

REF. NO.: 91A/0989 CERTIFICATE NO.: 15288B
 PROPOSAL: 18 Semi detached houses
 LOCATION: Weston Park Huron
 APPLICANT: Weston Properties

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	<u>£990</u>	<u>£990</u>	<u>-</u>		
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M ² or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____
 Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 18/6/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CCNT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER, SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: F/ /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT/GRATE

1.6
Register Reference : 91A/0949

Date : 18th June 1991

Development : Outline permission for 1 det. dwelling & permission for 18 semi-det. dwellings, 5 with garages in lieu of 16 semi-det. dwellings, 12 with garages, approved under 88A/1434 and 89A/2288

LOCATION : Weston Park, Lucan

Applicant : Weston Properties Ltd.

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning officer : M.GALVIN

Date Recd. : 7th June 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

[Handwritten signature]

DUBLIN CO. COUNCIL
27 JUN 1991
SAN SERVICES

DUBLIN CO. COUNCIL
SANITARY SERVICES
14 AUG 1991
Returned *[Handwritten initials]*

Date received in Sanitary Services

FOUL SEWER

Available subject to previous reports dated 20/2/90 and 19/2/90. (89A/2288).

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date *20.08.91*
Time *9.00*

SURFACE WATER

As above.

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

[Handwritten signature]
1.8.91.

J.R.
12/8/91

AM.

Register Reference : 91A/0949

Date : 18th June 1991

.....
ENDORSED _____ DATE _____

WATER SUPPLY is available - 24hr storage

A. J. B. 15/7/91

R.H.F. 23/7/91

.....
ENDORSED M. B. C. DATE 12/8/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 20.08.91
Time 9.00

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Outline permission for one detached dwelling and permission for 18 semi-detached dwellings, 5 with garages in lieu of 16 semi-detached dwellings, 12 with garages, approved under Reg. Ref. 88A-1434 and 89A-2288 at Weston Park, Lucan for Weston Properties Ltd.

David Galbraith and Co. Ltd.,
45, Blessington Street,
Dublin 2.

Reg. Ref. 91A-0949
Appl. Rec'd: 07.06.1991
Floor Area:
Site Area:
Zoning:

U.S.P. (2) for 88A
CONTRIBUTION:
246,000
1800 per house
300
300
160,000
100,000
outline contribution with 1/2 of site at 1/2 of 1/2
Sligo

Report of the Dublin Planning Officer, dated 1st August, 1991

This is an application for **OUTLINE PERMISSION** for one detached dwelling and **PERMISSION** for 18 semi detached dwellings, 5 with garages in lieu of 16 semi detached dwellings, 12 with garages approved under Reg. Ref. No. 88A-1434 and 89A-2288 at Weston Park, Lucan for Weston Properties.

Reg. Ref. No. 85A-0417 refers to the original grant of planning permission for housing development at Weston Park.

There have been various grant of permission for revisions to the previously approved development.

Reg. Ref. No. 88A-1434 refers to a grant of planning permission for revised house type on approved layout comprising 44 no. semi detached 2 storey 4 bed dwellings with optional single storey garage and utility study and optional extended kitchen in lieu of 24 no. dwellings approved under Reg. Ref. No. 86A-1049. Six no. dwellings approved under Reg. Ref. No. 88A-0805 and 39 dwellings approved under Reg. Ref. No. 85A-0417 at Weston Park (overall reduction of 25 units).

Reg. Ref. No. 89A-2288 refers to a grant of planning permission for 49 no. detached 4 bed dwellings with garages; 1 detached 5 bed dwelling with garage and 86 semi detached dwellings - 25 with garages at Weston Park. This grant of permission provided for a substantial reduction in the house numbers and alterations to layout for the southern portion of the Weston Park Development.

The current application provides for the construction of 8 no. semi detached houses (5 with garages) at sites 3-10, Weston Court. A similar number of houses were approved at this location under Reg. Ref. No. 89A-2288. Permission is also sought for 10 semi detached houses and a detached house (outline permission only) on a site to the north of Westfield Avenue. This site equates generally with sites 123-130 for which planning permission was granted for 8 no. semi detached houses under Reg. Ref. No. 88A-1434. The site layout has

(Continued)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Outline permission for one detached dwelling and permission for 18 semi-detached dwellings, 5 with garages in lieu of 16 semi-detached dwellings, 12 with garages, approved under Reg. Ref. 88A-1434 and 89A-2288 at Weston Park, Lucan for Weston Properties Ltd.

(Continued)

been altered to include an additional area to the west which was previously part of a narrow strip of lands running along the edge of the housing development and the reservation for the Celbridge Road. The intended use of this strip of lands is unclear from previous applications. It is considered that it is of little use for say open space located as it is between the edge of the road reservation and side garden boundaries.

Roads Department report states no objection. Roads Department were contacted by phone. They consider that the location of the proposed detached house so close to the future estate entrance onto the Celbridge Roads is undesirable. However, it is noted that the proposed access to this house will be located no closer to the junction than the entrance to the end house, No. 123 approved under Reg. Ref. No. 88A-1464.

With regard to the proximity of the proposed house to the New Celbridge Road, it should be noted that a house was approved in a relatively similar position at site 107 immediately to the north.

The current application provides for an increase in house numbers of 3. There is no objection to an increase of this order given the previous reduction in housing density at this location.

With regard to the application for permission, two principal house types are proposed - K4, a four bedroom semi detached house and K5, a similar type house with a garage to side. Four different elevational drawings are submitted for each of the house types although no details are included regarding which elevation is proposed for individual sites. This matter can be conditioned.

I recommend that a decision to GRANT PERMISSION for 18 semi detached dwellings, 5 with garages in lieu of 16 semi-detached dwellings, 12 with garages at Weston Park, Lucan be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the conditions set out in Column 1 of schedule 1 below, the reason for the imposition of the condition being as set out in column 2 of schedule 1 and that a decision to GRANT OUTLINE PERMISSION for one detached dwelling at Weston Park, Lucan be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the conditions set out in column 1 of schedule 2 below, the reason for the imposition of the condition being as set out in column 2 of schedule 2 hereto:-

(Continued)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

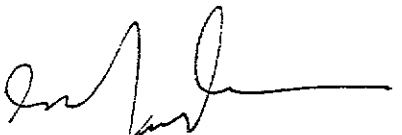
Outline permission for one detached dwelling and permission for 18 semi-detached dwellings, 5 with garages in lieu of 16 semi-detached dwellings, 12 with garages, approved under Reg. Ref. 88A-1434 and 89A-2288 at Weston Park, Lucan for Weston Properties Ltd.

(Continued)

(Schedules 1 and 2 attached)

28 (MG/DK)

Endorsed:-


for Principal Officer


For Dublin Planning Officer

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to **GRANT PERMISSION** for 18 semi detached dwellings, 5 with garages in lieu of 16 semi-detached dwellings, 12 with garages at Weston Park, Lucan subject to the (9) conditions set out in schedule 1 hereto is hereby made and a decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to **GRANT OUTLINE PERMISSION** for one detached dwelling at Weston Park, Lucan subject to the (10) conditions set out in schedule 2 hereto is hereby made.

Dated: 2 August, 1991.


Assistant City & County Manager.

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 26th July, 1991.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Outline permission for one detached dwelling and permission for 18 semi-detached dwellings, 5 with garages in lieu of 16 semi-detached dwellings, 12 with garages, approved under Reg. Ref. 88A-1434 and 89A-2288 at Weston Park, Lucan for Weston Properties Ltd.

CONDITIONS

REASONS FOR CONDITIONS

Schedule 1

Column 1

Column 2

1. 1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. That each proposed house be used as a single dwelling unit.

2. To prevent unauthorised development.

3. That the arrangements made with regard to the payment of the financial contribution in the sum of £246,000 towards the cost of public services in the area, in respect of the overall development, the subject of Reg. Ref. No. 85A-0417, 86A-1049, 88A-1434 and 89A-2288 be strictly adhered to in respect of this proposal.

3. In the interest of the proper planning and development of the area.

4. That the arrangements made with regard to the lodgement of security in respect of the overall development, the subject of planning permission under Reg. Ref. No. 85A-0417, 86A-1049, 88A-1434 and 89A-2288 be strictly adhered to in respect of this proposal.

4. In the interest of the proper planning and development of the area.

5. That the development be carried out in strict conformity with conditions nos. 8-23 incl. ~~and 12~~ of the decision to grant planning permission by order no. P/4467/88 dated 16th December, 1988, Reg. Ref. No. 88A-1434 and conditions 6, 8-17 and 20-23 incl. of the decision to grant planning permission by order no. P/1282/90 dated ~~2nd August, 1990~~ 30/3/90 *em*, Reg. Ref. No. 89A-2288.

5. In the interest of the proper planning and development of the area.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Outline permission for one detached dwelling and permission for 18 semi-detached dwellings, 5 with garages in lieu of 16 semi-detached dwellings, 12 with garages, approved under Reg. Ref. 88A-1434 and 89A-2288 at Weston Park, Lucan for Weston Properties Ltd.

CONDITIONS

REASONS FOR CONDITIONS

~~6. That the arrangements made for the payment of financial contributions as required by condition no. 7 of the decision to grant planning permission under Reg. Ref. No. 88A-1434 be strictly adhered to in respect of this proposal.~~

~~6. In the interest of the proper planning and development of the area.~~

~~7. That the arrangements made for the payment of a financial contribution as required by condition no. 9 of the decision to grant planning permission under Reg. Ref. No. 88A-1434 and condition no. 7 of the decision to grant planning permission under Reg. Ref. No. 89A-2288 be strictly adhered to in respect of this proposal.~~

~~7. In the interest of the proper planning and development of the area.~~

6/ 8. That (i) separation between each pair of dwellings to be a minimum of 7' 6".

6/ 8. In the interest of the proper planning and development of the area.

(ii) each house have a minimum front building line of 25 feet and rear garden depth of 35 feet.

7/ 9. Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

7/ 9. In the interest of reducing air pollution.

8/ 10. That details of the elevational treatments for each of the 18 semi-detached houses be submitted and agreed with the Planning Authority prior to the commencement of development on site.

8/ 10. In the interest of the proper planning and development of the area.

Handwritten notes:
del
del

Handwritten note:
WRITING

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Outline permission for one detached dwelling and permission for 18 semi-detached dwellings, 5 with garages in lieu of 16 semi-detached dwellings, 12 with garages, approved under Reg. Ref. 88A/1434 and 89A/2288 at Weston Park, Lucan for Weston Properties Ltd.

CONDITIONS	REASONS
9. That the arrangements made with regard to the payment of the financial contribution in the sum of £800. per house as required by Condition No. 7 of the planning permission granted under Register Reference 89A/2288 be strictly adhered to in respect of this proposal.	9. In the interest of the proper planning and development of the area.

1

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Outline permission for one detached dwelling and permission for 18 semi-detached dwellings, 5 with garages in lieu of 16 semi-detached dwellings, 12 with garages, approved under Reg. Ref. 88A-1434 and 89A-2288 at Weston Park, Lucan for Weston Properties Ltd.

CONDITIONS

REASONS FOR CONDITIONS

Schedule 2

Column 1

1. That details relating to layout, siting, height, design and external appearance of the proposed building and means of access thereto shall be submitted to and approved by the Planning Authority before any works are begun.

2. That a financial contribution, to be determined by the Planning Authority on submission of detailed plans for approval, be paid by the applicant to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development. This contribution to be paid before the commencement of development on the site.

3. Before the development is commences, the developer shall lodged with the Dublin County Council a cash deposit, a bond of an Insurance Company, or other security to secure the provision and satisfactory completion and maintenance until taken-in-charge by the said Council of roads, footpaths, sewers, watermains, drains, public lighting and other services required in connection with the development, coupled with an agreement empowering the said Council to apply such security or part thereof for the satisfactory completion or maintenance as aforesaid of any part of the development.

Column 2

1. In the interest of the proper planning and development of the area.

2. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

3. In the interest of the proper planning and development of the area.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/0949.

DEVELOPMENT: 1 det. dwelling and 18 semi-det. dwellings - approved under 88A/1434 and 89A/2288.

LOCATION: Weston Park, Lucan.

APPLICANT: Weston Properties Ltd.

DATE LODGED: 7.5.91.

No Roads objection subject to condition of previous permission 89A/2288 where appropriate.

(Conditions 6, 7, and 20 relate to Roads). See also Roads Report of 29.3.90 for 89A/2288.

No construction to begin until all access roads leading to the site are constructed to Council Standards.

TB/BMcC
4.7.91.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
 Date **8.07.91**
 Time **9.00**

SIGNED: _____ *[Signature]* _____
 DATE: _____ *8/7/91* _____

ENDORSED: _____ *[Signature]* _____
 DATE: _____ *5/7/91* _____

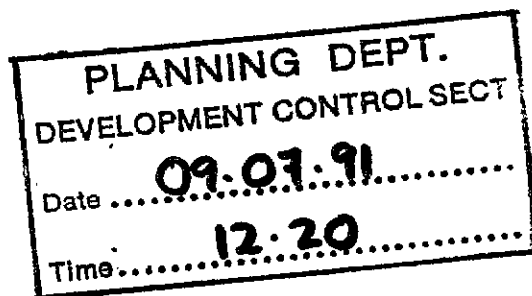
DUBLIN COUNTY COUNCIL

REG. REF: 91A/0949.
DEVELOPMENT: 1 det. dwelling and 18 semi-det. dwellings -
approved under 88A/1434 and 89A/2288.
LOCATION: Weston Park, Lucan.
APPLICANT: Weston Properties Ltd.
DATE LODGED: 7.5.91.

No Roads objection subject to condition of previous permission
89A/2288 where appropriate.

(Conditions 6, 7, and 20 relate to Roads). See also Roads Report
of 29.3.90 for 89A/2288.

No construction to begin until all access roads leading to the
site are constructed to Council Standards.



TB/BMcC
4.7.91.

SIGNED: James Ryan
DATE: 2/7/91

ENDORSED: T. B. McK
DATE: 5/7/91

Blackwell & Co.,
Solicitors,
98, Upper Drumcondra Road,
Dublin 9.

Our Ref. 91A-0949
Your Ref. 275D/NB/BD

15 April 1992

Re: 91A-0949 - Development at Weston Park.

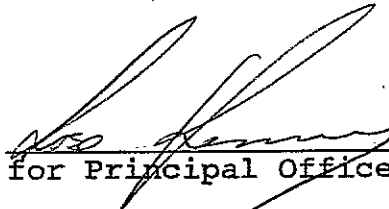
Dear Sir/Madam,

I refer to your letter of 3rd April, 1992, and wish to confirm that condition no. 5 of the above permission contains a typographical error. Condition No. 5 should read:

"That the development be carried out in strict conformity with conditions nos. 8-23 incl. of the decision to grant permission by order No. P/4467/88 dated 16th December, 1988, Reg. Ref. No. 88A-1434 ..."

I regret any inconvenience caused.

Yours faithfully,



for Principal Officer.

BLACKWELL & CO.
SOLICITORS

98 UPPER DRUMCONDRA ROAD, DUBLIN 9

EOH

Noeline Blackwell, BCL, AIT
Commissioner for Oaths
Mary Upton, BCL

Tel: 01-374464
Fax: 01-374652

Our Ref: 275D/NB/BD

Your Ref:

Date: 3/04/1992

Planning Office
Dublin County Council
2nd. Floor
Irish Life Centre
Talbot St.
DUBLIN 1.

RE: Development at Weston Park.

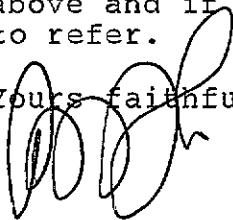
Dear Sirs,

We have been furnished with a planning permission for the above property - register reference 91A/0949 - for one detached dwelling and 18 semi detached dwellings, in favour of Weston Properties Ltd..

Condition 5 of this requires that the development be carried out in accordance with conditions 8 - 23 of "order number P/446/78 dated 16/12/1988, reg. reference number 88A/1434". We cannot locate such an Order No. in our records and it may be that the decision order number in the permission should read P/4467/88.

We would be obliged if you would advise by letter to us whether your reference in said condition number 5 of the first schedule to the said planning permission 91A/0949 contains the typographical error referred to above and if you could specify the condition to which this was intended to refer.

Yours faithfully,



BLACKWELL & CO.



VAT No. 3594841R

David Galbraith and Co. Ltd.,
45, Blessington Street,
Dublin 2.

Reg. Ref. 91A-0949

2 August 1991

Re: Outline permission for one detached dwelling and permission for 18 semi-detached dwellings, 5 with garages in lieu of 16 semi-detached dwellings, 12 with garages, approved under Reg. Ref. 88A-1434 and 89A-2288 at Weston Park, Lucan for Weston Properties Ltd.

Dear Sir/Madam,

With reference to the above proposal submitted by you on 7th June, 1991, you are hereby notified that the Planning Authority in pursuance to the powers conferred on it by the Local Government (Planning and Development) Acts, 1963-1983, has decided to Grant Outline Permission for one detached dwelling at Weston Park, Lucan, subject to the conditions specified in Column 1 of Schedule 2 hereto, the reason for the imposition of the condition being as set out in Column 2 of Schedule 2 and to Grant Permission for 18 semi-detached dwellings, 5 with garages in lieu of 16 semi-detached dwellings, 12 with garages, approved under Reg. Ref. 88A-1434 and 89A-2288 at Weston Park, Lucan, subject to the conditions specified in Column 1 of Schedule 1 hereto, the reason for the imposition of the condition being as set out in Column 2 of Schedule 1.

Schedule 1

Column 1

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

Column 2

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

(Continued)

(Continued)

Schedule 1 continued.

2. That each proposed house be used as a single dwelling unit.

3. That the arrangements made with regard to the payment of the financial contribution in the sum of £246,000 towards the cost of public services in the area, in respect of the overall development, the subject of Reg. Ref. No. 85A-0417, 86A-1049, 88A-1434 and 89A-2288 be strictly adhered to in respect of this proposal.

4. That the arrangements made with regard to the lodgement of security in respect of the overall development, the subject of planning permission under Reg. Ref. No. 85A-0417, 86A-1049, 88A-1434 and 89A-2288 be strictly adhered to in respect of this proposal.

5. That the development be carried out in strict conformity with conditions nos. 8-23 incl. of the decision to grant planning permission by order no. P/446/88 dated 16th December, 1988, Reg. Ref. No. 88A-1434 and conditions 6, 8-17 and 20-23 incl. of the decision to grant planning permission by order no. P/1282/90 dated 30th March, 1990, Reg. Ref. No. 89A-2288.

6. That (i) separation between each pair of dwellings to be a minimum of 7' 6".

(ii) each house have a minimum front building line of 25 feet and rear garden depth of 35 feet.

7. Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

8. That details of the elevational treatments for each of the 18 semi-detached houses be submitted and agreed in writing with the Planning Authority prior to the commencement of development on site.

(Continued)

2. To prevent unauthorised development.

3. In the interest of the proper planning and development of the area.

4. In the interest of the proper planning and development of the area.

5. In the interest of the proper planning and development of the area.

6. In the interest of the proper planning and development of the area.

7. In the interest of reducing air pollution.

8. In the interest of the proper planning and development of the area.

(Continued)

Schedule 1 continued.

9. That the arrangements made with regard to the payment of the financial contribution in the sum of £800 per house as required by condition no. 7 of the planning permission granted under Register Reference 89A-2288 be strictly adhered to in respect of this proposal.

Schedule 2

Column 1

1. That details relating to layout, siting, height, design, external appearance and boundary treatment of the proposed building and means of access thereto shall be submitted to and approved by the Planning Authority before any works are begun.

2. That a financial contribution, to be determined by the Planning Authority on submission of detailed plans for approval, be paid by the applicant to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development. This contribution to be paid before the commencement of development on the site.

3. Before the development is commences, the developer shall lodged with the Dublin County Council a cash deposit, a bond of an Insurance Company, or other security to secure the provision and satisfactory completion and maintenance until taken-in-charge by the said Council of roads, footpaths, sewers, watermains, drains, public lighting and other services required in connection with the development, coupled with an agreement empowering the said Council to apply such security or part thereof for the satisfactory completion or maintenance as aforesaid of any part of the development.

(Continued)

9. In the interest of the proper planning and development of the area.

Column 2

1. In the interest of the proper planning and development of the area.

2. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

3. In the interest of the proper planning and development of the area.

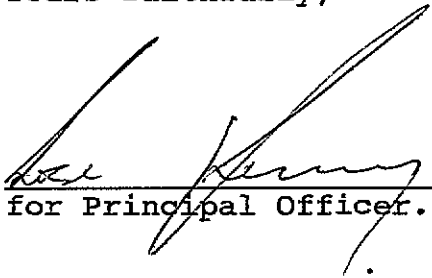
(Continued)

Schedule 2 continued.

4. That a financial contribution to be determined by Dublin County Council on submission of detailed plans for approval be paid by the applicant towards the cost of providing a road network in the vicinity of this site. This contribution to be paid prior to the commencement of development on site.

4. In the interest of the proper planning and development of the area.

Yours faithfully,



for Principal Officer.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0949

Date : 10th June 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Outline permission for 1 det. dwelling & permission
for 18 semi-det. dwellings, 5 with garages in lieu of
16 semi-det. dwellings, 12 with garages, approved
under 88A/1434 and 89A/2288

LOCATION : Weston Park, Lucan

APPLICANT : Weston Properties Ltd.

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received
on 7th June 1991.

Yours faithfully,

.....

PRINCIPAL OFFICER

David Galbraith & Company Ltd.,
45 Blessington Street,
Dublin 7



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place/ in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building WESTON PARK, LUCAN, CO. DUBLIN
(If none, give description sufficient to identify) **BYE LAW APPLICATION**

3. Name of applicant (Principal not Agent) WESTON PROPERTIES LTD
Address 556 BOWTH ROAD, RATHENY, DUBLIN 5 Tel. No. 316341

4. Name and address of DAVID GOLBURN & COMPANY LTD
person or firm responsible for preparation of drawings 45 BUSHWATER STREET, DUBLIN 7 Tel. No. 302609

5. Name and address to which notifications should be sent AS & ABOVE

6. Brief description of 18 SEMI-DETACHED DWELLINGS, 5 WITH GARAGES ON SITES 8-17
proposed development WESTHARD AVENUE & SITES 3-10 WESTON COURT

7. Method of drainage NAT 8. Source of Water Supply

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used.
(b) Proposed use of each floor

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11. (a) Area of Site Sq. m.
(b) Floor area of proposed development 600 Sq. m.
(c) Floor area of buildings proposed to be retained within site Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
AS MUCH AS POSSIBLE

15. List of documents enclosed with 1/28th plan 24/5/91 & 4 COPIES OF DRAWINGS NO. 1
233/91/0, 25, 26, 30, 31, 32, 33-1, 33-2, 33-3, 33-4, 34, 35, 36, 37, 38, 39
40, 41, 42, 43-1, 43-2, 43-3, 43-4, 44, 45, 46, 47, 48, 49

16. Name of person or firm responsible for preparation of drawings DAVID GOLBURN & COMPANY LTD and development (See back) Sq. m.

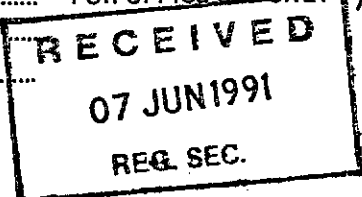
No of dwellings proposed (if any) 18 Class(es) of Development 1, A
Fee Payable £1566.00 Basis of Calculation 18 x (32+55)
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) David Golburn Date: 28/5/91

Application Type P/B & O.P. FOR OFFICE USE ONLY 7/6
Register Reference 91A/0949

Amount Received £

Receipt No
Date 17/5



2.110.4.4

David Golburn
24/5/91

BYE LAW APPLICATION
REC'D 27/6/91

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
 2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
 3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.
- NB. Applications must be received within 2 weeks from date of publication of the notice.**

4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should

Applicants to comply in full with the requirements of the Local Government (New Charges in particular the licencing provisions of Sections 4 and 16. Effective 15/2/88

PLANNING APPLICATIONS			BUILDING BYE-LAW APP		
CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension	£30 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Domestic Extension (improvement/alteration)	£3.50 per m ² (min. £70)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	C	Building — Office/Commercial Purposes	£1.00 per m ² in excess of 300 sq. metres (min. £70) (max. £300)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)	D	Agricultural Buildings/Structures	£200
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	E	Petrol Filling Station Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha. (£70 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)	F		
8.	Petrol Filling Station.	£100.00			
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

Min. Fee £30.00
Max. Fee £20,000

AIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

[Empty box for receipt code]

N 41112

£600.00

Received this 7th day of June 1991

from Weston Proprs. Ltd.,
556 Howth Rd.,
Howth

The sum of six hundred Pounds

Pence, being 200 for

planning application at Weston Park

Madge Doane Cashier

S. CAREY
Principal Officer
Class 1 x 10
5/10 P.

COMHAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

BYE LAW APPLICATION.

REC. No. N 41493

PAID BY
C.C. DE V.
M.O.
61
I.T.

£ 9910.00

Received this 7th day of June 1991

from Weston Props. Ltd,
556 Hoath Rd.,
Raheny

the sum of nine hundred and ninety Pounds

Pence, being 70 for

bye-law application at Weston Park Linn

Madge Deane Cashier

S. CAREY Class A x 18
Principal Officer



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building SITE 7 WESTFIELD AVENUE
(If none, give description
sufficient to identify)..... WEPOL PARK, LUCAN, CO. DUBLIN.

3. Name of applicant (Principal not Agent)..... WESTER PROPERTIES LTD
Address..... 55b NORTH ROAD, RATHENT, DUBLIN 5 Tel. No. 316341

4. Name and address of DAVID GARRETH & COMPANY LTD
person or firm responsible
for preparation of drawings 45 BLESSINGWORTH STREET, DUBLIN 7 Tel. No. 302609

5. Name and address to which
notifications should be sent AS ABOVE

6. Brief description of
proposed development

7. Method of drainage NAWS B. Source of Water Supply NAWS

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor
or use when last used.
(b) Proposed use of each floor

10. Does the proposal involve demolition, partial demolition
or change of use of any habitable house or part thereof?

11. (a) Area of Site Sq. m.
(b) Floor area of proposed development Sq. m.
(c) Floor area of buildings proposed to be retained within site Sq. m.

12. State applicant's legal interest or estate in site
(i.e. freehold, leasehold, etc.) FREEHOLD

13. Are you now applying also for an approval under the Building Bye Laws?
Yes No Place in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
.....

15. List of documents enclosed with BRUSH PRESS 24/5/91, 4 COPIES
application. DRAWINGS NO 333/91/0, 333/91/26.

16. Gross floor space of proposed development (See back) Sq. m.

No of dwellings proposed (if any) 1 Class(es) of Development A
Fee Payable £. 24.00 Basis of Calculation OUTLINE
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) David Gallinell Date 28/5/91

Application Type FOR OFFICE USE ONLY
Register Reference
Amount Received £.....
Receipt No
Date

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

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INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

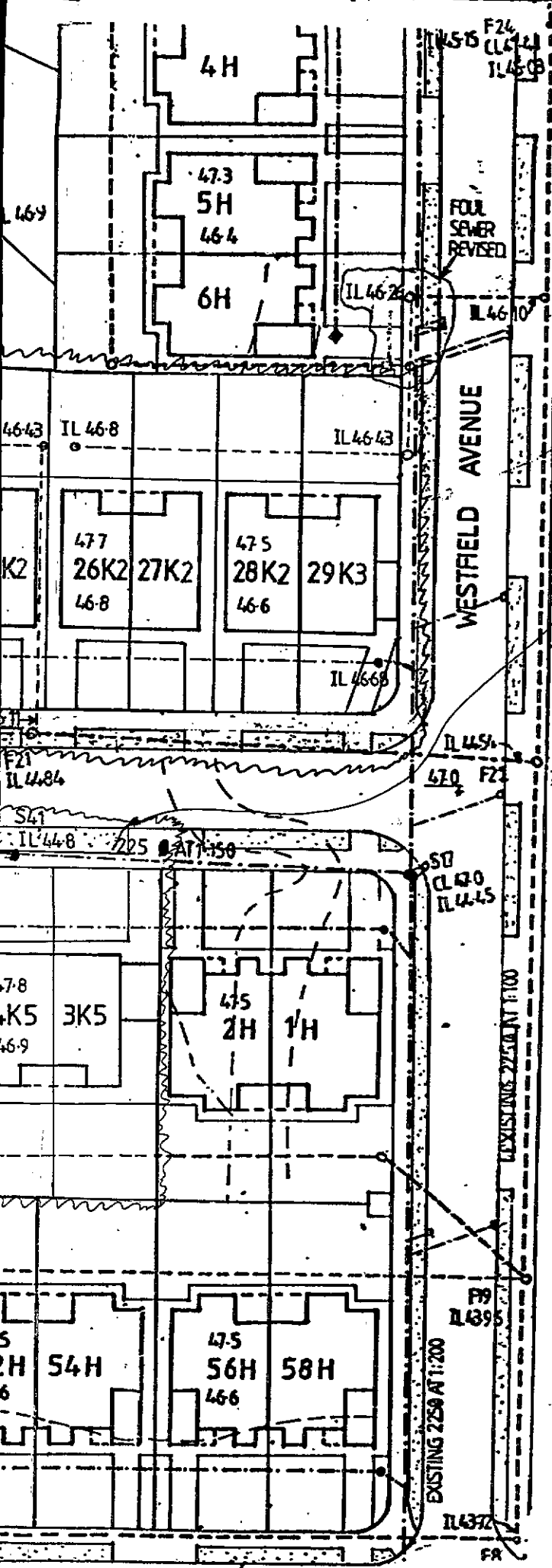
CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£32.00 each
B	Domestic Extension (improvement/alteration)	£16.00 each
C	Building — Office/Commercial Purposes	£1.75 per m ² (Min. £40.00)
D	Agricultural Buildings/Structures	£0.50 per m ² in excess of 300 sq. metres (Min. — £40.00) (Max. — £150.00)
E	Petrol Filling Station	£100.00
F	Development or Proposals not coming within any of the foregoing classes.	£5.00 per 0.1 ha (£40.00 min.)

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.



Note: This Drawing is Copyright.
 Do Not Scale, Use Written Dimensions Only.
 To Be Read In Conjunction With All Relevant
 Drawings, Specifications, Building Regulations, etc

PERMISSIONS IN EXISTENCE AT PRESENT
 REG. REF. NO. 88A/1434 SITES 3-4 WESTON COURT
 89A/2288 SITES 5-10 WESTON COURT

SYMBOL	TITLE
	FINISHED FLOOR LEVEL HOUSE NUMBER / TYPE FOUNDATION BASE LEVEL (TO BE AGREED AFTER EXCAVATION)
	FOUL SEWER
	SURFACE WATER SEWER
	FOUL MANHOLE
	SURFACE WATER MANHOLE
	DUBLIN COUNTY COUNCIL ROAD GULLY Planning & Survey Section APPLICATION RECEIVED

7 JUN 1991

- NOTE:
1. ALL EXTERNAL HOUSE DRAINAGE TO BE 150 Ø MIN.
 2. MINIMUM GRADIENT N:80 UNLESS NOTED OTHERWISE.
 3. COVER LEVELS TO MANHOLES MAY VARY DEPENDING ON FINISHED SURFACE LEVELS.

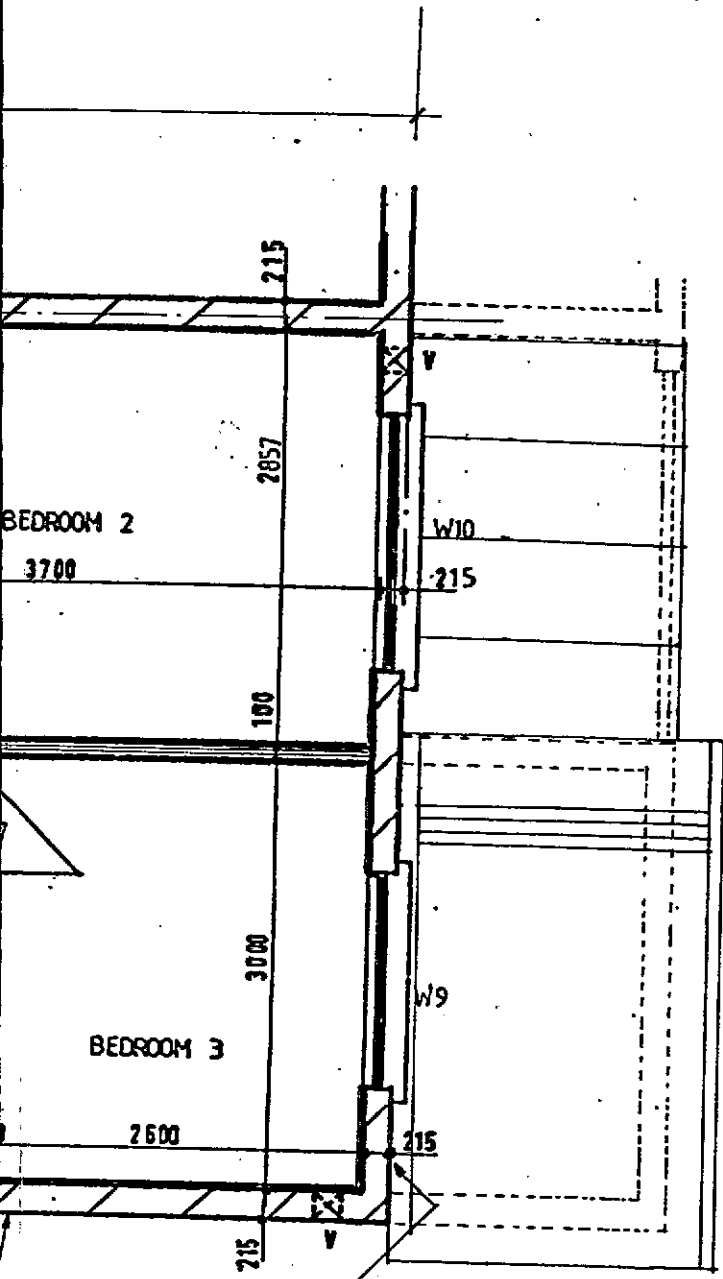
Rev	Date	By	Scale 1:500
Project			Drawn DG
HOUSING AT WESTON PARK, LUCAN, CO. DUBLIN.			Date NOV 1990
			Job No. 333/89

Title	PROPOSED LAYOUT OF SITES 3 TO 10 WESTON COURT	
Architect	DG & CO.	

DAVID GALBRAITH & COMPANY LTD.
 Civil & Structural Engineering & Planning Consultants
 45 Blessington Street, Dublin 7.
 Tel: 01-302609 Fax: 01-308221

Client	WESTON PROPERTIES LTD. 556 HOWTH ROAD, RAHENY, DUBLIN 5	Org. No.	333/91/25
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Note: This Drawing is Copyright.
Do Not Scale, Use Written Dimensions Only.
To Be Read In Conjunction With All Relevant
Drawings, Specifications, Building Regulations, etc
 PROPOSED LAYOUT
 DPC IN CAVITY WALL BETWEEN INNER & OUTER
 LEAFS AT ENDS & AROUND ALL OPES.
 PARTITIONS TO BE AS SPECIFIED OR TO BE AS
 AGREED BETWEEN BUILDER & MANUFACTURER OF
 CLONDALKIN PREFABRICATED DRY-LINED PARTITIONS

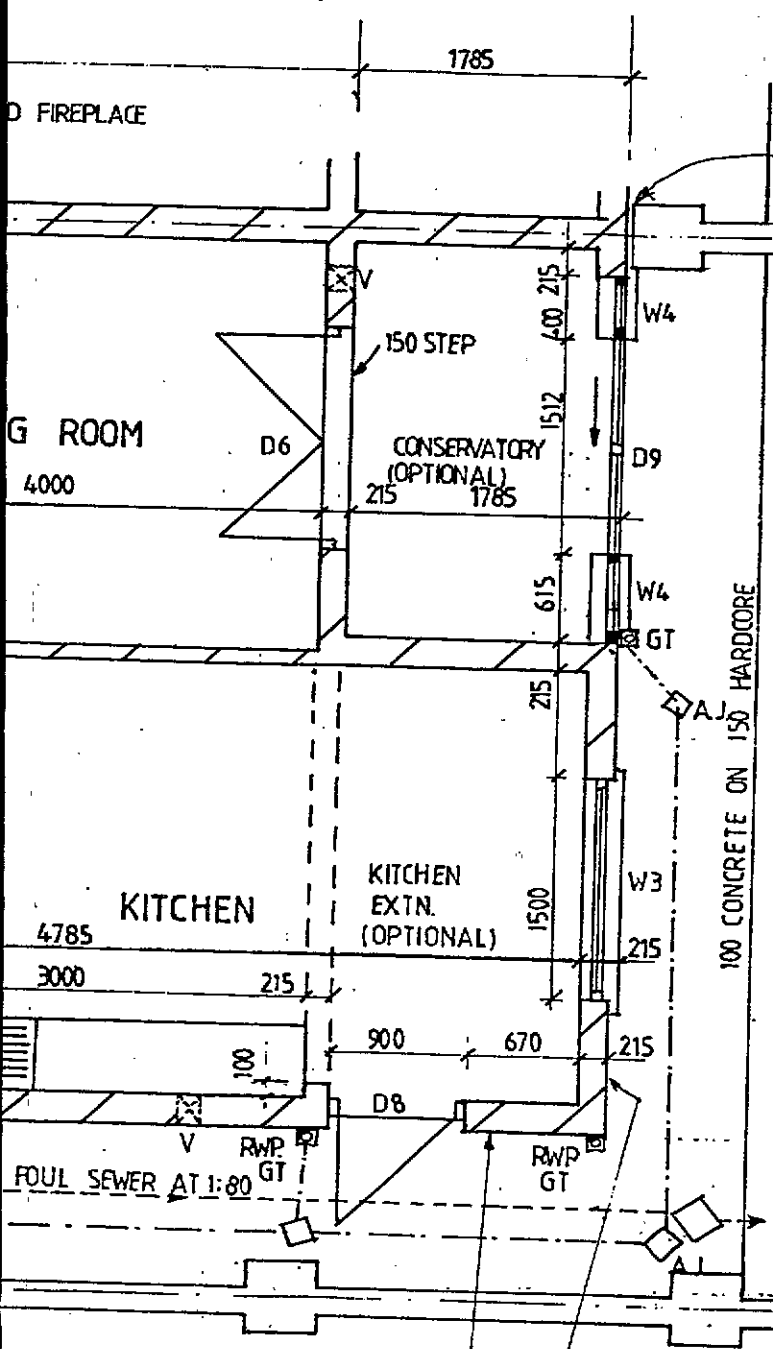


5 HOLLOW BLOCKWORK
 SMOOTH RENDER EXTERNALLY
 INSULATED DRY LINING INTERNALLY

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 7 JUN 1991
 REG No. 9120949
 APPLICATION TYPE O/P/A/BBL
 No. L D 5

Rev	Date	By	
Project			Scale 1:50
HOUSING AT WESTON PARK, LUCAN. CO. DUBLIN.			Drawn <i>Df</i>
			Date MAY 1991
			Job No. 333/89
Title			
HOUSE TYPE K4 FIRST FLOOR PLAN			
Architect			
DG & CO.			
DAVID GALBRAITH & COMPANY LTD			
Civil & Structural Engineering & Planning Consultants			
45 Blessington Street, Dublin 7.			
Tel: 01-302609		Fax: 01-308221	
Client			Drg.No.
WESTON PROPERTIES LTD. 556 HOWTH ROAD, RAHENY, DUBLIN 5.			333/91/32

Note: This Drawing is Copyright.
Do Not Scale, Use Written Dimensions Only.
To Be Read In Conjunction With All Relevant
Drawings, Specifications, Building Regulations, etc.
PROPOSED LAYOUT
D.P.C. IN CAVITY WALL BETWEEN INNER & OUTER
LEAFS AT ENDS & AROUND ALL OPES
ALL DIMENSIONS IN MILLIMETRES UNLESS NOTED.




BLOCK WALL 12m HIGH OR
 CONCRETE POST & TREATED
 TIMBER TO ENGINEERS APPROVAL.

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED

7 JUN 1991

REG No. 91A/09149
 APPLICATION TYPE O/P/A/BBL
 No. 1 D 8

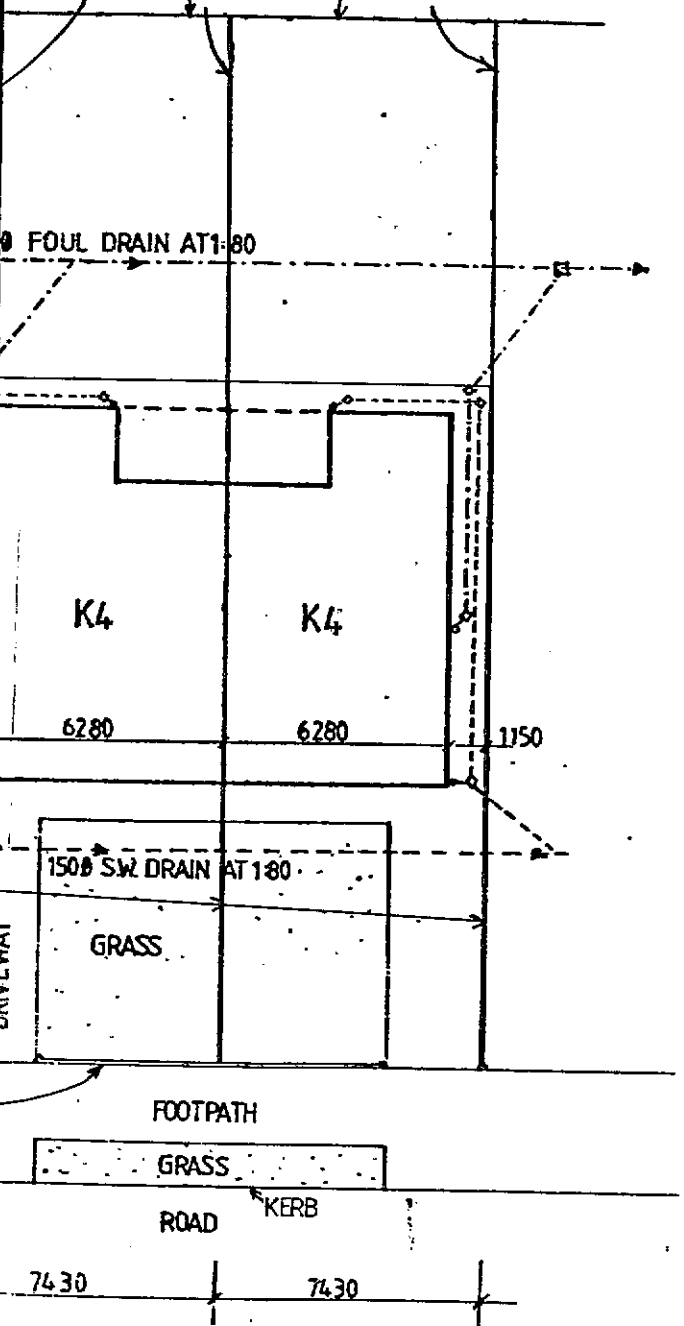
215 HOLLOW BLOCKWORK
 DASHED OR SMOOTH RENDER EXTERNALLY
 INSULATED DRY LINING INTERNALLY


Rev	Date	By	
Project			Scale 1:50
HOUSING AT WESTON PARK, LUCAN, CO. DUBLIN.			Drawn <i>DJ</i>
Title HOUSE TYPE K4 GROUND FLOOR PLAN			Date MAY 1991
Architect DG & CO.			Job No. 333/89
DAVID GALBRAITH & COMPANY LTD. Civil & Structural Engineering & Planning Consultants 45 Blessington Street, Dublin 7. Tel: 01-302609 Fax: 01-308221			
Client WESTON PROPERTIES LTD. 556 HOWTH ROAD, RAHENY, DUBLIN 5.			
			Drg.No. 333/91/31

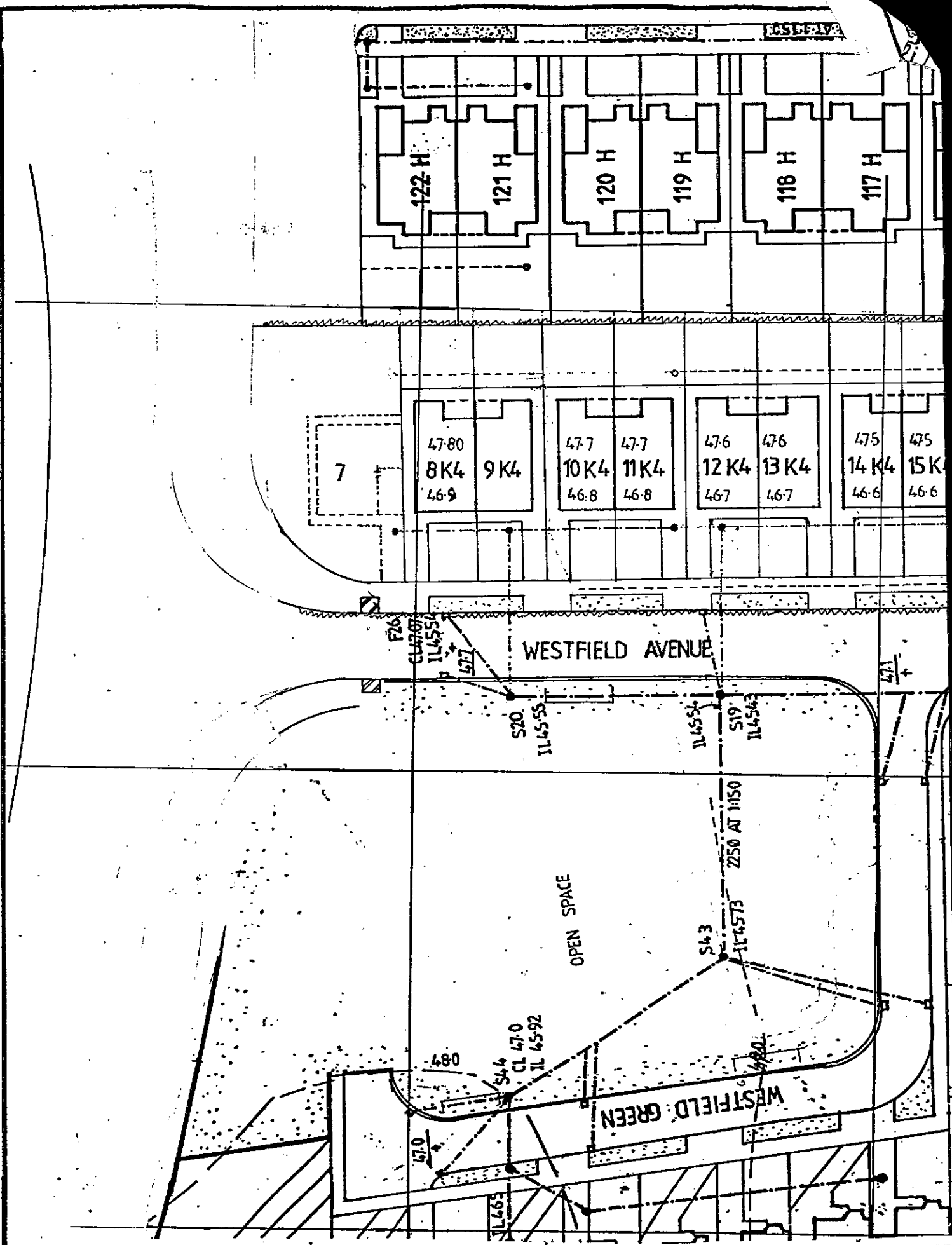
**Note: This Drawing is Copyright.
Do Not Scale, Use Written Dimensions Only.
To Be Read In Conjunction With All Relevant
Drawings, Specifications, Building Regulations, etc.
PROPOSED LAYOUT**

DUBLIN COUNTY COUNCIL
Planning Dept. Reg. Section
APPLICATION REF. 333/89
7 JUN 1991
REG No. 91A/0949
APPLICATION TYPE O/P/A/BBL
No. L D 5

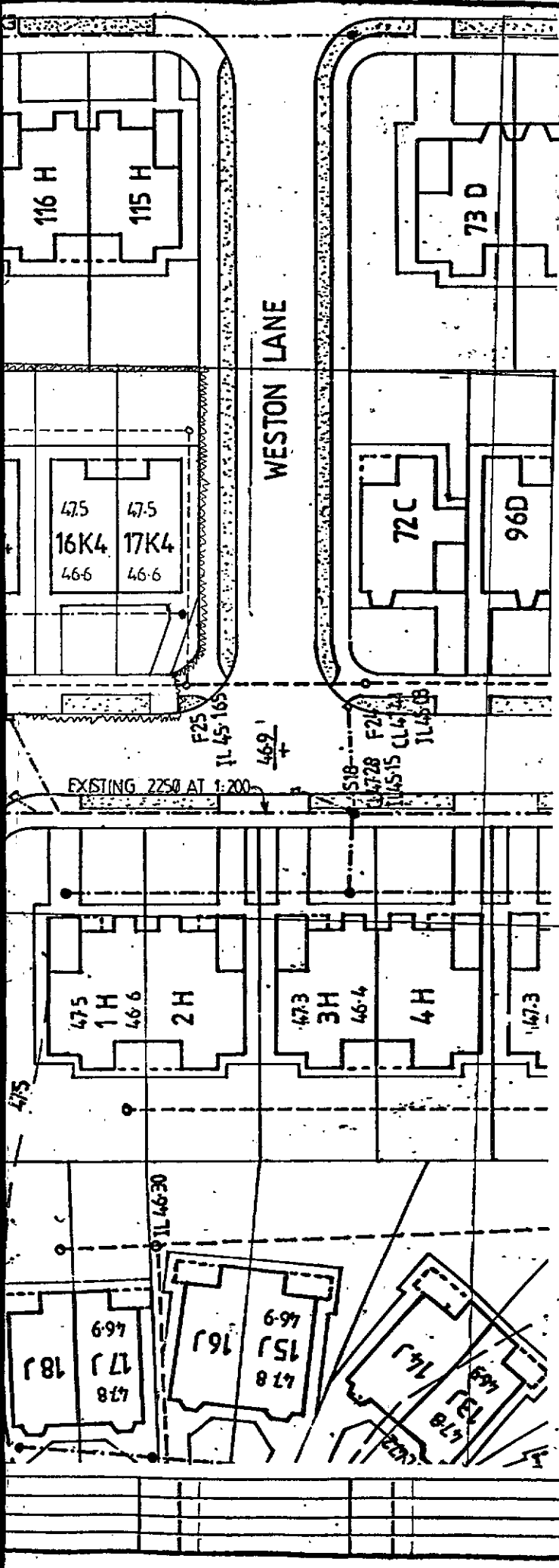
**LOCK WALL 1.2m HIGH OR CONCRETE POST & TREATED TIMBER
ENCING TO BUILDERS REQUIREMENTS. ENGINEERS WRITTEN APPROVAL
MUST BE OBTAINED BEFORE ERECTION**



Rev.	Date	By	
Project			Scale 1:200
HOUSING AT WESTON PARK LUCAN, CO. DUBLIN.			Drawn <i>DG</i>
Title HOUSE TYPE K4 SITE LAYOUT			Date MAY 1991
Architect DG & CO.			Job No. 333/89
DAVID GALBRAITH & COMPANY LTD. Civil & Structural Engineering & Planning Consultants 45 Blessington Street, Dublin 7. Tel: 01-302609 Fax: 01-308221			
Client WESTON PROPERTIES LTD. 556 HOWTH ROAD. RAHENY, DUBLIN 5.		Drg. No. 333/91/30	



ISSUED	2/20/21	FOR PLS. APPLICANT
	2/20/21	FOR PLS. APPLICANT



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 Do Not Scale, Use Written Dimensions Only.
 To Be Read In Conjunction With All Relevant
 Drawings, Specifications, Building Regulations, etc

SYMBOL	TITLE
	FINISHED FLOOR LEVEL HOUSE NUMBER / TYPE FOUNDATION BASE LEVEL (TO BE AGREED AFTER EXCAVATION)
	FOUL SEWER
	SURFACE WATER SEWER
	FOUL MANHOLE
	SURFACE WATER MANHOLE
	ROAD GULLY

DUBLIN CITY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED

7 JUN 1991

- NOTE:
1. ALL EXTERNAL HOUSE DRAINAGE TO BE 150 Ø MIN.
 2. MINIMUM GRADIENT 1:80 UNLESS NOTED OTHERWISE.
 3. COVER LEVELS TO MANHOLES MAY VARY DEPENDING ON FINISHED SURFACE LEVELS.

Rev	Date	By

Project
**HOUSING AT WESTON PARK,
 LUCAN, CO. DUBLIN.**

Scale 1:50
 Drawn *DG*
 Date MAY 1991
 Job No. 333/89

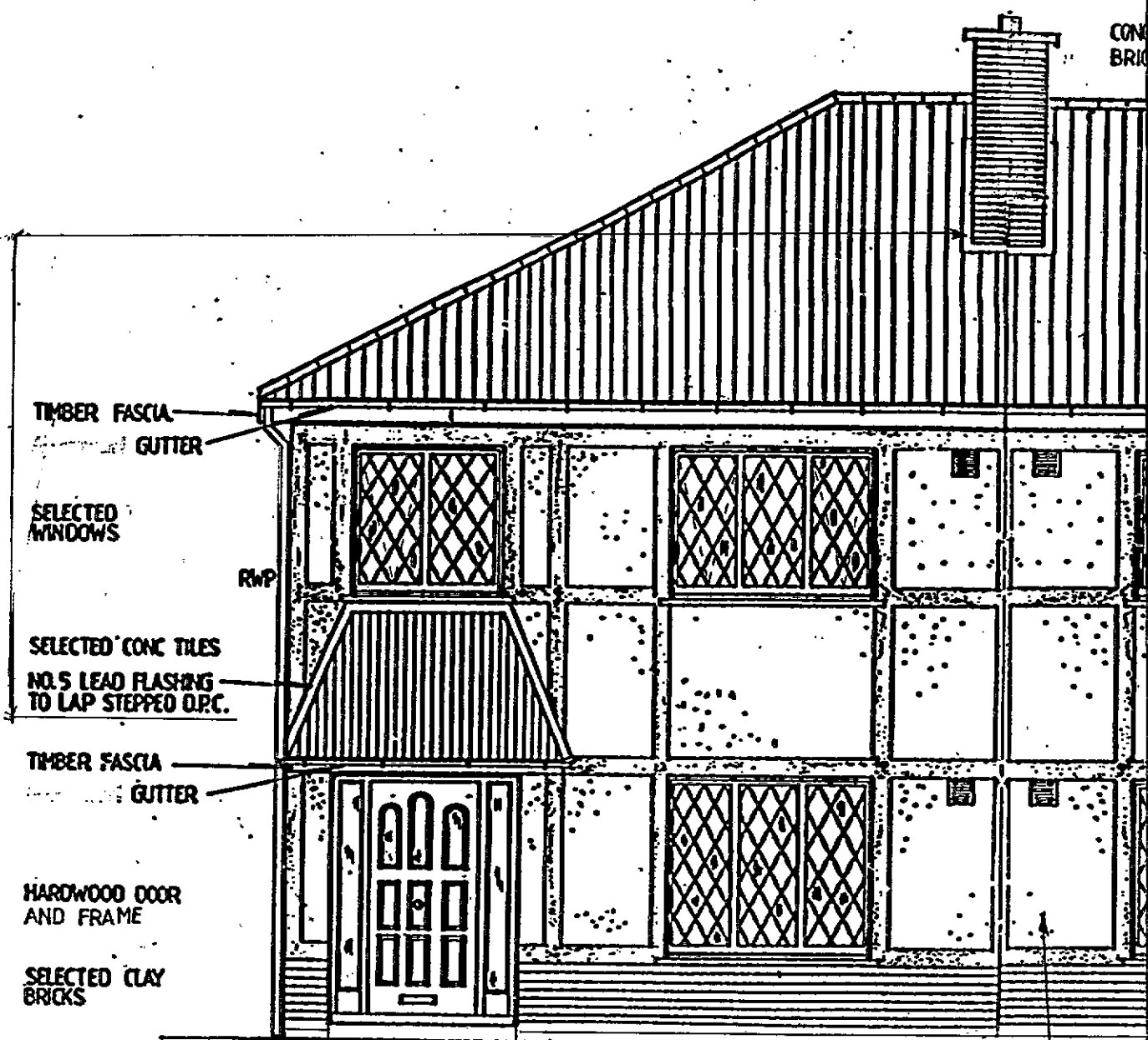
Title **PROPOSED LAYOUT OF
 SITES 7 TO 17 WESTFIELD AVENUE**

Architect **DG & CO.**

DAVID GALBRAITH & COMPANY LTD.
 Civil & Structural Engineering & Planning Consultants
 45 Blessington Street, Dublin 7.
 Tel: 01-302609 Fax: 01-308221

Client **WESTON PROPERTIES LTD.**
 556 HOWTH ROAD,
 RAHENY, DUBLIN 5.

Dwg No.
333/91/26



FRONT ELEVATION

ISSUED	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20

Note: This Drawing is Copyright.
Do Not Scale, Use Written Dimensions Only.
To Be Read In Conjunction With All Relevant
Drawings, Specifications, Building Regulations, etc
Proposed Layout
Selected Windows to be approved by DG & Co.

SELECTED BRICKWORK AND/OR RENDER

NOSLEAD FLASHING & D.P.C. ALL AROUND.
 STEPPED & LAPPED WITH FLASHING
 SELECTED CONCRETE ROOF TILES

BRICK OR SMALL CONCRETE TILE
 OVER SOLDIER COURSE

DUBLIN COUNTY COUNCIL
 Planning Dept Regional Section
 APPLICATION NO. 01A/0949

7 JUN 1991

REG No 01A/0949
 APPLICATION TYPE HOUSE
 NO. L.D. 2

PRECAST CONCRETE OR BRICK GILLS ON D.P.C.

SELECTED CONCRETE TILES

NOSLEAD FLASHING
 TO LAP STEPPED D.P.C.

TIMBER FASCIA TO DETAIL
 GUTTER

HARDWOOD DOOR

Rev. Date By

Project
 HOUSING AT WESTON PARK,
 LUCAN. CO. DUBLIN.

Scale 1:50
 Drawn By
 Date MAY.1991
 Job No. 333/89

Title HOUSE TYPE K4
 FRONT ELEVATION-BRICK



Architect DG & CO.

DAVID GALBRAITH & COMPANY LTD
 Civil & Structural Engineering & Planning Consultants
 45 Blessington Street, Dublin 7.

Tel: 01-302609 Fax: 01-308221

Client WESTON PROPERTIES LTD.
 556 HOWTH ROAD,
 RAHENY, DUBLIN 5.

Drg.No.
 333/91/33-2

Note: This Drawing is Copyright.
Do Not Scale. Use Written Dimensions Only.
To Be Read In Conjunction With All Relevant
Drawings, Specifications, Building Regulations, etc
Proposed Layout

PC LAPPED WITH FLASHING
 D FLASHING

SELECTED CONCRETE ROOF TILES

BRICK OR SMALL CONCRETE TILE
 OVER SOLDIER COURSE

TIMBER FASCIA TO DETAIL
 GUTTER

RWP

NO. 5 LEAD FLASHING


SELECTED CONCRETE ROOF TILES

TIMBER FASCIA TO DETAIL
 GUTTER

HARDWOOD DOORS & FRAMES
 METAL UP& OVER (DOOR OPTIONAL)

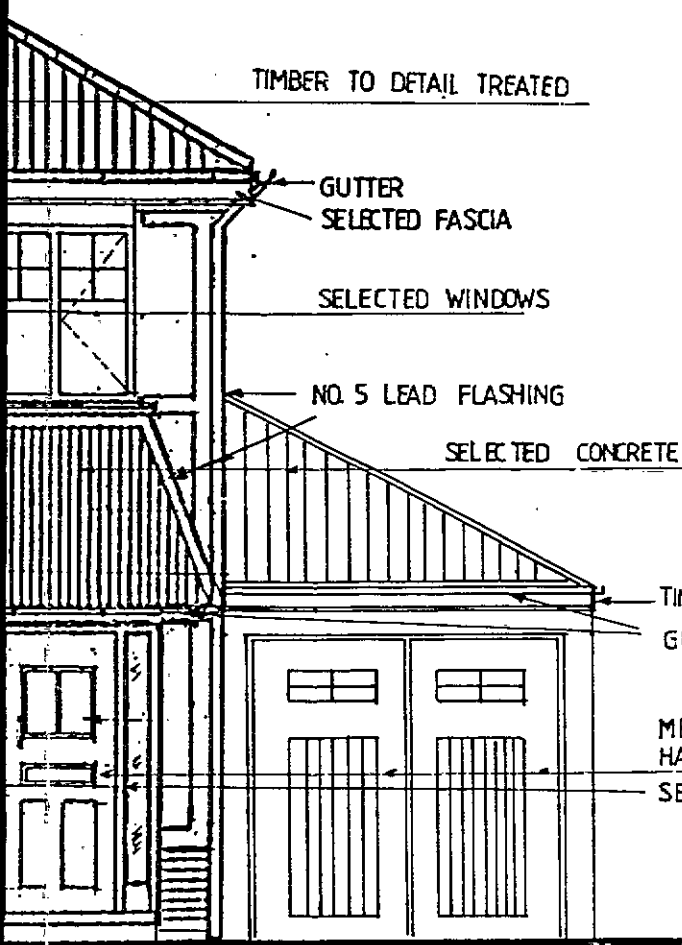
DPM.

DUBLIN COUNTY
 Planning Dept. Reg.
 APPLICATION #
 7 JUN 1991
 REG No. 91A/094a
 APPLICATION TYPE
 NO. 1 E

Rev	Date	By	
Project			Scale 1:50
HOUSING AT WESTON PARK.			Drawn <i>DG</i>
LUCAN, CO. DUBLIN.			Date MAY 1991
Title HOUSE TYPE K5			Job No. 333/89
FRONT ELEVATION - BRICK			
Architect DG & CO.			
DAVID GALBRAITH & COMPANY LTD.			
Civil & Structural Engineering & Planning Consultants			
45 Blessington Street, Dublin 7.			
Tel: 01-302609		Fax: 01-308221	
Client WESTON PROPERTIES LTD.			Org.No.
556 HOWTH ROAD.			333/91/432
RAHENY, DUBLIN 5.			

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 To Be Read In Conjunction With All Relevant
 Drawings, Specifications, Building Regulations, etc
 Proposed Layout

STEPED & LAPPED WITH FLASHING.
 CONCRETE ROOF TILES



TIMBER TO DETAIL TREATED

GUTTER
 SELECTED FASCIA

SELECTED WINDOWS

NO. 5 LEAD FLASHING

SELECTED CONCRETE ROOF TILES

TIMBER FASCIA TO DETAIL
 GUTTER


METAL UP & OVER DOOR (OPTIONAL)
 HARDWOOD DOORS & FRAMES

SELECTED WINDOWS

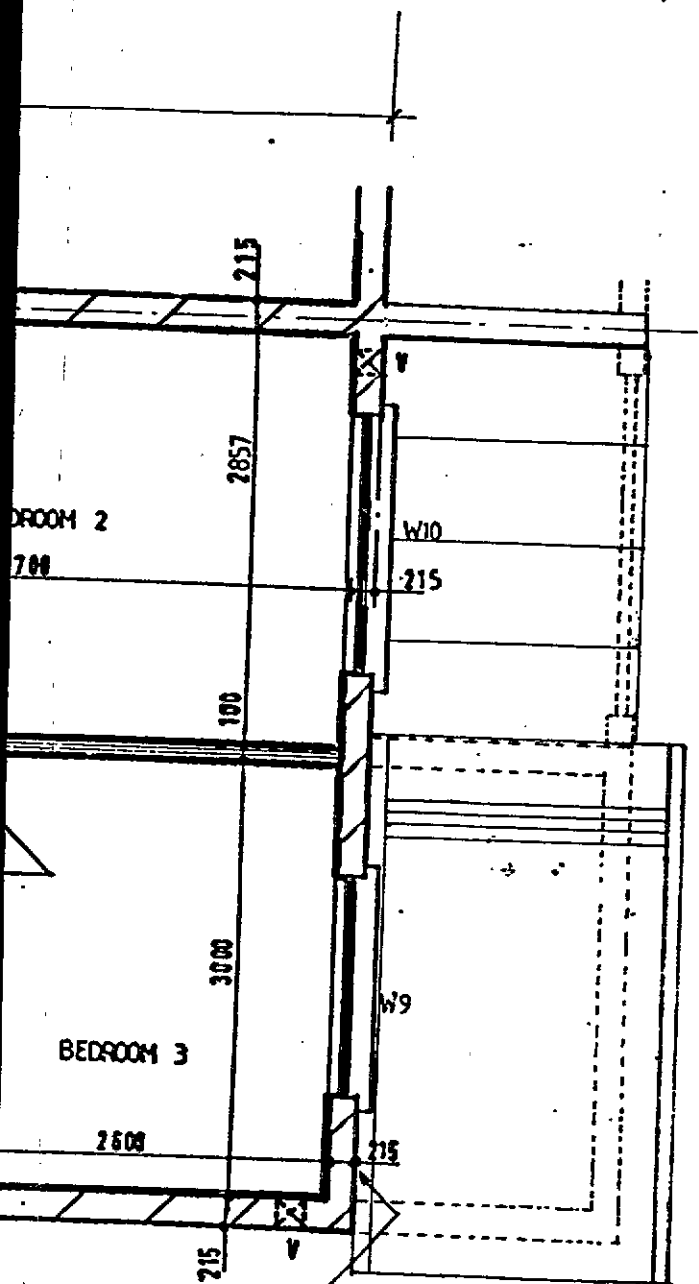
DUBLIN COUNTY CO.
 Planning Dept. Reg. S.P.
 APPLICATION REC

7 JUN 1991

REG No. 91A/094A
 APPLICATION TYPE O/P/A/B/B
 No. L D 8

Rev	Date	By	
Project			Scale 1:50
HOUSING AT WESTON PARK			Drawn <i>DG</i>
LUCAN, CO. DUBLIN.			Date MAY 1991
Title HOUSE TYPE K5			Job No. 333/89
FRONT ELEVATION - TUDOR.			
Architect DG & CO.			
DAVID GALBRAITH & COMPANY LTD.			
Civil & Structural Engineering & Planning Consultants			
45 Blessington Street, Dublin 7.			
Tel: 01-302609		Fax: 01-308221	
Client WESTON PROPERTIES LTD.			Org. No.
556 HOWTH ROAD,			333/91/43-1
RAHENY, DUBLIN 5.			

Note: This Drawing is Copyright.
Do Not Scale. Use Written Dimensions Only.
To Be Read In Conjunction With All Relevant
Drawings, Specifications, Building Regulations, etc
 PROPOSED LAYOUT
 DPC IN CAVITY WALL BETWEEN INNER & OUTER
 LEAFS AT ENDS & AROUND ALL OPES.
 PARTITIONS TO BE AS SPECIFIED OR TO BE AS
 AGREED BETWEEN BUILDER & MANUFACTURER OF
 CLONDAIKIN PREFABRICATED DRY LINED PARTITIONS

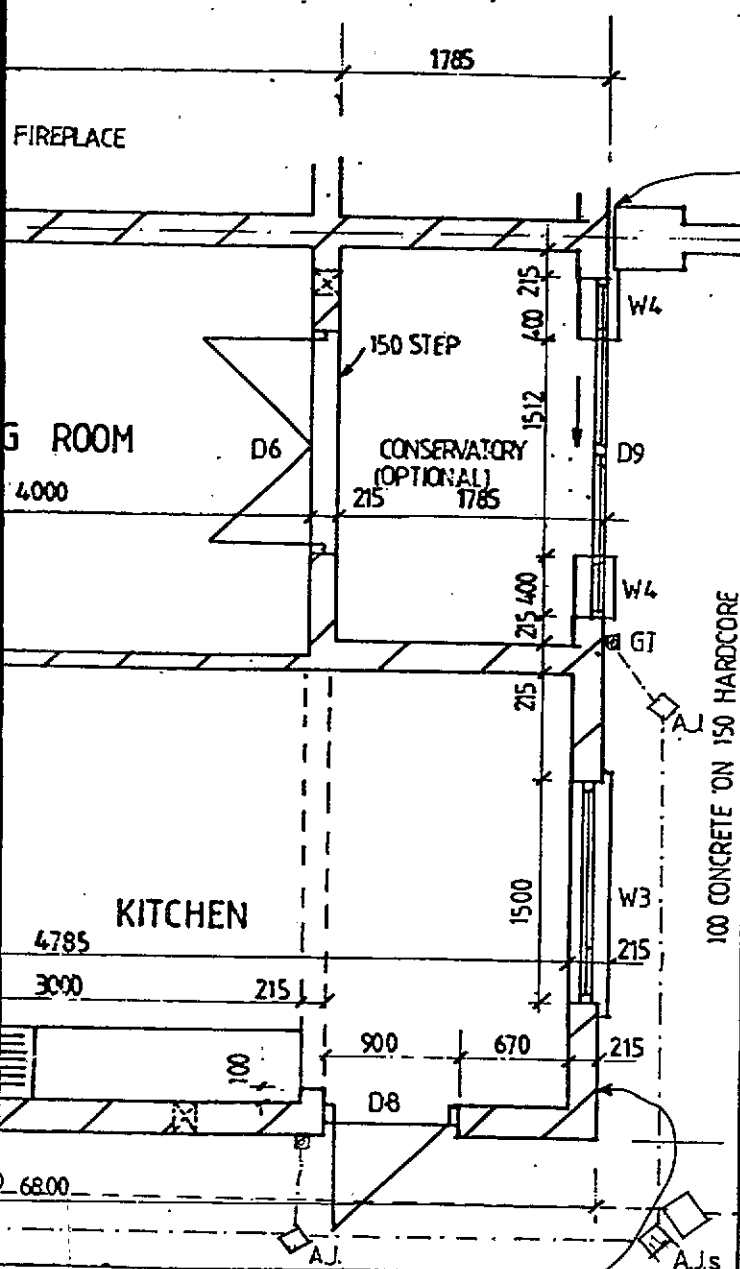


HOLLOW BLOCKWORK
 WITH RENDER EXTERNALLY
 PLATED DRY LINING INTERNALLY

DUBLIN COUNTY COUNCIL
 Planning Dept. Residential Section
 APPLICATION
 7 JUN 1991
 REG No. 91A/0442
 APPLICATION TYPE O/P/A/BB
 No. L D 3

Rev	Date	By	
Project			Scale 1:50
HOUSING AT WESTON PARK			Drawn <i>DJ</i>
LUCAN, CO. DUBLIN.			Date MAY 1991
Title HOUSE TYPE K5			Job No. 333/89
FIRST FLOOR PLAN			
Architect DG & CO.			
DAVID GALBRAITH & COMPANY LTD			
Civil & Structural Engineering & Planning Consultants			
45 Blessington Street, Dublin 7.			
Tel: 01-302609		Fax: 01-308221	
Client WESTON PROPERTIES LTD.			Drg.No.
556 HOWTH ROAD.			333/91/42.
RAHENY, DUBLIN 5.			

Note: This Drawing is Copyright.
Do Not Scale, Use Written Dimensions Only.
To Be Read In Conjunction With All Relevant
Drawings, Specifications, Building Regulations, etc.
PROPOSED LAYOUT
 D.P.C. IN CAVITY WALL BETWEEN INNER & OUTER
 LEAFS AT ENDS & AROUND ALL OPES.
 ALL DIMENSIONS IN MILLIMETRES UNLESS NOTED



20 EXPANSION JOINT

BLOCK WALL 12m HIGH OR
 CONCRETE POST & TREATED
 TIMBER TO ENGINEERS APPROVAL
 (ALL OPTIONAL)

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED

7 JUN 1991

REG. N. 91A/0949

APPLICATION NO.

100mm HOLLOW BLOCKWORK
 SMOOTH RENDER EXTERNALLY
 INSULATED DRY LINING INTERNALLY

12m HIGH
 POSTERS AT 3.5m CCS,
 CONCRETE POST & TREATED TIMBER
 TO ENGINEERS APPROVAL (ALL OPTIONAL)

Rev.	Date	By

Project
**HOUSING AT WESTON PARK,
 LUCAN, CO. DUBLIN.**

Scale 1:50
 Drawn *DG*
 Date MAY 1991
 Job No. 333/89

Title **HOUSE TYPE K5
 GROUND FLOOR PLAN**

Architect **DG & CO.**



DAVID GALBRAITH & COMPANY LTD
 Civil & Structural Engineering & Planning Consultants
 45 Blessington Street, Dublin 7.
 Tel: 01-302609 Fax: 01-308221

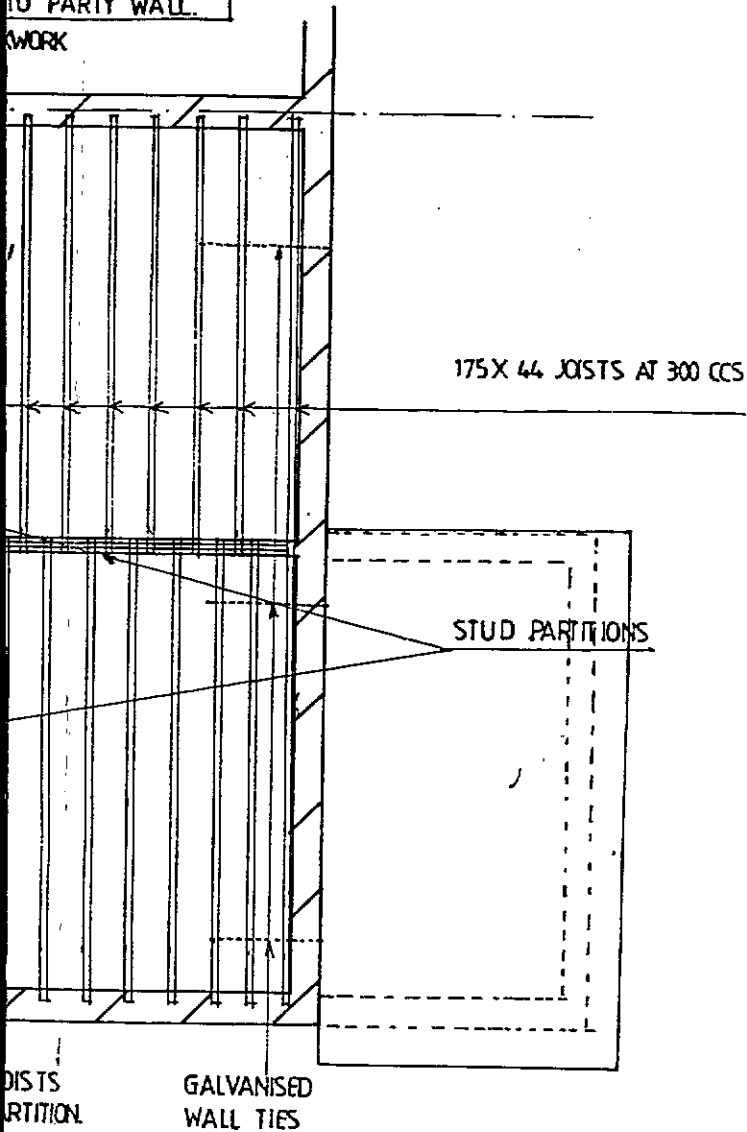
Client **WESTON PROPERTIES LTD.**
 556 HOWTH ROAD,
 RAHENY, DUBLIN 5.

Drg. No.
333/91/41

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Do Not Scale, Use Written Dimensions Only.
To Be Read In Conjunction With All Relevant
Drawings, Specifications, Building Regulations, etc

PROPOSED LAYOUT
 JOISTS TO BE DOUBLED UNDER ALL PARTITIONS
 RUNNING PARALLEL TO SPAN
 BLOCK WALLS UNDER SHOWN DOTTED
 TIMBER TO BE IMPORTED GRADE G.S.
 FIRE SEPERATION OF 1 HOUR TO BE PROVIDED
 BETWEEN TIMBERS BUILT INTO PARTY WALL.
 WALLPLATES BOLTED TO WALL AT MAX 1.0 M CCS


SEPERATION BETWEEN
 TO PARTY WALL.
 WORK



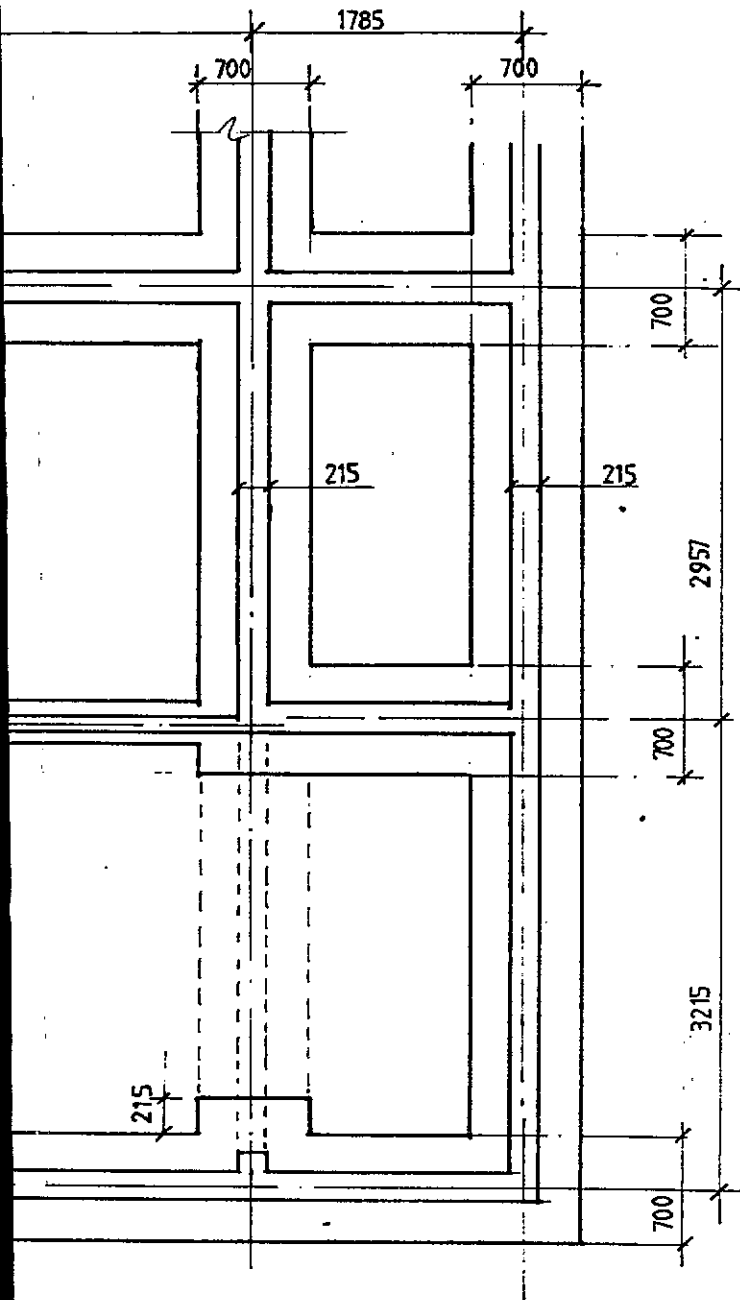
DUBLIN COUNTY COUNCIL
 Dept. Registry Sect
 APPLICATION RECEIVED

7 JUN 1991

REG. NO. 91A094A
 APPLICATION TYPE O/P/A/BBL
 NO L D S

Rev.	Date	By	
Project			Scale 1:50
HOUSING AT WESTON PARK, LUCAN, CO. DUBLIN.			Drawn <i>DG</i>
			Date MAY 1991
			Job No. 333/89
Title			
HOUSE TYPE K4 FIRST FLOOR JOIST LAYOUT			
Architect			
DG & CO.			
DAVID GALBRAITH & COMPANY LTD.			
Civil & Structural Engineering & Planning Consultants			
45 Blessington Street, Dublin 7.			
Tel: 01-302609		Fax: 01-308221	
Client			Drq.No.
WESTON PROPERTIES LTD. 556 HOWTH ROAD, RAHENY, DUBLIN 5.			333/91/38

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Do Not Scale, Use Written Dimensions Only.
To Be Read In Conjunction With All Relevant
Drawings, Specifications, Building Regulations, etc
 CONCRETE GRADE 20N40
 RISING WALLS TO BE SOLID BLOCKWORK
 DEPTH & REINFORCEMENT TO BE DETERMINED &
 CONFIRMED WITH ENGINEERS WHEN EXCAVATION
 WORKS COMPLETE.

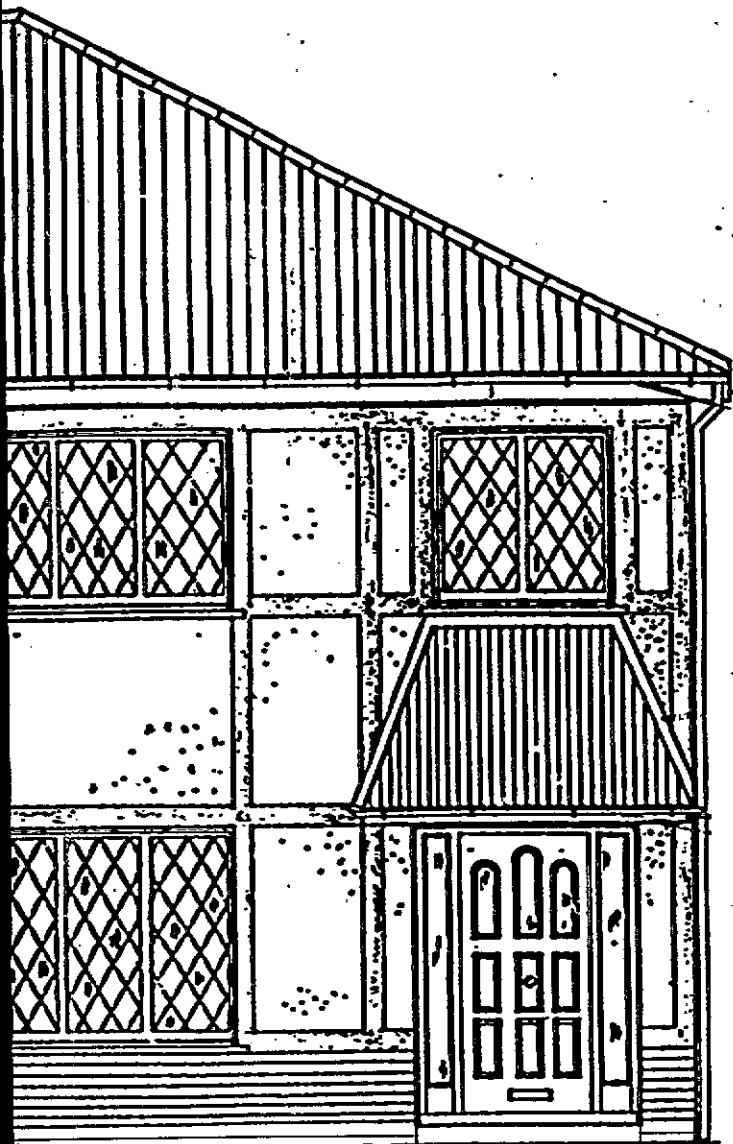


DUBLIN COUNTY COUNCIL
 Planning Dept Registry Section
 APPLICATION RECEIVED
 7 JUN 1991
 REG. NO. 91A0949
 APPLICATION TYPE DUP/ACC
 NO. L.D.S.

Rev	Date	By	
Project			Scale 1:50
HOUSING AT WESTON PARK			Drawn <i>DG</i>
LUCAN, CO. DUBLIN.			Date MAY 1991
Title HOUSE TYPE K4			Job No. 333/89
FOUNDATION PLAN.			
Architect DG & CO.			
DAVID GALBRAITH & COMPANY LTD			
Civil & Structural Engineering & Planning Consultants			
45 Blessington Street, Dublin 7.			
Tel: 01-302609		Fax: 01-308221	
Client WESTON PROPERTIES LTD.			Org.No.
556 HOWTH ROAD,			333/91/37
RAHENY, DUBLIN 5.			

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To Be Read In Conjunction With All Relevant
Drawings, Specifications, Building Regulations, etc
Proposed Layout**

OR BRICKWORK



TAIL

K4

DUBLIN COUNTY COUNCIL
Planning Dept Registry Section
APPLICATION RECEIVED
7 JUN 1991
REG No. 91A/0940
APPLICATION TYPE C/P/A/R
NO. 1. E. 2

Rev	Date	By	
Project			Scale 1:50
HOUSING AT WESTON PARK, LUCAN, CO. DUBLIN.			Drawn DF
			Date MAY 1991
			Job No. 333/89
Title			
HOUSE TYPE K5 FRONT ELEVATION - TUDOR			
Architect			
DG & CO.			
DAVID GALBRAITH & COMPANY LTD.			
Civil & Structural Engineering & Planning Consultants			
45 Blessington Street, Dublin 7.			
Tel: 01-302609		Fax: 01-308221	
Client			Dwg. No.
WESTON PROPERTIES LTD. 556 HOWTH ROAD, RAHENY, DUBLIN 5.			333/91/43-3

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To Be Read In Conjunction With All Relevant
Drawings, Specifications, Building Regulations, etc
PROPOSED LAYOUT

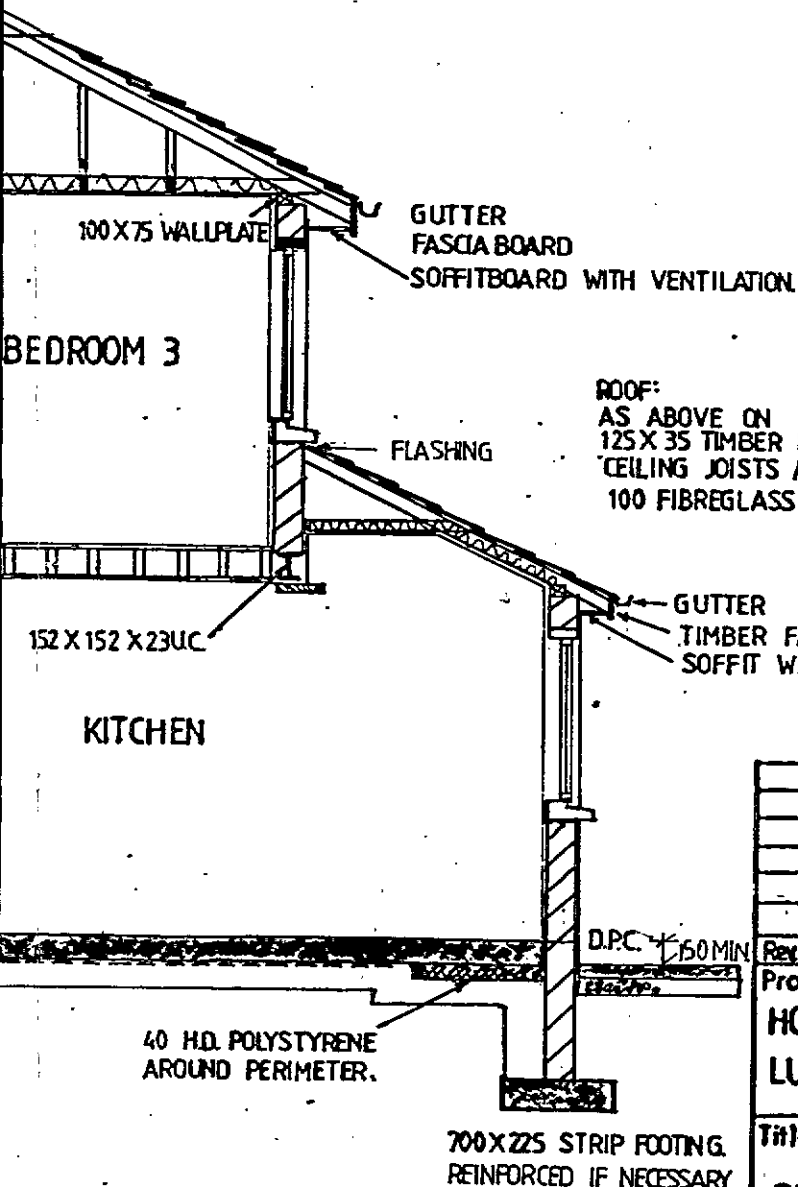
ROOF:

CONCRETE ROOF TILES ON
 38 X 38 BATTENS ON SARKING FELT ON
 PREFABRICATED ROOF TRUSSES TO IS.193
 100 mm FIBREGLASS INSULATION.

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED

7 JUN 1991

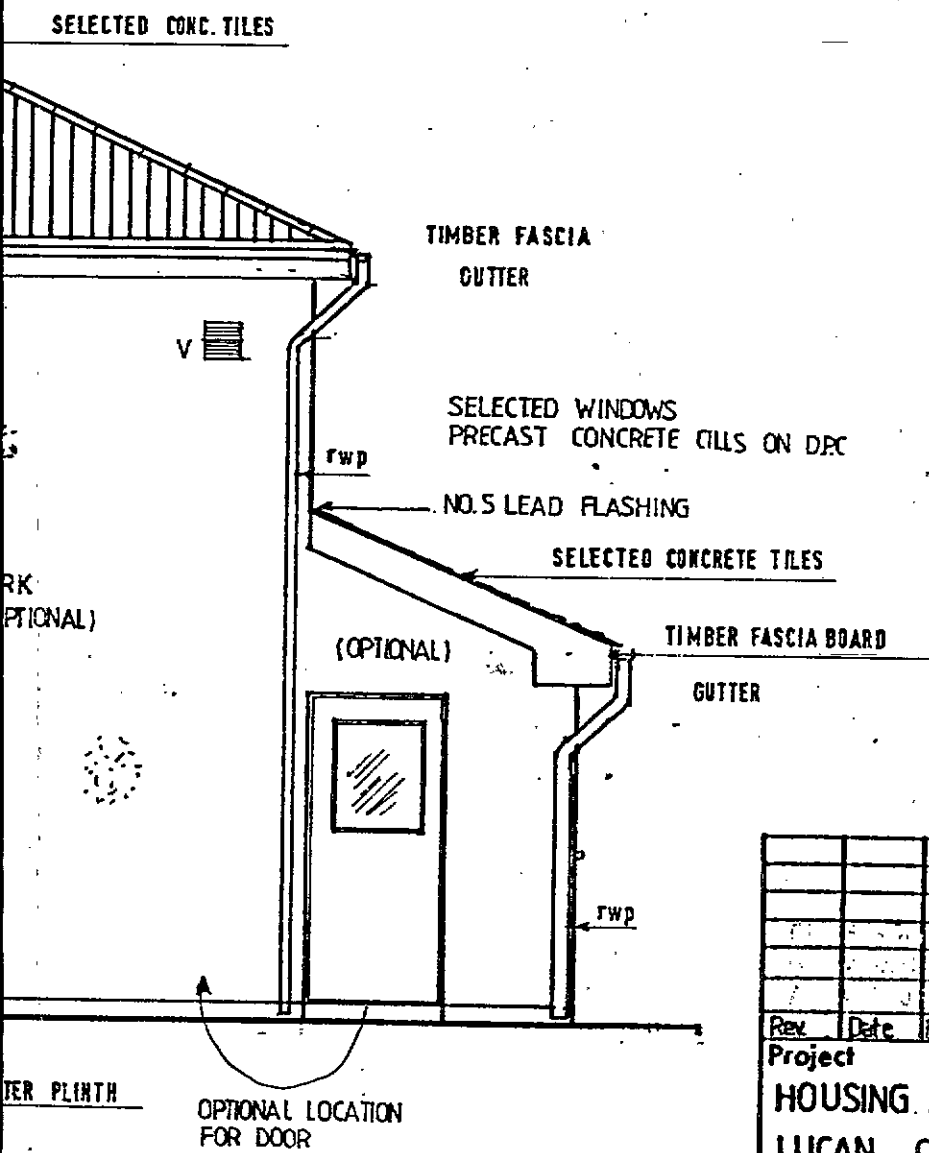
REG No. 91A/0949
 APPLICATION TYPE O/P/A/BB/
 NO. L D 3



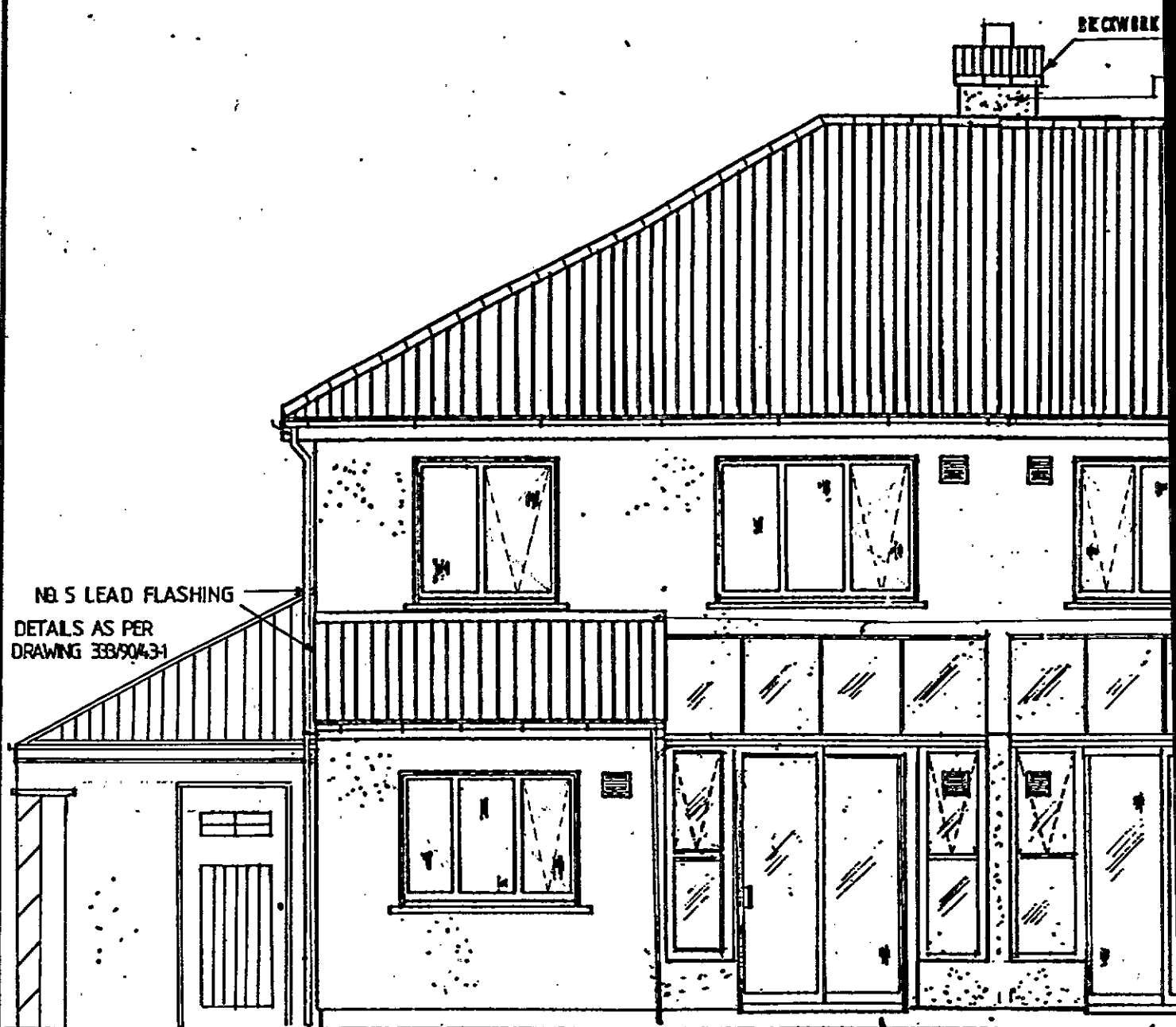
Rev	Date	By	
Project			Scale 1:50
HOUSING AT WESTON PARK, LUCAN. CO. DUBLIN.			Drawn <i>DG</i>
			Date MAY. 1991
			Job No. 333/89
Title HOUSE TYPE K5 SECTION C-C			
Architect DG & CO.			
DAVID GALBRAITH & COMPANY LTD Civil & Structural Engineering & Planning Consultants 45 Blessington Street, Dublin 7. Tel: 01-302609 Fax: 01-308221			
Client WESTON PROPERTIES LTD. 556 HOWTH ROAD, RAHENY, DUBLIN 5.			Drg.No. 333/91/46

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To Be Read In Conjunction With All Relevant
Drawings, Specifications, Building Regulations, etc.
PROPOSED LAYOUT.
SELECTED WINDOWS TO BE APPROVED BY DG&CO**

DUBLIN COUNTY D.C.
Planning Dept. Registr.
APPLICATION REC'D
7 JUN 1991
REG No. 91A/0949
APPLICATION TYPE: ...
NO. 1 E



Rev.	Date	By	
Project			Scale 1:50
HOUSING AT WESTON PARK, LUCAN, CO. DUBLIN.			Drawn <i>DG</i>
Title			Date MAY. 1991
HOUSE TYPE K5 SIDE ELEVATION			Job No. 333/89
Architect			
DG & CO.			
DAVID GALBRAITH & COMPANY LTD			
Civil & Structural Engineering & Planning Consultants			
45 Blessington Street, Dublin 7.			
Tel: 01-302609		Fax: 01-308221	
Client			Drg No.
WESTON PROPERTIES LTD. 556 HOWTH ROAD, RAHENY, DUBLIN 5.			333/91/45



BLOCKWORK

NO. 5 LEAD FLASHING
 DETAILS AS PER
 DRAWING 333/90431

GUTTER & FASCIA NO SOFFITBOARD HARDWOOD DOOR & FRAME. RENDERED BLOCKWORK DASHED FINISH (OPTIONAL) RWP OPTIONAL CONSERVATORIES

ISSUED	DATE	BY	NO.	REVISIONS
	1994-10-01	J. J. J.	1	ISSUED FOR CONSTRUCTION

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To Be Read In Conjunction With All Relevant
Drawings, Specifications, Building Regulations, etc.
Proposed Layout
KITCHEN WINDOW W3 TO BE ADJUSTED IN SIZE
IF NECESSARY TO SUIT OPTIONAL INT. LAYOUT

WITH D.P.C. UNDER
SMOOTH RENDER OR
BRICKWORK

DUBLIN COUNTY COUNCIL
 Planning Dept. Reg. No.
 APPLICATION #
 7 JUN 1991
 REG No 91A/0949
 APPLICATION N.



SELECTED CONCRETE TILES

TIMBER FASCIA
 GUTTER

SELECTED
 WINDOWS.
 PRECAST CONCRETE CILLS ON D.P.C.

NO 5 LEAD FLASHING.

SELECTED CONCRETE ROOF TILES

TIMBER FASCIA
 GUTTER

RWP

Rev	Date	By	
Project			Scale 1:50
HOUSING AT WESTON PARK, LUCAN, CO. DUBLIN.			Drawn <i>DG</i>
			Date MAY 1991.
			Job No. 333/89
Title HOUSE TYPE K5 REAR ELEVATION.			
Architect DG & CO.			
DAVID GALBRAITH & COMPANY LTD Civil & Structural Engineering & Planning Consultants 45 Blessington Street, Dublin 7. Tel: 01-302609 Fax: 01-308221			
Client WESTON PROPERTIES LTD. 556 HOWTH ROAD, RAHENY, DUBLIN 5.			Dwg. No. 333/91/44

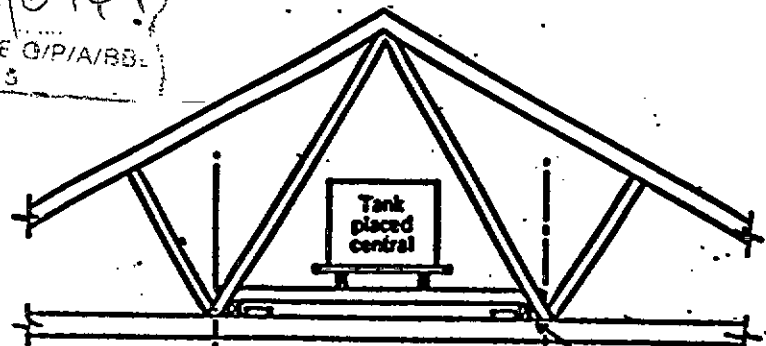
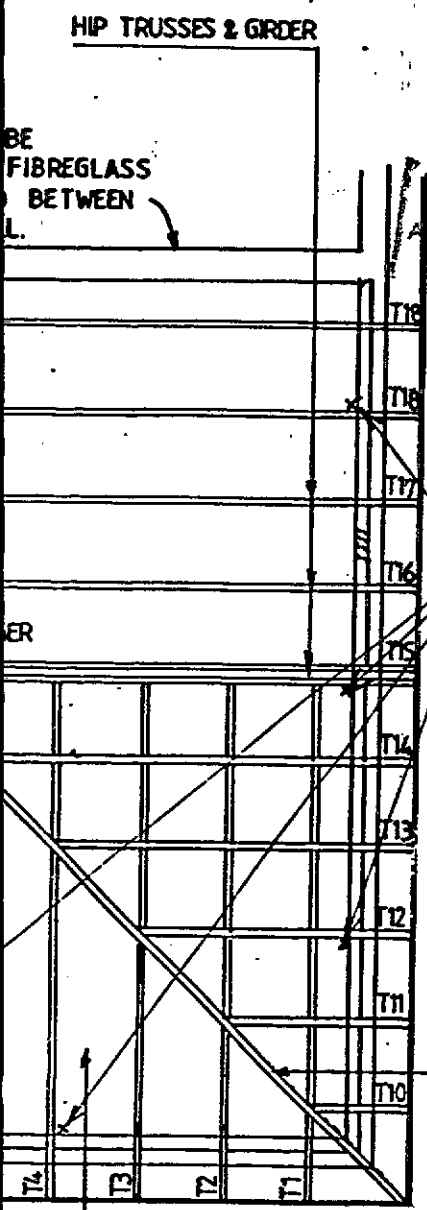
Note: This Drawing is Copyright.
Do Not Scale. Use Written Dimensions Only.
To Be Read In Conjunction With All Relevant
Drawings, Specifications, Building Regulations, etc
Proposed Layout

ROOF TO BE DESIGNED IN ACCORDANCE WITH
IS. 193 BY TRUSS MANUFACTURER.

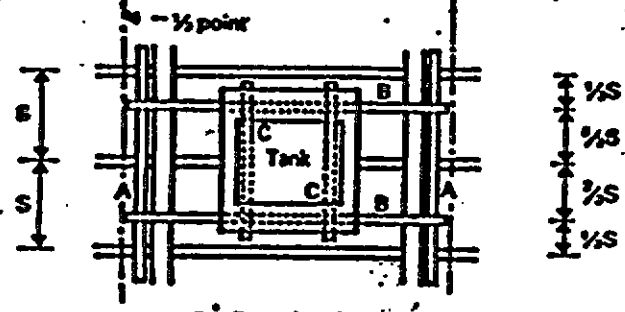
DUBLIN COUNTY COUNCIL
 Planning Dept Registry Section
 APPLICATION RECEIVED

7 JUN 1991

REG No 91A/0949
 APPLICATION TYPE G/P/A/R/B/L
 No. D. 3



Bearer 'A' placed as close to 1/2 point as possible



S = Truss spacing

TYPICAL DETAIL FOR WATER TANK.

HIPPED CORNER INFILL

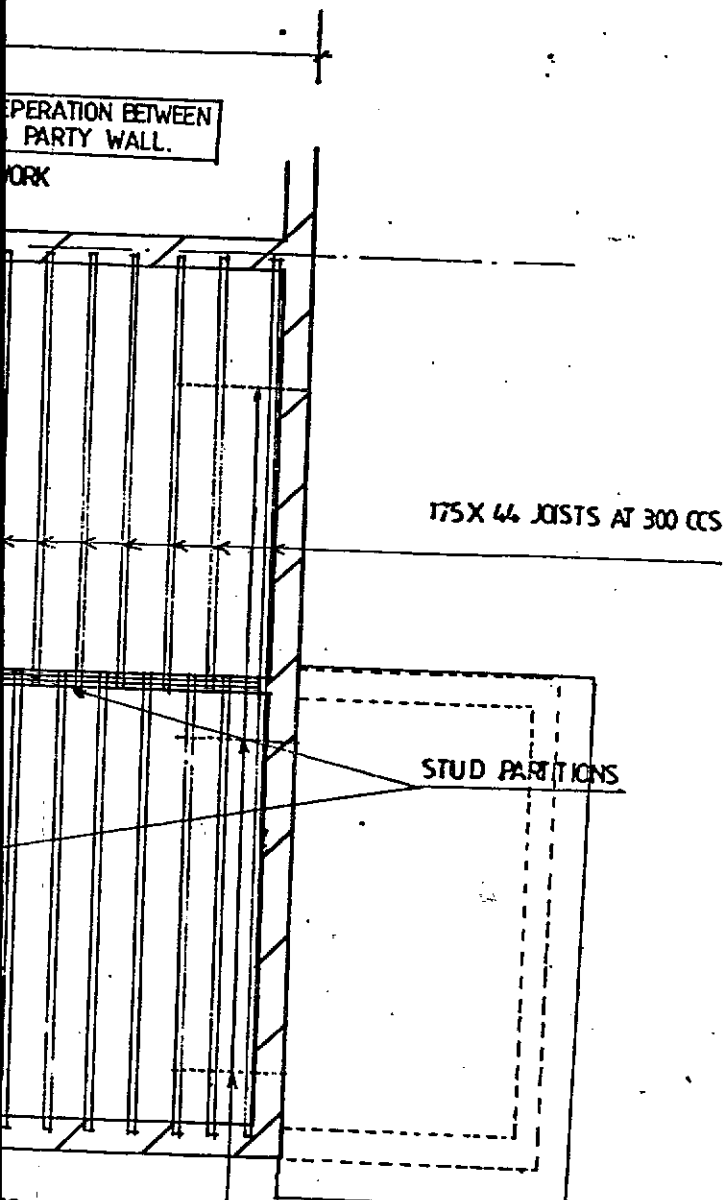
Rev.	Date	By	
Project			Scale 1:50
HOUSING AT WESTON PARK, LUCAN, CO. DUBLIN.			Drawn Of.
			Date MAY 1991
			Job No. 333/89
Title			
HOUSE TYPE K5 ROOF TRUSS LAYOUT			
Architect			
DG & CO.			
DAVID GALBRAITH & COMPANY LTD			
Civil & Structural Engineering & Planning Consultants			
45 Blessington Street, Dublin 7.			
Tel: 01-302609		Fax: 01-308221	
Client			Dr. No.
WESTON PROPERTIES LTD. 556 HOWTH ROAD, RAHENY, DUBLIN 5.			333/91/49.

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Do Not Scale, Use Written Dimensions Only.
To Be Read In Conjunction With All Relevant
Drawings, Specifications, Building Regulations, etc.

PROPOSED LAYOUT
JOISTS TO BE DOUBLED UNDER ALL PARTITIONS
RUNNING PARALLEL TO SPAN
BLOCK WALLS UNDER SHOWN DOTTED
TIMBER TO BE IMPORTED GRADE G.S.
FIRE SEPERATION OF 1 HOUR TO BE PROVIDED
BETWEEN TIMBERS BUILT INTO PARTY WALL.
WALLPLATES BOLTED TO WALL AT MAX. 1.0M CCS.

SEPERATION BETWEEN
PARTY WALL.

WORK



175X 44 JOISTS AT 300 CCS

STUD PARTITIONS

GALVANISED
WALL TIES

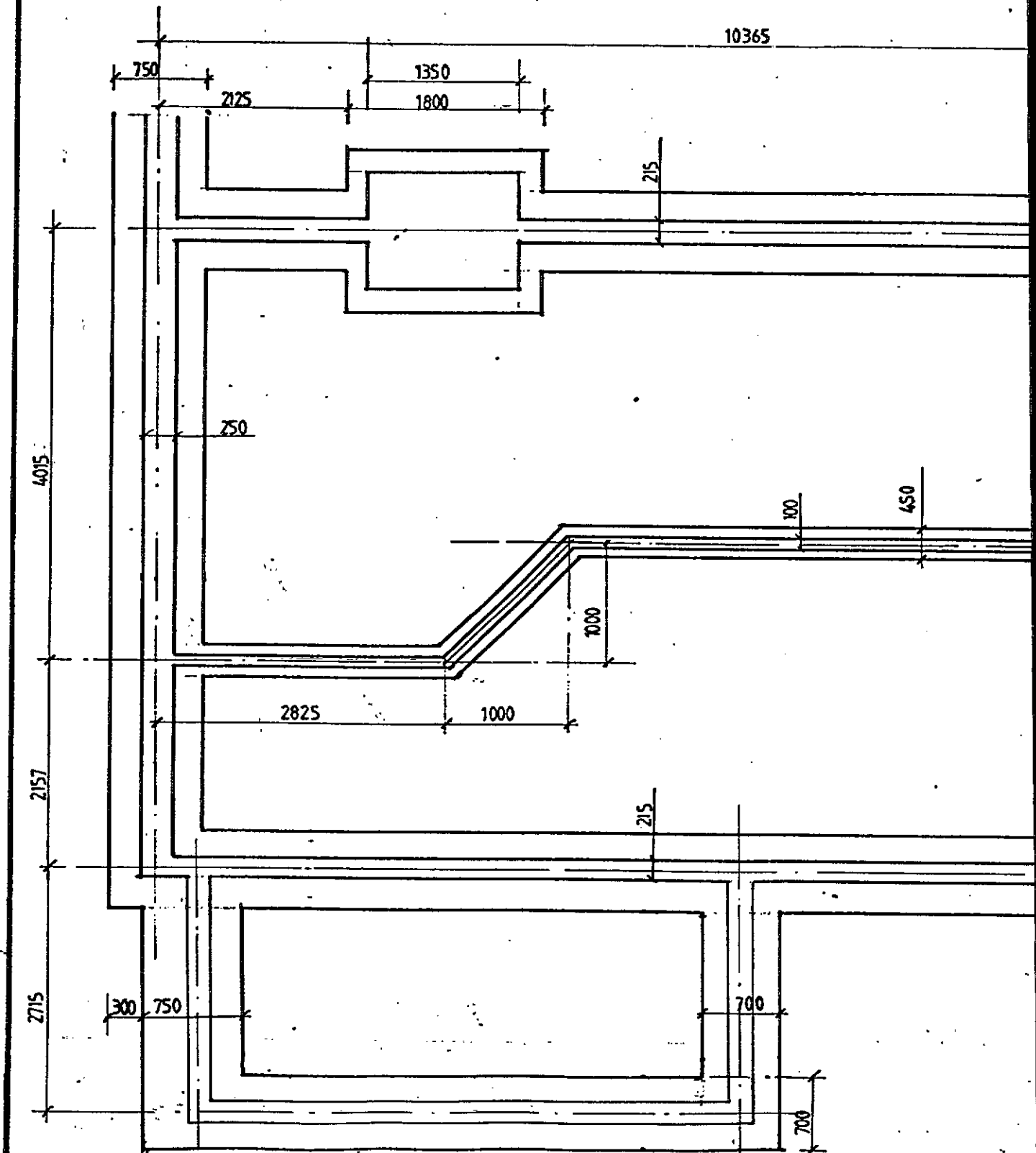
DUBLIN COUNTY COUNCIL
 Planning Dept Registry Section
 APPLICATION RECEIVED

7 JUN 1991

91A/0949

REG NO
 APPLICATION

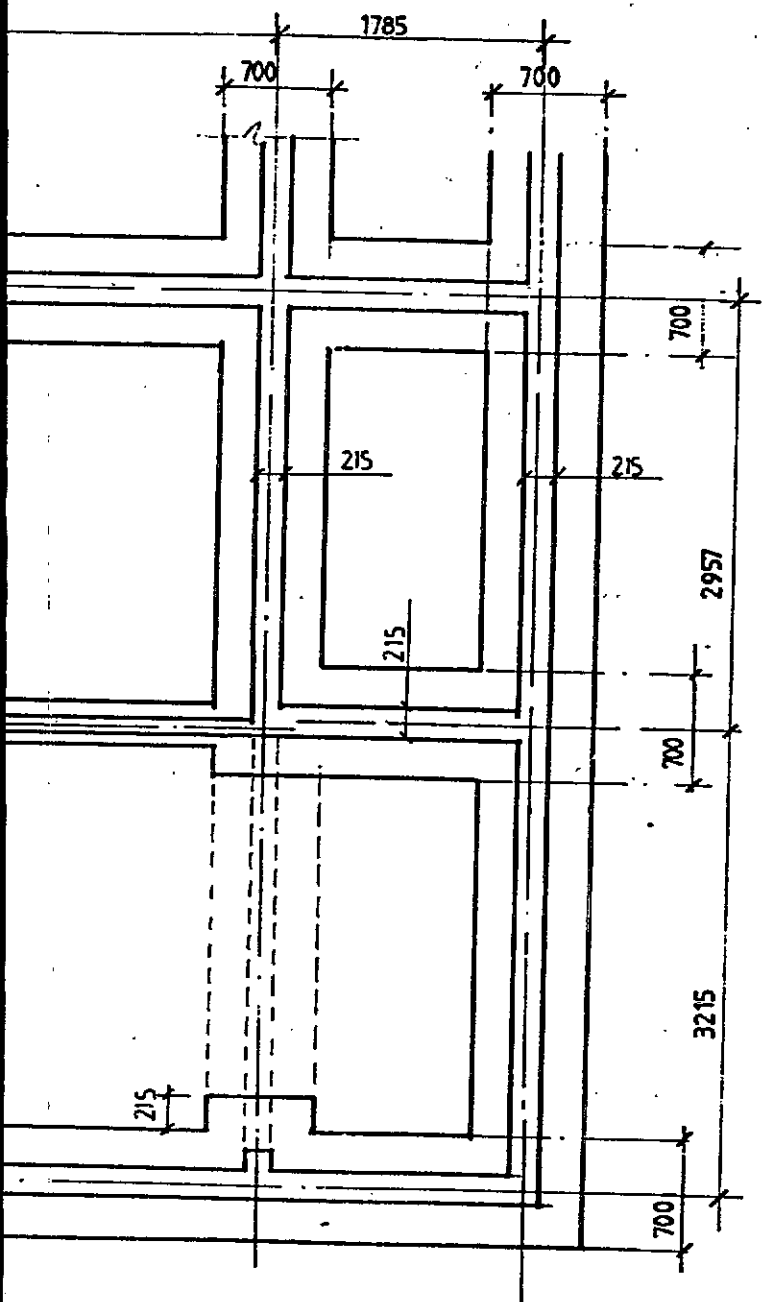
Rev	Date	By	
Project			Scale 1:50
HOUSING AT WESTON PARK, LUCAN, CO. DUBLIN.			Drawn <i>DJ</i>
			Date MAY 1991
			Job No. 333/89
Title			
HOUSE TYPE K5 FIRST FLOOR JOIST LAYOUT			
Architect			
DG & CO.			
DAVID GALBRAITH & COMPANY LTD			
Civil & Structural Engineering & Planning Consultants			
45 Blessington Street, Dublin 7.			
Tel: 01-302609		Fax: 01-308221	
Client	WESTON PROPERTIES LTD. 556 HOWTH ROAD, RAHENY, DUBLIN 5.		Dwg. No. 333/91/48



ISSUED
 1954 - DEC 12 1954
 1954 - 1954

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 To Be Read In Conjunction With All Relevant
 Drawings, Specifications, Building Regulations, etc.**

CONCRETE GRADE 20N40
 RISING WALLS TO BE SOLID BLOCKWORK
 DEPTH & REINFORCEMENT TO BE DETERMINED
 ON SITE WHEN EXCAVATION WORKS COMPLETE.



DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED

7 JUN 1991

REG No 91A/0949
 APPLICATION TYPE

Rev	Date	By	
Project			Scale 1:50
HOUSING AT WESTON PARK, LUCAN. CO. DUBLIN.			Drawn <i>DJ</i>
			Date MAY 1991
			Job No. 333/89
Title			
HOUSE TYPE K5 FOUNDATION PLAN.			
Architect			
DG & CO.			
DAVID GALBRAITH & COMPANY LTD			
Civil & Structural Engineering & Planning Consultants			
45 Blessington Street, Dublin 7.			
Tel: 01-302609		Fax: 01-308221	
Client			Drg No.
WESTON PROPERTIES LTD. 556 HOWTH ROAD, RAHENY, DUBLIN 5.			333/91/47

David Galbraith & Company Ltd. 45 Blessington Street, Dublin 7.
Planning & Engineering Consultants. Fax 353-1-308221 Tel. 353-1-302609

DUBLIN COUNTY COUNCIL
Planning Dept. Reg. No. 914/0949
APPLICATION

7 JUN 1991

REG. NO. 914/0949
APPLICATION TYPE D/P/AV/CE
No. L D 3

Specification

for

Houses types A, B, C, D, H, H1, H2, J, J1, K, K1, K2, K3, K4, K5, L

at

Weston Park, Lucan, Co. Dublin.

for

Weston Properties Ltd.

Drawings and Specifications prepared by :-

David Galbraith & Company Ltd.,
45 Blessington Street,
Dublin 7.

Fax: 01-308221

Tel: 01-302609

May 1991.

INTRODUCTION

The works shall comply with:-

- (a) Relevant Irish Standard Specification (I.S.) or British Standard Specification where there is no Irish equivalent, or Provisional Specifications as above.
- (b) Proposed Building Regulations.
- (c) Local Authority Bye-Laws, regulations or requirements.
- (d) The regulations and requirements of Public Utilities (e.g. E.S.B., Posts and Telegraphs, Gas undertakings).
- (e) Accepted Codes of Practice.
- (f) Requirements of the Department of the Environment.

EXCAVATION AND SUB-STRUCTURES

Site

The site shall be adequately drained and have no features likely to render the house unstable or uninhabitable.

Preparing site

Clear and grade site for new building and remove or divert existing drains as required. The entire site of buildings and paved areas shall be clear of all vegetable soil to a depth of at least 150 mm. Where the bearing quality of the ground is suspect special care shall be taken in the design of the foundations.

Excavation

The trenches shall be excavated to the depths and widths required to accommodate foundations or to such further depths or widths as may be necessary to ensure the stability of the structure. Trench bottoms and foundations shall be levelled off in horizontal benches. The bottom of trenches shall be not less than 675mm below the finished ground level or 300mm below existing ground level, whichever is the lowest. The bottom of trenches shall be kept clear of water before concreting.

Where other excavations close to or under the foundations are unavoidable care shall be taken to ensure the stability of the structure.

Foundations

Shall be concrete mix 20N40, to widths and depths indicated and reinforced as necessary. Where foundations are stepped they shall overlap at least 600 mm.

Floor Level

The height of the finished floor over the highest point of the finished ground level shall be not less than 350 mm in the case of joisted floors and not less than 175 mm in the case of concrete floors.

H2

Concrete Floors

All concrete ground floors shall be laid on a bed of clean hardcore (Clause 803 material) to the requirements of the County Council. The supplier of the material shall provide a I.I.R.S. test report if required by the County Council. All filling shall be at least 150 mm thick and well consolidated in layers max. 150mm thick. Soft material shall not be used in making up level under floors. Concrete ground floor shall be 150 mm thick mix 20N20 finished fine, laid on a continuous damp proof membrane on layer of fine sand and turned up at edges of slab as necessary to meet and seal with wall D.P.C. Polythene sheeting where used shall be not less than 1000 gauge. If the depth of filling is to exceed 800mm a suspended ground floor slab to be provided to the Engineers detail. The filling to the top 150mm should consist of 20mm graded material.

Sub Floors

Concrete sub-floors to joisted timber floors shall be laid on 100 mm of hardcore as described above. Concrete shall be mix 20N40, 100 mm thick, and finished to a level not lower than the highest adjoining ground.

Rising Walls

Rising walls shall be of solid blockwork bedded in cement mortar, widths and heights indicated.

Cement and cement-based products

Normal Portland cement used in concrete and other cement based products comply with I.S.I: 1963 "Portland cement", and shall bear the Irish Standard Mark.

Lime

Hydrated lime to be to I.S.8.

Water

Water shall be clean and free from harmful impurities.

Sand and Aggregates

Fine aggregates shall be clean, sharp pit or river sand free from all impurities and in accordance with I.S.5. Coarse aggregates shall be suitably graded hard clean pit gravel or crushed stone in accordance with I.S.5.

Cement Mortar

Shall be 1 part cement to 3 parts sand.

Lime Mortar

Shall be 1 part hydrated lime to 6 parts sand.

Guaged Mortar

Shall be 10 parts lime mortar mixed with 1 part cement just before use.

Strong guaged mortar

Shall be 5 parts lime mortar mixed with 1 part cement immediately before use.

Additives

Plasticers, waterproofers, sealers and bonding agents if used, shall be used in accordance with manufacturers instructions.

H3

BLOCKLAYING AND CONCRETING

Thermal insulation

Attention is drawn to the need to insulate walls, floors and roofs to meet the requirements.

Blockwork

Concrete blocks shall be in accordance with I.S.20 and bricks, if clay, in accordance with I.S.91. All blockwork and brickwork shall be properly coursed and bonded and bedded in gauged mortar. All walls shall be carried up regularly not leaving any part 1 m lower than another.

Cavity Walls

Outer and inner leaves to be tied together by accepted wall ties, not less than four per square metre with extra ties at opes. Care to be taken that mortar dropping into the cavity or lying on ties, is cleaned out, through openings left for the purpose, head of cavities to be sealed and so arranged as to prevent the passage of moisture. The cavity is to extend at least 150 mm below the level of the D.P.C. and shall provide for drainage of moisture to the outside, at the base.

Hollow Block Walls

225 mm hollow blocks shall be plastered externally. Bedding mortar shall be confined to abutting surfaces, and shall not enter the cavities of the block.

Solid Block walls

222 mm solid concrete block walls shall be plastered externally.

Solid Brick walls

Solid brick walls shall be 337 mm thick, and weather-pointed.

Masonry walling

Masonry walling, where used, must not be less than 500 mm thick.

Facings

Where stone or other decorative external facing is used, care must be taken to ensure adequate structural stability, thermal insulation and absence of damp penetration.

Opes in External Walls

Where any duct, pipe, etc., is required to penetrate through an external wall it shall be so arranged as to prevent the passage of moisture inwards.

Pointing

All wall faces finished without plastering shall be pointed in the building mortar as the work proceeds, or the joints may be taken out 20 mm deep and pointed in cement mortar.

Party Walls

All party walls shall be 225 mm solid blockwork of density not less than 1,500 kg/cu.m plastered both sides and carried up in the solid to the plane of the upper surface of the rafters.

H4

Solid Partition

Solid partitions shall be 112 mm thick brick or block work, laid to break joint, in gauged mortar, bonded 112 mm at junctions.

D.P.C.

The damp-proof courses shall be polythene in accordance with B.S. 743 or bitument sheeting on hessian or canvas base in accordance with I.S.57 laid to prevent the passage of moisture and lapped adequately at joints, all as described below.

In all ground floor walls and breasts to full width and stepped as necessary, in cavity walls in both outer and inner leaves separately, and shall be said not less than 150 mm over finished ground level or paved area or highest ground within one metre of house.

At sides of opes in cavity walls and over all opes 250 mm longer than opes and stepped down and outward all to prevent passage of moisture from outer to inner leaf.

Under the turned up at ends and back of all cills and external room ventilation grids and recessed edges of all concrete roof slabs.

In all chimney stacks immediately above the level of the flashing and under all cappings and copings.

Under lowest ground floor timbers and not lower than wall D.P.C. Where the waterproofing membrane in a concrete floor is not level with the wall D.P.C. care shall be taken to ensure continuity of damp proofing by stepping, turning up and lapping as necessary.

Concrete Under Barges

Concrete barges, if used, shall be under slates or tiles, full width of walls and at least 75 mm thick and projecting 100 mm beyond the face of the wall, throated on the under side, suitably reinforced and tied back as necessary.

Concrete Copings

Concrete Copings in lengths of not more than 1 metre, shall be weathered and throated, bedded in gauged mortar on D.P.C. and pointed in cement mortar.

Lintels

Concrete lintels mix 30N20 cast in situ shall be 255 mm deep with 225 mm bearing at each side of the ope, and shall be reinforced for full length with one 10 mm mild steel for every foot of span. Ears are to be placed 25 mm from bottom of lintel. Lintels for opes greater than 2.5 m shall be specially designed. Precast concrete lintels to be as above and in addition to have 2 No. 10 mm mild steel bars at the top with 25 mm cover and to be clearly marked for correct placing. Accepted patent or proprietary lintels to B.S. 1239 to be used in accordance with manufacturer's instructions.

Window Cills

Concrete window cills shall be to I.S. 89, 65 mm thick on front face, 120 mm thick at back, and 225 mm wider than ope; reinforced adequately, seated, rebated, weathered and throated and set in gauged mortar on D.P.C. as previously specified. Care must be taken that the throating is clear of the finished wall face.

HS

Chimney Breasts and Stacks

Chimney breasts shall be built of solid concrete blocks or decorative blocks or bricks or stone, all to a thickness not less than 112 mm bedded in gauger mortar with splayed R.C. lintel over fire ope. Each fireplace recess shall have 200 mm solid incombustible material to sides and back excluding any fireback, carried up to full height of recess. Each fireplace shall have an independent flue, separated by not less than 100 mm of solid incombustible material (excluding the thickness of any flue liner) from any other flue. Each flue shall be lined with fireclay liners to I.S. 51 not less than 200 mm internal diameter, backed with weak mortar and carried 150 mm above capping. Splayed liners shall be used in forming bends to flues. Chimney stacks over roof shall be built of 112 mm solid concrete blocks bedded in gauged mortar and plastered or, when special precautions are taken, of decorative blocks, bricks or natural stone. Due to the exceptional exposure of stacks the use of decorative blocks, bricks or natural stone in stacks may cause dampness. Special care in construction and in the design and placing of the D.P.C. is necessary.

Capping to stacks shall be of reinforced concrete, mix 30N20, weathered and throated, not less than 75 mm thick at edge and flanchued up around pots. Top of stack, excluding chimney pots, to be 600 mm over ridge where stack is within 600 mm of the ridge.

Care should be taken that construction and height of the stack is such as to ensure adequate structural stability and satisfactory drawing of smoke.

Fireplaces, Heating Units, Cookers

Fireplaces to have a fireclay back and incombustible surround and to be properly gathered into flue. Enclosed cookers and heating units to be fitted to manufacturers instructions, with incombustible flue, ventilated as necessary and shall stand on a concrete hearth projecting 150 mm from face of appliance all round.

Hearths

First floor hearths shall be 125 mm thick reinforced concrete, mix 20N20, finished fine carried on suitable formwork on 44 mm x 22 mm battens spiked to floor joists.

Ground floor hearths shall be 125 mm finished fine, on hardcore as necessary. All hearths to be 150 mm wider than fire ope on each side and to project 500 mm from face of breast.

Dwarf walls

Dwarf walls 112 mm thick concrete block or brick, honeycombed for through ventilation shall be built on sub-floors, at centres not greater than 2 metres.

Suspended Concrete floors

Where concrete suspended floors or stair landings or balconies are used, they should be finished fine and capable of carrying a superimposed load of 1.44 KN/sq. metre. Exposed soffits shall be insulated where necessary.

Screen and Garden Walls

Screen or garden walls shall not abut main walls of house.

H6

CARPENTRY AND JOINERY

Timber

Timber shall be sound, free from disease and infestation and large knots or waney edges, with a moisture content within the limits set out in I.S.96. Timber for carpentry to be white deal. Timber for joinery to be red deal, hard wood or other timber suitable for the purpose and free from all defects.

Preservative

Soft wood used externally, to be pressure impregnated with coloured preservative. Softwoods in contact with concrete to be treated with coloured preservative. Frames, barge-boards, fascias to be primed before fixing.

Roof Timbers

Wall plates 75 mm x 100 mm fully treated with preservative, halved and spiked at headings and angles, set level and bolted down at 1 m intervals.

Rafters 44 mm x 115 mm minimum at 400 mm centre, treated at feet with preservative, and cut to angles, checked and twice spiked to wall plates, properly aligned to back and spiked to ridge and purlin. Trimming rafters 44 mm thick around roof light and dormer ope and around chimney shafts and 50 mm clear of shaft.

Hip and valley rafters 44 mm x 225 mm treated at feet with preservative and fixed as for rafters above.

Valley and gutter boards 22 mm x 225 wrot, to take gutter, treated with preservative and secured to rafters.

Ridge board 32 mm x 175 mm set level, kept 50 mm clear of chimney shaft. Purlins 75 mm x 175 mm adequately supported at intervals of approximately 2 m. Joints, where necessary, shall be half lapped over a support.

Struts 75 mm x 100 mm properly supporting purlins from solid bearing or from spreaders not more than 500 mm from load bearing partitions. Where such bearing support cannot be provided, suitably trussed spreaders and thrust pieces 44 mm x 115 mm under struts, spiked to ceiling joists to distribute load.

Collar ties 35 mm x 115 mm to every rafter. Where purlins are provided, fix collars to every fourth rafter. All collars to be twice spiked to rafters.

Hangers and runners 35 mm x 75 mm where necessary to support ceiling joists.

Soffit bearers 35 mm x 75 mm to every rafter, treated with preservative. Soffit at least 200 mm wide 16 mm wrot softwood, pressure impregnated or other material suitable for external use and secured to bearers.

Fascia 32 mm x 175 mm wrot deal, well secured to roof timbers and pressure treated.

Ceiling joists 35 mm x 115 mm at 400 centres, cut to angles and twice spiked to rafter. Where not in one length, form 500 mm securely spiked lap over partition walls.

Roof Trusses

Roof trusses to I.S.193, adequately braced diagonally, may be used at centre not greater than 600 mm.

H7

Floor Joists

First floor joist 35 mm x 175 mm at 350 mm centres for spans up to 3 m, 35 mm x 225 mm at 350 mm centres for spans up to 5 m. Floor joists carrying roof plus stud partition at right angles, to be 44 mm x 225 mm @ 300 mm centre up to a span of 3.5 m. All to have one row 35 mm x 44 mm herring-bone bridging or 35 mm x depth of joist solid bridging. Joist to be doubled where carrying partition. Trimmers and trimming joists 75 mm thick x depth of joist to open and chimney breasts and kept 50 mm clear of breast. Trimming and trimmed joists to be supported by approved fittings or to be checked on to battens spiked to supporting joist. Ground floor joists 35 mm x 115 mm at 350 mm centres, to be spiked to wall plates (tassels). Trimming timbers to be 44 mm thick x depth of joist. Ground floor Tassels 44 mm x 75 mm treated with preservative set level and bearing solidly on D.P.C. All timber to be imported grade GS with a minimum stress of 5.2 N/sq.mm.

Ventilation

Provide through ventilation under timber ground floors by means of 225 mm x 150 mm metal or concrete louvred ventilators in external walls. Sealed ducts to be formed through cavities in external walls. Openings to be left in tassel walls and in rising walls of partitions and piped ducts to be formed under intervening concrete floors to ensure through ventilation. Space from surface of sub-floor to underside of bottom of ground floor joists to be not less than 125 mm.

Suspended floors

Where soffit of suspended floor is exposed externally insulate as necessary and sheat with material suitable for external use and having one hour minimum fire rating.

Grounds

Pretreated timber grounds shall be securely built in, to provide means of fixing frames and trimmings.

Stud Partitions

Studs, head and sole pieces, and bridging 35 mm x 75 mm. Studs at 350 mm to 400 mm centre. Sole piece to be well spiked to floor and if parallel to joists, shall be carried on doubled joist. Provide 2 No. rows of nogging. Where a partition is load bearing increase timber sections as required. For finish: Refer to plastering section.

Proprietary Partitions

Accepted proprietary partitions, erected to manufacturers instructions, may be used.

Stairs

Stairs shall have 2 m headroom measured vertically from the pitch line and 1.5 m clearance measured at right angles to the pitch line; width 860 mm, going 220 mm minimum, rise 200 mm maximum.

Stairs shall have 32 mm red deal round nosed treads and 22 mm risers all glued blocked and bracketed checked and wedged into 44 mm strings. Newel posts, balusters and handrails to be standard machine prepared sections or suitable steel/timber combination. Open treads shall be not less than 44 mm hardwood, and may be used in accepted special construction with timber, steel or reinforced concrete.

Every flight shall be adequately protected on each side and have at least one handrail, secured at a height not less than 840 mm and not more than 1 m measured vertically from the pitch line. Closed string stairs shall be to I.S.158

H8

Lighting to stairs and landings

Lighting to stairs, landings, halls and corridors shall be provided by a suitably placed window or roof-light or borrowed lighting from rooms.

Windows

Sliding, hung or pivoted timber sashes and frames to be made from standard machine-prepared sections pressure impregnated with preservative.

Wood casement windows shall be I.S.63

Aluminium or P.V.C. windows of accepted make may also be used, in accordance with manufacturer's instructions.

NOTE: Glazed area to be not less than 10% of floor area of room.

Opening area to be not less than 5% of floor area of room.

Window boards shall be 32 mm wrot, moulded on edges and corners and secured to grounds.

External Door Frames

External door frames shall be machine prepared 75 mm x 115 mm in wrot deal, rebated in the solid, secured to grounds and dowelled at foot to heel blocks.

NOTE: Under no circumstances should feet of external door frames rest on, or be set into concrete paving or step.

Internal Door Frames

Internal door frames shall be 35 mm thick wrot deal with 16 mm planted stops or 44 mm thick wrot deal rebated in the solid, secured to grounds.

External Door

External doors shall be to I.S.48 or I.S.52, hung on 3 No. 100 mm steel butt hinges.

Internal Door

Internal doors to habitable rooms shall be to I.S.48 or I.S.52 hung on 1 pair 100 mm steel butt hinges. Sliding doors to be not less than 44 mm thick and hung on acceptable proprietary track.

Trap Door

Form trap door 500 mm square with half hour fire rating suitably located to give access to roof space.

Hot Press

Hot press to have not less than 2 Sq.metres of spar shelving, 22 mm x 44 mm wrot, at 75 mm centres supported on 22 mm I and G on 35 mm x 75 mm framed bearers. Hang suitable door, framed to prevent warping and fitted with suitable catch. Holes for pipes etc., to be neatly made good.

NOTE: Hot press doors are very liable to distort due to temperature difference. Consideration should be given to insulating the inner face of the door.

Fitments

All fitments and built-in-units shall be of such design, material and workmanship so as to satisfy completely the demands of normal usage.

H9

Trimmings

Skirting 18 mm x 100 mm wrot deal to all floors well fixed to grounds.

Architraves may be 18 mm x 75 mm wrot deal or as necessary to form neat joint, mitred at angles and securely fixed to grounds.

Saddles shall be hardwood, cut of 22 mm x 150 mm splayed, scribed to door frames and secured to floor. For external doors accepted proprietary thresholds may be used.

IRONMONGERY

Eave Gutters and Rain water pipes

Eave gutters and rain water pipes shall be to relevant I.S.S. and may be 125 mm gutters and 65 mm P.V.C. or 75 mm Aluminium pipes. P.V.C. gutters to be supported on suitable brackets at not more than 1m centres and jointed in accordance with manufacturers instructions. Gutters to be set to falls. At least two stacks of rain water pipes shall be provided secured by holder brackets and kept clear of wall. Provide and fit all necessary matching stop ends, angles and drop nozzles, swannecks, hopper heads and toes. Rainwater pipes to discharge approximately 50 mm above gully grid.

Sash Fittings

All opening sashes shall be fitted with strong metal fasteners. Centre pivoted, top, side or bottom hung sashes to have suitable stay gear. Up and down sashes shall be hung on brass bushed and faced steel sash pulleys with suitable sash chords and weights or on accepted patent hanging gear.

Door Fittings

Internal doors shall be hung on one pair 100 steel butt hinges and fitted with suitable mortice type lock or catch and complete with furniture. Provide bolt or locking device to bathroom and toilet doors.

External doors shall be hung on one and a half pairs of 100 mm steel butt hinges. Entrance door shall be fitted with cylinder night latch and external pull handle. Provide and fit letter plate on or near door. Other external doors shall be fitted with bolt and rim or mortice lock suitable for external use.

Ventilations Grids

External openings to ventilators shall be fitted with galvanised cast iron, or accepted P.V.C. louvred grids.

H10
ROOFING

DUBLIN COUNTY COUNCIL
Planning Dept. Registration Section
APPLICATION REFERENCE NO. 91A/0949
7 JUN 1991
REG No 91A/0949
APPLICATION TYPE

Sarking Felt

Untearable sarking felt to I.S.36 shall be laid under all slates and tiles, lapped horizontally not less than 75 mm for pitches greater than 25 degrees and 150 mm for lesser pitches, carried down into eave gutters. Side lap shall not be less than 150 mm for pitches over 25 degree and 500 mm for lesser pitches. Felt to be carried fully over ridge board.

Laths or Battens

Laths or battens shall be 38 mm for rafter spacings not greater than 400 mm. For spacing up to 600 mm battens not less than 38 mm x 38 mm shall be used. Tilting fillet to be provided at eaves where necessary.

Quarry slates

Quarry slates shall be laid to a minimum pitch of 30 degrees, lap 100 mm fixed with 2 no. 10 gauge galvanised slating nails double course at eaves, and slate and a half at verges, with slate slip under.

Asbestos Cement Slates

Asbestos cement slates shall be to I.S.7. The normal pitch for asbestos cement slates shall be 30 degrees, lap 100 mm. Each slate shall be fixed with 2 no. 10 gauge 35 mm galvanised nails and copper crampion at bottom. Provide double course at ridge and treble course at eaves.

Asbestos cement slate may be laid at a lower pitch in special circumstances.

Concrete Roofing Tiles (normal pitch - 30 degrees and over)

Concrete roofing tiles (Normal pitch) shall be to I.S.3 laid to a pitch of not less than 30 degrees. Every tile in every alternative course to be fixed with 1 no. 50 mm 10 gauge galvanised nail. Lap 75 mm clear of nail hole. Pantiles shall be closed at eaves with a course of plain tiles or slate underclock and suitably coloured sand/cement pointing. Alternatively patent eave closer and filler clip may be used.

Concrete Tiles (low pitch - under 30 degrees)

Low pitch concrete tiles shall be laid in accordance with manufacturers instructions and to the minimum pitches accepted by the Department of the Environment which may not be as low as those recommended by the manufacturers.

General

Slates and tiles to be neatly trimmed where necessary. Part tiles and slates to be adequately secured.

Drip overhang to be provided at eave and valley gutters.

At verges slates or tiles shall oversail wall face or barge, by at least 25 mm in the case of slates and 50 mm in the case of tiles, and shall be neatly pointed in suitable coloured sand/cement mortar. Ridge and hip tiles shall be bedded in gauged mortar and pointed with cement mortar, suitably coloured; bedding and pointing to be done in one operation. Provide suitable hip hooks, screwed to end of hip rafters. Over party walls the space between battens shall be filled with mortar to complete fire stop.

H11

Flashings

Valley gutters, cover flashings and flashings to chimneys shall be No. 5 lead to B.S. 1178 or 20 gauge super-purity aluminium or accepted proprietary systems.

To chimney, flashing shall consist of aprons, soakers and cover flashings. The latter shall be secured in a chase in concrete block chimneys, wedged and pointed in with cement fillet formed over. To brick chimneys cover flashings shall be stepped, wedged and pointed into brick joints. Saddle pieces shall be provided at all ridges and roof intersections. Valley gutters shall be laid on felt on 20 mm x 225 mm wrot boarding treated with wood preservative, and turned up at edges under roof felt tiles of slates.

Felted Flat Roofs

Wall plates 44 mm x 75 mm fixed as described. Joist sizes according to span, spaced to suit decking and pitched or firred to fall at 1 in 80. Roof to project 200 mm beyond face of wall, or finish with a parapet with 150 mm upstand, suitably capped and flashed. Fascias and soffits as previously described. Decking 22 mm I & G laid as for floors, plywood, or chipboard not less than 600 kg/sq.metre of thickness.

12 mm for joists (Rafters) at 300 mm centres

15 mm for joists (rafters) at 400 mm centres

18 mm for joists (rafters) at 500 mm centres

or proprietary decking to manufacturers instructions. Angled wood fillets at upstands and verges out of 75 mm x 75 mm.

Plywood, chipboard or wool decking must be kept dry at all times and should be felted immediately after fixing. Any sheets which have been allowed to get wet must be replaced, as their strength has been seriously impaired.

First layer of felt 1 ply, close random nailed all over with galvanised clout nails. Second layer 2 ply stuck down all over with special mastic solution or hot bitumen.

Final layer as for second. Each layer in reverse directions, final layer parallel to eave carried over 22 mm x 44 mm batten (on fascia) at eaves and down into gutter. Felt at verges to be properly finished with walted apron dressed back over camphered verge fillet. Final layer shall be mineral surfaced, or alternatively covered with light coloured pebbles or chippings stuck on suitably, or as required by the local authority. On pitched roof the final layer of felt shall be laid at right angles to eave and lapped away from the prevailing wind. The pitch shall not exceed 20 degrees and the timbers shall be as detailing in the Carpentry & Joinery section.

PLASTERING

External Plastering

225 mm hollow block, 255 mm solid block and chimney stack:-
Scud walls in 3:1 sharp sand and cement. Apply 2 coats of plaster (1 cement: 1 lime: 6 sand). The total thickness of plaster shall be 20 mm minimum. The second coat to be finished nap or smooth or combed for rough cast or pebbledash; or prepared for proprietary finish.
275 cavity walling may be scud and one coat 1:1:6 plaster approximately 13 mm thick and finished as above.

Rough Cast

Rough cast shall consist of 5-6 parts washed sand and pebbles : 1 part lime : 1 part cement.

Reveals

Plaster reveals to opes shall be 20 mm thick and finished smooth with scored drip groove to soffit of head. All arrises shall be neatly finished.

Plinths

Plaster plinths to be finished smooth, and neatly cut off or weathered at top edge.

Plaster finish to extend below finished ground level.

Internal Plastering

Scud walls and plaster one coat 12 mm thick, 1 cement: 1 lime: 6 sand. Finish with neat gypsum plaster skim. Alternatively proprietary finishes may be used to manufacturers instructions.

Stud Partitions and Ceilings

Stud partitions and ceilings to be covered with 10 mm plaster boards or slabs with skimmed plaster finish or alternatively 12 mm patent plaster sheets, all erected, jointed and finished to manufacturers instructions. All wall plastering should be carried behind skirtings and architraves.

All internal wall and ceiling finishes, including decorative finishes, shall comply with the relevant local fire requirements.

General

Precautions shall be taken to protect floors and surrounding work during plastering. Make good neatly to holds for pipework etc. Plasticisers, water proofers, sealers, and bonding agents shall be used in accordance with manufacturers instructions.

H13
PLUMBING

Service pipe

Incoming service pipe to be 15 mm diameter laid in trench 600 mm deep, or otherwise suitably protected against frost, and connected to internal stopcock.

Cold Water Supply

From stopcock take 15 mm cold supply direct to sink with branch to high pressure ball valve in service tank, capacity 225 litres, for 3 bedroom houses or 360 litres for 4 or more bedrooms or as required by local authority. Tank to be covered and adequately supported over a partition where possible and at such height as to ensure proper working of the system. Provide 22 mm overflow from tank to discharge externally. Connect to service tank 50 mm over bottom of tank and take 22 mm feed to 150 litre hot water cylinder to I.S.161 with 22 mm branch over top of cylinder to bath and 15 mm connections off wash hand basin and W.C.

Hot Water Supply

An adequate water heating apparatus must be provided and fitted in accordance with manufacturers instructions. Flow and return pipes, where appropriate, shall be as recommended by the manufacturer of the heating apparatus. A 22 mm copper or stainless steel expansion pipe to be taken from top of cylinder to discharge over service tank, with a 22 mm do. branch to bath and 15 mm connections off for wash hand basin, sink etc.

General

Fit full way stopcock on cold feeds from service tank and fit draw off cock at lowest convenient point of system. On no account should a stop-cock be fitted on an expansion pipe. Copper tubes shall be certified tubes shall be certified as complying with I.S.238 - 1980.

Plastic pipes to I.S.123, 134 or 135 where used shall be fixed at least 75 mm clear of hot pipe runs. Pipes shall be fixed in straight lines as far as possible, properly jointed with patent fitting and adequately supported and secured with proper pipe clips. Storage tanks and pipes to be insulated against frost where necessary. Where other domestic water heating systems are used they shall be competently designed and installed.

Compression tube fittings of copper alloy

compression tube fittings of copper and copper alloy shall be certified as complying with I.S.239:1980 "Compression tube fittings of copper and copper alloy", and shall bear the Irish Standard Mark.

Sink

Provide and fit in kitchen stainless steel sink and drainer to I.S.132 suitably supported, and provided with adequate overflow. Top of sink to be not less than 850 mm over floor level. Form enclosed press, with raised floor and recessed plinth under sink and drainer.

Bath and Wash Hand Basin

Fit where indicated a bath in vitreous enamelled cast iron or other accepted material, minimum length 1700 mm nominal and panelled as necessary and vitreous china wash hand basin 550 mm x 400 mm suitably supported and secured with not less than 150 mm clearance to sides. Both to be provided with adequate overflow.

H14

Plugs, Traps, Wastes and Taps

15 mm hot and cold chrome plated brass taps to be fitted to sink and wash hand basin, and 22 mm do. to bath. Provide 42 mm waste fitting to bath and sink and 35 mm to wash hand basin. All complete with plug and chain. Fit S or P trap, complete with cleaning eye and copper, lead or acceptable plastic waste pipe adequately secured and fitted with cleaning eyes as necessary and discharging approximately 50 mm over gully trap.

W.C. Suite

Provide and fit where indicated W.C. suite, with cistern, to I.S.70, all fully supported and secured. Connect to spoil pipe with proprietary flexible coupling or other acceptable joint. Cistern to be provided with adequate overflow.

Pipes shall not be jointed within the thickness of a wall.

DRAINAGE

Trenches

Trenches shall be excavated to the necessary depths, widths and falls to allow the drains to be properly laid. The water service shall be in a separate trench from the drain.

Drain

The main and branch drains shall be 100mm diameter laid to continuous falls of not less than 1 in 50 and not more than 1 in 30, with bends and junctions, splayed in the direction of flow, where required, and laid in straight lines from manhole to manhole. The drain shall be P.V.C., impermeable glazed ware or concrete with flexible joints, all laid, jointed and backfilled to manufactureres instructions or shall be socketed impermeable glazed ware or concrete supported on continuous concrete bed mix 20N20 100mm thick x 300 mm wide for full length of each pipe and haunched half way up the pipe after testing and shall be jointed in cement mortar, well worked in against 2 rings of tarred gaskin and finished with a neatly worked fillet. Clean pipe internally as necessary after each joint is made.

Backfilling

Immediately over pipes back fill in fine material and fill remainder of trench in selected excavated material, well rammed and remove surplus spoil.

Drains under Roads and Buildings

Where drains pass under roadways or are likely to be subjected to heavy traffic, they should be fully encased in 150 mm concrete mix 20N20. Drains should not be taken under any buildings unnecessarily but where this is unavoidable pipes shall be cast iron, or encased in 150 mm of concrete mix 20N20 or otherwise to local authority requirements and laid in straight lines. Form ducts through rising walls or foundations as necessary to avoid damage to drains.

H15

A.J.s, Manholes, Drop-Manholes

Armstrong Junctions or manholes as suitable shall be provided at each change in direction or gradient of drain and at septic tank and of such dimensions and spacing as to permit easy cleaning of the system. Manholes shall be built in 225 mm concrete walls on 150 mm thick concrete floor mix 20N20, with glazed channels, bends and branches suitably benched. Benching and internal walls to be finished smooth in cement mortar. Fit cast iron, reinforced concrete, or hot dipped galvanised steel cover and frame. Covers to have provision for lifting. Where required by local authority, outfall manholes shall be formed, with interceptor trap, stoppered cleaning eye and air inlet.

Gullies and A.J.s

Gullies and Armstrong Junctions to be set level, supported on 150 mm concrete bed, mix 20N20 and connected to drain as previously specified. Armstrong Junctions shall have frame and cover of cast iron, aluminium or galvanised steel.

Gully Traps

Gully traps shall be set in dished concrete surround, to take wastes from bath, sink and wash hand basin and discharge from rain water pipes, and shall be fitted with cast iron, aluminium or other suitable grid.

Soak Pits

Where sewage disposal is to a septic tank, rain water shall be piped to a separate soak pit, not less than 6 metres from the house or to a suitable watercourse.

Septic Tank

Septic tank, where approved, shall be located so as not to endanger any well or other source of water supply and shall be in accordance with S.R.6 1975. Septic tanks to accepted prefabricated systems may also be used.

Vent Shaft

At head of drain, carry up 50 mm minimum diameter vent pipe over eave level or to 1 m over head of highest window within 4 m of vent, secured with proper brackets and fitted with cowl or cage.

Single Stack Drainage

Single stack drainage, where provided, must be in accordance with British Standard Code of Practice No. 304 (1968).

Testing

Test plumbing and drainage on completion to ensure watertightness and efficient working of the system, and as may be required by the local authority.

X16 ELECTRICAL INSTALLATION

Installation

Electrical installation shall be in accordance with the "National Rules for Electrical Installations" obtainable from the Electro-Technical Council of Ireland and shall have, in suitable locations, at least:-

Lighting Outlets: One in every room, landing/stairway, hall and corridor.

Socket Outlets: One in every bedroom. Three singles in each living-room. Two singles in kitchen excluding any cooker point. One in each other habitable room, entrance hall or landing.

Conduit shall be used where cable is buried in plaster. Joists shall not be notched: Where necessary the cable shall be taken through holes bored in centre of joists.

PROTECTIVE PAINTING

Preparation

All surfaces to be painted or other wise protectively coated shall be cleaned down and prepared by wire brushing, sanding, planing or as necessary to obtain the best possible finish. Timber preservatives should be applied where already specified.

Paints

Thinners, sealers, primers, colour washes, paints, varnishes or other brush, roller or spray applied finishes shall be of suitable manufacture for the surface and material to be covered and shall be applied strictly in accordance with the manufacturer's instruction.

Woodwork

All woodwork usually painted shall be knotted, stopped, primed and painted with two undercoats and one finishing coat. Alternatively, may be stained or dyed and knotted, primed and finished with two coats of varnish.

Decorative hardwoods may be treated traditionally internally and shall be oiled or treated with suitable preservatives externally, or may be painted or varnished, as previously specified.

Metal Work

All metalwork, ironmongery, rainwater goods, shall be cleaned down, suitably primed, twice, undercoated and one coat finished.

FIRE PRECAUTIONS

Garage

Garage under first floor rooms :- the ceiling in the garage shall be approved material to give a 1 hour fire rating.

Garage attached to house :- separating walls to be taken to plane of roof and treated as for party wall to complete fire stop.

Any door between garage and dwelling shall be self closing and door and frame shall have a one hour fire rating. Garage floor shall be min. 100 mm under floor level of house.

A central heating unit shall not be located in the garage.

H17
GLAZING

Glass

All window panes up to 0.5 sq.m shall be glazed in 3 mm glass
All window panes up to 1.5 sq.m shall be glazed in 4 mm glass
All window panes over 1.5sq.m shall be glazed in 5 mm or 6 mm glass

All panes less than 600 mm over floors shall be 6 mm glass.

Fixing

Bathroom W.C. or other closet windows may be glazed in obscured glass to standard as above. Before glazing, timber rebates shall be painted and back puttied. Glass shall be sprigged and puttied with linseed oil putty to I.S.28 or other acceptable non-hardening compound and neatly struck off. 5 mm glass and over shall be fixed with a suitable glazing slip, pinned and bedded in mastic.

General

House to be thoroughly cleaned and all rubbish removed, on completion.

VENTILATION

Rooms

Every habitable room, kitchen, and scullery shall have an opening window area of not less than one twentieth of the room area, ventilated directly to open air.

Bathrooms

Bathroom and W.C. apartment shall be ventilate as above subject to a minimum of 0.1 sq. metres.

Lobby

A ventilate lobby shall be provided between any W.C. apartment and a living room, kitchen or scullery.

Presses

All built in cupboards, presses, closets and wardrobes to be adequately ventilated.

Under Floor

Under floor ventilation shall be as previously specified.

Garage

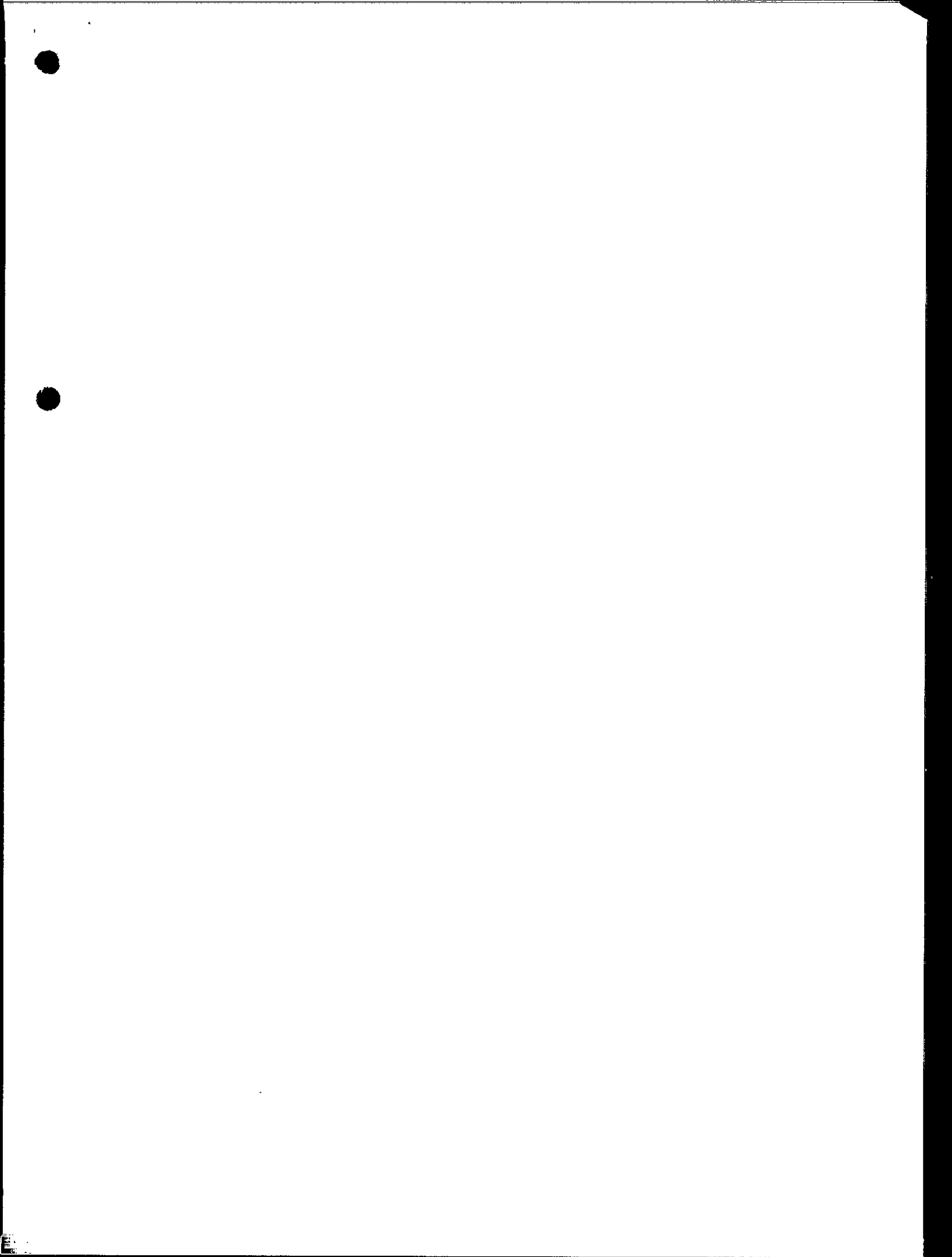
Garage must have permanent ventilation.

THERMAL INSULATION

Insulation must be in accordance with the maximum U-value laid down by the Department of the Environment viz., a general whole building standard not exceeding 0.85 W/square metre per degree Celsius and elemental values as follows :

External Walls	0.60 watts per square metre per degree celsius.
Roofs	0.40 watts per square metre per degree celsius.
Ground Floors	0.60 watts per square metre per degree celsius.
External parts of intermediate floors.	0.60 watts per square metre per degree celsius.

U-value will be required to be calculated in accordance with the method for calculating standard U-values set out in Section A3 of the C.I.B.S. Guide Book A 1980 published by the C.I.B.S.



DESIGN COL
Planning Dept
APPLICAT

7 JUN 1991

91A/0949

REG No
APPLICATION T
No. L C

Structural Calculations

for

Houses Types A, B, C, D1, H1, H2, J, J1, K.

at

Weston Park, Cooldrinagh, Lucan

for

Weston Properties Ltd.

David Galbraith & Company Limited,

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December 1989.

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CALCULATION SHEET

Page No

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Job No

333/89

Date

DEC 1989

Job HOUSING AT WESTOY PARK, LUCAN,

HOUSE TYPES D, B, C, D, H I

BEAM OVER KITCHEN SUPPORTING REAR WALL

CLEAR O/E = 3130

SPAN = 3350

LOADING

ROOF = $(0.6 + 0.65) \times \frac{2.0}{2} = 1.25 \text{ kN/m}$

WALL = $19 \times 0.24 \times 2.4 = 10.94 \text{ kN/m}$

Load to kitchen = $(0.6 + 0.65) \times 0.9 = 1.13 \text{ kN/m}$

SW BEAM = 0.23 kN/m

TOTAL = 13.55 kN/m

THIS FIGURE IS CONSERVATIVE AS WINDOW

OVER TAKEN AS BLOCKWORK.

$n = \frac{wL^2}{8} = \frac{13.55 \times 3.35^2}{8} = 19.0 \text{ kNm}$

TRY A 152 X 152 X 23 UC.

$\frac{l}{r_y} = \frac{3350}{36.8} = 91 \quad \frac{p}{7} = 22.3$

$\therefore p_k = 165 \text{ N/mm}^2$

$f_{ac} = \frac{19.0 \times 10^6}{165700} = 114.6 \text{ N/mm}^2$

$\delta = \frac{5}{384} \times \frac{1355 \times 3.35 \times 10^3 \times 3.35 \times 10^3}{210000 \times 1263 \times 10^4} = 83 \quad \frac{3350}{350} = 9.5 \quad \therefore \text{o.k.}$

\therefore USE 152 X 152 X 23 U.C.

ROOF TRUSSES.

CALCULATIONS FOR ROOF TRUSSES TO BE

SUBMITTED BY MANUFACTURER & APPROVED

BEFORE FABRICATION.

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CALCULATION SHEET

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Job HOUSING AT WESTON PARK, WCV

Date DEC 89

BEAM OVER AT FRONT BEDROOM SUPPORTING
ROOF TRUSSES

LENGTH OF ROOF SUPPORTED $\approx \frac{4000}{2}$ mm

SPAN = 6' = 1.83

LOADING

ROOF LOAD = $(0.6 + 0.65) \times 2.5 = 3.2 \text{ kN/m}$

S.W. BEAM. = 0.3 kN/m

TOTAL = 3.5 kN/m

TRY A TIMBER BEAM 2/9" x 2" JOISTS JOINED TOGETHER

$Z = \frac{100 \times 225^2}{6} = 843750 \text{ mm}^3$

$M = \frac{3.5 \times 1.83^2}{8} = 1.465 \text{ kNm}$

$\sigma = \frac{M}{Z} = \frac{1.465 \times 10^6}{843750} = 1.74 \text{ N/mm}^2$

$< 5.2 \text{ N/mm}^2$ \therefore OK.

DEFLECTION

$I = \frac{100 \times 225^3}{12} = 9.49 \times 10^7$

$\delta = \frac{5 \times 3.5 \times 1.83 \times 10^3 \times 1.83^3 \times 10^9}{384 \times 7000 \times 9.49 \times 10^7}$

$= 2 \times 10^{-3} \text{ mm}$

DEFLECTION OK

\therefore USE 2/9" x 2" JOISTS TO SUPPORT TRUSSES

Job HOUSING AT WESTON PARK LUCAN

HOUSES TYPE B, C, D

BEAM OVER LIVING ROOM WINDOW

SUPPORT PROVIDED BY 2 BEAM PILES

$$SPAN = 13'-0'' = 4000 \text{ mm}$$

LOADING

$$ROOF LOAD = 0.5 \times (0.6^{DL} + 0.65^{LL}) = 0.63 \text{ kN/m}$$

$$WINDOWS + STAIRS (SITTING CLASSING) = 3 \times 0.8 = 2.4 \text{ kN/m}$$

$$FIRST FLOOR = (0.35^{DL} + 1.50^{LL}) \times 0.5 = 0.93 \text{ kN/m}$$

LOADING ON OUTRIG SECTIONS IS FIRST FLOOR ROOF.

$$LOADING ROOF ROOF = 0.5 (0.6^{DL} + 0.65^{LL}) = 0.63 \text{ kN/m}$$

$$M = \frac{0.63 \times 4^2}{8} + \frac{3.33 \times 2}{2} \left(\frac{1.4 - 1^2}{2} \right)$$

$$= 1.26 + 1.6$$

$$= 2.86 \text{ kNm}$$

TRY A 152 x 76 R57.

$$\frac{L}{r} = \frac{4000}{163} = 245$$

$$\therefore p_{ca} = 90 \text{ N/mm}^2 \quad (\text{TABLE 3A})$$

$$f_{ca} = \frac{2.86 \times 10^6}{114.7 \times 10^3} = 25 \text{ N/mm}^2$$

$$< 90.$$

OK.

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Job HOUSING AT WESTON PARK, W. CO. DU

CHECK DEFLECTION

$$\delta = \frac{5}{384} \times 3.93 \times 4000 \times 4000^3$$

$$384 \times 21000 \times 873.7 \times 10^4$$

$$= 7.1 \text{ mm} \quad (\text{ASSUMING MAX LOADING ON CONCRETE BEAM})$$

ALLOWABLE = $\frac{4000}{350} = 11.4 \text{ mm}$ ∴ OK

∴ USE 152 X 76 RSJ.

BEM OVER GULLY -
ROOF WINDOW
HOUSES A, B, C, D

HOUSE TYPE H

LOADING FROM ROOF CAVITY ONLY = 0.63 kN/m P3

SPAN = 3.6

$$w = \frac{WL^2}{8} = \frac{0.63 \times 3.6^2}{8} = 1.02 \text{ kNm}$$

TRY A TIMBER BEAM 9" X 2"

$$Z = \frac{50 \times 175^2}{6} = 255208 \text{ mm}^3$$

$$\sigma = \frac{w}{Z} = \frac{1.02 \times 10^6}{255208} = 4.0 \text{ N/mm}^2$$

< 5.2 ∴ OK

DEFLECTION

$$I = \frac{50 \times 175^3}{12} = 2.23 \times 10^7$$

$$\delta = \frac{5}{384} \times 0.63 \times 3.6 \times 10^3 \times 3.6^3 \times 10^9$$

$$384 \times 7000 \times 2.23 \times 10^7$$

$$= 9 \times 10^{-3} \text{ mm}$$

∴ USE 2" X 2" TIMBER BEAM.