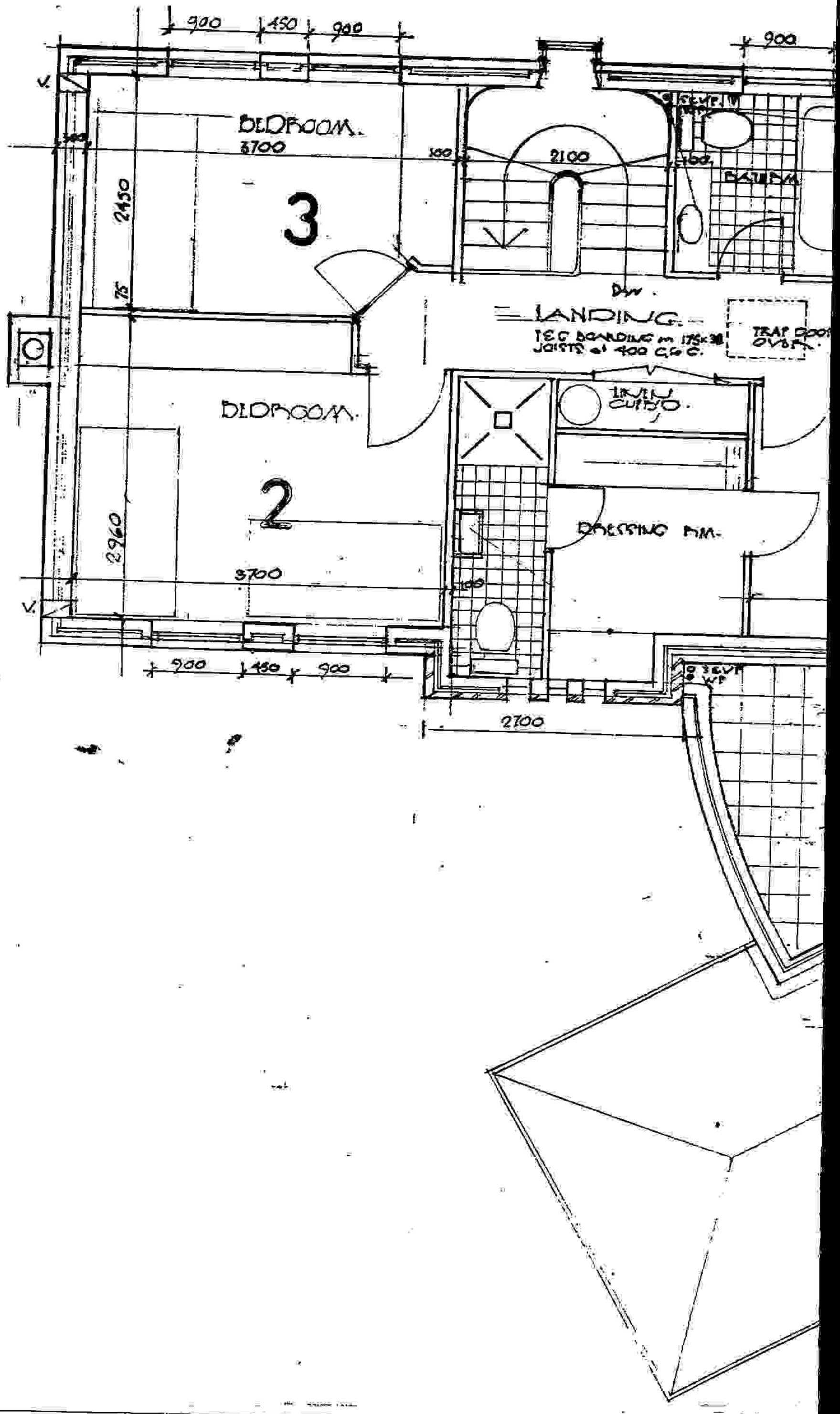


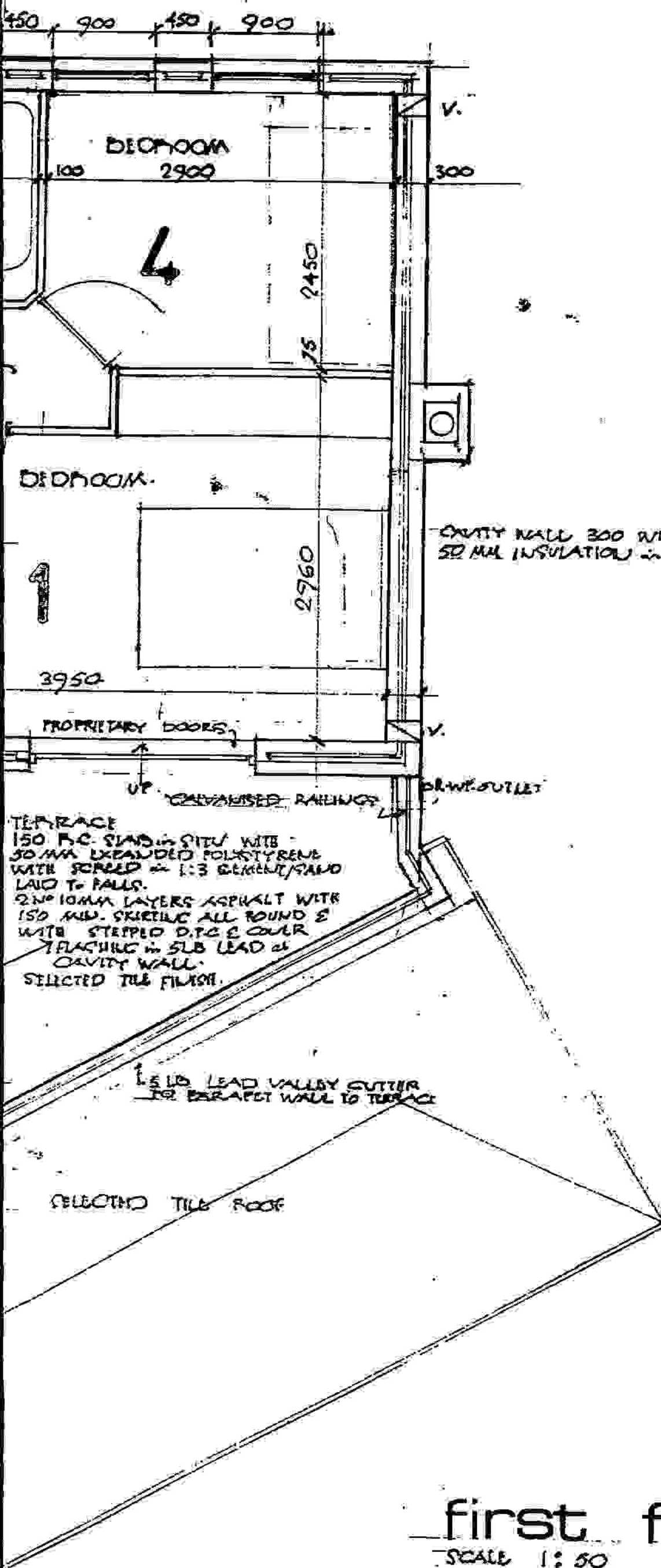
300 CAVITY WALLS WITH 38MM EXPANDED POLYSTYRENE INSULATION TO THREE LEAF STAINLESS STEEL TIED @ 900 HORIZONTAL & 450 VERTICAL C.C.C.

RECEIVED
 19 JUN 1991
 REG SEC. 91A/0994

ground floor plan
 SCALE 1:50

drg.2





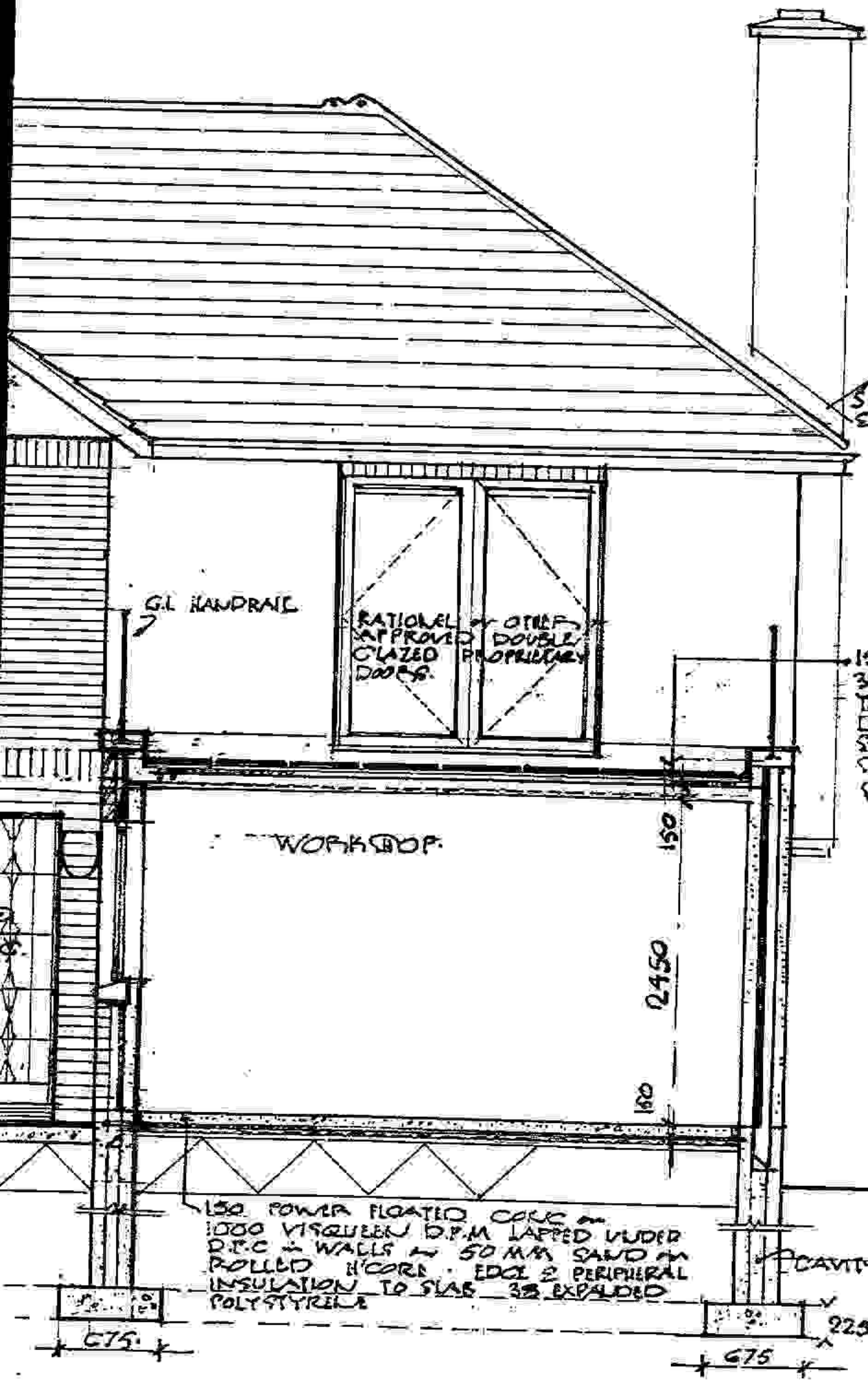
first floor plan

SCALE 1:50

drg. 3.



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 19 JUN 1991
 RES SEC. 918/0996



SLD LEAD FLASHING
 & COUNTER FLASHING

G.L. HANDRAIL

RATIONAL or OTHER
 APPROVED DOUBLE
 GLAZED PROPRIETARY
 DOORS

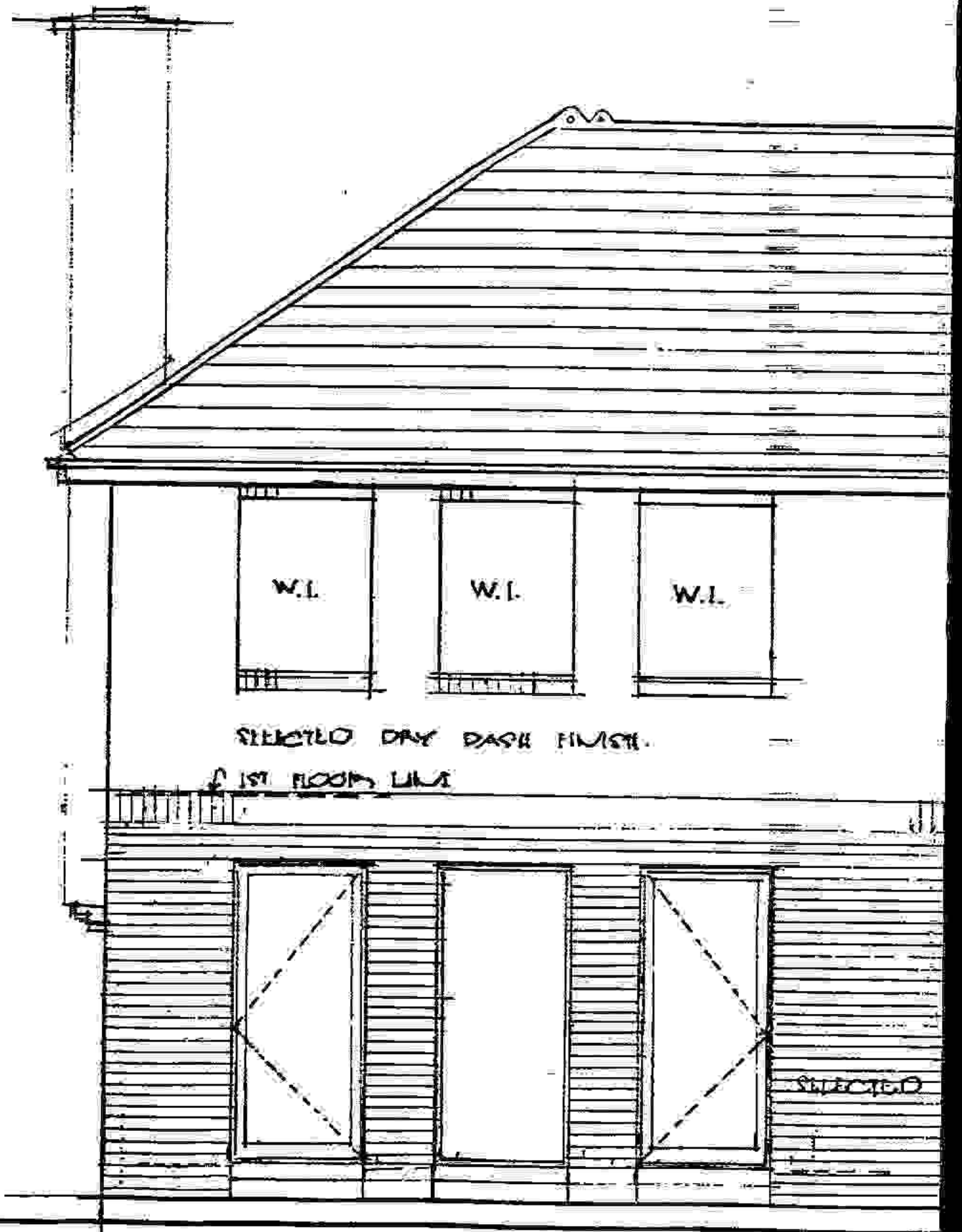
150 RC. SLAB VAPOUR BARRIER
 30 MM. INSULATION SCREED LAID
 TO FALL TO OUTLET 2ND 10 MM
 LAYERS ASPHALT WITH 150 MM
 SKIRTING COVER FLASHING &
 SELECTED TILE FINISH on ASPHALT
 STEPPED D.P.C. on CAVITY WALL

WORKSHOP

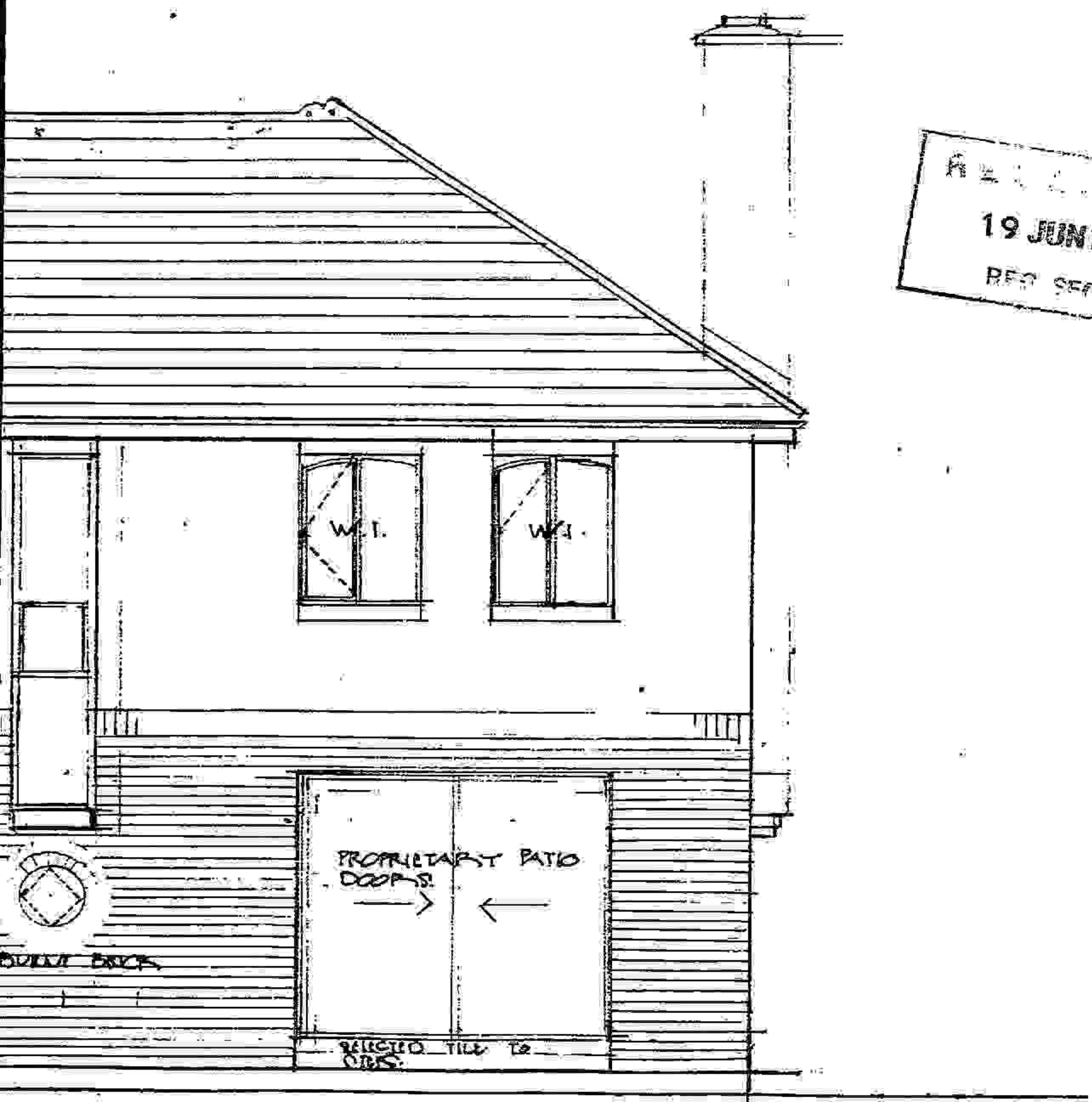
150 POWER FLOATED CONCRETE
 1000 VISQUEEN D.P.M. LAPPED UNDER
 D.P.C. in WALLS & 50 MM SAND on
 ROLLED H'CORE. EDGE & PERIPHERAL
 INSULATION TO SLAB 38 EXPANDED
 POLYSTYRENE

CAVITY FILL TO 150 BELOW D.P.C.

drng. 4



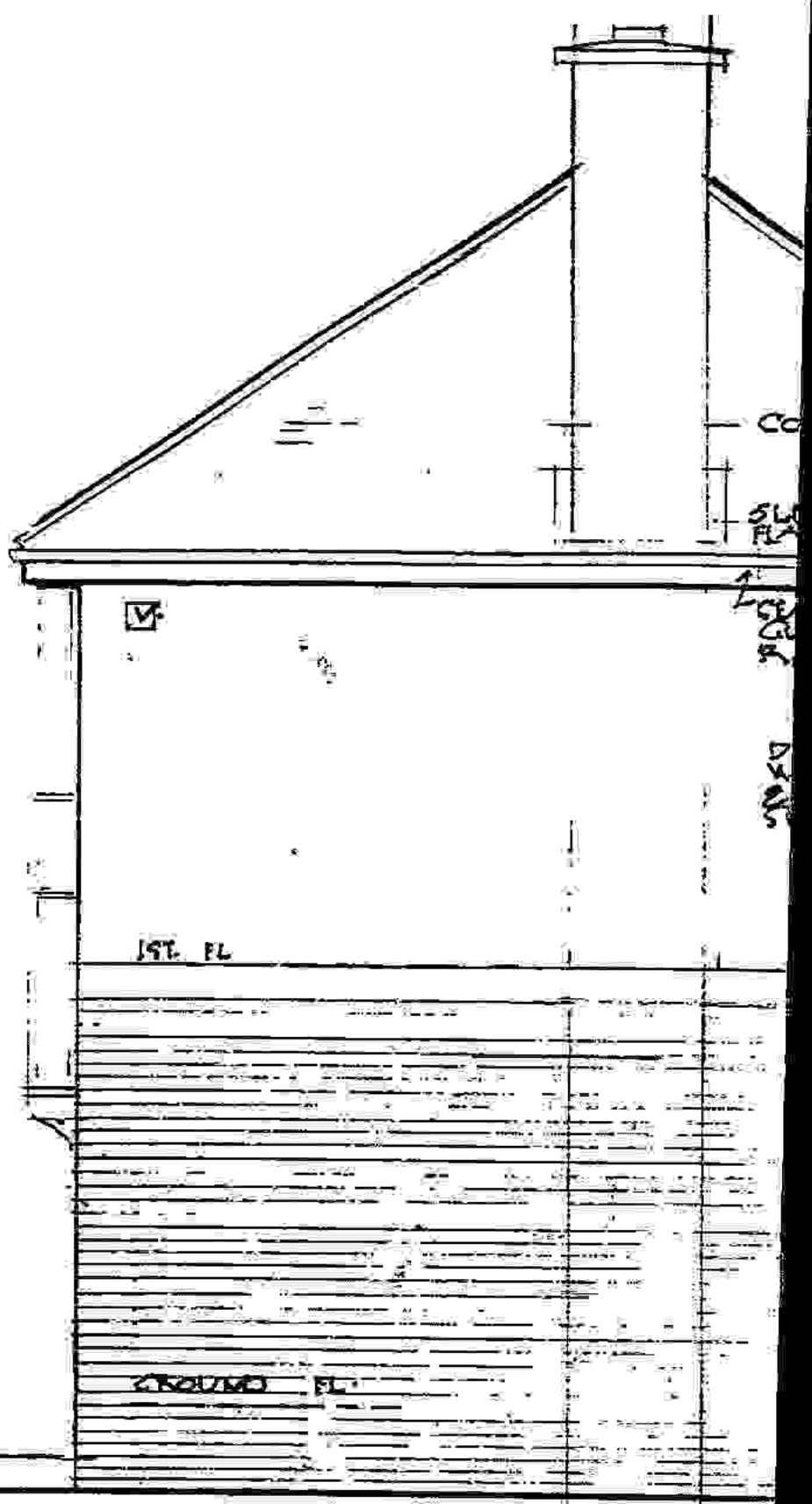
ELEVATION - REAR.

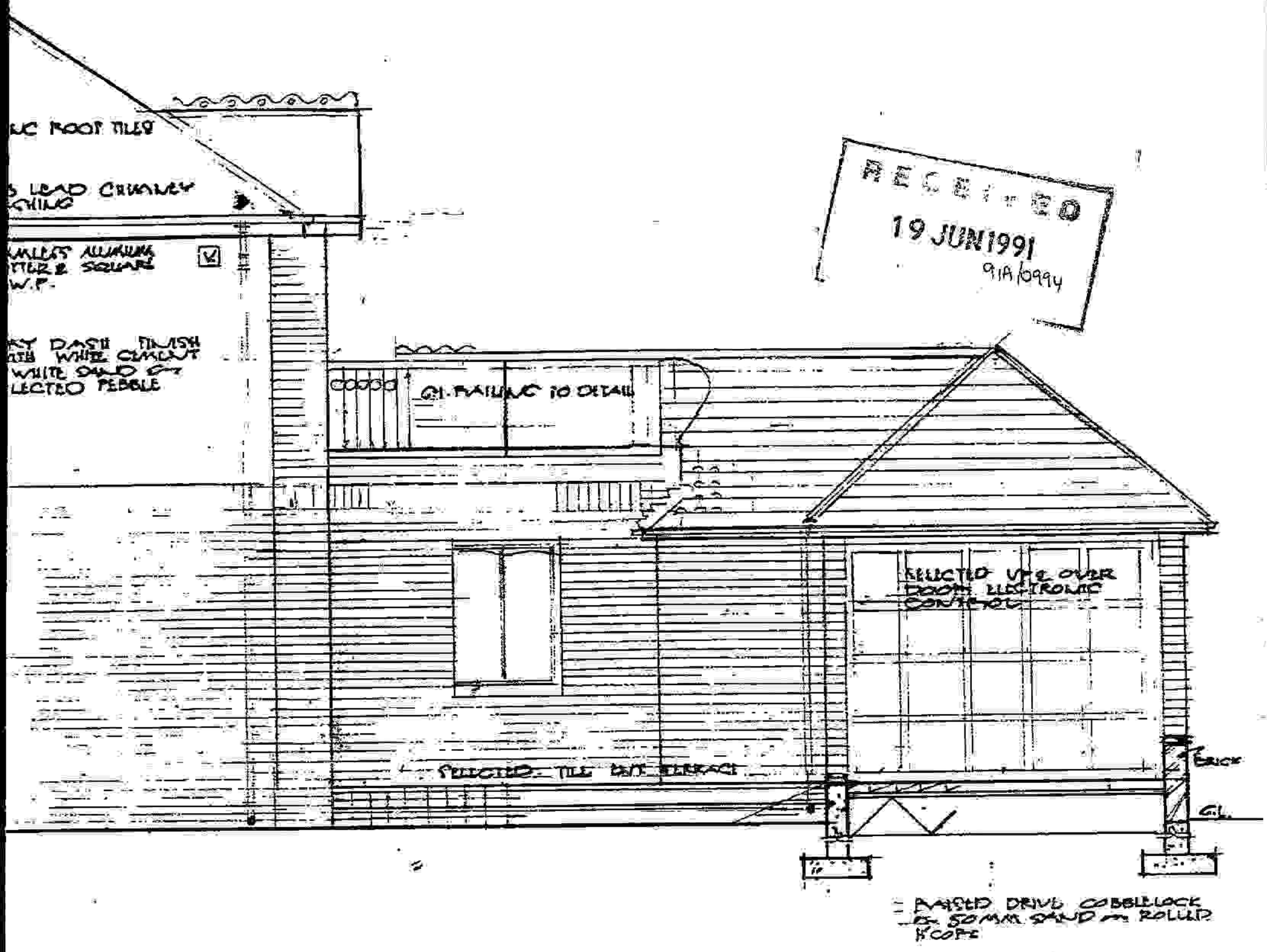


RECORDED
19 JUN 1991
REF SEP 91A/0994

drg. 5

(1)





RECEIVED
 19 JUN 1991
 91A/0994

side elevation

SCALE 1:50

drg. 6.

C

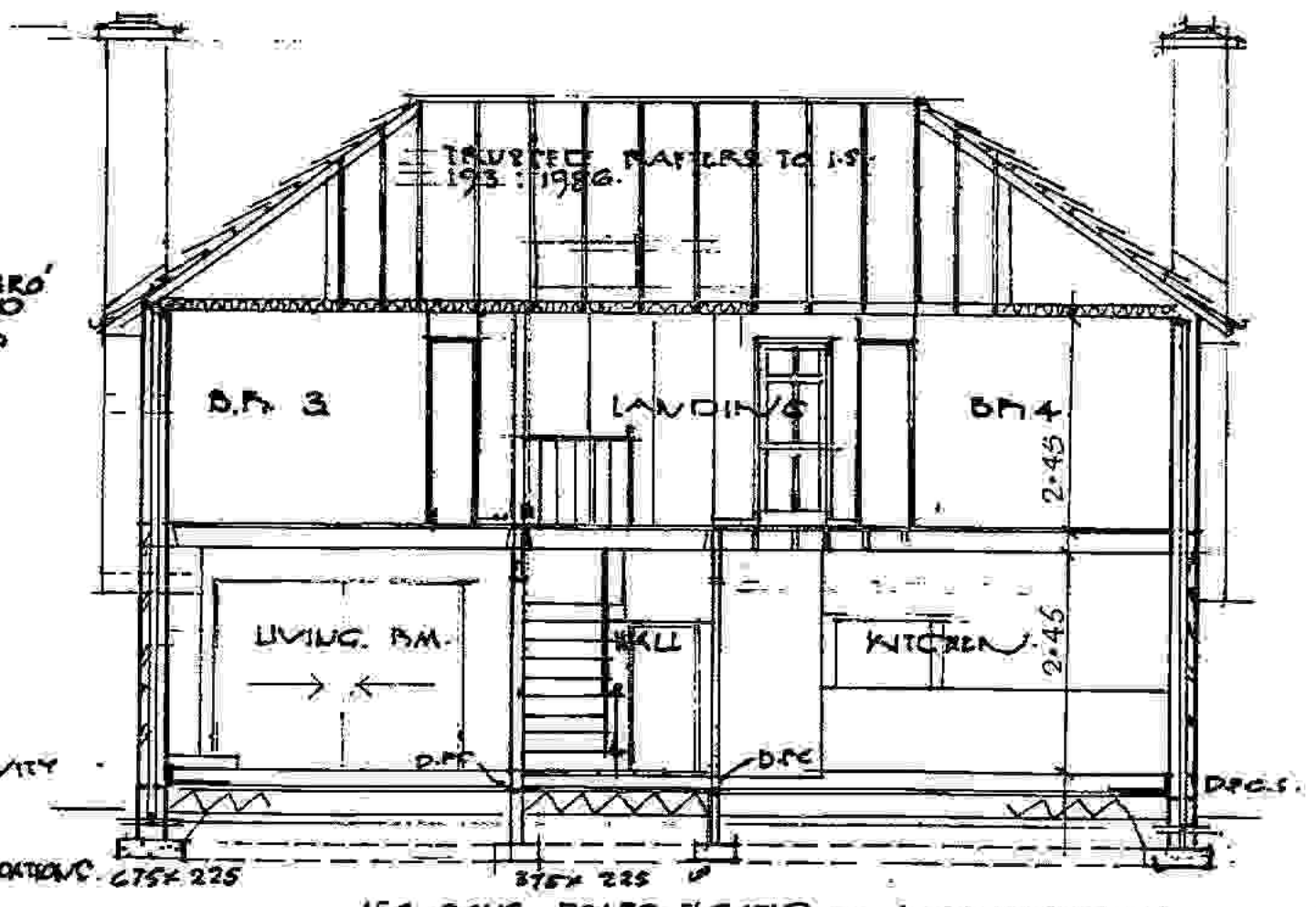
5LB LEAD D.P.C. THRO'
CHIMNEY. 5LB LEAD
FLASHING & COVER,
FLASHING

2 NO. D.P.C.S. IN CAVITY
WALLS

CONC. STRIP FOUNDATIONS 675x225

150 CONC. POWER FLOATED ON 1000 VIRQUEEN
ON 50 SAND ON COMPACTED HARDWARE

LONG SECTION

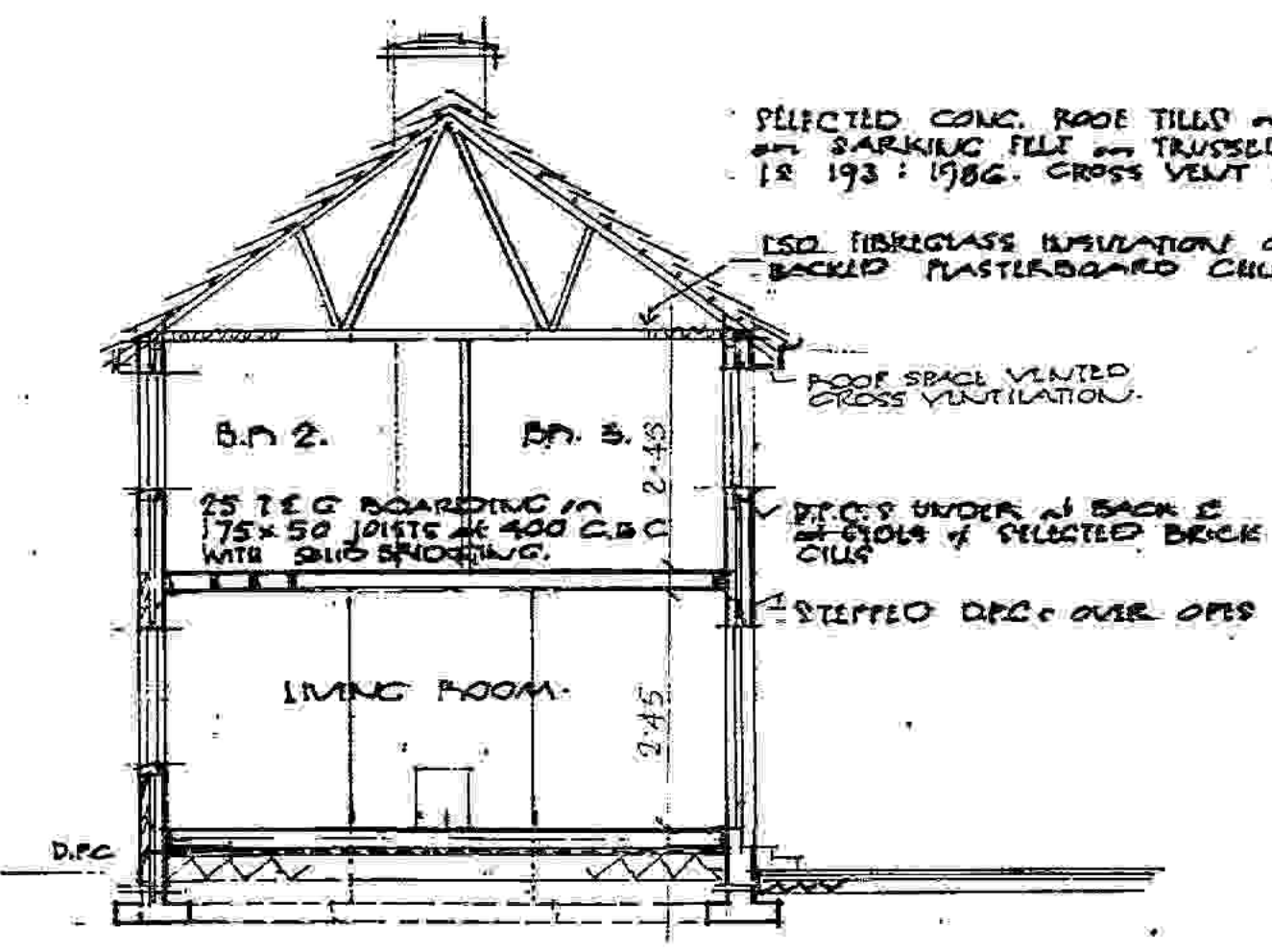


10/8/86

10/8/86

10/8/86

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 19 JUN 1991
 91A/0994



CROSS SECTION

drg. 7

RECEIVED
19 JUN 1991
91A/0994
RE:

SPECIFICATION OF WORK TO BE DONE AND
MATERIALS TO BE USED IN THE ERECTION
OF HOUSE 6 AT FONTHILL ESTATE, RATH-
FARNHAM, DUBLIN 14.
JACKIE GREENE AND COMPANY LTD.

1. GENERALLY,

The construction will be generally in accordance with the requirements of the Local Authorities. All materials used will generally comply with the latest Irish Standard Specification. All materials will be used in accordance with manufacturer's instructions.
2. Architect

In this specification the term "Architect" or "Estate Architect" shall mean the Architect for the time being retained by the builder, or his nominated substitute. The term "approved" as used in this specification shall mean approved by the said Architect.
3. ACCOMMODATION.

In general the accommodation provided will be as shown on the plan and will be constructed to the approximate dimensions noted thereon. In any dispute which may arise the Architect's decision shall be final and binding.
4. ALTERNATIVE,

The builder reserves the right at his absolute discretion to substitute alternative materials, or methods of construction of a similar nature as approved by the Architect, to those described in the drawings or specification, and to alter the plans or elevation if made necessary by such change of materials or methods or by legislative enactments or in order to conform with Local Authority or Department of Local Government requirements. Dimensions noted in this specification and on the drawings may vary within certain tolerances. In any dispute, the opinion of the Architect shall be final and binding.
5. SITE,

It is not possible to guarantee that the plot selected and as shown on the Deed - map will conform absolutely to the shape and dimensions shown on the drawings. However, every effort will be made to ensure that it will be as near as possible in size to the plot shown.
6. WALLS,

External walls and internal load bearing walls shall be of concrete block construction on concrete foundations. A bituminous canvas-backed or P.V.C damp proof course shall be provided in all rising walls and under all window cills.
7. EXTERNAL FINISH.

External wall finishes will vary according to the house type concerned but in general will consist of facing bricks, painted nap plaster, roughcast rendering, timber sheeting or such other finishes as may be approved from time to time.
8. Partitions

Internal partitions shall generally be of timber stud construction formed out of 75mm x 35mm stud at 400mm centres and with 75mm x 35mm heads and cills.

9. Internal finishes,

The internal wall finishes shall generally be Gypsum "Dry Lining" system.
10. Floors,

Ground floors generally shall consist of concrete laid on hardcore. First floors generally shall consist of tongued and grooved boarding on 175 x 44mm joists at approx. 400mm centres.
11. Roof,

Generally to consist of interlocking concrete tiles and 1 layer of bituminous roofing felt on pre-fabricated timber trusses.
12. Windows

Shall be manufactured to Irish Standard specification in deal and glazed in clear or obscure glass.
13. Doors/Frames

Main entrance door shall be in hardwood hung on hardwood frame. Rear entrance door shall be in deal with red deal frame. Internal flush doors shall be hung on red deal frames.
14. Trim and Cabinet work
Kitchen units to be plastic faced units as approved.
15. Finished Hardware

One pair 100mm brass butt hinges,
One cylinder night latch with pull handle,
One pair 100mm steel butts,

Front entrance.
Rear Entrance,
16. Painting and Decorating.

All paint to be appropriate quality supplied by approved manufacturers. The interior and exterior colour schemes will be decided upon by the Architect, except in specific cases where the client in accordance with the contract may be given an allowance to pick wallpaper of his choice.
17. Exterior/Interior Painting,

All timber to be primed, undercoated and finished with approved paint. Ceilings shall be finished with "Artex" Stipple.
18. Insulation.

Fibreglass or other approved insulation will be provided in the roof space.
19. Plumbing.

The whole of the interior pipework to be in light gauge copper or P. V. C. Hydrodare Pipe and wastes in plastic.
Provide and fix in roof space 100 gallon (Nominal) cold water supply tank.
Fit copper cylinder with immersion heater boss.
In bathroom and where shown provide and fix bathroom suite with 5'6" bath, pedestal basin, W. C. suite.
Fix chrome taps, wastes and all fittings.
In kitchen supply and fix stainless steel sink top and drainer.
Water services to be P. V. C. Hydrodare pipe complete with stop cocks and all fittings.

20. Electrical Provision,

The electrical installation will comply in all respects with the requirements of the E.S.B. Electric points and light fittings will be installed as shown on the plan. One piped television outlet will be provided as shown on the plans.

21. Warranty.

Certain components and fittings used in the house are subject to specific or implied warranties given by the manufacturers or suppliers. In these cases the builder will not accept responsibility for any defects which may occur. Any defects in the following items must be notified before the Purchaser takes possession, otherwise the builder accepts no liability.

Baths, Wash-hand basins, Tiled Hearths, W.C.'s and W.C. covers, Door locks and handles, light switches, Power socket outlets paintwork, varnishing, wallpaper, glass and casement stays.

22. Drives and Paths

All drives and paths shall be of 100mm thick insitu concrete or rectangular pavements as shown on drawings or as directed by the Architect.

23. Site Work and Cleaning.

The builder shall have the right to deposit surplus materials from excavation on such parts of the land owned or contracted to be sold to the Purchaser prior to the completion of the Sale and shall have the right to alter the natural levels of the site.

24. Public Services,

All houses will be serviced by all available public services. In the interest of amenity all public services will be placed underground.

25. Public Lighting.

Street lighting will be provided on all estate roads to the standard laid down by the Local Authority and the E.S.B.