



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0761

Date : 1st August 1991

Dear Sir/Madam,

Development : 6 no. houses

LOCATION : Bella Vista, Butterfield Avenue, Rathfarnham.

Applicant : Gracedale Ltd.

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

I wish to inform you that an appeal has been lodged with An Bord Pleanala against the Council's decision to GRANT PERMISSION .

All further correspondence in relation to this appeal should be addressed to The Secretary, An Bord Pleanala, Blocks 6 & 7 Irish Life Centre, Lower Abbey Street, Dublin 1. (Tel.728011).

Please note that submissions or observations made to An Bord Pleanala by or on behalf of a person (other than the applicant) with regard to an appeal made by another person must be accompanied by a fee of £15.

Yours faithfully,

A handwritten signature in dark ink, appearing to be 'M' or similar, written over a dotted line.

.....
for PRINCIPAL OFFICER

Paul Sinnott,
Clare House,
14 Windsor Place,
Dublin 2.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
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Yours faithfully,

.....
for PRINCIPAL OFFICER

Donal C. Byrne,
82 Fairways,
Rathfarnham,
Dublin 14.

COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/0761

Planning Department,
Block 2, Irish Life Centre,
Lower Abbey St.,
Dublin 1.

Letter No.: 522

Patricia Crossan,
"Dunluce",
195 Butterfield Avenue,
Rathfarnham,
Dublin 14.

Tel.: (01) 724755

Fax.: (01) 724896

15 July 1991


RE: Proposed 6 no. houses at Bella Vista, Butterfield Avenue,
Rathfarnham for Gracedale Ltd.

Date of decision to grant permission 12th July, 1991 subject to 25 conditions.

Dear Sir/Madam,

With reference to your representations/objections, I wish to inform you that a decision has been made on the above planning application. This decision has been entered in the Planning Register which is available for inspection at the Planning Department, Irish Life Centre, Lower Abbey Street, Dublin 1, during office hours (9 a.m. to 12.30 p.m. and 2.15 p.m. to 4.30 p.m.) A certified copy of the entry in the register may be purchased on payment of £5.00.

Yours faithfully,



for Principal Officer.

NOTE: An appeal against this decision by an aggrieved person must be made within the period of twenty one days beginning on the date of the decision to grant permission, indicated above. The appeal shall be in writing and shall state the subject matter of the appeal and the grounds of appeal and shall be addressed to An Bord Pleanala, Floor 3, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

1. An appeal by an aggrieved person to An Bord Pleanala will be invalid unless accompanied by a fee of £50.00
2. A party to an appeal making a request to An Bord Pleanala for an oral hearing of an appeal must, in addition to '1' above, pay to An Bord Pleanala, a fee of £50.00
3. A person who is not a party to an appeal must pay a fee of £15.00 to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.
4. Interested parties are advised to consult the Planning Authority or An Bord Pleanala to ascertain if an appeal has been lodged by an applicant.

COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/0761 Planning Department,
Letter No.: 523 Block 2, Irish Life Centre,
Lower Abbey St.,
Dublin 1.

Donal C. Byrne,
82 Fairways,
Rathfarnham,
Dublin 14.

Tel.: (01) 724755
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L. D

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COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/0761 Planning Department,
Letter No.: 524 Block 2, Irish Life Centre,
 Lower Abbey St.,
 Dublin 1.

Steward & Sinnot Studio,
Clare House,
14 Windsor Place,
Dublin 2.

Tel.: (01) 724755
Fax.: (01) 724896

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L-21

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"Dunluce" PM

195. Battenfield Ave.
Rathfarnham
Dublin 14

91A/0761

522

3 JUL 91

2nd July 1991

Attention: Margaret O'Shea
and Richard Connors

Principal Officer,
Planning Office
Dublin County Council
Trust Life Centre
Middle Abbey St.
Dublin 1

Re: Planning Application for 6 Bungalows at
"Bella Vista" 193 Battenfield Ave, Rathfarnham.
FILE No. 91A/761 GRACEDALE LTD, 3 Fields Lee, Rathgar
and ANGLESEA HOMES LTD.

Dear Sir / Madam,

I wish to object to PLANNING APPLICATION
No. 91A/761 on the following grounds: -

- (1) My house and entrance adjoins the entrance for the proposed development
- (2) the proposed entrance adds to the traffic hazard on a busy road where vehicles travel at high speed
- (3) I find it impossible to reverse out of my own gateway and the extra turning movements in and out of proposed entrance would lead to a traffic hazard
- (4) Noise and fumes from traffic on two sides of my house would seriously injure my residential amenities and detract from the enjoyment of my dwelling house.

In view of this I request that permission
be refused in this instance.

Yours faithfully,

Patricia Crossan

91A/0761

523

82, FAIRWAYS,
RATHFARNHAM,
DUBLIN 14.

pd

2nd July 1991

OBJEC

Principal Officer,
Planning Department,
Irish Life Centre,
Abbey Street,
DUBLIN 1.

Lee + J

03 JUL 91

Dear Sir,

PLANNING APPLICATION NO. 91A/0761
Bella-Vista, Butterfield Avenue, Dublin 14

I wish to lodge a formal objection to the above application on the following grounds:-

1. The density of the proposed development is not compatible with the properties in the surrounding areas.
2. The size of the back and front gardens in the proposed development does not comply with the standards in the Development Plan.
3. There is no satisfactory public open space.
4. The turning circle for cars is inadequate bearing in mind the residential nature of the proposed development and the potential use of cars both by the owners and visitors.
5. Proximity to the back gardens of the existing houses in Fairways interferes with the privacy and amenities of these properties.
6. The gable end of the proposed house No. B.6 is much too close to the boundary of the existing houses in Fairways.

I would request please that you notify me of your decision in regard to this Planning Application.

Yours faithfully,

Donal C. Byrne

DONAL C BYRNE

PK

Stewart + Sinnott Studio

Architects, Town Planners, Energy & Leisure Consultants.
Clare House, 14 Windsor Place, Dublin 2.
Tel: (01) 614482 / 614862 Fax: (01) 616644

91A/0761

524

OR

Dublin County Council,
Planning Department,
Irish Life Centre,
1r. Abbey Street,
Dublin 2.

04 JUL 91
M
5/7

27 June 1991

Re: Planning Application by Gracedale Limited for 6 semi-detached dwellings at "Bella Vista", Butterfield Avenue, Rathfarnham, Dublin 14.
Developers: Anglesea Developments
Reg. Ref. No. 91A/0761

Dear Sirs,

I am instructed by Mrs. P. Lauder, of "Dunfirth", Butterfield Avenue, to object to the above proposed development.

Mrs. Lauder's property is adjacent to this site which is separated from this development by a private driveway to "Butterfield" House.

This property is zoned "A" (protect and improve residential amenity) in Dublin County Council's 1983 Development Plan.

The reasons for her objections are as follows:-

1). Density.

This development is squashed into this small site, which is the rear garden of a private dwelling at "Bella Vista". The development is extremely high in density and it allows very little space for rear, front and side gardens.

2). Proximity of Development to Service Road and Private Driveway of "Butterfield House".

The foot paths and service road to this development are narrower than the normal widths and the proposed development is to be built right up to the foot path. This leaves the houses very close to the laneway.

This causes the development to encroach very close to the southern boundary which overlooks "Dunfirth", especially the two-storey dormer dwellings.

contd/.....

3). Proximity of houses to existing mature trees along boundary.

Because of the way these houses are laid out it is not possible for these mature trees to be protected from damage. The likelihood of damage occurring during construction, the effect of foundations on roots of trees, and the proposed service road laid over the roots of these trees causing serious damage.

Because of the proximity of the houses to these trees, there is a likelihood of some being removed over the years because of the danger of trees falling.

4). First floor dormer windows which face directly onto "Dunfirth".

These windows overlook "Dunfirth" and will encroach on the privacy of this property. The trees provide partial screening during the summer months but in the winter these deciduous trees, having shed their leaves, open up visibility between the properties.

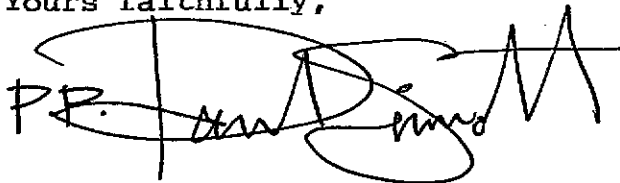
5). Traffic hazard at entrance.

The entrance to this property from the main road is dangerous. This access for six houses will create a traffic hazard.

We are of the opinion that one bungalow is all that is reasonably possible to accommodate on this rear garden site. Gracedale Limited have recently purchased this property and are obviously trying to inflate the value of this site.

We would be obliged if you could keep us informed of any further developments in this planning application.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'Duncan Stewart', written over a horizontal line.

Duncan Stewart, B.Arch., M.R.I.A.I., Dip.Arb.Law

44+31

94

OVERGROWN PLANTING RETAINED

47-99

48+13

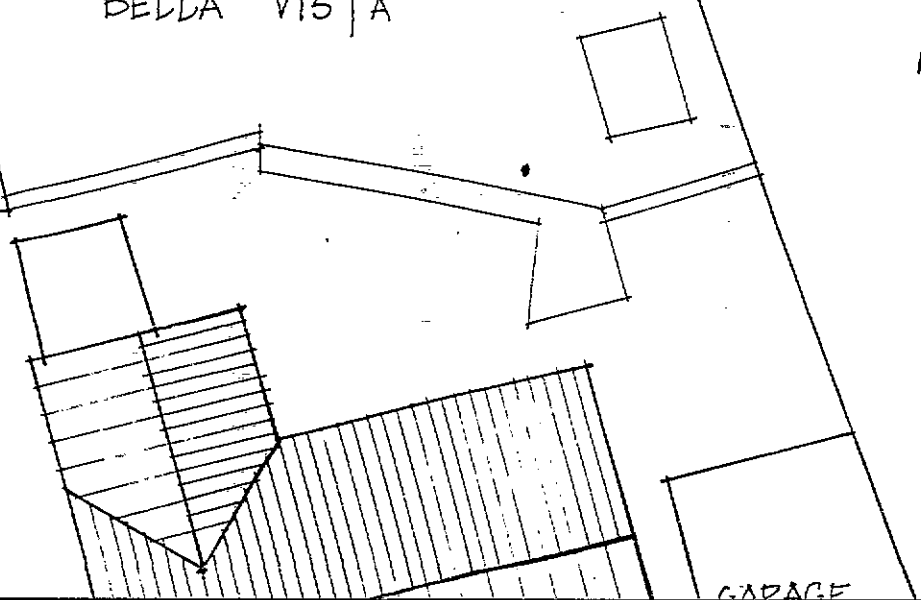
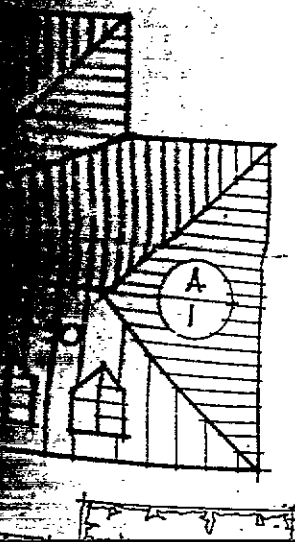
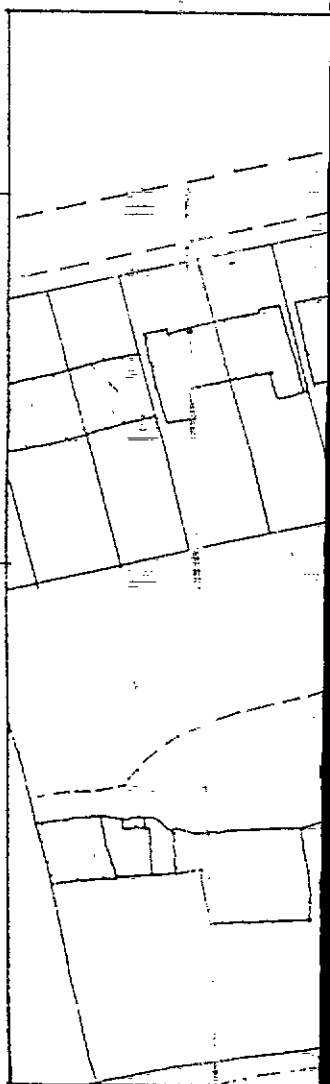
"BELLA VISTA"

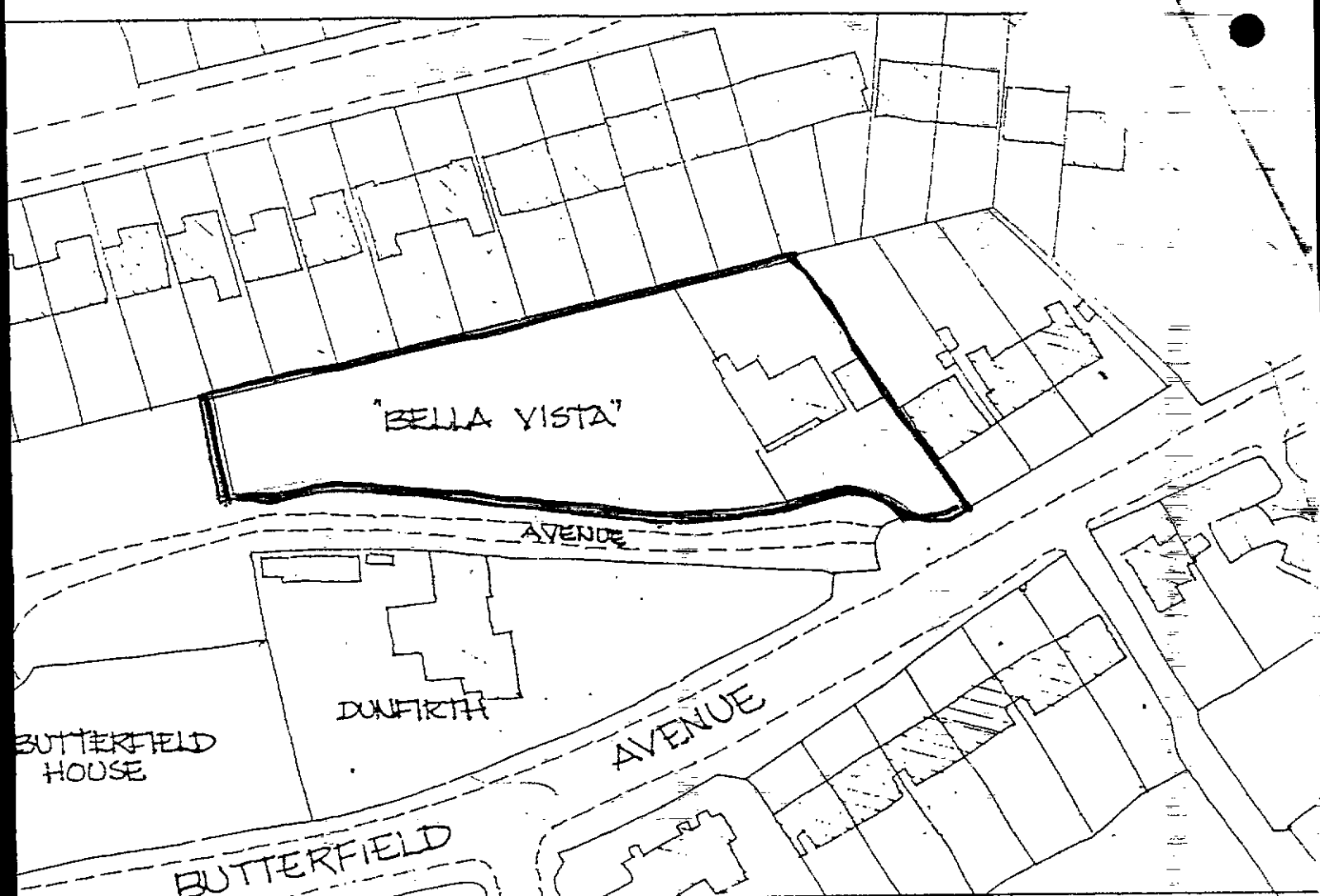
3170 m² from old site

Measured on 5/ July 91

A
1

GARAGE





SITE LOCATION MAP 1:1200 O.S. 3391-3

78 acre.)
 A.
 →
 Brian's drive

SCHEDULE OF ACCOMMODATION	
TYPE 'A'	DORMER BUNGALOW 4
TYPE 'B'	BUNGALOW 2

NORTH





MO'her

"Dunluc" 195. Battenfield Ave

Rothfarnham
Dublin 14

03 JUL 91

2nd July 1991

OB.

Principal Officer,
Planning Office
Dublin County Council
Trust Life Centre
Middle Abbey St.
Dublin 1

Attention Margaret O Shea
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2
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motha

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Architects, Town Planners, Energy & Leisure Consultants.
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contd/.....

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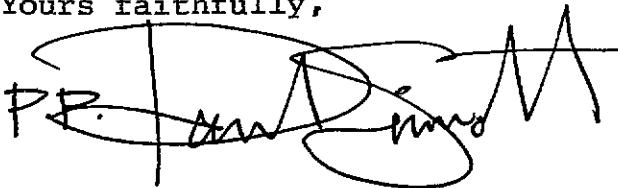
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Yours faithfully,

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Duncan Stewart, B.Arch., M.R.I.A.I., Dip.Arb.Law

BYE LAW APPLICATION FEES

REF. NO.: 91A/0761

CERTIFICATE NO.: 15027

PROPOSAL: 6 houses

LOCATION: "Bellavista" Butterfield Ave.

APPLICANT: Gracedale Ltd

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	£ 330	£ 330	—		
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M ² or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed:  Grade: _____ Date: _____

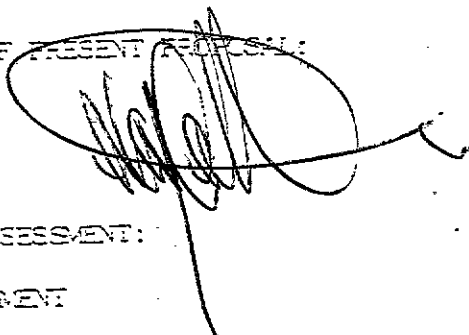
Columns 2,3,4,5,6 & 7 Certified: Signed: _____ Grade: S.O Date: 20/5/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: 91A/761
CONT. REG.:
SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER
AREA OF SITE: 0.71AC.
FLOOR AREA OF PRESENT PROPOSAL:
MEASURED BY:
CHECKED BY:
METHOD OF ASSESSMENT:
TOTAL ASSESSMENT
MANAGER'S ORDERED NO: /
DATED
ENTERED IN CONTRIBUTIONS REGISTER:



DEVELOPMENT CONTROL ASSISTANT GRADE

STD 0.71 x 6000 =

£4260.

ROADS: £4800 (800 x 6)

see Roads Report dated 2/6/91

O/S £6,000 (1000 x 6)

see Parks Report dated 19/6/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

909547 1/2
1001333
810: 4260
FINANCIAL
CONTRIBUTION
AMOUNT € 1000

PL 6/5/86319

P/427/92

AN BORD PLEANÁLA

CN - 10,000

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

cont. 6500

Planning Register Reference Number: 91A/761

APPEAL by Patricia Crossan of "Dunluce", 195 Butterfield Avenue, Rathfarnham, Dublin and by Donal C. Byrne of 82 Fairways, Rathfarnham, Dublin against the decision made on the 12th day of July, 1991 by the Council of the County of Dublin to grant subject to conditions a permission to Gracedale Limited care of Fitzgerald Reddy and Associates of 26 Upper Mount Street, Dublin for development comprising the erection of six houses at "Bella Vista", Butterfield Avenue, Rathfarnham, Dublin in accordance with plans and particulars lodged with the said Council:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, it is hereby decided, for the reason set out in the First Schedule hereto, to grant permission for the said development in accordance with the said plans and particulars, subject to the conditions specified in the Second Schedule hereto, the reasons for the imposition of the said conditions being as set out in the said Second Schedule and the said permission is hereby granted subject to the said conditions.

FIRST SCHEDULE

It is considered that the proposed development on an infill site is in accordance with the zoning objective and standards for layout indicated in the current County Development Plan. Subject to compliance with the conditions in the Second Schedule, the proposed development would be in accordance with the proper planning and development of the area.

SECOND SCHEDULE

1. The developer shall pay a sum of money to the planning authority as a contribution towards expenditure incurred by the authority in the provision of public services facilitating the proposed development. The amount of the contribution and the arrangements for payment shall be as agreed between the developer and the authority or, in default of agreement, shall be determined by An Bord Pleanála.

Reason: It is considered reasonable that the developer should contribute towards expenditure incurred by the planning authority in the provision of public services facilitating the proposed development.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

-2-

PL 6/5/86319

SECOND SCHEDULE (CONTD.)

2. Before development is commenced, the developer shall lodge with the planning authority a cash deposit, a bond of an insurance company, or other security to secure the provision and satisfactory completion and maintenance until taken in charge by the authority of roads, watermains, drains, open spaces and other services required in connection with the development, coupled with an agreement empowering the authority to apply such security or part thereof for the satisfactory completion or maintenance of any part of the development. The form and amount of the security shall be as agreed between the authority and the developer or, failing such agreement, shall be determined by An Bord Pleanála.

Reason: To ensure the satisfactory completion and maintenance of the development.

3. All necessary measures shall be taken by the developer to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads or footpaths during the course of construction.

Reason: To protect the amenities of the area.

4. All public services to the proposed development, including electrical, telephone and television cables and equipment shall be located underground throughout the entire site.

Reason: In the interest of visual amenity.

5. All trees which it is proposed to retain as part of the development within the site and trees on land adjoining the site shall be given adequate protection during the course of construction. Protective fencing shall be erected around the trees within the site by way of a 1.5 metre high rigid fence.

Reason: In the interest of protecting amenity features on the site.

6. A 2 metre high screen wall (capped and rendered externally) shall be provided along the western boundary of the site so as to screen the rear gardens in this area from public view.

Reason: In the interest of the amenities of the area.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

-3-

PL 6/5/86319

SECOND SCHEDULE (CONTD.)

7. Details of the surface treatment for the access driveway, adjoining strip and footpath shall be submitted to and agreed with the planning authority prior to commencement of development. The surface treatment shall be designed to ensure the viability of the trees adjoining.

Reason: In the interest of preservation of mature trees in the vicinity of the driveway.

8. The 1.4 metre wide strip provided for between houses numbered 2 and 3 shall be commonly owned for the length of the gables as far as the rear gable of house number 3.

Reason: To enable free access to the rear of both properties and to facilitate maintenance of gables.

9. The pole at the entrance shall be removed and resituated outside the vehicle path and vision splay lines at the developer's expense and details of the access arrangements shall be agreed with the planning authority prior to commencement of the development.

Reason: In the interest of public safety.

10. The developer shall pay £800 (eight hundred pounds) (updated at time of payment in accordance with changes in Wholesale Price Index - Building and Construction (Capital Goods), published by the Central Statistics Office), per residential unit to the planning authority as a contribution towards the expenditure that is proposed to be incurred by the authority in respect of traffic management schemes at junctions serving the proposed development subject to the expenditure being incurred within the next seven years and to the stipulations set out in Section 26 (2)(h) of the Local Government (Planning and Development) Act, 1963.

Reason: It is considered reasonable that the developer should contribute towards the expenditure proposed to be incurred by the planning authority in respect of traffic management schemes at junctions serving the proposed development.

11. The ridge height of houses numbered 5 and 6 shall be designed to have minimum effect upon the adjoining mature tree to the rear. Details of such minimal effect shall be submitted to the planning authority for agreement.

Reason: To minimise the affect upon the mature tree existing in the adjoining property.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

PL 6/5/86319

-4-

SECOND SCHEDULE (CONTD.)

12. A boundary wall, 2 metres in height, capped and rendered on both sides, shall be provided from the front gable of the garage serving "Bella Vista" to the line of trees at the front of "Dunluce" prior to the occupation of the first house in the proposed development.

Reason: In the interest of protecting the privacy and residential amenity of "Dunluce".

P. O' Killy

Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this 18th day of December 1991.

Contd/...

COMHAIRLE CHONTAE ÁTHA CLIATH
Record of Executive Business and Manager's Orders

- 5 -

PL 6/5/86319

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/761

With regard to condition no. 1 the financial contribution towards the cost of providing at public water and piped draining is assessed at £4,260.

With regard to condition no. 2 the security is assessed at a bond or letter of guarantee in the sum of £10,000. or a cash lodgement in the sum of £6,500.

With regard to condition no. 10 the contribution towards the cost of road improvement works is assessed at £800 per house.

Order Noted: L.D.	<i>[Signature]</i>
Dated: 27 th JAN. 92	ASST. COUNTY MANAGER
to whom the appropriate powers have been delegated by order of the Dublin City and County Manager.	
Dated 10 th	day of DECEMBER 1991



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

An Bord Pleanala,
Floor 3,
Blocks 6 & 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Our Ref: 91A/0761

Your Ref: PL6/5/86319

Date: 28 November 1991

RE: Proposed 6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham for Gracedale Ltd.

Dear Sir/Madam,

I refer to your letter dated 12th August, 1991; 26th September, 1991 and 29th October, 1991, enclosing correspondence regarding the above appeal.

It is considered that the grounds of appeal do not raise any new matter which in the opinion of the Planning Authority would justify a change of attitude to the proposed development. The points raised have been dealt with in the Planning Authority's decision order dated 12th July, 1991.

Yours faithfully,

for Principal Officer.

decision made

COMHAIRLE CHONTAE ATHA CLIATH

TO: M. O'Shee,
Executive Planner.

REG. REF. 91A/0761

RE: Proposed 6 no. houses at Bella Vista, Butterfield Avenue,
Rathfarnham for Gracedale Ltd.

I attach for your observations memo/letter dated 29th October, 1991
from An Bord Pleanala.

Please reply before: 19th November, 1991

Syem
for Principal Officer

DATED: 5 November 1991

OBSERVATIONS:

no further comments to
make

decision
made

Signature of person making observations: MOShee

Countersigned: P. Connors
(S.E.D.C.)

DATE: 5/11/91

DATE: 6/11/91

COMHAIRLE CHONTAE ATHA CLIATH

TO: M. O'Shee,
Executive Planner.

REG. REF. 91A/0761

RE: Proposed 6 no. houses at Bella Vista, Butterfield Avenue,
Rathfarnham for Gracedale Ltd.

I attach for your observations memo/letter dated 26th September, 1991 from An Bord Pleanala.

Please reply before: 17th October, 1991

SMcNillan
for Principal Officer

DATED: 3 October 1991

OBSERVATIONS:

no further comments to add,

Signature of person making observations: MOSHAKH

Countersigned: R. Cronin SEP
(S.E.D.C.)

DATE: 3/10/91

DATE: 4.10.91



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

An Bord Pleanála,
Floor 3,
Blocks 6 & 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Our Ref: 91A/0761

Your Ref: PL6/5/86319

Date: 9 October 1991

RE: Proposed 6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham for Gracedale Ltd.

Dear Sir/Madam,

I refer to your letter dated 12th August, 1991 & 26th September, 1991, enclosing correspondence regarding the above appeal.

It is considered that the grounds of appeal do not raise any new matter which in the opinion of the Planning Authority would justify a change of attitude to the proposed development. The points raised have been dealt with in the Planning Authority's decision order dated 12th July, 1991.

Yours faithfully,

for Principal Officer.



Bloc 2, Ionad Bheatha na hÉireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

An Bord Pleanála,
Floor 3,
Blocks 6 & 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Our Ref: 91A/761

Your Ref: PL6/5/86319

Date: _____ 1991

RE: Proposed 6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham for Gracedale Ltd.

Dear Sir/Madam,

I refer to your letter dated 12th August, 1991, enclosing correspondence regarding the above appeal.

It is considered that the grounds of appeal do not raise any new matter which in the opinion of the Planning Authority would justify a change of attitude to the proposed development. The points raised have been dealt with in the Planning Authority's decision order dated 12th July, 1991.

Yours faithfully,

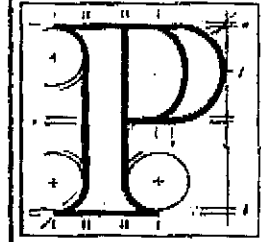
for Principal Officer.

91.27

Our Ref: PL 5/86319
P.A. Reg. Ref: 91A/761

Fitzgerald Reddy & Associates,
26 Upper Mount Street,
Dublin 2.

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
Tel (01) 728011

Date: 24th July 1991.

Planning authority decision re: Six houses at Bella Vista, Butterfield Avenue, Rathfarnham, County Dublin.

Dear Sir/Madam,

Enclosed is a copy of an appeal under the Local Government (Planning and Development) Acts, 1963 to 1990, in relation to the above-mentioned decision.

Any observations which you wish to make on the appeal should be conveyed, in writing, to the Board without delay.

Copies of the planning authority documents relevant to their decision which gave rise to the appeal will be available for inspection by you at the offices of the planning authority after the expiration of a period of fourteen days from the date of this letter. Any observations on these documents which you wish the Board to consider should be forwarded within a period of twenty-one days from the date the documents become available for inspection.

Please quote the above appeal reference number in any further correspondence.

Yours faithfully,

Suzanne Lacey
Suzanne Lacey

Fitzgerald Reddy & Associates
25 JUL 1991
F.S. TO
P.D.

Encl.

BP 003

COMHAIRLE CHONTAE ATHA CLIATH

TO: M. O'Shee
Executive Planner.

REG. REF. 91A/761

RE: Proposed 6 no. houses at Bella Vista, Butterfield Avenue,
Rathfarnham for Gracedale Ltd.

I attach for your observations memo/letter dated 12th August, 1991 from An Bord Pleanala.

Please reply before: 30th August, 1991 S. McShane
for Principal Officer

DATED: 15 August 1991

OBSERVATIONS:

no further comments to add to
D.P.O. report dated
5/7/91

Signature of person
making observations: M. O'Shee

Countersigned: F. Cernino SEP.
(S.E.D.C.)

DATE: 26/8/91

DATE: 26.8.91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed 6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham for Gracedale Ltd.

Fitzgerald Reddy & Assocs.,
26 Upr. Mount Street,
Dublin 2.

Reg. Ref.	91A/0761
App. Recd:	13.05.91
Floor Area:	320 sq.m. approx.
Site Area:	2880 sq.m. approx.
Zoning:	'A'

CONTRIBUTION:	
Standard:	24260
Roads:	2900/acre
S. Sers:	—
Open Space:	26000
Other:	
SECURITY:	
Bond / C.I.F.:	10000
Est:	26500

Report of the Dublin Planning Officer, dated 5 July 1991

This is an application for PERMISSION for 6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham. The applicant is Gracedale Ltd. which is stated to have a contract to purchase the site.

There is no record of any previous planning applications on this site.

The site is zoned 'A' in the 1983 County Development Plan with the objective "to protect and/or improve residential amenity". The site is affected by a specific objective to protect trees and woodlands.

The site which is the garden of the existing bungalow known as "Bella Vista" is stated to be approx. 2880 sq.m. (0.7 acres) in area.

The houses and rear gardens of "Fairways" adjoin the site to the north. To the south of the site there is a private access roadway which serves Butterfield House, which is in office use and occupied by the Irish Pharmaceutical Union. The Pharmaceutical Union has 21 no. car parking spaces provided for within its grounds. To the south of this private driveway is "Dunfirth", a house with access onto Butterfield Avenue. The site is in grass and contains a number of evergreen trees.

The site is at a higher ground level than the adjoining gardens to the north at "Fairways". The northern boundary of the site is formed by trees for the most part. The southern boundary of the site is defined by a block wall (c. 5' high). A line of mature trees lies just inside this wall on the adjoining property. A wire fence forms the western boundary of the site and a fine large mature tree is located beside this wall on the adjoining site.

The proposed development consists of 6 no. bungalow, 4 of which are dormer and 2 of which are single-storey. The density of the proposed development is 10 houses/acre. Access to the proposed development is by means of a 5.5 metre wide road accessed from Butterfield Avenue. The proposed vehicular access is located beside the existing access to Butterfield House.

Over

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed 6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham for Gracedale Ltd.

The houses have been designed so as to reduce the possibility of overlooking of adjoining properties. The dormer bungalows have 2 no. rooflights in the rear elevation serving a w.c. and landing on the first-floor. There are no standard windows in the first-floor rear elevation.

The provision of private open space to the rear of the proposed house is considered to be in accordance with Development Plan requirements. All gardens measure at least 35' from the main external wall of the house, while rear garden lengths are less than 35' when measured from the proposed rear annex extension to the houses. The level of private open space ^{provided} is considered to be acceptable bearing in mind the ~~width~~ width of the bungalow. The presence of trees and hedgerows together with the proposed screen boundary treatment will ensure that no overlooking of adjoining properties at "Fairways" occurs.

A private tree lined roadway (c. 5 metres wide) separates the southern boundary of the site from a house known as "Dunfirth". Over 18 metres will be maintained between the proposed dormer bungalows and the boundary of Dunfirth. The presence of mature trees on both sides of the roadway should ensure that the residential amenities enjoyed by the residents of "Dunfirth" will not be reduced.

Two off-street car parking spaces are provided off the access road in association with each house including "Bella Vista".

A survey of trees on the site and adjoining the boundaries of the site has been submitted as part of the application. A report on the possible effects of site development of these trees has also been submitted.

REPORTS

The Sanitary Services Report (by phone 04.07.91) ^(Received 8/7/91) states that services are available.

The Roads Department report dated 03.06.91 states that further to Roads report dated 14.06.91 that:

- (a) Vision in an easterly direction is more than adequate.
- (b) Vision in a westerly direction while not 90m. is in excess of 80m.
- (c) Because of the low number of units on the site the internal layout is unlikely to create problems of parking on the public road given the length of the frontage free access drive.
- (d) The turning circle is almost adequate.

Over

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed 6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham for Gracedale Ltd.

The Roads Department state while they still consider the proposed development most undesirable because of vision splays onto the heavily trafficked Butterfield Avenue of minimum standards, that their initial report (i.e. report dated 14.06.91) was too severe. The Roads Department recommend conditions that should be attached in the event of a decision to grant permission be³ made one of which relates to the payment of a financial contribution of £500 *per house* towards traffic management schemes in the Rathfarnham area.

The report of the Senior Parks Superintendent (dated 19.06.91) stated that the tree survey submitted is unacceptable on the grounds that no specific information on tree age, condition, crown spread or height is given.

In the event of permission being granted it states the conditions which should be attached. It is recommended that a financial contribution of £1,000.00 per house should be sought towards the development and/or provision of public open space in the area. *This is considered desirable & could be spent developing Rathfarnham Castle*

Three letters of objection to the proposed development have been received from adjoining residents. The objectors object to the proposal on the grounds that it would adversely affect existing residential amenities and because it would generate additional traffic on Butterfield Avenue.

The proposed development of 6 no. houses ~~on this site~~ on this infill site is considered acceptable from a planning point of view.

The density of proposed development is considered compatible with the density of the adjoining houses at Fairways to the north. In my opinion the proposed development will not reduce the residential amenities enjoyed by the residents of 'Fairways,' *or the house known as 'Dunfilth'*

While the proposed access arrangements are less than ideal, the amount of traffic which would be generated by the proposed development will not be very large.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following *2* conditions:-

(SEE CONDITIONS OVER)

COMHAIRLE CHONTAE ATHA CLIATH

TO: M. O'Shee
Executive Planner.

REG. REF. 91A/761

RE: Proposed 6 no. houses at Bella Vista, Butterfield Avenue,
Rathfarnham for Gracedale Ltd.

I attach for your observations memo/letter dated 12th August, 1991 from An Bord Pleanala.

Please reply before: 30th August, 1991

S. McKeenan
for Principal Officer

DATED: 15 August 1991

OBSERVATIONS:

no further comments to add to
D.P.O. report dated
5/7/91

Signature of person making observations: M. O'Shee

Countersigned: F. Cermine SEP.
(S.E.D.C.)

DATE: 26/8/91

DATE: 26.8.91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed 6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham for Gracedale Ltd.

Fitzgerald Reddy & Assocs.,
26 Upr. Mount Street,
Dublin 2.

Reg. Ref.	91A/0761
App. Recd:	13.05.91
Floor Area:	320 sq.m. approx.
Site Area:	2880 sq.m. approx.
Zoning:	'A'

CONTRIBUTION:	
Standard:	24260
Roads:	2800/acre
S. Sers:	
Open Space:	2600
Other:	
SECURITY:	
Bond / C.I.F.:	10000
Est.:	26500

Report of the Dublin Planning Officer, dated 5 July 1991

This is an application for PERMISSION for 6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham. The applicant is Gracedale Ltd. which is stated to have a contract to purchase the site.

There is no record of any previous planning applications on this site.

The site is zoned 'A' in the 1983 County Development Plan with the objective "to protect and/or improve residential amenity". The site is affected by a specific objective to protect trees and woodlands.

The site which is the garden of the existing bungalow known as "Bella Vista" is stated to be approx. 2880 sq.m. (0.7 acres) in area.

The houses and rear gardens of "Fairways" adjoin the site to the north. To the south of the site there is a private access roadway which serves Butterfield House, which is in office use and occupied by the Irish Pharmaceutical Union. The Pharmaceutical Union has 21 no. car parking spaces provided for within its grounds. To the south of this private driveway is "Dunfirth", a house with access onto Butterfield Avenue. The site is in grass and contains a number of evergreen trees.

The site is at a higher ground level than the adjoining gardens to the north at "Fairways". The northern boundary of the site is formed by trees for the most part. The southern boundary of the site is defined by a block wall (c. 5' high). A line of mature trees lies just inside this wall on the adjoining property. A wire fence forms the western boundary of the site and a fine large mature tree is located beside this wall on the adjoining site.

The proposed development consists of 6 no. bungalow, 4 of which are dormer and 2 of which are single-storey. The density of the proposed development is 10 houses/acre. Access to the proposed development is by means of a 5.5 metre wide road accessed from Butterfield Avenue. The proposed vehicular access is located beside the existing access to Butterfield House.

Over

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed 6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham for Gracedale Ltd.

The houses have been designed so as to reduce the possibility of overlooking of adjoining properties. The dormer bungalows have 2 no. rooflights in the rear elevation serving a w.c. and landing on the first-floor. There are no standard windows in the first-floor rear elevation.

The provision of private open space to the rear of the proposed house is considered to be in accordance with Development Plan requirements. All gardens measure at least 35' from the main external wall of the house, while rear garden lengths are less than 35' when measured from the proposed rear annex extension to the houses, ^{proposed} the level of private open space is considered to be acceptable bearing in mind the ~~width~~ width of the bungalow. The presence of trees and hedgerows together with the proposed screen boundary treatment will ensure that no overlooking of adjoining properties at "Fairways" occurs.

A private tree lined roadway (c. 5 metres wide) separates the southern boundary of the site from a house known as "Dunfirth". Over 18 metres will be maintained between the proposed dormer bungalows and the boundary of Dunfirth. The presence of mature trees on both sides of the roadway should ensure that the residential amenities enjoyed by the residents of "Dunfirth" will not be reduced.

Two off-street car parking spaces are provided off the access road in association with each house including "Bella Vista".

A survey of trees on the site and adjoining the boundaries of the site has been submitted as part of the application. A report on the possible effects of site development of these trees has also been submitted.

REPORTS

The Sanitary Services Report (by phone 04.07.91) ^(Received 8/7/91) states that services are available.

The Roads Department report dated 03.06.91 states that further to Roads report dated 14.06.91 that:

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- (b) Vision in a westerly direction while not 90m. is in excess of 80m.
- (c) Because of the low number of units on the site the internal layout is unlikely to create problems of parking on the public road given the length of the frontage free access drive.
- (d) The turning circle is almost adequate.

Over

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed 6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham for Gracedale Ltd.

The Roads Department state while they still consider the proposed development most undesirable because of vision splays onto the heavily trafficked Butterfield Avenue of minimum standards, that their initial report (i.e. report dated 14.06.91) was too severe. The Roads Department recommend conditions that should be attached in the event of a decision to grant permission be made one of which relates to the payment of a financial contribution of £500 per house towards traffic management schemes in the Rathfarnham area.

The report of the Senior Parks Superintendent (dated 19.06.91) stated that the tree survey submitted is unacceptable on the grounds that no specific information on tree age, condition, crown spread or height is given.

In the event of permission being granted it states the conditions which should be attached. It is recommended that a financial contribution of £1,000.00 per house should be sought towards the development and/or provision of public open space in the area. This is considered reasonable & could be spent developing Rathfarnham Castle.

Three letters of objection to the proposed development have been received from adjoining residents. The objectors object to the proposal on the grounds that it would adversely affect existing residential amenities and because it would generate additional traffic on Butterfield Avenue.

The proposed development of 6 no. houses on this site on this infill site is considered acceptable from a planning point of view.

The density of proposed development is considered compatible with the density of the adjoining houses at Fairways to the north. In my opinion the proposed development will not reduce the residential amenities enjoyed by the residents of "Fairways" or the house known as "Dunpelt".

While the proposed access arrangements are less than ideal, the amount of traffic which would be generated by the proposed development will not be very large.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following conditions:-

(SEE CONDITIONS OVER)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed 6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham for Gracedale Ltd.

CONDITIONS

REASONS FOR CONDITIONS

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

3. That each proposed house be used as a single dwelling unit.

1/11
4. That a financial contribution in the sum of £4260 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

5. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car parks, Sewers, Watermains and Drains, has been given by:-

a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £10000 which shall be renewed by the developer from time to time as required during the course of the development and kept in force by him until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.

OR.....

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. In order to comply with the Sanitary Services Acts, 1878-1964.

3. To prevent unauthorised development.

4. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

5. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

COMHAIRLE CHONTAE ÁTHA CLIATH

Proposed No. 10, Hooses St. Business and Manager's Orders
Rathfarnham for Gracedale Ltd.

CONDITIONS

REASONS FOR CONDITIONS

b. Lodgement with the Council of a Cash Sum of £6,500.00 to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specification.
OR.....

c. Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

6. That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

7. That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

8. That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by the County Council.

9. That no dwelling house be occupied until all the services have been connected thereto and are operational.

6. To protect the amenities of the area.

7. In the interest of amenity.

8. In the interest of amenity and public safety.

9. In the interest of the proper planning and development of the area.

COMHAIRLE CHONTAE ÁTHA CLIATH

Proposed Record of Executive Business and Manager's Orders
Rathfarnham for Gracedale Ltd.

CONDITIONS

REASONS FOR CONDITIONS

10. That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. The applicant should note that the proposed watermain layout is unacceptable. The applicant is to agree a revised watermain layout with the Area Engineer, Sandyford (Tel. 955087) prior to the commencement of development.

11. That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council, Sanitary Services Department and that the cost thereof be paid to the County Council before any development commences.

12. That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

13. That a financial contribution in the sum of £6,000 (i.e. £1,000 per house) be paid by the proposer to the Dublin County Council towards the cost of provision and/or development of public open space in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

10. In order to comply with the Sanitary Services Acts 1878-1964.

11. To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

12. In the interest of the proper planning and development of the area.

13. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders
Proposed 6 no. houses at Bellinacorney, Bellinacorney Avenue,
Rathfarnham for Gracedale Ltd.

CONDITIONS

REASONS FOR CONDITIONS

14. That all trees which it is proposed to retain as part of the development within the site, and trees on lands adjoining the site be given adequate protection during the course of construction. In this regard protective fencing should be erected around the trees within the site, (fencing should consist of a 1.5 metre high rigid fence).

14. In the interest of the proper planning and development of the area.

15. A 2.3 metre high screen is to be provided along the northern boundary of the site. This is to tie in with the existing boundary walls. Details of the proposed screen are to be agreed with the Planning Authority prior to the commencement of development. The applicant should note that proposed boundary treatment should not endanger the stability of existing trees in this area.

15. In the interest of the proper planning and development of the area.

16. That a 2 metre high screen wall (capped and rendered) be provided along the western boundary so as to screen the rear garden from public view.

16. In the interest of residential amenity.

17. That prior to the commencement of development applicant is to submit to the Planning Authority details of proposed surfaced treatment for access driveway and the strip of land which runs parallel and to the south of this driveway for its written agreement. Proposed surface treatment should ensure the viability of the trees on the adjoining lands. If tarmacadam is proposed rather than a permeable surface on the access roadway, the applicant should ensure that run off from the road is directed towards the trees.

17. In the interest of the proper planning and development of the area.

18. That the 1.4 metre wide strip provided for between houses nos. 2 and 3 be commonly owned within the property boundaries of houses nos. 2 and 3.

18. To enable free access to the rear of both properties and to facilitate maintenance of properties.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders
Proposed 6 no. houses at Bella Vista, Gracedale Avenue,
Rathfarnham for Gracedale Ltd.

CONDITIONS

REASONS FOR CONDITIONS

19. That the following requirements of the Roads Department are to be adhered to in the development:

(a) The pole at the entrance to be removed and resituated outside vehicle path and vision splay lines at the applicant's expense.

(b) Access details to be agreed with Roads Department prior to commencement of development.

20. That a financial contribution in the sum of £800 per unit be paid by the proposer to the Dublin County Council towards traffic management schemes in the area of the proposed development which will facilitate this development; this contribution to be paid before the commencement of development on the site.

21. The ridge height of houses Nos. 5 & 6 is to be reduced by reducing angle of roof pitch. Details to be submitted to the Planning Authority for agreement prior to the commencement of development.

22. That 2 no. off-street car parking spaces be provided for each house (including "Bella Vista" as shown on the site layout plan (Drg. No. 91.27.P01)).

23. A landscaping scheme for the site is to be ^{submitted as a separate attachment of} ~~agreed~~ with the Planning Authority prior to the commencement of development.

24. That the existing boundary wall to the north of house No. 6 be increased to 2 metres in height. This wall is to be capped.

19. In the interest of road safety.

20. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

21. In the interest of residential amenity.

22. In the interest of the proper planning and development of the area.

23. In the interest of visual amenity.

24. In the interest of residential amenity.

(Over Condition 25)

COMHAIRLE CHONTAE ÁTHA CLIATH

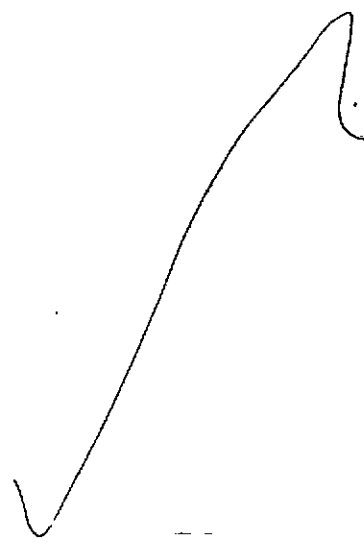
Record of Executive Business and Manager's Orders
Proposed no. 10 houses at 100-102 Gracedale avenue,
Rathfarnham for Gracedale Ltd.

CONDITIONS

REASONS FOR CONDITIONS

25. Heating to be provided by the use
of either oil, gas, electricity or by smokeless
fuels in fireplaces or appliances suitable
only for burning solid smokeless fuels.

25. In the interest of
reducing air pollution.



Endorsed:-

[Signature]
for Principal Officer

[Signature]
For Dublin Planning Officer

Order:-

A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to GRANT PERMISSION for the above proposal subject to the (25) conditions set out above is hereby made.

Dated:

14 July, 1991.

K.O. Doolan
ASSISTANT CITY & COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 8 July, 1991.

ss only -

DUBLIN COUNTY COUNCIL
PLANNING AND BUILDING CONTROL DEPARTMENT

Ⓢ

Senior Engineer,
Sanitary Services Dept.

Register Reference : 91A/0761

Date : 15th May 1991

Development : 6 no. houses

LOCATION : Bella Vista, Butterfield Avenue, Rathfarnham.

Applicant : Gracedale Ltd.

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 13th May 1991

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Date received in Sanitary Services

DUBLIN Co. Co.
28 MAY 1991
SAN SERVICES

RECEIVED
- 8 JUL 1991
Returned *[Signature]*

FOUL SEWER

Available

SURFACE WATER

Available.

To Sullivan 28/6/91.

*J.R.
4/7/91*

Register Reference : 91A/0761

Date : 15th May 1991

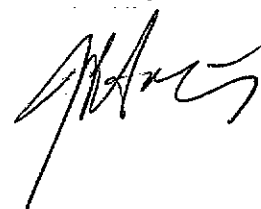

ENDORSED _____ DATE _____

WATER SUPPLY.....

Water available from the public main on Butterfield Avenue. The proposed layout is not acceptable. Applicant to contact the Area Engineer @ Sandyford (SS087) before construction commences for revised layout. No watermain in private property

W.Sullivan
30/5/91

ENDORSED _____ DATE 4/7/91



May 91



Bosca 174
P. O. Box 174
5 Rae Gardiner,
5 Gardiner Row,
Baile Atha Cliath 1,
Dublin 1.
Telephone. (01)727777
Fax. (01)727530

Mr. D. Drumgoole,
Senior Administrative Officer,
Planning Department,
Dublin County Council.

Our Ref.
Your Ref.
Date 19.06.1991

RE: Application for 6 No. houses at "Bellavista". Butterfield Avenue, Rathfarnham.. Reg. Ref. 91A/761.

With regard to this application, the Parks Departments comments are:

The tree survey submitted with this application is unacceptable to this Department due to its generality. No specific information on tree age, crown spread or height has been provided. Therefore, a detailed tree survey indicating the location, species, age, condition, crown spread and height of trees should be sought as Additional Information. Information should also be given on the proposals for the removal/retention of these trees and measures proposed to protect them during the course of development.

In the event of it being decided to grant planning permission, the following should be included:-

1. The applicant has not provided any public open space in accordance with the 1983 Development Plan Standards. The applicant should, therefore, be requested to pay a financial contribution of £1,000 per house (£5,000) towards the cost of provision and development of the public open spaces in the area.
2. That a scheme of planting for the site be agreed with the Parks Superintendent prior to the commencement of development.

SENIOR PARKS SUPERINTENDENT

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
 Date 24.06.91.....
 Time 9.20.....

DUBLIN COUNTY COUNCIL

REG. REF: 91A/0761.
 DEVELOPMENT: 6 no. houses.
 LOCATION: Bella Vista, Rathfarnham.
 APPLICANT: Gracedale Ltd.
 DATE LODGED: 13.5.91.

Further to request from Planning to review Roads Report of 14.6.91.

(Further to Roads Report of 14th June, 1991 the following is of note.)

- a) Vision in an easterly direction is more than adequate.
- b) Vision in a westerly direction while not 90m is in excess of 80m.
- c) Because of the low number of units on the site the internal layout is unlikely to create problems of parking on the public road given the length of the frontage free access drive.
- d) The turning circle is almost adequate.

Because of the above, while the proposal is still considered as most undesirable because of the volumes of traffic carried by Butterfield Avenue and the fact that the vision splay areas are minimum standards, Roads would be prepared to accept that the previous assessment of the site was severe.

If permission is being contemplated Roads would require that:-

- a) The pole at the entrance to be removed and resituated outside vehicle path and vision splay lines at the applicant's expense.
- b) A contribution of £800.00 per unit towards traffic management at junctions serving the development.
- c) Access details to be agreed with Roads Department prior to commencement of development.

EM/BMCC
 17.7.91.

SIGNED: E. J. O'Connell

DATE: 3rd July '91

ENDORSED: [Signature]

DATE: 3/6/91

Marjorie O'S.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/0761.

DEVELOPMENT: 6 no. houses.

LOCATION: Bella Vista, Butterfield Avenue, Rathfarnham.

APPLICANT: Gracedale Ltd.

DATE LODGED: 13.5.91.

The access fronts onto the heavily trafficked Butterfield Avenue which is a District Distributor Route. Vision at the access looking west is obscured by a high wall outside the applicant's control. Also a pole near the access would make entering to the site difficult.

The site is very congested and has inadequate space for on site parking. It appears that the proposal is to widen the existing access by removal of part of neighbouring wing wall. Also the turning bay is inadequate in width.

In general Roads are opposed to "backlands" development on such busy roads, as they produce excessive turning movements.

Permission should be refused as the proposal would endanger public safety by reason of a traffic hazard and obstruction to road users.

PLANNING DEPT.
DEVELOPMENT CONTROL SEC
 Date 18.06.91
 Time 3.50

TR/BMcC
 14.6.91.

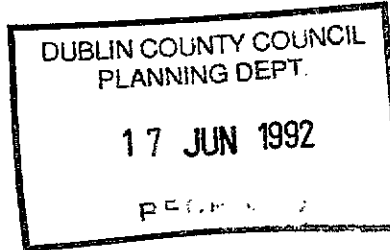
SIGNED: *Laura Ryan*
 DATE: _____

ENDORSED: *[Signature]*
 DATE: 17/6

PD/ec

10th June 1992

Job Ref: 91-27 (A3j)



Planning Department,
Dublin Co. Council,
Block 2,
Irish Life Mall,
Lower Abbey Street,
Dublin 1.

Re: 6 No. Houses at Bella Vista, Butterfield Avenue, Rathfarnham,
Decision Order: P/3127/91 - 12th July 1991 Register Reference: 91A-0761

Dear Sirs,

In compliance with the above permission we hereby seek agreement from Dublin County Council in relation to the second schedule of conditions laid down by An Bord Pleanala.

Condition Number 7,

It is proposed to provide a tarmacadam access driveway. The strip of land is formed with a 9 inch kerb and will be landscaped. The footpath will have a concrete finish.

Condition Number 11,

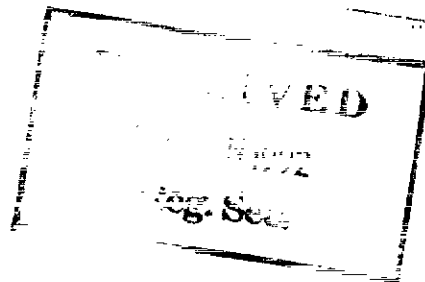
The pitch of houses 5 & 6 will be reduced to 22.5 degrees as per enclosed drawing number 91-27-P03.

I trust the above is in order. If you have any queries in relation to the above please do not hesitate to contact me.

Yours sincerely,

Paul Duignan
Paul Duignan

91A/0761
I. L. G
Cont



FITZGERALD REDDY & ASSOCIATES

Encls.

c.c. Mr. P. Maguire



Fitzgerald Reddy & Associates,
Architects & Planning Consultants,
26, Upper Mount Street,
Dublin 2.

8841

5 August 1992

RE: Planning permission for housing development at 'Bella
Vista' Butterfield Ave., Rathfarnham.

Dear Sir,

I refer to the above planning application which was granted by An
Bord Pleanala on 19th December, 1991.

A recent inspection by the Planning Department has shown that the
development is not being carried out in accordance with the
approved plans in that the western boundary line is not in the
position shown on plans, condition no. 5 is not being adhered to
and the northern boundary also differs from the plans lodged.

You are advised that it will be necessary for your client to
regularise this situation by submitting for the approval of the
Planning Authority full details of boundary treatment on the
western and northern boundaries. The requirements of condition
no. 5 should be strictly adhered to forthwith.

Your Faithfully,



For Principal Officer.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.

Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Telephone: 773066

Telephone: 724755
Extension: 231/234

23rd June, 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: Bella Vista, Butterfield Avenue, Rathfarnham
PROPOSED DEVELOPMENT: 6 no. houses
APPLICANT: Gracedale Ltd.
PLANNING REG. REF.: 91A/0761
DATE OF RECEIPT OF SUBMISSION: 17th June, 1992

A Chara,

With reference to above, I acknowledge receipt of application for:

Compliance with Conditions

Mise, le meas

A. Smith

PRINCIPAL OFFICER

Fitzgerald Reddy & Associates, Architects,

26 Upper Mount Street,

Dublin 2

Our Ref: PL 6/5/86319
P.A. Ref: 91A/0761

Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 19 DEC 1991

Appeal Re: Erection of 6 houses at Bella Vista,
Butterfield Avenue, Rathfarnham, County Dublin.

Dear Sir,

An order has been made by An Bord Pleanála determining the above-mentioned appeal under the Local Government (Planning and Development) Acts, 1963 to 1990. A copy of the order is enclosed.

Yours faithfully,


Miriam Baxter.

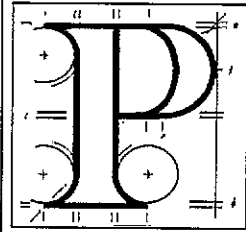
Encl.

BP 352

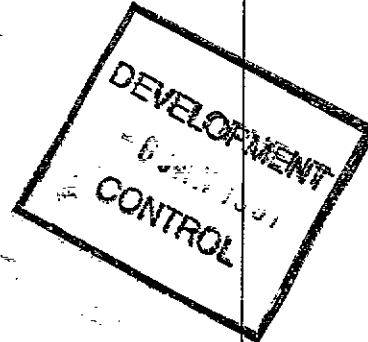
Handwritten initials

fax

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011



20 DEC 91

Our Ref: PL 6/5/86319
Your Ref: FS/SC/APP-010
P.A. Ref: 91A/0761

Fenton-Simmons,
Planning and Development Consultants,
29 Fitzwilliam Place,
Dublin 2.

Date

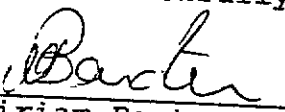
Appeal re: Erection of 6 houses at Bella Vista,
Butterfield Avenue, Rathfarnham, County Dublin.

Dear Sir,

An order has been made by An Bord Pleanála determining the above-mentioned appeal under the Local Government (Planning and Development) Acts, 1963 to 1990. A copy of the order is enclosed.

It should be clearly understood that the granting of permission under the Planning Acts does not relieve a developer of the responsibility of complying with any necessary fire safety measures which may be stipulated by the fire authority. Failure to comply with any such requirements may result in the service of a Fire Safety Notice under section 20 of the Fire Services Act, 1981. The developer should, therefore, consult with the appropriate fire authority in relation to this matter.

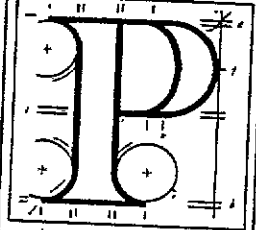
Yours faithfully,


Miriam Baxter.

Encl.

BP 354

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/761

APPEAL by Patricia Crossan of "Dunluce", 195 Butterfield Avenue, Rathfarnham, Dublin and by Donal C. Byrne of 82 Fairways, Rathfarnham, Dublin against the decision made on the 12th day of July, 1991 by the Council of the County of Dublin to grant subject to conditions a permission to Gracedale Limited care of Fitzgerald Reddy and Associates of 26 Upper Mount Street, Dublin for development comprising the erection of six houses at "Bella Vista", Butterfield Avenue, Rathfarnham, Dublin in accordance with plans and particulars lodged with the said Council:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, it is hereby decided, for the reason set out in the First Schedule hereto, to grant permission for the said development in accordance with the said plans and particulars, subject to the conditions specified in the Second Schedule hereto, the reasons for the imposition of the said conditions being as set out in the said Second Schedule and the said permission is hereby granted subject to the said conditions.

FIRST SCHEDULE

It is considered that the proposed development on an infill site is in accordance with the zoning objective and standards for layout indicated in the current County Development Plan. Subject to compliance with the conditions in the Second Schedule, the proposed development would be in accordance with the proper planning and development of the area.

SECOND SCHEDULE

1. The developer shall pay a sum of money to the planning authority as a contribution towards expenditure incurred by the authority in the provision of public services facilitating the proposed development. The amount of the contribution and the arrangements for payment shall be as agreed between the developer and the authority or, in default of agreement, shall be determined by An Bord Pleanála.

Reason: It is considered reasonable that the developer should contribute towards expenditure incurred by the planning authority in the provision of public services facilitating the proposed development.

SECOND SCHEDULE (CONTD.)

2. Before development is commenced, the developer shall lodge with the planning authority a cash deposit, a bond of an insurance company, or other security to secure the provision and satisfactory completion and maintenance until taken in charge by the authority of roads, watermains, drains, open spaces and other services required in connection with the development, coupled with an agreement empowering the authority to apply such security or part thereof for the satisfactory completion or maintenance of any part of the development. The form and amount of the security shall be as agreed between the authority and the developer or, failing such agreement, shall be determined by An Bord Pleanála.

Reason: To ensure the satisfactory completion and maintenance of the development.

3. All necessary measures shall be taken by the developer to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads or footpaths during the course of construction.

Reason: To protect the amenities of the area.

4. All public services to the proposed development, including electrical, telephone and television cables and equipment shall be located underground throughout the entire site.

Reason: In the interest of visual amenity.

5. All trees which it is proposed to retain as part of the development within the site and trees on land adjoining the site shall be given adequate protection during the course of construction. Protective fencing shall be erected around the trees within the site by way of a 1.5 metre high rigid fence.

Reason: In the interest of protecting amenity features on the site.

6. A 2 metre high screen wall (capped and rendered externally) shall be provided along the western boundary of the site so as to screen the rear gardens in this area from public view.

Reason: In the interest of the amenities of the area.

SECOND SCHEDULE (CONTD.)

7. Details of the surface treatment for the access driveway, adjoining strip and footpath shall be submitted to and agreed with the planning authority prior to commencement of development. The surface treatment shall be designed to ensure the viability of the trees adjoining.

Reason: In the interest of preservation of mature trees in the vicinity of the driveway.

8. The 1.4 metre wide strip provided for between houses numbered 2 and 3 shall be commonly owned for the length of the gables as far as the rear gable of house number 3.

Reason: To enable free access to the rear of both properties and to facilitate maintenance of gables.

9. The pole at the entrance shall be removed and resituated outside the vehicle path and vision splay lines at the developer's expense and details of the access arrangements shall be agreed with the planning authority prior to commencement of the development.

Reason: In the interest of public safety.

10. The developer shall pay £800 (eight hundred pounds) (updated at time of payment in accordance with changes in Wholesale Price Index - Building and Construction (Capital Goods), published by the Central Statistics Office), per residential unit to the planning authority as a contribution towards the expenditure that is proposed to be incurred by the authority in respect of traffic management schemes at junctions serving the proposed development subject to the expenditure being incurred within the next seven years and to the stipulations set out in Section 26 (2)(h) of the Local Government (Planning and Development) Act, 1963.

Reason: It is considered reasonable that the developer should contribute towards the expenditure proposed to be incurred by the planning authority in respect of traffic management schemes at junctions serving the proposed development.

11. The ridge height of houses numbered 5 and 6 shall be designed to have minimum effect upon the adjoining mature tree to the rear. Details of such minimal effect shall be submitted to the planning authority for agreement.

Reason: To minimise the affect upon the mature tree existing in the adjoining property.

SECOND SCHEDULE (CONTD.)

12. A boundary wall, 2 metres in height, capped and rendered on both sides, shall be provided from the front gable of the garage serving "Bella Vista" to the line of trees at the front of "Dunluce" prior to the occupation of the first house in the proposed development.

Reason: In the interest of protecting the privacy and residential amenity of "Dunluce".

P. O' Kiffy

Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this 18th day of *December* 1991.

Our Ref: PL 6/5/86319
P.A. Reg. Ref: 91A/761

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 21st November 1991.

Appeal re: Six houses at Bella Vista, Butterfield
Avenue, Rathfarnham, County Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of a letter
received by the Board in relation to the
above-mentioned appeal.

Please quote the above appeal reference number in
any further correspondence.

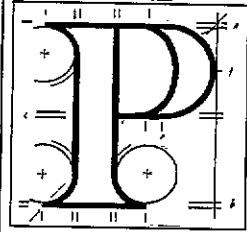
Yours faithfully,

Suzanne Lacey
Suzanne Lacey

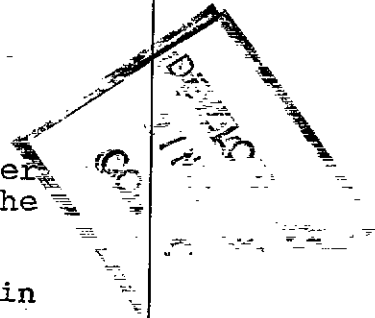
Encl.

BP 555

pk
An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011



Fenton-Simons
Planning and Development Consultants

29 Fitzwilliam Place, Dublin 2.
Tel: 686042/610344/610936 Fax: 766232

Our Ref: FS/SC/B V -001

Your Ref:

Date: 13th November 1991

An Bord Pleanála
Floor 3 Block 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1

Re:

SIX HOUSES AT BELLA VISTA,
BUTTERFIELD AVENUE, RATHFARNHAM, COUNTY DUBLIN
COMMENT ON LETTER TO AN BORD
FROM MS. PATRICIA CROSSAN DATED 8th OCTOBER 1991.
REG. REF. 91A/761 PL 6/5386319

Dear Sirs,

The question of sight distances required at intersections is raised by Ms Crossan.

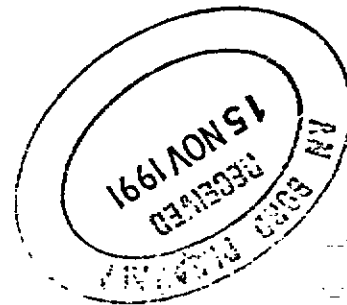
Current standards are contained in Geometric Design Guidelines (Intersections at Grade) RT 181 which were referred to and quoted from in my submission of the 23rd September 1991.

The sight distances at the Appeal Site are 174 m (not 134 m as quoted by Ms Crossan) to the east and 84 m to the west, and provided sight distances are in accordance with recognised standards.

Yours faithfully,



Frank Simons
FENTON - SIMONS



Our Ref: PL 6/5/86319
P.A. Reg. Ref: 91A/761

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 14th November 1991.

Appeal re: Six houses at Bella Vista, Butterfield
Avenue, Rathfarnham, County Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of a letter
received by the Board in relation to the
above-mentioned appeal.

Also enclosed is a copy of a letter issued by the
Board in relation to the above-mentioned appeal.

Please quote the above appeal reference number in
any further correspondence.

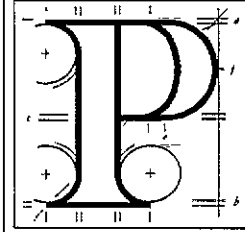
Yours faithfully,

Suzanne Lacey
Suzanne Lacey

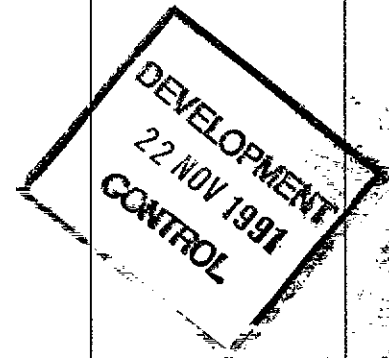
Encls.

BP 555/554

pl
An Bord Pleanála



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Dublin 1
tel (01) 728011

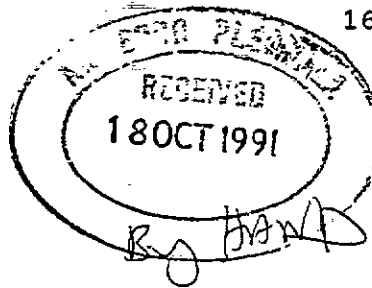


our Ref: PL 6/5/86319
P. A. Reg. Ref: 91A/761

197 Butterfield Avenue
Rathfarnham
Dublin 14

16th October, 1991

Ms Suzanne Lacey
An Bord Pleanála
Floor 3
Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1



Dear Ms Lacey

I am writing to you in connection with the application to build 6 houses on the site at Bella Vista, 193 Butterfield Avenue.

I would like to add my voice to the others who have objected to this proposal.

I believe that the extra traffic this development will generate, will cause considerable inconvenience and danger to myself and other residents in the immediate vicinity.

I have encountered delays of up to ten minutes while waiting to enter the flow of traffic along Butterfield Avenue in the morning.

The presence of additional vehicles attempting to do the same from a nearby gateway would considerably worsen the situation.

I would also like to point out that the proposed new entrance to these houses at 193 is at the brow of a hill, and very close to a dangerous bend where the road narrows considerably. I have been living at 197 for 10 years and know of numerous accidents on this hill.

I would like to bring to your attention the fact that approximately 2 years ago the road directly opposite my own house and 195, (Mrs Crossan's) called Owendore Avenue was closed to traffic turning on and off Butterfield Avenue. This step was taken because of the danger posed by vehicles undertaking this manoeuvre and because of the visibility restrictions at this part of the road.

I solemnly object to permission being given to this development as I feel that my neighbours and I could be in more danger because of this development.

Yours faithfully

Brendan Hederman

Brendan Hederman

ACTN
COPY TO —
DATE 29.10.91

Our Ref: PL 6/5/86319
P.A. Reg. Ref 91A/761

Brendan Hederman,
197 Butterfield Avenue,
Rathfarnham,
Dublin 14.

Date: 14th November 1991.

Appeal re: Six houses at Bella Vista, Butterfield
Avenue, Rathfarnham, County Dublin.

Dear Sir,

I have been directed by An Bord Pleanála to refer further to your letter dated the 16th of October, 1991 regarding the above-mentioned appeal. Please ignore the Board's letter to you dated the 29th of October, 1991 as it has come to its attention that the £15 fee requested was already lodged with your letter dated the 18th of October, 1991.

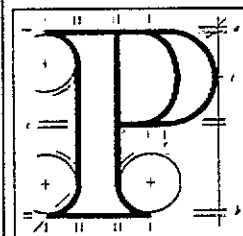
The contents of your letter have been noted and will be taken into account when the appeal is being determined.

Please quote the above appeal reference number in any further correspondence.

Yours faithfully,

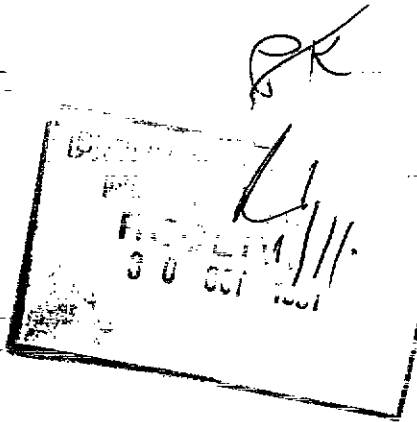

Kevin Carleton
Executive Officer

An Bord Pleanála



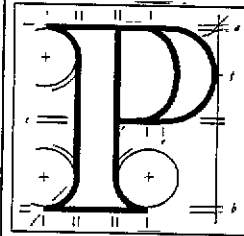
Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Our Ref: PL 6/5/86319
P.A. Reg. Ref: 91A/761



The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

An Bord Pleanála

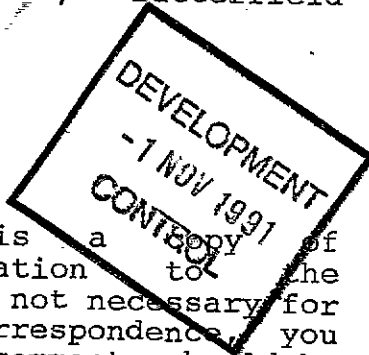


Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Date: 29th October 1991.

Appeal re: Six houses at Bella Vista, Butterfield
Avenue, Rathfarnham, County Dublin.

Dear Sir/Madam,



Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within fourteen days from the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Please quote the above appeal reference number in any further correspondence.

OBS

Yours sincerely,

Suzanne Lacey
Suzanne Lacey

BP 553A

PAR/ec

15th October 1991

Job Ref: 91-27 (A3j)

An Bord Pleanala,
Floor 3,
Blocks 6 & 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Your Ref: PL 6/5/86319
P.A. Reg. Ref: 91A/761
Our Client: Gracedale Developments
Six Houses at Bella Vista, Butterfield Avenue, Rathfarnham, Co. Dublin.

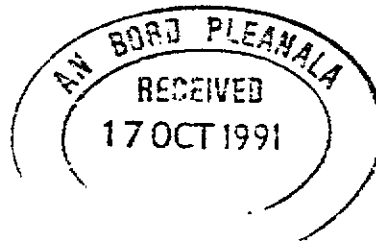
Dear Sir,

Enclosed for your information is a report of discussions held with the Road Engineers prior to submission of the above project for planning permission.

Yours sincerely,


Paul Duignan

FITZGERALD REDDY & ASSOCIATES



Proposed Houses at Bella Vista, Butterfield Avenue, Rathfarnham.

Report on Discussions with the Roads Department, Dublin County Council.

INTRODUCTION

Prior to the purchase of the above site we were requested by Mr. F. Rhatigan to investigate the likelihood of an objection to the proposed housing development at Butterfield Avenue by the Roads Department of Dublin County Council.

REPORT

On the 7th February 1991 we contacted Mr. Eoin Madden of the Roads Department by telephone to advise us on any foreseeable problems with the development. At this time we were proposing to build eight houses on the site, as opposed to the present six. Mr. Madden made the following observations:

1. In his opinion there was no sightline problems on the approach along Butterfield Avenue from the east i.e. Rathfarnham Village.
2. On the western approach to the new entrance it would be necessary to achieve a 90 mm sightline from a point 3 m back from the road kerb.
3. The entrance to the development should be as near to the east as possible.

We agreed to fax a drawing illustrating our compliance with these requirements to Mr. Madden to ascertain whether our proposals met with his approval.

Attached is a copy of the correspondence faxed to the Roads Department.

On the 9th February 1991 we telephone Mr. Madden who had received and examined our fax. Mr. Madden then informed us that in his opinion our proposal met with his approval and that he did not foresee a problem with the development.

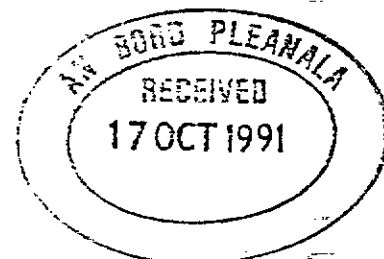
CONCLUSION

On this basis we advised Mr. Rhatigan to proceed with the Planning Application and that we did not foresee a problem with the Roads Department.

Signed

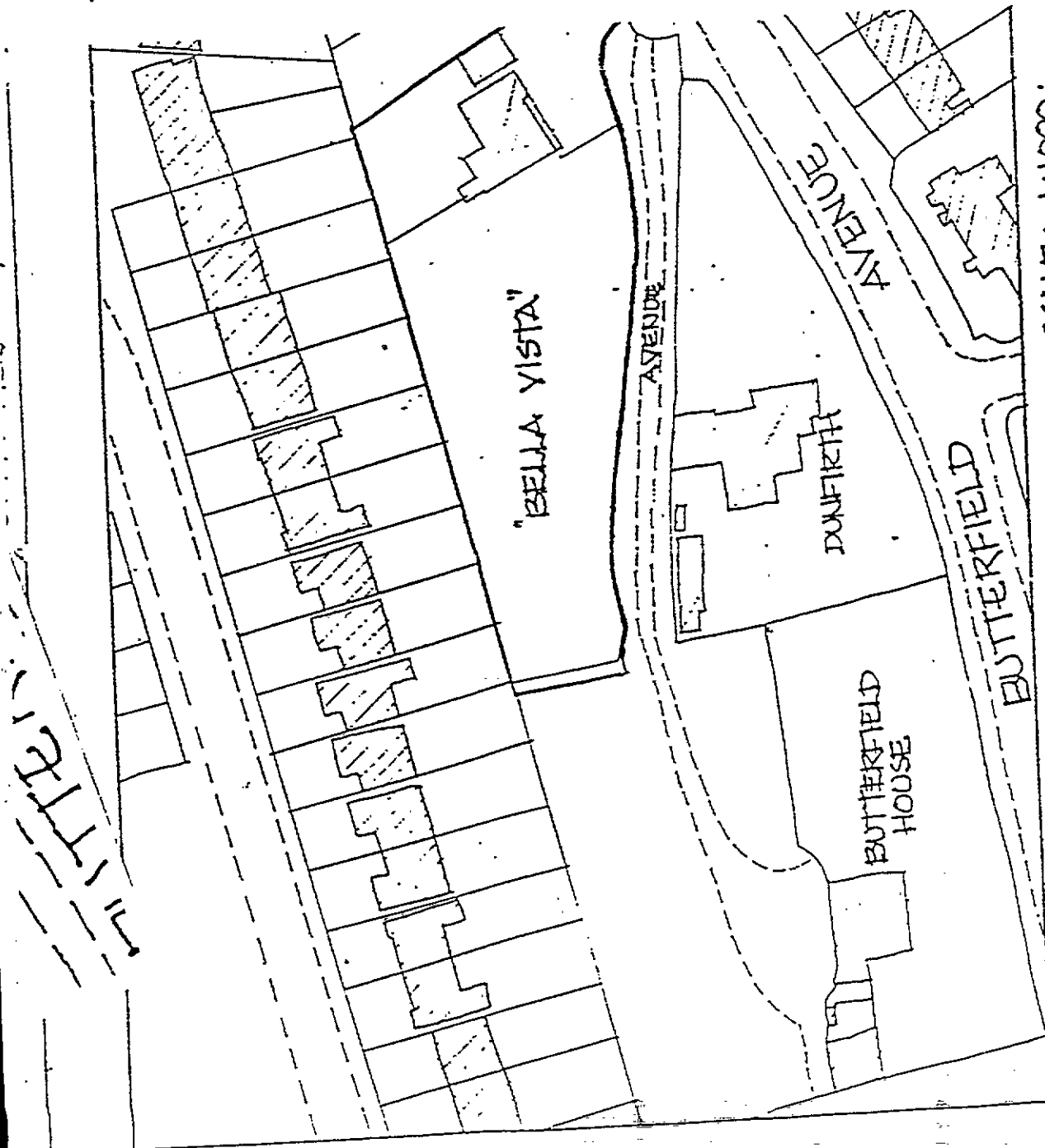

Paul Duignan M.R.I.A.I.

FITZGERALD REDDY & ASSOCIATES



TRANSMISSION OF

TRANSACTION # 8647
CONNECTION TEL 727434
CONNECTION ID G3
START TIME 02/07 16:15
USAGE TIME 01' 52
PAGES 3



LOCATION MAP: O.S. PUBLIN SHEET 3341-3; SCALE: 1:1000;

TELEFAX MESSAGE:

7 FEB 90

TO: MR. EOH MADDEN, ROAD'S DEPT, DUBLIN Co. Co.

FROM: PAUL DUGNAN, FITZGERALD REDDY & ASSOC'S

DATE: 7 FEB 1990

FAX NO: 727434

RE: PROPERTY AT BELLA VISTA.

NO OF PAGES: 3 PAGES

MESSAGE:

EOH,

ATTACHED PLEASE FIND

MAPS OF SITE AS DISCUSSED

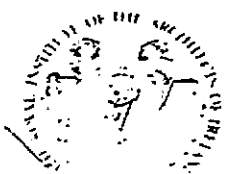
FOR YOUR INFORMATION. I

WILL PHONE YOU TOMORROW FOR

YOUR OPINION ON THE FEASIBILITY

OF A NEW ACCESS ROAD

YOUR'S FAITHFULLY - Paul Dugnan



110

HERFIELD

DUNFORTH

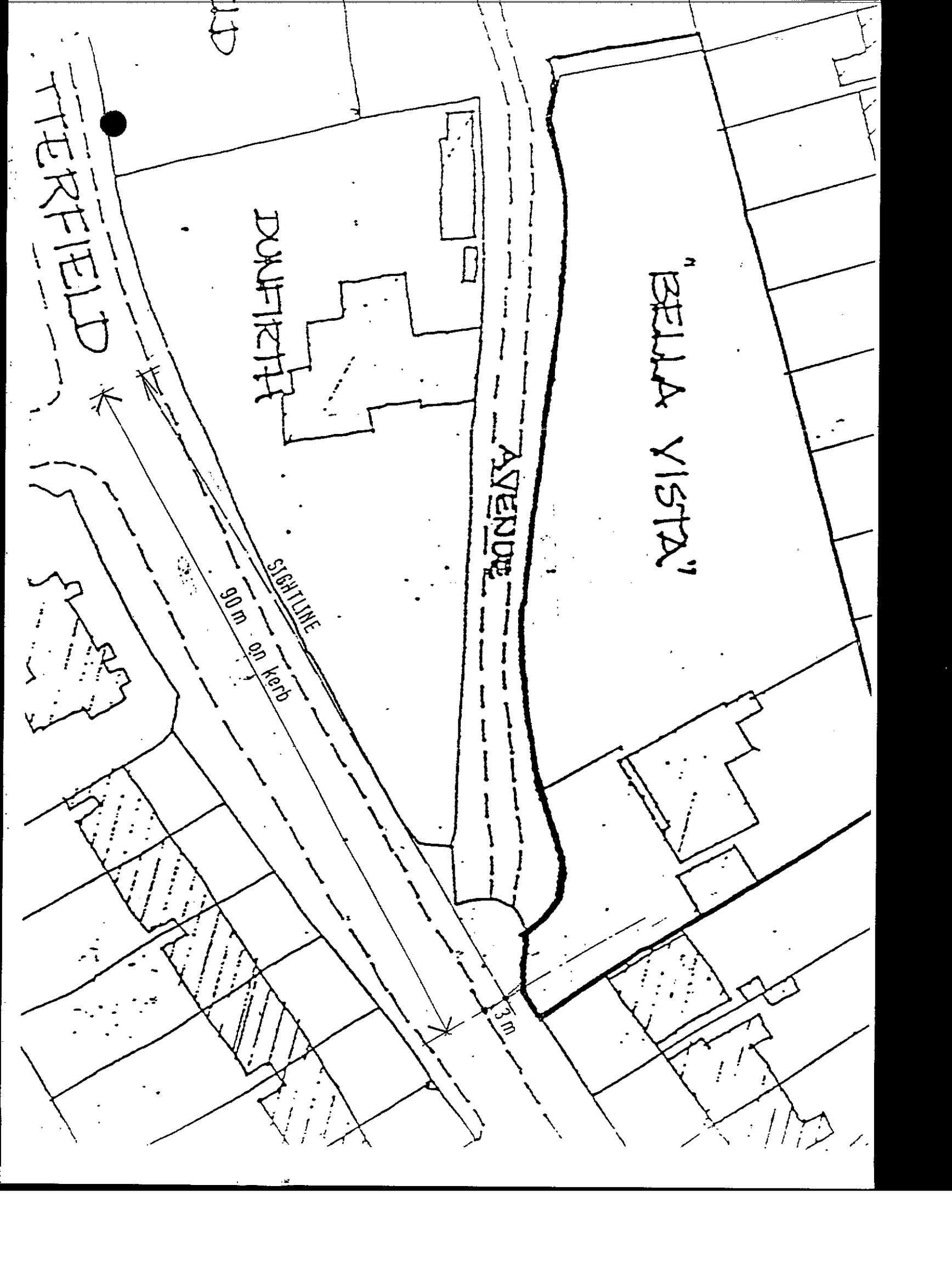
AVENUE

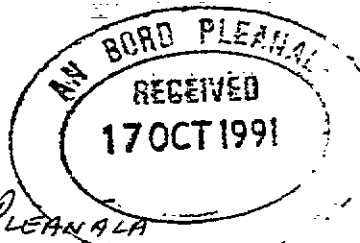
"BELLA VISTA"

SIGHTLINE

90 m on Kerb

3 m





Dunluc
95, Buttenfield Avenue,
Rathfarnham,
Dublin 4
Telephone 233075

AN BORD PLEANALA
Floor 3, Blocks 6+7
Jawahar Life Centre
Lr., Abbey St.
Dublin 1

8/10/91

Your Ref PL 6/5/86319
P.A. Ref 91A/761

Appeal re: Six Houses at Bella Vista
Buttenfield Ave., Rathfarnham

Dear Sirs,

I'm in receipt of your letter of
26th Sept. 91 with enclosures and would
comment as follows:-

Page 2, point 1, - 4th paragraph says
distance 134 m to left and 84 m. to right.
I understand the normal requirement is
120 m to 150 m on a major road and
90 m. on a minor road. This does not
have requirements even for a minor road
and I note the Roads department considered
it unsafe.

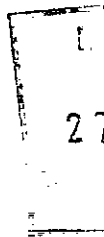
Yours faithfully,

Patricia Crossan

Our Ref: PL 6/5/86319
P.A. Reg. Ref: 91A/761

P.K.

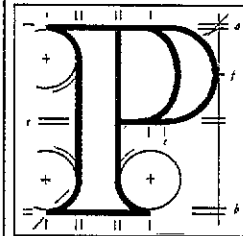
The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre,



Handwritten initials and number:
38/a

27. SEPT 91

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Date: 26th September 1991.

Appeal re: Six houses at Bella Vista, Butterfield Avenue, Rathfarnham, County Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within twenty-one days of the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Please quote the above appeal reference number in any further correspondence.

Yours faithfully,

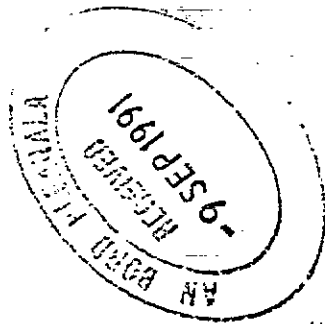
Suzanne Lacey
Suzanne Lacey

Encl.

BP 553

Handwritten: OBS.

An Bord Pleanála,
Floor 3,
Blocks 6 and 7,
Irish Life Centre,
Lr. Abbey St.,
Dublin 1.



6.9.1991.

Your Ref. PL 6/5/86319
P.A.Ref. 91 A/761.

APPEAL RE: 6 Houses at "Bella Vista",
Butterfield Ave., Rathfarnham, Co. Dublin.

Dear Sirs,

We, the undersigned, wish to put on record our opposition to the proposed development at "Bella Vista" 193 Butterfield Ave., for the following reasons;

1. Vehicles travel at high speed on this busy road and we consider that the movement of traffic in/out of the proposed development would constitute a serious hazard.
2. We have great difficulty gaining access to the driveway of our houses due to the parking on the footpath by Gardai and visitors to the Garda Station on opposite side of the road. As parking in the proposed development is limited to 12 cars we consider that this will cause further congestion on footpath outside our houses and block sightlines even further.

We request that you uphold the appeal and rescind planning permission for the development.

Yours faithfully,

Brendan Hederman 197 Butterfield Ave.
Mae McCarthy 199 Butterfield Ave.
Mary Murray 207 Butterfield Ave
Cecil Hennigan, 203, Butterfield Ave. Rathfarnham
Genevieve 201 Butterfield Ave Rathfarnham
~~James Murray~~ 205 Butterfield Ave Rathfarnham
Ace.

139

Our Ref: PL 6/5/86319
P.A. Reg. Ref: 91A/761.

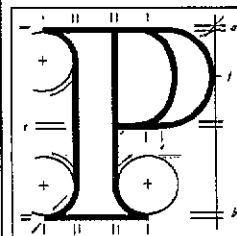
The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre,

Handwritten: 35/9

27. SEPT 91

Date: 26th September 1991.

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Appeal re: Six houses at Bella Vista, Butterfield Avenue, Rathfarnham, County Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within twenty-one days of the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Please quote the above appeal reference number in any further correspondence.

Yours faithfully,

Suzanne Lacey
Suzanne Lacey

Encl.

BP 553

Fenton-Simons
Planning and Development Consultants

29 Fitzwilliam Place, Dublin 2.
Tel: 686042/610344/610936 Fax: 766232

Our Ref: FS/SC/APP-010

Your Ref:

Date:

23rd September 1991

An Bord Pleanala
Block 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1

RE:

SIX HOUSES AT BELLAVISTA, BUTTERFILED AVENUE,
RATHFARNHAM CO.DUBLIN
PL 6/5/86319 REG.REF. 91A/761

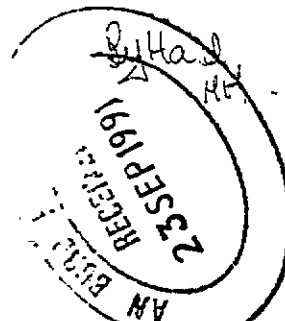
Dear Sirs,

Planning Permission for the above development was granted by Dublin County Council subject to 25 No. Conditions on the 12th July 1991. Subsequently this Decision of the Planning Authority was appealed by Third parties. The Third parties are Ms Patricia Crossan, Mr Donal C. Byrne, and Messrs Stewart & Sinnott Studio on behalf of Mrs P. Lauder.

The grounds of appeal may be summarised as follows:-

1. Traffic hazard
2. Density
3. Absence of Open Space
4. Inadequate turning circles.

Each of these points are commented upon hereunder.



Shay Fenton Dip Arch, Dip TP, MRILA, MIPL
Frank Simons B E, DPA, M Sc, C Eng, FIEI, MICE, MIIT.

1. TRAFFIC HAZARD

The proposed development comprises 6 No. houses at Bella Vista, Butterfield Avenue, Rathfarnham. Access to the development is by way of a single entry off Butterfield Avenue. This is achieved by re-organising the existing entry to Bella Vista to form a new avenue to the proposed development.

Current traffic volumes on Butterfield Avenue are 1161 on the morning peak period (772 east and 389 west) and 1438 in the evening peak period (679 east and 789 west). Obviously the traffic generated by the proposed development is insignificant in terms of present traffic volumes.

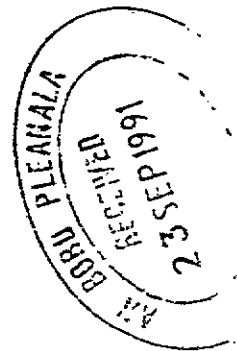
Reference is made in the Roads Department Report dated 14th June 1991 to vision at the proposed access not being adequate while the updated Roads Report dated 3rd July 1991 accepts that the vision is adequate.

Site measurements at the proposed access show that the sight distances to the east (towards Rathfarnham) is 174 m and to the west is 84 m.

The required sight distances is based on the speed of the major road traffic to enable side road traffic judge safely when they may turn into or cross the major road. This visibility also allows drivers on the major road to be aware of traffic entering from the minor road in time for them to be able to slow or stop safely if this should be necessary.

The following data is taken from RT 80 and RT 181 - Geometric Design Guidelines issued by An Foras Forbartha.

Design Speed Km/h	40	60	80
Stopping Sight Distance (m)	40	80	130
Junction Sight Distance (m)	80	120	160



It will be noted that a design speed of 40 Km/h the junction sight distance is twice the stopping distance, while at 80 Km/h design speed the junction sight distance is 1.23 times the stopping sight distance. This variation in multiplier takes account of the fact that many drivers exceed the lower design speed.

It is of interest to note that the Department of Transport in the U.K. have revised the sight distance requirements at major/minor road junctions (copy attached) as indicated in the following table.

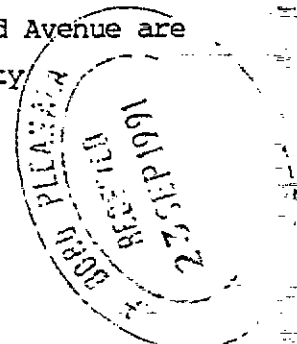
Design Speed Km/hr	40	50	60	70	80	85
TE 1/8 Aug. '76 m	90	—	120	—	150	—
TA 20/84 Nov. '84 m	—	70	90	120	—	160

The Department Advice Note 7A 20/84 states that the above sight distances should always be provided, but there is little advantage in increasing it. Increased sight distance can encourage excessive entry speeds from the side road.

We submit that the sight distance available at the proposed access is in accordance with recognised standards. These standards apply to junctions serving up to 1000 vehicles per hour on the minor road, while the proposed development will generate a maximum of 6 vehicles per hour.

The fact that Ms P.Crossan cannot reverse out of her own gateway onto Butterfield Avenue is hardly a reason for refusing development on the Appeal Site where no such manoeuvre is required.

The noise and fumes created by a development of 6 No. houses in the context of existing traffic volumes on Butterfield Avenue are minimal and of no consequence in terms of road capacity.



2.0 DENSITY

As noted in the Report of the Planning Officer the density of the proposed development is circa 10 houses/acre and that this density is compatible with the density of the adjoining house at "Fairways". We endorse the stated opinion of the Planning Officer that the proposed development will not reduce the residential amenities enjoyed by the residents of Fairways or of the house known as "Dumfirth".

An Bord will be familiar with the usual objection by third parties on the grounds of density. The appropriate density is established by the Planning Authority and is expressed in the written statement of the Development Plan. An Bord generally accepts the interpretation of appropriate density contained in the decision of the planning authority. We submit the density of the proposed development is in accordance with the proper planning & development of the area.

3.0 ABSENCE OF OPEN SPACE

The Appeal Site has an area of 0.7 acres and the objection to the Open Space on site in this context must be regarded as vexatious. Condition No.13 requires a contribution of £1,000.00 per house towards the cost of provision/development of Open Space in the area. This is accepted by the developers. The Parks Department suggest that this levy could be spent developing Rathfarnham Castle which is well within walking distance of the Appeal Site. The private open space provided with each dwelling is in accordance with the requirements of the Development Plan.

4.0 INADEQUATE TURNING CIRCLES

The "standards" for turning circles contained in the Development Plan are adopted for locations where up to 300 houses are served on a cul-de-sac situation. We are here dealing with a development of 6 No.houses.

16/1/1961

The turning bay provided consists of a 13 m wide by 9 m deep while the Dublin County Council standards required 12 m wide by 9 m deep bay. The proposed turning bay has a greater area than the "standard" bay and will not pose any problems in the context of a 6 No. house development.

5.0 SUMMARY

The Planning Authority were aware of the objections to the proposed development and took them into consideration when making it's decision. Many of the objectors were overcome by way of conditions attached to the permission and these are accepted by the developer.

We submit that the proposed infill development of the Appeal Site is in accordance with eh proper planning and development of the area and we ask An Bord to confirm the decision of the Planning Authority and dismiss the appeals.

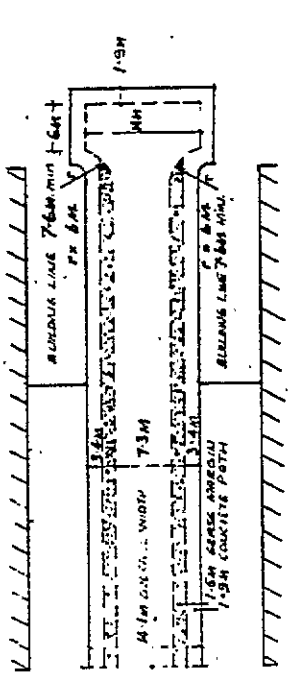
Yours faithfully,



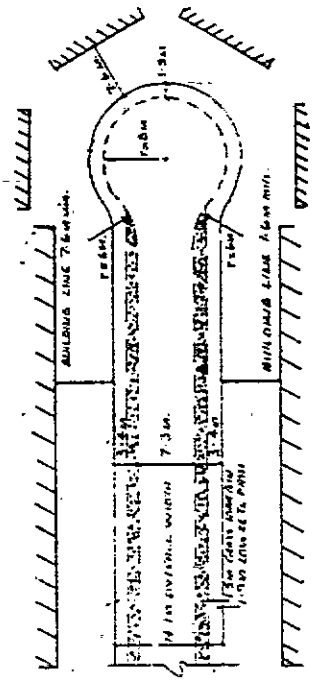
Frank Simons

FENICON - SIMONS

Encls.



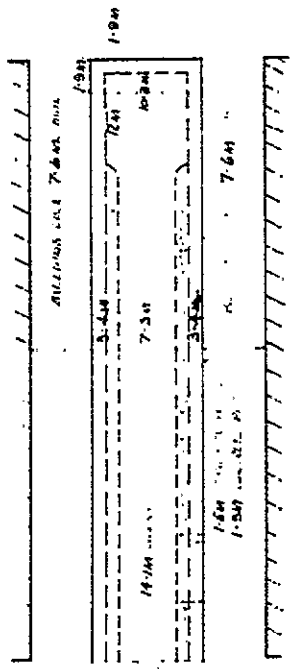
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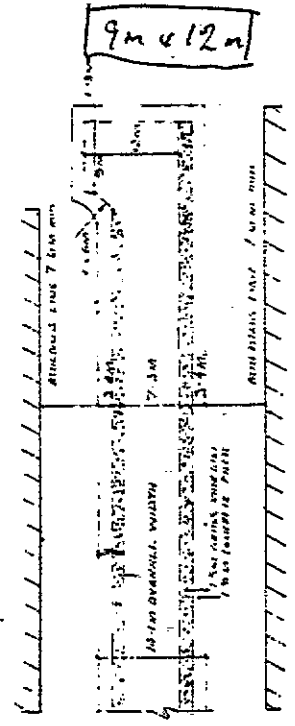
TYPE 5.

SCALE 1:500

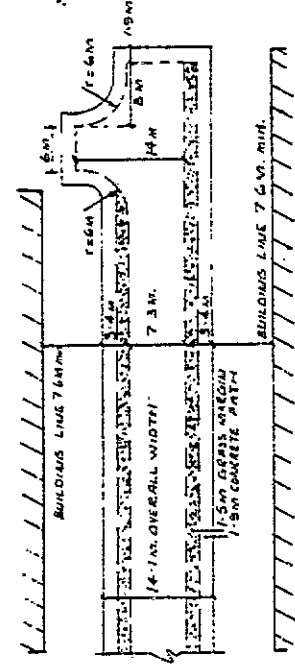
DUBLIN COUNTY COUNCIL	
LAYOUT OF TURNING BAYS AT ENDS OF CUL-DE-SACS.	
SCALE	1:500
DESIGNED BY	P. Coleman
CHECKED BY	
DATE	DEC '74
DRAWING NO.	2/3



TYPE 1.



TYPE 2.



TYPE 3.

Extract from Dublin County Development Plan 1983

TABLE 4: GEOMETRIC DESIGN STANDARDS FOR RURAL ROADS

DEPARTMENT OF TRANSPORT

HIGHWAYS AND TRAFFIC DIRECTORATE

DEPARTMENTAL ADVICE NOTE TA 20/84

JUNCTIONS AND ACCESSES:

THE LAYOUT OF MAJOR/MINOR JUNCTIONS

SUMMARY

This Advice Note gives recommendations for the layout of new, or improvement of existing, major/minor junctions on rural and urban roads.

SUBJECT AREA: Traffic Engineering and Control - Major/Minor Junctions

Printed & Published by the
Department of Transport

© Crown Copyright
Price: £3.50

November 1984

8 GEOMETRIC STANDARDS8.1 General

8.1.1 Geometric standards are related to the traffic speed on major roads and for new roads this is the Design Speed as defined in Ref 1. For existing roads there are two cases - the construction of a new junction or the improvement of an existing junction. In both these cases the Design Speed is derived from measurements of the actual major road traffic speeds at the junction site. Where a mandatory speed limit applies, or is intended as a feature of the design, the equivalent Design Speeds shown in Table 1 should be used:-

<u>Mandatory Speed Limit</u> (mph)	<u>Metric Equivalent</u> (kph)	<u>Design Speed</u> (kph)
--	--	120*
60	96	100A
50	80	85A
40	64	70A
30	48	60B
--	--	50**

Table 1

Notes: * Applies normally to derestricted dual carriageways but some new single carriageway layouts will have this Design Speed, and in such cases it should be used for the dimensioning of visibility splays notwithstanding the 60 mph national speed limit applying to single carriageway roads.

** Rare.

8.1.2 Where no speed limit exists the existing 85 percentile major road wet weather speed at the junction site should be measured in accordance with Departmental Advice Note TA 22/81 (Ref 28). This speed should then be rounded up to the next Design Speed step, for example, measured 85 percentile wet weather speeds of 47, 72 and 101 kph would give Design Speeds of 50, 85 and 120 kph respectively.

3.1.3 From considerations of surface water drainage and driver comfort, the road camber on the major road should be retained through the junction and the side road graded into the channel line of the major road (See also Paragraph 3.1 of Ref 1).

8.2 Visibility Splays

8.2.1 Drivers approaching a major/minor junction from the minor road should have unobstructed visibility to the left and right along the major road, for a distance dependent on the major road traffic speed, to enable them to judge safely when they may turn into or cross the major road.

This visibility also allows drivers on the major road to be aware of traffic entering from the minor road in time for them to be able to slow down or stop safely if this should be necessary.

8.2.2 The visibility should be available on a line between two points 1.05m above the road level as follows:-

8.2.2.1 A point 9m along the centre line of the minor road measured from the continuation of the line of the nearer edge of the running carriageway of the major road (not from the continuation of the back of the major road 1m hardstrip if this is present).

8.2.2.2 A point on the nearer edge of the major road running carriageway at a length given in Table 2 measured from its intersection with the centre line of the minor road:-

Design Speed of Major Road (kph)	120	100	85	70	60	50
Length (m)	295	215	160	120	90	70

Table 2

8.2.2.3 If this line lies partially within the major road carriageway it should be made tangential to the nearer edge of the major road running carriageway as shown in Fig 3.

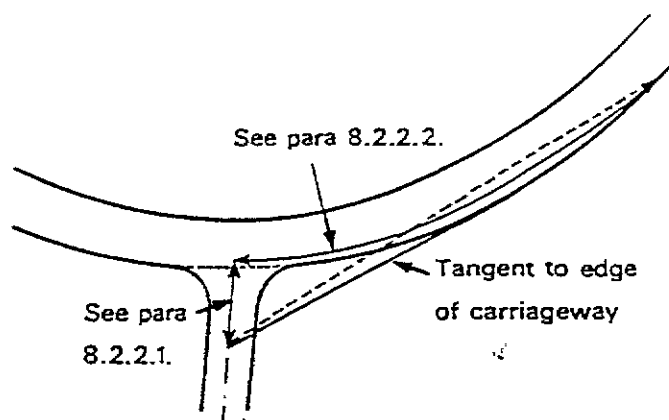


Fig 3

8.2.3 Major road through traffic should have Desirable Minimum Stopping Sight Distance (SSD) on the approaches to and through the junction (see Paragraph B.2.1 of Ref 1).

8.2.4 These standards apply to new junctions and to improvements to existing junctions. They also apply where roads serving housing estates join the rest of the network, but not to junctions within housing estates. For the latter the relevant visibility standards are contained in Ref 29.

8.2.5 In difficult situations the dimension in Paragraph 8.2.2.1 may be reduced to 4.5m for lightly trafficked simple junctions, and in exceptionally difficult circumstances to an absolute minimum of 2m back from the nearer edge of the major road running carriageway or a point on the centre line of the minor road in line with the continuation of the highway boundary of the major road, whichever is the furthest back from the edge of the major road. The dimension in Paragraph 8.2.2.1 should not be made more than 15m as this induces high minor road approach speeds into the junction, and leads to excessive land take.

8.2.6 The dimension in Paragraph 8.2.2.2 however should always be provided, but there is little advantage in increasing it and this should not be done, for example, to nominally increase the capacities of various turning movements using PICADY (Ref 11).

8.2.7 Where the major road is a dual carriageway with a central reserve of adequate width to shelter turning traffic, the standard visibility splay to the left is not required, but the central reserve to the left must be kept clear of obstructions for the distance as shown in Paragraph 8.2.2.2.

27th August 1976

72/1/8

TECHNICAL MEMORANDUM H 11/76
DEPARTMENT OF THE ENVIRONMENT
DIRECTORATE GENERAL OF HIGHWAYS
TECHNICAL MEMORANDUM ON
THE DESIGN OF MAJOR/MINOR
PRIORITY JUNCTIONS

19. The requirements of pedestrians should be carefully considered during the design of a major/minor priority junction. Where alternative pedestrian routes away from the junction are impracticable, facilities to be considered as part of the overall design process will normally be:-

- a. Unmarked crossing place preferably with a central refuge.
- b. Zebra crossing with or without central refuge.
- c. Pelican crossing.
- d. Subway or footbridge.

The type of facility selected should be in accordance with current recommendations and will be dependent upon the volume and movements of both pedestrians and traffic.

20. Crossing places and zebra crossings should normally be sited close to the junction but as far back from the 'give way' line on the minor road, as pedestrian convenience will reasonably allow, without sharp detours in their desired paths, to enable two cars to queue in the space behind the 'give way' line. This will also minimise the width of carriageway to be crossed by the pedestrian. A central refuge should also be provided where the road width permits, (see also para 34).

21. Pelican and zebra crossings should be sited in accordance with the advice given in Circular Roads 19/74.

22. Pedestrian guardrails should be used where necessary to control haphazard crossing of the traffic streams.

GEOMETRIC STANDARDS

Visibility Splays

23. At major/minor priority junctions visibility splays to the standards below should be provided at new junctions and aimed for at existing junctions. These will allow a driver entering the junction from a minor road, to have unobstructed visibility to the left and right along the major road, for a distance appropriate to the major road traffic speed, enabling him to safely judge when he may turn into or cross the major road. The visibility should be obtainable between points 1.05m above the road level over the area defined by:-

a. A line 9m long on the centre line of the minor road from the continuation of the line of the nearer edge of the carriageway of the major road. For lightly trafficked minor roads, (not housing estate roads), the dimension may be reduced to 4.5m in difficult circumstances.

b. A line of length given below measured along the nearer edge of the major road carriageway from its intersection with the centre line of the minor road:-

Distance (m)	Design Speed (Kph) of major road					
	120	100	80	60	50	
230	210	180	140	90		Rural setting
-	-	150	120	90*		Urban setting

*Where the major road is a district or local distributor. Where the major road is an access road a distance of 60m is acceptable.

c. A straight line joining the ends of the above lines.

These standards apply to new junctions and, where possible, to where site difficulties make it impossible to improve an existing standards, at least the dimension given in (b) above should align a point on the centre line of the minor road either in line with the highway boundary of the major road or 2m back from the edge whichever is the further back from the edge of the major road.

24. Where the major road is a dual carriageway with a central width to shelter traffic, the visibility splay to the left is not central reserve should be clear of obstructions for the length of It is advantageous to increase the distances (b) above by up to disadvantages in having too large a distance (a) above and it is provide a distance substantially more than 15m.

25. If the major road is one way, a single splay in the direction of traffic will suffice. If the minor road serves as a one-way exit no splay will be required providing forward visibility for turning

26. Dangerous conditions may arise if, despite the provision of parking spaces, vehicles are allowed to park within the splay lines thereby obstructing traffic. Where necessary, parking and access should be controlled to prevent essential traffic signs will need to be erected within the visibility splay. Care should be taken to minimise their obstructive effect.

Diverging lanes and right turn lanes

27. Diverging lanes are especially of value on higher speed (80 kph) roads when a vehicle slowing down to turn and leave the major road. Diverging lanes should be provided for left turning traffic when the volume of traffic turning is greater than 10% per day. Lower values than this may apply where junctions are situated on up gradients and where the proportion of heavy vehicles is high. For right turning traffic should always be provided on the offside of dual carriageway roads; this will also fulfil the function of a central reserve of dual carriageway roads; this will also fulfil the function of a right turn lane allowing vehicles to wait clear of other traffic in the gap in the oncoming traffic flow.

28. The recommended layout and dimensions for nearside and offside diverging lanes are given in Fig 1. Even if it is not practicable to provide the full recommended length shorter lengths are still of benefit but they should be at least half the recommended length.

29. Right turn lanes may also be provided on single carriageway roads. The installation of hatched markings to dia 1040.1. The length of the markings should depend upon the number of vehicles that are likely to be waiting for a gap at one time. The layout and dimensions of the markings are given in Fig 2.

Merging Lanes

30. Merging lanes should be formed by a 1:45 direct taper. They should be provided on higher speed (80 kph and above) dual carriageway roads when the left hand road flow is greater than 50% of the capacity of the movement (para 4.4). Their provision where flows are less than this value may be necessary where a large number of heavy vehicles are making the movement and the junction is

Our Ref: PL 6/5/86319
P.A. Reg. Ref: 91A/761

PM

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

R
18/9'

16 SEPT 91

Date: 13th September 1991.

Appeal re: Six houses at Bella Vista, Butterfield
Avenue, Rathfarnham, County Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within twenty-one days of the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Please quote the above appeal reference number in any further correspondence.

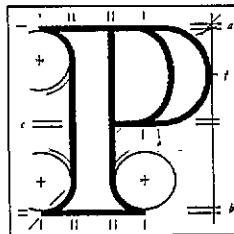
Yours faithfully,

Suzanne Lacey
Suzanne Lacey

Encl.

BP 553

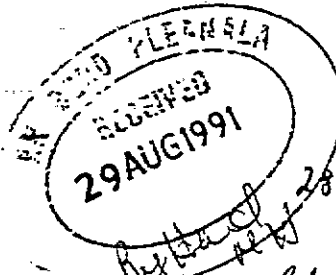
An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Dunluce
195 Butterfield Avenue
Rathfarnham
Dublin 14
Telephone 933075

AN BORD PLEANÁLA
FLOOR 3
BLOCKS 6 and 7,
IRISH LIFE CENTRE,
LR. ABBEY ST.,
DUBLIN 1



Your Ref. PL 6/5/86319
P.A Ref 91A/761

Appeal Re 6 Houses at "Sella Vista"
Butterfield Ave, Rathfarnham, Co. Dublin

Dear Sirs

Further to your letter dated
24/7/91 I have looked at the planning
authority documents and would comment as
follows:-

- (1) I note that the Roads Section issued
their first statement on June 17th and
recommended that quote "a permission
should be refused as the proposal would
endanger public safety by reason of traffic
hazard and obstruction to road users."
In their second letter they were still
opposed to the development. I am
pleased that the technical people have

AN BORD PLEANÁLA
FLOOR 3
BLOCKS 6 and 7,
IRISH LIFE CENTRE,
LR. ABBEY ST.,
DUBLIN 1



Dunluc
195 Butterfield Avenue,
Rathfarnham,
Dublin 14.
Telephone 933075

Your Ref. PL 6/5/86319
P.A Ref 91A/761

Appeal Re 6 Hours at "Sella Vista"
Butterfield Ave., Rathfarnham, Co. Dublin

Dear Sirs

Further to your letter dated
24/7/91 I have looked at the planning
authority documents and would comment as
follows:-

- (1) I note that the Roads Section issued their first statement on June 17th and recommended that, quote "a permission should be refused as the proposal would endanger public safety by reason of traffic hazard and obstruction to road users." In their second letter they were still opposed to the development. I am pleased that the technical people have

backed up what I felt as a lay person

(2) My house and "Bella Vista" are almost opposite Rathfarnham Garda Station and as there are no public parking facilities either at the station or on the station side of the road - the footpath outside my house and adjoining houses is used for parking by visitors to the station and often by gardai themselves. This causes congestion and the parked vehicles obscure sightlines. The proposed development in the garden of "Bella Vista" would further exacerbate the situation as parking facilities are limited. I would mention that when turning right into my house I am forced to block completely the westbound carriageway if oncoming traffic does not permit me immediate access to my driveway. It is also necessary for me to turn on lay by and reverse into my house. I quote from Roads Section Report that they "are opposed to backland development on such busy roads as they

RECEIVED
AUG 1991

3

will produce excessive turning movements"

(3) The density of the development is not compatible with properties in the surrounding area

(4) Noise and fumes from traffic on two sides of my dwelling would seriously injure my residential amenities. Here I would mention that should any development be permitted on the site the builder should be required to raise the boundary wall of my garden which adjoins the site from the existing height of 2' 6" to a minimum of 6 feet.

I trust you will keep me informed of developments.

Yours faithfully

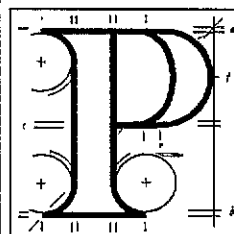
Patricia Rossan

29 AUG 1991

Our Ref: PL 6/5/86319
P.A. Reg. Ref: 91A/761

pk

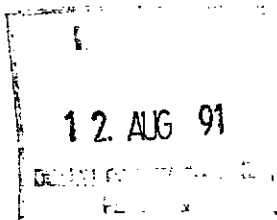
An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

14/8

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.



Date: 12th August 1991.

Planning authority decision re: proposed six houses at "Bellavista", Butterfield Avenue, Rathfarnham, County Dublin.

Dear Sir/Madam,

Enclosed is a copy of an appeal under the Local Government (Planning and Development) Acts, 1963 to 1990, in relation to the above-mentioned decision.

Any observations which you wish to make on the appeal should be conveyed, in writing, to the Board without delay.

As you are aware, the planning authority's decision in the matter is already the subject of an appeal to the Board.

Please quote the above appeal reference number in any further correspondence.

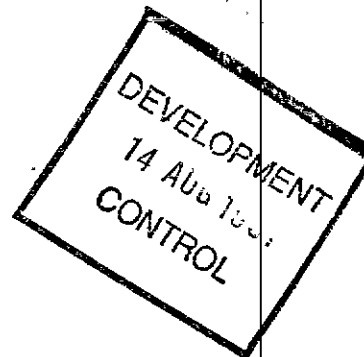
065

Yours faithfully,

Suzanne Lacey
Suzanne Lacey

Encl.

BP 004



82 FAIRWAYS,

RATHFARNHAM,

DUBLIN 14.

1st August 1991

An Bord Pleanala,
Floor 3,
Blocks 6 and 7,
Irish Life Centre,
Lower Abbey Street,
DUBLIN 1.

Dear Sir,

re: PROPOSED 6 NO. HOUSES AT BELLA VISTA
BUTTERFIELD AVENUE, RATHFARNHAM FOR GRACEDALE LTD.
Register Reference No. 91A/0761

I wish to appeal against the decision of the Planning Department to grant permission for the above subject to 25 conditions and I attach a cheque for £50 accordingly.

The reasons for my appeal are as follows:

1. The density of the proposed development is not compatible with the properties in the surrounding area.
2. The size of the gardens in the proposed development does not comply with the standards in the Development Plan - para 3.8.3.
3. There is inadequate room to provide for a proper public open space.
4. The turning circle for cars is inadequate bearing in mind the residential nature of the proposed development and the potential use of cars both the owners of and visitors to the houses.
5. Proximity to the back gardens of the existing houses in Fairways interferes with the privacy and amenities of these properties.
6. The gable end of the proposed house No. B6 is much too close to the boundary of the existing houses in Fairways.
7. It is not known what the ridge height of houses Nos. 5 and 6 will be nor is any height stipulated in special condition No. 21.

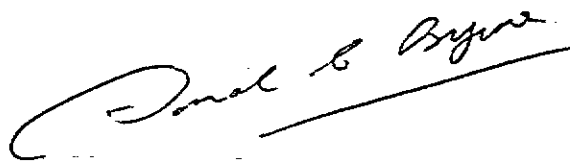
By Council letter
11/8/91
£50 chq.
B24214

8. Special conditions Nos. 14 and 15 do not provide adequate protection against the risk that mature trees along the northern boundary (such as those of my own) will be damaged by the applicant. At minimum a deposit of £5,000 should be lodged by the applicant prior to commencement to be used by the County Council as a fine and to offset the cost of replacing damaged trees.

9. The proposed access from the development on to Butterfield is totally inadequate and is at a point where it constitutes an accident hazard. The movement of traffic in/out of the proposed development onto a very busy and speedy traffic flow would pose a real danger to both the residents and public at large with the potential for serious personal injuries. It is clear from special condition 19 (b) that this most important point has not been properly addressed.

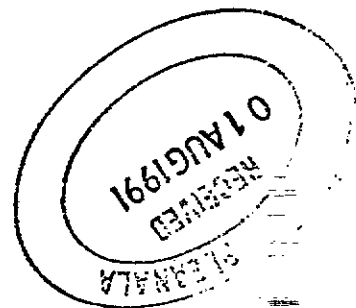
I should be obliged if you would kindly advise me of your decision.

Yours faithfully,



DONAL C BYRNE


dc5714
attachment



8. Special conditions Nos. 14 and 15 do not provide adequate protection against the risk that mature trees along the northern boundary (such as those of my own) will be damaged by the applicant. At minimum a deposit of £5,000 should be lodged by the applicant prior to commencement to be used by the County Council as a fine and to offset the cost of replacing damaged trees.
9. The proposed access from the development on to Butterfield is totally inadequate and is at a point where it constitutes an accident hazard. The movement of traffic in/out of the proposed development onto a very busy and speedy traffic flow would pose a real danger to both the residents and public at large with the potential for serious personal injuries. It is clear from special condition 19 (b) that this most important point has not been properly addressed.

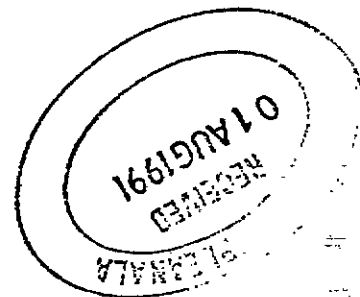
I should be obliged if you would kindly advise me of your decision.

Yours faithfully,



DONAL C BYRNE

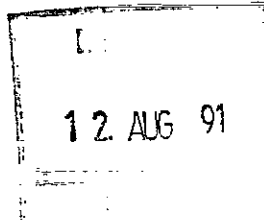
dcb714
attachment



Our Ref: PL 6/5/86319
P.A. Reg. Ref: 91A/761

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 12th August 1991.



Appeal re: Six houses at "Bellavista", Butterfield Avenue, Rathfarnham, County Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within twenty-one days of the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Please quote the above appeal reference number in any further correspondence.

Yours faithfully,

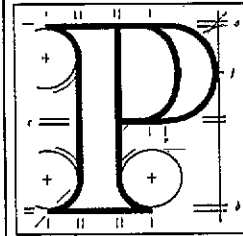

Suzanne Lacey

Encl.

BP 553



PL
14/18
An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

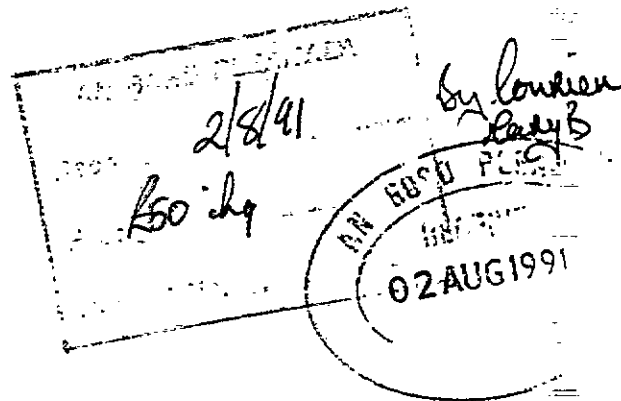
obs

Stewart + Sinnott Studio

Architects, Town Planners, Energy & Leisure Consultants.
Clare House, 14 Windsor Place, Dublin 2.
Tel: (01) 614482 / 614862 Fax: (01) 616644

An Bord Pleanála,
Floor 3, Blocks 6 & 7,
Irish Life Centre,
Lr. Abbey Street,
Dublin 2.

17 July 1991



Re: Planning Application by Gracedale Limited for 6 semi-detached dwellings at "Bella Vista", Butterfield Avenue, Rathfarnham, Dublin 14.
Developers: Anglesea Developments
Reg. Ref. No. 91A/0761

Dear Sirs,

I am instructed by Mrs. P. Lauder, of "Dunfirth", Butterfield Avenue, to object to the above proposed development.

I am informed that a decision to grant Planning Permission was issued by Dublin County Council on 12th. July 1991.

Mrs. Lauder's property is adjacent to this site which is separated from this development by a private driveway to "Butterfield" House.

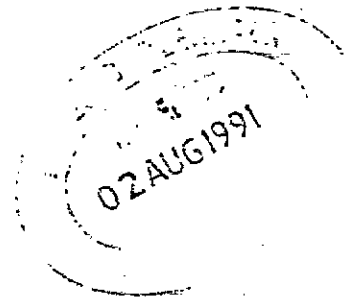
This property is zoned "A" (protect and improve residential amenity) in Dublin County Council's 1983 Development Plan.

The reasons for her objections are as follows:-

1). Density.

This development is squashed into this small site, which is the rear garden of a private dwelling at "Bella Vista". The development is extremely high in density and it allows very little space for rear, front and side gardens.

pto/.....



contd/....

2). Proximity of Development to Service Road and Private Driveway of "Butterfield House".

The foot paths and service road to this development are narrower than the normal widths and the proposed development is to be built right up to the foot path. This leaves the houses very close to the laneway.

This causes the development to encroach very close to the southern boundary which overlooks "Dunfirth", especially the two-storey dormer dwellings.

3). Proximity of houses to existing mature trees along boundary.

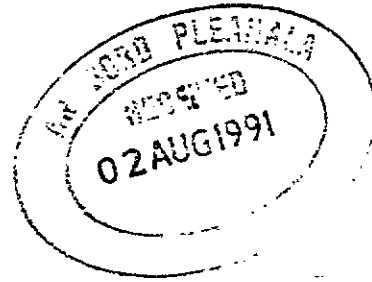
Because of the way these houses are laid out it is not possible for these mature trees to be protected from damage. The likelihood of damage occurring during construction, the effect of foundations on roots of trees, and the proposed service road laid over the roots of these trees causing serious damage.

Because of the proximity of the houses to these trees, there is a likelihood of some being removed over the years because of the danger of trees falling.

4). First floor dormer windows which face directly onto "Dunfirth".

These windows overlook "Dunfirth" and will encroach on the privacy of this property. The trees provide partial screening during the summer months but in the winter these deciduous trees, having shed their leaves, open up visibility between the properties.

pto/.....



contd/.....

5). Traffic hazard at entrance.

The entrance to this property from the main road is dangerous. This access for six houses will create a traffic hazard.

We are of the opinion that one bungalow is all that is reasonably possible to accommodate on this rear garden site. Gracedale Limited have recently purchased this property and are obviously trying to inflate the value of this site.

We would be obliged if you could keep us informed of any further developments in this planning application.

Yours faithfully,

A handwritten signature in cursive script, appearing to read "Duncan Stewart".

Duncan Stewart, B.Arch., M.R.I.A.I., Dip.Arb.Law

Our Ref: PL 6/5/85074
P.A. Ref: 90A/2096

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 26th July 1991.

Appeal re: Erection of a petrol filling station at
Firhouse Road West, Tallaght, County Dublin.

Dear Sir/Madam,

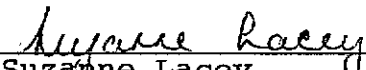
An Bord Pleanála has been requested by you under
article 44 of the Local Government (Planning and
Development) Regulations, 1977, to hold an oral
hearing of the above-mentioned appeal.

Notice is hereby given, pursuant to section 15 of
the Local Government (Planning and Development) Act,
1983, that the Board has decided to determine the
appeal without an oral hearing.

In accordance with the provisions of subsection (3)
of the said section 15, you are now required to make
(within a period of fourteen days beginning on the
date of service of this notice) to the Board, in
writing, such submissions or further submissions (if
any) as you think fit in relation to the appeal.

The Board will not proceed to determine the appeal
until after the expiration of the said period of
fourteen days.

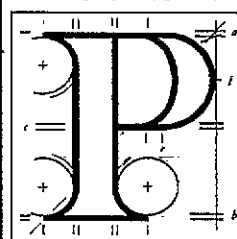
Yours faithfully,


Suzanne Lacey

BP 257

Registered Post

PA
An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

29 JUL 91

COMHAIRLE CHONTAE ATHA CLIATH

Tel. 724785
Ext. 258/269

Planning Department
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

Your Ref. 6/S/80319
Our Ref. 91A-761

01.08.91

An Bord Pleanála,
Blocks 6 and 7,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) ACTS, 1963 TO 1983

PROPOSAL SIX HOUSES AT BCLVA VISTA, BUTTERFIELD TUE,
RATHFARHAM, CO. DUBLIN.
APPLICANT GIRACEDALE HOI

Dear Sir,

With reference to your letter dated 24.07.91 I enclose herewith:-

- (1) & (2) A copy of the application which indicated the applicant's interest in the land or structure.
- (3) A copy of the public notice given, i.e. IRISH PRESS 08.05.91
- (4) The plan(s) received from the applicant on 12.05.91
- (6) & (7) A certified copy of Manager's Order P/3127/91 together with technical reports in connection with the application.

Yours faithfully,

M. Muntagh
for PRINCIPAL OFFICER

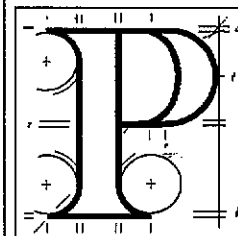
Encs.

Our Ref: PL 6/5/86319
Your Ref: 91A/761

215

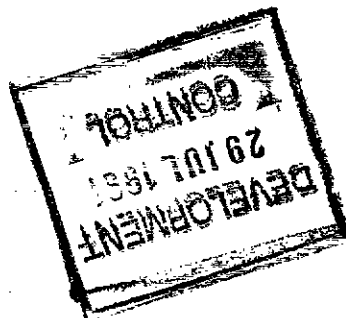
pa

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.



Date: 24th July 1991.

Planning authority decision re: Six houses at Bella Vista, Butterfield Avenue, Rathfarnham, County Dublin.

Dear Sir/Madam,

Enclosed is a copy of an appeal under the Local Government (Planning and Development) Acts, 1963 to 1990, in relation to the above-mentioned decision. So that consideration of the appeal may proceed, you are requested to forward to the Board within two weeks:

- (1) The application made to the planning authority.
- (2) Particulars of the applicant's interest in the land or structure, as supplied to the planning authority.
- (3) A copy of the public notice, whether published in a newspaper or on the site.
- (4) Any drawings, maps, particulars, information, evidence or written study received or obtained from the applicant, including the ordnance survey number.
- (5) Copies of requests (if any) to the applicant for further information relating to the application under appeal and copies of reply and documents (if any) submitted in response to such requests.
- (6) A certified copy of the relevant Manager's Order.
- (7) Copies of any technical or other reports relevant to the decision on the application.
- (8) Particulars and relevant documents relating to previous decisions affecting the same site or relating to applications for similar development close by.

24 JUL 91

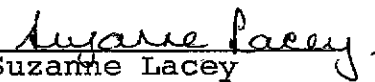
Please note that the other party/parties to the appeal are being notified that copies of the planning authority documents relevant to the decision which gave rise to the above-mentioned appeal will be available for inspection at your offices after the expiration of a period of fourteen days from the date of this letter. It would be appreciated if parties could be facilitated in this regard.

Copies of the representations or observations made to the planning authority in relation to the application should not be sent to the Board. It is assumed that the planning authority has notified observers of the decision made and of the right of appeal.

The planning authority may make to the Board, in writing, such observations on the appeal as it thinks fit. Where practicable, any such observations should be submitted with the documents listed above but the furnishing of the documents should not be held up until observations are available. In any event, to ensure that they will be taken into account in the determination of the appeal, any such observations should be furnished within one month of the date of this letter.

Please quote the above appeal reference number in any further correspondence.

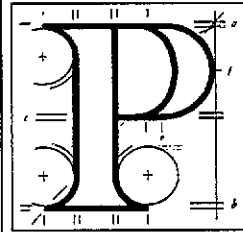
Yours faithfully,


Suzanne Lacey

Encl.

BP 005

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Dunluc
195 Butterfield Avenue
Rathfarnham
Dublin 14
Telephone 933075

Secretary.
AN BORD PLEANÁLA

FLOOR 3, BLOCKS 6 & 7 18th July 91
Trust Life Centre
R.R. Abbey St.
DUBLIN 1

18/7/91
£50.00
B23994

DEAR SIR / Madam

I live in "Dunluc",
195 Butterfield Ave, Rathfarnham Dublin 14.

The County Council have granted
planning permission for 6 houses to the
side of my house by order 17/7/91
(Reg. Ref. 91A/0761). I wish to lodge
an appeal against this decision on the
following grounds:-

- ① the proposed entrance adds to the traffic
hazard on a busy road where vehicles
travel at high speed
- ② I find it impossible to reverse out of
my own gateway and the extra

2

turning movements in and out of
proposed entrance would lead to a
traffic hazard

- ③ noise and fumes from traffic on two
sides of my house would seriously
injure my residential amenities and
detract from the enjoyment of my
dwelling house.

I enclose cheque of 50 and
await hearing from you

Yours faithfully

Patricia Crossan

PG



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Fitzgerald Reddy & Assocs.,
26, Upper Mount Street,
Dublin 2.

Reg. Ref. 91A-0761

12 July 1991

Re: Proposed 6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham for Gracedale Ltd.

I, the undersigned, hereby acknowledge receipt of Notification of Decision, dated 12 July 1991, in connection with the above.

Signed:

Enet Keogh

On behalf of:

(Name)

FRIA

(Address)

26 Upper Mount St.
Dublin 2

I hereby certify that the above Notification, dated 12 July 1991, was handed by me to the above signed today.

SIGNED:

Raul J. J. J.

DATED:

12/7/91

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To Fitzgerald Reddy & Associates, Decision Orderp/3127/91 - 12.07.1991
26, Upper Mount Street, Number and Date
Dublin 2. Register Reference No. 91A-0761
Applicant Gracedale Ltd. Planning Control No.
Application Received on 13.05.1991
Floor Area: 320 sq. m. approx.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-

6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS

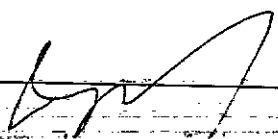
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.
3. That each proposed house be used as a single dwelling unit.
4. That a financial contribution in the sum of £4,260.00 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

(Continued)

REASONS FOR CONDITIONS

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. In order to comply with the Sanitary Services Acts, 1878-1964.
3. To prevent unauthorised development.
4. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

Signed on behalf of the Dublin County Council


For Principal Officer

Date 12.07.1991

IMPORTANT: Turn overleaf for further information

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/~~Application~~

Local Government (Planning and Development) Acts, 1963-1983

To Fitzgerald Reddy & Associates, Decision Order p/3127/91 - 12.07.1991
26, Upper Mount Street, Number and Date
Dublin 2. Register Reference No. 91A-0761
Planning Control No. _____
Application Received on 13.05.1991
Applicant Gracedale Ltd. Floor Area: 320 sq. m. approx.

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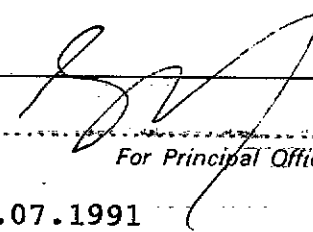
6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
(Continued)	
7. That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.	7. In the interest of amenity.
8. That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by the County Council.	8. In the interest of amenity and public safety.
9. That no dwelling house be occupied until all the services have been connected thereto and are operational.	9. In the interest of the proper planning and development of the area.

(Continued)

Signed on behalf of the Dublin County Council


For Principal Officer

12.07.1991
Date

IMPORTANT: Turn overleaf for further information

(Continued)

CONDITIONS

REASONS FOR CONDITIONS

10. That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. The applicant should note that the proposed watermain layout is unacceptable. The applicant is to agree a revised watermain layout with the Area Engineer, Sandyford (Tel. 955087) prior to the commencement of development.

11. That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council, Sanitary Services Department and that the cost thereof be paid to the County Council before any development commences.

12. That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

13. That a financial contribution in the sum of £6,000 (i.e. £1,000 per house) be paid by the proposer to the Dublin County Council towards the cost of provision and/or development of public open space in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

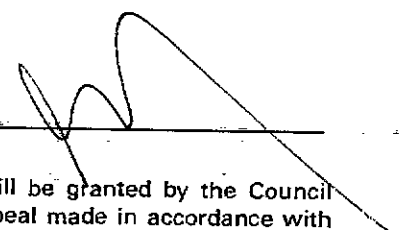
(Continued)

10. In order to comply with the Sanitary Services Acts 1878-1964.

11. To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

12. In the interest of the proper planning and development of the area.

13. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.



NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To Fitzgerald Reddy & Associates, Decision Orderp/3127/91 - 12.07.1991
26, Upper Mount Street, Number and Date
Dublin 2. Register Reference No. 91A-0761
Planning Control No. 13.05.1991
Application Received on
Applicant Gracedale Ltd. Floor Area: 320 sq. m. approx.

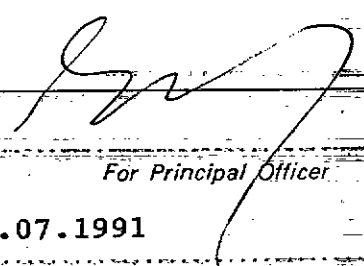
In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-

6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham.

SUBJECT TO THE FOLLOWING CONDITIONS

(Continued) CONDITIONS	REASONS FOR CONDITIONS
<p>14. That all trees which it is proposed to retain as part of the development within the site, and trees on lands adjoining the site be given adequate protection during the course of construction. In this regard protective fencing should be erected around the trees within the site, (fencing should consist of a 1.5 metre high rigid fence).</p> <p>15. A 2.3 metre high screen is to be provided along the northern boundary of the site. This is to tie in with the existing boundary walls. Details of the proposed screen are to be agreed with the Planning Authority prior to the commencement of development. The applicant should note that proposed boundary treatment should not endanger the stability of existing trees in this area.</p>	<p>14. In the interest of the proper planning and development of the area.</p> <p>15. In the interest of the proper planning and development of the area.</p>

(Continued)



Signed on behalf of the Dublin County Council

For Principal Officer

12.07.1991
Date

IMPORTANT: Turn overleaf for further information

(Continued) CONDITIONS

REASONS FOR CONDITIONS

16. That a 2 metre high screen wall (capped and rendered) be provided along the western boundary so as to screen the rear garden from public view.

16. In the interest of residential amenity.

17. That prior to the commencement of development applicant is to submit to the Planning Authority details of proposed surfaced treatment for access driveway and the strip of land which runs parallel and to the south of this driveway for its written agreement. Proposed surface treatment should ensure the viability of the trees on the adjoining lands. If tarmacadam is proposed rather than a permeable surface on the access roadway, the applicant should ensure that run off from the road is directed towards the trees.

17. In the interest of the proper planning and development of the area.

18. That the 1.4 metre wide strip provided for between houses nos. 2 and 3 be commonly owned within the property boundaries of houses nos. 2 and 3.

18. To enable free access to the rear of both properties and to facilitate maintenance of properties.

19. That the following requirements of the Roads Department are to be adhered to in the development:

19. In the interest of road safety.

(a) The pole at the entrance to be removed and resituated outside vehicle path and vision splay lines at the applicant's expense.

(b) Access details to be agreed with Roads Department prior to commencement of development.

(Continued)

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

FUTURE PRINT LTD.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/
Local Government (Planning and Development) Acts, 1963-1983

To Fitzgerald Reddy & Associates,
26, Upper Mount Street,
Dublin 2.

Decision Order p/3127/91 - 12.07.1991
Number and Date

Register Reference No. 91A-0761

Planning Control No.
Application Received on 13.05.1991

Applicant Gracedale Ltd.

Floor Area: 320 sq. m. approx.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-

6 no. houses at Bella Vista, Butterfield Avenue, Rathfarnham.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
<p>(Continued)</p> <p>20. That a financial contribution in the sum of £800 per unit be paid by the proposer to the Dublin County Council towards traffic management schemes in the area of the proposed development which will facilitate this development; this contribution to be paid before the commencement of development on the site.</p> <p>21. The ridge height of houses Nos. 5 & 6 is to be reduced by reducing angle of roof pitch. Details to be submitted to the Planning Authority for agreement prior to the commencement of development.</p> <p>22. That 2 no. off-street car parking spaces be provided for each house (including "Bella Vista" as shown on the site layout plan (Drg. No. 91.27.P01).</p> <p>(Continued)</p>	<p>20. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.</p> <p>21. In the interest of residential amenity.</p> <p>22. In the interest of the proper planning and development of the area.</p>



Signed on behalf of the Dublin County Council

For Principal Officer

Date 12.07.1991

IMPORTANT: Turn overleaf for further information

(Continued) CONDITIONS	REASONS FOR CONDITIONS
<p>23. A landscaping scheme for the site is to be submitted for the written agreement of the Planning Authority prior to the commencement of development.</p>	<p>23. In the interest of visual amenity.</p>
<p>24. That the existing boundary wall to the north of house No. 6 be increased to 2 metres in height. This wall is to be capped.</p>	<p>24. In the interest of residential amenity.</p>
<p>25. Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.</p>	<p>25. In the interest of reducing air pollution.</p>

NOTE:

If there is no appeal to An Bord Pleanála against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

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Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0761

Date : 15th May 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : 6 no. houses

LOCATION : Bella Vista, Butterfield Avenue, Rathfarnham.

APPLICANT : Gracedale Ltd.

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received on 13th May 1991.

Yours faithfully,

.....

PRINCIPAL OFFICER

Fitzgerald Reddy & Associates,
26 Upper Mount Street,
Dublin 2.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building "BELLVISTA" BUTTERFIELD AVENUE RATHFARNHAM, DUBLIN 14
(If none, give description sufficient to identify) RATHFARNHAM, DUBLIN 14

3. Name of applicant (Principal not Agent) GRACEDALE LTD
Address 3 THE FIELDS TERRACE, RATHGAR, D. 6

4. Name and address of person or firm responsible for preparation of drawings FITZGERALD REDDY & ASSOCS
26 UPPER MOUNT ST. D. 2 Tel. No 764127

5. Name and address to which notifications should be sent FITZGERALD REDDY & ASSOCS
AS ABOVE

6. Brief description of proposed development 6 DWELLING HOUSES

7. Method of drainage PUBLIC SEWER. Source of Water Supply EXISTING

9. In the case of any building or buildings to be retained on site, please state:
(a) Present use of each floor or use when last used. RESIDENTIAL
(b) Proposed use of each floor NO CHANGE

CO. DUBLIN
Permission sought for 6 No. houses at Bella Vista, Butterfield Ave. Rathfarnham on behalf of Gracedale Ltd

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

8/5/91
Irish Press
11. (a) Area of Site 2000 m² approx Sq. m.
(b) Floor area of proposed development 320 m² approx Sq. m.
(c) Floor area of buildings proposed to be retained within site 152 m² approx Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) CONTRACT TO PURCHASE

13. Are you now applying also for an approval under the Building-Bye Laws?
Yes No Place in appropriate box DUBLIN COUNTY COUNCIL

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
REC SEED COVER LETTER

15. List of documents enclosed with application.
10 MAY 1991
SEE COVER LETTER 192
N 37572

16. Gross floor space of proposed development (See back) N/A Sq. m.

No of dwellings proposed (if any) 6 No. Class(es) of Development CLASS 1
Fee Payable € 522 Basis of Calculation €32.00 + €55.00 x 6 = € 522
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Paul Ferguson Date 6 May 91

Application Type P/BBL FOR OFFICE USE ONLY
Register Reference 91A/0761
Amount Received € 22/0 = 240.48
Receipt No
Date

RECEIVED
MAY 1991
N 37572

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00
		Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

MHAIRLE CHONTAE ÁTHA CLIATH

PAID BY

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET
DUBLIN 1.

Issue of this receipt is not an acknowledgment that the fee tendered is the prescribed application fee. N^o 39572

- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

£192.00

Received this

13th

day of

May

1991

from

Angela Homes Ltd.

the sum of

one hundred and ninety two

Pounds

Pence, being

for for

planning application at

Butterfield Ave.

Ardee, Co. Down

Cashier

S. CAREY
Principal Officer

Class 1x6

RECEIPT CODE

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

BYE LAW APPLICATION.

REC. No. N 39258

CASH
CHEQUE
M.O.
B.L.
I.T.

£330 00

Received this 13th day of May 1991

from Mr. Glace James

the sum of Three hundred and thirty Pounds
Pence, being Nil

eye-law application at
Butterfield Av.
Moore Deane

S. CAREY
Principal Officer

Cashier

PD/mh

7th May 1991

Job Ref: 91-27 (A3j)

The Planning Officer,
Dublin Corporation,
Planning Department,
Block 2,
Irish Life Mall,
Lr Abbey St.,
Dublin 1.

Re : Proposed Development of Six Houses at 'Bellavista', Butterfield Avenue,
Rathfarnham, Dublin 14.

Dear Sirs,

On behalf of our clients, Gracedale Ltd., we wish to apply for Planning Permission and Building Bye-Law Approval for 6 houses at 'Bellavista', Butterfield Avenue, Rathfarnham, Dublin 14.


In support of our application, we hereby submit the following information:-

1. 4 No. Copies of our Drawings No's 90-27-P01 to 90-27-P04 inclusive.
2. 4 No. Copies Outline Specification
3. 4 No. Copies of Engineers Drawings and Calculations
4. Completed Application Form
5. Newspaper Notice - Irish Press dated 8th May 1991
6. Cheque to Dublin Corporation for £522.00
7. Tree Surgeons Report

It is the practice of this office to take account of the Proposed Building Regulations, as issued by the Minister for the Environment in the design of buildings, but this is not to be interpreted as a guarantee that the provisions of the Proposed Building Regulations, have been implemented in full or in any particular respect in this proposal.

We trust the enclosed is in order and look forward to a successful resolution to this application.

Yours faithfully,


Paul Duggan

FITZGERALD REDDY & ASSOCIATES



Report on the possible effects of site development on the trees at Bella Vista, Butterfield Avenue, Rathfarnham and the effect on those trees on the Southern and Western boundaries but located in the adjoining property of Butterfield House.

Patricia Tyrrell (B.Agr.Sc.Land.Hort),
144 Lakelands,
Naas,
Co. Kildare.

Ph: 045-75559.

The trees within the property of Bella Vista are mainly coniferous, consisting of young *Cupressocyparis Leylandii*, *Cupressus macrocarpa* and *Chamycyparis Lawsoniana* of no particular visual or aesthetic value. In the North-Eastern corner close to the existing house there is a fine specimen of *Betula alba* which should be protected during development work by fencing, enclosing the area covered by the spread of the tree.

On the Southern boundary outside the property there are ten mature trees and five younger trees some of a suckering nature. There is also a large specimen of *Acer pseudoplatanus* on the Western boundary and two smaller ones on the Northern boundary. Between the development site and these trees a wall 6ft in height has been built severing the roots of the trees to the depth of the walls foundation.

Because the trees are mainly mature and not growing actively, they have not replaced the lost roots on the Bella Vista side, as evidenced by test holes dug in the vicinity of the wall.

A driveway on the Southern side of the site can therefore cause no further damage to the roots at this level. There are, no doubt, roots at a greater depth and the foundation for the driveway should be no deeper than the foundation for the existing wall.

Ideally the driveway should be of a permeable nature using material such as cobblelock, setts, brick, or gravel. If tarmac is employed, some of the run-off from the built area should be re-directed towards the trees to compensate for the lack of permeability of the tarmac.

Two other *Acer pseudoplatanus* are growing on the Northern boundary where no wall exists to interfere with the roots. These should be fenced, during construction, out to the drip-line of the trees to protect the roots.

At the Western end of the site the trees bounding the site overhang this area by up to 8m and would therefore overhang any proposed building at this end. To avoid undue lopping of branches the building should be single-storey at this end.

In summary, the roots of the boundary trees will not be directly affected by construction but may suffer a reduction in soil-water levels due to the increase in hard-surfacing. Re-direction of surface water to the area of the trees and from there to the surface-water sewers would help to compensate for this.

Buildings should be single-storey in the area of overhanging branches. The trees within the site as mentioned above should be fenced out to the drip-line for protection during construction.



O'CONNOR SUTTON CRONIN

Consulting Engineers

25 LOWER MOUNT STREET, DUBLIN 2.



O'CONNOR SUTTON CRONIN

Consulting Civil and Structural Engineers

25 LOWER MOUNT STREET, DUBLIN 2.

Telephone: 609977
Fax: 609414

**HOUSING DEVELOPMENT
AT BELLA VISTA
BUTTERFIELD AVENUE
RATHFARNHAM
GRACEDALE LIMITED.**

STRUCTURAL CALCULATIONS.



O'Connor Sutton Cronin and Associates Limited

Directors:

John V. O'Connor	Master of Science, Chartered Engineer, Fellow of the Institution of Structural Engineers. Fellow of the Institution of Engineers of Ireland, Barrister-at-Law.
Pearse C. Sutton	Bachelor of Science (Engineering), Chartered Engineer, Member of the Institution of Engineers of Ireland, Member of the Association of Professional Engineers at Saskatchewan, Canada, Member of the Institution of Structural Engineers.
Kevin A. Cronin	Bachelor of Science (Engineering), Chartered Engineer, Member of the institution of Engineers of Ireland, Member of the Institution of Structural Engineers.



**O'CONNOR
SUTTON CRONIN**

25 Lower Mount Street, Dublin 2.
Tel: 609977. Fax: 609414

Contract

Haras Belle Vista Pottsville

Job ref.

Part of structure

INDEX

Calc. Sheet No.

Drawing ref.

Calculations by

PS.

Checked by

Date

MAY '91

Members
ref.

CALCULATIONS

OUTPUT

INDEX

PAGE

Damen Brugden First Floor Design

1.

Damen Roof Design

2-3.

Typical Foundation Design

10

Brugden Roof Design

11.

Typical Lintel Support

12.



**O'CONNOR
SUTTON CRONIN**

25 Lower Mount Street, Dublin 2.
Tel: 609977. Fax: 609414

Contract

Houses at Bolla Vista

Job ref.

Part of structure

Calc. Sheet No.

Drawing ref.

Calculations by

Checked by

Date

PS.

May '91.

Members
ref.

CALCULATIONS

OUTPUT

First Floor

Dead load = 0.45 k/m²

LL = 1.5 k/m²

2.25 k/m²

Sea grade

Bed in = 4.1 m

Max span = 4m

Joists @ 400/c $\Rightarrow M = 2.25 \times 0.4 \times 4^2 / 8 = 1.8 \text{ kNm}$

Req'd = $18 \times 10^6 / 1.1 \times 4.1 = 399 \text{ cm}^2$

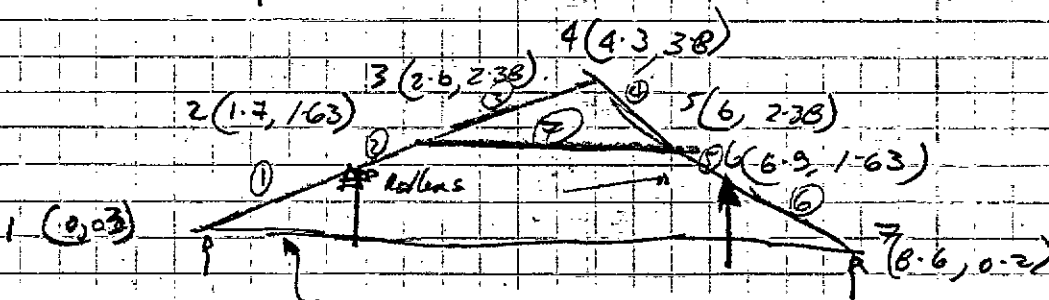
$\Rightarrow 225 \times 50 @ 400/c \text{ SCH.}$
OR

If SCA grade.

Req'd = 292

$\Rightarrow 44 \times 200 @ 400/c$

Check Foot loads.



Note ties etc to be
used to provide
continuous tie

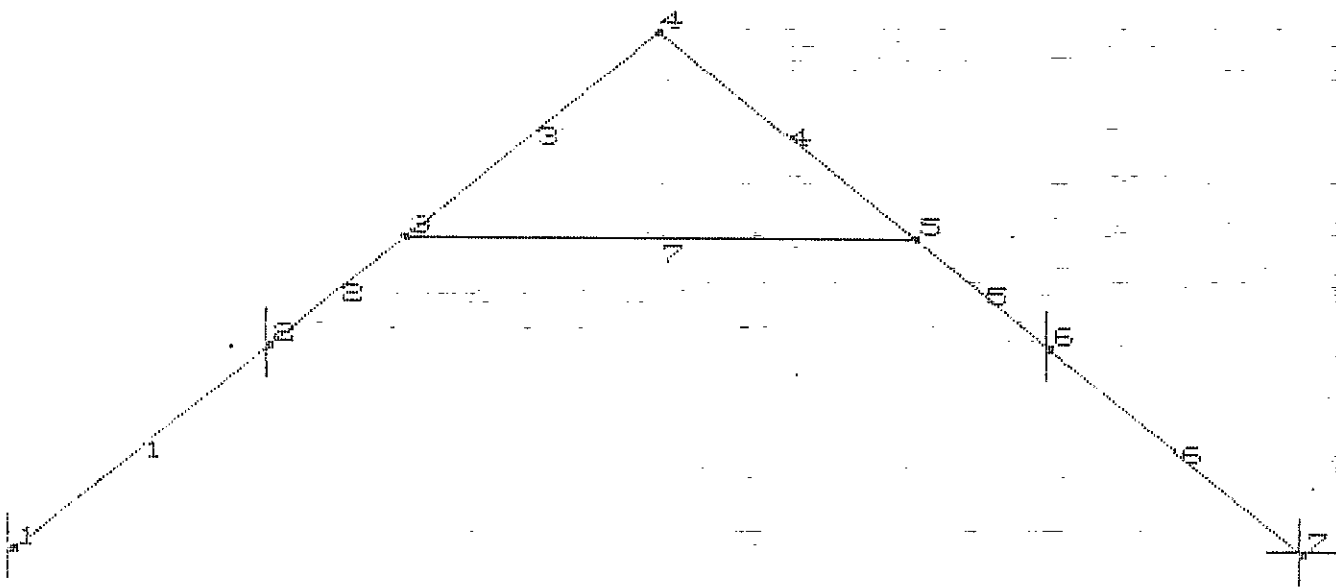
DONNOR SUTTON CRONIN

PAGE 1 2
JOB NO. 1
RUN NO. 1
AUTHOR PS
DATE 4/5/91

BELLA VISTA

EN102: PLANE FRAME ANALYSIS V3.2
Units: S.I. METRIC (Concrete)

(c) ENCAD SYSTEMS LTD. 1987
Data File: BELLA1



5 m 38.88148
BELLA VISTA

Material Properties

MEMBER NO.	TABLE REF./ DESCRIPTION	YOUNG'S MODULUS (kN/mm ²)	POISSON'S RATIO	COEFFICIENT OF THERMAL EXP. (/ Deg C)	WEIGHT/UNIT VOLUME (kN/m ³)
	TIMBER	8	.250	5.000E-06	5.4

Joint Co-ordinates

JOINT	X (m)	Z (m)
1	.000	.200
2	1.700	1.630
3	2.600	2.380
4	4.300	3.800
5	6.000	2.380
6	6.900	1.630
7	8.600	.200

D'ONNOR SUTTON CRONIN

PAGE 2 3
JOB NO. 1
RUN NO. 1
AUTHOR PS
DATE 4/5/91

BELLA VISTA
ROOF

EN02: PLANE FRAME ANALYSIS V3.2
Units: S.I. METRIC (Concrete)

(c) ENCAD SYSTEMS LTD. 1987
Data File : BELLA1

Section Properties

N.B. If a Shear Area value field is null (empty), shear distortions are ignored in the analysis.

SECTION NO.	REFERENCE	AREA Ax (mm ²)	Iy (mm ⁴)	zMAX (mm)	Az SHEAR AREA (mm ²)
	DESCRIPTION				
1	150*44	6.600E+03	1.238E+07	7.500E+01	6.600E+03

Member Incidences

MEMBER NO.	START NODE	END NODE	LENGTH (m)
1	1	2	2.221
2	2	3	1.172
3	3	4	2.215
4	4	5	2.215
5	5	6	1.172
6	6	7	2.221
7	7	8	3.400

Member Details

MEMBER NO.	y AXIS FLEXURE TYPE NO.	SECTION GROUP	MATERIAL GROUP
1	FF	1	1
2	FF	1	1
3	FF	1	1
4	FF	1	1
5	FF	1	1
6	FF	1	1
7	PP	1	1

Support Stiffnesses

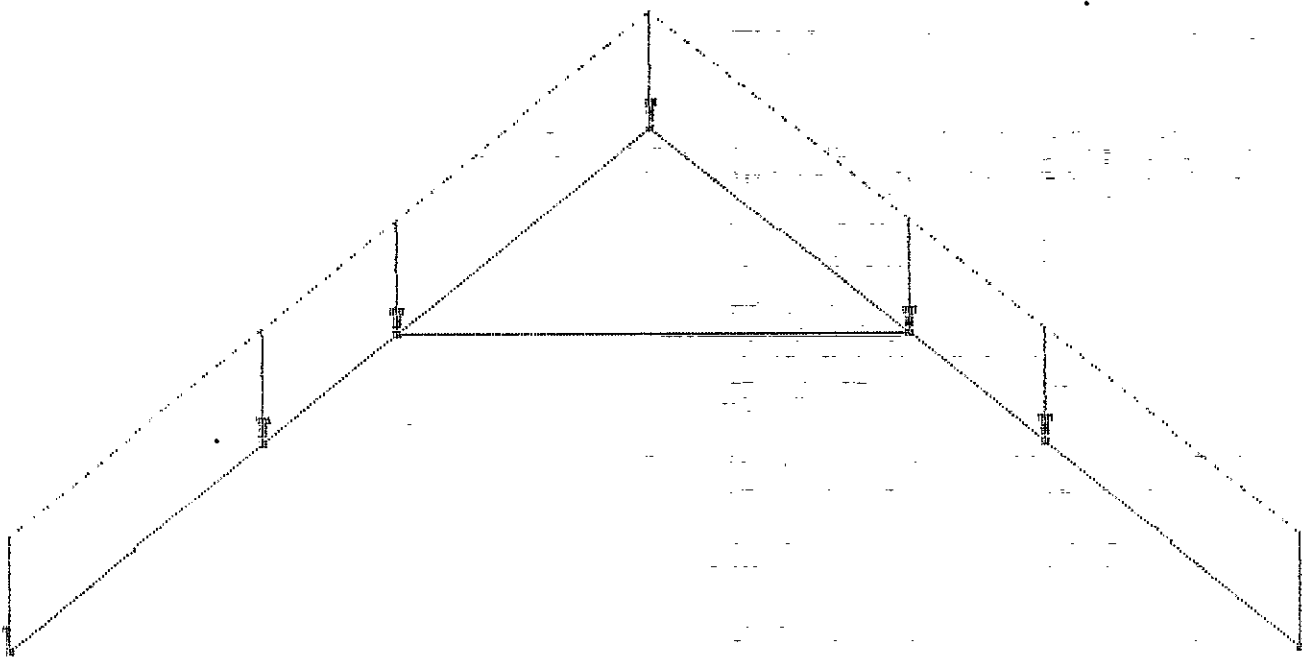
N.B. If the specified support settlements and stiffnesses conflict, then the settlements override the stiffnesses.

JOINT	KLX (kN/mm)	KLZ (kN/mm)	KRY (kNm/rad)
1	0	R	0
2	0	R	0
3	0	R	0
4	0	R	0
5	0	R	0
6	0	R	0
7	0	R	0
8	0	R	0

BELLA VISTA
ROOF

EN102: PLANE FRAME ANALYSIS V3.2
Units: S.I. METRIC (Concrete)

(c) ENCAD SYSTEMS LTD. 1987
Data File : BELLA1



B1 : D+L

DetXZ 5.E-001kN/m

1.576743
28.68148

5m

BELLA VISTA

Basic Load Case B1 : D+L

Load Groups

PLANE FRAME LOAD TYPES	VALUE 1	VALUE 2	VALUE 3	VALUE 4
JF=Joint Forces	FX	FZ		
JM=Joint Moments	MY			
F?=Point Forces	F?	L		
MX=Point Moments	MX	L		
U?=Uniformly Distributed	U?			
T?=Triangularly Distrib. Load	T?			
V?=Variably Distributed Load	V?1	L1	V?2	L2
t =Temperature Elevation	t			
g =Gravitational Loading	gX	gZ		
Pz=Prestressing Force	Pz	eZs	eZm	eZe

N.B. 1. ? is one of X,Z (global directions) or x,z (member directions).

X is one of Y (global directions) or y (member directions).

2. VALUES are load intensities except that:-

L,L1,L2 are distances along the member from END1 joint.

t is the temperature elevation of the group of members in degrees.

gX,gZ are 'g' factors: gZ=-1 for normal gravity loading.

eZs,eZm,eZe are tendon offsets from the centroid at the start,middle and end of the member.

3. JOINT/MEMBER LIST '9,26;2-6*2,40-30*5' means '9,26,274,6,40,35,30'

TYPE MEMBER/JOINT LIST VALUE 1 VALUE 2 VALUE 3 VALUE 4

1 UZ 1-6 5.000

BELLA VISTA
 ROOF

EN102: PLANE FRAME ANALYSIS V3.2
 Units: S.I. METRIC (Concrete).

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 Data File : BELLA1

Basic Load Case B1 : D+L
 Joint Displacements

JOINT	X-LINEAR (mm)	Z-LINEAR (mm)	Y-ROTATION (rad)
1	-9.11826	.00000	-.00114
2	-9.10198	.00000	.00410
3	-4.59132	5.44386	.00538
4	-4.55913	5.55585	.00348
5	-4.52694	5.44386	.00538
6	-.01628	.00000	-.00410
7	.00000	.00000	.00114

Basic Load Case B1 : D+L
 Member End Forces

MBR	JOINT	AXIAL N _x (kN)	SHEAR S _z (kN)	MOMENT M _y (kNm)
1	1	.0614	.0730	.0000
1	2	-.6536	-.7770	-.7820
1	3	1.0840	1.3008	-.7820
1	4	.7090	.8508	.4784
1	5	1.4774	.2090	.4784
1	6	.7674	-.6410	.0000
1	7	.7674	.6410	.0000
2	1	1.4774	-.2090	.4784
2	2	.7090	-.8508	.4784
2	3	1.0840	1.3008	-.7820
2	4	-.6536	-.7770	-.7820
2	5	.0614	.0730	.0000
2	6	-.9998	.0000	.0000
2	7	-.9998	.0000	.0000

Basic Load Case B1 : D+L
 Member End Stresses

MBR	JOINT	AXIAL (N/mm ²)	BENDING (N/mm ²)	+ABS. B _y (N/mm ²)	-ABS. B _y (N/mm ²)
1	1	.0093	.0000	.0093	.0093
1	2	-.0990	-4.7374	4.6383	-4.8364
1	3	.1642	4.7374	4.9016	-4.5731
1	4	.1074	2.8981	3.0055	-2.7907
1	5	.2236	2.8981	3.1220	-2.6743
1	6	.1163	.0000	.1163	.1163
1	7	.1163	.0000	.1163	.1163
2	1	.2236	2.8981	3.1220	-2.6743
2	2	.1074	2.8981	3.0055	-2.7907
2	3	.1642	-4.7374	4.9016	-4.5731
2	4	-.0990	-4.7374	4.6383	-4.8364
2	5	.0093	.0000	.0093	.0093
2	6	-.1515	.0000	-.1515	-.1515
2	7	-.1515	.0000	-.1515	-.1515

CONNOR SUTTON CRONIN

PAGE 5
JOB NO. 1
RUN NO. 1
AUTHOR PS
DATE 4/5/91

6.

BELLA VISTA
ROOF

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Units: S.I. METRIC (Concrete)

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Data File: BELLA1

Basic Load Case B1 : D+L
Support Reactions

JOINT	X FORCE (kN)	Z FORCE (kN)	Y MOMENT (kNm)
1	.0000	.0954	.0000
2	.0000	2.7086	.0000
6	.0000	2.7086	.0000
7	.0000	.0954	.0000

Basic Load Case B1 : D+L
Load Balance

ENTRY	X LINEAR (kN)	Z LINEAR (kN)
EXTERNAL LOADS SUM	.0000	-5.6080
REACTIONS SUM	.0000	5.6080

Basic Load Case B1 : D+L
Global Joint Loads from Back-Substitution

JOINT	X FORCE (kN)	Z FORCE (kN)	Y MOMENT (kNm)
1	.0000	-.0954	.0000
2	.0000	-2.7086	.0000
3	.0000	.0000	.0000
4	.0000	.0000	.0000
5	.0000	.0000	.0000
6	.0000	-2.7086	.0000
7	.0000	-.0954	.0000



**O'CONNOR
SUTTON CRONIN**

25 Lower Mount Street, Dublin 2.
Tel: 609977. Fax: 609414

Contract

Job ref.

Part of structure

Calc. Sheet No. 7

Drawing ref.

Calculations by

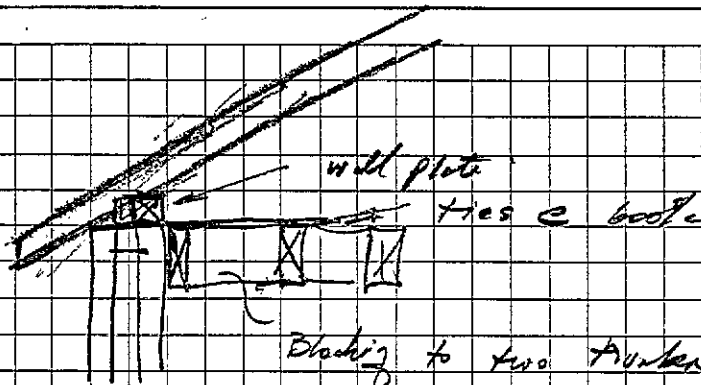
Checked by

Date

Members
ref.

CALCULATIONS

OUTPUT



Roof loading $DL = 0.75 \text{ kN/m}^2$
 $WL = 0.5 \text{ kN/m}^2$ (40° pitch)

1.25 kN/m^2 0.5 kN/m^2

Refrans @ 400%

$I = 1.238 \times 10^7$ $A = 6600$

Reaction 1 Post and 2.7 kN/0.4m

Max stress = 4.9 N/mm²

local slenderness etc \Rightarrow SCA grade OK.

Max beam deflection = 4.5mm each side \Rightarrow OK

55mm vertical \Rightarrow 1/1500 \Rightarrow OK.

\Rightarrow use 44x150 @ 400%

Note wind loading will have little effect
 of Refrans needed to steel walls.



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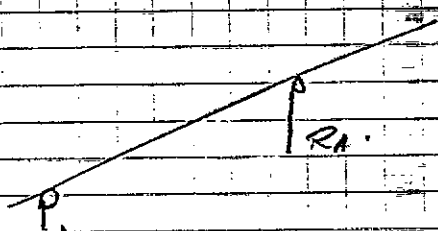
Contract		Job ref.	
Part of structure		Calc. Sheet No. B.	
Drawing ref.	Calculations by	Checked by	Date

Members
ref.

CALCULATIONS

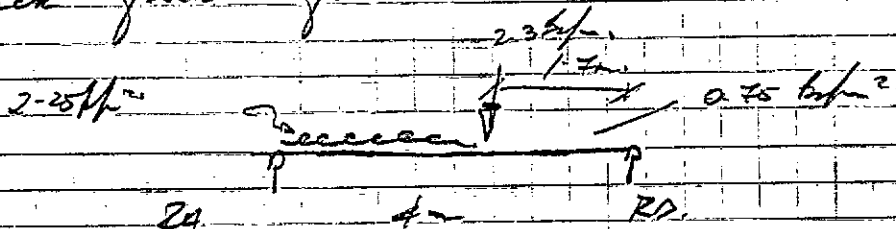
OUTPUT

tip end.



$$R_{a \text{ average}} = \left(\frac{1.25 \times 2.5^2}{2} \right) / 1.7 = 2.3 \text{ kN/m}$$

check floor joists



$$R_A = \left(0.75 \times 1.7^2 / 2 + 2.3 \times 1.7 + 2.25 \times 2.3 \times 2.85 \right) / 4 = 4.94 \text{ kN}$$

$$M_C = 2.19 \text{ kNm}$$

$$M = 4.94 \times 2.19 - 2.25 \times 2.19^2 / 2 = 5.4 \text{ kNm}$$

$$\text{Joists @ 400\%} \Rightarrow 7.17 \text{ kNm}$$

$$\text{Soil grade} \Rightarrow 7.17 \times 10^6 / 4.1 \times 1.1 = 48 / \text{cm}^3$$

$$50 \times 225 \text{ @ 400\%} = 422$$

$\Rightarrow 1.1 \text{ load direction for}$
 cuboid snow + ultimate floor load
 $\Rightarrow 2 \text{ k}$

$$\text{Soil grade } S = 35 \text{ } \Rightarrow 200 \times 80 \text{ @ } 400\%$$



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Contract

Job ref.

Part of structure

Calc. Sheet No. 9

Drawing ref.

Calculations by

Checked by

Date

Members
ref.

CALCULATIONS

OUTPUT

Roof Bracing

Provide rafters and ceiling tie bracing to
IS 193.

Stud wall

Max load = $7 \text{ kN per } 0.4 \text{ m} = 6.75 \text{ kN}$

⇒ Support joints. Wind use small sections $s_p = 2.5 \text{ m}$.

⇒ $6.75 \times 2.5 / 3 = 5.3 \text{ kN}$ (Note snow load
Use 1.25 load
DIN 105)

⇒ $5.3 \times 10^6 / (1.1 \times 1.1 \times 1.25) = 335 \text{ cm}^3$

⇒ 3 No 50x225

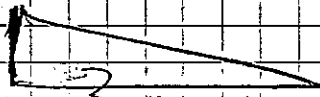
3 No 50x200
SCLB

Tie force = 1.25 ⇒ 3 No. Nails etc.

tip support on lower roof.

$s_p = 4.2 \text{ m}$

Max load = $1.25 \times 3 = 3.75 \text{ kN}$



$M_{max} = 0.128 \times 7.88 \times 4.2 = 4.23 \text{ kNm}$

$N/R = 4.23 \times 10^6 / (1.1 \times 1.25 \times 4.1) = 787 \text{ cm}^3$ 2 No 50x225



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Contract _____

Job ref. _____

Part of structure _____

Calc. Sheet No. _____

10.

Drawing ref. _____

Calculations by _____

Checked by _____

Date _____

Members
ref.

CALCULATIONS

OUTPUT

Foundations

Max loads

$\Rightarrow 1^{\text{st}} = 2.05 \times 4 = 8.2 \text{ kN}$

Roof = 1.25 kN

wall = $0.0 \times 4 \times 4 = 35.2 \text{ kN}$

45.5 kN

600 ftg $\Rightarrow 25.75 \text{ kN} \Rightarrow$ Very small
 \Rightarrow ok

Use 600 wide \times 300 deep for 215 wall

500 wide \times 200 deep for cast wall



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Job ref.

Part of structure

Calc. Sheet No.
11-

Drawing ref.

Calculations by

Checked by

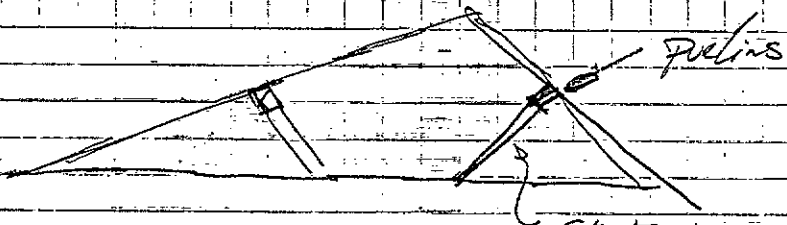
Date

Members
ref.

CALCULATIONS

OUTPUT

Bungalow Roof - Rafters & Purlin design tables - SR11.
pitch 30°
Dead load = 1.0 kN/m²



starts to walls below
on supporting large ceiling tie

$$\text{Rafters span} = 4.05\text{m} / 2 = 2.025\text{m}$$

⇒ 35 x 150 C 100% SCA OK.

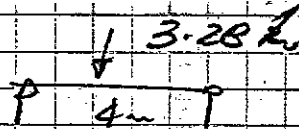
$$\text{Purlin span} = 2.5\text{m max.}$$

⇒ U20 225 x 75.

Check of Gable Ends

$$\text{Max load} = 1.75 \times 2.5 = 4.375 \text{ kN} \times \frac{3}{4} = 3.28 \text{ kN}$$

$$\text{Span} = 4\text{m}$$



$$M = 3.28 \text{ kN-m}$$

$$M/R = 3.28 \times 10^6 / (1.25 \times 4.6) = 570 \text{ cm}^3$$

⇒ 225 x 75

Provide Diagonal Rafters and longitudinal
Roof bracing



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Contract _____

Job ref. _____

Part of structure _____

Calc. Sheet No. 12

Drawing ref. _____

Calculations by _____

Checked by _____

Date _____

Members
ref.

CALCULATIONS

OUTPUT

Typical lintel supports.

$$\text{Max load} = 1.75 \times 42 = 35 \text{ kN/m}$$

$$\text{Max span} = 1.8 \text{ m}$$

$$M = 3.5 \times 1.8^2 / 8 = 1.4 \text{ kNm}$$

→ span / 1.8 m lintel used

2 No courses of solid masonry etc

OUTLINE SPECIFICATION

FOR

HOUSING DEVELOPMENT

AT

BELLAVISTA

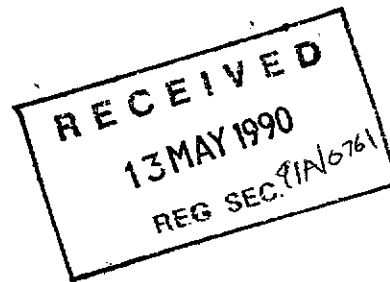
BUTTERFIELD AVENUE

RATHFARNHAM

DUBLIN 14

FOR

GRACEDALE LTD



FITZGERALD REDDY & ASSOCIATES,
ARCHITECTS & PLANNING CONSULTANTS,
26, UPPER MOUNT STREET,
DUBLIN 2.

REF: 91-27

DATE: 7TH MAY 1991

C

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SECTION 1 - GENERAL

1.0 General Note :

This Specification is an outline Specification for Planning Application purposes only. It should be read in conjunction with the Architect's and Engineer's Drawings. It is not to be used for construction purposes except with the approval of the Architects as it may be necessary to be read in conjunction with further detailed Drawings and Specifications.

1.1 Location of Site : 'Bellavista', Butterfield Avenue, Rathfarnham, Dublin 14.

1.2 General Description of the Development: Residential Development Consisting of 4 No. Dormer Bungalows and 2 No. Bungalows - 6 in total.

SECTION 2 - EXCAVATOR

2.0 Excavation :
Excavate foundations to a good natural bottom, minimum of 700mm. below finished ground level to Structural Engineers satisfaction.

2.1 Keeping Excavations Free from Water :
All water that may accumulate on the site during the progress of the works, or in trenches and excavations, from springs, rain, drains or other causes, is to be baled or otherwise removed.

2.2 Hardcore :
Hardcore shall be properly compacted and shall form a freely draining bed. It shall be cleaned graded gravel or broken rock and shall be free from dust and any deleterious materials.

2.3 Backfill :
Backfilling to foundations, walls, trenches, etc., shall be spread in layers not exceeding 150 mm. thick and each layer shall be well compacted and consolidated. Filling around pipes not concreted and for a depth of 300mm/ over the pipes shall be fine materials free from stones, and placed and consolidated by hand.

SECTION 3 DRAINLAYER

- 3.1 **Concrete Beds:**
Lay concrete in trenches under drain pipes, gullies, junctions, etc., in accordance with Engineer's Specification. The concrete under pipes to be of a minimum thickness of 150mm. laid to falls and projecting at least 75mm. on each side of the drain. The concrete shall be filled in, so that it shall extend to the full width of the concrete bed, aforementioned and it shall be haunched up no less than half the external width of the pipe.
- 3.2 **Back filling :**
Pipes shall be back filled in fine material and fill remainder of trench in hardcore material, well rammed and remove surplus soil. Internal backfilling to be hardcore.
- 3.3 **Drain Pipes :**
Drain pipes to be used generally may be either of PVC, salt glazed stoneware or concrete to Irish Standard 6 (1949). All pipes under buildings and roadways to be encased in concrete, minimum 150mm. brick all round. Concrete or stoneware pipes to have joints packed with tar gaskin and filled with cement mortar, executed neatly. Ducts shall be formed through rising walls or foundations as necessary to avoid damage to drains.
- 3.4 **Laying Drains :**
All drains shall be laid to the necessary falls and connected to the gulleys, junctions, soil pipes and manholes, in such a manner that every line of drain is straight and true from point to point with a regular gradient throughout its length.
- 3.5 **Armstrong Junctions :**
To be 225 X 225mm. PVC or glazed stoneware with galvanised heavy cast iron cover and frame and set on and surrounded with 150 X 150mm. thick concrete to Engineer's Specification. Frame to be recessed to accommodate brick pavements or paving slabs.
- 3.6 **Gulley Traps :**
To be 150 X 150mm. PVC or glazed stoneware back inlet type gulleys with outlet jointed to drain and fitted with heavy galvanised grating and set on and surrounded with concrete, well dished down to grating.
- 3.7 **Manholes :**
Manholes shall be 750 X 600mm. inside concrete measurements, with 215mm. solid concrete block walls, bedded in cement mortar and finished with 25mm. cement plaster, well haunched down to half round white glazed channels. Roofs of manholes to be reinforced concrete 150mm. thick. Where manholes exceed 1.5m. deep, they are to be 900 X 600mm. inside and fitted with galvanised heavy cast iron foot irons built into walls. The bottoms to be benched in fine concrete finished in pure cement, average 200mm. thick. Outfall manholes shall be formed with interceptor trap, stoppered cleaning eye and air inlet to Local Authority requirements. For further information on Manholes, consult Structural Engineer's Specification.
- 3.8 **Manhole Covers :** Over each manhole set in the roof slab an approved deep seal pattern galvanised cast iron airtight cover and weighing a minimum of 114 KG. to BS 497 (1967) Grade 'B'. Frame to be bedded in mastic and seal 25 X 25mm. to be filled with tallow and grease. Manhole covers to be recessed to accommodate brick pavements or paving slabs, as necessary.

- 3.9 Access :
All soil and waste pipes to be accessible throughout entire length.
- 3.10 Single Stack Drainage :
Single stack drainage shall be in accordance with British Standard Code of Practice No. 304 (1968)
- 3.11 Vent Shaft :
At the head of each drain, a 100mm. diameter vent pipe shall be carried up over eaves level or to 1m. over head of highest window, within 4m. of vent, secured with proper brackets and fitted with cowl.
- 3.12 Testing :
Plumbing and drainage shall be tested on completion to ensure watertightness and efficient working of the system, as required by Local Authority.
- 3.13 General :
All drainage to be laid in accordance with structural Engineer's drawing and relevant standards and Codes of Practice.

SECTION 4 CONCRETOR

- 4.1 Cement :
Cement to be Portland Cement in accordance with I.S. 1 (1974) delivered to site in properly sealed bags, clearly marked with the brand name and stored, clear of the floor in a dry waterproof store and protected from damp.
- 4.2 Water :
Only clean fresh water free from impurities to be used.
- 4.3 Aggregate :
Course and fine aggregate shall be in accordance with I.S. 5 (1949).
- 4.4 Concrete Mixes :
Concrete mixes to be in accordance with Structural Engineer's Specification.
- 4.5 Transporting and Placing :
Concrete to be transported to avoid adulteration, segregation or loss of ingredients. All formwork and excavations to be cleared out and have water removed immediately before pouring position as a continuous operation, so that between construction joints fresh concrete is not placed against concrete which has set. Concrete to be finally placed within 30 minutes of discharge from mixer (or agitated during transportation from delivery vehicle. The upper surfaces of concrete to be levelled so that components and elements will be suitable for subsequent surface working. In cold weather, concrete shall be placed with an initial temperature of at least 5 C. and shall not be placed against frozen surfaces. Concrete laid when frost is likely shall be protected immediately after laying with tarpaulins sacks, straw or other suitable material.
- 4.6 Curing :
During initial setting and curing, concrete to be protected from excessive heat, frost, shock or vibration and no traffic to be allowed on it until properly hardened.
- 4.7 Solid Flooring :
150 mm. thick concrete slab to Structural Engineer's Specification, on 150 mm. thickness of hardcore and cover with 1,000 gauge approved polythene membrane dressed under d.p.c. in laps to a minimum of 150 mm.
- 4.8 Perimeter Paving :
Paving shall be 600 X 600 X 50 mm. concrete hardcore paving slabs laid to falls on 50 mm, sand binding on 100mm. hardcore bed laid to falls.
- 4.9 Concrete Lintols :
The concrete lintols to window and door openings are to be reinforced in accordance with Structural Engineer's Specification. Lintels are to be constructed as shown of Structural Engineer's drawings and to have a minimum bearing of 225mm. at each end. The concrete lintels to the inner leaves of external cavity walls are to be splayed as shown. The splay to occur on the cavity side. Alternatively, precast prestressed concrete lintels, conform to B.S. 1239 (1956) and produced by an approved manufacturer may be used.
- 4.10 Chimney Caps :
Provide cast in-situ chimney caps, throated on underside, weather on tops in chimney and sand 1 : 3 and flaunch up around flue liners.

4.11

Pre-cast Concrete Cills :

Pre-cast concrete cills are to be extra smooth and to be rebated, weathered and throated. Cills are to have 100mm. minimum wall hold at each end, to project 100 mm. beyond the outer face of the blockwork and to be rounded at edge. All cills are to be reinforced to Structural Engineer's Specification and set on d.p.c. turned up full height at back and ends.

SECTION 5
BRICK & BLOCKLAYER

Note: This section to be read in conjunction with Structural Engineers Specification.

- 5.1 **Blocks:**
Solid concrete blocks are to comply with I.S. 20 (1971)
- 5.2 **Bricks:**
Bricks are to be sound, hard and well burnt and shall comply with I.S. 91 (1958)
- 5.3 **Mortar:**
Cement to be composed of one part cement to three parts of sand well mixed in small quantities and used fresh. Cement mortar shall be used for all brickwork and blockwork below damp proof course. Gauged mortar (plasticised mortar) to be composed of one part cement to six parts of sand with liquid mortar plasticiser added in the proportions recommended by the Manufacturers and to be used for brickwork and blockwork over damp proof course.
- 5.4 **Blockwork and Brickwork Generally:**
All walls shall be carried up regularly not leaving any part more than 1m. lower than another. Walls left at different levels to be properly raked back. Walls and partitions are to be bonded one to the other at right angles. "L" shaped blocks are to be used in the external leaf at jambs of openings. All pends, quoins, etc., in walling are to be kept strictly true and square and the whole properly bonded together. No half bricks or bats are to be used except where necessary for bonding. The joints are to be raked out for flashings, aprons, etc., and afterwards pointed cement mortar 1 : 3.
- 5.5 **Damp Proof Course:**
The damp proof course shall be three ply bitumen on jute or canvas base to I.S. 57 (1953) or polythene to B.S. 643 (1970). Damp proof course to be lapped 150mm. at joints and angles and bedded on a layer of cement mortar. Damp-proof course to be a minimum of 150mm above finished ground level. Provide horizontal damp proof course to each leaf of cavity walls, under blockwork partitions, to chimney breasts and to chimney stack over roof level all as shown. Provide d.p.c. over all lintols to external opes of cavity wall construction stepped from top inner lintol to under inner lintol. Provide d.p.c. to all vertical joints at abutting of inner and outer leaves of cavity walls at reveals. Provide d.p.c. under window cills, turned up at ends and back. Provide d.p.c. to outer leaf of cavity wall under blockwork closing cavity at head.
- 5.6 **Cavity Walls:**
Cavity walls to be as shown on the drawings. Inner and outer leaves to be tied together with galvanised mild steel wall ties approved by the Department of the Environment at 900mm. intervals horizontally and 450mm. vertically. Closure of cavity at foot to be a minimum of 150mm. below d.p.c. level. Provide temporary openings at base of cavity for cleaning out after each days work and brick up on completion. 50mm laths to be placed on ties to catch mortar droppings and lifted out and cleaned off before inserting new row of ties. Every possible care to be taken to keep cavities free from mortar droppings. Provide drainage opes to bottom of cavity in cavity walls, 215mm. below d.p.c. level.

SECTION 6
ROOF AND EXTERNAL PLUMBING

- 6.1 Pitched roof with Interlocking Roof Tiles.
- 6.1.1 Roof Tiles to be Redland Stonewold Interlocking Tiles to comply with I.S.4 (1950). Pitches to be not less than 30 deg. Alternatively, slate roof can be used.
- 6.1.2 Fixing:
Hang tiles to sawn softwood battens as indicated on drawings and nail in accordance with Manufacturers Instructions.
- 6.1.3 Felt:
Cover rafters with untearable bituminous sarking felt to comply with I.S. 36 (1951). Felt to be lapped 150mm. at joints and at ridges. Felt to be carried over the tilting fillet and fascia sufficiently to give a drip into the gutter.
- 6.1.4 Ridges:
Ridge tile to be proprietary Redland Stonewold tiles to match colour of tiling, bedded in sand and cement 3 : 1. Rake out and point all exposed fair edged and vertical joints with the coloured sand and cement to match tiles.
- 6.1.5 Lead Flashing:
Lead to be No. 5 best milled lead to comply with B.S. 1178 (1969). At sides and front of chimney, neatly dress No. 5 lead. Form chase in chimney and return lead cover flashing into same, secure with lead wedges and point with cement mortar. When plastering, form bell cast over chase. Where chimney stack is not astride ridge, provide lead gutter at back in No. 5 lead laid on 19mm boarding carried up under tiles to a height of 150mm vertically, back over sole board and dressed 150mm up against back of stack and cover flashed in No. 5 lead. Provide No. 5 lead collar to vent pipe where passing through roof, neatly dressed into tile form and into joint in vent shaft.
- 6.2 Rainwater Goods:
Gutters to be 125mm square PVC galvanised heavy gauge steel to comply with I.S. 59 (1953) or other approved gutters secured on brackets to falls. Rainwater pipes to be 75mm square PVC or galvanised heavy gauge steel pipes or other approved pipes secured to holderbats or fitted lugs so as to stand 25mm. clear of the finished wall and having all necessary toes, etc.,

SECTION 7
CARPENTRY & JOINERY

- 7.1 Timber:
Timber used throughout the work to be well seasoned dry and free from sap, shakes, large or loose knots and waney edges and with a moisture content not exceeding the permitted maxima set out in I.S. 96 (1958). Structural timber for trusses to be of a quality as specified at 7.4 below.
- 7.2 Preservative:
Wall plates, end of joists and feet of rafters or feet of trusses, back of fascia, framed supports for fascias and soffits, barge board supports and back of barge boards to be treated with an approved preservative applied in an approved manner. The preservation of timber shall be carried out in accordance with B.S.C.P. 98 (1964).
- 7.3 Glue:
All glue to comply with B.S. 745 (1969)
- 7.4 Roof & Floor Construction:
Roof and Floor timbers to be to sizes specified on the Drawings.
- 7.5 External Doors:
Painted Hardwood Doors with Glass Panels.
- 7.6 Internal Doors:
Painted Softwood 6 panelled door's.
- 7.7 Skirtings: To be 100 X 25mm. moulded Iroko Teak neatly mitred at all corners. Structural Timber Including Trussed Rafters.
- 7.8 For full details of timber sizes, refer to Structural Engineer's drawings and Specification.

SECTION 8 PLUMBER

8.1 Soil and Vent Pipes :

Shall be 100 mm. diameter PVC or cast iron jointed in accordance with Manufacturer's instructions with all necessary bends, etc., and connected to drain and W.C. Provide all vent pipes with cowls.

8.2 Traps and Waste Pipes :

Traps to sink, bath and wash hand basin to be solid copper deep seal with cleaning eyes 38 mm. diameter for bath and sink and 32mm. diameter for wash hand basin where wastes do not discharge directly to gulley traps, otherwise traps to be standard pattern. Waste pipes to be manufactured for unplasticised PVC conforming to BS 3506 (1962).

8.3 Water Services :

Provide and connect 16mm. heavy gauge PVC pipe 600mm. deep in ground from Local Authority mains to storage tank complete with ball valve and 32mm. overflow. Fit stop cock over floor level where supply enters house and provide connection to kitchen sink. Storage tank to be approved type PVC or galvanised steel to B.S. 417 (1964). Minimum total capacity to be 360 litres per dwelling unit.

8.4 Cold Water Supply :

Run 22mm. copper supply from storage tank to cylinder Run 22mm. separate copper supply to bath with 15mm. branches to W.C. and W.H.B. Fit 22mm. full way screw down stop cocks in accessible position to 22mm. cold feeds to cylinder and bath, etc.

8.5 Water Heating :

Provide 22mm. copper flow and return from boiler to cylinder (with high and low connections). Fit draw off cock in suitable position to empty system.

8.6 Hot Water Supply :

Provide 150 litre copper cylinder to comply with I.S. 161 (1968): run 22mm. copper expansion pipe, carry up and turn down over storage tank. Take off 22mm. copper supply to feed bath with 15mm. branches to wash hand basin and sink.

8.7 General :

Full details of plumbing installation is available on Mechanical Engineer's drawings and specification.

SECTION 9 ELECTRICIAN

9.1 General :

The electrical installation shall be carried out by competent experienced electricians. All electrical work shall be in accordance with the "National Rules for Electrical Installations" published by the Electro-Technical Council of Ireland. There shall be a minimum of one lighting outlet in every room, landing/stairway, hall and corridor. There shall be one double socket in every bedroom, three double sockets in Living room, two double sockets in kitchen, excluding any cooker point. There shall be one double socket in each other habitable room, entrance hall or landing.

9.2 Notice to E.S.B. :

The Electrical Supply Board shall be consulted at an early stage to arrange service and meter position.

9.3 - Full details of electrical installation are available on Electrical engineer's drawings and specification.

SECTION 10 PLASTERER

- 10.1 Cement :
The Portland Cement shall be as described in Clause 4.1.
- 10.2 Sand :
The sand shall be natural or crushed stone and to comply with B.S. 1198 (1952) for plastering and graded to Class "A" requirements for both undercoats and finishing coats of "Gypsum" plasters only.
- 10.3 Cement Lime Mortar :
Cement Lime Mortar to be composed of 6 parts of sand, one part of lime putty and one part of Portland cement, well mixed for wall above damp proof course.
- 10.4 Water :
The water used for mixing shall be clean and free from set plaster and other impurities.
- 10.5 Internal Plastering:
All internal walls are to be scudded 3 to 1 sand and cement, scratch coat to be 1 lime and 3 sand gauged with 10% cement and finished in hard wall plaster. Alternatively, internal walls to be lined with approved proprietary dry lining executed in strict accordance with Manufacturer's instructions. Alternatively, other approved plastering specifications may be used. Ceiling plaster board where fixed to joints at 600 mm. centres to be 12mm. thick where fixed to joints of 450 mm. centres or less, to be 9mm thick.
- 10.6 External Plaster :
Scud in cement and coarse sand (1:3) and render in 1 part hydrated lime, 1 part cement and 3 parts sand finished 12mm. thick smooth and even. Finished coat to be 12 mm. 1:2:6 lime, cement, sand to a fine nap finish. Alternatively, 12 mm. rough cast finish in 3:1 sand and cement may be applied. Form true edges and rises, etc. Reveals to be finished as above keyed into rebates and finishing 25 mm. thick and 25 mm. proud of plaster work.

SECTION 11 GLAZING

- 11.1 General Glass to be the best of it's respective kind and conform to B.S. 952 (1964). Glass is to fit accurately into rebates, after priming and is to be well back puttied, sprigged and puttied. Outside putty is to finish to the full depth of rebate. Putty to be linseed oil putty to B.S. 544 (1969).
- 11.2 Clear Glass Clear glass to be sheet glass 4 mm. glass for all areas up to 1.0 sq.m. and 6 mm. for larger panes, all glass in doors to be minimum 6 mm. laminated. Glass to conform to B.S. 952 (1964) and shall be the best of it's kind, clear of all specks, waves, air bubbles and defects of every kind.
- 11.3 Glazing to Doors Glazing in panels to doors to be bedded in putty and held in position with glazing slips and bedded in mastic putty. All glass in doors to be min 6 mm. laminated.
- 11.4 Fixing Before glazing, timber rebates shall be painted and back puttied. Glass shall be sprigged and puttied with linseed oil putty to I.S. 28 or other acceptable non-hardening compound and neatly struck off. 5 mm. glass and over shall be fixed with a suitable glazing slip, pinned and bedded in mastic.

SECTION 12 PAINTER

- 12.1 General :
None other than skilled workmen, except apprentices, to be employed on the works. All paint, etc., is to be prepared and applied strictly in accordance with Manufacturer's instructions.
- 12.2 Workmanship :
All surfaces to be thoroughly dry before knotting, stopping or painting. No paint shall be applied externally in foggy or inclement weather and all necessary precautions are to be taken to prevent damage to paint by frost, etc., The surfaces of all new priming coats and under coats are to be properly filled and sanded down and dusted off between coats as required. Painting shall not be proceeded with in any room until it is free from dust and washed out. Walls to be rubbed down, filled and free from blisters and all blemishes before decoration. On no account is emulsion paint to be used as a primer to woodwork.
- 12.3 Materials :
All painting materials to be the best of their respective kinds. Approved proprietary brands to be applied in accordance with the Manufacturer's instructions.
- 12.4 Internal Painting : All ceilings and walls to be painted a minimum of 2 coats proprietary wall finish. All woodwork to be prepared, knotted, stopped and painted 2 undercoats and one finish coat of high gloss enamel.
- 12.5 External Painting :
All external woodwork to be prepared, knotted, stopped, primed and painted 2 under coats and one finish coat of high gloss enamel. Where external ironwork is used, it is to be cleaned and painted 2 under coats and one finish coat of high gloss enamel.

SECTION 13 VENTILATION

- 13.1 Natural Ventilation :
Every habitable room, Kitchen and scullery shall have an opening window area of not less than one twentieth of the room area, ventilated directly to open air.
- 13.2 Mechanical Ventilation :
Internal bathrooms to be provided with a mechanical ventilation system with an extract fan triggered by an electric light switch. Fan to be fitted with delay action of 5 minutes and provide 5 air changes per hour.