

DUBLIN COUNTY COUNCIL

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.

Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

Telephone: 773066

Telephone: 724755  
Extension: 231/234

15 August 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: 48 & 49 Cookstown Ind. Est., Belgard Rd, D. 24.

PROPOSED DEVELOPMENT: Extension

APPLICANT: Chemoflon G.M.B.H.

PLANNING REG. REF.: 91A/0776

DATE OF RECEIPT OF SUBMISSION: 19 July 1991

A Chara,

With reference to above, I acknowledge receipt of application for:

**Building Bye Law Approval.**

Mise, le meas

A. Smith

PRINCIPAL OFFICER

O'Shea Hooper Design Partnership,

2 Dartry Road,

Dublin 6.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE

1. Application for Permission  BUILDING BYE LAWS  Place / in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building 48 + 21B (49) COOKSTOWN INDUSTRIAL  
(If none, give description sufficient to identify) ESTATE, BELMARD ROAD, DUBLIN 24

3. Name of applicant (Principal not Agent) CHEMOFON GmbH  
Address 48 COOKSTOWN INDUSTRIAL ESTATE Tel. No. 519522

4. Name and address of O'SHEA HOOPER DESIGN PARTNERSHIP  
person or firm responsible for preparation of drawings 2 DARTY ROAD DUBLIN 6 Tel. No. 970642

5. Name and address to which O'SHEA HOOPER DESIGN PARTNERSHIP ARCHITECTS  
notifications should be sent 2 DARTY ROAD, DUBLIN 6

6. Brief description of proposed development ADDITIONAL ACCOMMODATION  
INCL: REF: DEB NO: 91A/0776 15/5/91

7. Method of drainage COUNTY COUNCIL 8. Source of Water Supply COUNTY COUNCIL

9. In the case of any building or buildings to be retained on site, please state:  
(a) Present use of each floor or use when last used. INDUSTRIAL / OFFICE / ANCILLARY  
(b) Proposed use of each floor D1770 / D1770

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11. (a) Area of Site 4220.4 Sq. m.  
(b) Floor area of proposed development 872 m<sup>2</sup> (Bye law Application) Sq. m.  
(c) Floor area of buildings proposed to be retained within site 1935 Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD BYE LAW APPLICATION

13. Are you now applying also for an approval under the Building Bye Laws?  
Yes  No  Place / in appropriate box. YES. REC. NO. N 45314

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:  
DUE CONSIDERANCE TAKEN IN PREPARING THIS APPLICATION £3052.00

15. List of documents enclosed with application. 2 COPIES DEB. NO: 95030/01/02/03/04/05/06/07/08/09, SPECIFICATION, CHARGE £3052.00.

16. Gross floor space of proposed development (See back) 872 m<sup>2</sup> Sq. m.  
No of dwellings proposed (if any) ..... Class(es) of Development .....  
Fee Payable £ 3052.00 Basis of Calculation 872 m<sup>2</sup> x £3.50 = £3052.00  
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) David O'Shea Date 12<sup>th</sup> June '91

Application Type R/S FOR OFFICE USE ONLY  
Register Reference 91A 91A/0776  
Amount Received £ ..... 1,182 19h  
Receipt No ..... - BPL  
Date .....

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
  - (a) The address of the structure or the location of the land.
  - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
  - (c) The name of the applicant.

**NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
  - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
  - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
    - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
  - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m <sup>2</sup> (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

**COMHAIRLE CHONTAE ÁTHA CLIATH**

RECEIPT CODE

PAID BY — **DUBLIN COUNTY COUNCIL**

[Empty box for Receipt Code]

CASH  
CHEQUE ✓  
M.O.  
B.L.  
I.T.

46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

BYE 1 INFORMATION

REC. NO. **N 45314**

£3052.00

Received this 19th day of July 1981

from Chemolan GMBH  
48 Cookstown Industrial Estate

the sum of Three Thousand and fifty two Pounds

application at 48 + 213(49) Cookstown Industrial Estate  
Pence being 100 00

Michael O'R Cashier

**S. CAREY**  
Principal Officer

Class 4

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY DUBLIN COUNTY COUNCIL  
46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

[RECEIPT CODE]

CASH  
CHEQUE

DUBLIN 45314

€ 3,052.00

Received this 19th day of July, 1951

from Chemolla GMBH  
412 Cookstown Industrial Estate

the sum of three thousand and fifty two Pounds

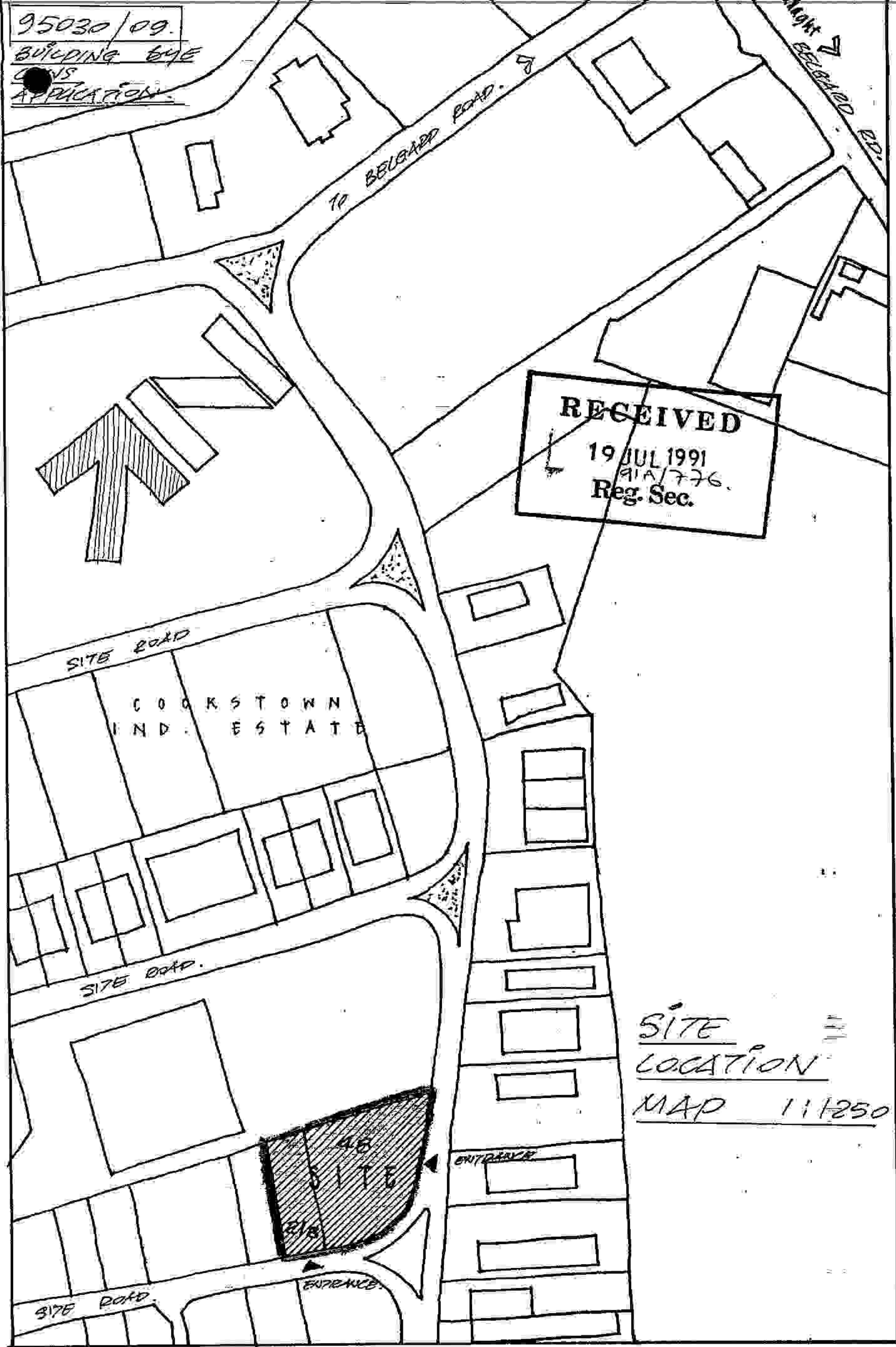
application at 412 21B/412 Cookstown Industrial Estate

Michael O'K...  
Cashier

S. CAREY  
Principal Officer

CBS 54

95030/09.  
BUILDING BYE  
CONS  
APPLICATION.



RECEIVED  
19 JUL 1991  
91A/776.  
Reg. Sec.

SITE  
LOCATION  
MAP 1:1250

O'SHEA HOOPER DESIGN PARTNERSHIP, ARCHITECTS.

SPECIFICATION

of



WORKS TO BE DONE AND MATERIALS TO BE USED IN CARRYING OUT  
ALTERATIONS AND EXTENSIONS AT CHEMOFLON GmbH, 48 and  
21B(49) COOKSTOWN INDUSTRIAL ESTATE, TALLAGHT, DUBLIN 14.

for The Managing Director,  
Chemoflon GmbH,  
48 Cookstown Industrial estate,  
Tallaght, Dublin 24.

In accordance with Documents and Drawings prepared by and  
to the entire satisfaction of

O'SHEA HOOPER DESIGN PARTNERSHIP, Architects  
'Santon', 2 Dartry Road, Dublin 6

Ref:95030

Date: June 1991.

## 1 EXTENT OF WORKS

The works consist of the following:

- a) New extension to side of No48
- b) New porch to front of No.48
- c) Alterations internally to No.48
- d) Link between No:48 and No:21B ( No:49)
- e) Single storey extensions to rere of No:21B ( No;49)
- f) Alterations internally No:21B (No: 49).

Demolition work generally to be as shown on the Drawings.

## 2 FOUNDATIONS

In concrete mixes of 1:2:4 Mix to sizes as shown on the Drawings.

## 3 RISING WALLS:

All rising walls in solid concrete blockwork in positions as shown on the drawings.

## 4 DAMP PROOF COURSE

To be pvc to current I.S in positions in walls as shown on the Drawings.

## 5 FLOOR SLABS

Concrete floor slabs in positions as shown on the Drawings. Specification as shown on the said Drawings. Floor of extension to No: 48 to be laid in bays of max area 20sq.metres in a checkerboard pattern. Joints between bays as heretofore detailed in this Document.



ry Darley.

DUBLIN COUNTY COUNCIL

REG. REF: 91A-0776

DEVELOPMENT: Changes to approved plans for extensions and alterations.

LOCATION: Unit 21b and 48 Cookstown Ind. Est. Tallaght

APPLICANT: Chemoflon GmbH

DATE LODGED: 15th May, 1991.

This application is for full permission for changes to approved plans at Cookstown Industrial Estate, Tallaght.

The plans submitted are not very clear but it appears the proposal constitutes an extension of approx. 927 sq.m. floor area to the existing 1686 sq.m.

The proposed extension would require 28 car parking spaces necessitating a total car park provision of 79 car spaces.

The applicant proposes a total of 32 car spaces, some 47 short of the Dublin County Council parking requirements for this type of development.

Roads require additional information as to how the applicant intends either to reduce proposed floor area or increase parking capacity.

**PLANNING DEPT.**  
**DEVELOPMENT CONTROL SECT**

Date ..... 24.06.91 .....

Time ..... 3.30 .....

MA/MM 17.6.91.

SIGNED: \_\_\_\_\_ ENDORSED: E. Madden

DATE: \_\_\_\_\_ DATE: 18<sup>th</sup> June '91

## 6 WALLS

External walls to be either:

a) Cavity wall with brick outer leaf, 100mm concrete block inner leaf. Cavity of 100mm width with 60mm Aeroboard insulation. Wall ties to be galvanised to current I.S/B.S., at 450mm and 900mm centres vertically and horizontally respectively.

Upper section of this wall to be clad with 'Trinsul' insulated cladding, to match the existing on patent cladding rails, all to Manufacturers written instructions. Same to include all necessary flashings.

b) 215mm hollow concrete block walls to current I.S/B.S. Same to be finished as specified on the Drawings.

## 7 PRECAST CONCRETE FRAMES

Precast concrete frames to be supplied by a Nominated specialist Sub-Contractors. Portal frames to match the existing frames in No:48.

## 8 WINDOWS

To match the existing to current I.S/B.S.

## 9 WINDOW CILLS

To be either precast concrete on DPC, with same carried up the back and both ends to the full height of the cill. Other cills to be metal to match the existing.

## 10 WINDOW BOARDS

To be timber, ex. 25mm, softwood with rounded edges.

## 11 NEW OPENINGS

Where new opes are formed in existing walls same to have

precast prestressed concrete lintols. All as per shown on the Drawings.

#### 12 EXISTING OPENINGS

Where windows/doors have been removed the opes are to be built up with solid concrete blockwork as shown on the Drawings.

#### 13 INTERNAL WALLS

To be either 215mm solid concrete blockwork, 100mm solid concrete blockwork or 100mm timber stud partitions. All as shown on the Drawings.

#### 14 DOORS

To current I.S/BS and as shown on the Drawings. All external doors to have frames ex. 125mmX65mm (timber) and to be set on concrete spud blocks .

#### 15 ROOF

To the extension of No:48, to the two storey section of the Link and the Link (pitched) and the rere extension of No:21B (No:49) to be 'Trinsul' insulated cladding (with colour to match the existing) on patent purlins, all to 'Tegral's' written specification.

Main structural support for 'LINK' roof to be mild steel trusses on concrete spreader pads as per the Drawings.

Flat roofs to be finished with two layers of asphalt on isolating membrane on 20mm marine ply sheeting on roof joists. All roof areas to be insulated with loose fibreglass insulation to the full depth of the respective roof zones.

## 16 FIRST FLOORS

To the extended Canteen to be T+G boarding on timber joists (on patent joist hangers). Joists to be 215mmX44mm. Supporting universal beam for first floor to be 254mmX254mmX73ub.

## 17 CEILINGS

Flat roofs to have ceilings finished with 9.5mm plaster slab and plaster skim to roof joists. Ditto to ceiling under extended Canteen.

Patent suspended ceiling to the Quality Lab and Office. Pitched roofs to have no ceilings.

## 18 HEATING

Existing heating system to be extended to the 'new areas'.

## 19 ELECTRICAL

Existing electrical system to be extended to include the 'new areas'. New electrical boards to be provided. The works to be supplied with a single supply by the ESB. Generally all electrical work to the entire satisfaction of the requirements of the ESB.

## 20 ROOFLIGHTS

In pitched roofs to be 'sintalon sheeting' as shown on the Drawings. In flat roof to be 600mmX600mm double skin ventilated Coxdome rooflights.

## 21 DRAINAGE

In 100mm diameter pvc pipes in locations as shown on the Drawings. All gully traps Armstrong Junctions etc. to current B.S for same.

22- FIRE PROTECTION (Structural)

All structural steelwork to be given a one hour protection. All to Fire Officers requirements

23 FIRE DOORS

One hour doors to be provided in the following locations: D6, D7, D8, D9, D12, D14, D34, D35

Same to have frames and ironmongery giving this protection. Contractors to provide Fire Certificates for these doors.

24 FIRE PROTECTION GENERAL

Existing fire alarm to be extended. Hand held fire fighting equipment to be located as agreed with the Fire Officer

25 SKIRTINGS AND ARCHITRAVES

Skirtings and architraves to be ex. 100mmX20mm, with half rounded top/edge.

26 RAINWATER GOODS (Existing)

Existing rainwater goods to No: 48 and No:21B(49) to be reduced in length (drop) to discharge into new roof gutter. (pressed metal gutter to LINK building)

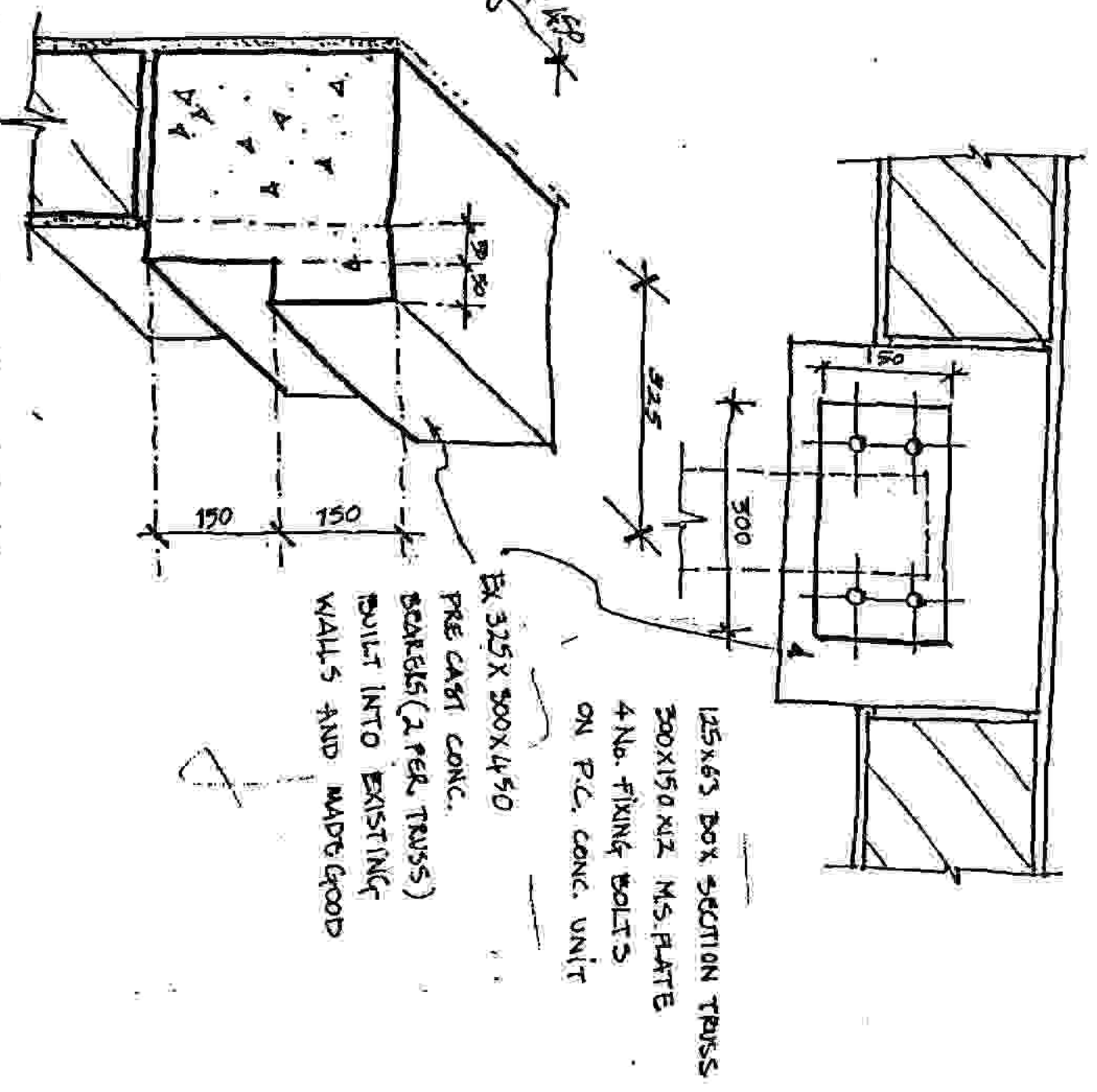
27 WATER AREA/ TARMAC etc.

To be lined with butyl rubber laid on 50mm bed of sand. Edges to be held with perimeter paving slabs.

New tarmacadam on consolidated hardcore to match the existing in areas as shown on the Drawings.

# STRUCTURAL DETAILS

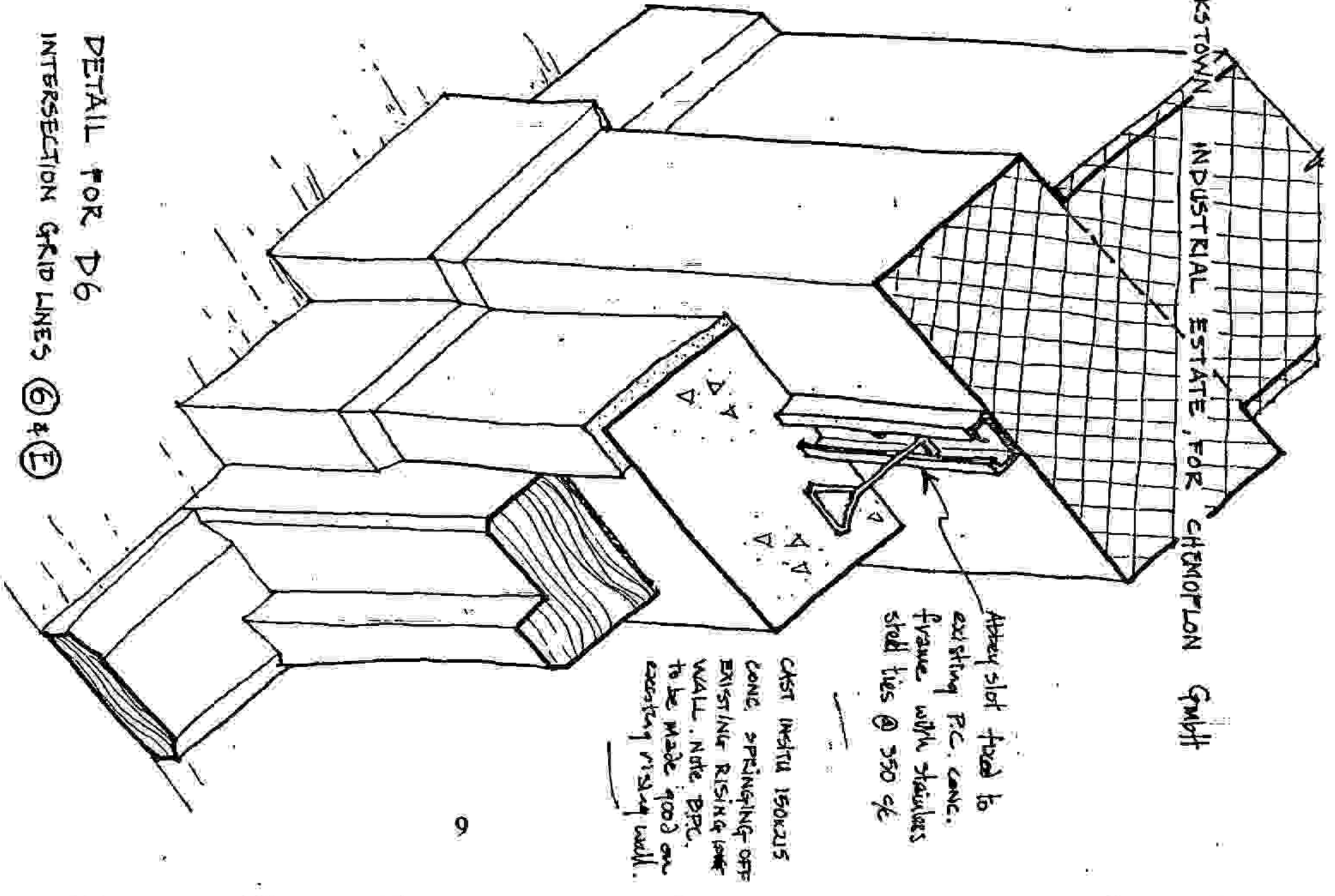
FOR PROPOSED LINK BETWEEN UNIT 21B AND UNIT 48, COOKSTOWN INDUSTRIAL ESTATE, FOR CHROMPLON GmbH



125x63 BOX SECTION TRUSS  
300x150 M.S. PLATE  
4 No. FIXING BOLTS  
ON P.C. CONC. UNIT

EX 325x300x450  
PRE CAST CONC.  
BEAMS (2 PER TRUSS)  
BUILT INTO EXISTING  
WALLS AND MADE GOOD

DETAIL PRECAST CONC.  
UNITS Ref 95055/08 "SECTION 'B5'"  
VISHVA HOOPER DESIGN PARTNERSHIP ARCHITECTS



Slab slot fixed to  
existing P.C. conc.  
frame with stainless  
steel ties @ 350 c/c

CAST IN SITU 150x215  
CONC. SPRINGING OFF  
EXISTING RISING  
WALL. Note BPC  
to be made good on  
existing rising wall.

DETAIL FOR D6  
INTERSECTION GRID LINES ⑥ & ⑦

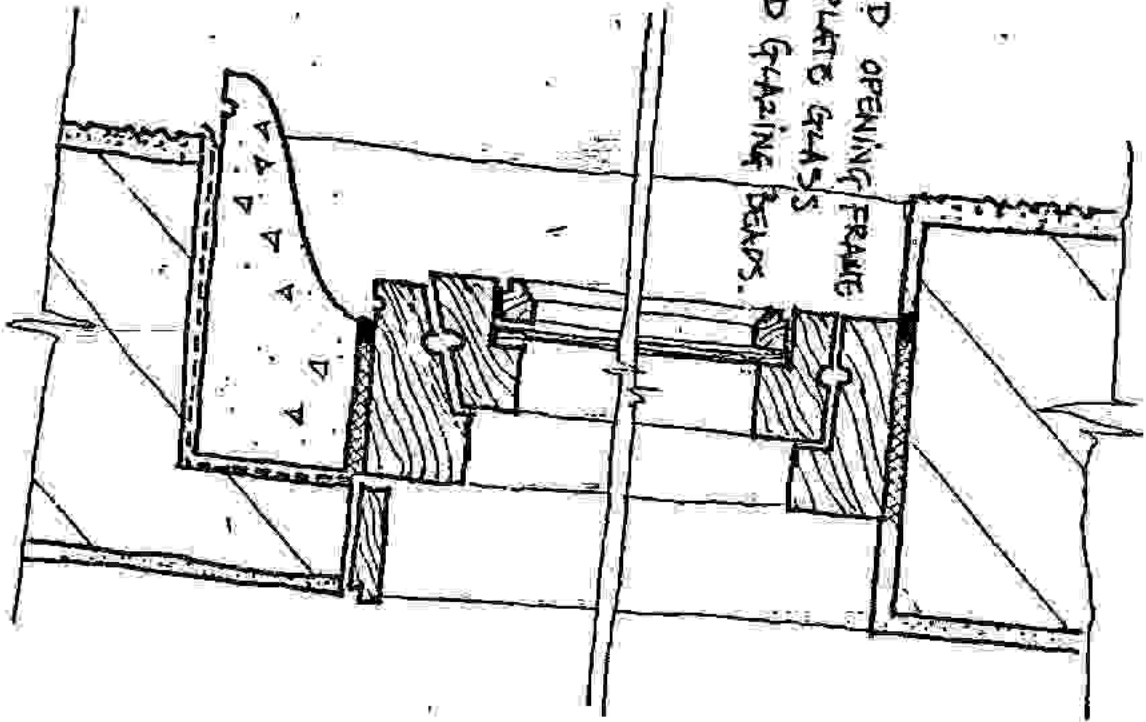
# WINDOW DETAILS

FOR PROPOSED LINK BETWEEN UNIT 215 AND UNIT 48, COOKSTOWN INDUSTRIAL ESTATE, FOR CHEMOFLON GmbH.

AS DETAIL 'B'  
EXCEPT

EX 60X35 HARDWOOD OPENING FRAME  
WITH 4mm CLEAR PLATE GLASS  
EX 20X20 HARDWOOD GLAZING BEADS.

HINGES ETC. AS PER  
WINDOW SCHEDULES

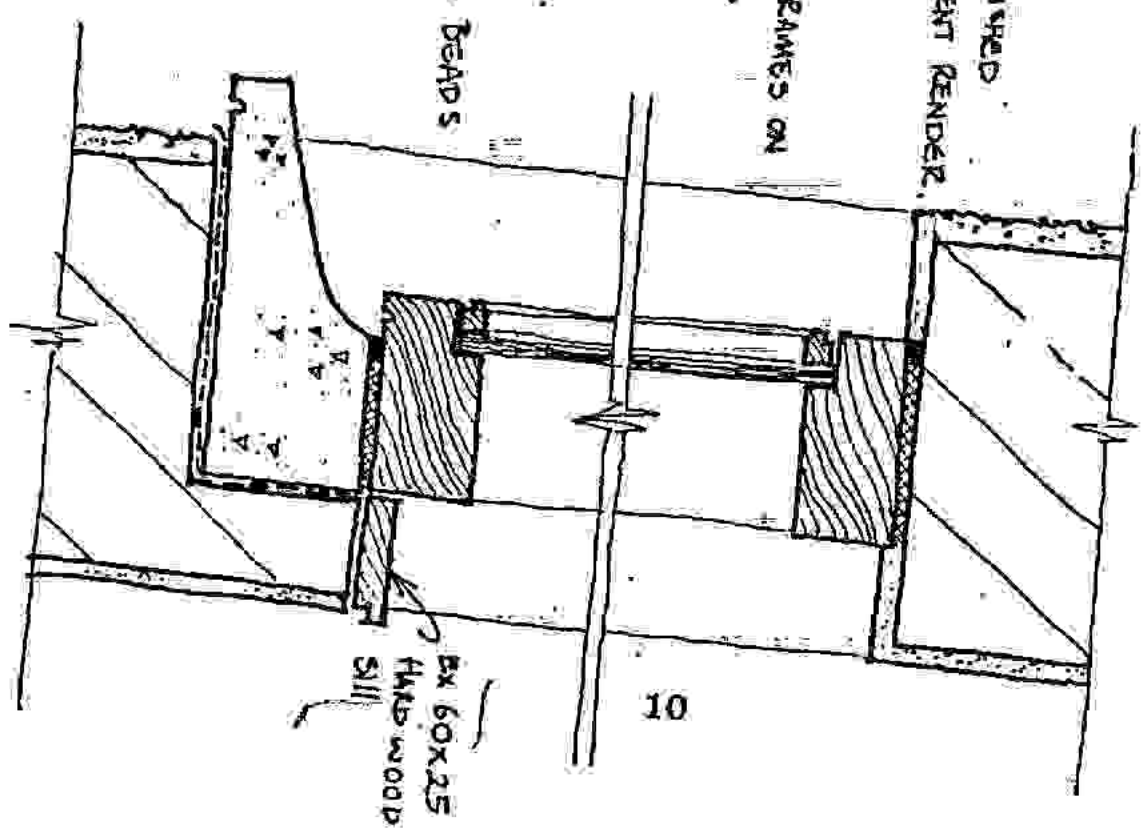


SECTION WINDOWS 647  
DETAIL 'A'

OSHEA HOOPER DESIGN PARTNERSHIP ARCHITECTS

20 'PEBBLES DASH' RENDER ON  
215 HOLLOW BLOCK WALL FINISHED  
INTERIALLY WITH 15 SAND/CEMENT RENDER.  
POLY SULPHIDE POINTING TO  
EX 94 X 44 HARDWOOD WINDOW FRAMES ON  
BEDDING MASTIC ALL AROUND  
ON PRECAST CONC. SILL ON  
DPC.

6mm GEORGIAN WIRED GLASS  
EX 20X20 HARDWOOD GLAZING BEADS



SECTION WINDOWS 1,2,3  
DETAIL B

EX 60X25  
HARDWOOD  
SILL

10



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION  
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 3077 /91      Date of Decision : 10th July 1991

Register Reference : 91A/0776                      Date Received : 15th May 1991

Applicant : Chemoflon GmbH

Development : Changes to approved plans for extensions and alterations

Location : Unit 21b & 48 Cookstown Ind.Estate, Tallaght, Dublin 24

Time Extension(s) up to and including :

Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

subject to the conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- 8.....ATTACHED.

Signed on behalf of the Dublin County Council.....  
for Principal Officer

Date: 11.7.91.....

O'Shea Hooper Design Partnership,  
2 Dartry Road,  
Dublin 6.



Reg.Ref. 91A/0776  
Decision Order No. P/ 3077 /91  
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1,  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

C O N D I T I O N S / R E A S O N S

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of safety and the avoidance of fire hazard.

04 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

05 That the area between the building and roads shall not be used for truck parking or other storage or display purposes, but shall be reserved for car parking and landscaping as shown.

05 REASON: In the interest of the proper planning and development of the area.

06 That details of landscaping and boundary treatment be submitted to and approved in writing by Planning Authority and work thereon completed prior to occupation of units.

REASON: In the interest of amenity.

07 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority.

REASON: In the interest of the proper planning and development of the area.

08 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of health.

## NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,  
Blocks 6 and 7  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/0776

Date : 16th May 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

**DEVELOPMENT** : Changes to approved plans for extensions and alterations

**LOCATION** : Unit 21b & 48 Cookstown Ind.Estate, Tallaght, Dublin 24

**APPLICANT** : Chemoflon GmbH

**APP. TYPE** : PERMISSION

With reference to above, I acknowledge receipt of your application received on 15th May 1991.

Yours faithfully,

.....  
PRINCIPAL OFFICER

O'Shea Hooper Design Partnership,  
2 Dartry Road,  
Dublin 6.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

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2. Postal address of site or building 21B + 48 COOKSTOWN INDUSTRIAL ESTATE  
(If none, give description sufficient to identify) TALLAGHT DUBLIN 24

3. Name of applicant (Principal not Agent) CHEMORON GMBH

Address 48 COOKSTOWN INDUSTRIAL ESTATE Tel. No. 579522

4. Name and address of person or firm responsible for preparation of drawings O'SHEA HOOPER DESIGN PARTNERSHIP 2 DARTMOUTH ROAD DUBLIN 6 Tel. No. 970642

5. Name and address to which notifications should be sent O'SHEA HOOPER DESIGN PARTNERSHIP 2 DARTMOUTH ROAD DUBLIN 6

6. Brief description of proposed development ALTERATIONS + EXTENSION TO APPROVED PLANS

7. Method of drainage CO. CROWNEN 8. Source of Water Supply CO. CROWNEN

8. In the case of any building or buildings to be retained on site, please state:  
(a) Present use of each floor or use when last used MANUFACTURING + OFFICE + CANTINEEN  
(b) Proposed use of each floor DITTO

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11.(a) Area of Site 4521.08 Sq. m.  
(b) Floor area of proposed development 119 Sq. m.  
(c) Floor area of buildings proposed to be retained within site 1895.52 Sq. m.

CO. DUBLIN - Permission for changes to approved plans for extensions and alterations, to Units 21b and 48 Cookstown Industrial Estate, Tallaght, Dublin 24 Chemorion GmbH.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD

13.Are you now applying also for an approval under the Building Bye Laws? Yes  No  Place  in appropriate box. N 39609

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal. DUE COGNISANCE

15.List of documents enclosed with application. 4 COPIES 95130 101/102/103/04/105/106  
107 Irish Independent May 20  
Plain Rec.

16.Gross floor space of proposed development (See back) 118.78 Sq. m.

No of dwellings proposed (if any) \_\_\_\_\_ Class(es) of Development \_\_\_\_\_  
Fee Payable € 208.25 Basis of Calculation \_\_\_\_\_  
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Don O'Shea Date 12 May '91

RECEIVED  
15 MAY 1990  
REG. SEC.  
125 May '91

Application Type P  
Register Reference 91A/0776  
Amount Received € 128.00  
Receipt No. \_\_\_\_\_  
Date 21/8

FOR OFFICE USE ONLY  
128.00 15/5

Irish  
Index  
7/5/91

**LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.**

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin,
  - (a) The address of the structure or the location of the land.
  - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
  - (c) The name of the applicant.

**NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1:2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
  - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
  - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
    - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
  - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1. Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m <sup>2</sup> (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

HAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1.

Issue of this receipt is not an acknowledgment that the fee tendered is the prescribed application fee

CHEQUE  
M.O.  
B.L.  
I.T.

€708.25

Received this 15th day of May 1971

from Charles  
48 Corkstown Industrial Estate

the sum of 10 Pounds  
ten Pounds and eight Pence, being

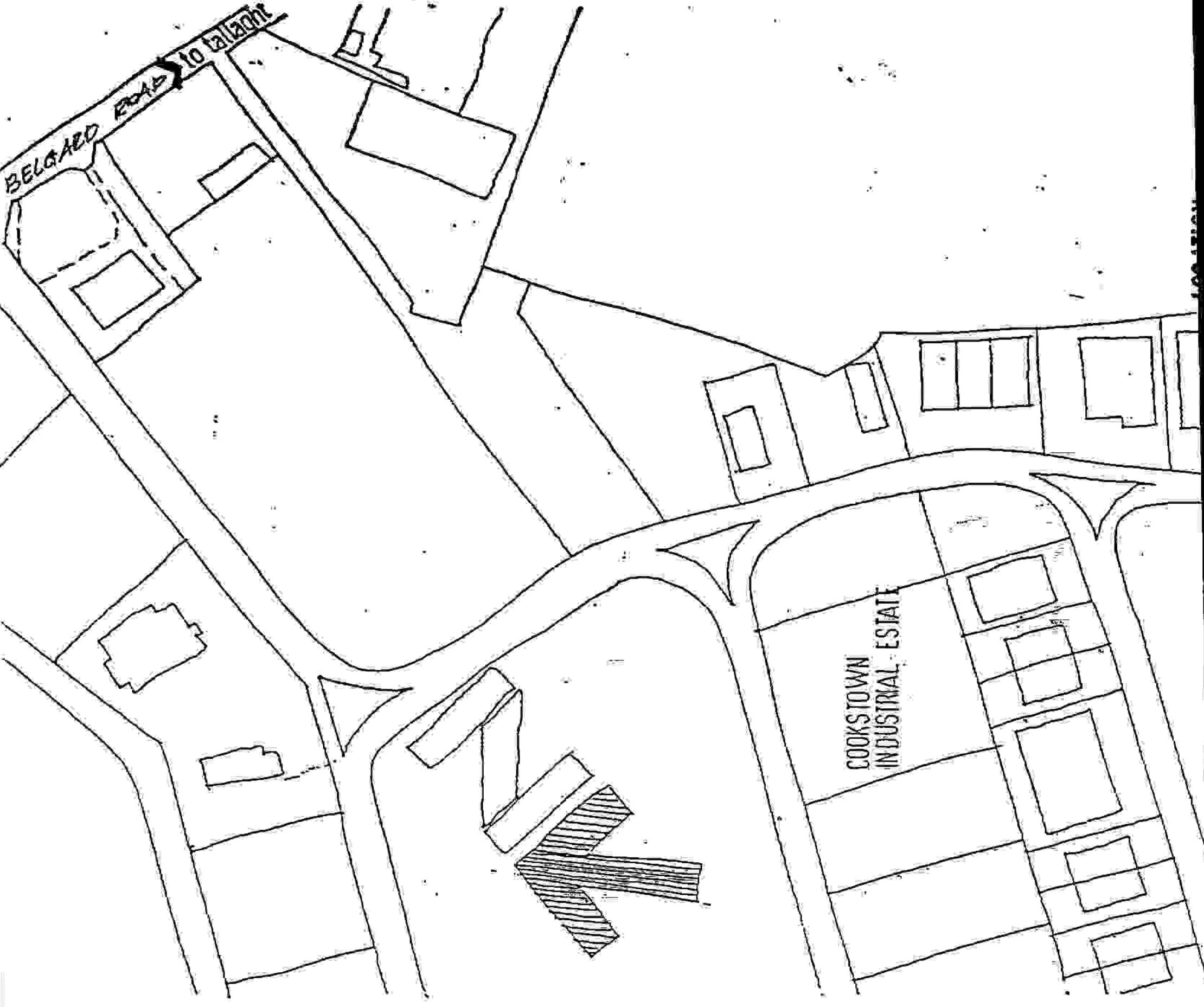
application at 21B + 4B Corkstown Industrial Estate Class

Michael O'Hara

Cashier

S. CAREY  
Principal Officer

BELGAED ROAD to Ballinacree



COOKSTOWN INDUSTRIAL ESTATE

LOCATION





CLADDING TO MATCH EXIS. ON PUBLIC  
ON PRECAST CONCRETE PARTS.

VERTICAL CLADDING  
TO MATCH EXIS.

CILL ON DPC

SOLID CONC. BOARD  
TO DPC COVER

RC STRIP  
ROOFING TO  
WALL.

PRECAST CONCRETE ROOF  
FRAMES

RC LINING TO NEW  
BASE OPS.

200 CONC. SLABS ON  
W/STREIN ON SD STRIP  
ON 150 FIBREGLASS

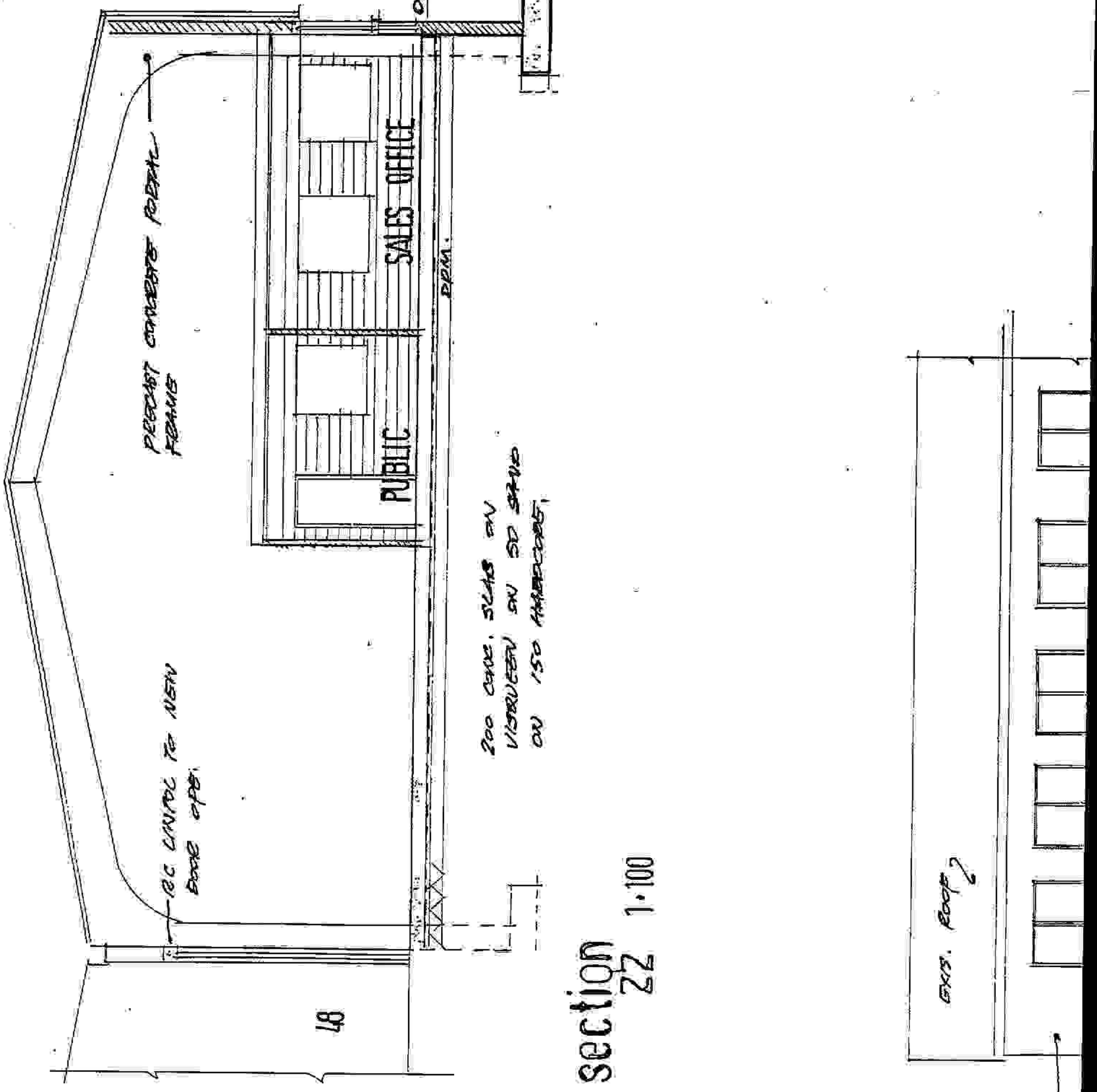
PUBLIC SALES OFFICE

18

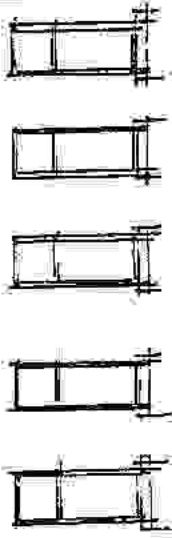
SECTION  
ZZ 1:100

EXIS. ROOF 2

EX. WALL

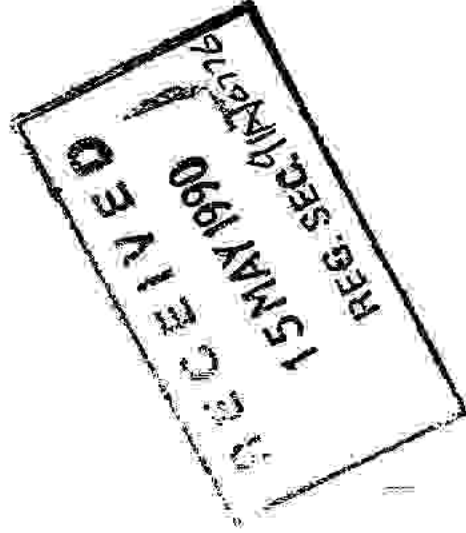


NEW WINDOWS



APPROVED PERMIT  
(CURRENT PERMIT  
PERMISSION) COMMENT

elevation 'y' 1:100



PROPOSED ALTERATIONS AND ADDITIONS  
FOR CHEMOFLON GmbH, COOKSTOWN INDUSTRIAL ESTATE,  
BELGARD ROAD, TALLAGHT, DUBLIN 24.

O'SHEA HOOPER DESIGN PARTNERSHIP ARCHITECTS  
'SANTON', 2 DARTRY ROAD, DUBLIN 6.

Tel: 970642 / 970722 :::: Fax: 970134

Date: May 1991 Scale: AS SHOWN :: Job No: 95030 ::::: DRG No: 07

REF. NO.: 91A/776 CERTIFICATE NO.: 1588418  
 PROPOSAL: Ext.  
 LOCATION: 48, 49 Coakstown Ind. Estate  
 APPLICANT: Chenier GMBH

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55					
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M <sup>2</sup> or £70		<u>3052</u>			
D	Building or other structure for purposes of agriculture	@ £1.00 per M <sup>2</sup> in excess of 300 M <sup>2</sup> Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

*Spore to E086a  
 14/8/91 be is seding in  
 a drawing outlining area  
 on plan for  
 P.W.*

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_  
 Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_  
 Columns 2,3,4,5,6 & 7 Certified: Signed: N. D. ... Grade: III Date: 7/8/91  
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

O'Shea Hooper Design Partnership Architects,  
2 Dartry Road,  
Dublin 6.

RW/GC

8/8/81

Re; Extension at 48 & 49 Cookstown Industrial Estate, for Chemoflon G.M.B.H.

Dear Sirs,

I refer to the above application for Building Bye Law approval received in this department on 19/7/81. The correct fee in respect of this application cannot be assessed as the area shown on the drawings is greater than that which is stated on the application form.

As the statutory 2-month period within which the planning authority must make a decision will not begin to run until the correct fee has been paid, it is important that you outline the correct area on the drawings.

Yours faithfully,

  
for PRINCIPAL OFFICER



LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: 91A/776

CONT. REG.:

SERVICES INVOLVED: WATER/POUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL: 1281 <sup>sq</sup> ft

MEASURED BY: J.Y. 21/5/91

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: F/ /  
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1962

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/POUL SEWER, SEWAGE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT =

MANAGER'S ORDER NO: 77 /  
DATE:

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

35-CMO

PLANNING DEPARTMENT

BOOK FOLIO

8

(1) Date Lodged

LOCATION:

Units 4 8th & Cookstown Ind. Est

REC. REF. 91A/776

19/7/91

APPLICANT:

Gene Chomoffon

add info 12/10/91

PROPOSAL:

Extension

(2) Date Referred:

Insufficient Information

LOCAL SEWER

(3) Rec'd San. Sec.

1. Applicant has not submitted a comprehensive site map on which should be set out all existing public sewers, existing site drains, proposed site drains together with all relevant details regarding pipe sizes, gradients, invert levels, floor levels etc.

2. See previous reports on file & note comments re Water Pollution Act.

Discovered from  
DUBLIN CO. COUNCIL  
SANITARY SERVICES  
- 9 JAN 1992  
Returned to Planning

FACE WATER

Insufficient Information

as for ① & ② under Local Sewer.

(6) Data to Planner

(7) D.P.C. report to be submitted before

(8) D.P.C. report submitted to S.A.S.

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 09.01.92 .....  
Time ..... 2.10 .....  
.....

J. Rice  
7/1/1992

(9) Decision due:

SAN SERVICES  
1601/92 -  
PLANNING DEPT.

ENDORSED

DATE



1) Date Lodged  
19/4/91  
add. info  
16/10/91

LOCATION: Units 48 & 49, Cooraburra Ind. Est. REF.  
APPLICANT: Premoflex  
PROPOSAL: Extension

91A/776

WATER SUPPLY

Available for zoned use. 24 hour storage to be provided.  
L. J. Spier  
13/11/91  
A. [Signature] 14/11/91

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 09.01.92 .....  
Time ..... 2.10. ....

ENDORSED: [Signature] DATE 5/1/72

SS-7-010

PLANNING DEPARTMENT

BOOK FOLIO

2

(1) Date Lodged  
**19 July 1991**

LOCATION: 48 & 49 Cookstown Ind. Est., Belgard Rd. D. 24 REF: 91A/0776  
APPLICANT: ChemoFlon G.M.G.H.  
PROPOSAL: Extension

(2) Date referred:  
**23/8**

FOUL SEWER

*Refusal recommended  
Report required from Sweeney Surveys + Co*

*C See attached report dated 21.6.91.  
The applicants have not demonstrated the existing or proposed drainage arrangements.*

*The applicants have not indicated the alterations to the trade effluent ~~line~~ licence no. 10.P.S.(7).*

*Note: The applicants must consult the 'Toxic and Hazardous Waste' section attached to the Environment Director.*

DUBLIN CO. SAN. SER. (37) No. 600887.1

**30 AUG 1991**

San. Services

Dispatched by

DUBLIN CO. SAN. SER. (37) No. 600887.1

**18 SEP 1991**

Returned *J.P.* to Planner

SURFACE WATER

*C B above.*

*The applicants have not indicated compliance with the <sup>provisions of the</sup> Water Pollution Act relating to Surface Water run off.*

**PLANNING DEPT.  
DEVELOPMENT CONTROL SECT**

Date ..... 20.09.91 .....

Time ..... 10.30 .....

*M. Shorrocks  
9.9.91*

(9) Decision due:

*J.K.  
23/8/91*

ENDORSED \_\_\_\_\_ DATE \_\_\_\_\_

(6) Date to Planner

(7) D.P.O. report to be submitted before:

(8) D.P.O. report submitted to S.A.O.:

*ERICD  
2/8*

g.B.

PLANNING DEPT.,  
DEVELOPMENT CONTROL SECT

Date 2-10-91

Time 10.00

PLANNING DEPARTMENT BOOK FOLIO

5

(1) Date Lodged  
  
19 July 1991

LOCATION: 48 & 49 Cookstown Ind. Est., Belgard Rd. D.  
APPLICANT: Construction S.A.G.A.  
PROPOSAL: Extension

REC. REF. 91A/9776

(2) Date referred.

Chief Medical Officer, Eastern Health Board

THE ABOVE PROPOSAL IS ACCEPTED SUBJECT TO COMPLIANCE WITH THE ENGINEERS REPORT

(3) Rec'd San. Services

- 1) Compliance with the Building Bye-Laws.
- 2) Compliance with the office premises Act 1958 and Regulations made thereunder.
- 3) Compliance with the Safety, Health and Welfare at Work Act 1989.
- 4) Compliance with the safety in industries Acts 1955 to 1980.
- 5) permanent ventilation to be provided to all offices
- 6) A system of intake ventilation communicating separately and directly to the outer air and capable of providing a minimum of 2 air changes per hour must be provided to the lobby serving the proposed sanitary accommodation;
- 7) Adequate A system of mechanical ventilation to be provided to the proposed sanitary accommodation and showers.
- 8) Adequate means of ventilation to be provided to the proposed maintenance area, bonded area and Sports social area.
- 9) Localized extraction shall be provided over all cooking and steam emitting equipment in the canteens and ducted to the outer air.

(4) Dispatched by San. Ser. to C.M.O.:

(5) Rec'd Planning:

(6) Date to Planner:

(7) D.P.O. Report to be submitted before:

(9) Decision due:

(8) DPO Report submitted to S.A.O.:

ENDORSED:

of adequate heating and <sup>artificial</sup> lighting to be provided in all ~~places~~ of work.  
DATE: \_\_\_\_\_

EASTERN HEALTH BOARD

P.C. \_\_\_\_\_ Reg. Ref: 91A/0776

Proposed: EXTENSION

At: 48 + 49 COOKSTOWN RD. EST. TALLAGHT

For: CHEMOPHON G.M.G.H.

Plans lodged: \_\_\_\_\_

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

- 1/ Where visual display units are utilized compliance with the requirements of the E.E.C Directive on V.D.U.'s re: lighting, siting, seating, breaks for staff etc.
- 2/ DRAINAGE connections to be such as not to give rise to a Public Health Nuisance.

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 2.10.91 .....  
Time ..... 10.00 .....

Peter Whelan  
24/9/91.

Aa Devine  
for John O'Reilly SEHO  
25/9/91

SS only

Ⓟ

Register Reference : 91A/0776

Date : 22nd May 1991

Development : changes to approved plans for extensions and alterations

LOCATION : Unit 21b & 48 Cookstown Ind. Estate, Tallaght, Dublin 24

Applicant : Chemoflon GmbH

App. Type : PERMISSION

Planning Officer : M. DARLEY

Date Recd. : 15th May 1991

PLANNING DEPT.  
 DEVELOPMENT CONTROL SECT  
 Date ..... 20.09.91 .....  
 Time ..... 10.30 .....

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

28 MAY 1991  
 SAN SERVICES  
 PRINCIPAL OFFICER  
 - 5 JUL 1991  
 Returned *[Signature]*

Date received in sanitary services

FOUL SEWER

*Incomplete information*

*Application cannot be considered until full drainage*

*Details have been lodged.*

SURFACE WATER

*Incomplete information*

*As per foul.*

SENIOR ENGINEER,  
SANITARY SERVICES DEPARTMENT,  
46/49 UPPER O'CONNELL STREET,  
DUBLIN 1

*[Signature]* 21/5/91

Present licence no. W.P.S/7.

*[Signature]*  
27/6/91

1/16/91

PLANNING DEPARTMENT

BOOK FOLIO

(1) Date Lodged  
  
19 July 1991

LOCATION: 48 & 49 Cockatran Ind. Est., Belgard Rd. D. REC. REF. 91A/D776  
APPLICANT: Cheroflon G.M.G.H.  
PROPOSAL: Extension

WATER SUPPLY

Available for good use 24  
hour storage to be provided.

*M. Kelly*  
5/9/91

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 20.09.91 .....  
Time ..... 10.30 .....

*G. Howell*  
4/9/91

ENDORSED:

*[Signature]*

DATE

17/9/91

SS only

(P)

Register Reference : 91A/0776

Date : 22nd May 1991

Development : changes to approved plans for extensions and alterations

LOCATION : Unit 21b & 48 Cookstown Ind.Estate, Tallaght, Dublin 24

Applicant : Chemoflon GmbH

App. Type : PERMISSION

Planning Officer : M.DARLEY

Date Recd. : 15th May 1991

Attached is a copy of the application for the above development .your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN CO. COUNCIL  
 28 MAY 1991  
 SAN SERVICES

PRINCIPAL OFFICER  
 - 5 JUL 1991  
 Returned. *[Signature]*

Date received in Sanitary Services

FOUL SEWER

*Inufficient information.*

*Application cannot be considered until full drainage*

*details have been lodged.*

PLANNING DEPT.  
 DEVELOPMENT CONTROL SECT.  
 Date ..... 08.07.91  
 Time ..... 2.30

SURFACE WATER

*Inufficient information*

*As per foul.*

SENIOR ENGINEER,  
SANITARY SERVICES DEPARTMENT,  
46/49 UPPER O'CONNELL STREET,  
DUBLIN 1

*[Signature] 24/6/91*

*J.R. 24/6/91*

*1/1/91?*

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date 08.07.91  
Time 2.30

Register Reference : 91A/0776

Date : 22nd May 1991

.....  
ENDORSED \_\_\_\_\_

DATE \_\_\_\_\_

WATER SUPPLY.....

*Existed supply - no objection  
24 hour storage to be provided.*

*Refer to C.R.O*

*J. Manty A/SEE  
30/5/91*

.....  
ENDORSED \_\_\_\_\_

DATE \_\_\_\_\_

*28/5/91*



912/0376

CERTIFICATE NO.

25277

Extension + alterations

PROPOSAL

LOCATION

21B + 48 Coorstown Industrial Estate Tallaght

APPLICANT

Demolition G.M.B.H.

1	2	3	4	5	6	7
Dwellings/AREA LENGTH/STRUCT	RATE	EXT. OF FEE REC.	ROOMS LOGGED	BALANCE DUE		
Dwellings	208.25					
119.0m						
		208.25	208.25			

*[Signature]* JHE 21/5/91

*[Signature]* S.O 20/5/91

Form 1 Certified: Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Form 2 Endorsed: Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Forms 3, 4, 5, 6 & 7 Certified: Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Forms 3, 4, 5, 6 & 7 Endorsed: Signed: \_\_\_\_\_ Date: \_\_\_\_\_

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1953 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: 91A/776

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

1281 sq ft  
J.Y.  
21/5/91

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDER NO: P/ /  
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1953 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S CHECKED NO: BY / DATE

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

PLANNING DEPARTMENT

BOOK FOLIO

4

1) Date Lodged  
19/4/91  
add. info  
16/10/91

LOCATION: Units 1 & 2, 49, Colston Ind. Est. REF. 91A/776  
APPLICANT: Chemolon  
PROPOSAL: Extension

WATER SUPPLY

Available for zoned use. 24 hour storage to be provided.

L. J. Spier  
13/11/91

A. P. [unclear]  
14/11/91

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 09.01.92 .....  
Time ..... 2.10 .....  
.....

ENDORSED:

[Signature]

DATE

8/1/92

SS7010

PLANNING DEPARTMENT

BOOK FOLIO

(1) Date Lodged  
**19 July 1991**

LOCATION: 48 & 49 Cookstown Ind. Est., Belgard Rd. D. 241 REF. 91A/0776  
APPLICANT: Chemoflon G.M.G.B.  
PROPOSAL: Extension

(2) Date referred:  
**23/8**

FOUL SEWER

*Refusal recommended*  
*Report required from Sundry Surveys + Co*

- See attached report dated 21.6.91.
  - The applicants have not demonstrated the existing or proposed drainage arrangements.
  - The applicants have not indicated the alterations to the trade effluent license no. 10.P.S.(7).
- Note: The applicants must consult the 'Toxic and Hazardous Waste' section attached to the Environment Decision*

DUBLIN CO. SANITARY SERVICES  
30 AUG 1991  
SANITARY SERVICES  
DUBLIN CO. SANITARY SERVICES  
18 SEP 1991  
Returned to Planner

SURFACE WATER

*C.R. above.*

The applicants have not indicated compliance with the provisions of the Water Pollution Act relating to Surface Water Run off.

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 20.09.91 .....  
Time ..... 10.30 .....

*M. Mulholland*  
9.9.91

*J.R.*  
10/9/91

(9) Decision due:

*J.K.*  
**23/8/91**

ENDORSED \_\_\_\_\_ DATE \_\_\_\_\_

(6) Date to Planner

(7) D.P.O. report to be submitted before:

(8) D.P.O. report submitted to S.A.O.:

*ENC D*  
*2/8*

G.B.

PLANNING DEP.  
DEVELOPMENT CONTROL SECT

Date 2.10.91

Time 10.00

PLANNING DEPARTMENT BOOK FOLIO

5

(I) Date Lodged  
19 July 1991

LOCATION: 48 & 49 Cookstown Ind. Est., Balgair Rd. D.  
APPLICANT: Clonilla S.A.G.H.  
PROPOSAL: Extension

REG. REF. 91A/0776

Chief Medical Officer, Eastern Health Board

THE ABOVE PROPOSAL IS ACCEPTABLE SUBJECT TO COMPLIANCE WITH THE ENGINEERS REPORT

AND

- 1/ Compliance with the Building By-Laws.
- 2/ Compliance with the office premises Act 1958 and Regulations made thereunder.
- 3/ Compliance with the Safety, Health and Welfare at Work Act 1989.
- 4/ Compliance with the safety in Industries Act 1955 to 1980.
- 5/ permanent ventilation to be provided to all offices
- 6/ A system of intake ventilation communicating separately and directly to the outer air and capable of providing a minimum of 2 air changes per hour must be provided to the lobby serving the proposed sanitary accommodation.
- 7/ Adequate A system of mechanical ventilation to be provided to the proposed sanitary accommodation and showers.
- 8/ Adequate means of ventilation to be provided to the proposed maintenance area, bonded area and Sports social area.
- 9/ Localized extraction shall be provided over all cooking and steam emitting equipment in the canteens and ducted to the outer air.
- 10/ Adequate heating and artificial lighting to be provided in all places of work.

(2) Date referred

(3) Rec'd San. Services

(4) Dispatched by San. Ser. to C.M.O.:

(5) Rec'd Planning:

(6) Date to Planner:

(7) D.P.O. Report to be submitted before:

(8) DPO Report submitted to S.A.O.:

(9) Decision due:

ENDORSED:

DATE:

P/3077/91

CN 902

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Register Reference : 91A/0776

Date Received : 15th May 1991

Correspondence : O'Shea Hooper Design Partnership,  
Name and : 2 Dartry Road,  
Address : Dublin 6.

CONTRIBUTION:	
Standard:	NIL
Roads:	Parol in
S. Sers:	Full
Open Space:	
Other:	
SECURITY:	
Bond/C.I.F.:	
Cash:	

Development : Changes to approved plans for extensions and alterations

Location : Unit 21b & 48 Cookstown Ind. Estate, Tallaght, Dublin 24

Applicant : Chemoflon GmbH

App. Type : Permission

Zoning : E

(GB/BB)

Report of Dublin Planning Officer dated 28th June, 1991.

This is an application for PERMISSION for changes to approved plans for extensions and alterations at Unit 21b and 48 Cookstown Ind. Estate, Tallaght, Dublin 24 for Chemoflon GmbH.

The area in which the site is located is zoned with the objective "to provide for industrial and related uses".

The site area is 4521 sq. metres.

The floor area of the proposal is 119 sq. metres, bringing the total floor area on site to 1895.52 sq. metres.

History search indicates that permission was granted for change of use and retention of structure at rear of these units in 1986; see 86A/263. There was a subsequent permission for extensions in 1989 - see 89A/485, when an additional 779 sq. metres was granted for production area, sports and leisure area and offices.

The current proposal would add an additional 119 sq. metres to the front of the building.

Site coverage <sup>would</sup> now reaches 69.59%, and the car parking does not comply with Development Plan Standards. A total of 32 spaces are shown, whereas 57 would be required. *if both 89A/485 and the current application were implemented*

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg. Ref: 91A/0776

Page No: 0002

Location: Unit 21b & 48 Cookstown Ind. Estate, Tallaght, Dublin 24

However, in view of the fact that we had previously granted the extension for 779 sq. metres in 1989, it seems unreasonable now to refuse the current proposal for 119 sq. metres. I have spoken to the Architect involved M. O'Shea, who advises me that this is a German company, meticulous in their care of premises and site.

*Roads Dept. report dated 18.6.91 requests additional information re car parking.*  
Almost all of the employees come from the Tallaght area, and are collected by private bus. During site inspection there were very few cars on site.

In the circumstances, I would have no objection to the proposal.

N.B. The architect has also referred to the fact that the permission for works granted in 1986 is technically withered, and that they may submit for retention of the overall development in the near future.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following ( 8 ) conditions:-

### CONDITIONS / REASONS

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.  
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.  
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.  
REASON: In the interest of safety and the avoidance of fire hazard.
- 04 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.  
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 05 That the area between the building and roads <sup>shall</sup> ~~must~~ not be used for truck parking or other storage or display purposes, but <sup>shall</sup> ~~must~~ be reserved for car parking and landscaping as shown.



# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

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Location: Unit 21b & 48 Cockstown Ind.Estate, Tallaght, Dublin 24

- 05 REASON: In the interest of the proper planning and development of the area.
- 06 That details of landscaping and boundary treatment be submitted to and approved in writing by Planning Authority and work thereon completed prior to occupation of units.  
REASON: In the interest of amenity.
- 07 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority.  
REASON: In the interest of the proper planning and development of the area.
- 08 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.  
REASON: In the interest of health.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0776

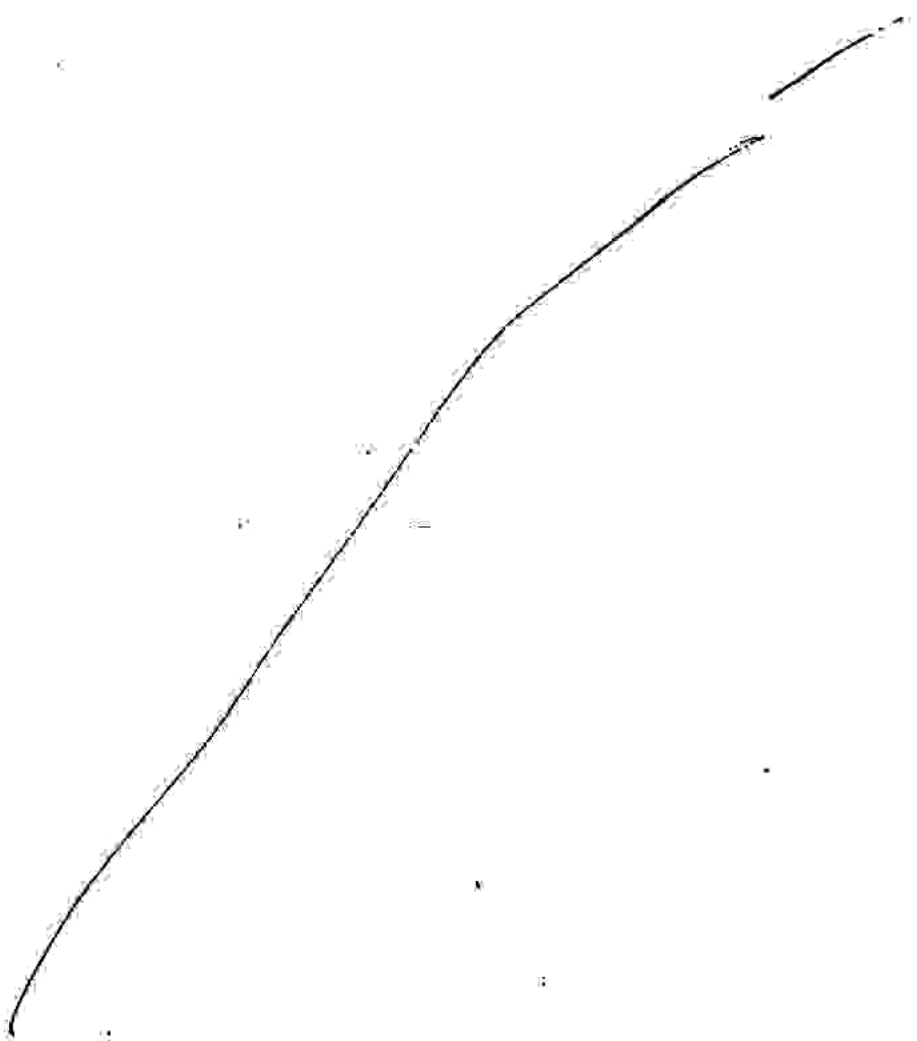
Page No: 0004

Location: Unit 21b & 48 Cockstown Ind.Estate, Tallaght, Dublin 24

Endorsed: ..... *[Signature]* ..... *Richard Cernina* *SEP*  
for Principal Officer for Dublin Planning Officer 3.7.91

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (8) conditions set out above is hereby made.

Dated : ..... *10 July 1991* ..... *K.O. Sullivan*  
APPROVED OFFICER *Asst. City & Co. Manager*  
to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated ~~19 June 1991~~ *8th July 1991*.



91A/0776

27<sup>th</sup> JUNE 1991

4

Unit 21b + 48 ~~Coastdown~~ h.l. State  
Tallaght Dubh 24

G. BOOTHMAN

DRAWG. 95030/02

SCALE 1:200

SITE PLAN

Area of Site 3937 m<sup>2</sup>  
(behind building line).

Area of Buildings on ground 2740 m<sup>2</sup>  
(incl. 21 B.)

SITE COVERAGE  $\frac{2740 \text{ m}^2}{3937 \text{ m}^2} = 69.59\%$

69.59%

Barin Drive  
Room 114