

REF. NO.: 91A/0927 CERTIFICATE NO.: 15232B  
 PROPOSAL: Office alterations  
 LOCATION: Unit 21 Paromere Industrial Estate  
 APPLICANT: D P Ledwidge

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats.)	@ £55					
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose <i>134.24 m<sup>2</sup></i>	@ £3.50 per M <sup>2</sup> or £70	<i>472.50</i>	<i>712.50</i>	<i>245.00</i>	<i>422.50</i>	<i>600.00</i>
D	Building or other structure for purposes of agriculture	@ £1.00 per M <sup>2</sup> in excess of 300 M <sup>2</sup> Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

As per order from Mr. Osborne  
 Column 1 Certified: Signed: [Signature] Grade: D/E Date: 18/6/91  
 Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_  
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S/O Date: 7/6/91  
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

RW/GC

Osborne Associates,  
The Mews,  
Kerrymount Avenue,  
Foxrock,  
Dublin 18.

18/6/91

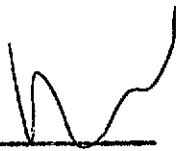
Re; Office alterations at Unit No. 21 Parkmore Industrial Estate, Long Mile Road, Dublin 12 for D & P Ledwidge. Reg.Ref. 91A/0927

Dear Sirs,

I refer to the above planning and bye-law application received in this department on 29/5/91. The correct fee in respect of this application cannot be assessed as the area of proposed development has not been outlined on the drawings lodged.

As the statutory 2-month period within which the planning authority must make a decision will not begin to run until the correct fee has been paid, it is important that you immediately submit a drawing outlining in colour the area of proposed development.

Yours faithfully,



for PRINCIPAL OFFICER

91A/0927

CERTIFICATE NO: 25534

PROPOSAL: Office alterations  
LOCATION: Unit 21 Peckham Industrial Estate  
APPLICANT: Dr P. Ledwith

1	2	3	4	5	6	7
DWELLINGS/AREA LENGTH/STRUCT	RATE	AMT. OF FEE REQ.	AMOUNT PAID	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO.
Dwellings	£332					
	£374					
	£332 per sq ft to excess of 3000 sq meters					
* 13434 sq m	£112.75 per sq m	236.25	358.75	122.50	122.50	all paid
x . . . . .	£332					
x . . . . .	£332					
x . . . . .	£332					
x . . . . .	£332					
x . . . . .	£332					
x . . . . .	£332					
x . . . . .	£332					

Dick Could we have the area being applied for outlined please  
Signed: [Signature] Date: 17/6/91

Endorsed: Signed: [Signature] Grade: S.O Date: 7/6/91

Items 2, 3, 4, 5, 6 & 7 Certified Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Items 2, 3, 4, 5, 6 & 7 Endorsed Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1953 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: 91A/927

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER, SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL: 1446 FT<sup>2</sup>

MEASURED BY:

J.Y.  
18/6/91

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

~~1446~~  
1000 @ 710

MANAGER'S ORDERED NO: BY / DATED

= 1084

ENTERED IN CONTRIBUTIONS REGISTER:

J  
11/9/91

DEVELOPMENT CONTROL ASSISTANT GRADE

J.Y.  
12/6/91

SS + cns.



Register Reference : 91A/0927

Date : 11th June 1991

Development : Office alterations

LOCATION : Unit No. 21, Parkmore Industrial Estate, Dublin 12.

Applicant : Dorothy & Paul Ledwidge

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning officer : N.O'BYRNE

Date Recd. : 29th May 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

*Paul Ledwidge*

DUBLIN Co. COUNCIL  
18 JUN 1991  
SAN. SER.

SANITARY SER.  
PRINCIPAL OFFICER  
- 5 JUL 1991  
Returned *[Signature]*

Date received in sanitary services ... 18 JUN 1991 ..

FOUL SEWER

*Available - existing system.*

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 08.07.91 .....  
Time ..... 2.30 .....

SURFACE WATER

*Available - existing system.*

*J. Sullivan 25/6/91.*

SENIOR ENGINEER,  
SANITARY SERVICES DEPARTMENT,  
46/49 UPPER O'CONNELL STREET,  
DUBLIN 1

*J.R.  
27/6/91*

*ENCD.*

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date **08.04.91**  
Time **2.30**

Register Reference : 91A/0927

Date : 11th June 1991

.....  
ENDORSED \_\_\_\_\_

DATE \_\_\_\_\_

WATER SUPPLY.....

*Existing Supply - no objection*

*[Signature]*  
20/6/91

.....  
ENDORSED \_\_\_\_\_

*[Signature]*

DATE

*28/6/91*

1/4266/91

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Register Reference : 91A/0927

Date Received : 29th July 1991

Correspondence : Osborne Associates,  
Name and : The Mews,  
Address : Kerry Mount Avenue,  
Foxrock.

Development : Office alterations

Location : Unit No. 21, Parkmore Industrial Estate, Dublin 12

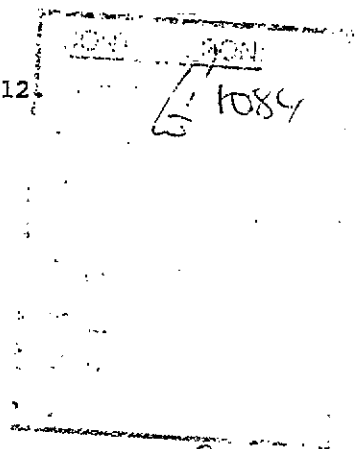
Applicant : Dorothy & Paul Ledwidge

App. Type : Permission

Zoning :

Floor Area : Sq.metres

(NOB/BB)



Report of Dublin Planning Officer dated 4th September, 1991.

This is an application for PERMISSION for office alterations to an existing industrial unit at Parkmore Industrial Estate.

The proposal involves altering the office accommodation in the existing premises. The result would be the office space providing 46% of the accommodation in the premises.

The site is in a prominent location at the entrance to this industrial estate and fronting onto the Longmile Road. The proposal involves 3 new window openings at first floor level. The windows proposed are not in keeping with the scale or design of first floor windows on the adjoining premises, particularly the window indicated for the side elevation. This would have an undesirable impact on the overall design of this industrial complex.

Sanitary Services Report not available.

Supervising Environmental Health Officer report not available.

Additional Information was requested from the applicant on the 25th July, 1991, with regard to the following:-

1. The proposed development includes provision for first floor window openings which are not consistent with the design and scale of first floor window openings on the adjoining premises. The applicant is requested to submit revised proposals which would maintain the overall design character of the complex as a whole.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Reg. Ref: 91170320 **Record of Executive Business and Manager's Orders**

Page No: 0002

Location: Unit No. 21, Parkmore Industrial Estate, Dublin 12.

2. The applicant is requested to clarify the scale and proposed use of this industrial unit by providing a full schedule of existing floor space use and proposed use for the entire premises.

3. In view of the fact that the site is located within the jurisdiction of Dublin County Council a revised newspaper advertisement is required seeking permission from Dublin County Council. Applicant is requested to submit a revised notice with the heading "Dublin County Council".

In reply

1. The applicants have submitted revised elevations proposing alterations to the first floor windows to provide for new window identical to the existing window types used in the building. This arrangement is more acceptable as it provides for an integrity of design more suited to this permanent location.

2. A schedule of floor areas has been submitted. This clarifies the proposed development. An additional 134 sq. metres of office space is proposed and the warehouse area is being reduced by 74 sq. metres. The premises is intended for use as a base for a courier business. The location in an industrial estate for such a use is acceptable and the use of such a business requires a relatively high proportion office content. A 'counter' is indicated for the display area. No retail use has been indicated or suggested.

3. A revised public notice has been received.

Chief Medical Officer report noted.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (6) conditions:-

### C O N D I T I O N S / R E A S O N S

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 29 July 1991 save as may be required by the other conditions attached hereto.



# COMHAIRLE CHONTAE ÁTHA CLIATH

## Reg. Ref Record of Executive Business and Manager's Orders

Page No: 0003

Location: Unit No. 21, Parkmore Industrial Estate, Dublin 12.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of health.

04 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of safety and the avoidance of fire hazard.

05 That the warehouse display area shall not be used for retail purposes.

05 REASON: In the interest of the proper planning and development of the area.

06 That a financial contribution in the sum of £1,084 be paid by the proposer to Dublin County Council towards the provision of public services in the area of the proposed development and which will facilitate the proposed development; this contribution to be paid prior to the commencement of development on site.

06 REASON: In the interest of the proper planning and development of the area.

07. *That the office use be restricted to the use of Unit 21 for banking purposes*

07. *Reason - In the interest of the proper planning and development of the area.*

# COMHAIRLE CHONTAE ÁTHA CLIATH

Reg. Ref: LA/7092 **Record of Executive Business and Manager's Orders**

Page No: 0004

Location: Unit No. 21, Parkmore Industrial Estate, Dublin 12.

*[Signature]*  
.....  
for Principal Officer

*[Signature]*  
.....  
for Dublin Planning Officer

Order: A decision pursuant to section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (6) conditions set out above is hereby made.

Dated : ..... *18 September 1991* ..... *K.C. Sullivan* .....  
ASSISTANT CITY AND COUNTY MANAGER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated ~~26 August~~, 1991.  
*18 September*

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed office alterations to unit no. 21, Parkmore Industrial Estate, Longmile Road for Dorothy & Paul Ledwidge.

Osborne Associates,  
The Mews,  
Kerrymount Avenue,  
Foxrock.

Reg. Ref. 91A-0927  
Appl. Rec'd: 29.05.1991  
Floor Area: 200 sq. m.  
Site Area: 1,000 sq. m.  
Zoning:

Report of the Dublin Planning Officer, dated 23 July 1991

This is an application for PERMISSION for office alterations to an existing industrial unit at Parkmore Industrial Estate.

The proposal involves altering the office accommodation in the existing premises. The result would be the office space providing 46% of the accommodation in the premises.

The site is in a prominent location at the entrance to this industrial estate and fronting onto the Longmile Road. The proposal involves 3 new window openings at first floor level. The windows proposed are not in keeping with the scale or design of first floor windows on the adjoining premises, particularly the window indicated for the side elevation. This would have an undesirable impact on the overall design of this industrial complex.

Sanitary Services Section report *ndr available*

Chief Fire Officer report *nd available*

Supervising Environmental Health Officer report *nd available*

I recommend that ADDITIONAL INFORMATION be requested from the applicant with regard to the following:-

1. The proposed development includes provision for first floor window openings which are not consistent with the design and scale of first floor window openings on the adjoining premises. The applicant is requested to submit revised proposals which would maintain the overall design character of the complex as a whole.
2. The applicant is requested to clarify the scale and proposed use of this industrial unit by providing a full schedule of existing floor space use and proposed use for the entire premises.

(Continued)

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed office alterations to unit no. 21, Parkmore Industrial Estate, Longmile Road for Dorothy & Paul Ledwidge.

(Continued)

*nm.*  
3 In view of the fact that the site is located within the jurisdiction of Dublin Co. Council a revised newspaper advertisement is required seeking permission from Dublin County Council.

*by*  
Applicant is requested to submit a revised notice with the heading "Dublin County Council"

(NOB/DK)

Endorsed:-

*[Signature]*  
for Principal Officer

*[Signature]*  
For Dublin Planning Officer

Order:- I direct that ADDITIONAL INFORMATION be requested from the applicant for planning permission as set out in the above report and that notice thereof be served on the applicant.

Dated: 25 July, 1991.

*[Signature]*  
APPROVED OFFICER  
Assistant City & County Manager.

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 8th July, 1991. 24/7/91

(29th May)

NO'B.

Register Reference : 91A/0927

Date : 11th June 1991

Development : Office alterations

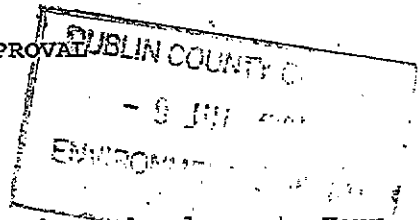
LOCATION : Unit No. 21, Parkmore Industrial Estate, Dublin 12.

Applicant : Dorothy & Paul Ledwidge

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : N.O'BYRNE

Date Recd. : 29th May 1991



Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 25.07.91 .....  
Time ..... 9.30 .....

Yours faithfully,

*Paul John*

PRINCIPAL OFFICER

I have no objections to this proposal, providing that,

- 1 Tea-making facilities are provided for staff
- 2 Drinking water supply points, direct from rising main, are provided for staff
- 3 Intervening lobbies adjacent to sanitary accommodation are ventilated directly to external air (minimum 2 air changes/hr.)
- 4 Requirements of following legislation are complied with.
  - a) Office Premises Act 1958 and regulations.
  - b) Safety in Industries Acts 1955-80
  - c) Health, Safety & Welfare at work Act 1989.

SUPER. ENVIRON. HEALTH OFFICER,  
33 GARDINER PLACE,  
DUBLIN 1.

*John Devine*  
*for John O'Reilly* *SEHO*  
22/7/91.

*Jackie Kelly*  
240 21/7/91



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION  
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 4266 /91      Date of Decision : 18th September 1991

Register Reference : 91A/0927                      Date Received : 29th July 1991

Applicant : Dorothy & Paul Ledwidge

Development : Office alterations

Location : Unit No. 21, Parkmore Industrial Estate, Dublin 12.

Floor Area :              Sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received :250791//290791

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- ...<sup>6</sup>...ATTACHED.

Signed on behalf of the Dublin County Council.....  
for Principal Officer

Date:.....20/8/91.....

Osborne Associates,  
The Mews,  
Kerrymount Avenue,  
Foxrock.

## NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,  
Blocks 6 and 7  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Reg.Ref. 91A/0927  
Decision Order No. P/ 4266 /91  
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

C O N D I T I O N S / R E A S O N S

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 29 July 1991 save as may be required by the other conditions attached hereto.  
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.  
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.  
REASON: In the interest of health.
- 04 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.  
REASON: In the interest of safety and the avoidance of fire hazard.
- 05 That the warehouse display area shall not be used for retail purposes.  
REASON: In the interest of the proper planning and development of the area.
- 06 That a financial contribution in the sum of 1084.00 be paid by the proposer to the Dublin County Council towards the provision of public services in the area of the development and which facilitates this development. This contribution to be paid prior to the commencement of development on site.  
REASON: In the interest of the proper planning and development of the area.
- 07 That the office use be subsidiary to the use of Unit 21 for warehousing purposes.  
REASON: In the interest of the proper planning and development of the area.



## NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,  
Blocks 6 and 7  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1,  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/0927

Date : 30th July 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Office alterations

LOCATION : Unit No. 21, Parkmore Industrial Estate, Dublin 12.

APPLICANT : Dorothy & Paul Ledwidge

APP. TYPE : Additional Information

With reference to the above, I acknowledge receipt of your application received on 29th July 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Osborne Associates,  
The Mews,  
Kerrymount Avenue,  
Foxrock.

OSBORNE ASSOCIATES,  
THE MEWS,  
CHERRYFIELD,  
KERRYMOUNT AVENUE,  
FOXROCK,  
DUBLIN 18  
TELEPHONE/FAX 2894585.



ARCHITECTURE  
PLANNING CONSULTANTS  
PROJECT MANAGER

RECEIVED

29 JUL 1991

REC. SEC.

Planning Department  
Dublin Corporation  
Irish Life Centre  
1r Abbey Street  
Dublin 1.

91A/0927  
L.4.0. chr  
A.1

29.07.1991.

Re: Additional Information Reg.Ref.No. 91A-0927.  
Proposed Office Alterations to offices at Unit No 21  
Parkmore Industrial Estate, Dublin 12 for Dorothy and  
Paul Ledwidge.

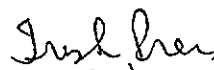
Further to your letter of the 25th July 1991, please find  
enclosed the following information in quadruplicate as  
requested.

1. Revised Elevations showing alterations to first floor  
windowings . These proposed new windows are identical to the  
existing window types used in the building.
2. A schedule of floor space and proposed alterations.
3. A revised newspaper advertisement as requested.

It should be noted that we already supplied additional  
information in respect of the above. We therefore would  
be grateful if this application can be dealt with as a  
matter of urgency as our clients can not move into the  
building until these matters are dealt with. We can not  
understand the delays been caused when we offered to  
readvertise and were told that it was not necessary.

Thanking you for your co-operation in this matter.

  
Osborne Associates.

  
27/7/91

DUBLIN COUNTY COUNCIL  
Planning permission is  
sought for proposed office  
alterations to unit no 21  
Parkmore Industrial Estate,  
Long Mile Road, for Dorothy  
and Paul Ledwidge

OSBORNE ASSOCIATES  
Architects, Planning Consultants, Project Managers,  
Computer Aided Design Consultants.

OSBORNE ASSOCIATES,  
THE MEWS,  
CHERRYFIELD,  
KERRYMOUNT AVENUE,  
FOXROCK,  
DUBLIN 18  
TELEPHONE/FAX 2894585.



ARCHITECTURE  
PLANNING CONSULTANTS  
PROJECT MANAGER

**Schedule of Accommodation.**

**Ground Floor**

**Ground Floor Existing:**

Entrance Lobby:	100sq.ft.
Lobby Area	70sq.ft.
3 Offices	320sq.ft.
	120sq.ft.
	125sq.ft.

New Warehouse Display	435sq.ft.
Existing Offices Enlarged	365sq.ft.

**First Floor**

**First Floor Existing:**

Landing Areas	100sq.ft.
Offices	156sq.ft.
	175sq.ft.

**New First Floor Areas**

Landing Area	175sq.ft.
Office and Store	380sq.ft.
Office	280sq.ft.

**Warehouse Area**

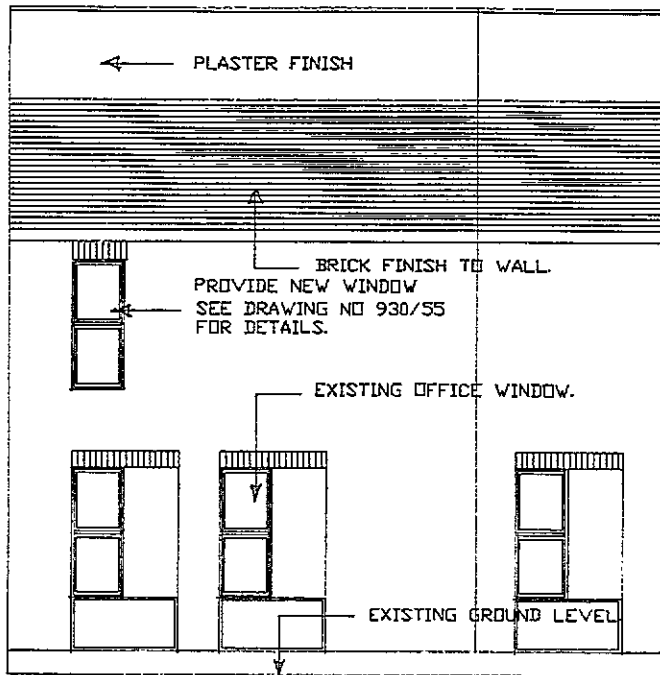
Existing	2800
Proposed	2000

The total new office space as outlined in our letter fo the 26th June 1991 is approx 134 sq.meters including the fire escape.

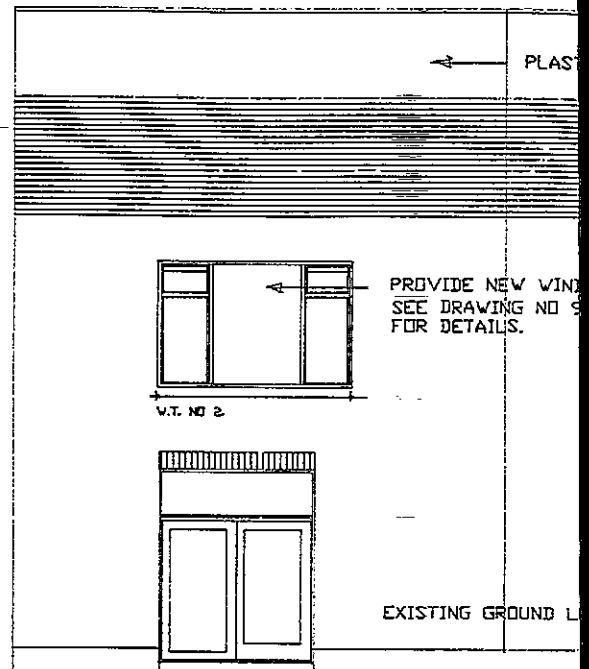
A handwritten signature in cursive script, appearing to read 'Osborne'.

Osborne Associates.

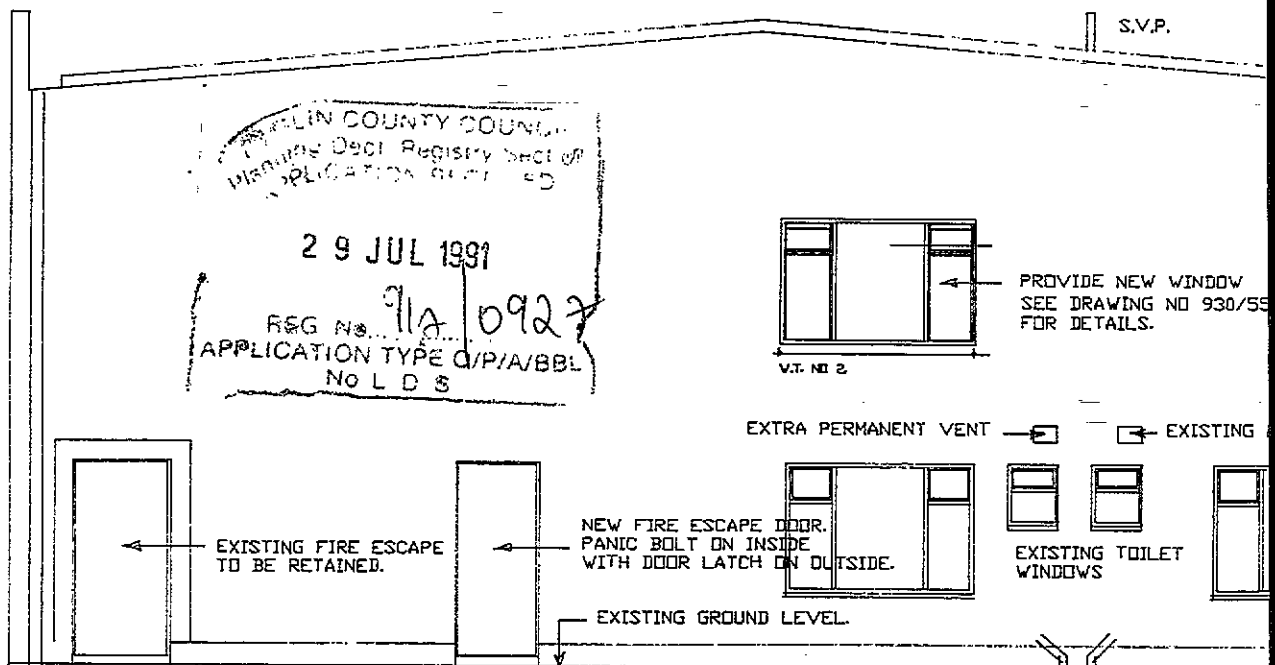
OSBORNE ASSOCIATES  
Architects, Planning Consultants, Project Managers,  
Computer Aided Design Consultants.



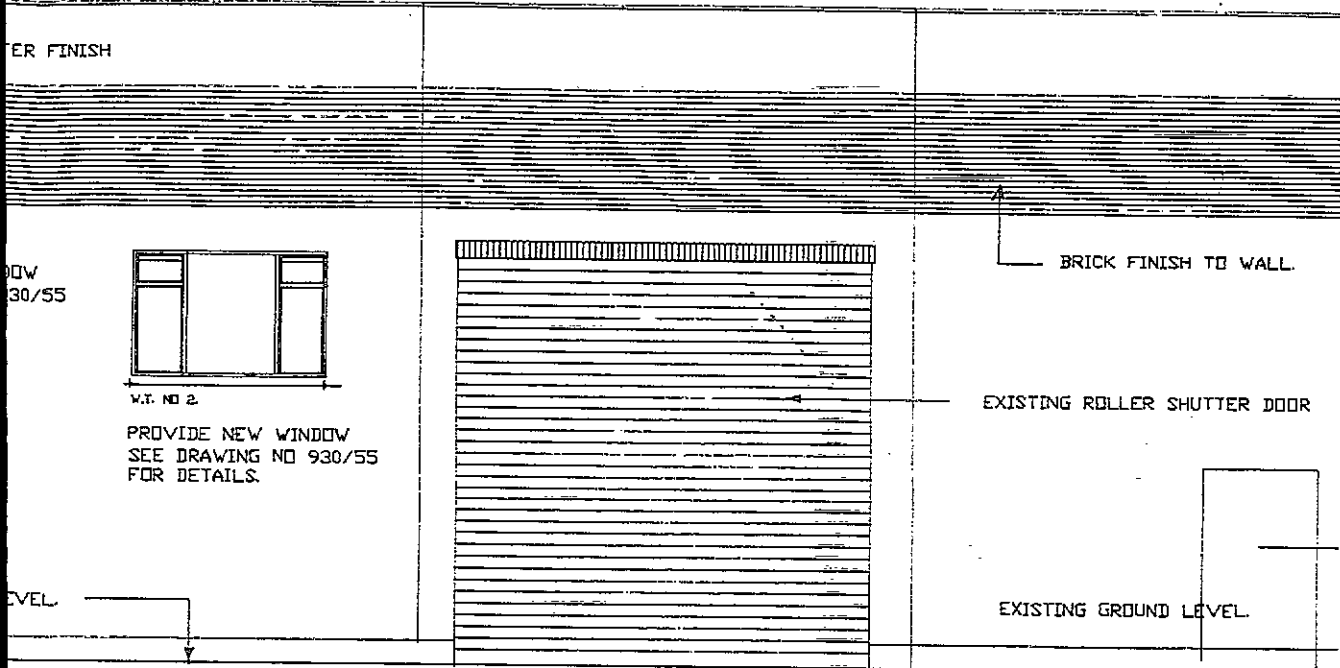
SIDE ELEVATION



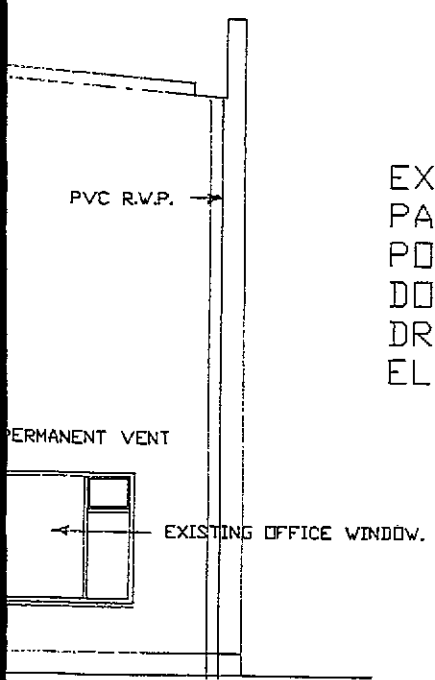
ELEVATION TO LONG



ELEVATION TO INDUSTRIAL ESTATE.



G MILE ROAD. SCALE 1/8"=1'-0".



EXISTING ELEVATIONS OF UNIT NO 21  
 PARKMORE INDUSTRIAL ESTATE SHOWING  
 POSITIONS OF NEW WINDOWS FOR  
 DOROTHY AND PAUL LEDWIDGE.  
 DRAWING NO 930/56.  
 ELEVATIONS SCALE 1/8"=1'-0".

SCALE 1/8"=1'-0".

**RIAI**



*Osborne  
 Architecture  
 Planning  
 Project Management*

*Kerrymount Avenue  
 Foxrock  
 Dublin 18.*

Osborne Associates,  
The Mews,  
Kerrymount Avenue,  
Foxrock.

Reg. Ref. 91A-0927

25 July 1991

Re: Proposed office alterations to unit no. 21, Parkmore  
Industrial Estate, Longmile Road for  
Dorothy & Paul Ledwidge.

Dear Sir/Madam,

With reference to your planning application, received here on 29th May, 1991, in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts, 1963-1983, the following additional information must be submitted in quadruplicate:-

1. The proposed development includes provision for first floor window openings which are not consistent with the design and scale of first floor window openings on the adjoining premises. The applicant is requested to submit revised proposals which would maintain the overall design character of the complex as a whole.
2. The applicant is requested to clarify the scale and proposed use of this industrial unit by providing a full schedule of existing floor space use and proposed use for the entire premises.

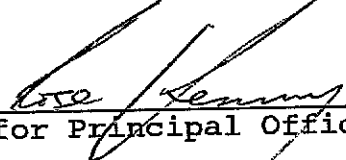
(Continued)

(Continued)

3. In view of the fact that the site is located within the jurisdiction of Dublin County Council a revised newspaper advertisement is required seeking permission from Dublin County Council.  
Applicant is requested to submit a revised notice with the heading "Dublin County Council."

Please mark your reply "ADDITIONAL INFORMATION" and quote the Reg. Ref. No. given above.

Yours faithfully,

  
for Principal Officer.



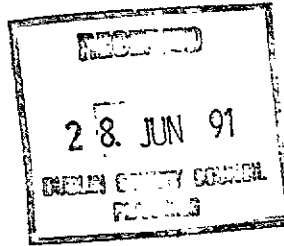
OSBORNE ASSOCIATES,  
 THE MEWS,  
 CHERRYFIELD,  
 KERRYMOUNT AVENUE,  
 FOXROCK,  
 DUBLIN 18  
 TELEPHONE / FAX 2894585.



ARCHITECTURE  
 PLANNING CONSULTANTS  
 PROJECT MANAGER

91A/927  
 1.0.0  
 Mark A.1

Planning Department  
 Dublin County Council  
 Irish Life Centre  
 Lr Abbey Street  
 Dublin 1.



26.06.1991.

Att: Niall Byrne Esq.  
 Re: Application for alterations to offices at Unit No 21  
 Parkmore Industrial Estate, Dublin 12 for Dorothy and  
 Paul Ledwidge.

Further to the above and our telephone conversation to-  
 day, please find enclosed the following documentation for  
 clarifying the full extent of the office area for  
 planning permission.

Ground Floor Existing:

Entrance Lobby:	100sq.ft.	
Lobby Area	72sq.ft.	
3 Offices	25'-10".12'-5"	321.875
	9'-4".13'-0"	120.9
	15'-5".8'-0"	124.8

New Ground Floor Office 13'-5".32'-0" 435.2

First Floor Existing:

Landing Areas		
Offices	16'-9".10'-6".	175.875
	13'-0".12'-0"	156

New First Floor Areas

Landing Area	16'-9".10'-6"	175.875
Office and Store	13'-3".29'-0"	384.25
Office	27'-0".10'-6"	283.5
		843.625
Fire Escape.		161.

The total new office area is 134.34sq.m

Many thanks for your kind co-operation in this matter.

*S. Osborne*

Osborne Associates. OSBORNE ASSOCIATES

Architects, Planning Consultants, Project Managers,  
 Computer Aided Design Consultants.

OSBORNE ASSOCIATES,  
THE MEWS,  
CHERRYFIELD,  
KERRYMOUNT AVENUE,  
FOXROCK,  
DUBLIN 18  
TELEPHONE / FAX 2894585.

NO FEE  
AP  
SP



ARCHITECTURE  
PLANNING CONSULTANTS  
PROJECT MANAGER

Planning Department  
Dublin Corporation  
Irish Life Centre  
Lr Abbey Street  
Dublin 1.



14.06.1991.

Att: Richard Whelan Esq.

Re: Application for alterations to offices at Unit No 21  
Parkmore Industrial Estate, Dublin 12 for Dorothy and  
Paul Ledwidge.

Further to the above, please find enclosed the following  
documentation for clarifying the full extent of the  
office area for planning permission. We have outlined the  
area in red and have measured the areas involved. The  
total new office area is 134.34sq.m rather than the  
205sq.m we first calculated.

Please find enclosed the following documentation :-

1 Copies of Drawing	No 91/61/01.	Location Plan.
1 Copies of Drawing	No 91/61/02.	Site Plan.
1 Copies of Drawing	No 91/61/03.	Ground Floor Plan.
1 Copies of Drawing	No 91/61/04.	First Floor Plan.
1 Copies of Drawing	No 91/61/05.	Penthouse.
1 Copies of Drawing	No 91/61/06.	Front Elevation.
1 Copies of Drawing	No 91/61/07.	Rear Elevation.
1 Copies of Drawing	No 91/61/08.	Cross-section.
1 Copies of Drawing	No 91/61/09.	Entrance details.

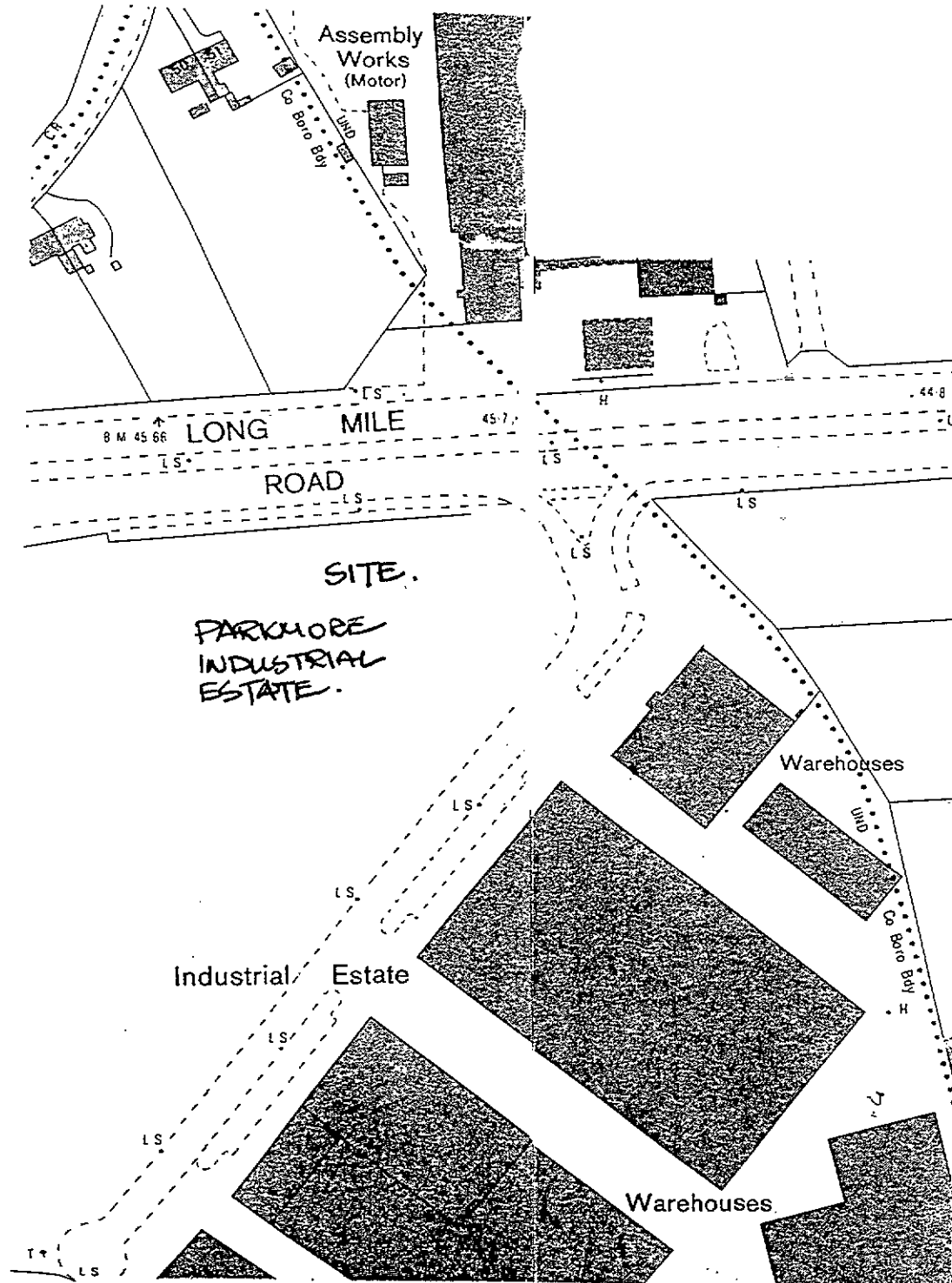
Many thanks for your kind co-operation in this matter.

  
Osborne Associates.

91/61/0927  
1.10.0  
Mr. A. J.

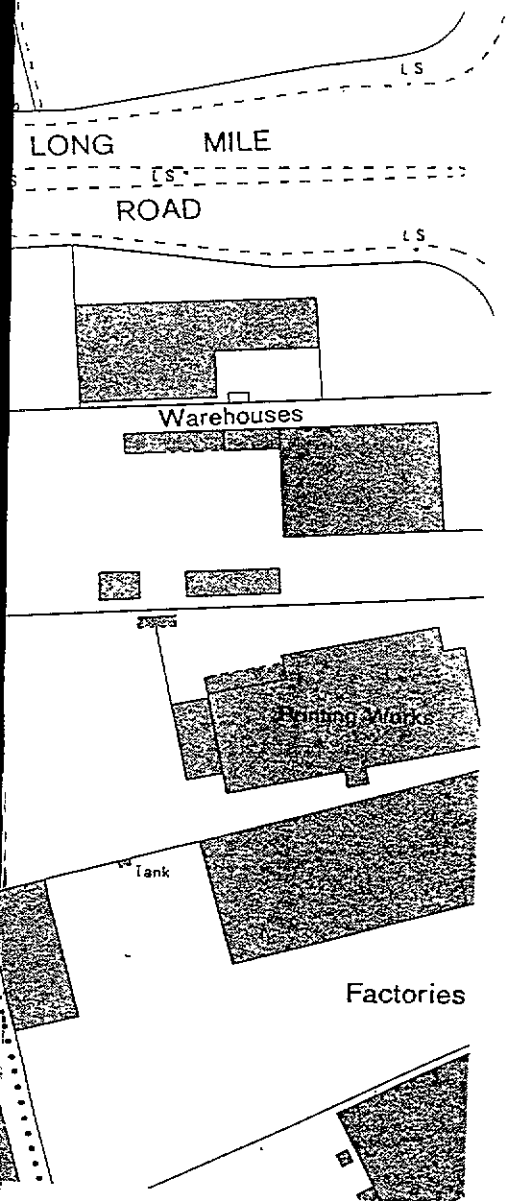
OSBORNE ASSOCIATES

Architects, Planning Consultants, Project Managers,  
Computer Aided Design Consultants.



LOCATION PLAN.

91A/0927  
17/6/97

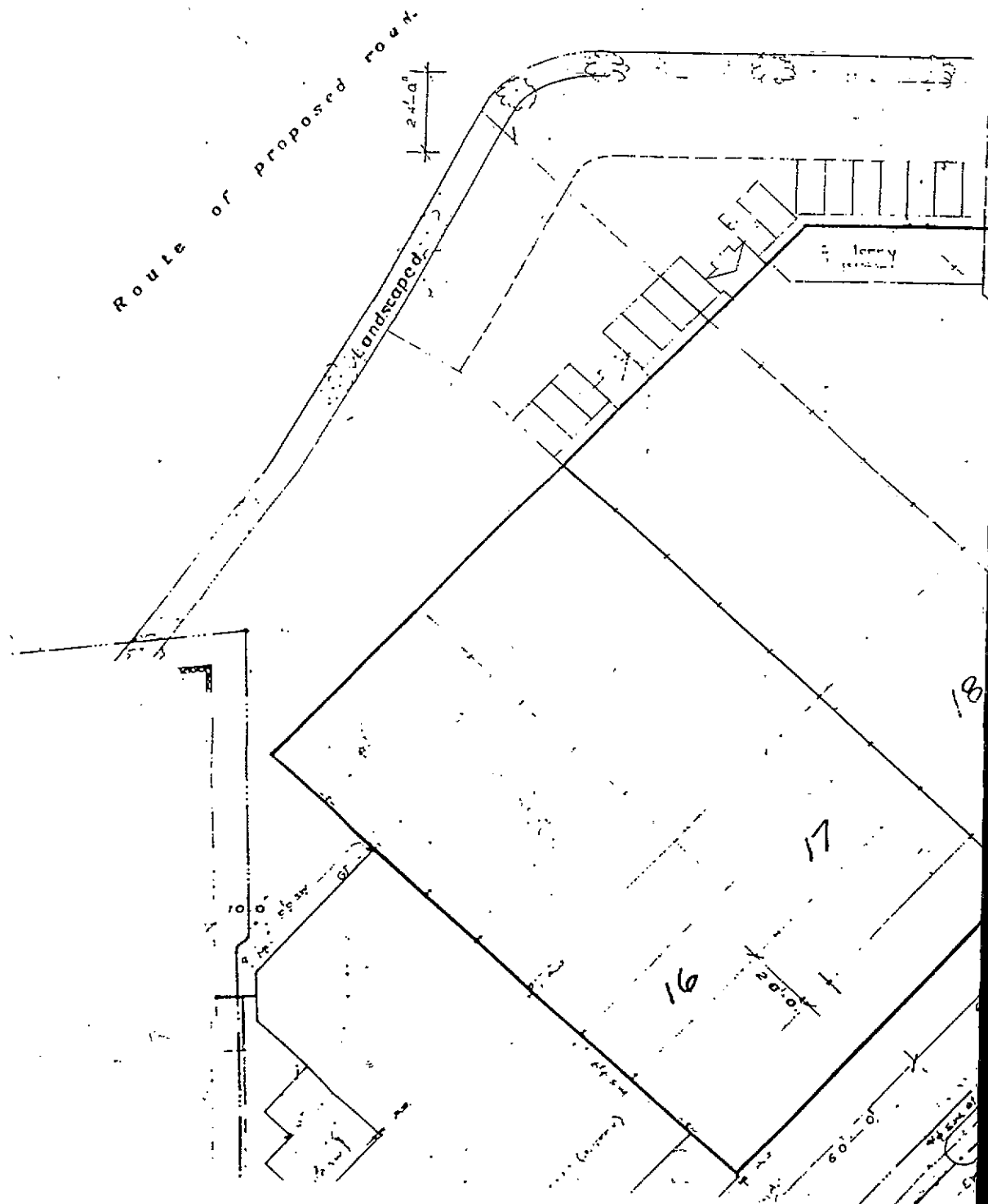


# RIAI



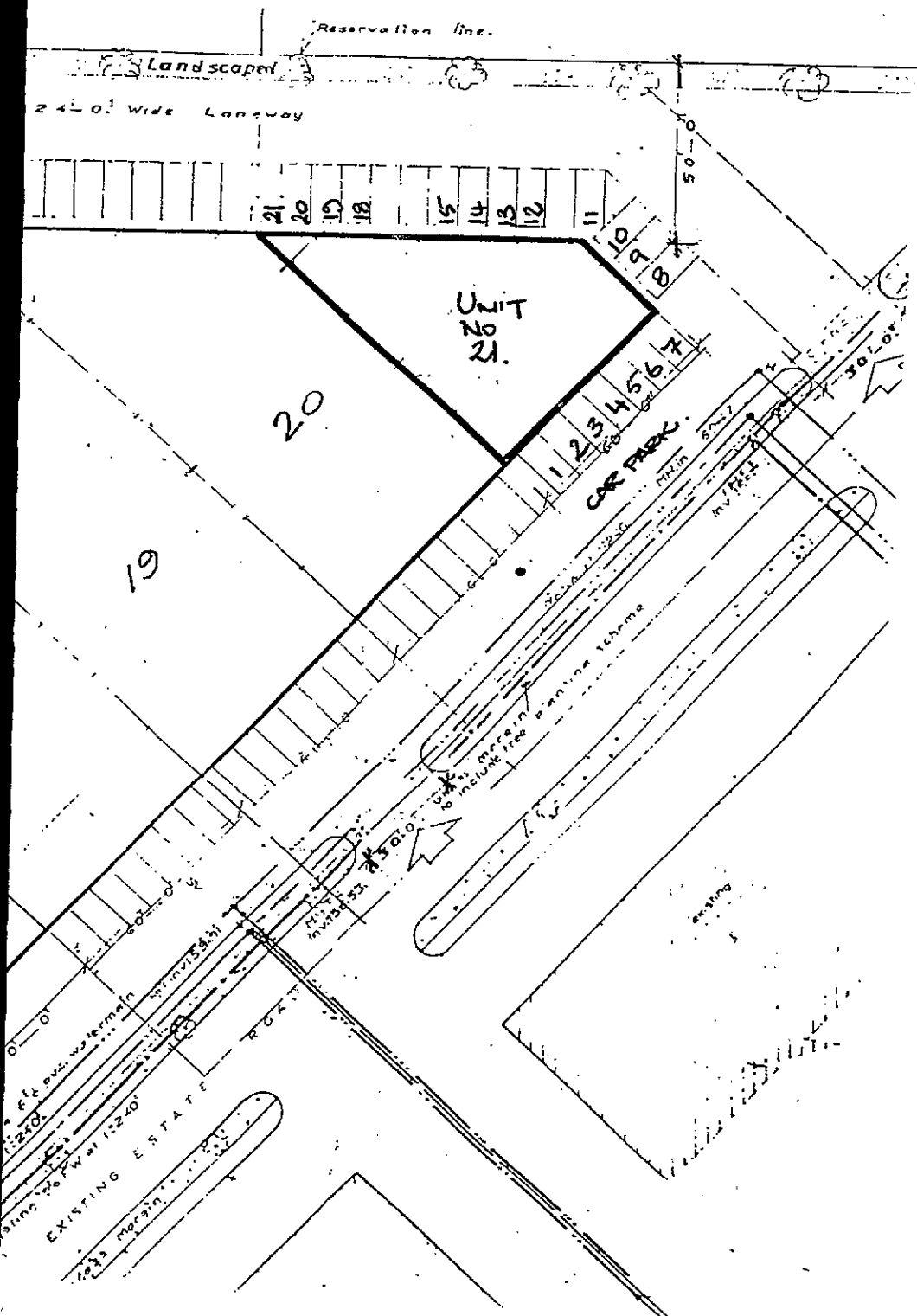
*Osborne  
Architecture  
Planning  
Project Management*

*Kerrymount Avenue  
Foxrock  
Dublin 18.*



SITE PLAN. 1:500.

17/6/91  
 91A/0927  
 1.10.0  
 R



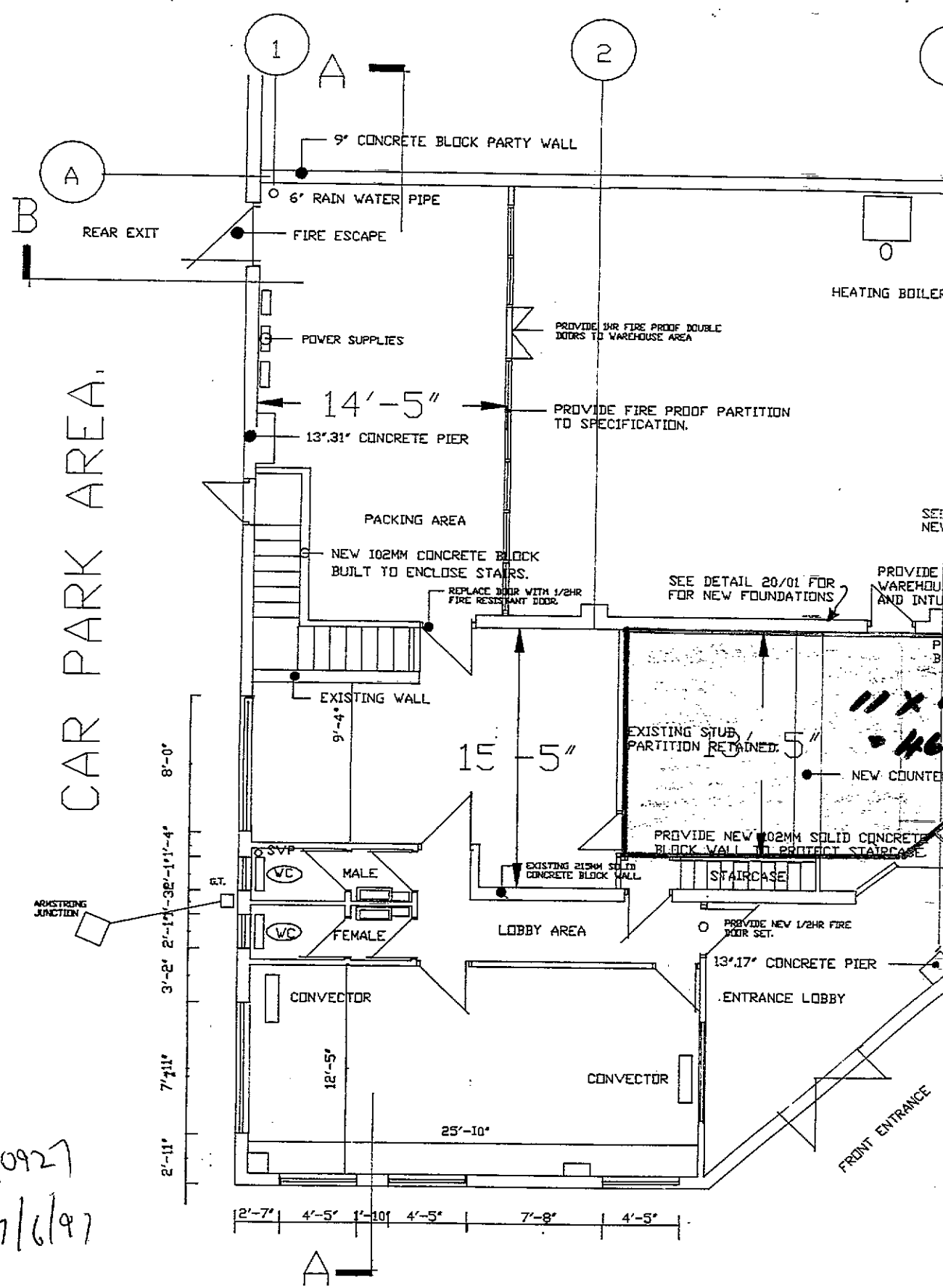
# RIAI



Osborne  
Architecture  
Planning  
Project Management

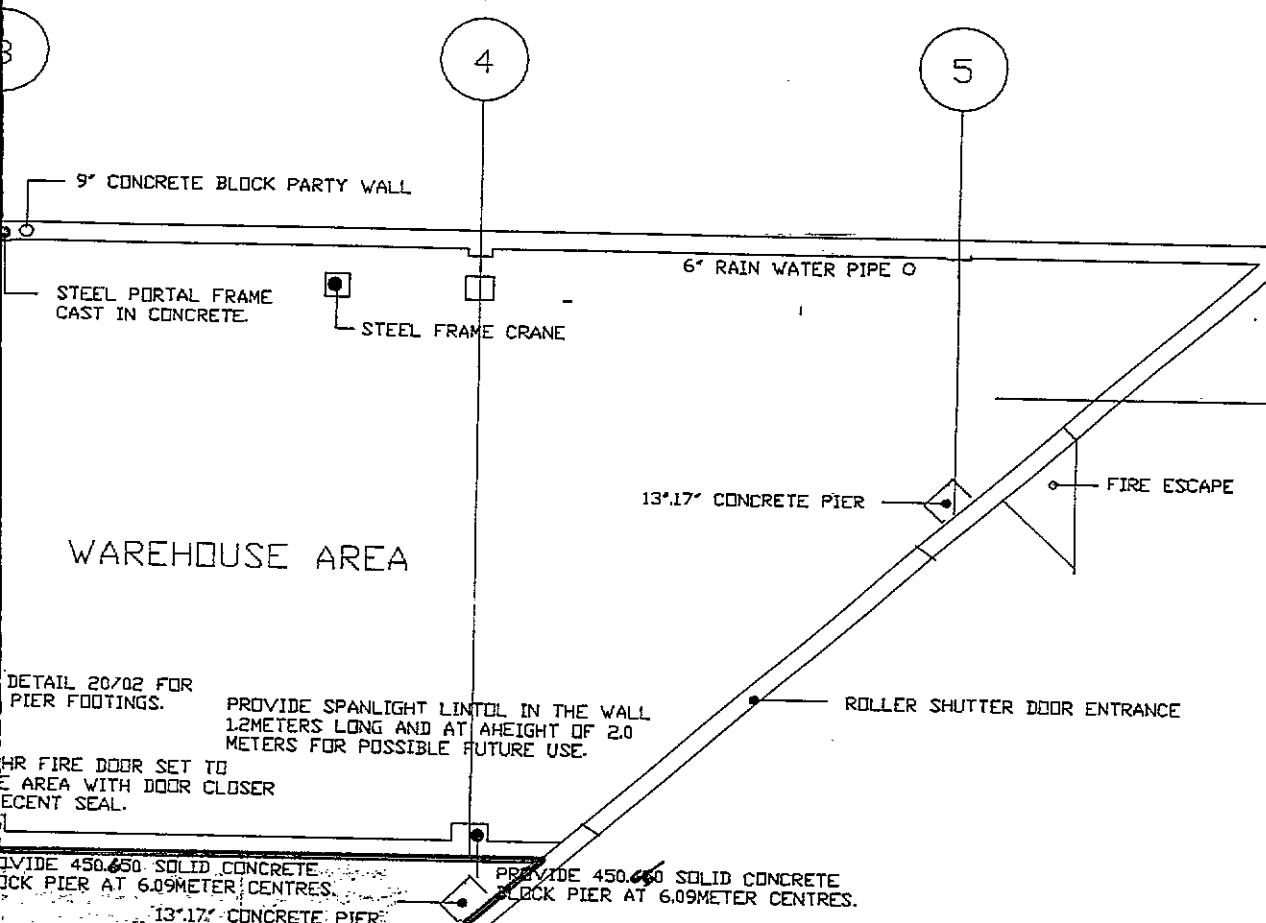
Kerrymount Avenue  
Foxrock  
Dublin 18.

UNIT N



9110/0927  
17/6/97

20



CAR PARK AREA

PROPOSED LAYOUT OF UNIT NO 21  
 PARKMORE INDUSTRIAL ESTATE FOR  
 DOROTHY AND PAUL LEDWIDGE  
 DRAWING NO 930/51.  
 GROUND FLOOR PLAN SCALE 1/8"=1'

# RIAI

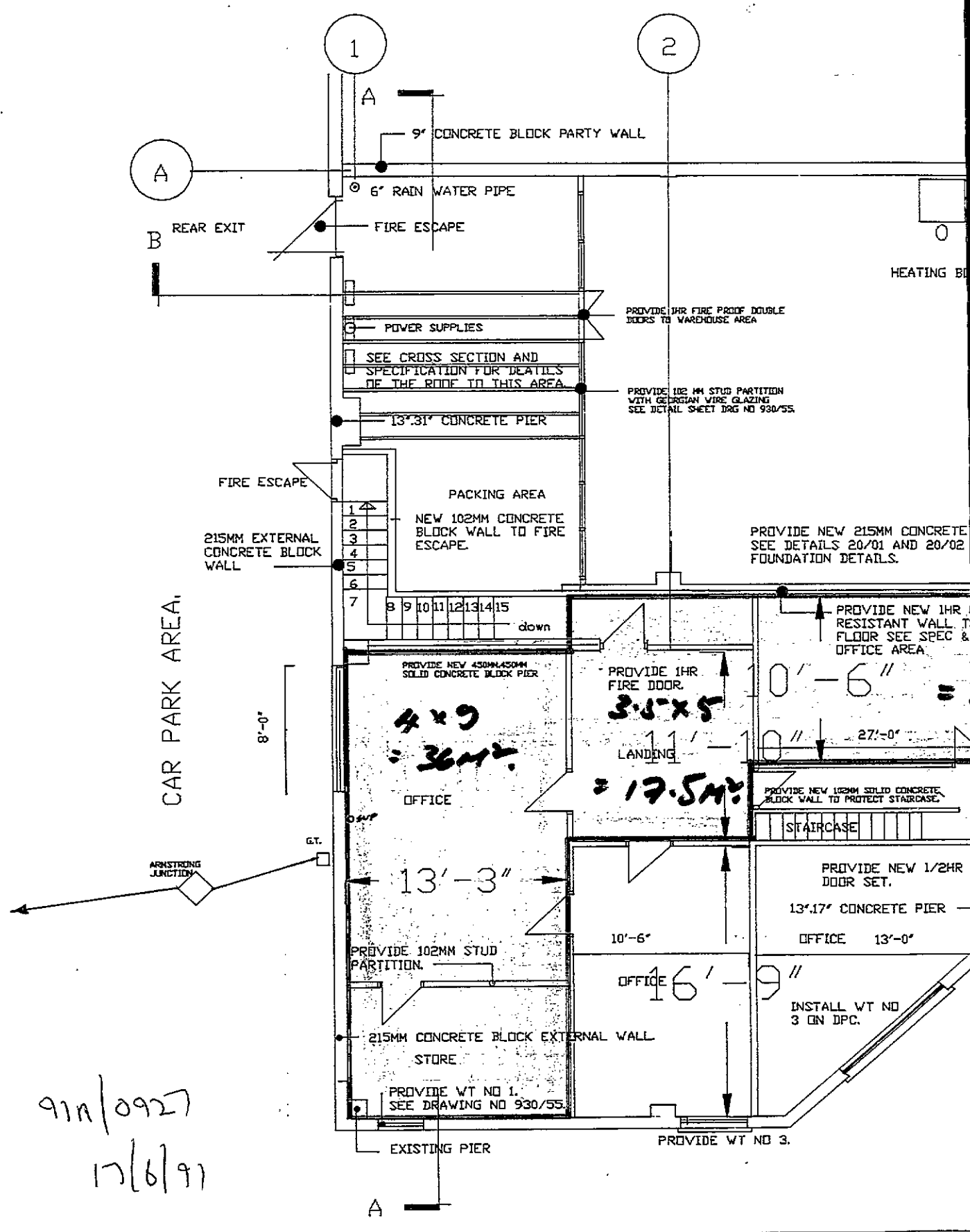


Osborne  
 Architecture  
 Planning  
 Project Management

Kerrymount Avenue  
 Foxrock  
 Dublin 18.



UNIT.



CAR PARK AREA.

9111/0927  
17/6/91

4 x 9  
= 36m<sup>2</sup>  
OFFICE

3.5 x 5  
= 17.5m<sup>2</sup>  
LANDING

16'-9"  
OFFICE

A

PROVIDE WT NO 3.

EXISTING PIER

PROVIDE WT NO 1.  
SEE DRAWING NO 930/55.

215MM CONCRETE BLOCK EXTERNAL WALL

PROVIDE 102MM STUD PARTITION.

13'-3"

OFFICE

PROVIDE NEW 450MMx450MM SOLID CONCRETE BLOCK PIER

8'-0"

NEW 102MM CONCRETE BLOCK WALL TO FIRE ESCAPE.

PACKING AREA

13'-31" CONCRETE PIER

SEE CROSS SECTION AND SPECIFICATION FOR DETAILS OF THE ROOF TO THIS AREA.

POWER SUPPLIES

PROVIDE 1HR FIRE PROOF DOUBLE DOORS TO WAREHOUSE AREA

PROVIDE 102 MM STUD PARTITION WITH GEORGIAN WIRE GLAZING SEE DETAIL SHEET DRG NO 930/55.

PROVIDE NEW 215MM CONCRETE SEE DETAILS 20/01 AND 20/02 FOUNDATION DETAILS.

PROVIDE NEW 1HR RESISTANT WALL TO FLOOR SEE SPEC & OFFICE AREA.

PROVIDE NEW 102MM SOLID CONCRETE BLOCK WALL TO PROTECT STAIRCASE.

PROVIDE NEW 1/2HR DOOR SET.

13'-17" CONCRETE PIER

OFFICE 13'-0"

INSTALL WT NO 3 ON DPC.

A

B

1

2

A

6' RAIN WATER PIPE

FIRE ESCAPE

REAR EXIT

A

1

2

3

4

5

6

7

8

9

10

11

12

13

14

15

down

STAIRCASE

STAIRCASE

STAIRCASE

STAIRCASE

STAIRCASE

STAIRCASE

STAIRCASE

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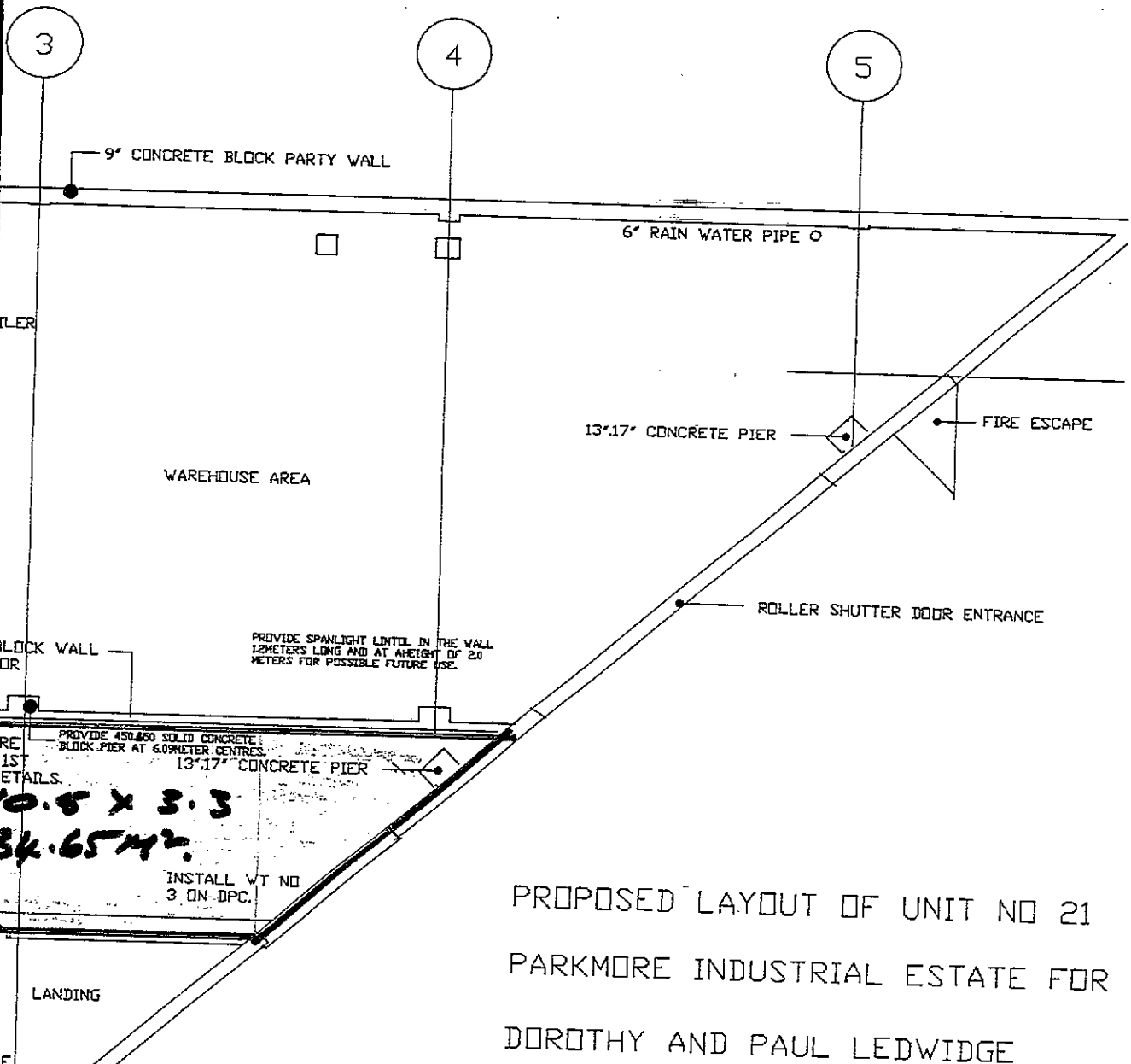
STAIRCASE

STAIRCASE

STAIRCASE

STAIRCASE

NO 20



PROPOSED LAYOUT OF UNIT NO 21  
 PARKMORE INDUSTRIAL ESTATE FOR  
 DOROTHY AND PAUL LEDWIDGE  
 FIRST FLOOR PLAN  
 DRAWING NO. 950/52.  
 SCALE 1/8"=1'-0" OR 1:100 APPROX.

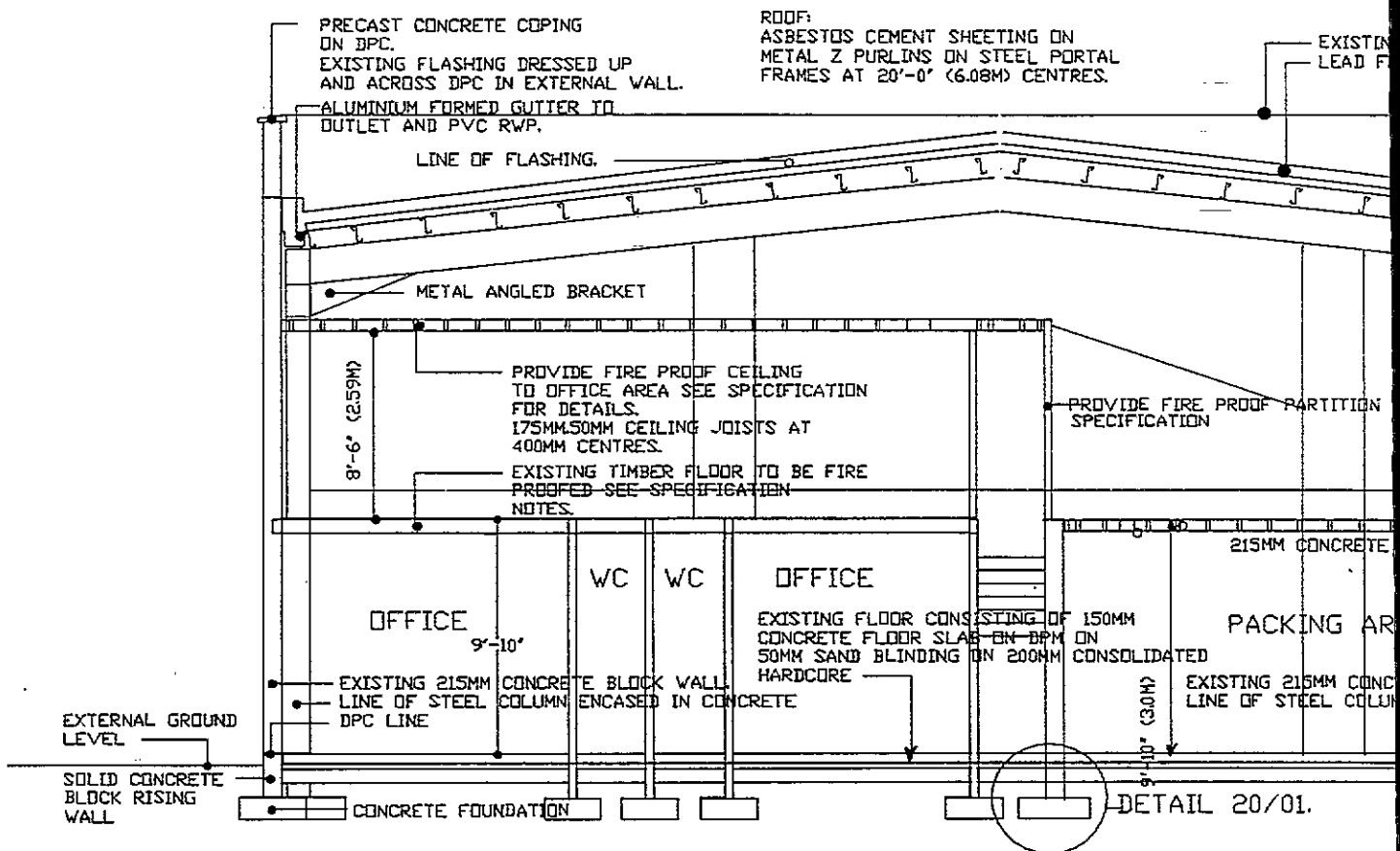
**Total 1st Floor**  
 = 36 + 17.5 + 34.65  
 = 88.15 m<sup>2</sup>.

**RIAI**



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 Planning  
 Project Management

Kerrymount Avenue  
 Foxrock  
 Dublin 18.

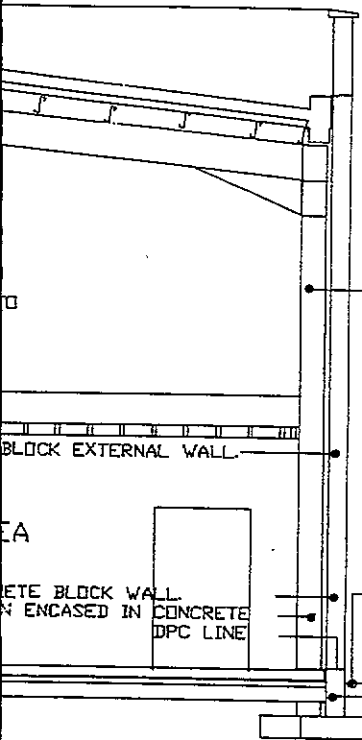


DETAIL 20/01.

CROSS-SECTION B-B THROUGH UNIT NO 21 PARKMORE INDUS

9/11/0927  
 17/6/91

... PARTY WALL  
... ASHING



LINE OF HORIZONTAL STEEL ENCASED  
IN CONCRETE TIE BEAM.

BLOCK EXTERNAL WALL.

CONCRETE BLOCK WALL  
ENCASED IN CONCRETE  
DPC LINE

EXTERNAL  
GROUND  
LEVEL  
D.P.C.

SOLID CONCRETE  
BLOCK RISING  
WALL

PROPOSED ALTERATIONS TO  
UNIT NO 21 PARKMORE INDUSTRIAL  
ESTATE FOR  
DOROTHY AND PAUL LEDWIDGE.  
DRAWING NO 930/54.  
SCALE 1/8" TO 1'-0" OR 1:100 APPROX.

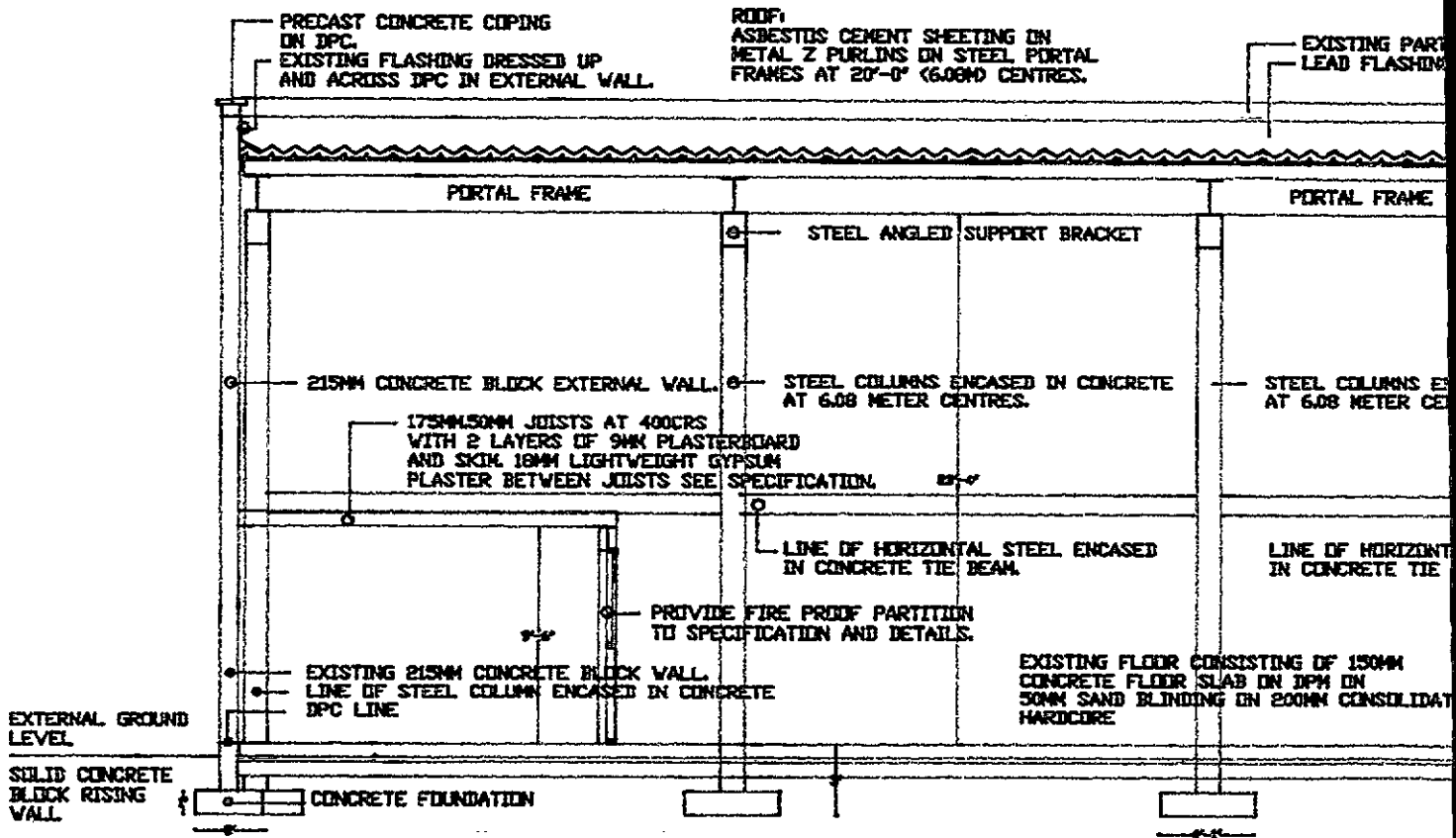
... TRIAL ESTATE.

# RIAI



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Architecture  
Planning  
Project Management*

*Kerrymount Avenue  
Foxrock  
Dublin 18.*

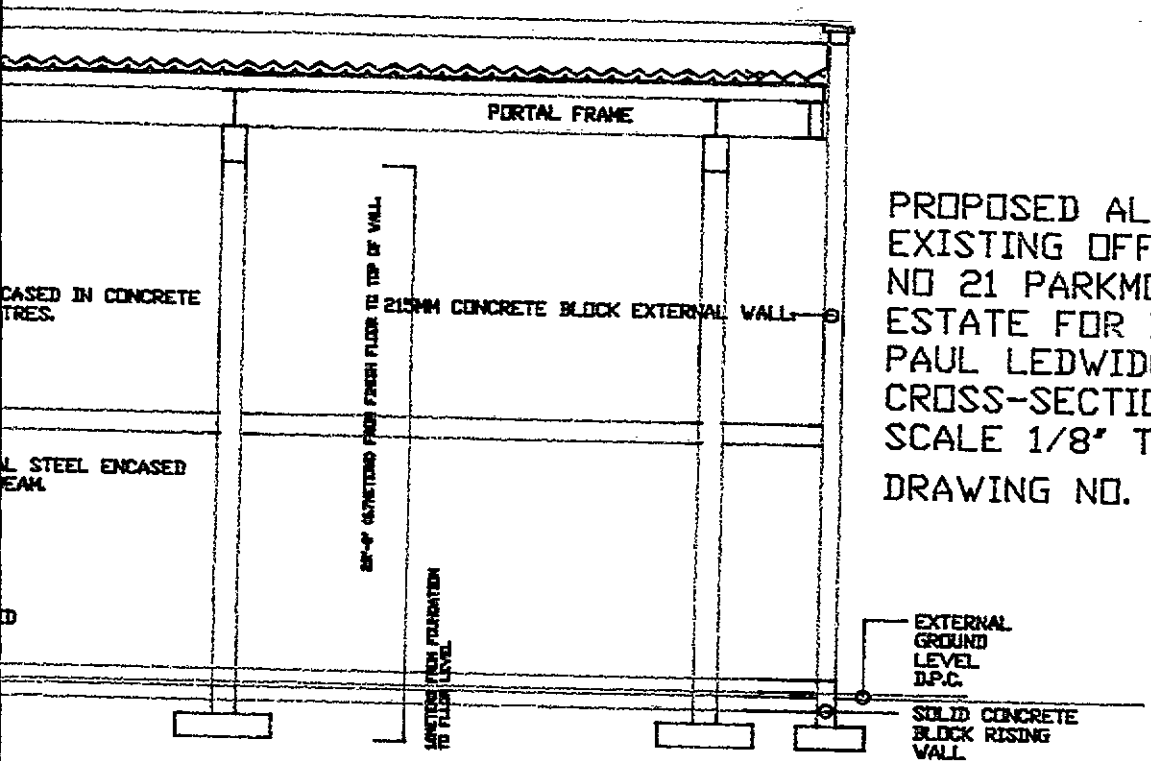


CROSS-SECTION A-A THROUGH UNIT NO 21 PARKM

910/0927

17/6/91

Y WALL



PROPOSED ALTERATI  
 EXISTING OFFICES A  
 NO 21 PARKMORE INI  
 ESTATE FOR DOROTH  
 PAUL LEDWIDGE.  
 CROSS-SECTION A-A  
 SCALE 1/8" TO 1'-0"  
 DRAWING NO. 930/53

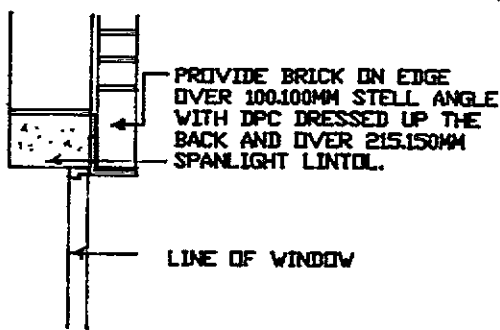
ORE INDUSTRIAL ESTATE.

# RIAI

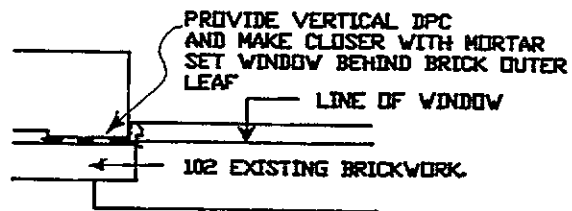


*Osborne  
 Architecture  
 Planning  
 Project Management*

*Kerrymount Avenue  
 Foxrock  
 Dublin 18.*



SECTION OVER BRICK HEAD



PLAN OF BRICK REVEAL

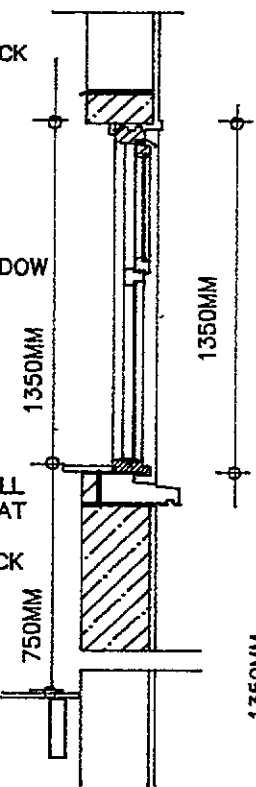
CILL DETAIL FOR BRICK THE SAME AS CROSS-SECTION EXCEPT ALLOW FOR EXTRA DEPTH BEHIND THE DPC.

215MM CONCRETE BLOCK EXTERNAL WALL  
 PRECAST CONCRETE SPANLIGHT LINTOL

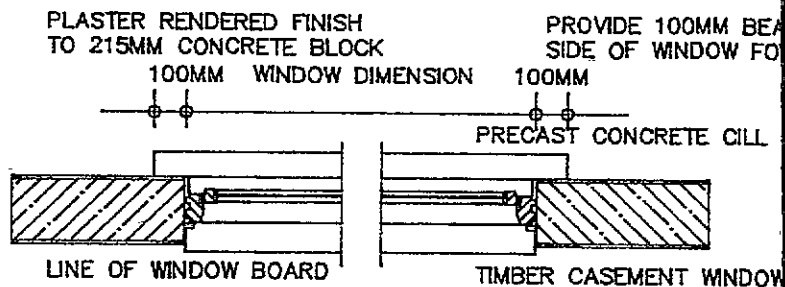
TIMBER CASEMENT WINDOW

PROVIDE 150.18MM HARDWOOD WINDOW BOARD  
 PRECAST CONCRETE CILL ON DPC DRESSED UP AT THE BACK  
 215MM CONCRETE BLOCK EXTERNAL WALL

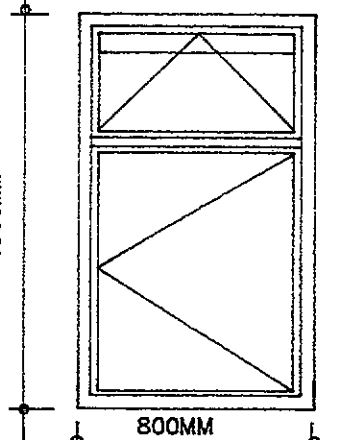
150.18MM T&G TIMBER FLOOR



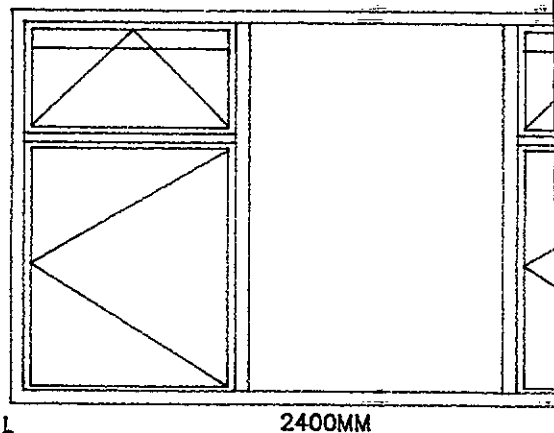
CROSS-SECTION OF TYPICAL WINDOW.



PLAN OF TYPICAL WINDOW



W.T. NO 1.



W.T. NO 2.

911/0927 17/6/97

WINDOW DETAILS FOR UNIT NO 21 PARKMO  
 DRAWING NO 930/55.

## SPECIFICATION NOTES: -

BRING EITHER  
CILL ON DPC.

ON DPC

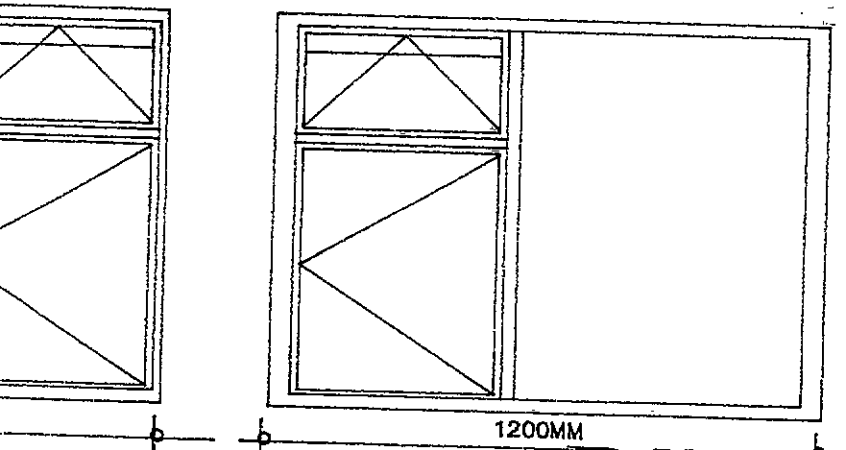
ALL SPANLIGHT LINTOLS ARE TO HAVE A MINIMUM BEARING OF 100MM EITHER SIDE OF WINDOW OPENING.

A DPC MOVEMENT JOINT IS TO BE INSERTED ABOVE THE SPANLIGHT LINTOL IN ALL CASES.

THE WINDOWS ARE TO BE ERECTED ON A PRECAST CONCRETE CILL WITH A DPC UNDER AND DRESSED UP AT THE BACK OF THE CILL A CONCRETE FILLET TO THE VERTICAL DPC AT THE BACK OF THE CILL IS TO BE INSERTED.

A WINDOW BOARD IN HARDWOOD IS TO BE INSERTED ON TIMBER GROUNDS.

THE PRECAST CONCRETE CILL IS TO EXTEND 100MM ON EITHER SIDE OF THE OPENING AND THE EXTERNAL FINISH IS TO BE MADE GOOD.



W.T. NO 3.

# RIAI

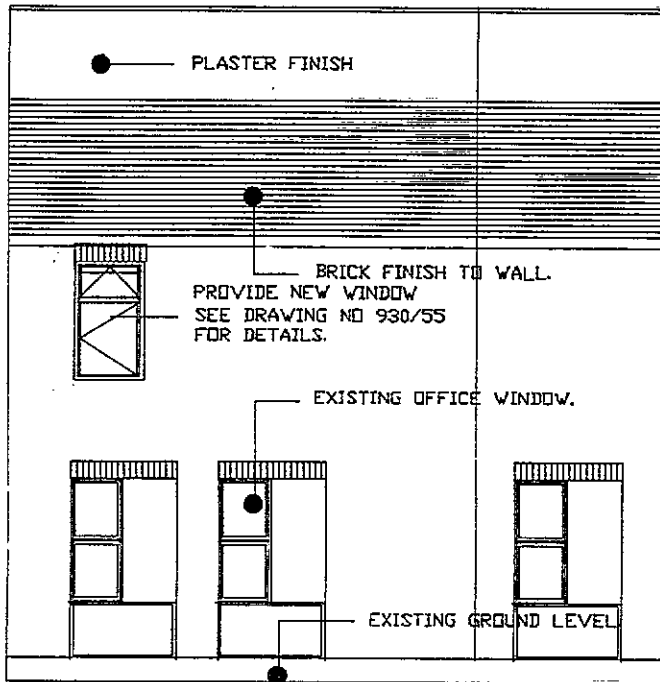
RE INDUSTRIAL



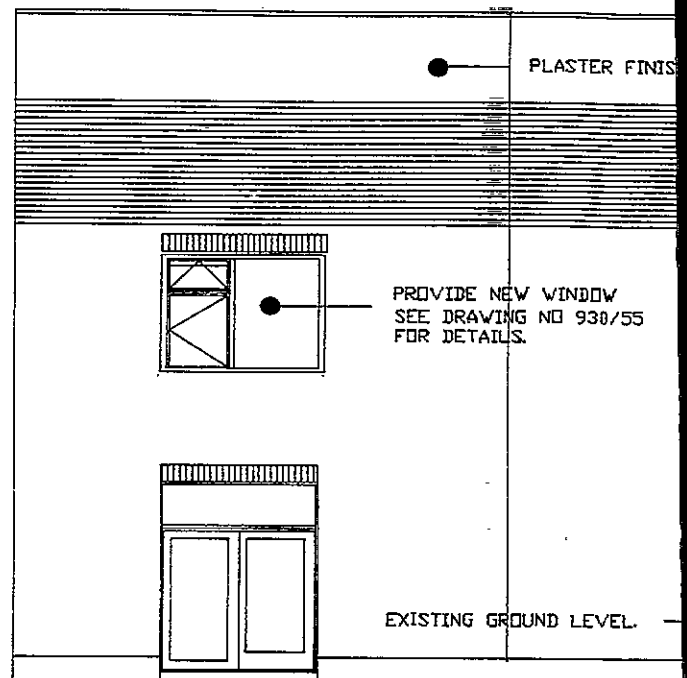
*Osborne  
Architecture  
Planning  
Project Management*

*Kerrymount Avenue  
Foxrock  
Dublin 18.*

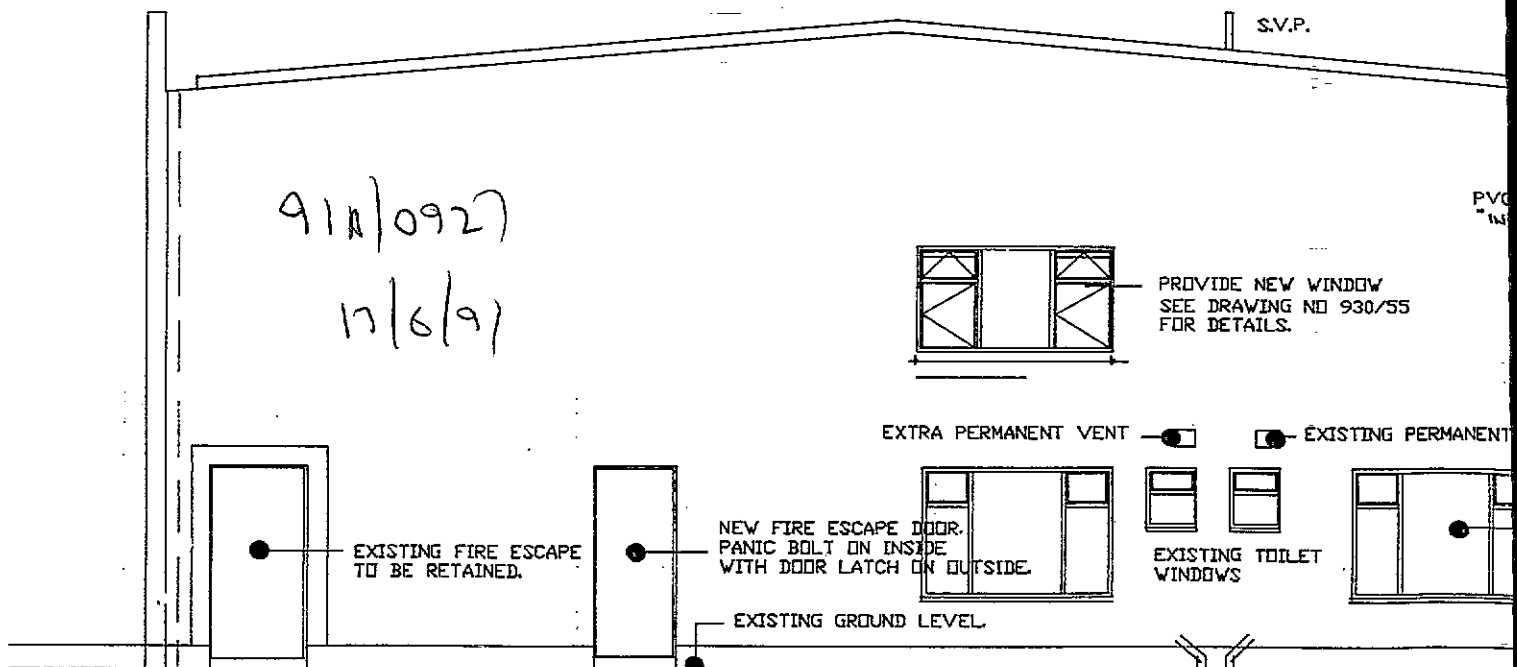




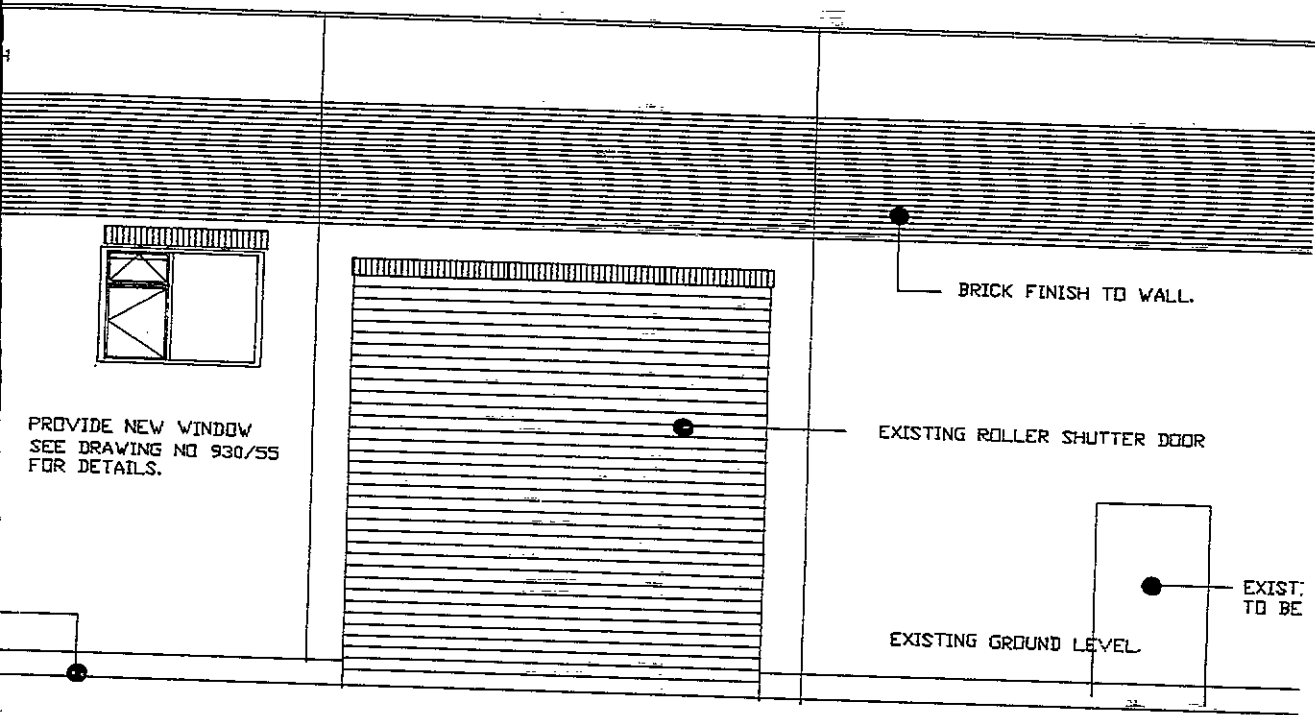
SIDE ELEVATION



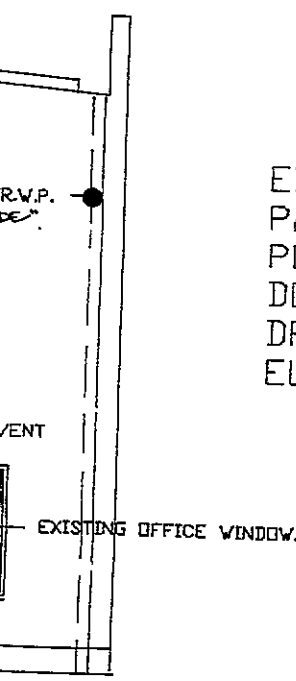
ELEVATION TO LONG M



ELEVATION TO INDUSTRIAL ESTATE - SCAL



ILE ROAD. SCALE 1/8"=1'-0".



EXISTING ELEVATIONS OF UNIT NO 21  
 PARKMORE INDUSTRIAL ESTATE SHOWING  
 POSITIONS OF NEW WINDOWS FOR  
 DOROTHY AND PAUL LEDWIDGE.  
 DRAWING NO 930/56.  
 ELEVATIONS SCALE 1/8"=1'-0".

**RIAI**



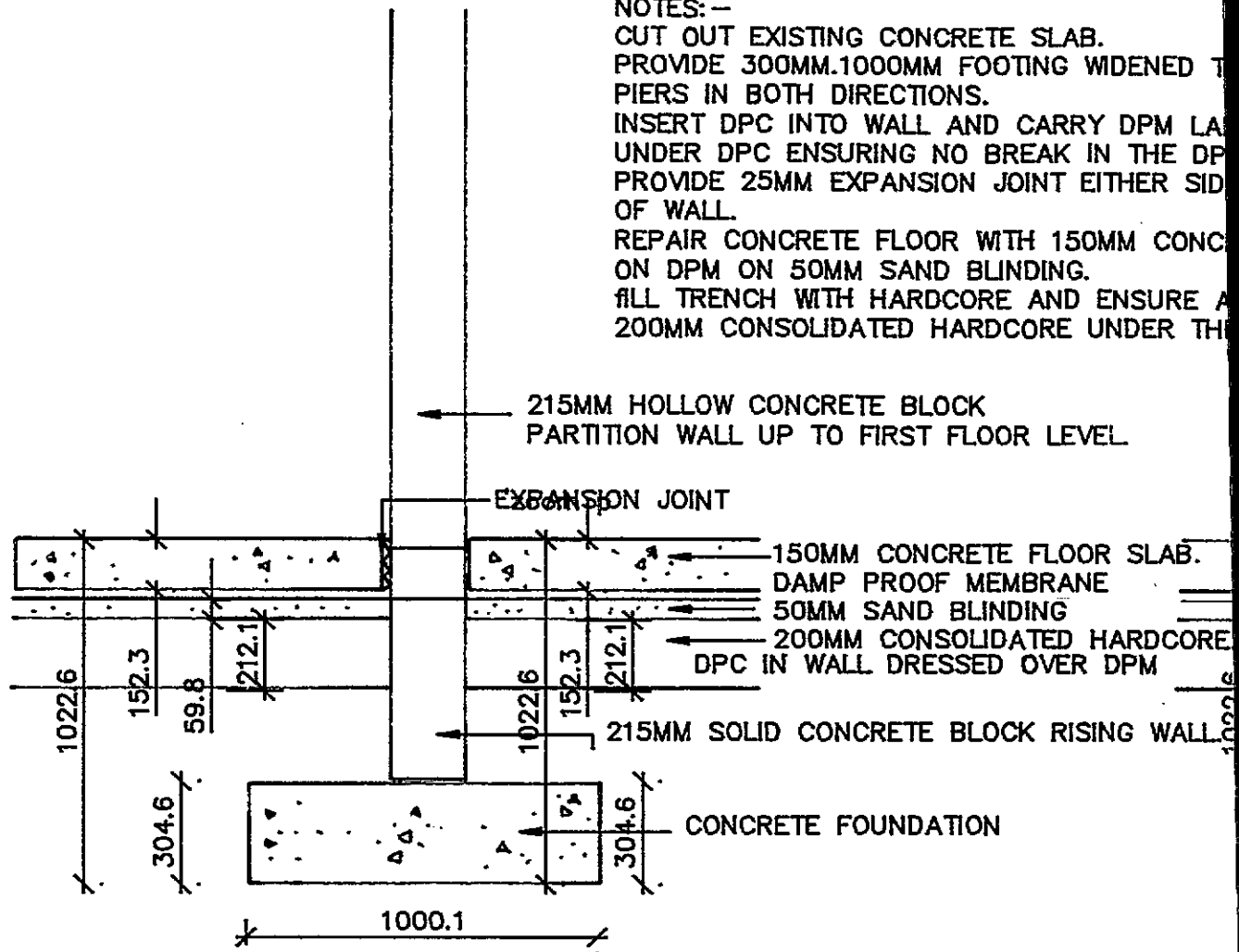
*Osborne  
 Architecture  
 Planning  
 Project Management*

*Kerrymount Avenue  
 Foxrock  
 Dublin 18.*

1/8"=1'-0".

NOTES: -

CUT OUT EXISTING CONCRETE SLAB.  
PROVIDE 300MM.1000MM FOOTING WIDENED T  
PIERS IN BOTH DIRECTIONS.  
INSERT DPC INTO WALL AND CARRY DPM LA  
UNDER DPC ENSURING NO BREAK IN THE DP  
PROVIDE 25MM EXPANSION JOINT EITHER SID  
OF WALL.  
REPAIR CONCRETE FLOOR WITH 150MM CONC  
ON DPM ON 50MM SAND BLINDING.  
FILL TRENCH WITH HARDCORE AND ENSURE A  
200MM CONSOLIDATED HARDCORE UNDER TH

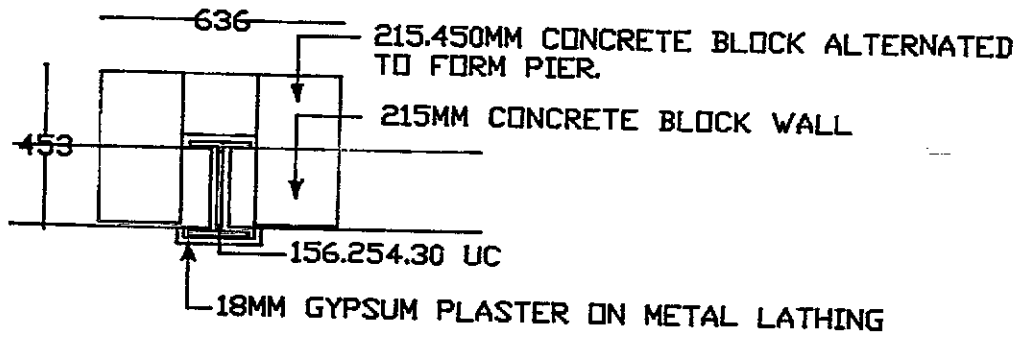


SECTION THROUGH 215MM  
CONCRETE DIV G WALL

9/11/0927

17/6/91

FOOTING DETAILS FOR UNIT NO 21 P  
DRAWING NUMBER 950/56.



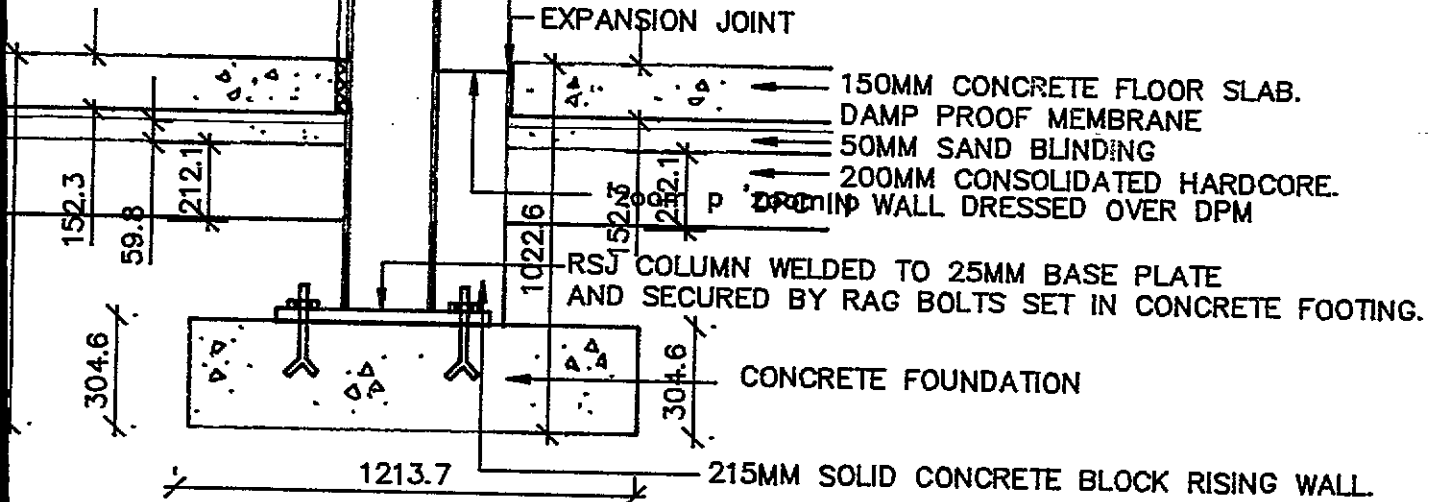
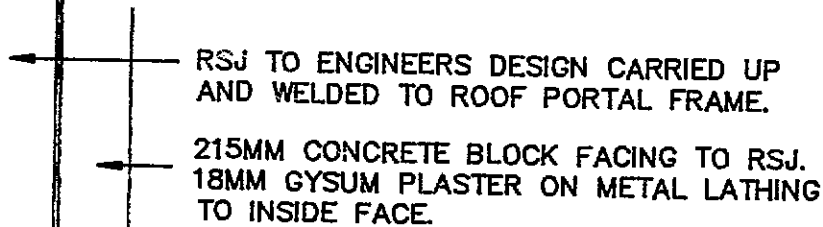
PLAN DETAIL OF PIER.

1200MM FOR

PPED  
M.  
E

RETE POUR

MINIMUM OF  
FLOOR.

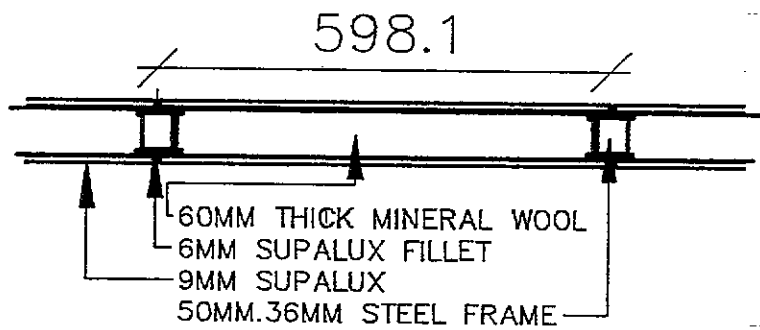


SECTION THROUGH RSJ COLUMN FORMING PIER TO ENGINEERS SPECIFICATION.

Osborne  
Architecture  
Planning  
Project Management

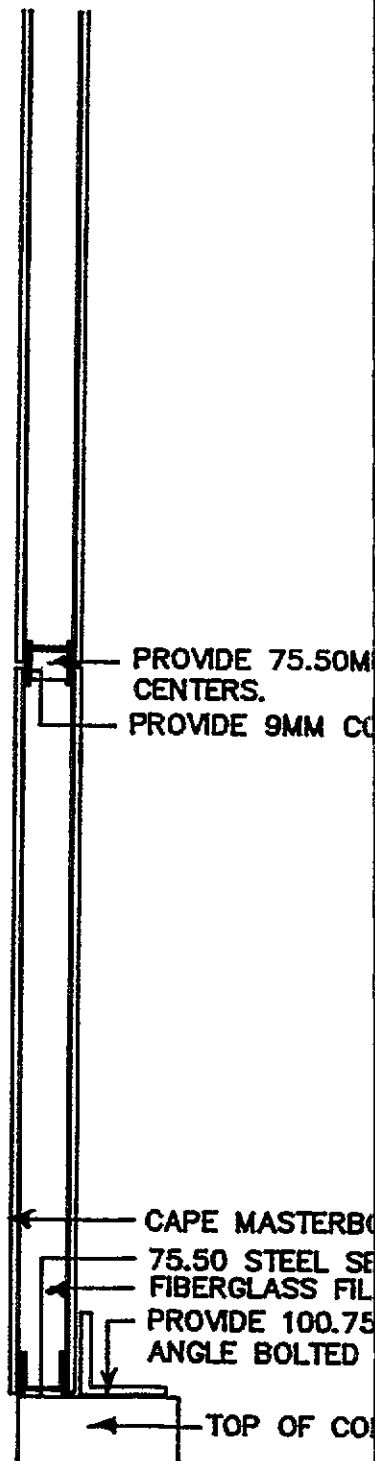
ARKMORE INDUSTRIAL ESTATE

Kerrymount Avenue  
Foxrock  
Dublin 18.



PLAN DETAIL OF FIRE PROOF PARTITION.

910/0927  
17/6/91



CROSS SECTION OF PARTITION AT TOP

M STEEL CHANNEL AT 1.2 METERS

OVER PIECES TO CHANNEL IN MASTERBOARD. (SUPALUX).

DARD FIRE PROOF LINER (9MM SUPALUX).

CTIONS  
LING COMPRESSED FROM 100MM.

GALVANISED STEEL  
TO FLOOR.

CONCRETE BLOCK WALL

F FIRE PROOF  
OF 215MM WALL.

# RIAI



*Osborne  
Architecture  
Planning  
Project Management*

*Kerrymount Avenue  
Foxrock  
Dublin 18.*

# COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY — DUBLIN COUNTY COUNCIL  
46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

[RECEIPT CODE]

BYE LAW APPLICATION.

REC. No. N 41567

- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

£ 717.50

Received this 12<sup>th</sup> day of June 1991

from Ambassador Comm. Bd.

the sum of seven hundred - seventeen Pounds

fifty Pence, being fee for bye-law application 91A/927

M. O'Leary Cashier

S. CAREY Principal Officer *Class C*

# COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY **DUBLIN COUNTY COUNCIL**

46/49 UPPER O'CONNELL STREET  
DUBLIN 1.

Issue of this receipt is not an  
acknowledgement that the fee  
tendered is the prescribed application  
fee. **N-41209**

CASH   
CHEQUE   
M.O.   
B.L.   
I.T.

£ 358.75

Received this 12<sup>th</sup> day of June 1991  
from Ambassador Conns. Ltd.

the sum of three hundred and fifty eight Pounds  
seventy five Pence being for for  
planning application at 91A/924

Noleen Deane Cashier

**S. CAREY**  
Principal Officer

Class 4





# HOMELINE

2 CAPEL STREET, DUBLIN 1, IRELAND  
Telephone: 722744, 730661 Fax: 722196



*Distributors to the Trade of Telecommunication Equipment, Car Stereo & Home/Auto Alarm Systems*

91A Longmile Rd.

12/6

With Compliments T/A Arkhamedox Communications

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/0927

Date : 5th June 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

---

Dear Sir/Madam,

DEVELOPMENT : Office alterations

LOCATION : Unit No. 21, Parkmore Industrial Estate, Dublin 12.

APPLICANT : Dorothy & Paul Ledwidge

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received on 29th May 1991.

Yours faithfully,

.....  
PRINCIPAL OFFICER

Osborne Associates,  
The Mews,  
Kerrymount Avenue,  
Foxrock.

# DUBLIN CORPORATION



# PLANNING APPLICATION FORM

PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM - ALL QUESTIONS MUST BE ANSWERED

1. Application for  Permission  Outline Permission  Approval  Place  in appropriate box  
*Approval should be sought only where an outline permission was previously granted.  
Outline Permission may not be sought for the retention of structures or continuance of uses.*

2. Postal address of Site or Building UNIT No 21 PARKMORE INDUSTRIAL ESTATE  
if none, give description  
sufficient to identify) LONG MILE ROAD DUBLIN 12

3. Name of applicant (Principal not Agent) DOROTHY & PAUL LEDWIDGE  
Address ASHLEIGH, LUCAN RD. CHAPALZOD Tel. No. 6267548

4. Name and address of OSBORNE ASSOCIATES, THE MEWS  
person or firm responsible  
for preparation of drawings KERRYMOUNT AVENUE, FOXROCK Tel. No. 2891585

5. Name and address to which AS 4 ABOVE  
notifications should be sent

6. Brief description of OFFICE ALTERATIONS TO UNIT No 21  
proposed development PARKMORE INDUSTRIAL ESTATE

7. In the case of any building or buildings to be retained on site, please state:

(a) Present use of each floor OFFICES & WAREHOUSE BYE LAW APPLICATION  
or use when last used RBC No. 011

(b) Proposed use of each floor THE SAME

8. Does the proposal involve demolition/partial demolition  
of any habitable house or part thereof? No.

9. (a) Area of Site 1000 Sq. m.

(b) Floor area of 200 Sq. m.

(c) Floor area of 430 Total Sq. m.

**DUBLIN 12 Planning permission is sought from Dublin Corporation for office alterations to unit no. 21, Parkmore Industrial Estate, Longmile Road for Dorothy & Paul Ledwidge**

10. State applicant's legal interest in the land (i.e. freehold, leasehold etc.) FREEHOLD

11. Are you now applying also for an approval under the Building Bye Laws? Yes  No  Place  in appropriate box

Please state the extent to which the Draft Building Regulations have been taken into account in your proposal:

INsofar AS THEY APPLY TO NEW DEVELOPMENT

13. List of documents enclosed with application. 4 COPIES OF PLANS, NEW AREAS COLOURED SPECIFICATION LETTER OF APPLICATION + NEWSPAPER NOTICE.

14. Gross floor space of proposed development (See Back).....Sq. m.

No. of dwellings proposed (if any) NONE Class(es) of Development H + C

Fee Payable £ 1076.25 Basis of Calculation 205m<sup>2</sup> @ 1.75 = £358.75 + 205m<sup>2</sup> @ 3.50 = £717.50  
If a reduced fee is tendered details of previous relevant payment should be given = £1076.25.

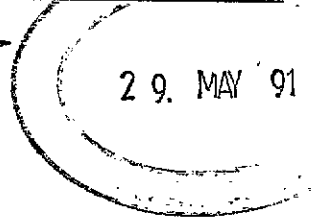
Signature of Applicant (or his Agent) S. Osborne Date 29.5.1991

Plan No. P/B FOR OFFICE USE ONLY 2.40

History 10-2-91A/0927 P/B 1P 25/5  
£358.75  
Amount Received £717.50 office alterations

Receipt No. 352 116/7 18-13

Checked.....



Guid  
Pres  
25/5

## LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 TO 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. Alternatively, a copy of the notice as erected or fixed on the land or structure as required by article 16 of the permission regulations. The newspaper advertisement should state after the heading "DUBLIN" (with postal district no:)
  - (a) The address of the structure or the location of the land.
  - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
  - (c) The name of the applicant.Applications must be received within 2 weeks from date of publication of the notice. (Advertisements acceptable in the following newspapers only:- Irish Independent, Irish Press, Irish Times, Evening Herald, Evening Press, Sunday Independent, Sunday Press, Sunday World, Sunday Tribune).
4. Four (4) sets of the drawings to a stated scale must be submitted. Each set to include a layout or block plan, location map, and drawings of relevant floor plans, elevations, sections and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of a scale not less than 1:2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2 & 3 are:
  - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
  - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the applicant has an interest must be outlined in blue.
    - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
  - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin Corporation, Planning Department, Irish Life Centre, Lr. Abber St., Dublin 1. Tel. No. 724755.

### SUMMARY OF CLASSES OF DEVELOPMENT/ FEES \*

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling - House/Fiat	£32.00 each
2.	Domestic extensions/other improvements	£16.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. office, commercial, etc)	£1.75 per sq. metre (Minimum £40.00)
5.	Use of land (Mining, deposit of waste)	£25.00 per 0.1 hectare (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 hectare (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 hectare (Min. £100.00)
8.	Petrol filling station	£100.00
9.	Advertising structures	£10.00 per sq. metre (Min. £40.00)
10.	Electricity transmission lines	£25.00 per 1,000 m. (Min. £40.00)
11.	Any other development	£5.00 per 0.1 hectare (Min. £40.00)

\* For full details of fees and exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

Cheques etc. should be made payable to: Dublin Corporation.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

RECEIVED  
29 MAY 1991  
91A/927  
REG. SEC



# Comhairle Cathrach Átha Cliath

(CORPORATION OF DUBLIN) 352116

ROINN AN OIFIGIG AIRGEADAIS AGUS CHISTEÓRA  
(FINANCE OFFICER & TREASURER'S DEPARTMENT)

£ 358-75 }  
Airgead  
Seic  
Ordú Iníoctha  
Ordú Phuist

29 - 5 - 19 91

Fuarthas ó

Received from *Embassada Communications*

an tsuim *Three hundred and fifty eight* punt  
the sum of *seventy five* Pounds  
and *five* pingin  
i n-íoc for *application fee: Unit 21, Parkmore Ind. Estate,*  
*Class 4, Long Mile Rd., D12*  
Pence

Airgeadóir  
Cashier *E. Carole*

*[Signature]*

Oifigeac Airgeadais agus Cisteoir  
Finance Officer and Treasurer

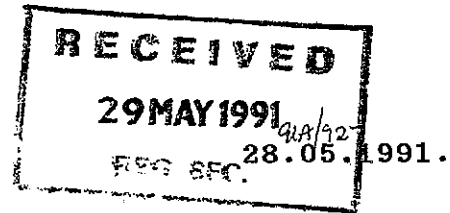
FUTURE PRINT LTD.

OSBORNE ASSOCIATES,  
THE MEWS,  
HERRYFIELD,  
KERRYMOUNT AVENUE,  
FOXROCK,  
DUBLIN 18  
TELEPHONE / FAX 2894585.



ARCHITECTURE  
PLANNING CONSULTANTS  
PROJECT MANAGER

Planning Department  
Dublin Corporation  
Irish Life Centre  
Lr Abbey Street  
Dublin 1.



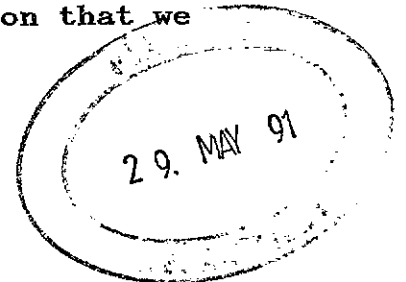
Re: Application for alterations to offices at Unit No 21  
Parkmore Industrial Estate, Dublin 12 for Dorothy and  
Paul Ledwidge.

Further to the above, please find enclosed the following  
documentation for full planning permission.

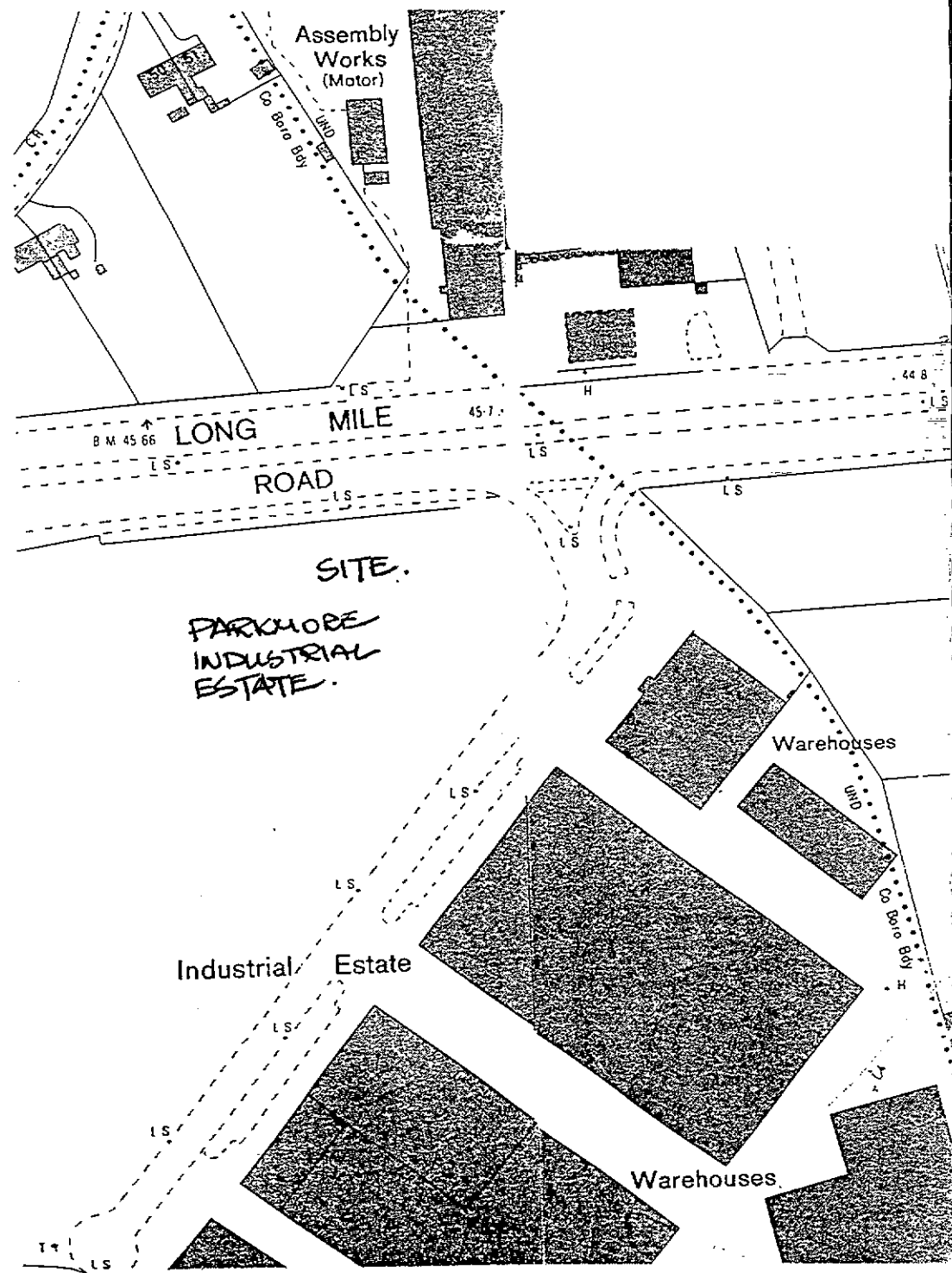
- 4 Copies of Drawing No 930/49 Location Plan.
- 4 Copies of Drawing No 930/50 Site Plan.
- 4 Copies of Drawing No 930/51 Ground Floor Plan.
- 4 Copies of Drawing No 930/52 First Floor Plan.
- 4 Copies of Drawing No 930/53 Section A-A.
- 4 Copies of Drawing No 930/54 Section B-B.
- 4 Copies of Drawing No 930/55 Window Details.
- 4 Copies of Drawing No 930/56 Elevations.
- 4 Copies of Drawing No 930/57 Footing and Wall Details.
- 4 Copies of Drawing No 930/58 Fire Proof Partition.
- 4 Copies of the Specification.
- 4 Copies of the Structural Calculations.
- One Completed Application Form.
- Newspaper Notice Dated the 25th May 1991, The Irish Press.
- A cheque for £1,076.25.

Our Clients are presently in over crowded rented  
accommodation belonging to Dublin Corporation and are  
anxious to move as soon as possible and wish to have  
particularly the fire proofing of these office done. We  
therefore would appreciate that if there should be any  
difficulty with any aspect of this application that we  
should be consulted immediately.

  
Osborne Associates.

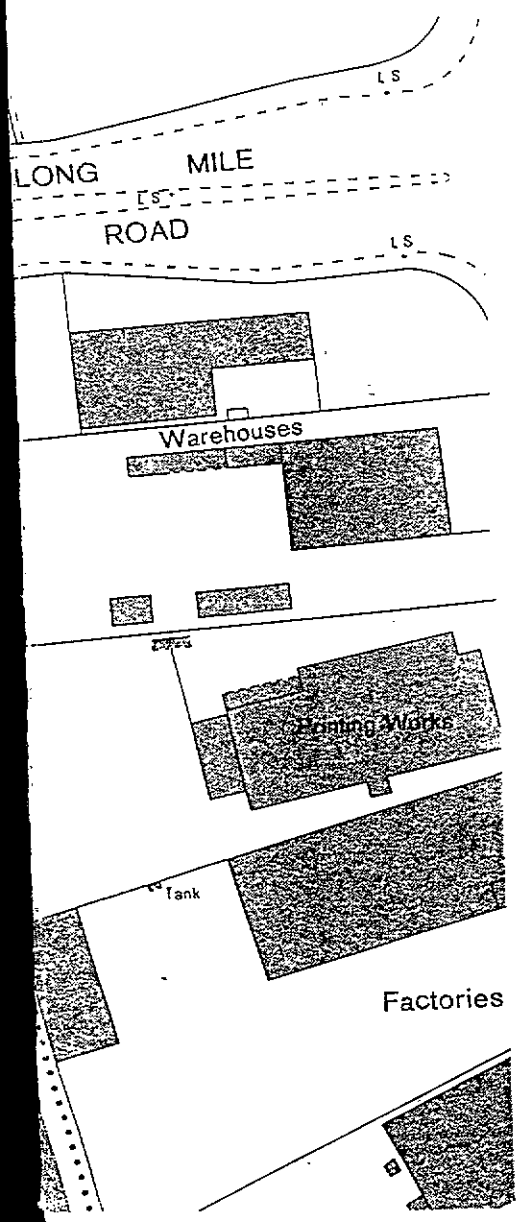


OSBORNE ASSOCIATES  
Architects, Planning Consultants, Project Managers,  
Computer Aided Design Consultants.



LOCATION PLAN.

930 /



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 REG. SEC.

+9.

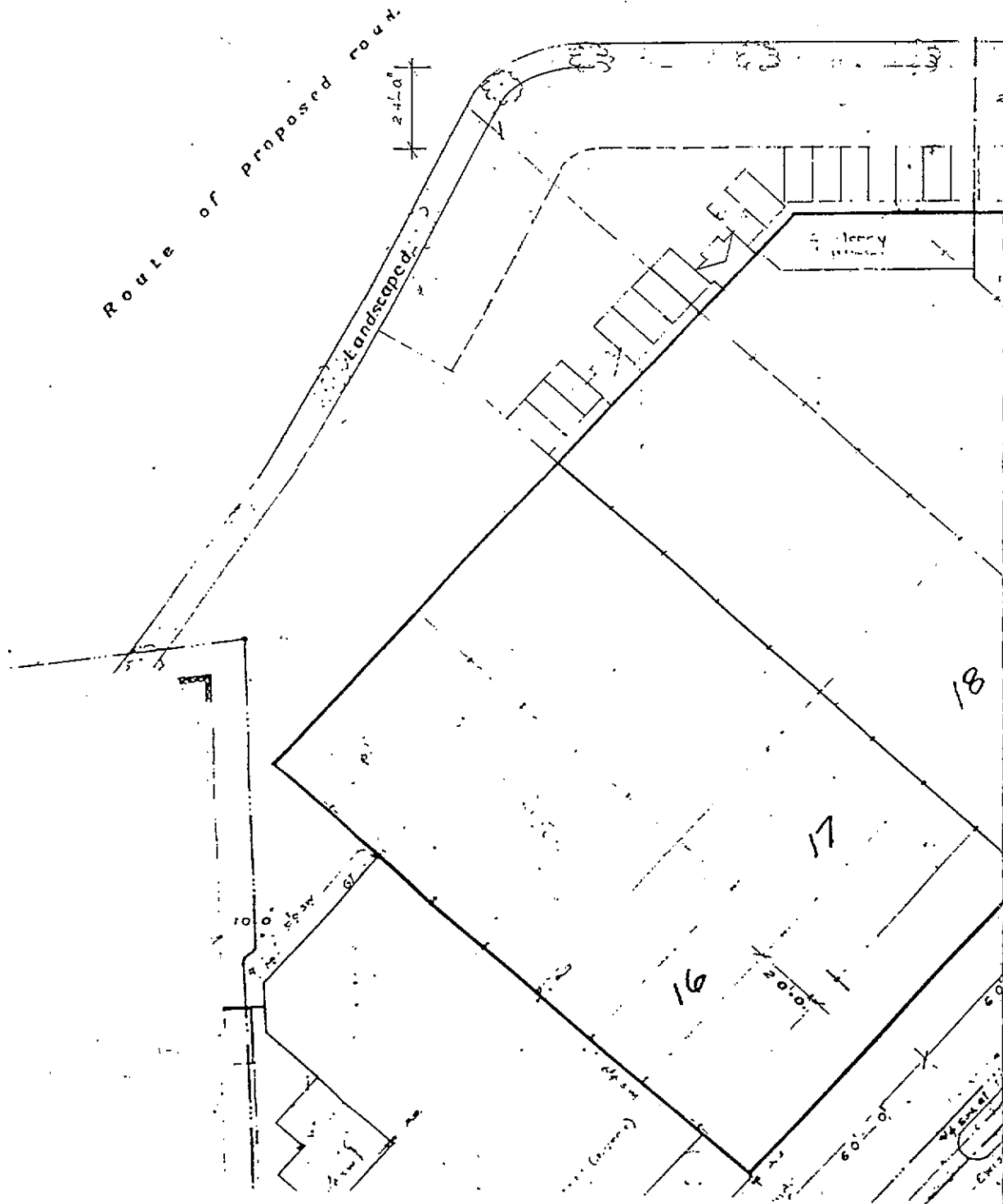
RIAI



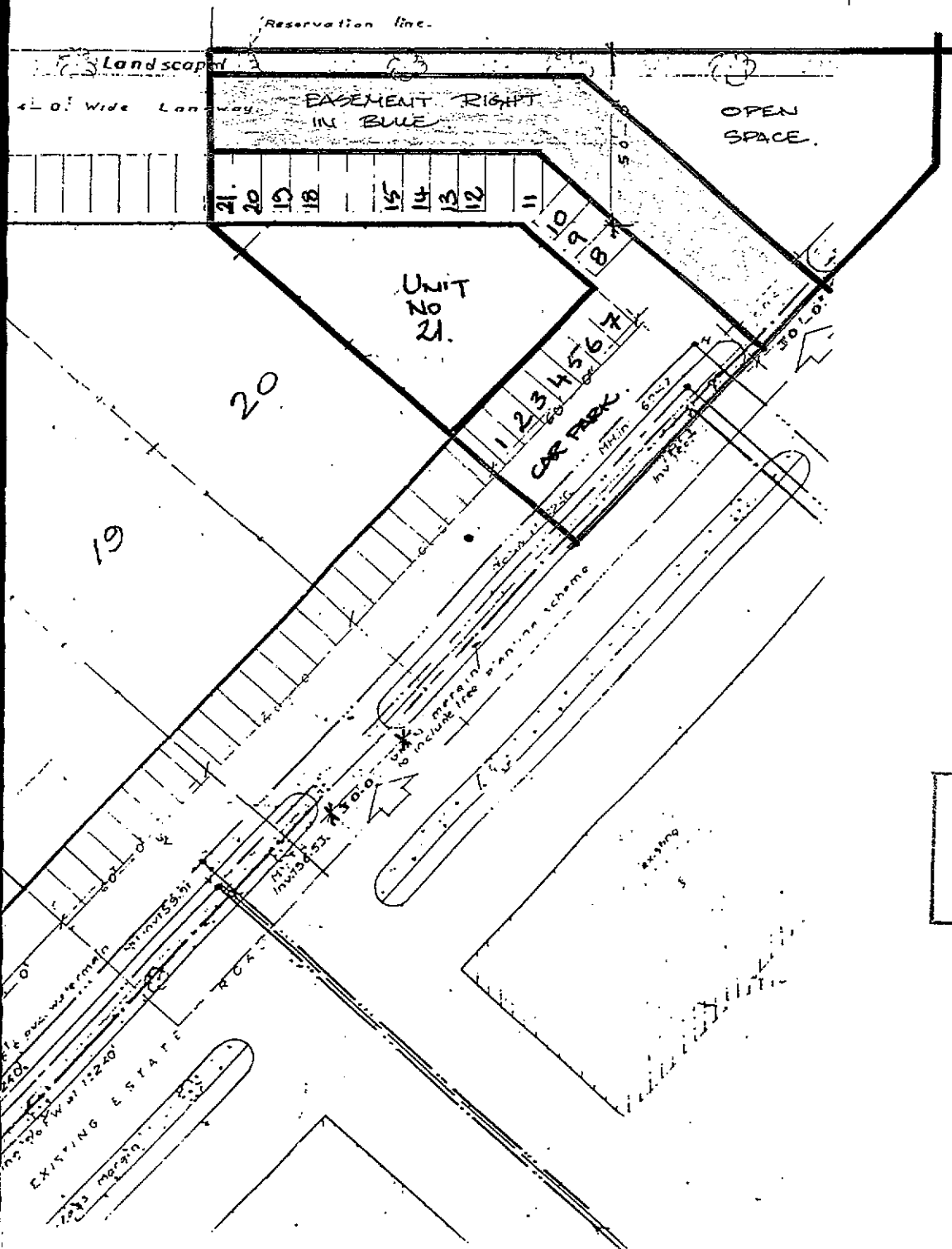
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Kerrymount Avenue  
 Foxrock  
 Dublin 18.





SITE PLAN. 1:500.



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 29 MAY 1991  
 91A (09A7)  
 REG SEC

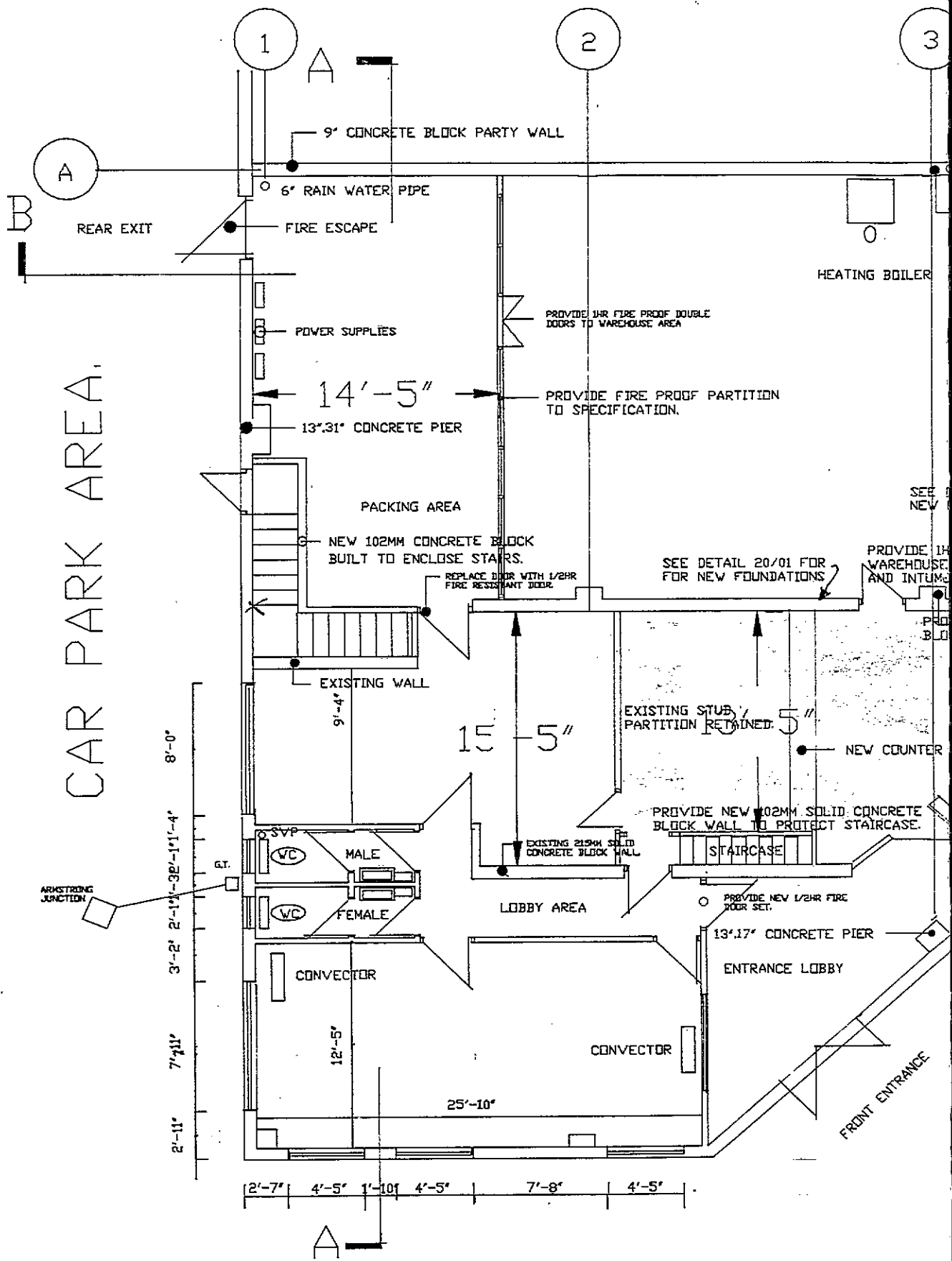
930/50.

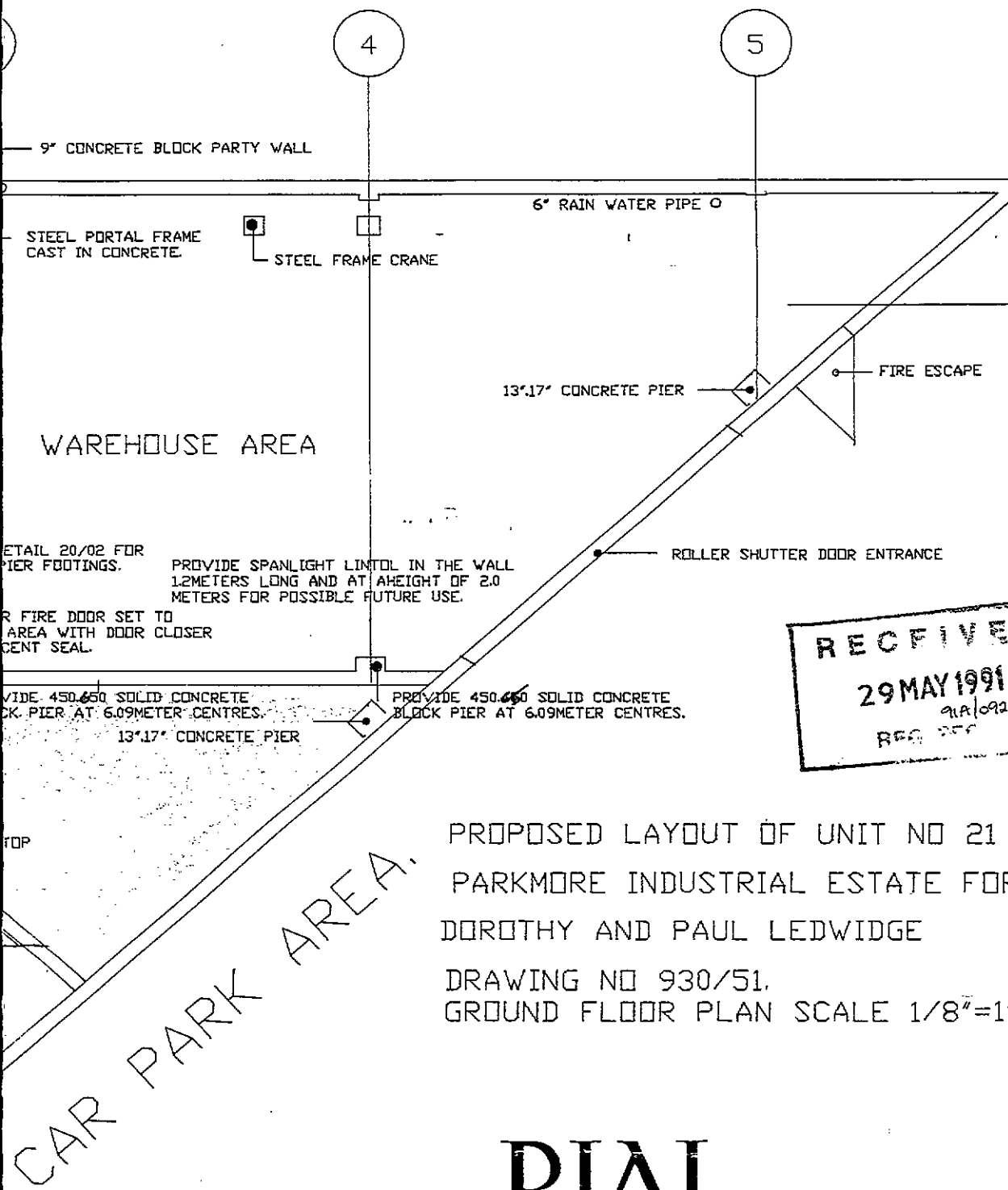
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 REC. 255

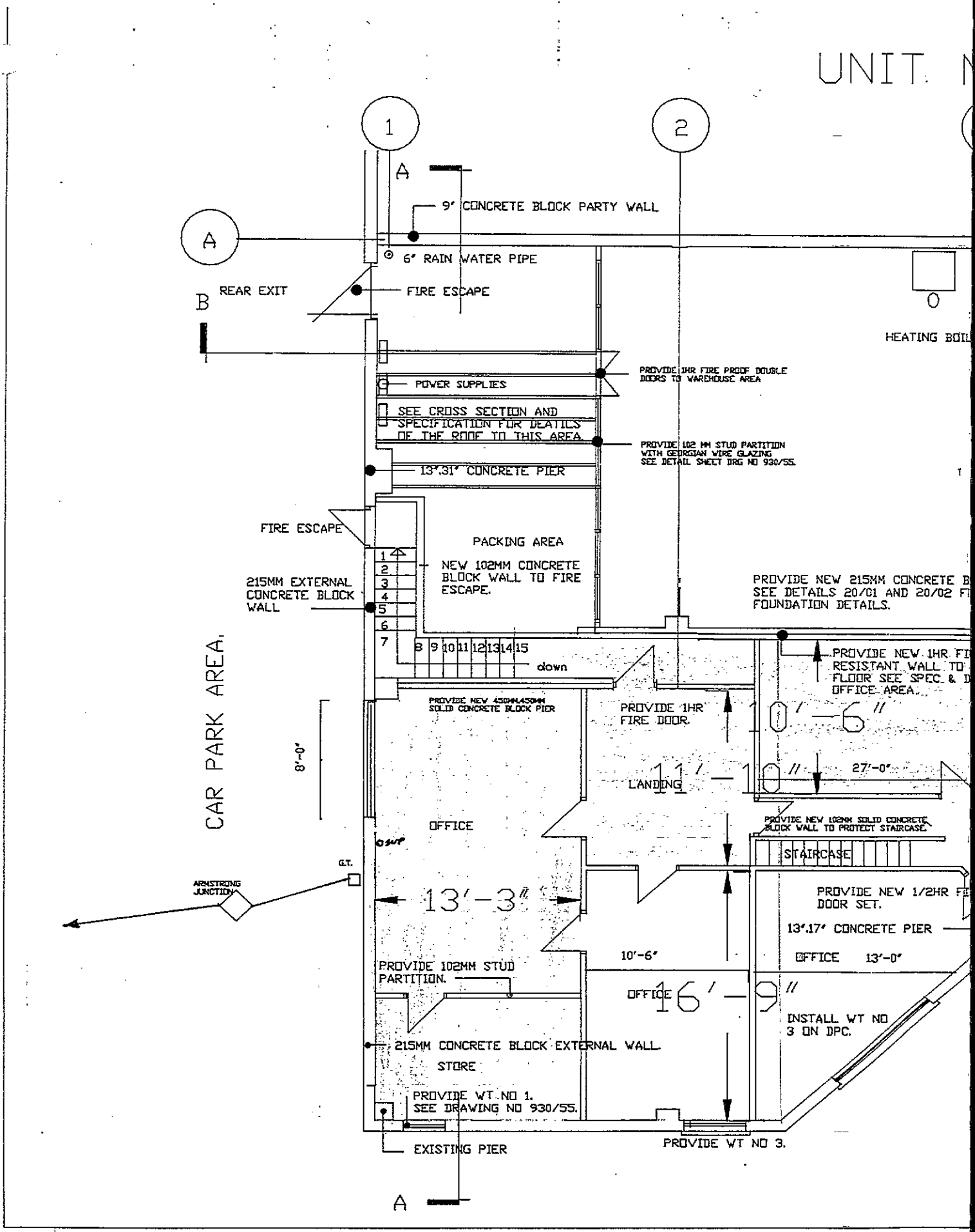
PROPOSED LAYOUT OF UNIT NO 21  
 PARKMORE INDUSTRIAL ESTATE FOR  
 DOROTHY AND PAUL LEDWIDGE  
 DRAWING NO 930/51.  
 GROUND FLOOR PLAN SCALE 1/8"=1'

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1

2

A

A

B

A

CAR PARK AREA.

8'-0"

9' CONCRETE BLOCK PARTY WALL

6" RAIN WATER PIPE

REAR EXIT

FIRE ESCAPE

POWER SUPPLIES

PROVIDE 1HR FIRE PROOF DOUBLE DOORS TO WAREHOUSE AREA

SEE CROSS SECTION AND SPECIFICATION FOR DETAILS OF THE ROOF TO THIS AREA

PROVIDE 102 MM STUD PARTITION WITH GEDORGAN WIRE GLAZING SEE DETAIL SHEET DRG NO 930/55.

13'-31" CONCRETE PIER

FIRE ESCAPE

PACKING AREA

NEW 102MM CONCRETE BLOCK WALL TO FIRE ESCAPE.

215MM EXTERNAL CONCRETE BLOCK WALL

PROVIDE NEW 215MM CONCRETE B... SEE DETAILS 20/01 AND 20/02 FOUNDATION DETAILS.

- 1
- 2
- 3
- 4
- 5
- 6
- 7

8 9 10 11 12 13 14 15

down

PROVIDE NEW 450x450x450mm SOLID CONCRETE BLOCK PIER

PROVIDE 1HR FIRE DOOR.

PROVIDE NEW 1HR FIRE RESISTANT WALL TO FLOOR SEE SPEC & D OFFICE AREA.

LANDING

OFFICE

PROVIDE NEW 102MM SOLID CONCRETE BLOCK WALL TO PROTECT STAIRCASE.

STAIRCASE

PROVIDE NEW 1/2HR FIRE DOOR SET.

13'-3"

13'-17" CONCRETE PIER

OFFICE 13'-0"

PROVIDE 102MM STUD PARTITION.

10'-6"

OFFICE

16'-9"

INSTALL WT NO 3 ON DPC.

215MM CONCRETE BLOCK EXTERNAL WALL STORE

PROVIDE WT. NO 1. SEE DRAWING NO 930/55.

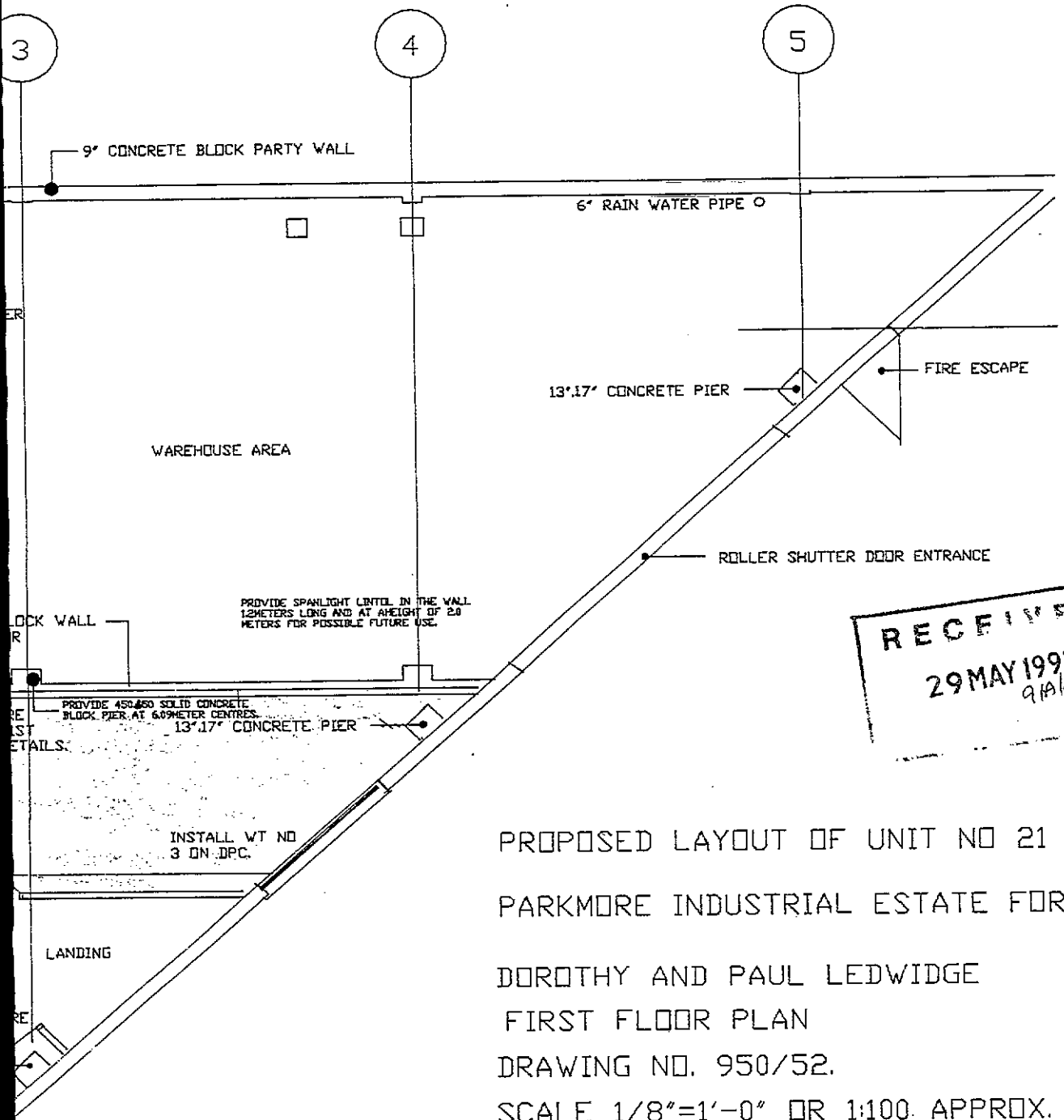
EXISTING PIER

PROVIDE WT NO 3.

ARMSTRONG JUNCTION

GLT.

NO 20



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 29 MAY 1991  
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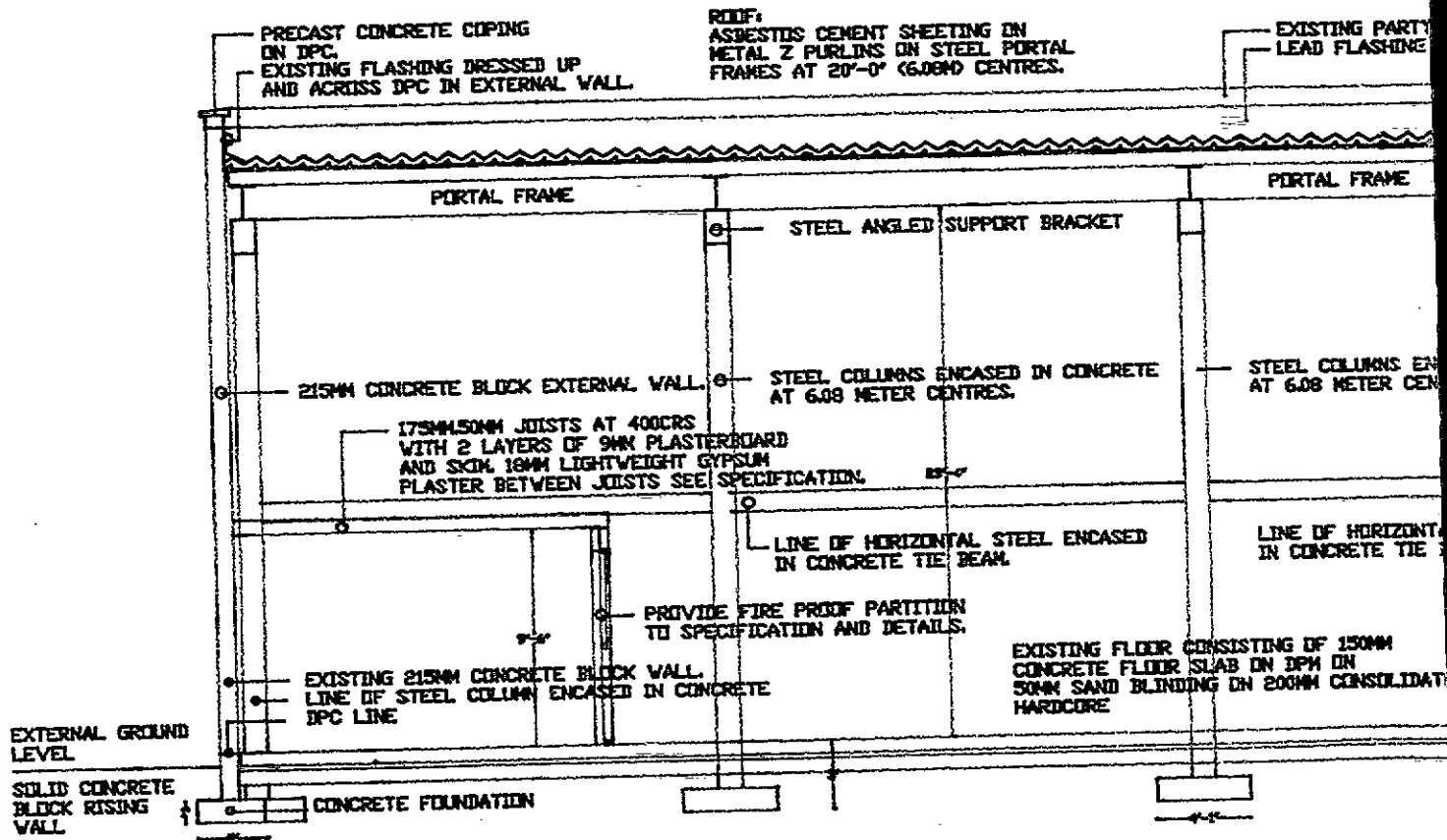
PROPOSED LAYOUT OF UNIT NO 21  
 PARKMORE INDUSTRIAL ESTATE FOR  
 DOROTHY AND PAUL LEDWIDGE  
 FIRST FLOOR PLAN  
 DRAWING NO. 950/52.  
 SCALE 1/8"=1'-0" OR 1:100. APPROX.

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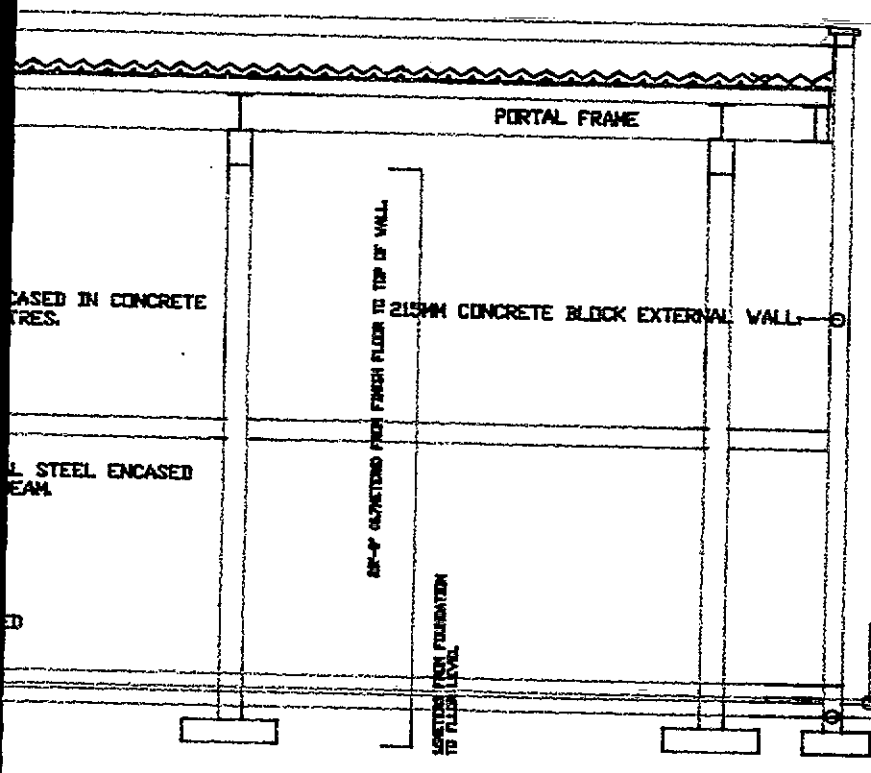
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 Dublin 18.



CROSS-SECTION A-A THROUGH UNIT NO 21 PARKM

WALL



PROPOSED ALTERATI  
 EXISTING OFFICES A  
 NO 21 PARKMORE INI  
 ESTATE FOR DOROTHY  
 PAUL LEDWIDGE  
 CROSS-SECTION  
 SCALE 1/8" TO 1'-0"  
 DRAWING NO. 93075

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 9/11/0927  
 D.P.C. SEC.

EXTERNAL  
 GROUND  
 LEVEL  
 D.P.C.  
 SOLID CONCRETE  
 BLOCK RISING  
 WALL

MORE INDUSTRIAL ESTATE.

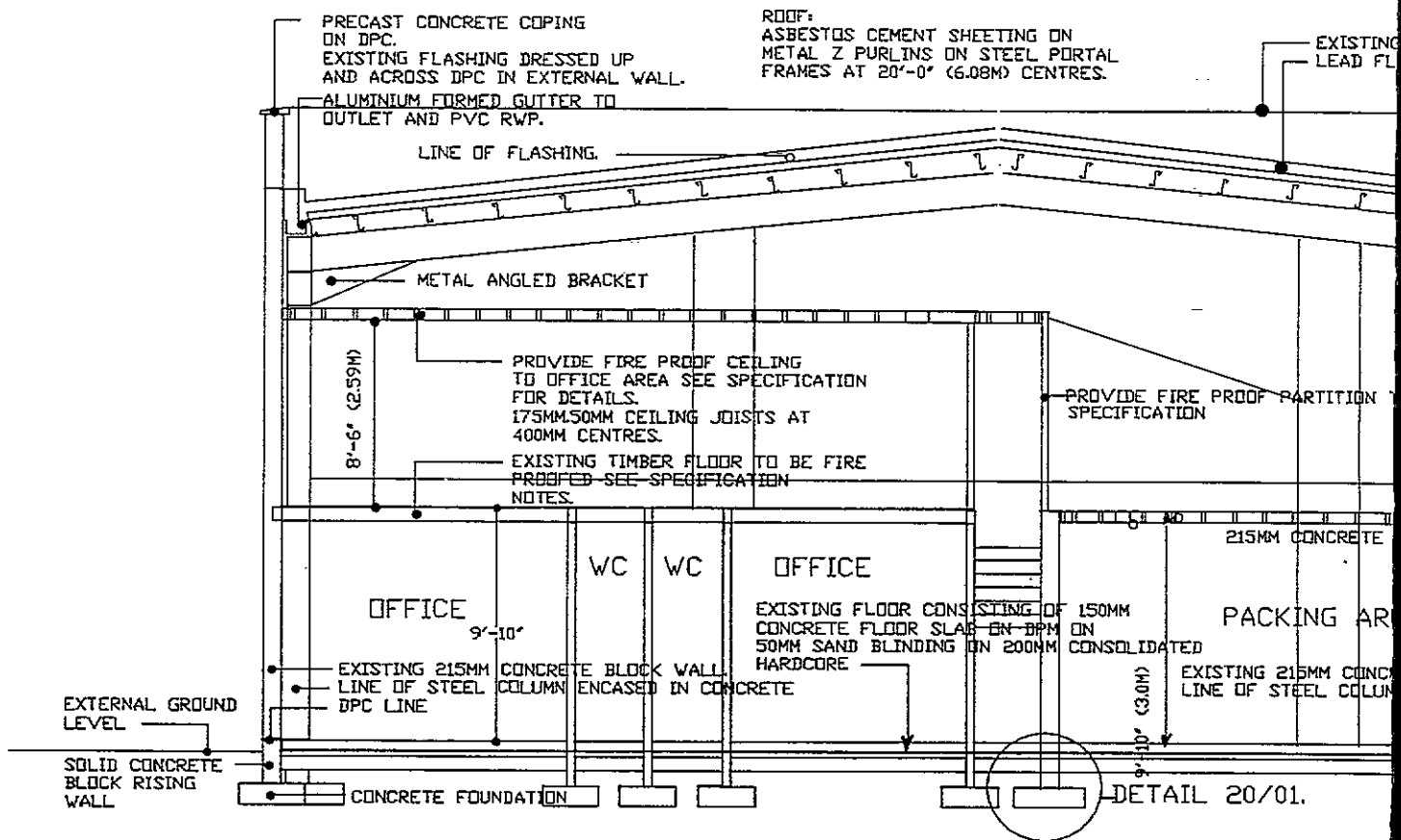
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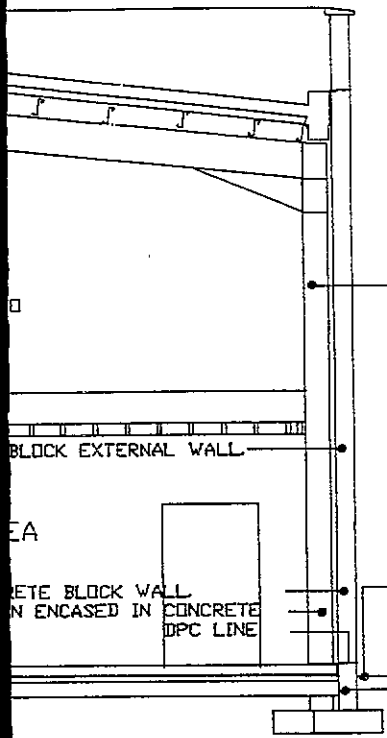
Kerrymount Avenue  
 Foxrock  
 Dublin 18.





CROSS-SECTION B-B THROUGH UNIT NO 21 PARKMORE INDUS

PARTY WALL  
FLASHING



LINE OF HORIZONTAL STEEL ENCASED  
IN CONCRETE TIE BEAM.

BLOCK EXTERNAL WALL

CONCRETE BLOCK WALL  
ENCASED IN CONCRETE  
D.P.C. LINE

EXTERNAL  
GROUND  
LEVEL  
D.P.C.

SOLID CONCRETE  
BLOCK RISING  
WALL

PROPOSED ALTERATIONS TO  
UNIT NO 21 PARKMORE INDUSTRIAL  
ESTATE FOR  
DOROTHY AND PAUL LEDWIDGE.  
DRAWING NO 930/54.  
SCALE 1/8" TO 1'-0" OR 1:100 APPROX.

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29 MAY 1991  
91A/0927  
RSC REC

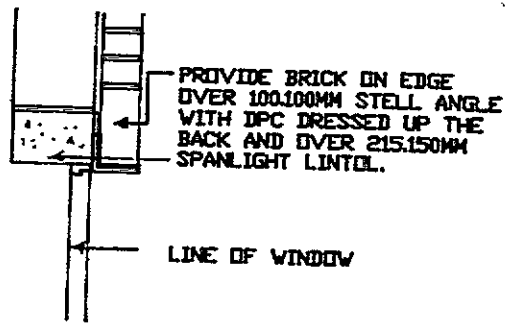
INDUSTRIAL ESTATE.

# RIAI

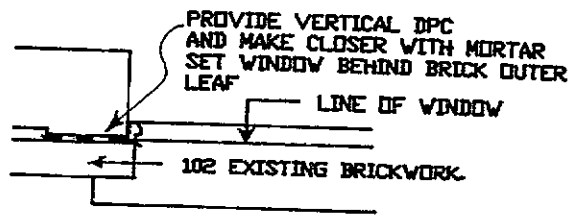


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Dublin 18.

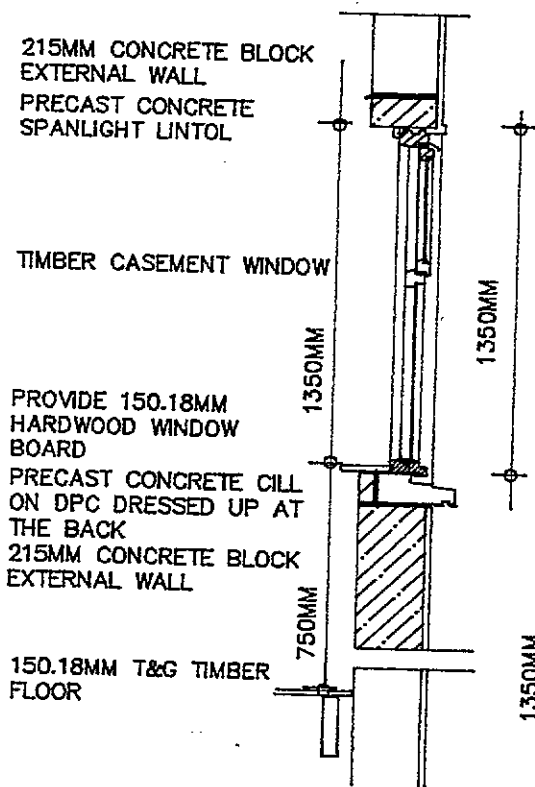


SECTION OVER BRICK HEAD

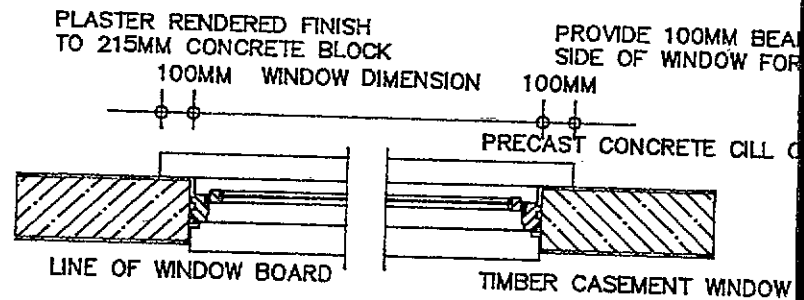


PLAN OF BRICK REVEAL

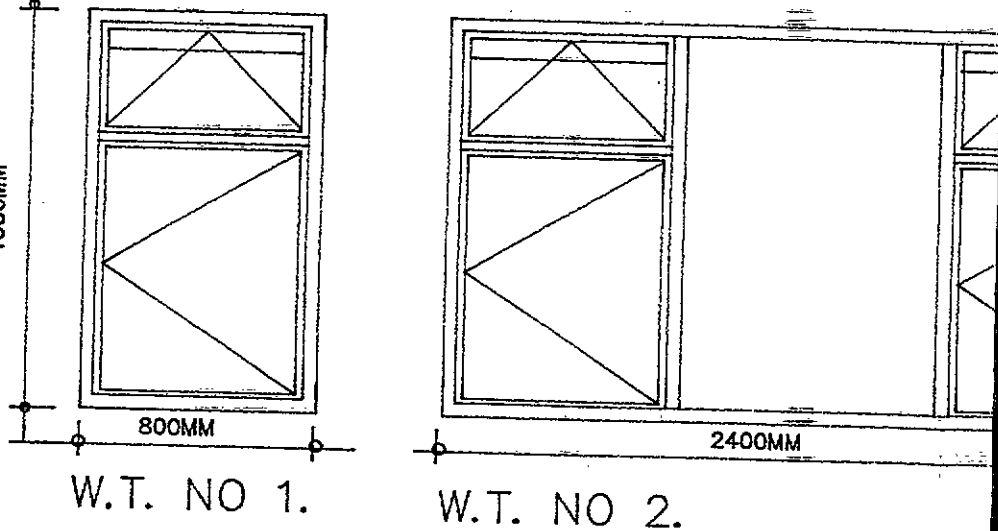
CILL DETAIL FOR BRICK THE SAME AS CROSS-SECTION EXCEPT ALLOW FOR EXTRA DEPTH BEHIND THE DPC.



CROSS-SECTION OF TYPICAL WINDOW.



PLAN OF TYPICAL WINDOW



WINDOW DETAILS FOR UNIT NO 21 PARKMO  
DRAWING NO 930/55.

SPECIFICATION NOTES: -

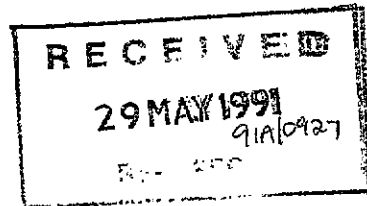
ALL SPANLIGHT LINTOLS ARE TO HAVE A MINIMUM BEARING OF 100MM EITHER SIDE OF WINDOW OPENING.

A DPC MOVEMENT JOINT IS TO BE INSERTED ABOVE THE SPANLIGHT LINTOL IN ALL CASES.

THE WINDOWS ARE TO BE ERECTED ON A PRECAST CONCRETE CILL WITH A DPC UNDER AND DRESSED UP AT THE BACK OF THE CILL. A CONCRETE FILLET TO THE VERTICAL DPC AT THE BACK OF THE CILL IS TO BE INSERTED.

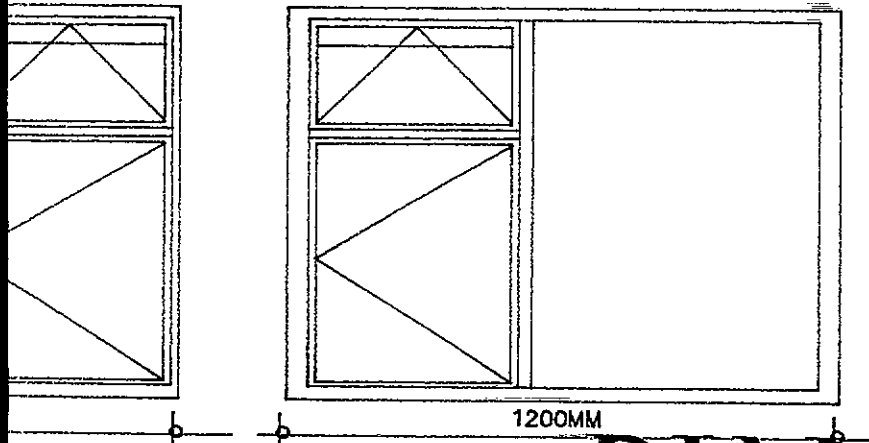
A WINDOW BOARD IN HARDWOOD IS TO BE INSERTED ON TIMBER GROUNDS.

THE PRECAST CONCRETE CILL IS TO EXTEND 100MM ON EITHER SIDE OF THE OPENING AND THE EXTERNAL FINISH IS TO BE MADE GOOD.



ING EITHER  
CILL ON DPC.

N DPC



W.T. NO 3.

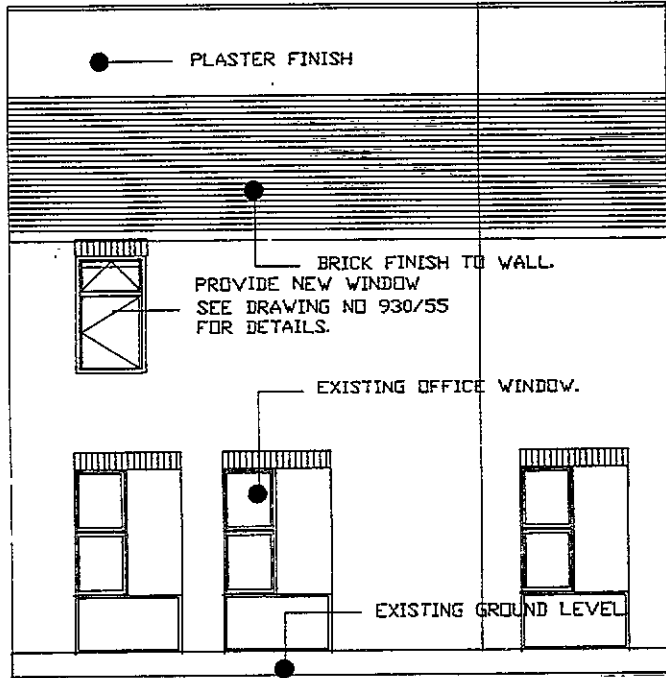
**RIAI**

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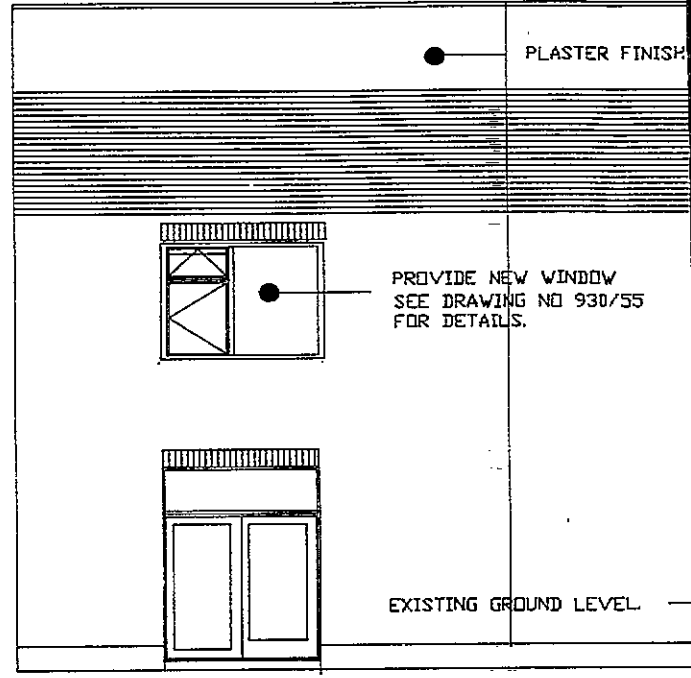


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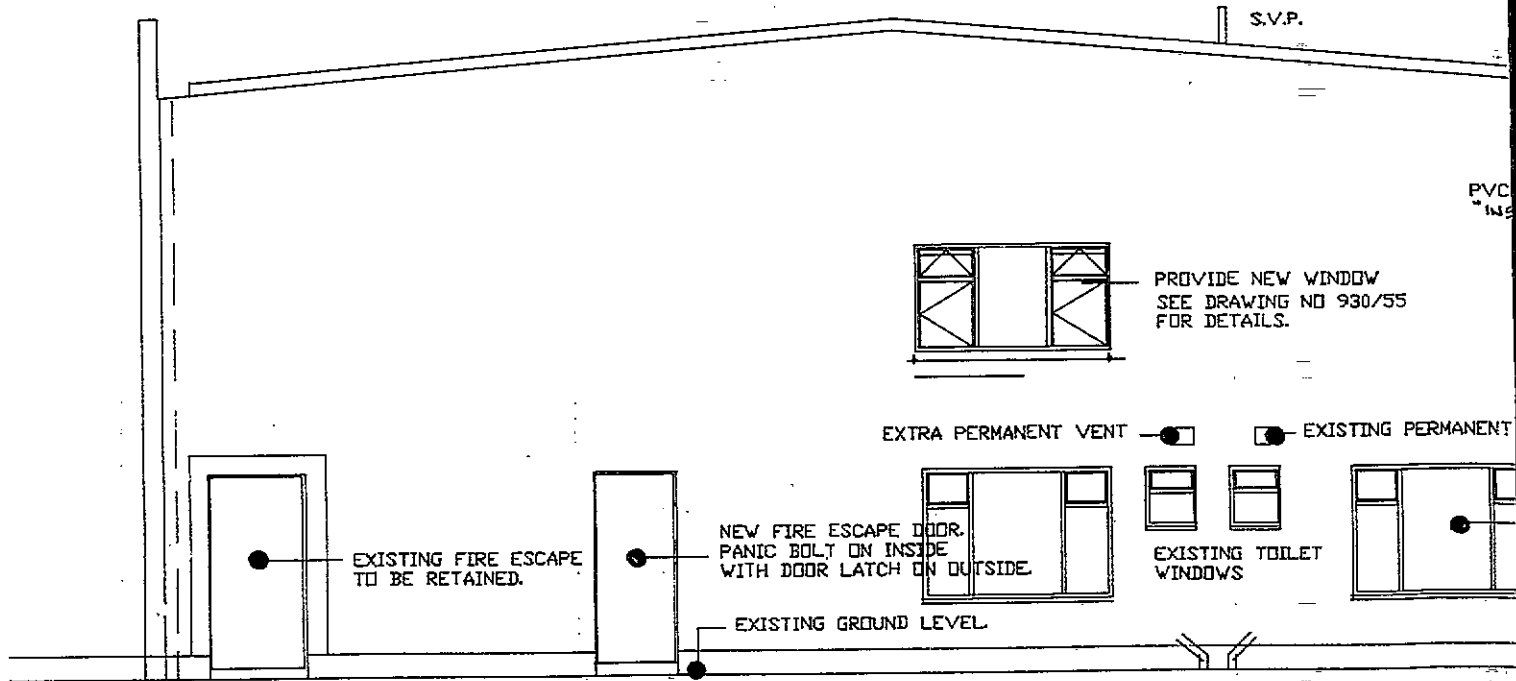
Kerrymount Avenue  
Foxrock  
Dublin 18.



SIDE ELEVATION

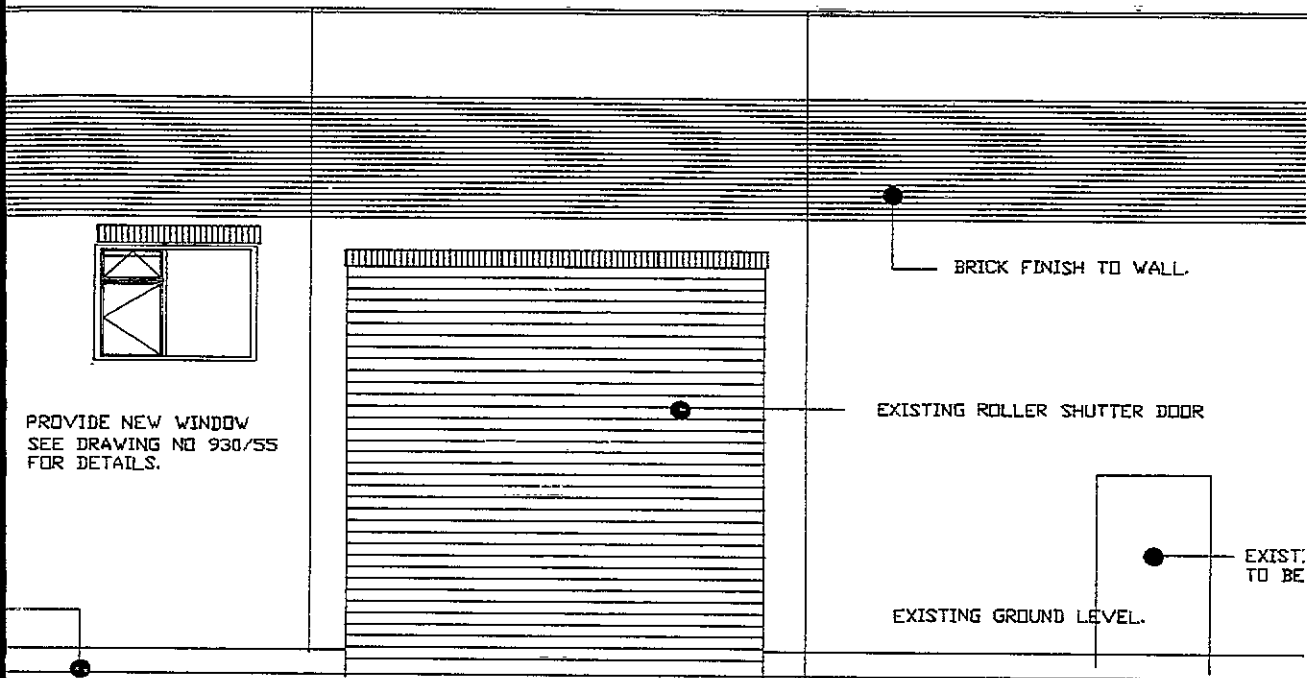


ELEVATION TO LONG MAIN ROAD



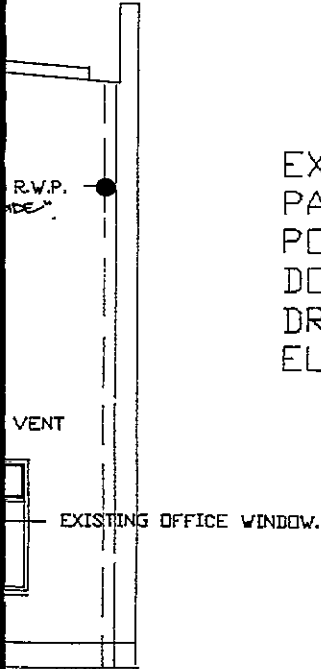
ELEVATION TO INDUSTRIAL ESTATE

SCALE



ILE ROAD. SCALE 1/8"=1'-0".

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29 MAY 1991  
91A/0727



EXISTING ELEVATIONS OF UNIT NO 21  
PARKMORE INDUSTRIAL ESTATE SHOWING  
POSITIONS OF NEW WINDOWS FOR  
DOROTHY AND PAUL LEDWIDGE.  
DRAWING NO 930/56.  
ELEVATIONS SCALE 1/8"=1'-0".

**RIAI**

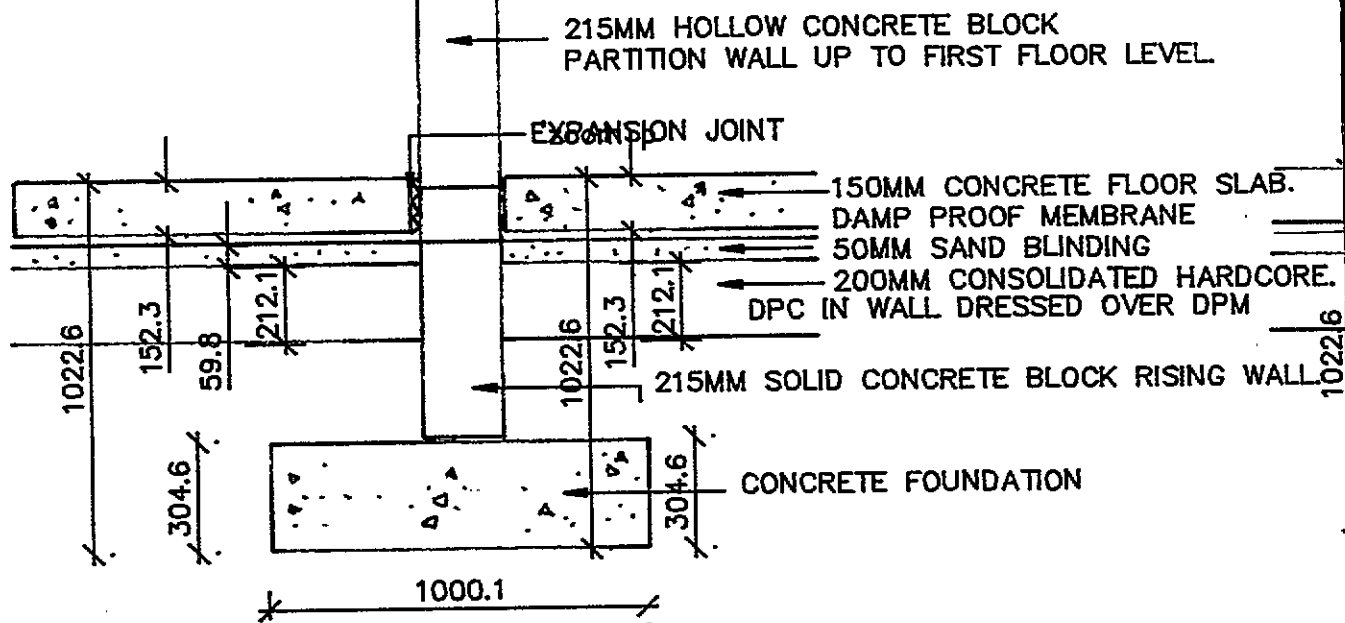


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Dublin 18.

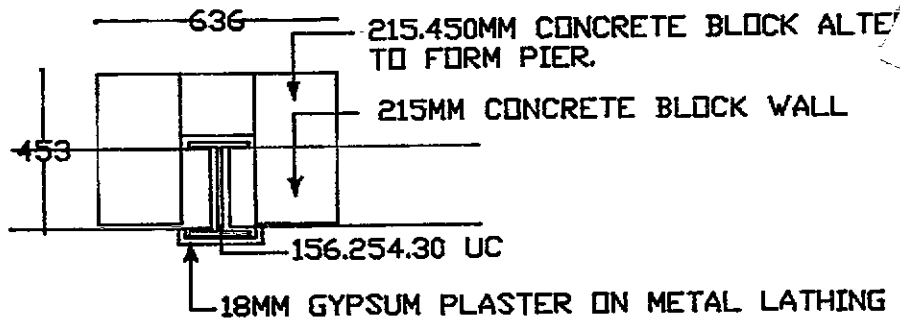
E 1/8"=1'-0".

NOTES:-  
 CUT OUT EXISTING CONCRETE SLAB.  
 PROVIDE 300MM.1000MM FOOTING WIDENED TO PIERS IN BOTH DIRECTIONS.  
 INSERT DPC INTO WALL AND CARRY DPM LAP UNDER DPC ENSURING NO BREAK IN THE DPM.  
 PROVIDE 25MM EXPANSION JOINT EITHER SIDE OF WALL.  
 REPAIR CONCRETE FLOOR WITH 150MM CONCR ON DPM ON 50MM SAND BLINDING.  
 FILL TRENCH WITH HARDCORE AND ENSURE A 200MM CONSOLIDATED HARDCORE UNDER THE



SECTION THROUGH 215MM  
 CONCRETE DIV .G WALL

FOOTING DETAILS FOR UNIT NO 21 P  
 DRAWING NUMBER 950/57.



PLAN DETAIL OF PIER.

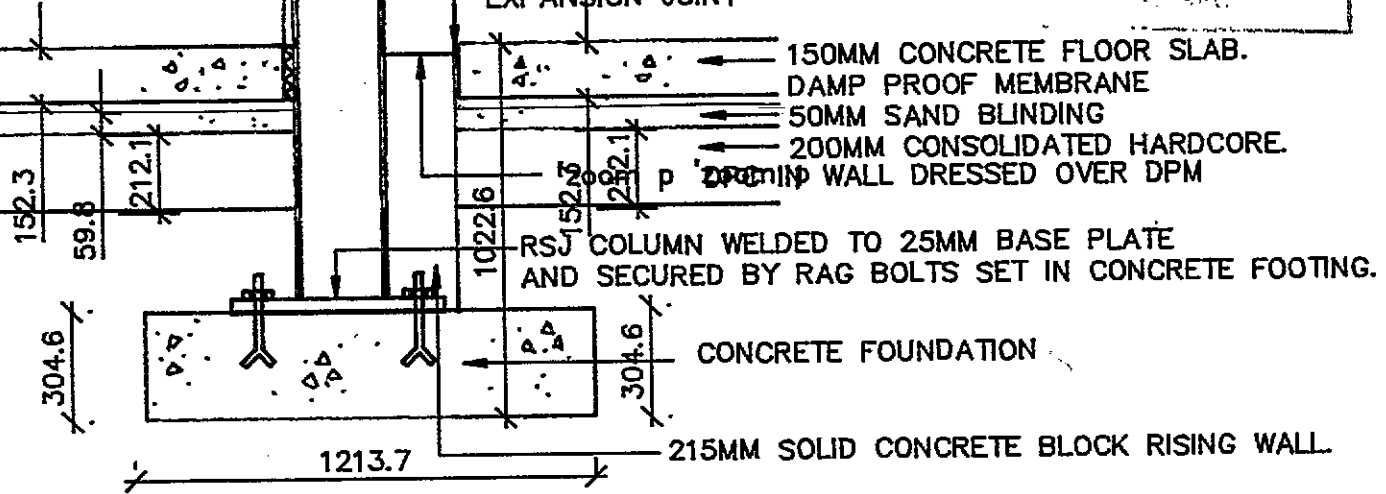
1200MM FOR  
PED  
ETE POUR  
MINIMUM OF  
FLOOR.

RSJ TO ENGINEERS DESIGN CARRIED UP AND WELDED TO ROOF PORTAL FRAME.

215MM CONCRETE BLOCK FACING TO RSJ.  
18MM GYPSUM PLASTER ON METAL LATHING TO INSIDE FACE.

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29 MAY 1991  
9/11/0927  
SEC

EXPANSION JOINT



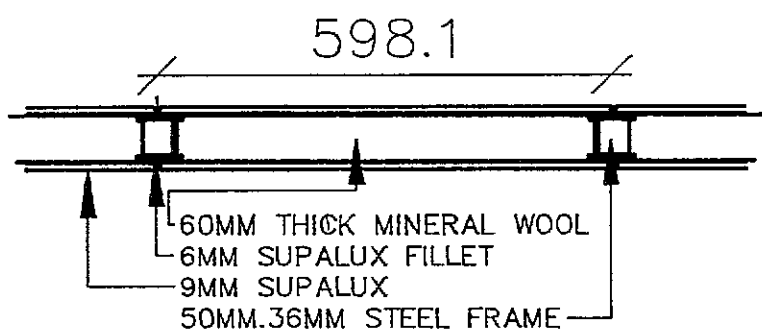
SECTION THROUGH RSJ COLUMN FORMING PIER TO ENGINEERS SPECIFICATION.

Osborne  
Architecture  
Planning  
Project Management

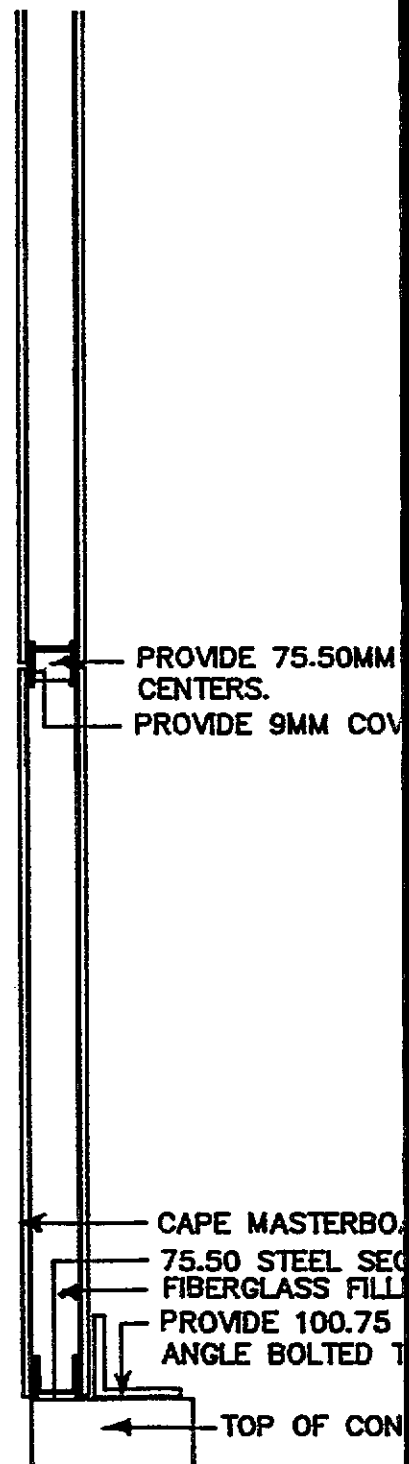
ARKMORE INDUSTRIAL ESTATE

Kerrymount Avenue  
Foxrock  
Dublin 18.



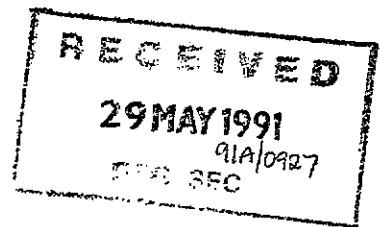


PLAN DETAIL OF FIRE PROOF PARTITION.



CROSS SECTION OF PARTITION AT TOP

STEEL CHANNEL AT 1.2 METERS  
ER PIECES TO CHANNEL IN MASTERBOARD. (SUPALUX).



ARD FIRE PROOF LINER (94MM SUPALUX).  
CTIONS  
NG COMPRESSED FROM 100MM.  
GALVANISED STEEL  
O FLOOR.

CRETE BLOCK WALL

F FIRE PROOF  
OF 215MM WALL.

RIAI



930/58.

Osborne  
Architecture  
Planning  
Project Management

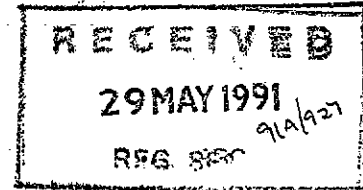
Kerrymount Avenue  
Foxrock  
Dublin 18.

**David McCready & Associates**  
**Civil and Structural Engineers**  
**29 Pembroke Park**  
**Ballsbridge**  
**Dublin 4.**

**Phone 680342.**

Mr G. Osborne  
Osborne Architecture  
Kerrymount Avenue  
Foxrock  
Dublin 18

17/05/1991



Dear Sir,

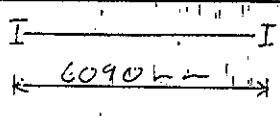
Please find enclosed copies of structural engineering calculations for by-law of drawings #930. All calculations have been prepared in accordance with the appropriate standards and/or codes of practice as individually specified.

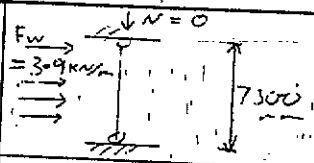
*D. McCready*

D.C. McCready

**David McCready MIEI Civil and Structural**  
**Engineer**

Title O. A.			Project No.
Element NEW INTERNAL WALL WIND LOAD			Page No. 1
Drawing 930/571	Calcs. by D. M.	Checked	Date 17/5/97

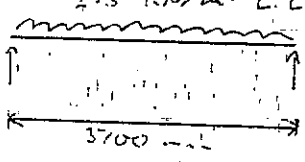
Ref.	CALCULATIONS	OUTPUT
CP3 ChVP2	 <p>WALL SPANNING BETWEEN COLS HEIGHT 7.3m SPAN 6.09m</p>	
5.2.1	$V = 40 \text{ m/s}$	
5.4	$S_1 = 1$	
5.5 T3	$H = 7.5$ , Cat 3, Class B. $S_2 = 0.7$	
5.6	$S_3 = 1$	
5.1	$V_s = 1/S_1 S_2 S_3 = 46 \times 0.7 = 32.2 \text{ m/s}$	
6	$k = 0.613$ $q = kV_s^2 = 0.613 \times 32.2^2 = 0.64 \text{ kN/m}^2$	$q = 0.64 \text{ kN/m}^2$
7	$C_s = 1$	
	WIND FORCE $F_w = 1 \times 0.64$	$F_w = 0.64 \text{ kN/m}$
	MOMENTS & SHEAR TO COL	
	$F_v = 0.64 \times \frac{1}{2} (6.09 \times 7.3) = 14.23 \text{ kN}$	SHEAR $F_w = 14.23 \text{ kN}$
	$M_w = \frac{wL^2}{8} = (0.64 \times 6.09 \times 7.3^2) / 8 = 26 \text{ kNm}$	MOMENT $M_w = 26 \text{ kNm}$

Title		Project No.	
Element		Page No.	
Drawing		Date	
Calcs. by		Checked	
O A			
NEW INTERNAL WALL STABILISING COLUMNS		2	
930/51		17/5/91	
D. M.			
Ref.	CALCULATIONS	OUTPUT	
BS 5450	 <p>UNRESTRAINED COL NO COMP            ULT SHEAR = <math>1.4 \times 14.23</math>            ULT MOMENT = <math>1.4 \times 2.61</math></p>	$F_v = 19.9 \text{ kN}$ $M_x = 36.4 \text{ kNm}$	
	Try 254 x 146 x 31 UB Gr 43		
P29 T5	<p>DEFLECTION <math>I_{xx} = 4440 \text{ cm}^4</math></p> <p>ALLOWABLE = <math>\text{SPAN} / 200 = 7300 / 200 = 36.5 \text{ mm}</math></p> <p>ACTUAL = <math>\frac{1}{EI} \times \frac{5wL}{384} = \frac{5 \times 7.3^4 \times 3.9}{205 \times 4440 \times 384} \times 10^5 = 16 \text{ mm}</math></p>	DEFL. O.K.	
P28 P29	<p>SECTIONAL PROPERTIES</p> <p>D = 251.5 mm <math>r = 7.6</math> mm <math>S_x = 396 \text{ cm}^3</math></p> <p>B = 146.1 mm <math>d = 218.9</math> mm <math>Z_x = 353 \text{ cm}^3</math></p> <p>E = 61 mm <math>t_T = 8.49</math> mm <math>R_y = 3.35</math> cm</p> <p>T = 8.6 mm <math>d/c = 35.9</math> <math>X = 29.4</math> <math>U = 0.874</math></p>		
T6 T7	<p><math>T = 8.6 &lt; 16 \Rightarrow p_y = 275 \text{ N/mm}^2 \Rightarrow E \neq 1</math></p> <p><math>t_T = 8.49 \leq 8.5 \Rightarrow \text{PLASTIC}</math></p> <p><math>d/c = 35.9 \leq 63 \Rightarrow \text{NOT SLENDER}</math></p>	$p_y = 275 \text{ N/mm}^2$ PLASTIC	
4.2.3	<p>SHEAR</p> <p><math>A_v = 6D = 6 \times 251.5 = 1532 \text{ mm}^2</math></p> <p><math>P_v = 0.6 p_y A_v = 0.6 \times 275 \times 1532 = 253 \text{ kN}</math></p> <p><math>P_v = 253 &gt; F_v = 19.9 \text{ kN}</math></p>	SHEAR O.K.	
4.2.5	<p>MOMENT</p> <p><math>F_v = 19.9 \leq 0.6 P_v = 0.6 \times 253 = 152 \text{ kN}</math></p> <p><math>M_c = p_y S_x \leq 1.17 p_y Z_x</math></p> <p><math>= 275 \times 396 \leq 1.17 \times 275 \times 353 = 117</math></p> <p><math>M_c = 109 &gt; M_x = 36.4 \text{ kNm}</math></p>	MOMENT O.K.	
4.3.5 T9 4.3.7.5	<p>LATERAL TORSION BUCKLING</p> <p><math>L_E = 0.85L = 0.85 \times 7.3 = 6.2 \text{ m}</math></p> <p><math>\lambda = L_E / r_y = 6.2 / 0.0335 = 185</math></p> <p><math>\lambda / X = 185 / 29.4 = 6.3</math></p> <p><math>N = 0.5</math></p> <p><math>v = 0.76</math></p> <p><math>n = 0.94</math></p>		
T14 T16	<p><math>\lambda_{LT} = n v \lambda = 0.94 \times 0.874 \times 0.76 \times 185 = 116</math></p> <p><math>P_{LT} = 101 \text{ N/mm}^2</math></p>		
4.3.7.5 4.3.7.4 T11 4.3.7.3 4.3.7.1	<p><math>M_u = S_x p_{LT} = 396 \times 101 = 40 \text{ kNm}</math></p> <p><math>\bar{M} = m M_A = M_x = 36.4 \text{ kNm}</math></p> <p><math>M_u = 40 \geq \bar{M} = 36.4 \text{ kNm}</math></p>	L.T.B. O.K.	
		ADOPT 254 x 146 x 31 UB Gr 43 WITH RESTRAINED FLANGES @ ENDS	

Title O A			Project No.
Element INTERNAL WALL SECT A-A			Page No. 3
Drawing 930/56	Calcs. by D M	Checked	Date 17/5/91

Ref.	CALCULATIONS	OUTPUT																		
BS 5628	<p>DOUBLE SLATED STEEL STUD PARTITION</p> <p>4300 mm</p> <p>175 mm</p> <p>3000 mm</p> <p>700 mm</p> <p>300 mm</p> <p>X 50 @ 300 c/c 1 FLOOR 3.7 m SPAN</p> <p>215 HOLLOW BLOCKS</p> <p>215 SOLID BLOCKS</p> <p>FOUNDATION</p>																			
	<p><u>VERT LOADS</u></p> <p>PARTITION : 1 KN/m<sup>2</sup> → 4.3 KN D.L.</p> <p>FLOOR : 0.6 KN/m<sup>2</sup> × 3.7 → 1.1 KN D.L.</p> <p>2.5 KN/m<sup>2</sup> × 3.7 → 4.63 KN E.L.</p> <p>HOLLOW BLOCKS + PLASTER : (1 + 2 × 0.24) KN/m<sup>2</sup> × 3 → 4.44 KN D.L.</p> <p>SOLID BLOCKS : 1.72 KN/m<sup>2</sup> × 0.7 → 1.2 KN D.L.</p> <p>END SLAB : 24 × 1 × 0.3 → 7.2 KN D.L.</p>	<table border="1"> <thead> <tr> <th></th> <th>D.L. X 1.4</th> <th>L.L. X 1.6</th> </tr> </thead> <tbody> <tr> <td>PARTITION</td> <td>6.02 KN</td> <td></td> </tr> <tr> <td>FLOOR</td> <td>1.54 KN</td> <td></td> </tr> <tr> <td>HOLLOW BLOCKS + PLASTER</td> <td>6.22 KN</td> <td>7.41 KN</td> </tr> <tr> <td>SOLID BLOCKS</td> <td>1.68 KN</td> <td></td> </tr> <tr> <td>END SLAB</td> <td>10.08 KN</td> <td></td> </tr> </tbody> </table>		D.L. X 1.4	L.L. X 1.6	PARTITION	6.02 KN		FLOOR	1.54 KN		HOLLOW BLOCKS + PLASTER	6.22 KN	7.41 KN	SOLID BLOCKS	1.68 KN		END SLAB	10.08 KN	
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SOLID BLOCKS	1.68 KN																			
END SLAB	10.08 KN																			
28.4.1 28.3.11 28.1 30. 32.2.1 T7 32.2.1	<p><u>HOLLOW BLOCKS</u></p> <p><math>t_{ef} = 215 \text{ mm}</math>      <math>4 t_{ef} = 0.86 \text{ m} &lt; 1.5 \text{ m} \Rightarrow</math> DESIGN AS PANEL</p> <p><math>h_{ef} = 3000 \text{ mm}</math></p> <p><math>h_{ef}/t_{ef} = 14 &lt; 27</math> O.K.</p> <p><math>e_x = 0.176</math></p> <p><math>\beta = 0.71</math></p> <p><math>f_{k,red} = \sqrt{\gamma_m} / \beta t_{ef} h = \frac{(6.02 + 1.54 + 7.41 + 6.22) \times 3.5}{0.71 \times 0.215 \times 1000}</math></p> <p><math>f_{k,red} = 0.5 \text{ N/mm}^2</math></p>	<p>ADOPT</p> <p>3 N/mm<sup>2</sup> HOLLOW BLOCKS</p> <p>USING GRADE (III) MORTAR</p>																		
32.2.1	<p><u>SOLID BLOCKS</u></p> <p><math>f_{k,red} = \sqrt{\gamma_m} / t_{ef} b = \frac{(6.02 + 1.54 + 7.41 + 6.22 + 1.68) \times 3.5}{0.215 \times 1000}</math></p> <p><math>f_{k,red} = 0.4 \text{ N/mm}^2</math></p>	<p>ADOPT</p> <p>5 N/mm<sup>2</sup> SOLID BLOCKS</p> <p>USING GRADE (III) MORTAR</p>																		
	<p><u>FOUNDATION SLAB</u></p> <p>ULT LOAD TO GROUND = 6.02 + 1.54 + 7.41 + 6.22 + 1.68 + 10.08 = 33 KN</p> <p>G.P. APPROX = 100 KN/m<sup>2</sup> &gt; ULT LOAD</p>	<p>FOUNDATION SLAB O.K.</p>																		

Title O. A.			Project No.
Element OFFICE FLOOR			Page No. 4
Drawing 950/S2	Calcs. by D. M.	Checked	Date 17/5/91

Ref.	CALCULATIONS	OUTPUT
ET 323 PART 1	<p>225 KN/m<sup>2</sup> L.L.</p>  <p>3700 mm</p> <p>USING A.F.F. TABLES WITH BRIDGING @ 1350 mm c/c</p>	<p>ADOPT IMPORTED EUROPEAN WHITWOOD AND REDWOOD - C5 GRADE TIMBER</p> <p>50 X 175 @ 1200 c/c OR 44 X 225 @ 400 c/c</p>

*Alterations to Office Areas  
to  
Unit No 21  
Parkmore Industrial Estate  
for  
Dorothy and Paul Ledwidge.*

*Contents:-*

*General:*

*Excavation:*

*Concrete:*

*Blockwork:*

*Fire Proof Protection:*

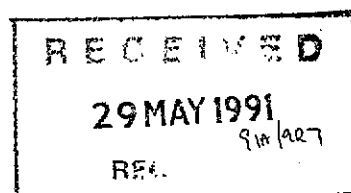
*Timber and Joinery:*

*Ironmongery:*

*Electrical Installation:*

*Painting and Decoration:*

*Osborne Associates  
The Mews  
Kerrymount Avenue  
Foxrock  
Dublin 18.*





## GENERAL

### Local and Other Authorities:

The contractor shall comply with all the bye-law and other requirements of the Local Authority.

### Conditions of Contract:

This specification is an outline specification and should be carefully read in conjunction with the working drawings and the provisions laid down in the Contract Document.

### Materials and Workmanship:

The materials and workmanship shall be in accordance with the drawings and the specification.

### Quality of Materials:

The term "standard specification" means the latest specification for the respective articles so described and accepted by the Local Authority or otherwise by agreement with the Architect.

### Water:

The contractor shall be responsible for the provisions of a proper water supply of clean water for the use of the works.

### Notification:

The contractor shall notify the Local Authority at the appropriate stages of the work and arrange for all inspections.

Contractor to examine drawings and visit the site.

The contractor undertaking the work and tendering will be deemed to have examined the Drawings and the Specification, the site and all features thereof with all the drains, mains, adjoining premises or other matter affecting in any way the proposed works. The contractor will have ascertained for himself the nature and extent of the work to be carried out, the conditions under which it is to be executed, levels of the ground and facilities for delivery and storage of materials, plant, etc. and to have generally obtained his own information in all matters and incidentals which could in any way influence his tender. The client accepts no responsibility for any additional works outside any extra works ordered or variations to the main contract.

### Satisfaction of the Works.

The work is to be executed under the supervision, control and to the entire satisfaction of the Architect, and the contractor shall give due and proper notice to the Architect and await his inspection before executing foundations or any other work connected with drainage, or otherwise, covering up works or proceeding with works about which there is any difficulty or doubt.

### Samples

Samples of all materials, manufactured articles and workmanship shall be procured in accordance with the specification and submitted to the Architect for provisional approval before adoption, but such approval shall not relieve the contractor in any way from responsibility for defects appearing subsequently. Approved samples will be retained until completion of the contract by the Architect, who shall have power to reject all materials and samples in all respects. Materials and manufactured articles supplied or fixed, or work executed without submission or approval of samples shall be removed and the necessary reinstatements executed at the contractors expense should the Architect so direct. All materials are to be new unless otherwise specified and if required, the contractor is to furnish evidence that the materials are of the origin, description and quality or price specified.

### Safety Precautions.

The contractor shall take all the necessary precautions for the safety of the workmen and the public and shall comply with the provisions of the current Building (Safety, Health and Welfare) Regulations.

### Protection of the works.

The contractor is to permit nothing to be done calculated to injure the stability of the work or building, and no cutting through walls or floors is to be allowed, other than where required by the drawings or the specification therein without the sanction of the Architect, and the contractor will be held responsible for all damage arising through carelessness or inadvertence in this respect.

### Conditions of Contract.

The conditions of contract shall be the R.I.A.I. form of contract without Bills of Quantities.

### Scope of the Contract.

The whole of the works are to be carried out in a good and workmanlike manner to the full intent and the meanings of the drawings and standards together with all materials and workmanship etc. are to be of the respective kinds as described in this

specification and in accordance with the conditions of contract and to the satisfaction of the Architect.

#### Commencement of the Work.

The work shall be commenced when so directed by the Architect and shall be carried out with due diligence and with such expedition as, in the opinion of the Architect, maybe considered necessary to ensure its completion within the contract period. The contractor shall submit a progress schedule for the Architect's approval within 14 days of his receipt of the order to commence, setting out a building programme.

In all contracts, the contractor shall arrange with the Local Authority Bye-Law section to examine the work at the following stages:-

1. Trenches for foundations.
2. Damp Proof Course Level.
3. Fire Protection of Floors.
4. Fire Protection of Roof.
5. Completed Contract.

#### Temporary Fencing and Protection.

The contractor shall provide all temporary fencing, hoarding and the like, that he considers necessary for he protecting of the works, adjoining property, and the public, and for the proper execution of the works. It is the contractors responsibility to see that no foreseen accidents occur on the site.

#### Demolition and Removals.

The contractor shall be deemed to have visited the site and examined the existing building, and site etc in order to ascertain their nature, and the extent of the work involved in their retention where shown and their removal where necessary. Old materials, if considered suitable by the Architect may be subsequently be re-used as dry filling or otherwise, subject to the Architect's approval.

No buildings or other works are to be taken down or otherwise interfered with without the approval of the Architect. Provide for the filling in of all openings and for taking up any old drains, sewers or pipes met during excavation, and for properly sealing up outlets of the same. Cart away all rubble matter off the site.

Contingency Sum and Variations.

Include a contingency sum in the amount of £2500.00 in respect of this contract, these monies only to be expended on the written instructions of the Architects. Any oral instructions, directions and explanations given by the Architect or his agent shall., if involving a variation, shall be confirmed in writing by the contractor to the Architect within five working days. If not dissented from in writing by the Architects within five working days from receipt of the written confirmation the variation shall be deemed to be authorized in writing. All variations ordered shall be measured and valued without delay by the Architect or Quantity Surveyor who shall give to the contractor the opportunity to be present with him on the site and to take what notes and measurements as the contractor may require.

## EXCAVATION

### Concrete Floor:

Cut out existing floor cleanly with a concrete saw for the full length of the proposed wall. Excavate out for strip foundations and concrete piers. Excavate to allow for the full width and depths of footings down to a solid base. All excavations are to be levelled, rammed inspected and approved by the Architect and by the Local Authority before the concrete is laid. See details of footings and piers on details 20/01 and 20/02 on drawing no 930/56.

### Return, Fill in and Ram:

Return and fill selected material around foundation up to the original floor level, or as required in layers not exceeding 225mm thick; carefully ram and consolidate with the addition of water if directed by the Architect.

No filling shall be excavated until the foundation and the footings have been inspected and approved by the Architect and by the Local Authority.

### Earth Filling:

Wheel and fill selected excavated particulars in layers not exceeding 225mm thick and consolidate to make up levels under hardcore beds.

Load and cart away surplus excavated material or spread level as directed on site.

### Free from Water:

Keep the whole of the excavation free from water by pumping bailing or drainag if necessary.

### Provisional Depths:

Depths of all excavations shown on the drawings are provisional. Further excavation may be necessary to provide a solid bedding for foundations.

### Planking and Strutting:

The contractor shall provide any planking and strutting required for the safe support of all excavations. The contractor is to give to the Architect twenty four hours notice when excavations will be ready for inspections. The bottom of every excavation will be inspected by him, and no concrete is to be laid until the Architect has approved the bottom. The contractor shall step the trench base or excavate in stages as directed by the Architect.

**Hardcore Filling:**

Hardcore shall be composed of hard brick or stone, broken to pass a ring of 100mm in all directions, and laid to a minimum depth of 200mm or to such further depths as may be necessary to take up levels between underside of floor and existing floor level. Hardcore shall be properly compacted and consolidated in layers. No fine material will be allowed as hardcore. Where hardcore filling exceeds 300mm in depth, the outer face shall be hand packed with large stones.

**Blinding:**

Blind over hardcore with approved fines to a consolidated thickness of 50mm ready to receive a damp proof membrane or lap and seal with the existing damp proof membrane as required. Suitable material for fines are sand, fine gravel or P.F.A. The blinding is to be left for examination by the Architect.

## CONCRETE.

### Cement:

The cement is to be Portland Cement in accordance with IS. 12 for Portland Cement (normal setting). All cement shall be in the original sealed packages of the manufacturers, each containing the same weight of cement. Each bag shall show the makers name, the type of cement and the consignment number. Each consignment shall be accompanied by a Certificate of Quality. The cement should be stored in a weather proof store and protected from damp.

### Water:

Clean fresh water is to be used and free from all impurities and fit for human consumption.

### Aggregates:

All fine sand aggregates and coarse aggregates shall be washed and well graded and conform to IS. 5 (1949) for coarse and fine aggregates from natural sources. Run of pit material will not be permitted for any reinforced or precast concrete work.

### Rejected Materials:

All materials that have been damaged, contaminated, have deteriorated, or do not comply with the requirements of this specification, shall be rejected, and shall be removed immediately from the site.

### Gauging and Mixing:

Quantities of cement shall be measured by weight, the unit being one bag of 50 kg. and the constitution of each batch shall be such that the cement required per batch is in the units of 50kg. Aggregates for concrete shall be measured by weight in an approved weight batching mixing plant.

All proportioning must be carried out in such a manner that the proportions of the materials may be easily and readily checked. The batches of concrete shall be proportioned to the size of the mixer, to produce the best results. The entire contents of the hopper shall be completely discharged each time a batch is mixed. No concrete shall be mixed for more than half an hour, or shall on any account be placed in permanent work without the approval of the Architect.

The cement and aggregate shall be mixed in an approved mechanical batch mixer. Mixing shall continue until the mix is uniform in texture but in any event for not less than two minutes. Water shall be added only after the drum is fully charged with other materials. The volume of the mixed materials shall not exceed the rated capacity of the mixer drum. The entire contents of the mixer shall be washed out thoroughly whenever work ceases.

### Ready mixed Concrete:

Ready mixed concrete from an approved supplier may be used provided it is equal in all respects to the concrete specification for the works and complies with BS 1926.

### Concrete Mixes.

Concrete Type.	1.	2.	3.
Aggregates			
Max Size	40mm	20mm	14mm
Cement	1	1	1
Mix Prop			
Fine Aggregate	3	2	3
Coarse Aggregate	6	4	6

The water-cement ratio shall be kept to the minimum needed to ensure reasonable workability, but should not exceed 35 liters per 50kg. of cement.

### Types of Concrete for Various Locations:

- Class 1: Foundations, Bases for light and fencing standards, stays and columns. Beds for flooring, drains, manholes, A.J's etc. Footpaths and paving.
- Class 2: External and Internal Walls.
- Class 3: Suspended floors, roofs, cover slabs, retaining walls, Beams, Lintols, Columns and Copings. platforms and entrances, kerbs. Benchings, coverings, surrounds to drain pipes. Precast concrete lintols, sills window surrounds.

### Curing:

During initial setting and curing the concrete will be protected against excessive heat, frost, shock and vibration and no traffic must be allowed on it until properly hardened. No concrete of any kind shall be placed during a falling temperature of 4 degrees or less or until after the rising temperature exceeds 1 degree. When depositing concrete at or near freezing temperatures, approved precautions shall be taken to ensure that the temperature of the concrete is maintained at above 4.5 degrees C until it is thoroughly hardened. All concrete damaged by frost shall be removed and replaced by the Contractor.



**Concrete Compacting:**

The whole of the concrete shall be thoroughly compacted during the operation of placing and be well compacted around embedded fixtures and into corners of the formwork. All necessary rammers and spatules shall be provided and employed to ensure compact and smooth faced work throughout.

**Transport and Placing:**

The transport of concrete and the placement of the concrete shall be in accordance with the latest code of practice. Under no circumstances shall concrete be transported more than 15 Meters.

**Foundations:**

Foundations shall be to sizes as shown on drawings and foundations. Care is to be taken in depositing concrete in foundations to ensure that it is rammed closely against the face of the trenches in order that there be more further subsequent settlement or disturbance of the ground. See drawing no 930/56.

**Ground Floor Construction:**

All concrete floors and repairs are to be 150mm concrete slab laid on a 500 gauge visqueen tied into existing dpm if appropriate and dressed up to and across all internal and external walls on a dpc. The dpm is to be laid on 50mm sand blinding. The blinding is to be laid on a minimum of 200mm consolidated hardcore.

## BLOCKWORK.

### Structural Blockwork:

The walls are to be constructed in 215mm hollow concrete block or 102mm solid block as indicated on the drawings. The blockwork shall comply with I.S. 20 (1971). The blockwork shall be properly bonded at the junctions and angles, plumb at quoins and jambs, with prestressed spanlight or metal lintols where openings are required for doors or windows. See drawing no 930/55 for external windows.

### Rising Walls:

The rising walls in blockwork are to be 215mm solid blockwork with a dpc inserted a minimum of 150mm above ground level otherwise they are to be inserted in the walls above the joints of the dpm in the structural walls.

### Fixing Plugs:

Provide fixing plugs to take all timber fixture, such as skirtings etc. and for the securing of doors and windows.

### Existing Walls:

At the junction of new blockwork with existing walls fix to existing wall., expanded metal strips, with heavy duty masonry nails at each course of blockwork, to be inserted by cartridge gun or else pre-drilled. Each 100mm wide strip to be bent at right angles at each course to take new blockwork.

### Damp Proof Courses:

The damp proof course shall be bitumen on a Hessian base complying with IS 57. Damp proof course to be laid on a bed of mortar on all walls and lapped 150mm at junctions.

### DPC over Lintols:

Provide a dpc movement joint over each prestressed spanlight lintol. The spanlight lintol shall in all respects comply with the loading/span ratio as laid down by the manufacturers.

### DPC under Cills:

The DPC under cills to be returned at the back of cills to the full height of the cill and at the cill ends and to project a minimum of 25mm beyond the external finish of the wall.

Damp Proof Membrane:

The damp proof membrane to the concrete floor shall be 500 gauge polythene sheeting, which shall be laid over the blinding. Where joints have to be made, these shall be double welt folds, as per manufactures instructions. In all cases the dpm shall be turned up to floor level on the external walls and extending over all walls with a foundation.

## FIRE PROOF PROTECTION.

### Fire Proof Partitions:

Provide 1HR fire resistance partition to warehouse from offices. The partition is to comply with BS 476 Part 8:1972. The partition is to be constructed with 50mm.36mm.0.6mm channel studs at a maxima of 610mm centers. Provide 60mm thick mineral wool (23Kg/cub M) between studs. Provide 6mm supalux fillets 50mm wide on both faces of channels and 9mm supalux coverstrips 75mm wide, behind horizontal joints, fixed on both sides of the joint with 19mm.no8 self tapping screws. Provide 9mm Supalux fixed to both sides with 25mm. no 8 self tapping screws. All fixings at a maximum of 300mm centres. FIRTO Report TE 4588.

### 1HR Fire Doors:

Provide 1Hr fire doors to warehouse from all office areas. The doors should comply with BS Part 8:1972. They should be self closing and contain an intumescent strip. The doors should be delivered and installed as a full fire door set and a copy of the fire certificate from the relevant testing station should be available for inspection.

### 1/2 HR Fire Doors:

Provide 1/2Hr fire doors to all landing doors and staircase exits in the office area in addition to the main public areas as indicated on the plans. The doors should comply with BS Part 8:1972. They should be self closing and contain an intumescent strip. The doors should be delivered and installed as a full fire door set and a copy of the fire certificate from the relevant testing station should be available for inspection.

### Existing Ground Floor Ceilings:

The existing ground floor ceilings and first floor area are to be made 1hr fire resisting. Due to the unreliability of the existing nailing of the plasterboard ceiling all ceilings are to be filled with 18mm aggregate gypsum plaster trowelled between joists in conjunction with metal lathing well turned up and fixed to joists for 75mm. Polythene sheeting is to be used for base to prevent staining below. Existing chipboards are to be removed and replaced with either 150mm.18mm t and g sheeting or 18mm plywood.

### Fire Extinguishers:

Provide suitable foam fire extinguishers at each end of landings and to the main offices. Suitable locations for four fire extinguishers are to be found in the warehouse area.

Packing Area:

The partition for this area is to be constructed to an 1/2hr fire resistance. All glazing shall be fixed with no opening sections and will consist of 6mm minimum Georgian wire glass.

The partition is to comply with BS 476 Part 8:1972. The partition is to be constructed with 48mm.35mm.0.6mm channel studs at a maximum of 610mm centres. Provide 60mm thick mineral wool (23Kg/cub M) between studs. Provide 9mm supalux coverstrips 75mm wide, behind horizontal joints, fixed on both sides of the joint with 19mm.no8 self tapping screws. Provide 9mm Supalux fixed to both sides with 25mm. no 8 self tapping screws. All fixings at a maximum of 300mm centers. FIRTO Report TE 4566.

## TIMBER AND JOINERY.

### Materials:

The materials must conform at least to the appropriate British or Irish Standards where such standards exist.

The following British Standards should be noted:-

Timber nomenclature	BS 589, 881.
Structural Softwoods	BS 1860.
Softwood Flooring Grading and Sizing	BS 1297.
British Made Plywoods	BS 1455.
Nails	BS 1202 Parts 1-3. BS 1494.
Screws	BS 916, 1210, 1494. BS 1769, BS 2465.
Timber Connections	BS 1579.
Bolts	BS 916, 1494, 1769. BS 3139 Part 1. BS 4395 Part 1.
Preservatives	BS 144, 913, 1282, BS 3051, 3452-3, BS 3842, 4072.
Adhesives	BS 1203, 1204.

Timber for carcassing shall comply with BS 1860 and with the recommendations contained in BS and Cp 112.

Hardwood shall comply with BS 1186, Parts 1 and 2.

Hardwood shall be mahogany, teak or iroko where specified to match a sample already approved by the Architect.

All timber used throughout the work shall be well seasoned and dry, free from sap, shakes, large or loose knots, waney edges or other imperfections. All timbers found defective in these respects shall be removed from the site.

White deal shall be spruce, straight, well seasoned and free from sapwood. Red deal for joinery shall be redwood or other approved timber by the Architect.

### Moisture Content:

The moisture content of all timber shall not exceed the permitted maxima set out in IS 96.

All timber shall be free from surface moisture at time of treatment with preservative.

### Timber Preservatives:

All timber is to be machined to profile prior to treatment. All timbers are to be pre-treated with preservative in strict accordance with the recommendations of the respective preservative manufacturer. The reduction in size of pre-treated timbers on the job shall be kept to a minimum and timbers so cut, together with all cut ends, notches etc., shall be treated liberally brushing on two coats of distinctively coloured preservative. Small pieces of timber used for grounds etc. shall also be treated with Protim or other approved material. Suitable precaution shall be taken by the contractor by way of the provision of PVC gloves, etc. to ensure that any men in contact with timber preservatives in their wet state are protected from any possible skin irritation which might result from direct contact.

### Workmanship:

any timber splitting or opening to the extent of 2mm or more within the contract period shall be replaced. All joiners work is to be properly wrought and framed together and finished in a workmanlike manner. All framing to be morticed and tenoned. Tonguing to be crossgrained.

### Skirtings:

Skirtings are not to be laid until after the flooring is laid, unless otherwise specified. Skirtings shall be scribed along their lower edge to the contours of the flooring. All floors to have 150mm.18mm red deal skirting mitred and angled. Where skirtings are fixed to blockwork, they shall be secured with 50mm.22mm white deal treated grounds plugged to walls.

### Windows:

Provide hardwood windows. The windows shall incorporate a permanent in the glazing section. See drawing no 930/55 for details. Window boards, 25mm wrough moulded on edges and corners and secured to grounds and shall be fixed to all windows. All frames to be bedded in mastic on concrete cill upstands.

### External Door Frame:

External door frames shall be prepared 75mm.112mm in wrough deal, rebated in the solid, secured to grounds and doweled at foot to heel blocks. Frames shall not be set into paving or set into concrete step.

### Internal Door Frame:

Internal door frame shall be 40mm thick wrough deal with 60mm planted stops. They shall be 100% solid and fixed in accordance with the manufacturer's instructions.

External Door:

External doors shall be to IS48. Head and stiles 112mm.50mm.

Internal Doors:

Internal doors to be flush door to IS48, 50mm nominal thickness with hardwood edging with birch or pine plywood finish standard size 750mm.1980mm. Doors to be hing on one pair of 100mm steel butt hinges.

Architraves:

They are to be 16mm.75mm wrough deal mitred at joints and securely fixed to grounds.

Saddles:

Saddles shall be hardwood, splayed from 22mm.150mm splays in a bull nosed finished. Saddles to be provided to all doors unless otherwise stated.



## IRONMONGERY.

### Samples:

Supply and fix ironmongery from specified sources. Fix all architectural ironmongery with matching screws. Ease and adjust and oil on completion. Label all keys and hand over to specifier. Samples of ironmongery for use on the contract to be submitted to the Architect for approval.

### External Door:

To be hung on 1 1/2 pairs of 100mm steel hinges and to be provide with a latch set and mortice lock finished in chrome plate handles.

### Internal Doors:

Internal doors to be hung on 100mm steel hinges and fitted with suitable mortice type lock complete with furniture and level action handles. The doors are to be fitted with suitable door closers.

### Sash Ironmongery:

All opening sashes shall be fitted with strong metal fasteners. Side hung and top hung sashes shall be fitted with strong stay gear.

## ELECTRICAL INSTALLATIONS.

### Conditions and Workmanship:

The Electrical Installation will be supervised and subject to the approval of the ESB and the Local Authority. The electrical installation shall form part of the general building contract and the responsibility for carrying out the work will be with the contractor to a satisfactory finish who shall let out the work to an experience firm of electrical contractors. Only electrical contractors of good standing and with previous experience of similar work will be permitted to undertake the work.

Approval of the electrical sub-contractor or of any arrangement made by the general contractor for carrying out the work must be obtained before the installation is commenced.

All electrical work must comply with the following publications:-

1. National Regulations for Electrical Installations issued by the National Wiring Rules Committee (1968).
2. Requirements for Earthing in Electrical Installations published by The Electrical Supply Board.
3. Reductions for the Electrical Equipment of Buildings of the Institute of Electrical Engineers-14th Edition.
4. National rules for Electrical Installations published by the Electro-Technical Council of Ireland (1976).

### Workmanship and Supervision:

The electrical contractor shall settle any minor details that may arise in the wiring of the buildings and to carry out alterations or instructions which, from time to time that may be given to him by the Architect or Engineer so far as these instructions are contained in the terms of the specification, schedules and plans which have been deemed to be accepted in their entirety by the contractor, except in the case of a variation which has been agreed.

### Inspection of the Work:

All materials used on this contract must be available for inspection by the Architect or the Engineer at any time during the course of the contract.

### Commencement of Installation:

The contractor is to notify both the ESB and the Local Authority if required of any work that he is required to do in advance. Failure to do this may necessitate the removal of work completed by him, in order to enable a proper examination to take place and in such a case the cost of the removal or replacement shall be the contractors. The lines, positions, and ways of electrical mains are to be ascertained by the contractor at an early stage, so that, where possible, ways are left to avoid the unnecessary cutting away of finished work.

Testing on Completion:

The Architect or Engineer shall, be notified when the electrical installation is completed. The Architect or Engineer shall within fourteen days of receipt of such notice, examine and if he deems fit, test the work in question.

No project will be taken over by the client unless the electrical installation has been certified by the Engineer and the ESB. The contractor shall provide the use of an electrician to assist the Engineer in carrying out any test that are deemed necessary in order to certify the works.

The contractor shall arrange to test each circuit with bell and battery for the location of wrong loops, etc before handing over the project.

In the event of any deviation from the contract specification or drawings, the Engineer will not certify it unless prior approval in writing was obtained.

The system is to be passed in its entirety by the ESB before the installation is taken over.

Conduits:

A minimum of 20mm diameter round plastic conduit shall be installed for switch and socket outlet drops and shall be finished at least 150mm above or below the level of the joists or floor. The conduit shall be secured to the satisfaction of the Architect or Engineer.

Switches:

Switches are to be white bakelite flush type switches rocker arm pattern to BS 1299 shall be fitted 1.0M over floor level.

Lighting:

Provide twin 1.8m fluorescent lights to all offices. See detailed lighting layout plan.

## PAINING AND DECORATING.

### Painting:

None other than skilled workmen, except apprentices, to be employed on the works. All paint is to be prepared and applied strictly in accordance with the manufacturer's instructions. The approval of the Architect must be obtained to any proprietary paint before use. The contractor shall be allowed to use only paint as approved. The paint shall be delivered to the site in sealed tins bearing the manufacturer's name and clearly labeled as to the quality of the paint. Additions or alterations of these products will not be allowed. The undercoating shall be the same brand as the finishing coat. Paints for internal and external use shall be of first quality hard gloss conforming to IS32. All surfaces to be thoroughly dry before knotting, stopping or painting.

### Primer:

The priming paint for joinery shall be an approved oil resin primer containing aluminium to comply with BS 4756. Priming shall be carried out at an early stage on the site and before the joinery is exposed to weather but not less than ten days after treatment with preservatives as herein before specified. The primer shall be applied to all door and window surrounds prior to fitting.

### Internal Woodwork:

All internal woodwork shall be knotted, primed, stopped, filled and painted one coat of undercoating and one finishing coat of white gloss.

### External Woodwork:

All external woodwork be knotted, primed, stopped and filled. Bottom edges of all doors shall be primed and painted one coat prior to hanging, all other woodwork to have two coats of undercoating and one finishing coating white unless stated otherwise.

### Ceilings:

Ceilings throughout shall be finished in two coats emulsion paint in colour white and applied in accordance with the manufacturer's specifications.

### Internal Wall Finishes:

All internal wall finishes should be coated with 2 coats of emulsion to the schedule of colours as defined by the client.

Cleaning the Works:

Remove all rubbish and finished with materials from the site.  
Remove rubbish and debris from factory. Clean out all areas and  
leave fit for human habitation.

*Specication May 1991.  
Osborne Associates*