

BYE LAW APPLICATION FEES

REF. NO.: 91A/0993 CERTIFICATE NO.: 1544
 PROPOSAL: Proposed School Building
 LOCATION: Edmondston
 APPLICANT: Edmondston National School

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55					
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose <i>109.0 M²</i>	@ £3.50 per M ² or £70			EXEMPT		
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: [Signature] Grade: D.H. Date: 21/6/91
 Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 20/6/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

91A/0993

CERTIFICATE NO: 25685

Unfabricated School Building

Edmondston National School

School Management Committee

1	2	3	4	5	6	7
Dwellings/Area Length/Struct	RATE	AMT. OF FEE REC.	AMOUNT LOGGED	BALANCE DUE	BALANCE DUE	DATE/REMARKS
Dwellings	2232					
	2218					
	2204					
	2190					
	2176					
	2162					
	2148					
	2134					
	2120					
	2106					
	2092					
	2078					
	2064					
	2050					
	2036					
	2022					
	2008					
	1994					
	1980					
	1966					
	1952					
	1938					
	1924					
	1910					
	1896					
	1882					
	1868					
	1854					
	1840					
	1826					
	1812					
	1798					
	1784					
	1770					
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	1742					
	1728					
	1714					
	1700					
	1686					
	1672					
	1658					
	1644					
	1630					
	1616					
	1602					
	1588					
	1574					
	1560					
	1546					
	1532					
	1518					
	1504					
	1490					
	1476					
	1462					
	1448					
	1434					
	1420					
	1406					
	1392					
	1378					
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	1350					
	1336					
	1322					
	1308					
	1294					
	1280					
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	1252					
	1238					
	1224					
	1210					
	1196					
	1182					
	1168					
	1154					
	1140					
	1126					
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	832					
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	776					
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	748					
	734					
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	342					
	328					
	314					
	300					
	286					
	272					
	258					
	244					
	230					
	216					
	202					
	188					
	174					
	160					
	146					
	132					
	118					
	104					
	90					
	76					
	62					
	48					
	34					
	20					

EXEMPT

J. G. [Signature] D/AI 2/6/91

[Signature] S/O 2/6/91

Grades 2, 3, 4, 5, 6 & 7 Enclosed Signed: _____ Date: _____

ASSESSMENT OF FINANCIAL CONTRIBUTION

EG. REF.: *91A/993*

CONT. REF.:

SERVICES INVOLVED: WATER/POUR SEWER/SURFACE WATER

REA. OF SITE:

LOCAL AREA OF PROPOSED PROPOSAL: *1173 F-2*

PREPARED BY:

CHECKED BY:

TITLE OF ASSESSMENT:

TOTAL ASSESSMENT:

BYORDER OF COUNCIL NO: *1173* /
DATE

ENTERED IN CONTRIBUTIONS REGISTER:

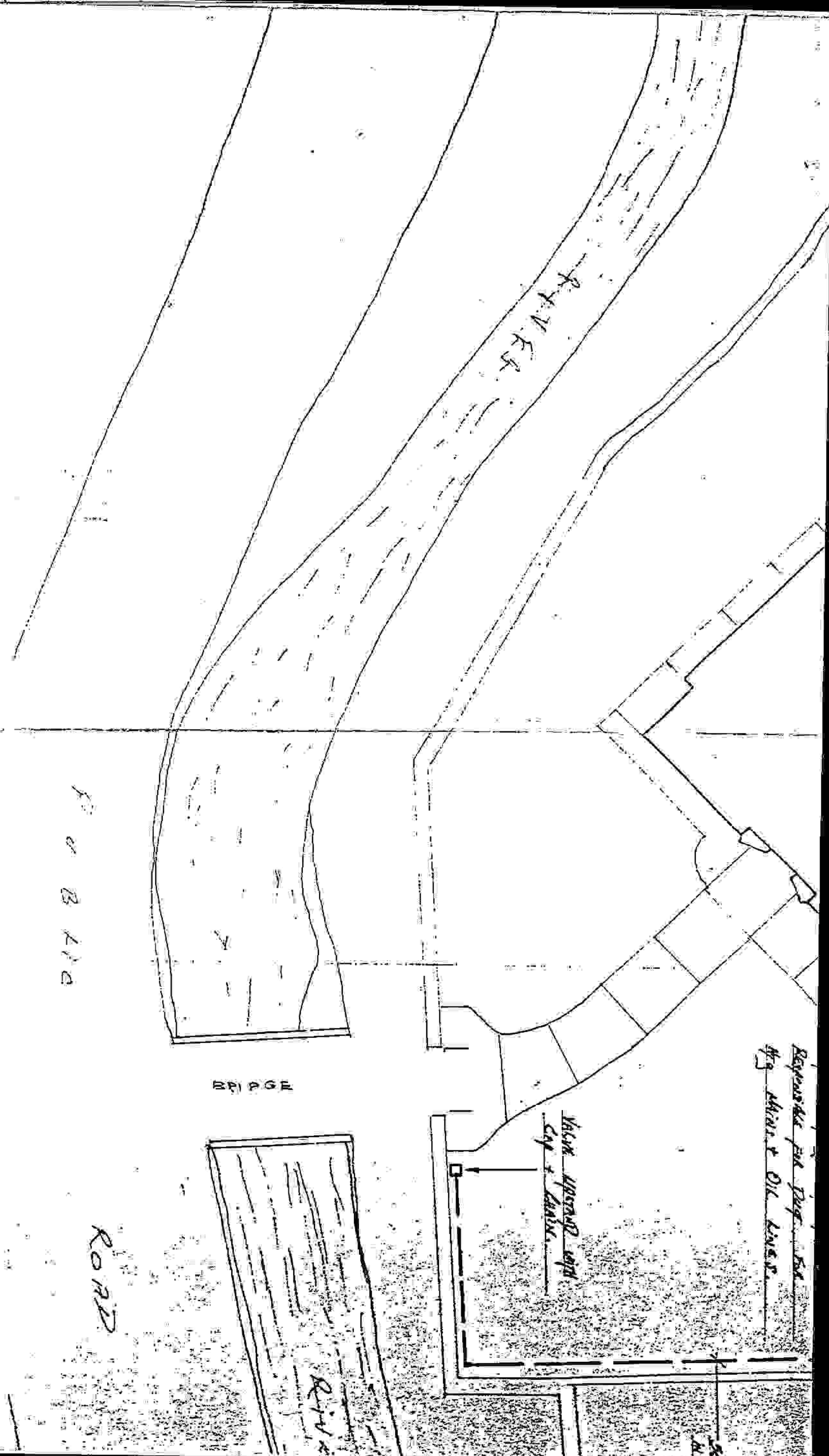
*J.Y.
21/6/91*

*Standard
rule
Example*

DEVELOPMENT CONTROL ASSISTANT GRADE

*Noted in
file of
date of
assessment*

[Signature]
22/7/91



LOUIS BURKE dip.arch. · b.arch. · sc. · m.riai ARCHITECT

MANTUA STUDIO · TEMPLEOGUE BRIDGE · DUBLIN 6

tel. 90.18.92 · fax. 90.12.71

EDMONDSTOWN NATIONAL SCHOOL - PROPOSED PREFABRICATED BUILDING.

SITE BLOCK PLAN.

SCALE 1 : 200

RECEIVED
17 JUN 1991
AIA 10913
Reg. Sec.

BUILDING REFERRED TO

School Building

AJ

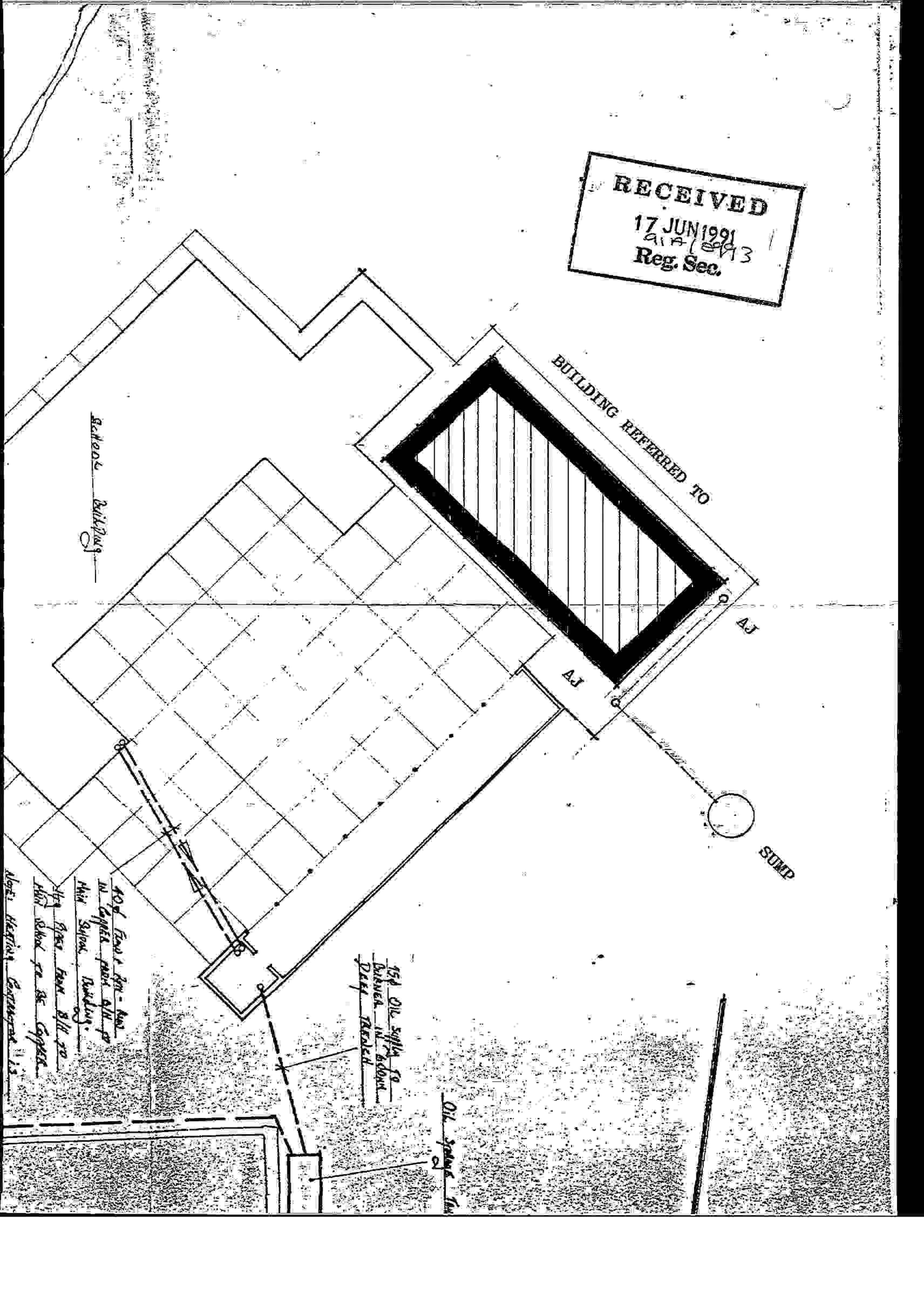
AJ

SUMP

154 Oil supply to
diner in above
day tank

Oil supply tank

40' Floor joist - Run
in copper pipe all to
Main School Building.
40' Pipe from 8/11 to
Main school for AC copper
Noble Heating Contractors 1/3



DUBLIN COUNTY COUNCIL

PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Environmental Health Officer,
33 Gardiner Place.

Register Reference : 91A/0993

Date : 18th June 1991

Development : Prefabricated classroom building

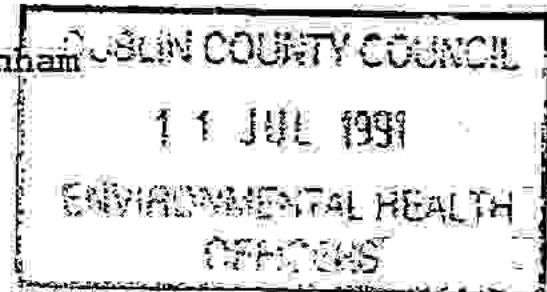
LOCATION : Edmondstown National School, Rathfarnham

Applicant : The School Management Committee

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 17th June 1991



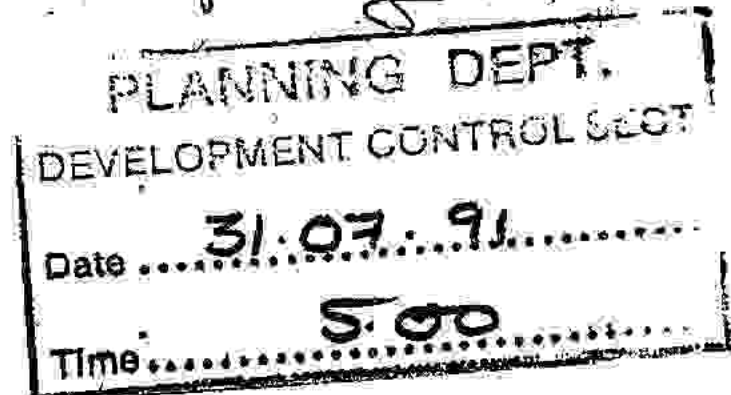
Attached is a copy of the application for the above development .Please ensure that your report is received within 5 weeks from 17th June 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

*THE ABOVE PROPOSAL IS ACCEPTABLE TO THIS OFFICE
SUBJECT TO*

- 1. A system of ventilation capable of providing a minimum of 6 air changes per hour to be shown in the proposed prefabs. classroom.*
- 2. Compliance with the Building Byelaws.*
- 3. Adequate means of heating and lighting to be provided.*



*Sta Devine
for John O'Keilly
18/7/91
S6110*

Peter Whelan

Principal Officer

DUBLIN COUNTY COUNCIL
PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Environmental Health Officer,
33 Gardiner Place.

Register Reference : 91A/0993

Date : 18th June 1991

Development : Prefabricated classroom building

LOCATION : Edmondstown National School, Rathfarnham

Applicant : The School Management Committee

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 17th June 1991

DUBLIN COUNTY COUNCIL
11 JUL 1991
ENVIRONMENTAL HEALTH
OFFICERS

Attached is a copy of the application for the above development. Please ensure that your report is received within 5 weeks from 17th June 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

*THE ABOVE PROPOSAL IS ACCEPTABLE TO THIS OFFICE
SUBJECT TO*

- 1. A system of ventilation capable of providing a minimum of 6 air changes per hour to be shown on the proposed prefabs. classroom.*
- 2. Compliance with THE BUILDING BYELAWS*
- 3. Adequate means of heating and lighting to be provided.*

*91a Devine
for John O'Leary
18/7/91*

SBHO

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date... *23.7.91*
Time... *2:10*

Peter Whelan

P13371/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/0993

Date Received : 17th June 1991

Correspondence : Louis Burke, Architect,
Name and : Mantua Studio,
Address : Templeogue Bridge,
Dublin 6W.

*James Sheehy,
183 Moyville,
Rathfarnham,
Dublin 16.*

Development : Prefabricated classroom building
Location : Edmondstown National School, Rathfarnham
Applicant : The School Management Committee
App. Type : Permission
Zoning :

CONTRIBUTION:	
Standard:	<i>MU</i>
Roads:	<i>School</i>
S. Sers:	<i>Scamp</i>
Open Space:	
Other:	
SECURITY:	
Bond/C.I.F.:	
Cash:	

(MOS/AC)

Report of the Dublin Planning Officer dated 17 July 1991.

This is an application for PERMISSION for a prefabricated classroom building at Edmondstown National School, Rathfarnham for the School Management Committee.

The floor area of the proposed structure is stated to be 109 sq.m. It is located to the south-west of the existing school building.

The prefabricated classroom building is required to accommodate students at the school in September.

There is no objection to the proposed development from a planning point of view.

Permission should be granted for a period of 5 years as is customary in the case of prefabricated classrooms.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts 1963-1990, subject to the following (6) conditions:-

CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0993

Page No: 0002

Location: Edmondstown National School, Rathfarnham

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of health.

04 *Prior to the commencement of development the applicant is to ascertain*
~~the~~ the requirements of the Chief Fire Officer ~~be ascertained~~ and ~~these requirements~~
are to be strictly adhered to in the development.

REASON: In the interest of safety and the avoidance of fire hazard.

05 That the structure shall be removed on or before 30 June 1996 unless before that date permission for its retention is granted by the Planning Authority or by An Bord Pleanála on appeal.

REASON: To enable the effect of the development on the amenities of the area to be reviewed, having regard to the conditions then obtaining.

06. *That prior to the commencement of development*
the applicant ascertain the requirements of the
Sanitary services dept. & adhere to these requirements
in the development

Reason: In the interest of the proper planning and development
of the area.

Note: Compliance with one or more of the conditions of this permission
may result in material alterations to the development as
initially proposed, and accordingly, may require the submission
of a further planning application.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0993

Page No: 0003

Location: Edmondstown National School, Rathfarnham

Endorsed: *[Signature]*
for Principal Officer

[Signature]
for Dublin Planning Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (6) conditions set out above is hereby made.

Dated : *24/7/91* *[Signature]*
ASSISTANT CITY AND COUNTY MANAGER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 8 July 1991.

27

MCS



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 3371 /91 Date of Decision : 24th July 1991

Register Reference : 91A/0993 Date Received : 17th June 1991

Applicant : The School Management Committee

Development : Prefabricated classroom building

Location : Edmondstown National School, Rathfarnham

Time Extension(s) up to and including :

Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- ..6...ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal officer

Date: 25/7/91.....

Louis Burke, Architect,
Mantua Studio,
Templeogue Bridge,
Dublin 6W.

NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,
Blocks 6 and 7
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Reg.Ref. 91A/0993
Decision Order No. P/ 3371 /91
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

C O N D I T I O N S / R E A S O N S

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

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REASON: In the interest of health.

04 Prior to the commencement of development the applicant is to ascertain the requirements of the Chief Fire Officer. These requirements are to be strictly adhered to in the development.

REASON: In the interest of safety and the avoidance of fire hazard.

05 That the structure shall be removed on or before 30 June 1996 unless before that date permission for its retention is granted by the Planning Authority or by An Bord Pleanala on appeal.

REASON: To enable the effect of the development on the amenities of the area to be reviewed, having regard to the conditions then obtaining.

06 That prior to the commencement of development the applicant ascertain the requirements of the Sanitary Services Department and adhere to these requirements in the development.

06 REASON: In the interest of the proper planning and development of the area.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed, and accordingly may require the submission of a further planning application.

NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.
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(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

4 copies

91A/0993

L.O.O

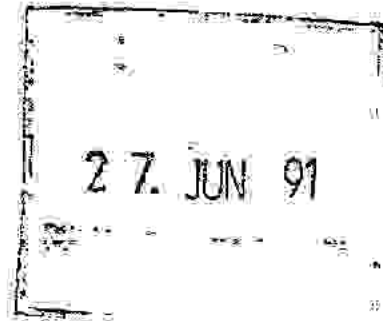
Ward A.1

183 Moyville,
Rathfarnham,
Dublin 16

Tel. 947156

25th June 1991

Dublin County Council,
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1



Dear Sirs,

Re: Edmonstown National School, Rathfarnham
Ref: 91A/0993

I refer to the above referenced application submitted by Louis Burke, Architect. I wish to confirm that I will be acting as Consulting Engineer on this project and will be undertaking the civil and structural engineering design aspects. I will also carry out strategic on-site supervision during disassembly and reconstruction.

As the building is an existing system-built pre-cast concrete single storey structure (with timber roof trusses) which has been in use for more than fifteen years the structural assessment will be mainly by way of examination of the condition of existing roof trusses, wall panels and fixings. The foundations will comprise a raft foundation with a visual conservative confirmation of presumed bearing pressure ($C50 \text{ kN/m}^2$) being made when excavation has been completed. Percolation tests will be carried out if a sump is required for surface water drainage.

I would be obliged if you could append a copy of this letter to the Building Bye-Law file.

Yours faithfully,


James Sherry C.Eng., M.I.E.I.

c.c. Mr. Louis Burke, Mantua Studio, Templeogue Bridge D6
Mr. Brian O'Reilly, Edmonstown National School, D16

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0993

Date : 18th June 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Prefabricated classroom building
LOCATION : Edmondstown National School, Rathfarnham
APPLICANT : The School Management Committee
APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received on 17th June 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

Louis Burke, Architect,
Mantua Studio,
Templeogue Bridge,
Dublin 6W.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building Edmondstown National School, Rathfarnham, Dublin 16.
(If none, give description sufficient to identify)

3. Name of applicant (Principal not Agent) The School Management Committee
Address Edmondstown National School, Rathfarnham, Dublin 16. Tel. No. 933255

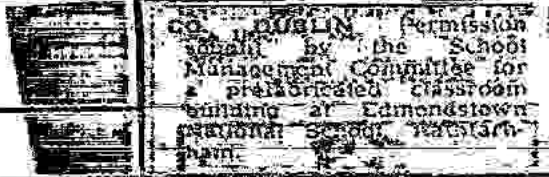
4. Name and address of person or firm responsible for preparation of drawings Louis Burke Architect, Mantua Studio, Templeogue
Bridge, Dublin 6W. Tel. No. 901832/904121

5. Name and address to which notifications should be sent As per number 4.

6. Brief description of proposed development Prefabricated school building.

7. Method of drainage Mains 8. Source of Water Supply Mains

8. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used. School Buildings
(b) Proposed use of each floor School Buildings



10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No

11.(a) Area of Site 1.1 acres Sq. m.
(b) Floor area of proposed development 109 Sq. m.
(c) Floor area of buildings proposed to be retained within site 257 Sq. m.

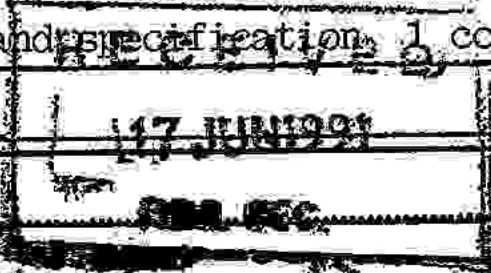
*Just
less
15/6/91*

12.State applicant's legal interest or estate in site Freehold
(i.e. freehold, leasehold, etc.)

13.Are you now applying also for an approval under the Building Bye Laws?
Yes No Place / in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal.
It is our policy to take into account the draft building regulations when preparing planning applications. This is not taken as a guarantee that this application complies with those building regulations.

15.List of documents enclosed with application. 4 copies of drawings and specification, 1 copy of newspaper advertisement.



16.Gross floor space of proposed development (See back) 322 sq. m. Sq. m.

No of dwellings proposed (if any) _____ Class(es) of Development National school run by voluntary / religious organisation
Fee Payable Not applicable Basis of Calculation National school run by voluntary / religious organisation
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Louis Burke Date 14th June 1991

Application Type P1B FOR OFFICE USE ONLY
Register Reference 91A/0993
Amount Received £ _____
Receipt No 22-14
Date _____

2.12.0

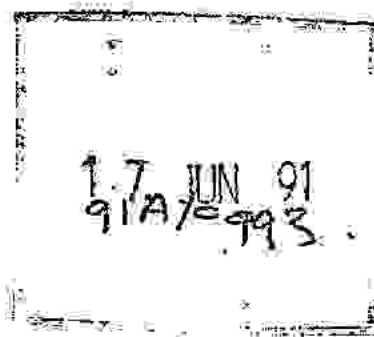
LOUIS BURKE dip.arch. · b.arch.sc. · m.riai ARCHITECT

MANTUA STUDIO · TEMPLEOGUE BRIDGE · DUBLIN 6
tel. 90·18·32 · fax. 90·12·71

REF: LB/mf 800

14th June 1991

Dublin County Council
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.



Dear Sirs,

Please find enclosed, in quadruplicate, documents prepared in regard to a proposed prefabricated classroom building to be constructed at Edmondstown National School, Rathfarnham.

On behalf of my clients, Edmondstown School Management Committee, I wish to apply for full planning and building bye-law approval for this development.

We would propose to submit additional structural information for building bye-law purposes on an on going basis.

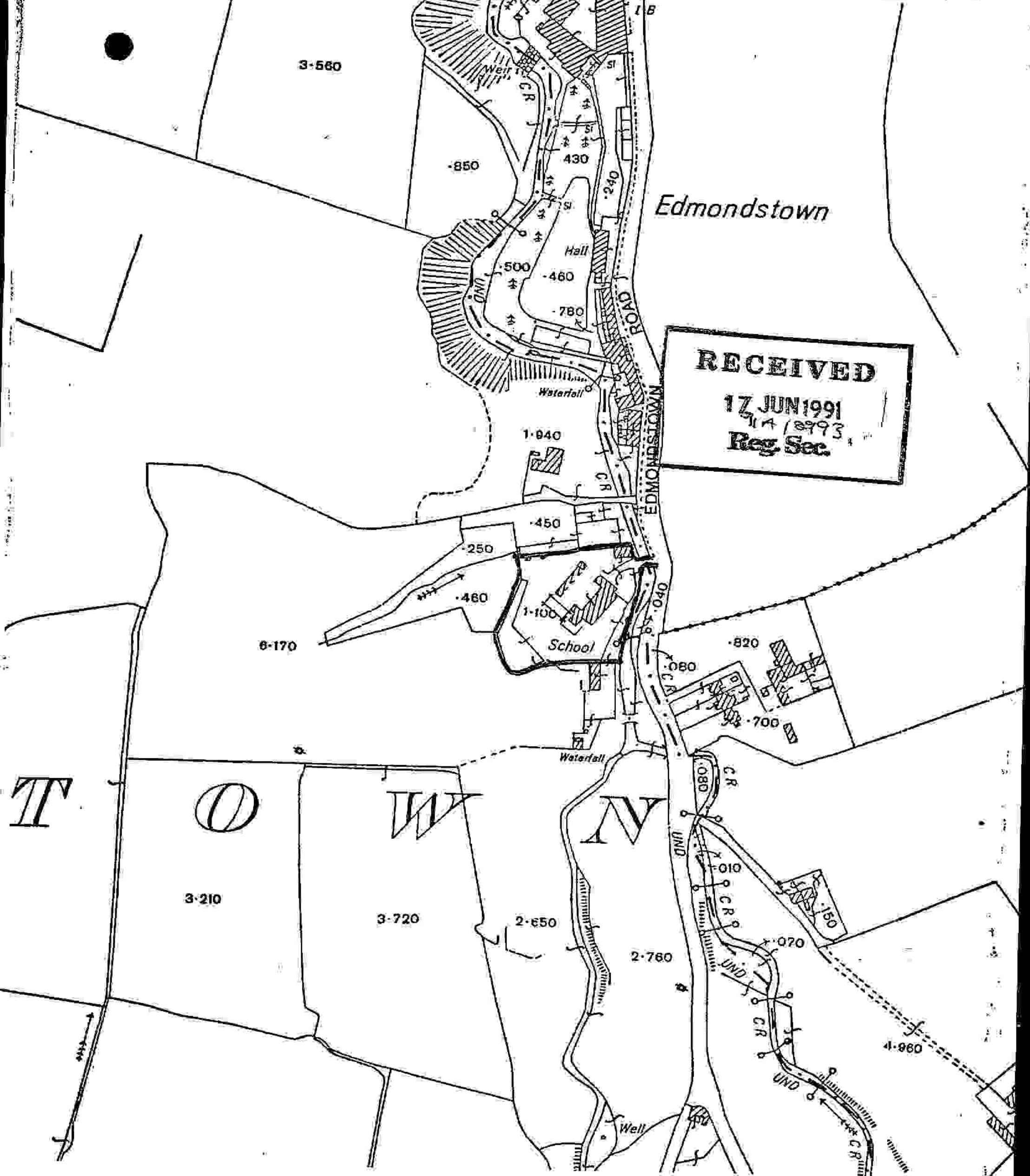
When considering this application and assuming that a favourable decision will be forthcoming, I would be obliged if you would take cognizance of the fact that the structure is required for occupation in September 1991. In this regard, a decision at the earliest possible date would be much appreciated.

If you require any further information, please telephone me.

Yours faithfully

LOUIS BURKE

COPY: Edmondstown National School
Mr Jim Sherry



RECEIVED
 17 JUN 1991
 114/2993
 Reg. Sec.

LOUIS BURKE dip.arch.·b.arch.sc.·mriai ARCHITECT
 MANTUA STUDIO · TEMPLEOGUE BRIDGE · DUBLIN 6
 tel. 90-18-32 · fax. 90-12-71

**EDMONDSTOWN NATIONAL SCHOOL - PROPOSED
 PREFABRICATED BUILDING**

SITE LOCATION MAP

SCALE 1 : 2500