County Council Comhairle Chontae Atha Cliath

Planning Department

Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066

Register Reference : 91A/0751

Date : 10th May 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Demolition and replacement of existing bungalow and septic tank on same site.

LOCATION : Tallaght Road near Wellington Lane, Templeogue

APPLICANT : C.A.G. Construction

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received on 9th May 1991.

Yours faithfully,

.....

PRINCIPAL OFFICER

J. Hubert Brown & Associates,
Architects,
1 Deansgrange Road,
Blackrock,
Co. Dublin.

n County Council Comhairle Chontae Atha Cliath

Planning Department

Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0751

Date : 17th May 1991

Dear Sir/Madam,

Development : Demolition and replacement of existing bungalow and septic tank on same site.

LOCATION : Tallaght Road near Wellington Lane, Templeogue

Applicant : C.A.G. Construction

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Date Recd : 9th May 1991

Your application in relation to the above was submitted with a fee of £32.00 .

On examination of the plans submitted it would appear that the appropriate amount should be £72.00 .

I should be obliged if you would submit the balance of £40.00 as soon as possible as a decision cannot be made on this application until the correct fee is received.

Yours faithfully,

.....

PRINCIPAL OFFICER

J. Hubert Brown & Associates,
Architects,
1 Deansgrange Road,
Blackrock,
Co. Dublin.

Dublin County Council
Comhairle Chontae Átha Cliath

Planning Application Form/
Bye - Law Application Form

PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission ☐ Outline Permission ☐ Approval ☐ Place ✓ in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building (If none, give description sufficient to identify) TALLAGHT ROAD (NEAR WELLINGTON LANE) TEMPLEOGUE.

3. Name of applicant (Principal not Agent) T. A. G. CONSTRUCTION.
Address 668 S.C.R. Dublin 8. Tel. No.

4. Name and address of person or firm responsible for preparation of drawings V. HUBERT BROWN + ASSOC. ARCHITECTS. 1. Deansgrange Road. Blackrock Tel. No 2893421

5. Name and address to which notifications should be sent AS AT (4)

6. Brief description of proposed development REPLACEMENT OF EXISTING SUBSTANDARD BUNGALOW ON SAME SITE + PROVISION OF NEW SEPTIC TANK.

7. Method of drainage SEPTIC TANK 8. Source of Water Supply MAINS WATER

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used. RESIDENTIAL
(b) Proposed use of each floor RESIDENTIAL

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? DEMOLITION OF SUB STANDARD BUNGALOW.

11.(a) Area of Site 1200 Sq. m.
(b) Floor area of proposed development (NOTE NEW BUNGALOW 82 m² OLD BUNGALOW TO BE Demolished 50 NET EXTRA SPACE 32 M².) 82 Sq. m.
(c) Floor area of buildings proposed to be retained within site (SHEDS) 95 Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD.

13.Are you now applying also for an approval under the Building Bye Laws?
Yes ☑ No ☐ Place ✓ in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
WHERE APPLICABLE.

15.List of documents enclosed with application. 4 Copies
SITEMAP 1:1000. SITE PLAN 1:500. SECTION 1-50. GENERAL PLAN 1:100. SPECIFICATION —
NOTICE IN PAPER. 2 Cheques.

CO. DUBLIN Permission for demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road near Wellington Lane, Templeogue for T.A.G. Construction.

FEE PAID: £32 DATE: 9/5
RECEIPT No: N39545

16.Gross floor space of proposed development (See back) Sq. m.

No of dwellings proposed (if any) O.N.E. Class(es) of Development NEW RESIDENTIAL.
Fee Payable £ 32. Basis of Calculation PLANNING BYELAWS FEE Rt £ 55.
If a reduced fee is tendered details of previous relevant payment should be given

Signature of ~~Applicant (or his Agent)~~ V. HUBERT BROWN & ASSOCIATES Date 9. May. 91

FOR OFFICE USE ONLY

Application Type P/BDL
Register Reference 91A/0751
Amount Received £ 1. 16. 4
Receipt No 22-6
Date

Trial Pen 8/5/91

£55 N39234

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.

2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.

3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.

   (a) The address of the structure or the location of the land.
   (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
   (c) The name of the applicant.

   NB. Applications must be received within 2 weeks from date of publication of the notice.

4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.

5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
   (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.

   (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.

   (ii) A layout and a survey plan of each floor of any structure to which the application relates.

   (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.

6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordence with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be statad together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act,1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m² (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/ Commercial Purposes	£3.50 per m² (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)

Min. Fee £30.00

Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

RECEIPT CODE

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY — DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

CASH
CHEQUE ✓
M.O.
B.L.
I.T.

BYE LAW APPLICATION.

REC. No. N 39234

£55.00

Received this 10th day of May 19 91

from C. & A. Gray

the sum of fifty five Pounds

Pence, being fee for

bye-law application at Tallaght Rd.

Nadia Dane Cashier

S. CAREY
Principal Officer

RECEIPT CODE

COMHAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET
DUBLIN 1.

Issue of this receipt is not an acknowledgement that the fee tendered is the prescribed application fee.

N 39545

PAID BY
CASH
CHEQUE
M.O.
B.L.
I.T.

£32.00

Received this 10th day of May 19 91

from C. & A. Gray

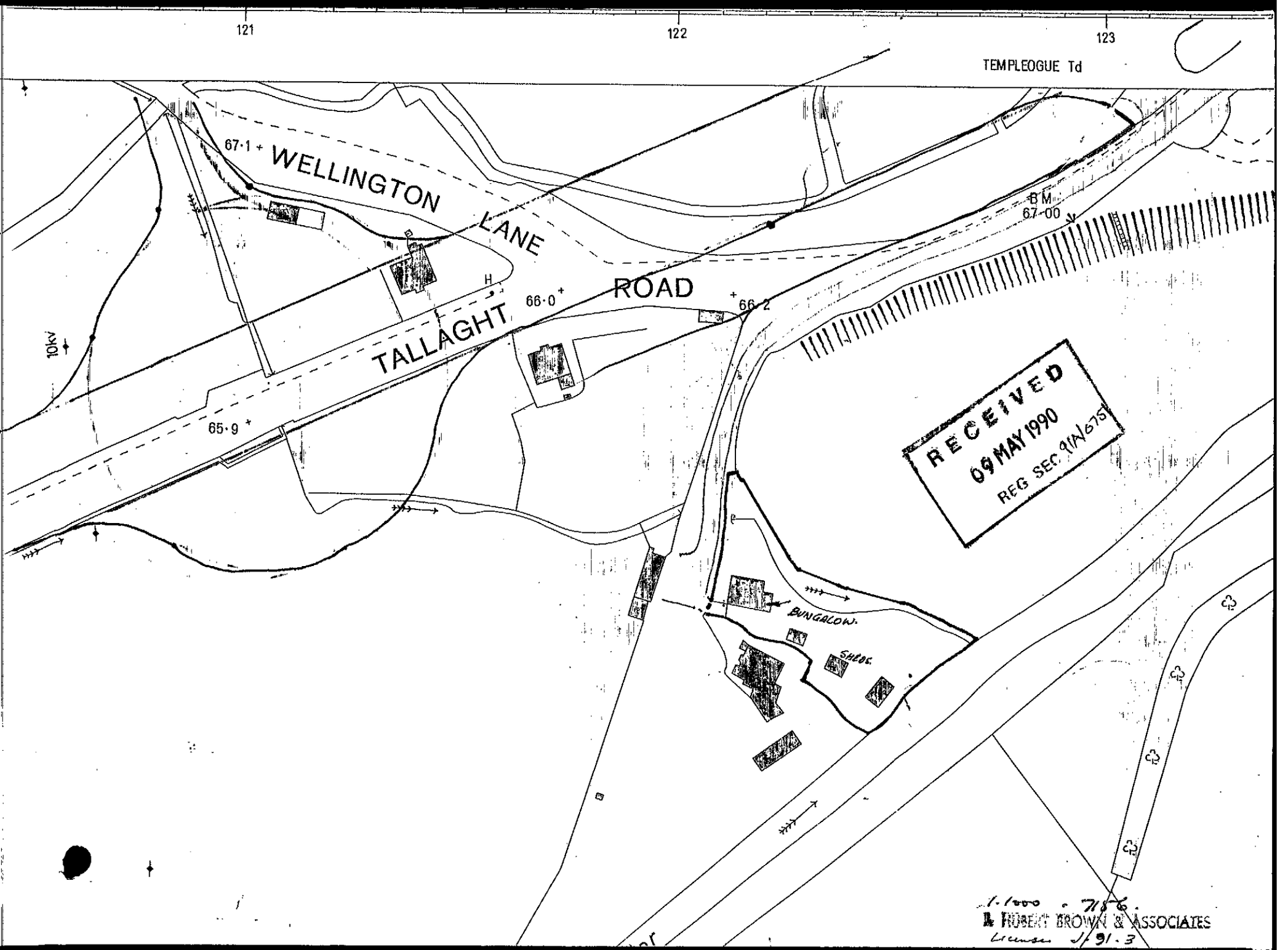
the sum of thirty two Pounds pence being for the

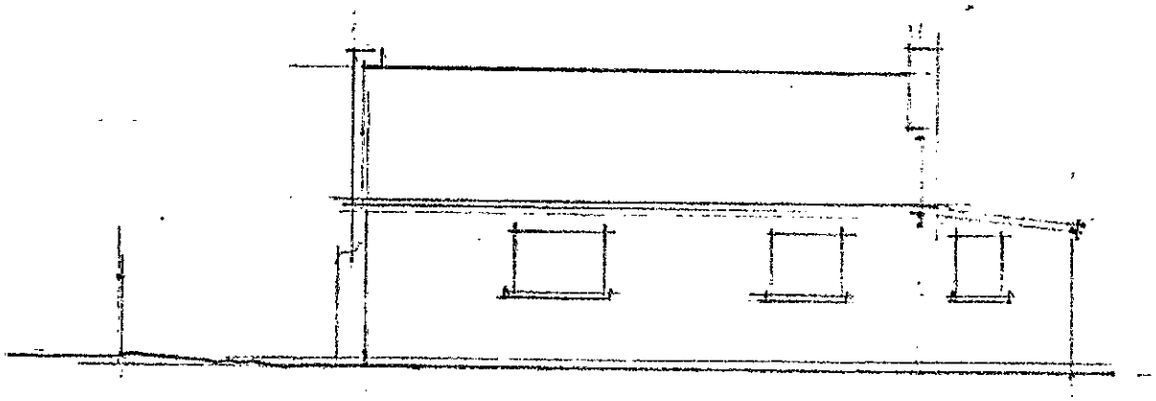
planning application at Milltaight Rd.

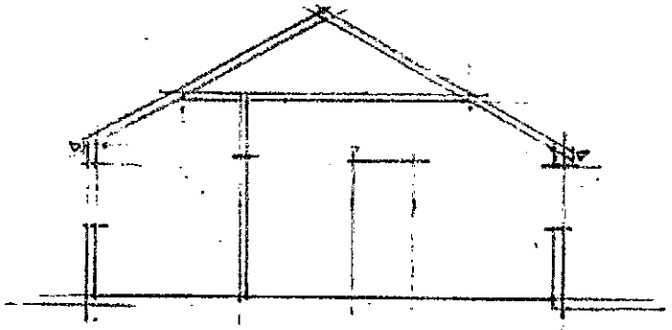
Valea Beale

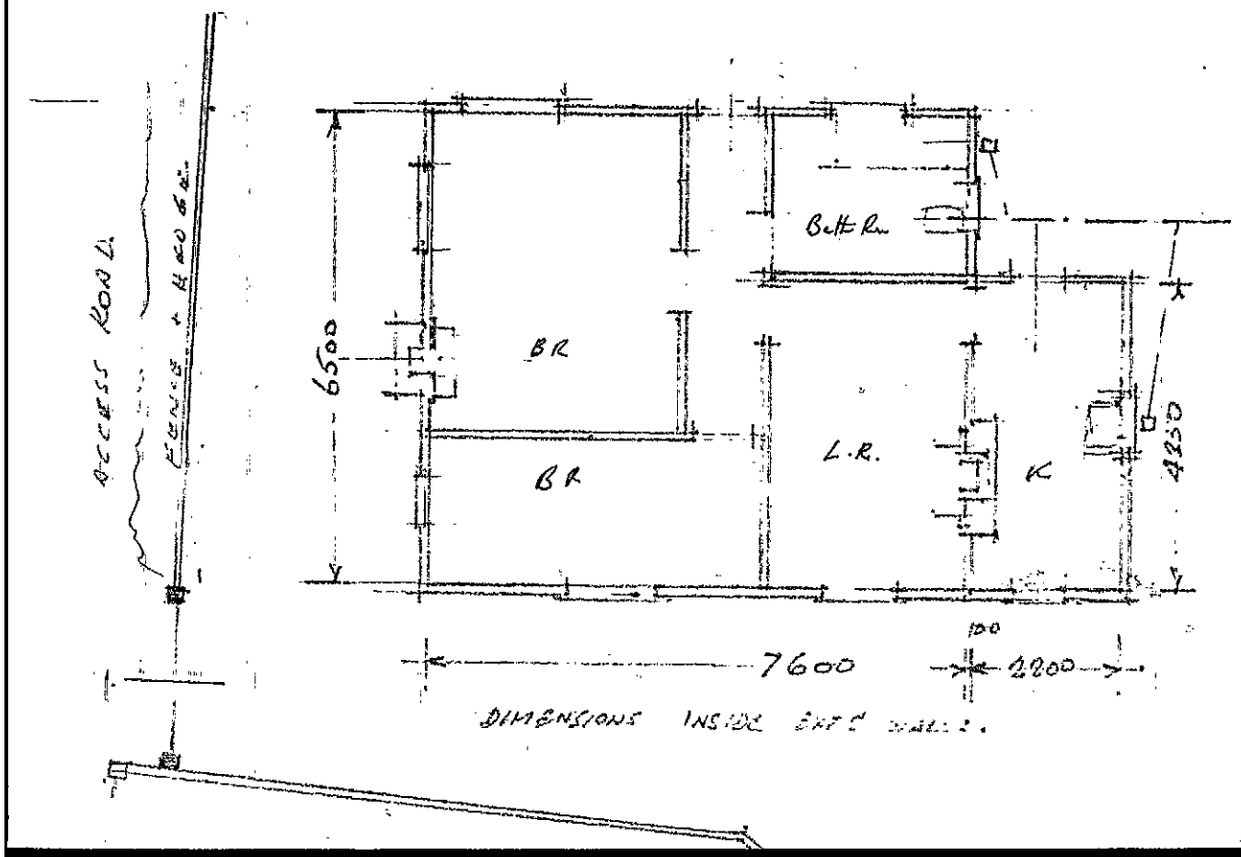
Cashier

S. CAREY
Principal Officer


121
122
123
TEMPLEOGUE Td
67·1
WELLINGTON LANE
BM
67·00
H
66·0
ROAD
66·2
TALLAGHT
10kv
65·9
RECEIVED
09 MAY 1990
REG SEC 91A/675
BUNGALOW
SHEDS
1:1000 : 7186
R. ROBERT BROWN & ASSOCIATES
Licence 1/91.3







HOUSE AREA APPROX. 60 M²

22 Jan 91	1:100	7157.
OUTLINE SURVEY OF BUNGALOW AT TULLABEG CO.		
for GAS CONSTRUCTION		
[illegible] ARCHITECTS 1 Shrewsbury Road Blackrock Co. Dublin.		

SPECIFICATION NOTES

Proposed

Reconstruction of existing Bungalow
with provision of new septic tank
at Tallaght Road,
Templeogue, Co. Dublin.

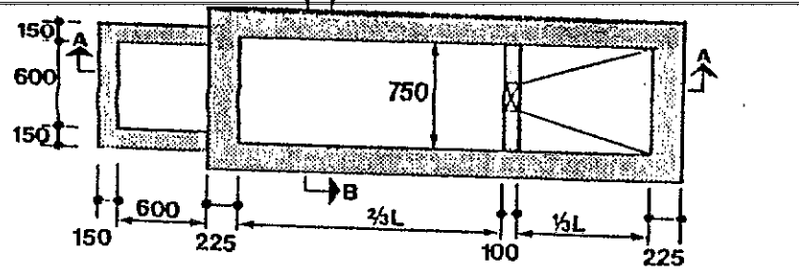
J. Hubert Brown & Associates,
Architects,
1 Deansgrange Road,
Blackrock, Co. Dublin.
Telephone: 0122893421

April 1991

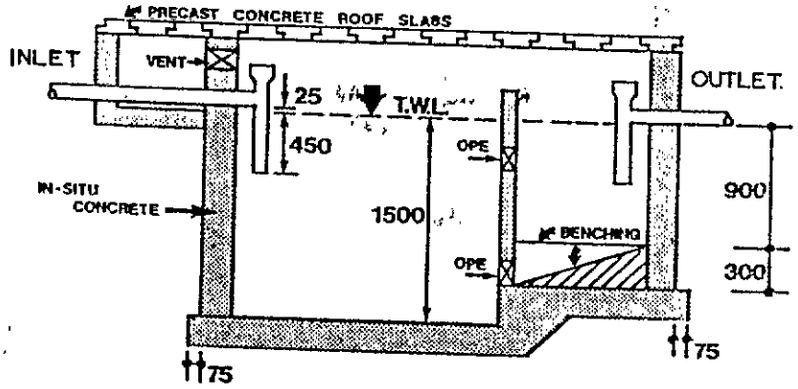
SPECIFICATION CHECK LIST

		TICK TO INCLUDE.
Foundations:	3 times width of structural wall over OR AS PER ENGINEERING DRAWINGS.	✓
Rising Walls:	Solid block up to DPC in cement mortar	✓
DPC:	PVC or Bit Based set at concrete floor level and not less than 150mm over outside ground. DPC to link with damp-proof membrane under floor. also under sills and in chimney at roof intersection	✓
Floor:	150mm 1:2:4 concrete on hardcore with perimeter insulation.	✓
Rising walls:	Hollow ~~block, dri-lined and finished with foil back plasterboard. If solid blocks are required, dri-lining to be insulated with fibreglass between wall battens.~~ 300mm CAVITY WALLING Concrete block inner & outer leaves with insulation in cavity.	✓
External rendering:	scud and undercoat in cement & sand finish with lime cement sand render ing.	think ✓
Sills:	weathered throated concrete on DPC turned up at back and ends	✓
Lintols:	Precast pre-stressed 'Spanlite' to mfgrs Spec. 100 min bearing at ends and built up with blockwork to give min. depth of 225mm	✓
Roof:	See drawings. Slates or tiles to have reinforced underfelt. Roof space vented.	✓
Windows:	Not less than 1/10 of floor area of room served. Openable area to be 1/20 of area. Habitable rooms to have permanent vent. Mech Extract to internal Toilets to give three air changes per hour.	✓
Fire separation:	generally one hour to walls and floors between separate holdings with ½hr self-closing doors smoke stripped. PVC pipes through separating walls to be fire protected with intumescent collars. PVC vents to be encased in plasterboard.	Does not apply
Insulation:	Plasterbaard ceilings to roof spaces to have 100mm fibreglass insulation laid in between joists. Tanks in roof space to be insulated. Lagged with vapour barrier.	✓
Drains:	To be laid on concrete bed haunched up around pipe. If PVC being used request Waiver of Byelaw in Corporation area. Connections to soilpipe to have deep-seal traps and soil pipe to be vented. Pipes under buildings to be encased in 150mm of concrete. See Marley detail over.	✓
Inspection:	Foundations, damp courses and drainage to be inspected and passed by Local Authority before covering up.	✓
Fire Safety:	Provide smoke detectors, Fire Alarms and Emergency lighting to Lobbies and Stair.	Does not apply

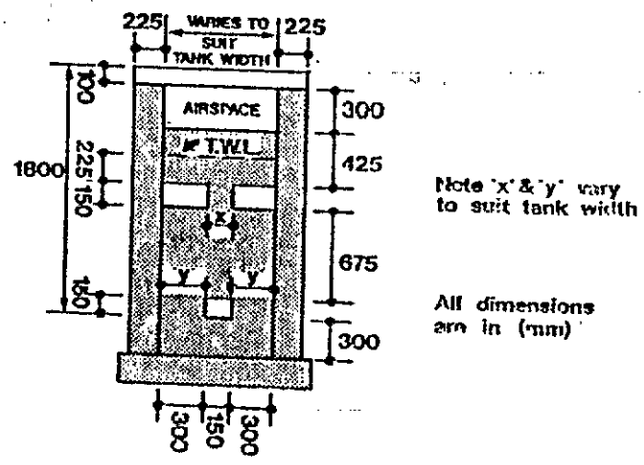
HUBERT BROWN & ASSOCIATES



Plan



Section A–A



Note 'x' & 'y' vary to suit tank width

All dimensions are in (mm)

Section B–B

FIG. D.1.

DETAILS OF CONCRETE SEPTIC TANK CAST IN-SITU

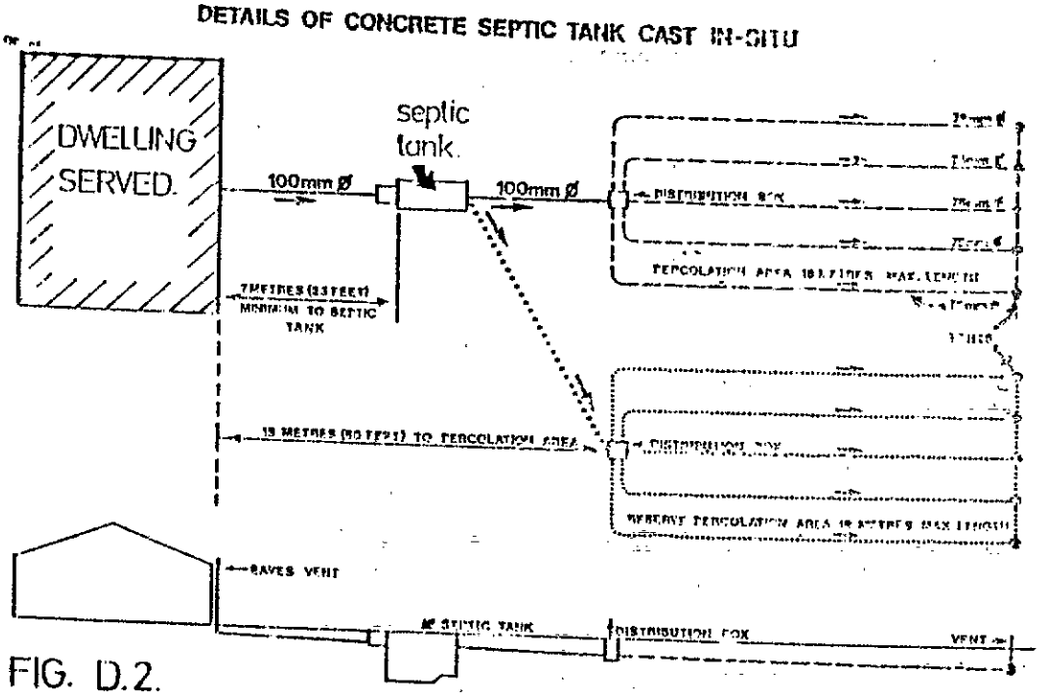


FIG. D.2.

TYPICAL PLAN & SECTION OF SEPTIC TANK, DISTRIBUTION BOX & PERCOLATION AREAS

Preliminary Items.

1. **Bye-laws:**
The whole of the work is to be carried out in accordance with the Public Health Building Bye-laws, and the regulations of the Local Authority, Water Dept. etc.
+ DRAFT BUILDING REGULATIONS.

2. **Structural Works:**
Generally structural works will be carried out in accordance with latest Codes of Building Practice, and materials must comply with the appropriate Irish Specification, or where this is not available, the corresponding British standard specification.

3. **Excavations:**
The site of new works shall be cleared of all vegetable matter and top soil. Trenches for foundations, footings, piers and drains will be excavated to the depths and widths as shown or to such additional depth as may be necessary to obtain a hard firm dry bed, as may be decided by the Architects, or as required by the Local Authority.
Special reinforced concrete, raft or pile foundations will be the subject of specialist details and schedules.

4. **Concrete Blocks:**
Solid blocks shall comply with I.S. No. 20, 1964, and may be obtained from an approved manufacturer, in which case all shall be equal to the approved sample. Blocks shall be a nominal size of 18" x 9" x 4½" thick, or as may be more suitable and approved for the various wall thicknesses.

5. **Brickwork :**
Bricks to be in accordance with appropriate B.S.S. for (a) Clay Bricks (b) Cement Bricks (c) Silicate Bricks and to be of approved manufacture. For making up, old or second-hand stock bricks in good condition may be used, with the approval of the Architect.

6. **Mortars:**
Cement mortar <u>for blockwork</u> below d.p.c. to be
3 : 1 sand & cement & 10% hydrated lime.
Lime mortar, <u>for blockwork</u> (above d.p.c.) to comprise:
4 : 1 sand & hydrated lime + 10% cement.
Lime mortar, <u>for brickwork</u> to comprise:
3 : 1 sand and hydrated lime + 10% cement.
In each case, cement to be gauged shortly before use.

7. Concrete Mixes:

Concrete Mixes will attain specified strengths when treated in accordance with British Standard 1881: Parts 1 to 4: 1970.

Readymix concrete (or equivalent) grade designation.	Type of work where used.	Mixture (Works cube strength within 28 days after mixing C.P. 114: Part 2 1969.)
25.5N	Foundations generally. Rising piers/walls to ground level. Miscellaneous mass concrete items.	Max. aggregate size 40 mm Min. 28 days strength 25.5N/mm 2. Min. cement content 300 Kilogrammes/ Cub. metre of concrete.
30N	Reinforced concrete slab, walls and piers.	Max. agg. size 20 mm. Min. 28 days strength 30N/mm 2. Min. cement content 525 Kg./cub. metre of concrete.
34.5N	Precast work generally, cills lintols, heads etc.	Max. agg. size 12 mm. Min. 28 days strength 34.5N/mm 2. Min. cement content Kg/cub. metre of concrete.
10N	Lean concrete.	Max. agg. 40 mm. Min. 28 days strength 10N/mm 2.

VIBRATOR:

Where directed, the concrete to be thoroughly compacted by means of an approved pattern immersion vibrator, or otherwise.

FROST:

No concrete work shall be executed during frost, and any newly placed work shall be covered up and protected during cold weather.

Concrete laid during hot weather shall be kept continuously damp and covered until set.

8. Foundations:
To be 250mm thick and not less than three times the width of the wall being carried and taken down to a firm footing to approval of Local Authority. Reinforce with 12mm M.S. bars as shown.

9. Walling:
External walls to be 215 hollow block with internal lining and insulation. Walling below DPC to be solid block. Internal block walling to be 100mm solid or cavity block. Build in spanlite lintols ensuring not less than 225 depth of blockwork over. Provide ring beam around perimeter having 10mm reinforcement as shown and build in holding down bolts or other suitable straps to anchor the roof wall plate.

10. Dampcourse:
To be heavy grade black plastic, laid full thickness of walls and well lapped at joints and to be lapped over by the underfloor D.P.layer. Provide DPC under sills turned up at back and ends and also in chimney stack at junction with roof and under capping.

11. Ventilation:
Provide 225 x 150 vents to all habitable rooms without fireplaces. Windows to have opening units equal to 1/20 of floor area.

12. Roof:
Form roof as shown using pre-treated timbers spiked to wallplates and suitably supported and strutted. Purlins to be jointed only over struts. Provide projecting eaves and soffite all round. cover with non-tearable sarking felt with 50 x 25 laths to take flat interlocking concrete tiles and finish at hips and ridge with concrete ridge tiles. build in tile vents to ensure through ventilation to roof.

13. Floor slab:
Lay 150 concrete floor slab on not less than 150 hardcore and allow for damp proof membrane and perimeter insulation. D.P.membrane to be carried up and across walls to link with wall DPC.

14. Partitions:
To be 100 x 50 timber studding laid on course of brick braced and nogged where required and finished with 9mm PB.

15. Windows:
To be hardwood, aluminium or PVC with opening units as shown. set on rebated conc weathered sills secure to jambs and heads and point in mastic. Clear glass generally except Bathroom.

16. Doprs:
Fix standard external hardwood doors and frames and internal flush doors and soft wood frames complete with all usual door furniture.

17. Finishes:
Ceilings to have foil backed plasterboard skimmed with hard wall plaster. Walls and partitions to be lined with plasterboard incorporating insulation and vapour barrier .

18. Trim:
Provide all usual door trims, sill boards to windows, saddles and finish at floor with timber skirtings.

19. External finish:
Scud, two coat render in cement and sand gauged with lime and finish with white roughcast. Provide sand and cement reveals to windows and doors and form napp finish plinth and steps.

20. Services: Plumbing.
Provide storage water tank set on framing at high level in roof space to give proper head for shower fitting. Copper indirect cylinder with immersion group to be provided in hot press. Low level WC suite and wash basin to be vitreous china, bath to be VC finish and kitchen sink to be stainless steel. Sink only to be connected to rising main, all ther fittings to be supplied from storage tank. Provide all usual overflows to deliver outside building, all usual stopcocks and draw off point for emptying the system. All piping to be hard drawn copper. Tank and piping in roof space to be fully insulated.

21. Services: Electric.
Provide all usual wall sockets and ceiling points, wired and earthed to meet ESB requirements. Wiring where necessary to be run in conduit. If required allow for underground main.

22. Services: Water.
Reconnect to existing water service after inspection and approval by Dublin Corporation Water Dept.

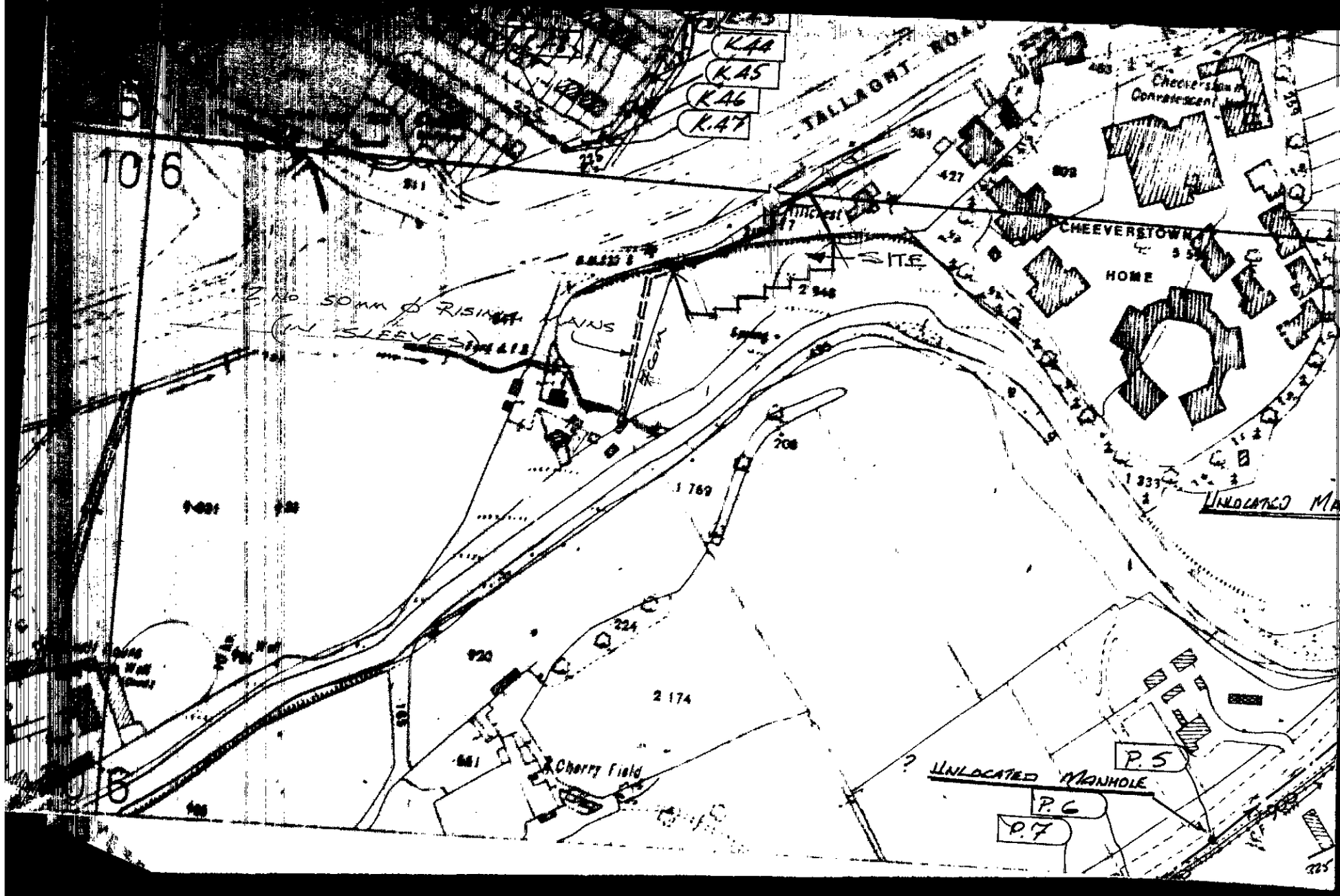
23. Services: Central Heating.
Provide low pressure C.H. system comprising small bore pipes pressed steel radiators, header tank all connected to ~~wall mounted balanced flue gas~~ OIL FIRED boiler. Work to be carried out by approved ~~Gas. Co.~~ plumbers.

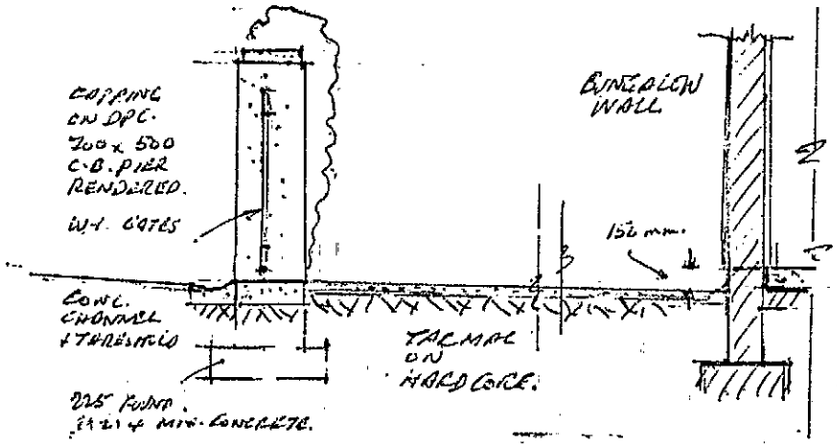
24. Insulation:
House ceilings and external walls to be fully insulated to meet present standards.

25. Site works: drainage. -(SEPTIC TANK + PERCOLATION PIPES)
Lay drainage as shown with concrete beds to take sewer grade 100mm pvc piping laid to proper falls and complete with all gulleys junctions and manholes as shown. Manholes to have 225 concrete walling on 150 concrete base and with grease sealed covers. Provide vented soil pipe carried up through roof tiling. Test at completion and all to be approved by L. A. before any work is covered up. Foul water to run Septic tank as detailed. Surface water to run to ditch and river.

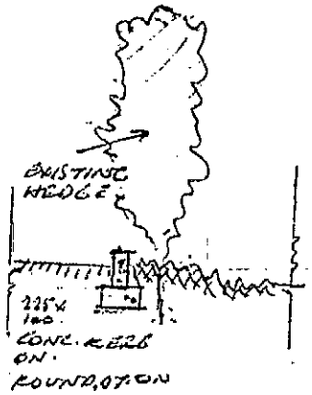
26. Site works: paths and walls.
form boundary walls as required set on approved foundations. lay concrete paving around house 100 thick on hardcore. lay 50mm tarmac over well consolidated hardcore and stone blinding to driveway complete with concrete curbing to grass areas.


K.6
K.23
K.22
825
K.27
School
K.28
K.30
K.56
K.32
K.33
K.54
K.34
K.57
K.58
K.59
K.62
K.63
K.35
K.60
K.61
K.38
K.39
K.65
K.66
K.40
K.42
K.41
K.37
K.36
K.50
K.51
K.52
K.80
K.78
K.77
K.79
K.76
K.75
K.21
K.86
K.85
K.82
K.81
K.20
K.87
K.19
K.88
K.89
K.90
K.91
K.92
TEMPLE
DOGUE WOOD
225
150
855
966
705

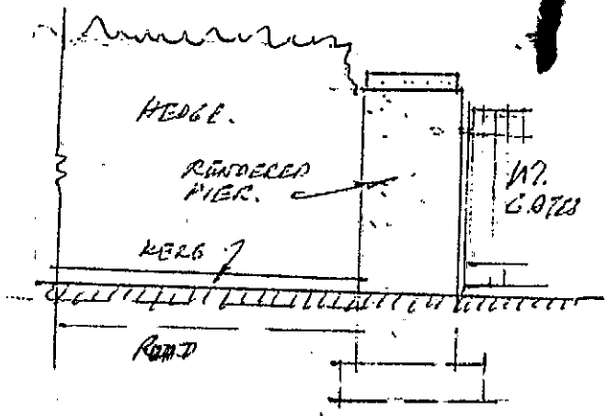

K.44
K.45
K.46
K.47
TALLAGHT ROAD
Cheeverstown Convalescent Home
CHEEVERSTOWN
HOME
SITE
50mm Ø RISING MAINS
SLEEVE
Cherry Field
UNLOCATED MANHOLE
P.5
P.6
P.7
2 174
1 769
1 333
106



SECTION AT GATEWAY.
1:50 SCALE.

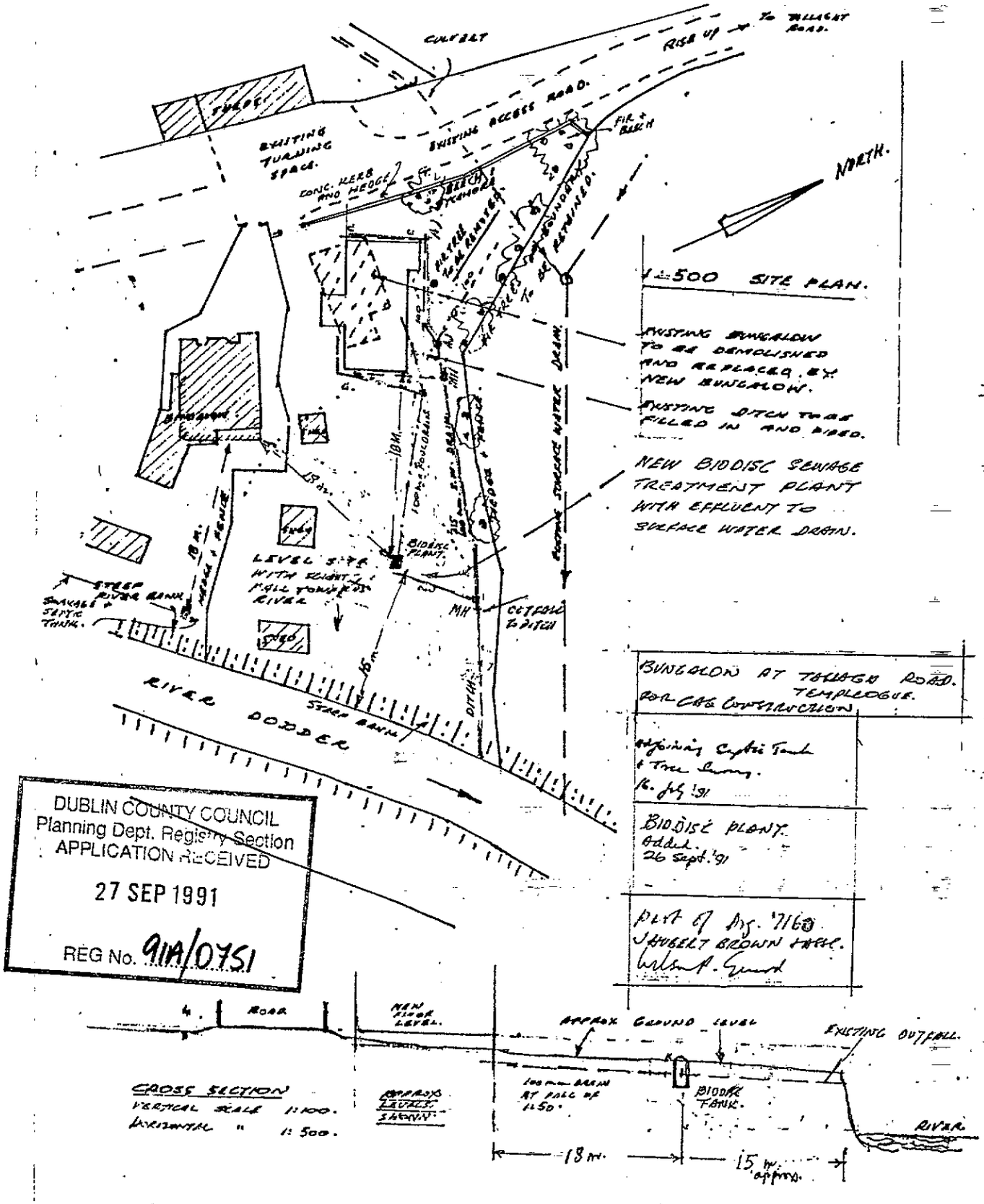


SECTION AT KERB
TO EXTEND FULL WIDTH OF SITE.



ELEVATION OF GATE PIER.

26 Sept. 91.	1:50.	No. 7175.
BUNGALOW AT TALLAGHT RD. TEMPLE DRIVE.		ENTRANCE PIERS.
AT CAG CONSTRUCTION		
Hubert Byrne & Associates. ARCHITECTS. Tel. 2 893421.		



App 15/5

Dublin County Council Comhairle Chontae Atha Cliath

Planning Department

Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

J. Hubert Brown & Associates,
Architects,
1, Deansgrange Road,
Blackrock,
Co. Dublin.

Our Ref. 91A-0751
Your Ref.
Date 15 May 1992

Demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road near Wellington Lane, Templeogue for C. A. G. Construction.Z

I, the undersigned, hereby acknowledge receipt of Notification of Decision, dated 15 May 1992, in connection with the above.

Signed: _____

On behalf of: (Name) _____
(Address) _____
_____

I hereby certify that the above Notification, dated 15 May 1992, was handed by me to the above signed today.

SIGNED: _____
DATED: 15/5/92

in Letter Box

Dublin County Council Comhairle Chontae Atha Cliath **Planning Department**

Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT)ACTS 1963-1991.

Decision Order Number : P/ 2171 /92 Date of Decision : 15th May 1992

Register Reference : 91A/0751 Date Received : 27th September 1991

Applicant : C.A.G. Construction

Development : Demolition and replacement of existing bungalow and septic tank on same site.

Location : Tallaght Road near Wellington Lane, Templeogue

Floor Area : Sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received :280691//180791

In pursuance of its functions under the above mentioned Acts,the Dublin County Council,being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

Subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- .6.....ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer

Date:.....

J. Hubert Brown & Associates,
Architects,
1 Deansgrange Road,
Blackrock,
Co. Dublin.

Dublin County Council Comhairle Chontae Atha Cliath **Planning Department**

Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Reg.Ref. 91A/0751
Decision Order No. P/ 2171 /91
Page No: 0002

C O N D I T I O N S / R E A S O N S

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 18th July, 1991, clarification of additional information received on 27th September, 1991, and submission received on 30th April, 1992, including revised site as shown on Drawing Ref. No. 7180, save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 The requirements of the Sanitary Services Department to be complied with in the development. Foul and surface water drainage to be as per drawing Ref. No. 7180, subject to final details being agreed with the Sanitary Services Department, through the Planning Authority. In particular, the proposed rising main is to incorporate a protective sleeve sufficiently large to cater for this house and the adjoining dwelling. The adjoining dwelling is to be allowed to use this protective sleeve.

02 REASON: In the interest of the proper planning and development of the area.

03 The proposed land swop with the County Council as shown on drawing ref. no. 7180 to be completed prior to commencement of development.
REASON: To ensure the provision of a riverside walk.

04 All public services to the proposed development, including electrical, telephone cables and equipment to be located underground, unless otherwise agreed with the Planning Authority.
REASON: To minimise the visual impact of the proposed development, which is located within the Dodder Valley Linear Park.

05 Roof tiles/slates to be of muted colour, eg. blue/black or brown.
REASON: In the interest of visual amenity.

06 That a financial contribution in the sum of 375. be paid by the proposer to Dublin County Council towards the provision of public foul sewerage in the area of the proposed development and which will facilitate this development. This contribution to be paid prior to the commencement of development on site.

06 REASON: In the interest of the proper planning and development of the area.

J. Hubert Brown & Associates

Chartered Architects W. P. GUARD F.R.I.A.I. R.I.B.A.

MARSWORTH DEANSGRANGE ROAD BLACKROCK CO DUBLIN TEL:289 34 21

6 May 1992

91A/751

Dublin County Council - PLANNING DEPT. AND
Byelaw Section,
Liffey House Tara St., Dublin 2.

1.14.2

Bungalow at Tallaght Rd., Templeogue. Ref. 91A/751
Additional Information.

Dear Sirs,

As requested we send further information in respect of the above application.

1. Drainage: The soakage test having proved to be unsatisfactory, it was agreed in principle by the Drainage section that pumped effluent to a foul sewer would be considered. A revision of boundaries was also agreed tentatively with the Parks dept. to provide a riverwalk at the rear of the site. These revisions have been shown on the revised drawings enclosed.

2. Drawings enclosed in quadruplicate:-

Site plan revised	No. 7180 (2 copies).	
Boundary wall and drainage details.	No. 7181	
General plan updated	5 May 92	No. 7159
Cross section.	7 May 92	No. 7160

ABS Synconta leaflet showing proposed pump. (2 copies.)

If you require further information please let us know.

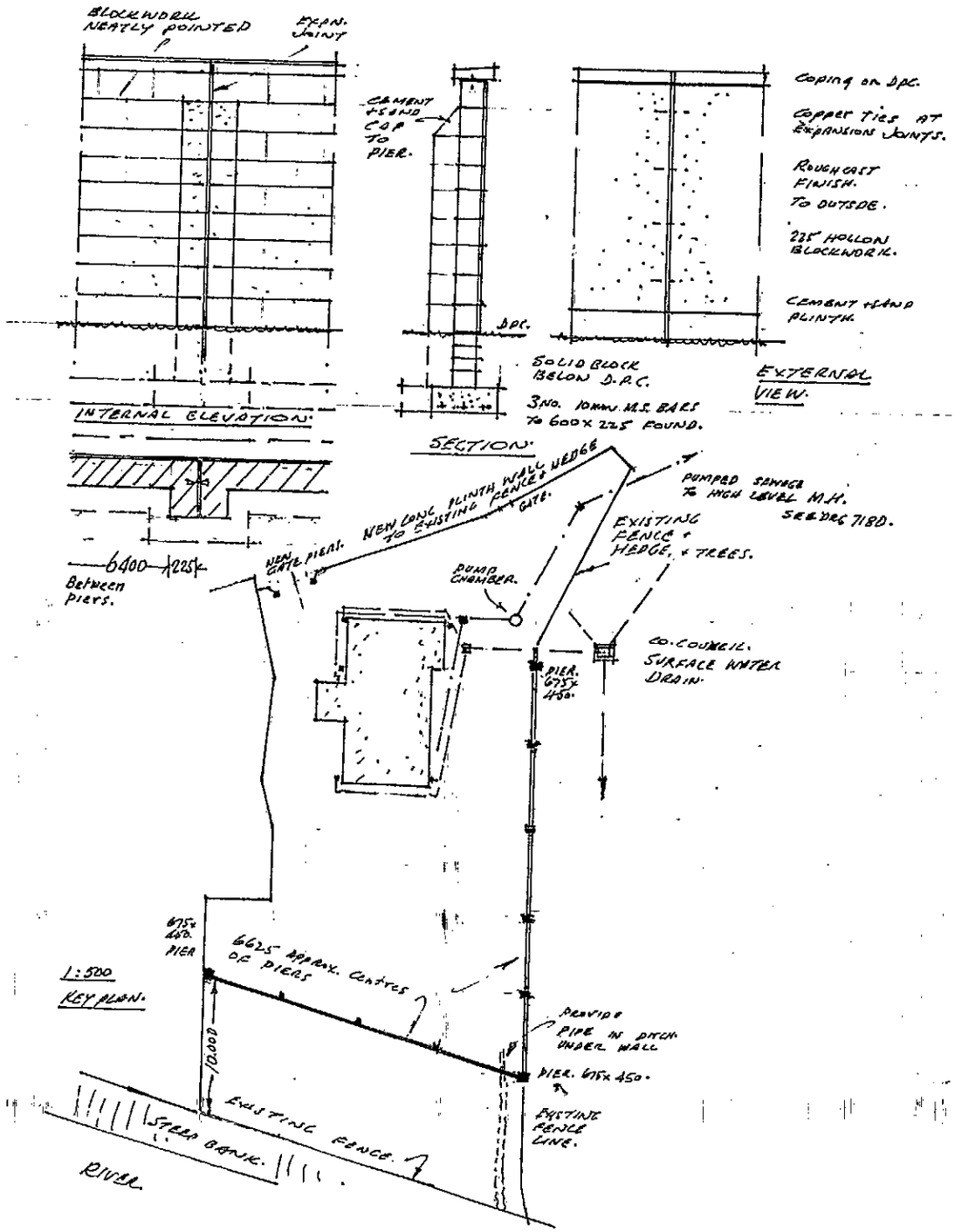
Yours faithfully,

Wilson P Guard

J. Hubert Brown & Associates.

c.c CAG Construction.

RECEIVED
7 MAY 1992
Reg. Sec.



DRAINAGE NOTES

FOUL DRAINS.

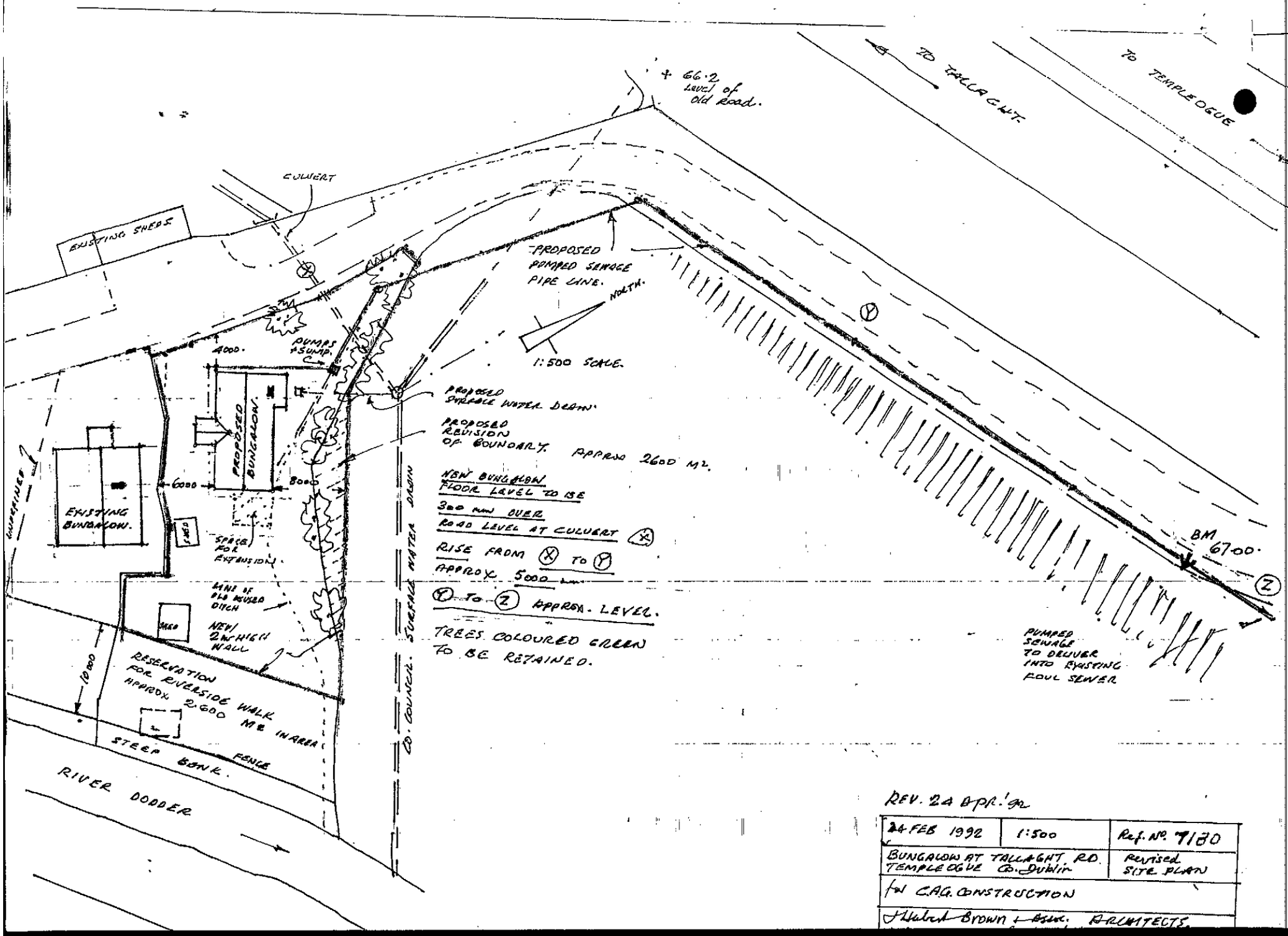
TO BE 100 mm PVC PIPES LAID ON CONC. BED TO A FALL OF 1 IN 40 + TO BE ENCASED IN CONCRETE WHERE REQUIRED.

SEWAGE PUMP TO BE SUPPLIED + FIXED BY SPECIALIST FIRM COMPRISING TWIN 'PIRANA' TYPE PUMPS IN PREFABRICATED SUMP SET ON + SURROUNDED WITH 150 mm CONCRETE COVER. EFFLUENT TO DELIVER TO NEAREST FOUL SEWER + TO CONSIST OF 50 mm WAVIN PIPING THREADED THROUGH 100 mm PVC SEWER GRADE PIPING WITH ACCESS POINTS AS SHOWN. ALL TO MEET DRAINAGE DEPT. REQUIREMENTS.

SURFACE WATER

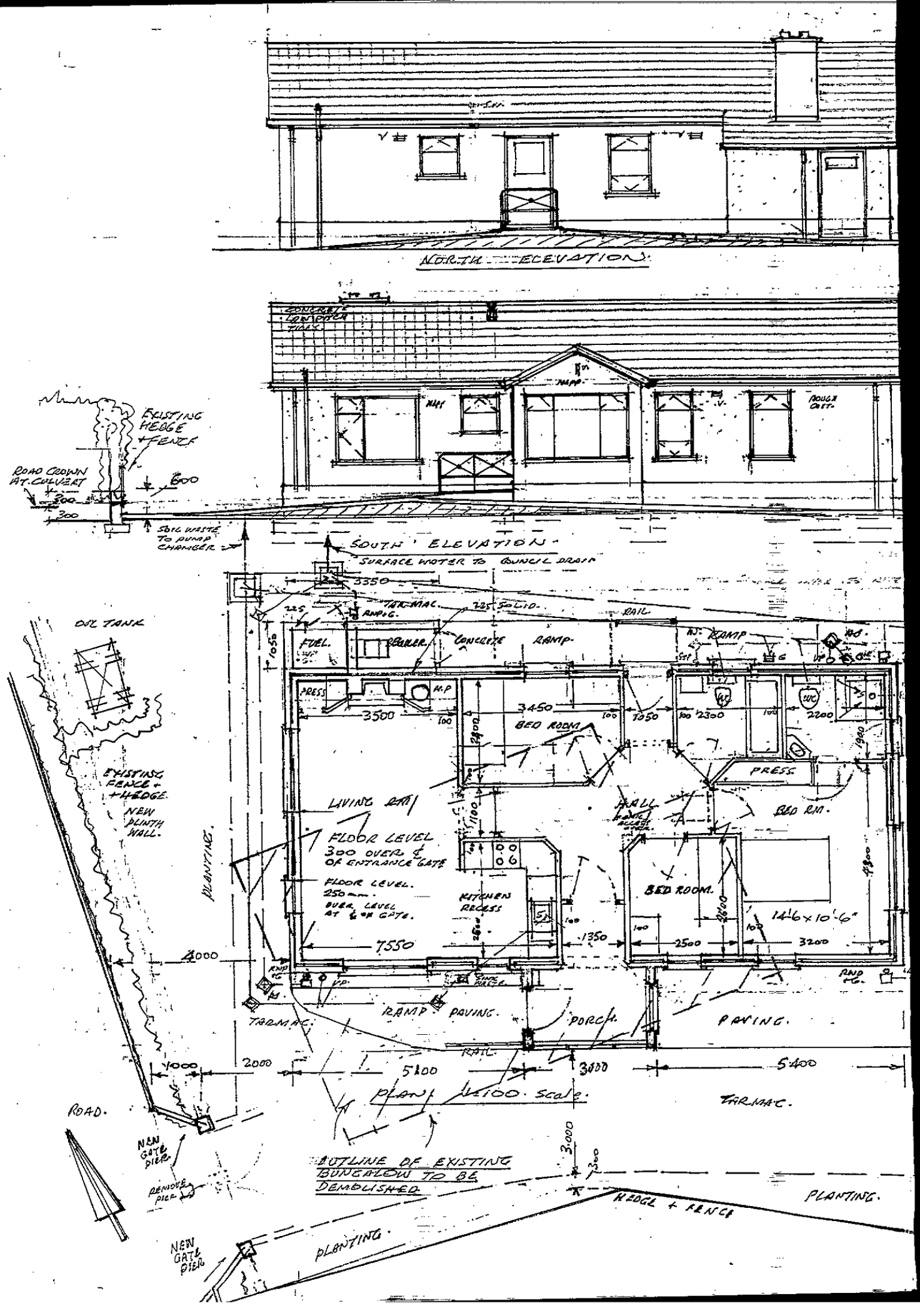
TO BE 100 mm PVC PIPING SET ON LEAN MIX BED HAUNCHED UP WHERE REQ'd + TO DELIVER TO COUNTY COUNCIL DRAIN AS SHOWN.

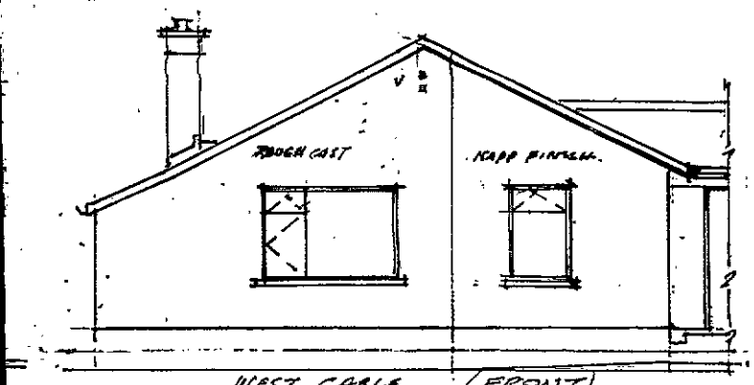
4 MAY. 92	1:50 1:500.	REF. NO. 7181
COTTAGE AT TALLAGHT RD. TEMPLEOGUE. DUBLIN 6. for CAG CONSTRUCTION.		WALL DETAIL. DRAINAGE NOTES.
J. Herbert Brown Assoc. ARCHITECTS 1. Donnybrook Rd. Blackrock. Co. Dublin.		



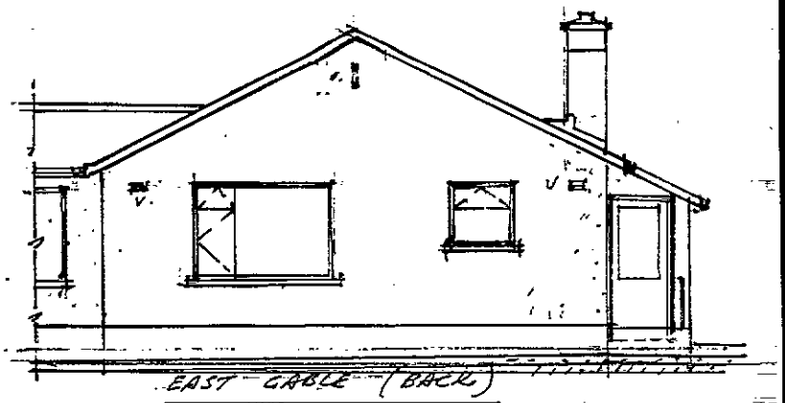
REV. 24 APR. '92

24 FEB 1992	1:500	Ref. No. 7180
BUNGALOW AT TALLAGHT RD. TEMPLEOGUE Co. Dublin		Revised SITE PLAN
for C.A.G. CONSTRUCTION		
Hubert Brown + Assoc. ARCHITECTS.		

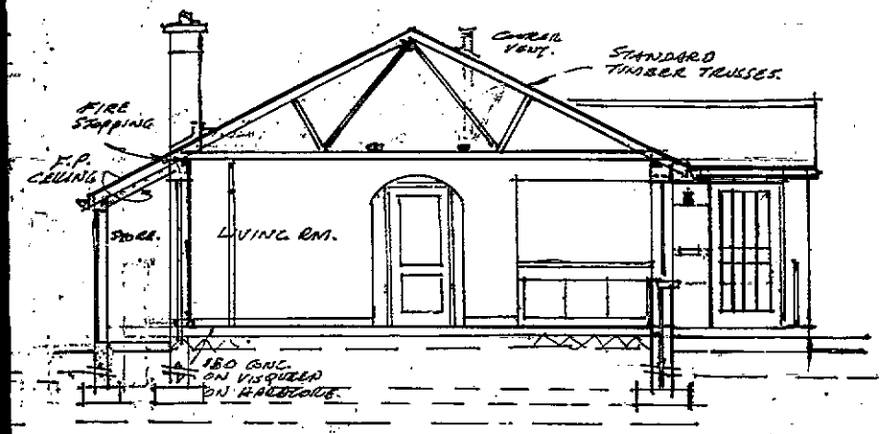

NORTH ELEVATION
SOUTH ELEVATION
EXISTING HEDGE + FENCE
ROAD CROWN AT CULVERT
SOIL WASTE TO PUMP CHAMBER
SURFACE WATER TO COUNCIL DRAIN
OIL TANK
EXISTING FENCE + HEDGE
NEW PLINTH WALL
PLANTING
FUEL
BURNER
CONCRETE RAMP
TARMAC
RAIL
PRESS
H.P
BED ROOM
LIVING RM
FLOOR LEVEL 300 OVER ℄ OF ENTRANCE GATE
FLOOR LEVEL 250 mm. OVER LEVEL AT ℄ OF GATE
KITCHEN RECESS
HALL
BED RM.
BED ROOM.
14'6 x 10'6"
RAMP PAVING
PORCH
PAVING
PLAN 1/100 Scale
ROAD
NEW GATE PIER
REMOVE PIER
OUTLINE OF EXISTING BUNGALOW TO BE DEMOLISHED
HEDGE + FENCE
PLANTING



WEST GABLE (FRONT)

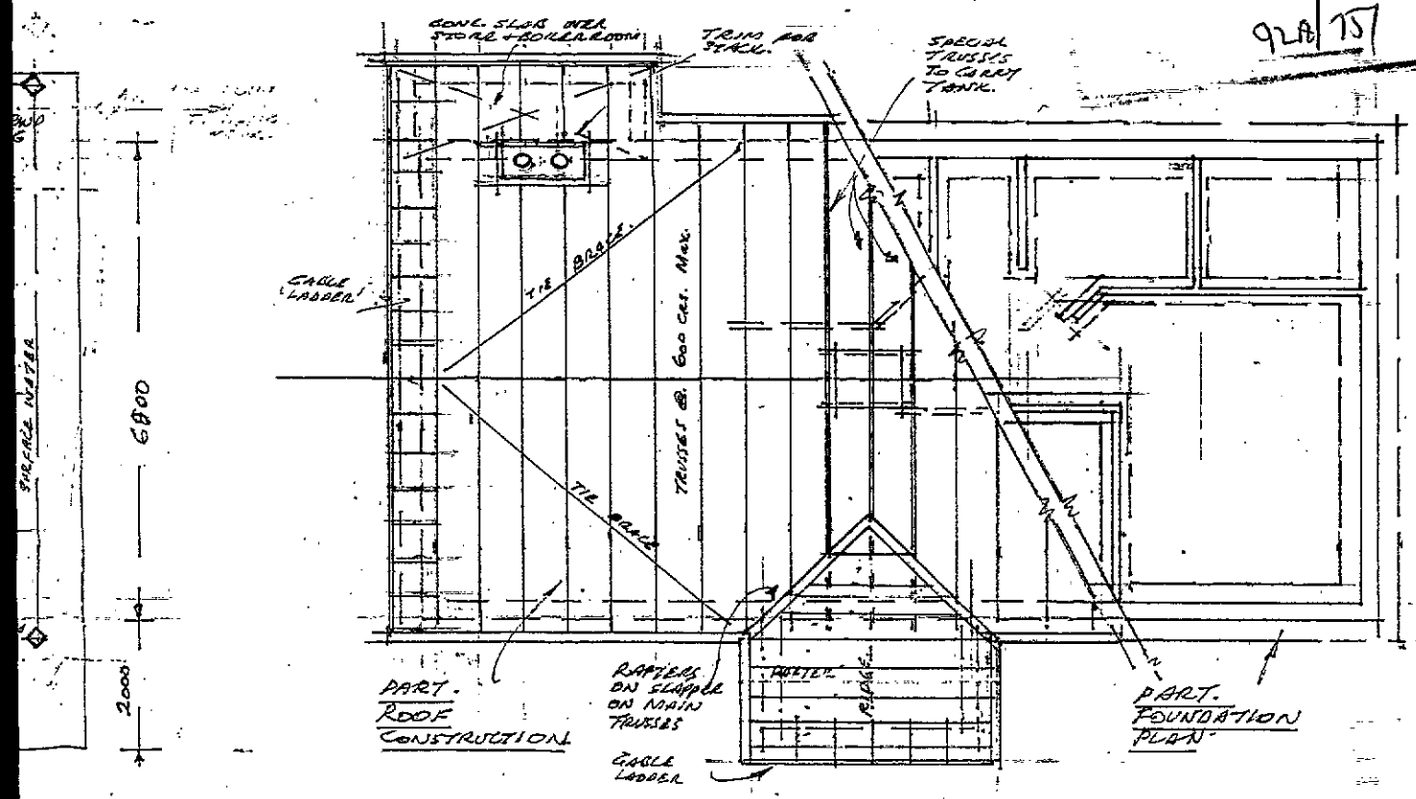


EAST GABLE (BACK)



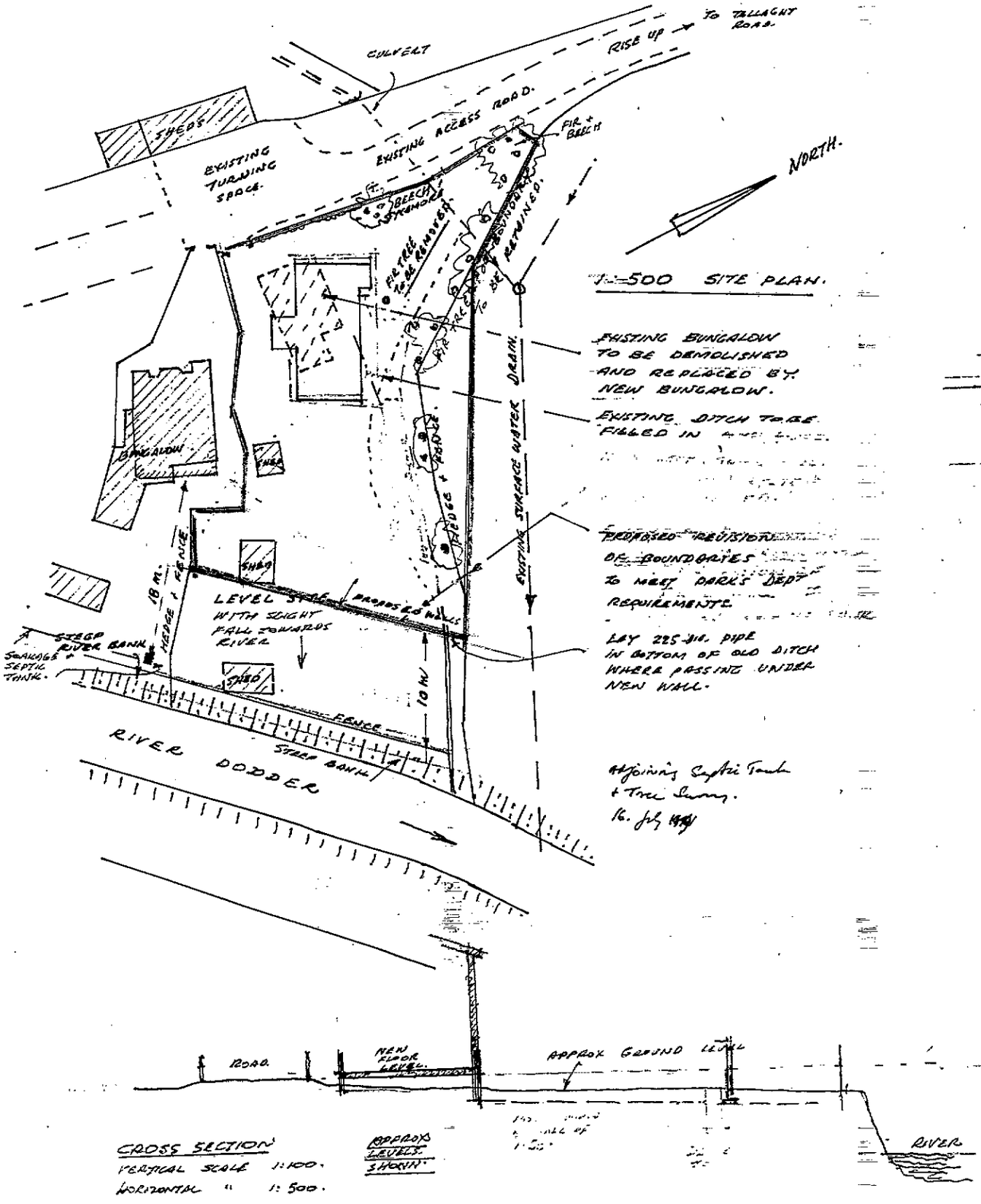
CROSS SECTION

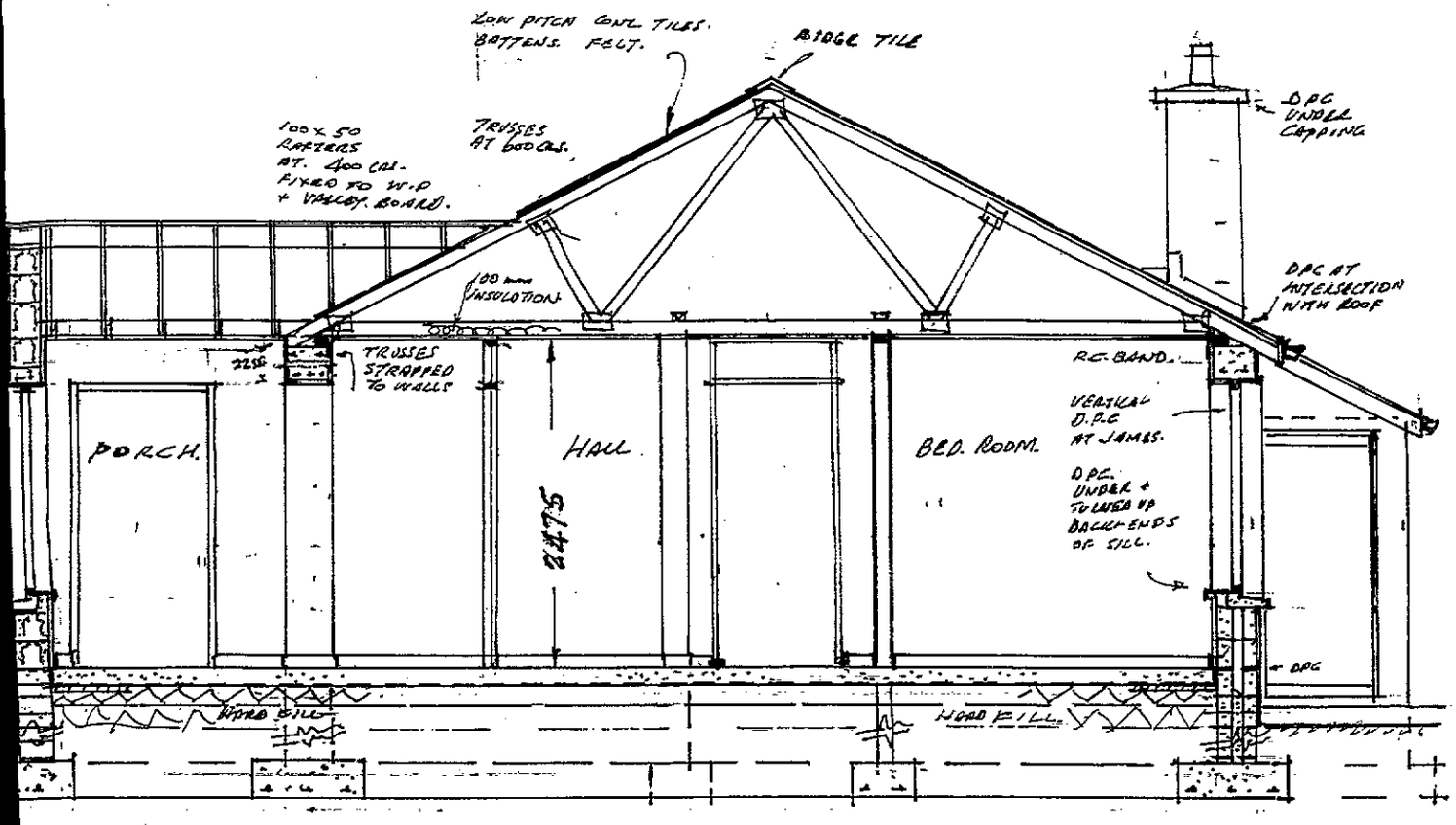
Copy to Bye-laws



REVISED: 15 MARCH '91. DRAWING 5. MAY. 92

11 FEB 1991.	1:100 SCALE	REF NO. 7159.
COTTAGE AT TALLAGHT RD. TEMPLE BOYE CO DUBLIN.		GENERAL PLAN.
for CAG CONSTRUCTION.		
JAUBERT BROWN & ASSOC. ARCHITECTS. 1. Beresgrange Road. Blackrock. Co Dublin.		


To TALLAGHT ROAD.
RISE UP
CULVERT
SHEDS
EXISTING ACCESS ROAD.
EXISTING TURNING SPACE.
FIR + BEECH
NORTH.
BEECH STUMPS
FIR TREE TO BE REMOVED
BOUNDARY REDEFINED.
1:500 SITE PLAN.
EXISTING BUNGALOW TO BE DEMOLISHED AND REPLACED BY NEW BUNGALOW.
EXISTING DITCH TO BE FILLED IN
EXISTING SURFACE WATER DRAIN.
BUNGALOW
SHED
PROPOSED REVISION OF BOUNDARIES TO MEET DARK'S DEP^T REQUIREMENTS.
18 M.
HEDGE + FENCE
LEVEL STRIP WITH SLIGHT FALL TOWARDS RIVER
PROPOSED WALLS
LAY 225 dia. PIPE IN BOTTOM OF OLD DITCH WHERE PASSING UNDER NEW WALL.
STEEP RIVER BANK
SOAKAGE + SEPTIC TANK.
10 M
FENCE
STEEP BANK
RIVER DODDER
Adjoining Septic Tank + Tree Survey.
16. July
ROAD
NEW FLOOR LEVEL.
APPROX GROUND LEVEL
RIVER
CROSS SECTION
VERTICAL SCALE 1:100.
HORIZONTAL " 1:500.
APPROX LEVELS SHOWN.

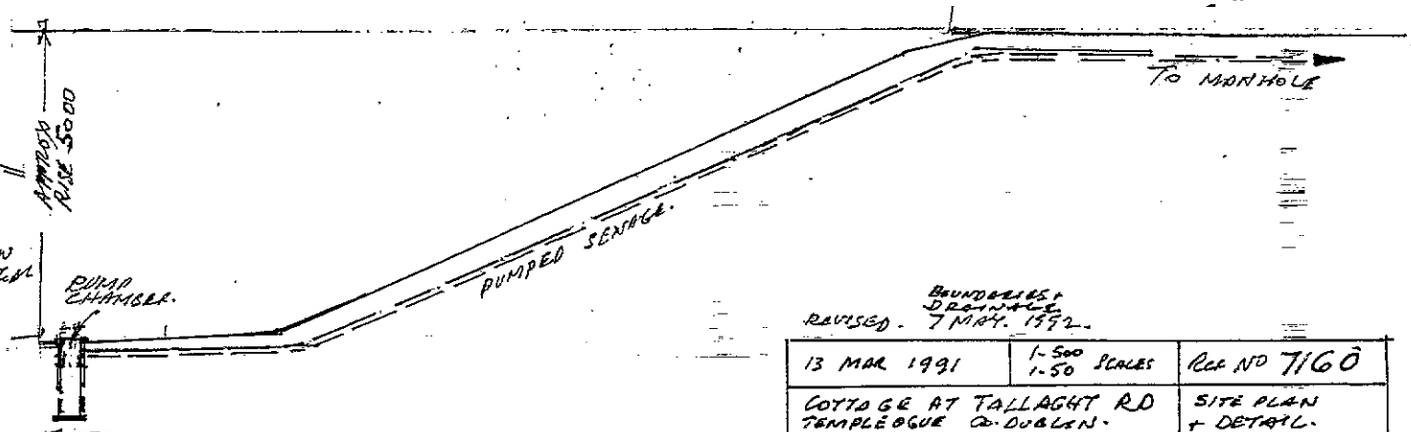


1:50 CROSS SECTION

CAVITY BLOCK WALLS
TO PORCH O.N. 645 x 225
CONCRETE FOUND.S.
300 DOUBLE SKIN WALLING
WITH INSULATED CAVITY
ON 700 x 225 POUNDS
ELSWHERE
WALL TO BOILER RM
+ SE TO BE 215 SOLID.
CEILING TO BE FIRE PROOFED
WITH CEMENT PLASTER 25 mm THICK
ON PANDER METAL LATHING.

ALL TRUSSES + TIMBER
TO COMPLY WITH
S.R. 11. 1988
ROOF TILES TO BE
CONCRETE INTERLOCKING
LOW PITCH. LAID OVER
BATTENS + FELT.

FLOOR TO BE 150 mm CONC SLAB
ON D.P. LAYER ON HARDCORE
WITH PERIMETER INSULATION.



S-SECTION.
AS FOR
E SECTION

REVISED. BOUNDARIES + DRAINAGE 7 MAY. 1992.

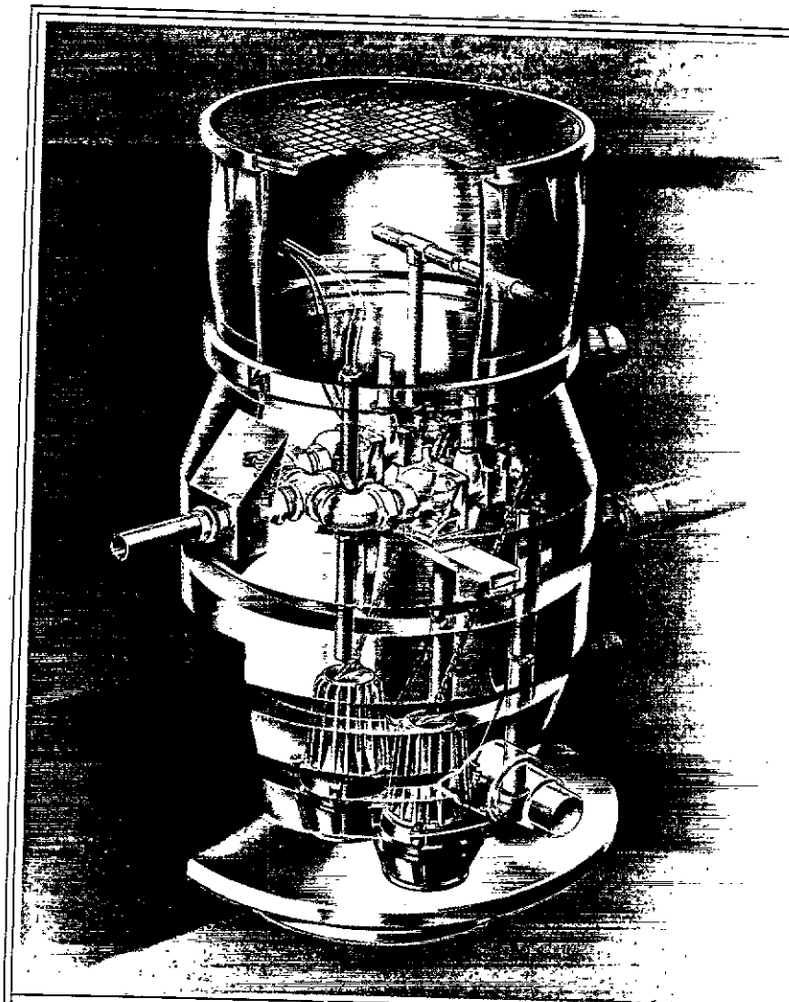
13 MAR 1991	1-500 1-50 SCALES	REF NO 7160
COTTAGE AT TALLAGHT RD TEMPLEOGUE CO. DUBLIN.		SITE PLAN + DETAIL.
for CAG. Construction!		
J. Hubert Brown + Assoc. ARCHITECTS 1. Seanagrange Road Blackrock Co. Dublin.		

VU-4720 2/89 GB

ABS PUMPS

SYNCONTA® 1 and 2

For automatic removal of waste-water and sewage from rooms and areas below sewer level by means of a pre-fabricated sump of synthetic material fitted with one or two pumps



Synthetic Pre-Fabricated Sump for ABS-Submersible Pumps for installation outside a building

Easily transportable, corrosion resistant, synthetic collection tank for sewage

Can be easily and economically installed without the use of a crane

Pump fitting and maintenance is easy, no need to enter the sump

Four inlet ports DN 200/150/100 at different heights

Simple pipe connection by means of standard push-on connectors

Plug-/Cable port, odour-tight for combined cable duct and venting 70 mm N.B.

A range of standard ABS Submersible Pumps can be fitted*

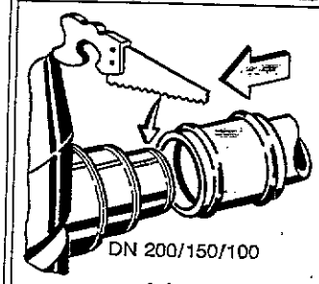
Supplied with ball-type non-return valve and gate-valve

With self-sealing high level coupling. Pump seals itself automatically when suspended in position

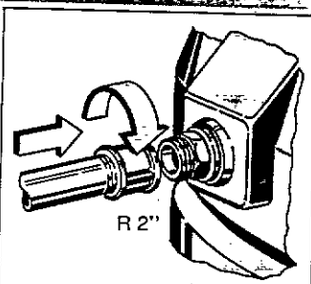
Pump control by means of the PNEUMOSTAT automatic level control system

Robust chequered plate (cast iron) with cast-in grips for easy removal (Class A)

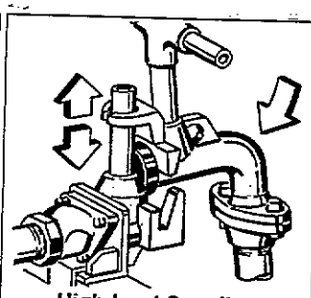
* PIRANHA PA-I-3465



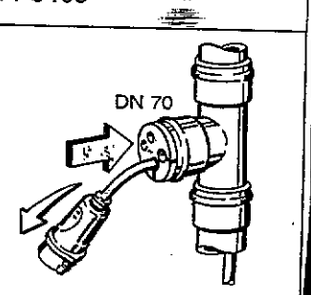
Inlet



Discharge Line Connection



High-level Coupling



Plug-/Cable Inlet

The fully equipped synthetic prefabricated sump SYNCONTA is used where medium quantities of effluent must be pumped away quickly and effectively. It is ideal where civil work or erection time must be kept to a minimum. It is a fully functioning waste-water or sewage lifting station fitted with one or two pumps.

The SYNCONTA is ideal for applications where waste-water must be removed from buildings and areas below sewer level and where a gravity discharge into the sewer is not possible.

The sump can be installed in open ground outside the building and is an effective, quick, and economical solution to the sewage removal problems of the Contractor and Architect.

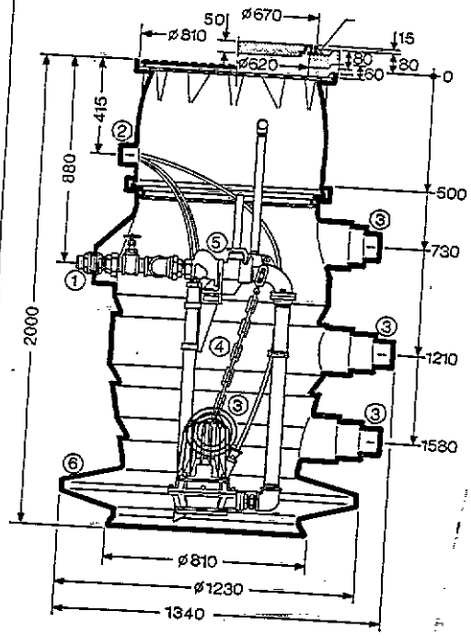
Design: The collection sump is made of high quality synthetic material and floating prevention is standard.

Four inlet ports at different heights DN 200/150/100 are supplied for the connection of sewer collection lines with DIN-push-on connectors. There is a connection port DN 70 for the vent/cable duct with odour-tight plug/cable inlet.

Fitted with high-level coupling and bracket for ABS Submersible Pumps, ball-type non-return valve and shut-off valve.

Flange with internal thread R 2" for screwed discharge line connection.

Dimensions in mm



① Discharge line connection Flange with internal-thread R 2"

② Connection Port DN 70 for vent/cable duct connection with DIN push-on connector

③ Inlet Ports DN 200/150/100, with DIN push-on connector

④ Chain

⑤ High level coupling complete with bracket

⑥ Floating prevention when lowering into ground water

Weights in kg

SYNCONTA-prefabricated sump	61,0
Sump cover (Class A)*	40,0

*=Acoessory

The Pumps

The following ranges can be supplied:

☐ **MF** for the pumping of ground and rain water, waste-water and washing effluent, as well as

☐ **AS/AV** for the pumping of waste-water containing solid or fibrous matter.

☐ **PIRANHA** for the pumping of sewage and effluent containing feacal matter, especially over long distances and where high heads are required.

The pumps can be supplied as standard or as explosion-proof versions.

Accessories

Discharge line connection pieces between discharge line and pump:

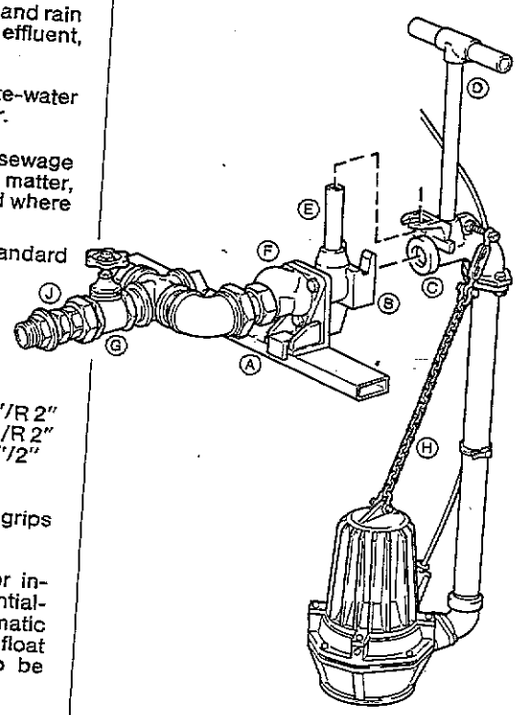
for PIRANHA:	R 1¼"/R 2"
for AS 10 to 16-2, AV 14-4:	DN 80/R 2"
for MF-CB 402D ex:	R 1½"/2"
for MF-VX:	R 2"

Sump Cover (Cast Iron) with cast-in grips (Class A)

Control Unit ISO-HL, basic unit for internal erection with alarm unit, potential-free fault indicator, electropneumatic level control PNEUMOSTAT (KS-float switches for level control can also be applied).

Control Panel (IP 54) for external erection made from plastic with base or pedestal, can be locked.

The ABS High-Level Coupling



The ABS High-Level Coupling ensures a quick and easy installation. The special connection unit with coupling piece is installed and secured in the pump together with the valves before the sump itself is placed in position.

The complete pump unit is lowered by hand down the guide-rail. The unit automatically aligns and locates itself in the correct position, effecting a seal on the high-level discharge coupling.

This automatic coupling process is especially useful when checking or inspection work is needed.

Ⓐ Bracket-fixed installation
Ⓑ Connection piece with coupling unit
Ⓒ Bracket with guide claws
Ⓓ Lifting handle to withdraw pump for inspection
Ⓔ Guide tube
Ⓕ Ball-type non-return valve
Ⓖ Shut-off valve
Ⓗ Discharge line-pump support
Ⓙ Discharge line connection

Dublin County Council Comhairle Chontae Atha Cliath **Planning Department**

Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street.
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Register Reference : 91A/0751 Date Received : 27th September 1991

Applicant : C.A.G. Construction

Development : Demolition and replacement of existing bungalow and septic tank on same site.

Location : Tallaght Road near Wellington Lane, Templeogue

Applicant : C.A.G. Construction

App. Type : Additional Information

Date Recd : 27th September 1991

With reference to your planning application received here on 27.09.91 in connection with the above,I wish to inform you that:-
In accordance with Section 26(4A) of the Local Government(Planning and Development) Act 1963,as amended by Section 39(F) of the Local Government (Planning and Development) Act,1976 the period for considering this application within the meaning of subsection (4A) of Section 26 has been extended up to and including the 15.05.92.

Yours faithfully,

PRINCIPAL OFFICER

Date : 9/4/92

J. Hubert Brown & Associates,
Architects,
1 Deansgrange Road,
Blackrock,
Co. Dublin.

1529 DE

J. Hubert Brown & Associates

Chartered Architects W. P. GUARD F.R.I.A.I., R.I.B.A..

MARSWORTH DEANSGRANGE ROAD BLACKROCK CO DUBLIN TEL: 89 34 21

6 April 1992

Dublin County Council
Planning Dept.
2, ILC, Lwr Abbey Street,
Dublin 1

Re: Bungalow at Tallaght Road: Ref. 91A/0751

Attention Mr. Cremin.

Dear Sirs,

We request a further time extension on the above application up to 15 May 1992 to finalize proposals for the River Walk and pumped drainage.

Yours faithfully,

Wilson P Guard

J. Hubert Brown & Associates.

c,c CAG. Construction.

J. Hubert Brown & Associates,
Architects,
1, Deansgrange Road,
Blackrock,
Co. Dublin.

91A-0751

26 February 1992

Re: Permission for demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road new Wellington Lane, Templeogue for C. A. G. Construction.

Dear Sir/Madam,

With reference to your planning application received here on 9th May, 1991, (letter for further extension period received 26th February, 1992), in connection with the above, I wish to inform you that:-

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the period for considering this application within the meaning of subsection (4A) of Section 26 has been further extended up to and including 15th April, 1992.

Yours faithfully,

for Principal Officer.

J. Hubert Brown & Assocs.,
Architects,
1 Deansgrange Road,
Blackrock,
Co. Dublin.

91A/751

30 January 1992

Re: Permission for demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road new Wellington Lane, Templeogue, for C.A.G. Construction.

Dear Sir,

With reference to your planning application received here on 9th May, 1991, (letter for further extension period received 30th January, 1992), in connection with the above, I wish to inform you that:-

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the period for considering this application within the meaning of subsection (4A) of Section 26 has been further extended up to and including **28th February, 1992.**

Yours faithfully,

for Principal Officer.

J. Hubert Brown & Associates
Chartered Architects W. P. GUARD F.R.I.A.I., R.I.B.A.
MARSWORTH DEANSGRANGE ROAD BLACKROCK CO DUBLIN TEL: 893421

EOH -

24 February 1992

Dublin County Council
Planning Dept.

Re: Bungalow at Tallaght Road. Ref. 91A/0751 FURTHER TIME EXTN
Attention: Mr. CREMIN

Dear Sirs,

We request a Time Extension on the above application up to 15 APRIL to allow for consideration of your proposal for River Walk and pumped drainage.

Yours faithfully,

J.Hubert Brown & Associates

c.c CAG Construction.

RECEIVED
25 FEB 1992

J. Hubert Brown & Associates
Chartered Architects W. P. GUARD
MARSWORTH DEANSGRANGE ROAD BLACKROCK CO DUBLIN

J. Hubert Brown & Associates
Chartered Architects W. P. GUARD F.R.I.A.I., R.I.B.A.
MARSWORTH DEANSGRANGE ROAD BLACKROCK CO DUBLIN TEL: 893421

24 February 1992

879

Dublin County Council
Planning Dept.

Re: Bungalow at Tallaght Road. Ref. 91A/0751 FURTHER TIME EXTN
Attention: Mr. CREMIN

Dear Sirs,

We request a Time Extension on the above application up to 15 APRIL to allow for consideration of your proposal for River Walk and pumped drainage.

Yours faithfully,

J.Hubert Brown & Associates

c.c CAG Construction.

J. Hubert Brown & Associates

Chartered Architects W. P. GUARD F.R.I.A.I., R.I.B.A..

MARSWORTH DEANSGRANGE ROAD BLACKROCK CO DUBLIN TEL: 89 34 21

30 January 1992

Dublin County Council
Planning Dept.

Re: Bungalow at Tallaght Road. Ref. 91A/0751
Attention: Mr. Drumgoole.

Dear Sirs,

We request a Time Extension on the above applicstion up to 28 February to allow for consideration of your proposal for River Walk and pumped drainage.

Yours faithfully,

Wilson P Guard

J.Hubert Brown & Associates

c.c CAG Construction.

Appp. for 10.30 Am.
either Tuesday. 4 Feb
or Thursday 6 Feb
will suit client & attend.
please confirm. WPG

J. Hubert Brown & Associates,
Architects,
1, Deansgrange Road,
Blackrock,
Co. Dublin.

91A-0751

26 November 1991

Re: Permission for demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road new Wellington Lane, Templeogue for C.A.G. Construction.

Dear Sir/Madam,

With reference to your planning application received here on 9th May, 1991, (letter for extension period received 26th November, 1991), in connection with the above, I wish to inform you that:-

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the period for considering this application within the meaning of subsection (4A) of Section 26 has been extended up to and including **31st January, 1992.**

Yours faithfully,

for Principal Officer.

5454

J. Hubert Brown & Associates

Chartered Architects W. P. GUARD F.R.I.A.I., R.I.B.A..

MARSWORTH DEANSGRANGE ROAD BLACKROCK CO DUBLIN TEL: 89 34 21

26 November 1991

Dublin County Council,
Planning Department,
2 ILC, Lwr. Abbey Str.,
Dublin 1

attn: Mr. Kenny.

Re: Bungalow at Tallaght Road, Templeogue
Reg. Ref. 91A/0751, for CAG Construction.

Dear Sirs,

Further to our letter 23 October regarding the above, we wish to make formal application, on behalf og CAG Construction, for a time extension up to 31 January 1992 for finalisation of details regarding the Riverside walkway and pumped drainage disposal. No doubt you will inform the Byelaw Dept. accordingly.

Copy sent today
26/11.

Yours faithfully,

Wilson P Guard

J. Hubert Brown & Associates.

c.c CAG Construction

CAO

See letter of
23/10/91 underneath.
Are you dealing
with this request
PK

yes
return letter &
file
8

PK

J. Hubert Brown & Associates

Chartered Architects W. P. GUARD F.R.I.A.I., R.I.B.A..

MARSWORTH DEANSGRANGE ROAD BLACKROCK CO DUBLIN TEL: 89 34 21

23 October 1991

91A/751

R. 30/10.

Dublin County Council
Planning Dept.
2, ILC,
Lwr Abbey St.
Dublin 1

1.0.0

Unsl A.1.

Re: Bungalow at Tallaght Rd Templeogue for CAG Construction.
Reg. Ref. No. 91A/0751

Dear Sirs,

Further to our meeting on 15th Oct. with Mr. Drumgoole and representatives of the Parks Dept., we await a plan of the riverside strip of ground which you wish to acquire and a position and wayleave for pipes to take pumped sewage from the proposed Bungalow up to the existing sewer at the main road level.

Yours faithfully,

Wilson P Guard

J. Hubert Brown & Associates.

c.c CAG Construction
and to BYELAW Section.

Recd 29/10

J. Hubert Brown & Associates

Chartered Architects W. P. GUARD F.R.I.A.I., R.I.B.A.

MARSWORTH DEANSGRANGE ROAD BLACKROCK CO DUBLIN TEL: 893421

91A/0751

28 September 1991

3.6.0.2

Dublin County Council
Planning Dept.
2, ILC, Lwr Abbey St.,
Dublin 1

A.I. for BBL

27. SEPT 91

Time Extension/Additional Information
for BBL Reg. Ref. 91A/751

Bungalow at Fallagh Road. for CAG Construction.

Dear Sirs,

Further to your notice dated 28/8/1991 ref: PC/CO'B :-

(1) Site road frontage: The existing frontage comprises a hedge. It would be the intention of our Client to maintain the hedge so as to preserve the rural character of the site, with provision of a concrete curb to contain the existing road surface. New Gate Piers would be in concrete blockwork on a proper foundation, capped and rendered to match the new bungalow. Detail attached.

(2,3,4) Drainage: Our Client has had tests for suitability of the site for the standard septic tank detail, carried out by Site Investigation, Newcastle, Co. Dublin. The recorded soakage proved to be unsatisfactory and we are now proposing the use of a Biodisc tank as an alternative to the standard tank. We attach details of this system. We would be glad to discuss outfall arrangements on having the Council's acceptance of this system. Areas for percolation would not be required. See letter to Planning.

(5) Ditch: We understand that the existing ditch originally carrying the stream down to the river has been diverted to the new surface water drainage system in the land to the East of the site. We are told that this has stopped any flooding of the site from this source. It is proposed to pipe the old ditch to take rainwater from the new roof and paved areas and deliver to the existing outfall. The pipe to be pvc on concrete bed as for the soil drain.

(6) Floor Level: We have written to Dublin Corporation for details of flood levels. The proposed floor level would be above the road level at the Site entrance gates.

(7,8,9) Details: We attach further information

We trust that this information will enable further consideration to be given to our Client's application for Approval.

J. Hubert Brown & Associates

Chartered Architects W. P. GUARD

Continuation: BBL Reg Ref 91A/751

Please note that 4 copies of the Biodisc details are being sent to Planning Dept.

Please let us know if further documentation is required.

Yours faithfully,

Wilson P. Guard

J. Hubert Brown & Associates.

Encl. Biodisc Details and Specification.

Structural details. Revised Site Plan.

2 copies of each.

Copy

J. Hubert Brown & Associates
Chartered Architects W. P. GUARD F.R.I.A.I., R.I.B.A.
MARSWORTH DEANSGRANGE ROAD BLACKROCK CO DUBLIN TEL: 89 34 21

23 September 1991

Dublin Corporation,
Drainage Dept.
Civic Offices,
Fishamble St.
Dublin 8

Co.Council ref. BBL 91A/751

Re: Proposed reconstruction of bungalow at Templeogue, Tallagh Road near Wellington Lane.

Dear Sirs

The County Council require information regarding recorded flood levels at the site of the bungalow referred to above.

The OPW inform us that you deal with the River Dodder and we would be glad to have this information as soon as possible, to enable the County Council to process our Client's application for Byelaw Approval. Our Site Map is attached.

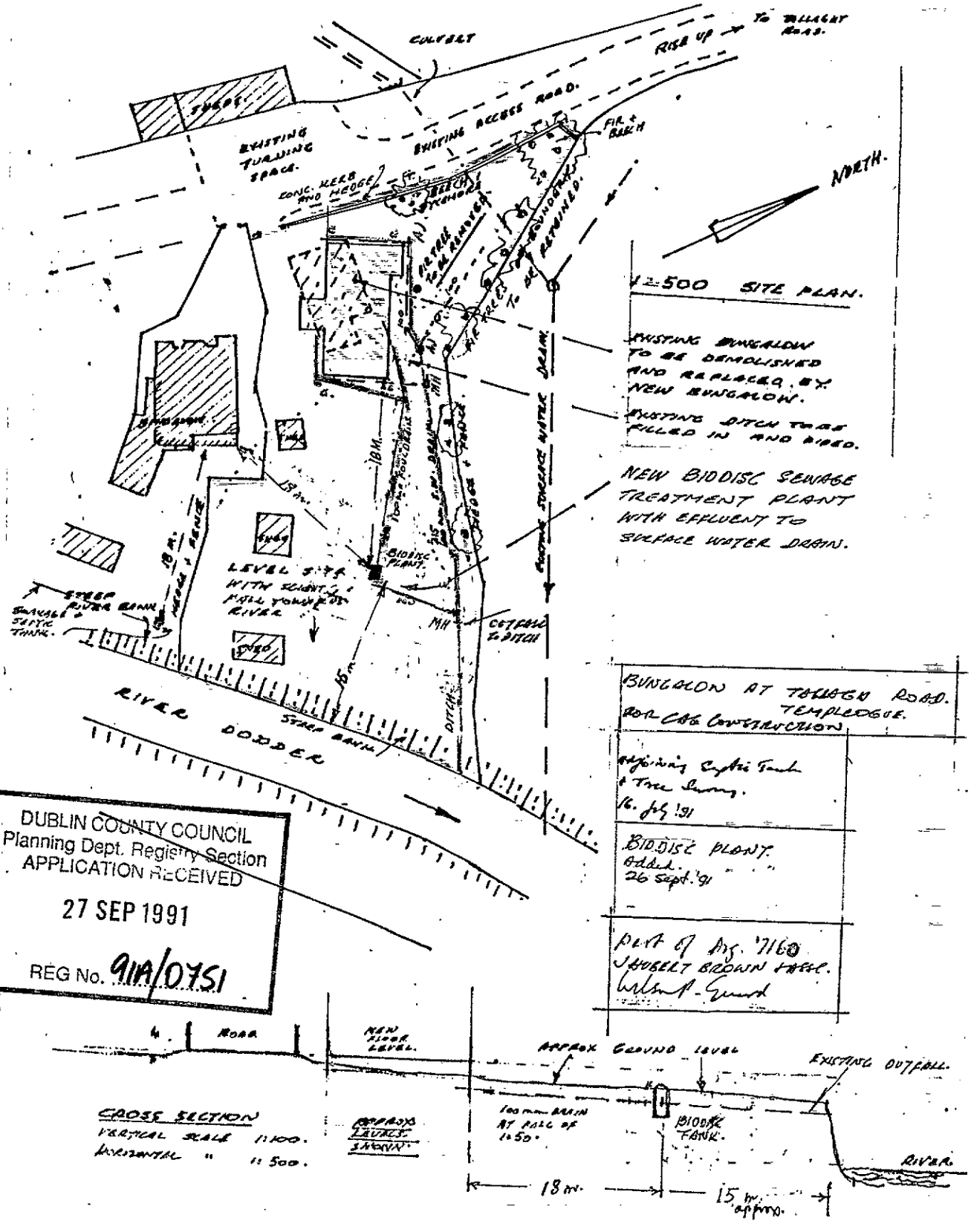
Yours faithfully,

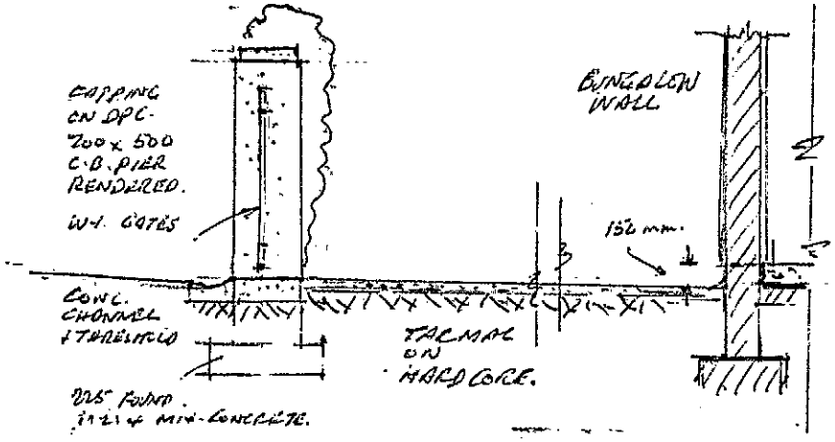
J. Hubert Brown & Associates

c.c County Coucil Byelaw Section.

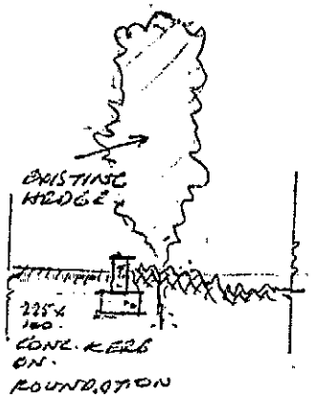
Encl. 1

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
27 SEP 1991
REG No. 91A/0751

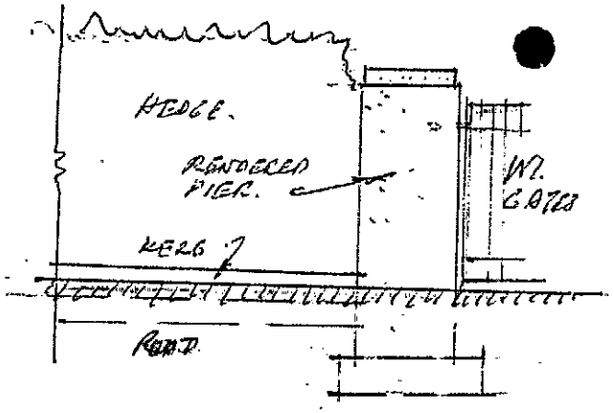

CULVERT
RISE UP
TO VILLAGE ROAD.
EXISTING TURNING SPACE.
EXISTING ACCESS ROAD.
FIR + BIRCH
CONC. KERB AND HEDGE
NORTH.
1:500 SITE PLAN.
EXISTING BUNGALOW TO BE DEMOLISHED AND REPLACED BY NEW BUNGALOW.
EXISTING DITCH TO BE FILLED IN AND PIPED.
NEW BIODISC SEWAGE TREATMENT PLANT WITH EFFLUENT TO SURFACE WATER DRAIN.
BIODISC PLANT
LEVEL SITE WITH SLIGHT FALL TOWARDS RIVER
STEEP RIVER BANK
GRAVEL SEPTIC TANK.
OUTFALL TO DITCH
RIVER DODDER
STEEP BANK
DITCH
BUNGALOW AT TOLLAGH ROAD. TEMPLEOGUE.
FOR CAB CONSTRUCTION
Adjoining Septic Tank & Tree Survey.
16. July '91
BIODISC PLANT.
Added.
26 Sept. '91
Part of Drg. 7160
JAMES BROWN FRSC.
DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
27 SEP 1991
REG No. 91A/0751
ROAD
NEW FLOOR LEVEL.
APPROX GROUND LEVEL
EXISTING OUTFALL.
CROSS SECTION
VERTICAL SCALE 1:100.
HORIZONTAL " 1:500.
APPROX LEVELS SHOWN
100mm DRAIN AT FALL OF 1:50.
BIODISC TANK.
RIVER.
18m.
15m. approx.



SECTION AT GATEWAY.
1:50 SCALE.

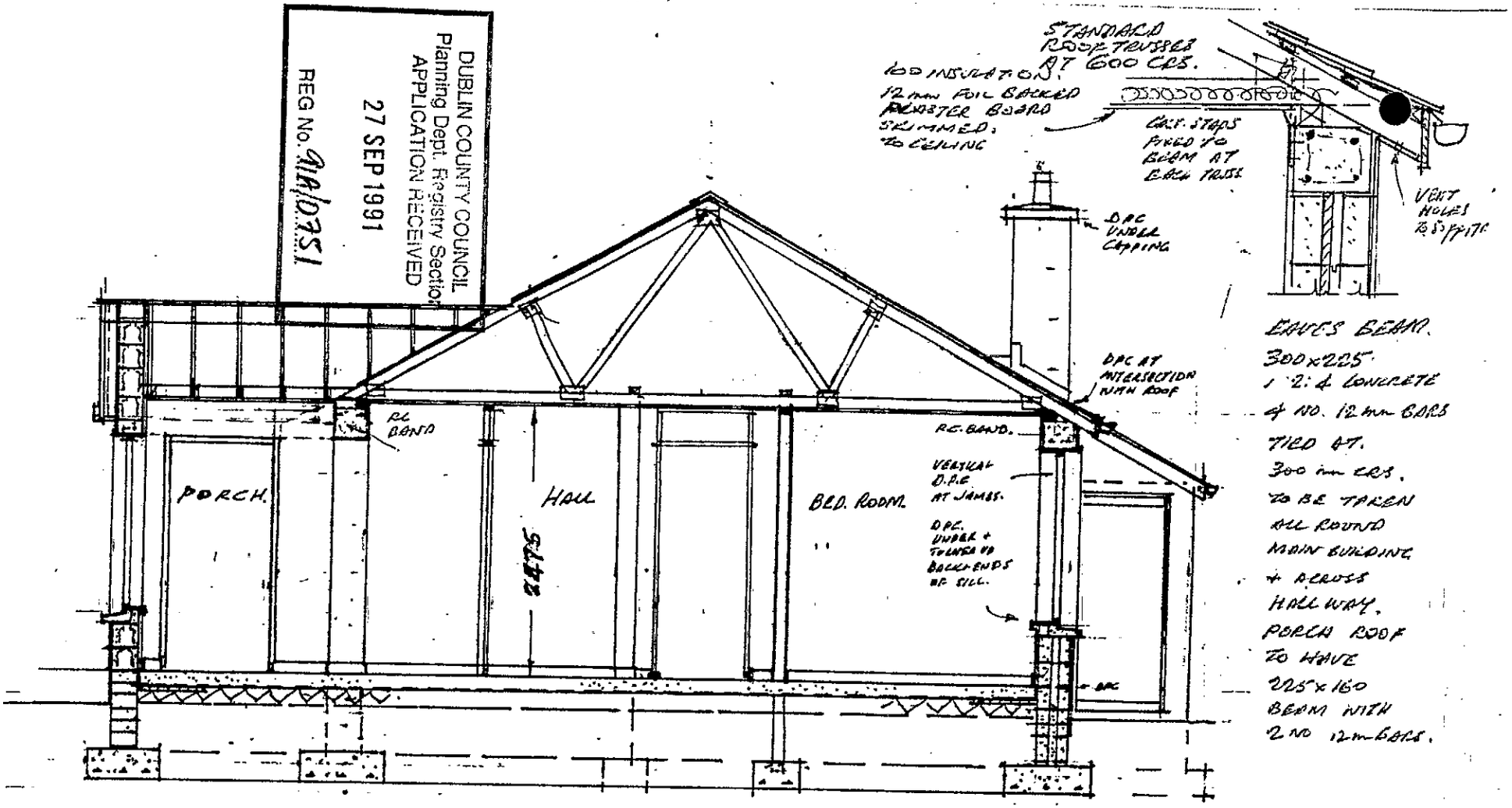


SECTION AT KERB
TO EXTEND FULL WIDTH OF SITE.



ELEVATION OF GATE PIER.

26 Sept. 91.	1:50.	No. 7175.
BUNGALOW AT TALLAGHT RD. TEMPLE OGUE.		ENTRANCE PIERS.
MCAG CONSTRUCTION		
Michael Ryan MRIAI MCIOB. ARCHITECTS. tel. 2823421.		



215 CAVITY BLOCK WALLS.
TO PORCH ON 645x 225
CONCRETE FOUND?.
300 DOUBLE SKIN HALLING
WITH INSULATED CAVITY
ON 300x 225 FOUNDS
ELSE WHERE
WALLS TO BOILER RM
+ STORE TO BE 215 SOLID.

ALL TRUSSES + TIMBER
TO COMPLY WITH.
S.R. 11 1988
ROOF TILES TO BE
CONCRETE INTERLOCKING
LOW PITCH. LAID OVER
BATTENS + FELT.

1:50 CROSS SECTION.

FLOOR TO BE 150 mm CONC SLAB
ON D.P. LAYER ON HARDCORE
WITH PERIMETER INSULATION.

26 Sept. 91.	1-50.	No-7176
BUNGALOW AT TULLYHARD TEMPLE-OGUE		REVISION TO DRG 7160
FOR CAPE CONSTRUCTION		
Michael Brown + Assoc. Architects.		

Copy.

John Molloy Engineering

MECHANICAL ENGINEERS & AGENTS (John M Molloy Engineering Limited)
Frankfort, Dundrum Road, Dublin 14.
Telephone 01-989188 Fax No. 01-987421

Our ref:

Your ref:

Mr. Wilson P. Guard,
No.1, Deans Grange Road,
Blackrock,
Co. Dublin.

23.9.91

Re: Sewage Treatment Plant for Single House.

Dear Mr. Guard,

For a single house we would recommend our Model B1 Biodisc unit as per enclosed drawing and specification. This is a completely self contained treatment system having within it three separate zones for primary settlement, oxidation by slowly rotating discs and final settlement. Effluent quality will be 20 mg/L BOD and 30 mg/L Suspended Solids. Normally, this can be discharged to a stream provided there is a dilution factor of 8:1 therein.

If required we can provide a plant and process maintenance contract.

Enclosed also find a list of our installations. In the Dublin area we have units at:

Irish Shell Depot at Kilmacanoge.
Mr. & Mrs. Farrell, Peamount Road, Newcastle.
Kingswood Country House Hotel, Kingswood.

If we can be of any further assistance please don't hesitate to contact me.

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
27 SEP 1991
REG No. 91A/0751

Yours sincerely,

John Molloy

John Molloy.

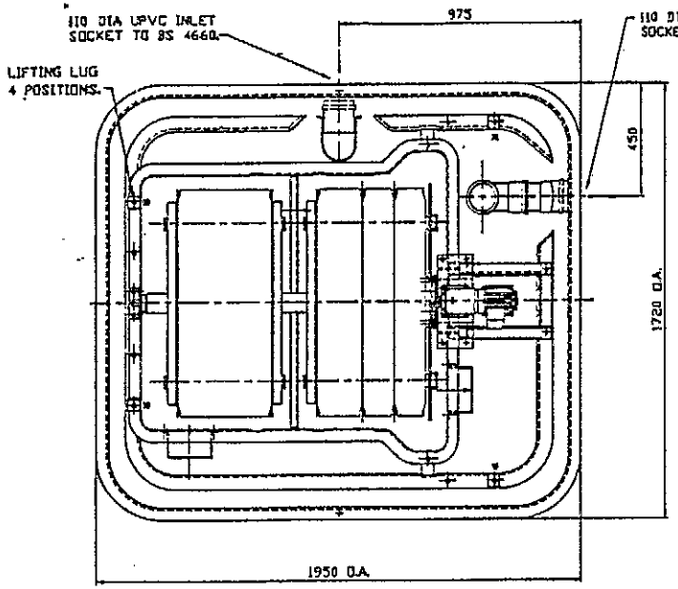
Directors: J M Molloy BE C Eng, J J Molloy BE, A D Molloy
Registered in Dublin number 82263
VAT number F461 8545A

Specification

BioDisc RBC Specification to BS6297

UNIT SIZE		B1	B2	B2/15	B3	B4	B5	B6	B7	B8	B9	B10	B11	B12	B13
POP. EQUIVALENT		5	10	15	25	35	50	65	80	100	125	150	200	250	300
LENGTH	mm	1950	3300	3300	3100	3800	4500	4050	4950	5400	6750	6420	7780	9130	11890
WIDTH	mm	1700	1700	1700	2170	2170	2170	2700	2700	2700	2700	3200	3200	3200	3200
O.A. HEIGHT	mm	2305	2305	2305	2780	2780	2780	3230	3230	3230	3230	3680	3680	3680	3680
FLANGE HEIGHT	mm	2005	2005	2005	1925	1925	1925	2175	2175	2175	2175	2625	2625	2625	2625
PIPEWORK Dia	mm	110	110	110	110	110	110	110	110	160	160	160	160	160	160
MEDIA AREA	m^2	56	80	120	200	280	400	520	680	804	1090	1256	1626	1979	2521
RECYCLE RATE	m^3/h				0.16	0.20	0.20	0.20	0.30	0.40	0.50	1.20	1.80	1.80	1.80
EMPTY WEIGHT	Tonnes	0.35	0.70	1.00	1.30	1.70	1.95	2.10	2.70	3.10	4.00	5.00	5.50	6.40	8.50
FULL WEIGHT	Tonnes	2.40	4.50	6.20	9.50	11.80	14.20	17.80	22.30	24.60	31.40	40.00	48.50	57.00	81.00
DESLUDGING PERIOD	Vol M^3	0.90	1.60	2.4	3.40	3.80	4.90	5.20	6.50	6.30	8.15	14.0	15.5	17.6	24.0
	Days	340	340	340	170	130	130	110	85	70	70	60	60	60	60
TANK DETAILS	P.S.T. VOLUME m^3	1.17	2.10	3.15	5.25	6.10	7.20	8.20	10·50	11.00	14.20	18.1	21.7	25.2	39.0
	BIOZONE VOLUME m^3	0.31	0.60	0.60	1.10	1.30	1.70	2.40	2.90	3.30	4.30	5.70	7.00	8.60	10.60
	F.S.T. VOLUME m^3	0.37	0.75	1.12	1.30	2.00	2.30	3.50	4.20	4.80	5.60	7.50	9.40	11.10	15.20
	F.S.T. SURFACE AREA m^2	0.52	0.09	1.13	1.09	1.69	1.84	2.47	2.97	3.35	3.91	4.20	5.40	6.40	7.20
DRIVE DETAILS	ROTOR Kw	0·04	0·04	0.04	0.04	0·15	0·15	0.15	0.25	0.25	0.25	0.55	0.55	0.55	0.75
	OUTPUT SPEED rpm	5.80	5.80	5.80	2.50	2.90	2.90	2.90	2.90	3.00	3.00	3.00	3.00	3.00	3.00
	ROTOR SPEED rpm	1·16	1·16	1.16	1·3	1·3	1·3	1·3	1·3	1·3	1·3	1.0	1.0	1.0	1.0
BEARING SIZE	mm	25	25	25	40	40	40	60	60	60	60	80	80	80	80

All sludge storage periods assume that primary sludge is retained @ 5% solids content in the sludge and 100% plant utilization.

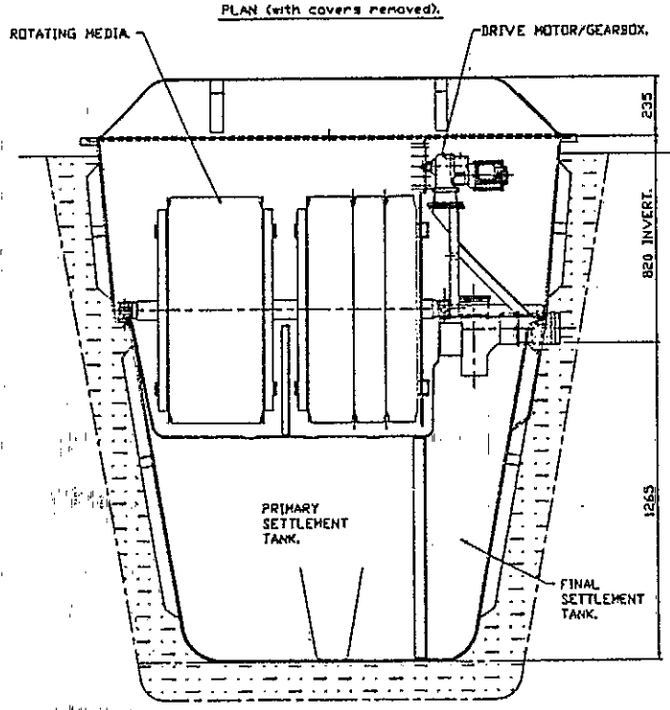


PLAN (with covers removed).

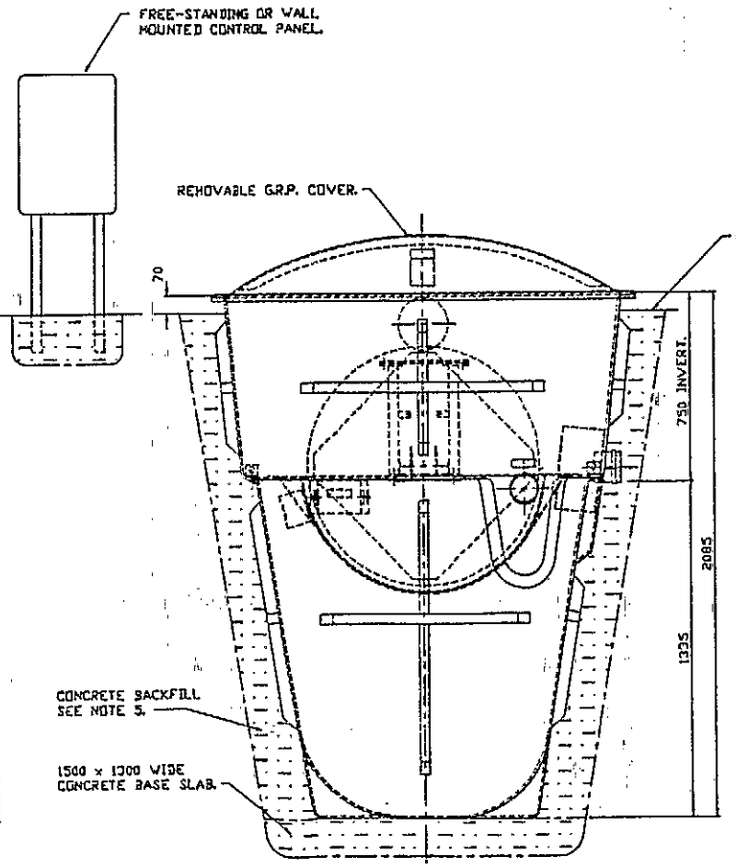
GROUP DRAWING 32-GR PRODUCT CODES.	
PRODUCT CODE	DESCRIPTION
B1/S/1	BIODISC MODEL B1 STANDARD INVERT SINGLE PHASE
B1/S/3	BIODISC MODEL B1 STANDARD INVERT THREE PHASE
B1/SG/1	BIODISC MODEL B1 STANDARD INVERT SINGLE PHASE (SUB).
B1/SO/1	BIODISC MODEL B1 STANDARD INVERT SINGLE PHASE OPPOSITE HAND INLET
B1/SO/3	BIODISC MODEL B1 STANDARD INVERT THREE PHASE OPPOSITE HAND INLET
B1/SGO/1	BIODISC MODEL B1 STANDARD INVERT SINGLE PHASE (SUB). OPP HAND INLET.

NOTES:-

1. BIODISC TANK & COVER ARE MANUFACTURED IN GLASS REINFORCED PLASTIC (G.R.P.) CASING IS FINISHED IN GREEN TO BS 4800 TINT 12B25 COVER TO BE TINT 12B25.
2. FOR DESLUDGING PROCEDURE SEE MAINTENANCE HANDBOOK.
3. ELECTRICAL SUPPLY:- 240 VOLTS, 2 AMPS, SINGLE PHASE.
4. BIODISC MUST BE INSTALLED WITH THE TOP FLANGE TRUE & LEVEL WITH THE HORIZONTAL PLANE.
5. FOR CONCRETE SPECIFICATION SEE KLARGESTER E.E. LTD DATA SHEET SK 296.
6. FORMATION LEVEL TO BE APPROVED, & ALL SOFT OR UNSUITABLE GROUND EXCAVATED & LEVEL MADE UP IN MASS CONCRETE OF 1:10 MIX.
7. FOR ABOVE GROUND APPLICATIONS OR ADVICE CONCERNING DIFFICULT SITE OR SOIL CONDITIONS ETC. PLEASE CONSULT KLARGESTER E.E. LTD.
8. INSTALLATION NOTES ON THIS DRAWING ARE FOR GUIDANCE ONLY & KLARGESTER E.E. LTD ACCEPT NO RESPONSIBILITY FOR CIVIL DESIGN UNLESS DIRECTLY CONSULTED FOR INDIVIDUAL PROJECTS.
9. BIODISC MUST ONLY BE LIFTED BY LUGS PROVIDED.
10. 1M MINIMUM CLEAR SPACE SHOULD BE ALLOWED AROUND UNIT FOR ACCESS & REMOVAL OF COVER.
11. CABLE ENTRY GROMMET IS SUPPLIED LOOSE, TO BE FITTED IN OPTIMUM POSITION BY CLIENT.
12. FOR DEEPER DRAIN INVERTS A 500mm EXTENSION CAN BE BUILT INTO UNIT DURING MANUFACTURE TO GIVE A MAX INLET INVERT OF 1250mm.



SIDE ELEVATION



VIEW ON DRIVE END.

WEIGHTS Kgs.	
EMPTY	FULL
340	2400

JOHN MOLLOY ENG. LTD.
01 - 989138

9	08.3.90	
8	07.11.89	
7	18.12.88	
6	29.3.88	
DRAWN	DATE	

ALL DIMENSIONS ARE IN MILLIMETRES - DO NOT SCALE

Klargester PRODUCTS DIVISION

TITLE: BIODISC MODEL B1.

DRAWN	AKO	DATE	23.03.85
SCALE	1/10	DRAWING	MGB.
DRAWING No.	B1-GR	SHEET	9

gester Environmental Engineering Ltd.

College Road, Aston Clinton,
Aylesbury, Bucks. HP22 5EW
Tel: 0296 630190
Telex: 837545

BRIEF INSTALLATION DETAILS FOR KLARGESTER BIODISC SEWAGE TREATMENT PLANTS

1) The installation of any particular unit should be carried out in accordance with the details shown on the relevant and current issue of Klargester's drawing.

2) Dig holes to dimensions indicated, making allowances for concrete backfilling, planking and strutting.

3) Keep excavation free from water.

4) Lay a concrete base to provide an adequate foundation (see Concrete Specification SK 296).

5) Lower the BioDisc Unit on to the base and set to correct levels for both inlet and outlet, he BioDisc flanges to be level in both directions.

6) Temporarily strut the BioDisc into position (5) and backfill with concrete, compacted in 200mm layers (see SK 296). As the concrete is placed around the unit, it should be ballasted with water at the same rate as concreting proceeds.

7) Withdraw planking and strutting as concreting proceeds.

8) Connect inlet and outlet drains.

9) Concrete up to levels indicated on the drawing.

10) Concrete in control panel in a position adjacent to the unit, it being essential that the control panel is close enough to ensure that nobody will enter the unit without first isolating it.

11) Connect up power supply to control panel and fit to motor/gearbox.

12) Connect up drive failure warning device and fix alarm unit.

13) Continue dewatering operations until the concrete is set.

14) Leave unit ballasted with water on completion.

15) In the event of problems, please contact Klargester Environmental Engineering Limited.

KLARGESTER ENVIRONMENTAL ENGINEERING LIMITED
College Road,
Aston Clinton,
Bucks HP22 5EW

Tel: Aylesbury (0296) 630190

POINTS FOR CONSIDERATION IN THE SITING OF A KLARGESTER BIODISC SEWAGE TREATMENT PLANT

1) Units should be sited so they are as far as possible from habitable buildings (see Building Regulations and BS.6297)

2) Where possible, units should be sited so that they are on the opposite side of habitable buildings to that of the prevailing wind.

3) The drainage system should be laid to minimum falls and advantage should be taken of site contours to install the plant at a minimum invert depth below general ground level.

4) Ground water and flood levels should always be below plant outlet level, unless specific arrangements have been made to overcome this problem.

5) Discharge points to water courses should similarly be above flood level, to ensure that units are not flooded via the outlet drain.

6) Where units are sited in a depression, provision should be made for the removal of surface water.

7) BioDisc units are most suitable for shallow invert situations where ground water/flooding are not the problem. Elsewhere modular systems are even more suitable.

8) Where plants discharge to sub-surface irrigation systems, the design should be based upon adequate porosity/absorption tests.

9) In situations where problems are envisaged, Klargester Environmental Engineering Limited should be contacted immediately for advice and assistance.

KLARGESTER ENVIRONMENTAL ENGINEERING LTD
College Road
Aston Clinton
Aylesbury
Bucks HP22 5EW

Tel: Aylesbury (0296) 630190

BIODISC TREATMENT PLANTS INSTALLED BY JOHN MOLLOY ENGINEERING

1.	Wexford Co. Council, Davidstown.	60 pe
2.	Wexford Co. Council, Monagear.	40 pe
3.	Wexford Co. Council, Clonroche.	650 pe
4.	Waterford Co. Council, Bawnfume.	250 pe
5.	Cork Co. Council, Millstreet.	10 pe
6.	Cork Co. Council, Kilcrohane.	125 pe
7.	Mayo Co. Council, Keel, Achill.	250 pe
8.	Mayo Co. Council, Kilasser.	100 pe
9.	Mayo Co. Council, Kilmaine.	60 pe
10.	Mayo Co. Council, Achill Sound.	125 pe
11.	Mayo Co. Council, Geesala.	50 pe
12.	Alumina Aughinish Jetty.	10 pe
13.	Kerry Co. Council, Glenbeigh.	600 pe
14.	Kerry Co. Council, Moyvane.	400 pe
15.	Hotel Furbo, Co. Galway.	2 x 250 pe
16.	Bradan Mara, Lettermullan, Co. Galway.	5 pe
17.	Inagh Valley Hotel, Co. Galway.	35 pe
18.	Ballina, Co. Tipperary.	150 pe
19.	Carlow Golf Club, Co. Carlow.	50 pe
20.	Irish Shell, Kilmacanoge.	5 pe
21.	Sheen Falls Hotel, Kenmare.	200 pe
22.	Parknasilla Hotel, Co. Kerry.	250 pe
23.	Cork Co. Council, Dripsey.	600 pe
24.	Wexford Co. Council, Glenbrian.	150 pe
25.	Muckross Park Hotel.	300 pe
26.	Wexal Limited, Enniscorthy.	25 pe

Dublin County Council Comhairle Chontae Atha Cliath **Planning Department**

Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066

Register Reference : 91A/0751 Date : 30th September 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Demolition and replacement of existing bungalow and septic tank on same site.

LOCATION : Tallaght Road near Wellington Lane, Templeogue

APPLICANT : C.A.G. Construction

APP. TYPE : Additional Information

With reference to the above, I acknowledge receipt of additional information received on 27th September 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

J. Hubert Brown & Associates,
Architects,
1 Deansgrange Road,
Blackrock,
Co. Dublin.

J. Hubert Brown & Associates

Chartered Architects W. P. GUARD F.R.I.A.I., R.I.B.A..

MARSWORTH DEANSGRANGE ROAD BLACKROCK CO DUBLIN TEL: 893421

26 September 1991

91A/751
1.4.0.4
A.1.

27 SEPT 91

Dublin County Council
Planning Department
2 ILC, Lwr. Abbey St.,
Dublin 1

Reg. Ref. 91A/0751. Bungalow for CAG Construction.
Clarification of Additional Information.

Dear Sirs,

Further to your letter of 17 September, tests have been carried out by Site Investigations of Newcastle, Co. Dublin to ascertain suitability for a standard septic tank. These tests did not meet your present day requirements and our client proposes the use of a Biodisc Sewage Treatment Plant, details of which are enclosed in quadruplicate (as requested). Revised site plan also attached.

It will be noted that this system does not require a soakage area and the effluent may be delivered into a stream. The necessity to provide a percolation system would not arise. We have written to Dublin Corporation regarding river flood levels and will send this information to you when received.

We trust this information will enable a favourable decision to be made.

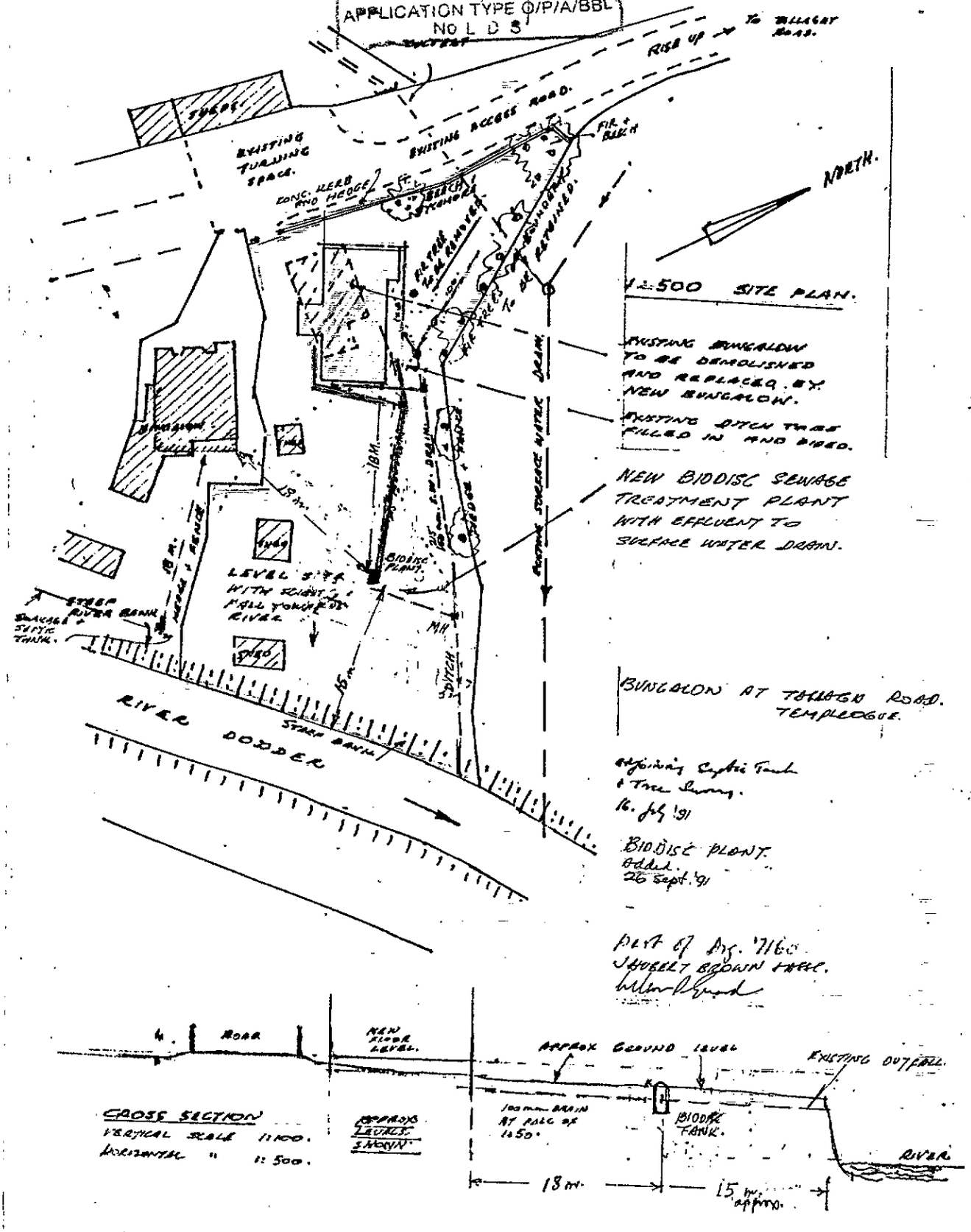
Yours faithfully,

Wilson P Guard

J. Hubert Brown & Associates.

Encl. 8

c.c to Byelaw Section.



John Molloy Engineering

MECHANICAL ENGINEERS & AGENTS (John M Molloy Engineering Limited)
Frankfort, Dundrum Road, Dublin 14.
Telephone 01-989188 Fax No. 01-987421

Our ref:

Your ref:

Mr. Wilson P. Guard,
No.1, Deans Grange Road,
Blackrock,
Co. Dublin.

23.9.91

Re: Sewage Treatment Plant for Single House.

Dear Mr. Guard,

For a single house we would recommend our Model B1 Biodisc unit as per enclosed drawing and specification. This is a completely self contained treatment system having within it three separate zones for primary settlement, oxidation by slowly rotating discs and final settlement. Effluent quality will be 20 mg/L BOD and 30 mg/L Suspended Solids. Normally, this can be discharged to a stream provided there is a dilution factor of 8:1 therein.

If required we can provide a plant and process maintenance contract.

Enclosed also find a list of our installations. In the Dublin area we have units at:

Irish Shell Depot at Kilmacanoge.
Mr. & Mrs. Farrell, Peamount Road, Newcastle.
Kingswood Country House Hotel, Kingswood.

If we can be of any further assistance please don't hesitate to contact me.

Yours sincerely,

John Molloy

.....
John Molloy.

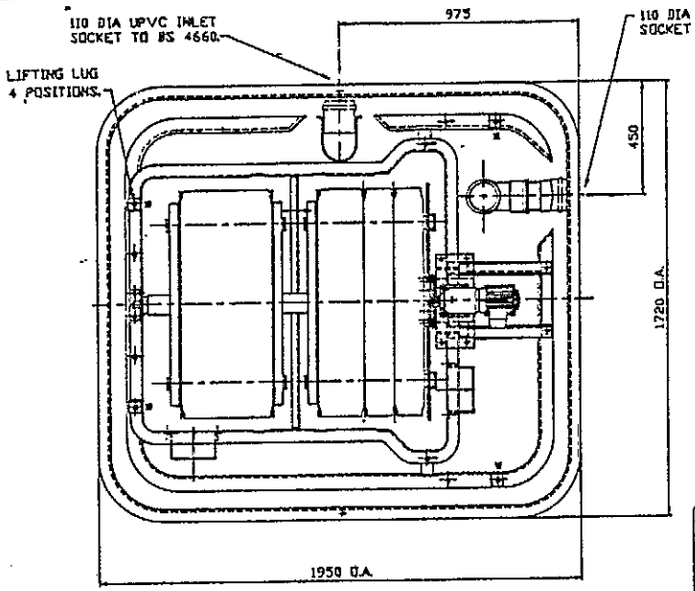
Directors: J M Molloy BE C Eng, J J Molloy BE, A D Molloy
Registered in Dublin number 82263
VAT number F461 8545A

5. Specification

BioDisc RBC Specification to BS6297

UNIT SIZE		B1	B2	B2/15	B3	B4	B5	B6	B7	B8	B9	B10	B11	B12	B13
POP. EQUIVALENT		5	10	15	25	35	50	65	80	100	125	150	200	250	300
LENGTH mm		1950	3300	3300	3100	3800	4500	4050	4950	5400	6750	6420	7780	9130	11890
WIDTH mm		1700	1700	1700	2170	2170	2170	2700	2700	2700	2700	3200	3200	3200	3200
O.A. HEIGHT mm		2305	2305	2305	2780	2780	2780	3230	3230	3230	3230	3680	3680	3680	3680
FLANGE HEIGHT mm		2005	2005	2005	1925	1925	1925	2175	2175	2175	2175	2625	2625	2625	2625
PIPEWORK Dia mm		110	110	110	110	110	110	110	110	160	160	160	160	160	160
MEDIA AREA m^2		56	80	120	200	280	400	520	680	804	1090	1256	1626	1979	2521
RECYCLE RATE m^3/h					0.16	0.20	0.20	0.20	0.30	0.40	0.50	1.20	1.80	1.80	1.80
EMPTY WEIGHT Tonnes		0.35	0.70	1.00	1.30	1.70	1.95	2.10	2.70	3.10	4.00	5.00	5.50	6.40	8.50
FULL WEIGHT Tonnes		2.40	4.50	6.20	9.50	11.80	14.20	17.80	22.30	24.60	31.40	40.00	48.50	57.00	81.00
DESLUDGING PERIOD	Vol M^3	0.90	1.60	2.4	3.40	3.80	4.90	5.20	6.50	6.30	8.15	14.0	15.5	17.6	24.0
	Days	340	340	340	170	130	130	110	85	70	70	60	60	60	60
TANK DETAILS	P.S.T. VOLUME m^3	1.17	2.10	3.15	5.25	6.10	7.20	8.20	10.50	11.00	14.20	18.1	21.7	25.2	39.0
	BIOZONE VOLUME m^3	0.31	0.60	0.60	1.10	1.30	1.70	2.40	2.90	3.30	4.30	5.70	7.00	8.60	10.60
	F.S.T. VOLUME m^3	0.37	0.75	1.12	1.30	2.00	2.30	3.50	4.20	4.80	5.60	7.50	9.40	11.10	15.20
	F.S.T. SURFACE AREA m^2	0.52	0.09	1.13	1.09	1.69	1.84	2.47	2.97	3.35	3.91	4.20	5.40	6.40	7.20
DRIVE DETAILS	ROTOR Kw	0·04	0·04	0.04	0.04	0·15	0·15	0.15	0.25	0.25	0.25	0.55	0.55	0.55	0.75
	OUTPUT SPEED rpm	5.80	5.80	5.80	2.50	2.90	2.90	2.90	2.90	3.00	3.00	3.00	3.00	3.00	3.00
	ROTOR SPEED rpm	1·16	1·16	1.16	1·3	1·3	1·3	1·3	1·3	1·3	1·3	1.0	1.0	1.0	1.0
BEARING SIZE mm		25	25	25	40	40	40	60	60	60	60	80	80	80	80

All sludge storage periods assume that primary sludge is retained @ 5% solids content in the sludge and 100% plant utilization.

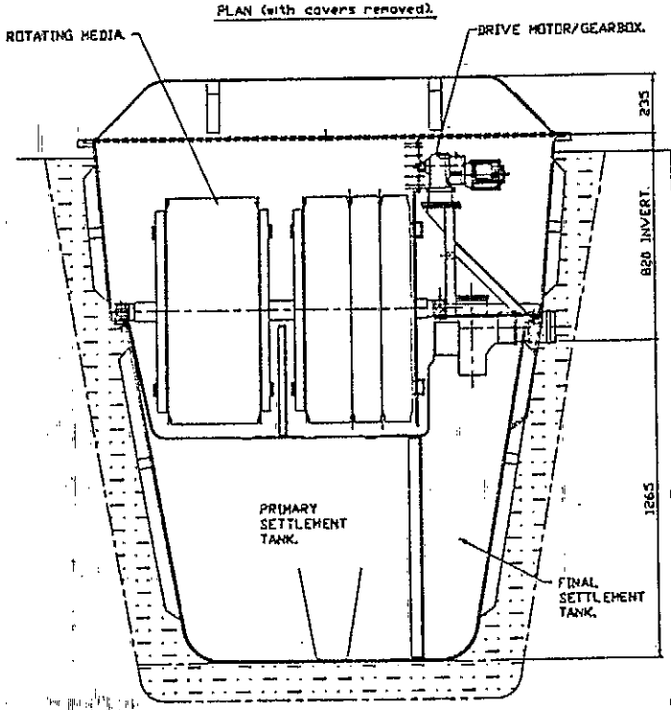


PLAN (with covers removed).

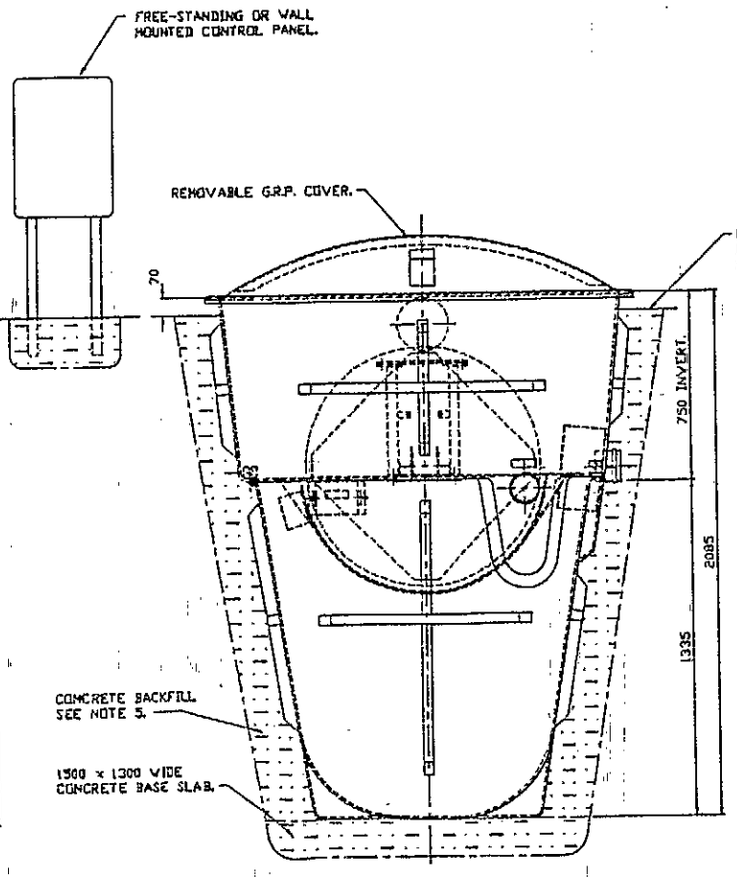
GROUP DRAWING B2-GR PRODUCT CODES.	
PRODUCT CODE.	DESCRIPTION
B1/S/1	BIODISC MODEL B1 STANDARD INVERT SINGLE PHASE
B1/S/3	BIODISC MODEL B1 STANDARD INVERT THREE PHASE
B1/SG/1	BIODISC MODEL B1 STANDARD INVERT SINGLE PHASE (SUB).
B1/SO/1	BIODISC MODEL B1 STANDARD INVERT SINGLE PHASE OPPOSITE HAND INLET
B1/SO/3	BIODISC MODEL B1 STANDARD INVERT THREE PHASE OPPOSITE HAND INLET
B1/SGO/1	BIODISC MODEL B1 STANDARD INVERT SINGLE PHASE (SUB). OPP HAND INLET.

NOTES:-

1. BIODISC TANK & COVER ARE MANUFACTURED IN GLASS REINFORCED PLASTIC (G.R.P.) CASING IS FINISHED IN GREEN TO BS 4800 TINT 12B25. COVER TO BE TINT 12B25.
2. FOR DESLUDGING PROCEDURE SEE MAINTENANCE HANDBOOK.
3. ELECTRICAL SUPPLY:- 240 VOLTS. 2 AMPS. SINGLE PHASE.
4. BIODISC MUST BE INSTALLED WITH THE TOP FLANGE TRUE & LEVEL WITH THE HORIZONTAL PLANE.
5. FOR CONCRETE SPECIFICATION SEE KLARGESTER E.E. LTD DATA SHEET SK 296.
6. FORMATION LEVEL TO BE APPROVED, & ALL SOFT OR UNSUITABLE GROUND EXCAVATED & LEVEL MADE UP IN MASS CONCRETE OF 1:10 MIX.
7. FOR ABOVE GROUND APPLICATIONS OR ADVICE CONCERNING DIFFICULT SITE OR SOIL CONDITIONS ETC. PLEASE CONSULT KLARGESTER E.E. LTD.
8. INSTALLATION NOTES ON THIS DRAWING ARE FOR GUIDANCE ONLY & KLARGESTER E.E. LTD ACCEPT NO RESPONSIBILITY FOR CIVIL DESIGN UNLESS DIRECTLY CONSULTED FOR INDIVIDUAL PROJECTS.
9. BIODISC MUST ONLY BE LIFTED BY LUGS PROVIDED.
10. IN MINIMUM CLEAR SPACE SHOULD BE ALLOWED AROUND UNIT FOR ACCESS & REMOVAL OF COVER.
11. CABLE ENTRY GROMMET IS SUPPLIED LOOSE, TO BE FITTED IN OPTIMUM POSITION BY CLIENT.
12. FOR DEEPER DRAIN INVERTS A 500mm EXTENSION CAN BE BUILT INTO UNIT DURING MANUFACTURE TO GIVE A MAX INLET INVERT OF 1250mm.



SIDE ELEVATION



VIEW ON DRIVE END.

WEIGHTS Kgs.	
EMPTY	FULL
340	2400

JOHN MOLLOY ENG. LTD.
01 - 989188

9	08.3.90
8	07.11.89
7	18.12.88
6	29.3.88

ALL DIMENSIONS ARE IN MILLIMETRES - DO NOT SCALE

Klargester PRODUCTS DIVISION

TITLE: BIODISC MODEL B1.

DRAWN: A.M.O. DATE: 23/05/85

SCALE: 1/10

DRAWING No.: B1-GR

SHEET: 9

gester Environmental Engineering Ltd.

College Road, Aston Clinton,
Aylesbury, Bucks. HP22 5EW
Tel: 0296 630190
Telex: 837545

BRIEF INSTALLATION DETAILS FOR KLARGESTER BIODISC SEWAGE TREATMENT PLANTS

1) The installation of any particular unit should be carried out in accordance with the details shown on the relevant and current issue of Klargester's drawing.

2) Dig holes to dimensions indicated, making allowances for concrete backfilling, planking and strutting.

3) Keep excavation free from water.

4) Lay a concrete base to provide an adequate foundation (see Concrete Specification SK 296).

5) Lower the BioDisc Unit on to the base and set to correct levels for both inlet and outlet, he BioDisc flanges to be level in both directions.

6) Temporarily strut the BioDisc into position (5) and backfill with concrete, compacted in 200mm layers (see SK 296). As the concrete is placed around the unit, it should be ballasted with water at the same rate as concreting proceeds.

7) Withdraw planking and strutting as concreting proceeds.

8) Connect inlet and outlet drains.

9) Concrete up to levels indicated on the drawing.

10) Concrete in control panel in a position adjacent to the unit, it being essential that the control panel is close enough to ensure that nobody will enter the unit without first isolating it.

11) Connect up power supply to control panel and fit to motor/gearbox.

12) Connect up drive failure warning device and fix alarm unit.

13) Continue dewatering operations until the concrete is set.

14) Leave unit ballasted with water on completion.

15) In the event of problems, please contact Klargester Environmental Engineering Limited.

KLARGESTER ENVIRONMENTAL ENGINEERING LIMITED
College Road,
Aston Clinton,
Bucks HP22 5EW

Tel: Aylesbury (0296) 630190

POINTS FOR CONSIDERATION IN THE SITING OF A KLARGESTER BIODISC SEWAGE TREATMENT PLANT

1) Units should be sited so they are as far as possible from habitable buildings (see Building Regulations and BS.6297).

2) Where possible, units should be sited so that they are on the opposite side of habitable buildings to that of the prevailing wind.

3) The drainage system should be laid to minimum falls and advantage should be taken of site contours to install the plant at a minimum invert depth below general ground level.

4) Ground water and flood levels should always be below plant outlet level, unless specific arrangements have been made to overcome this problem.

5) Discharge points to water courses should similarly be above flood level, to ensure that units are not flooded via the outlet drain.

6) Where units are sited in a depression, provision should be made for the removal of surface water.

7) BioDisc units are most suitable for shallow invert situations where ground water/flooding are not the problem. Elsewhere modular systems are even more suitable.

8) Where plants discharge to sub-surface irrigation systems, the design should be based upon adequate porosity/absorption tests.

9) In situations where problems are envisaged, Klargester Environmental Engineering Limited should be contacted immediately for advice and assistance.

KLARGESTER ENVIRONMENTAL ENGINEERING LTD
College Road
Aston Clinton
Aylesbury
Bucks HP22 5EW

Tel: Aylesbury (0296) 630190

BIODISC TREATMENT PLANTS INSTALLED BY JOHN MOLLOY ENGINEERING

1.	Wexford Co. Council, Davidstown.	60 pe
2.	Wexford Co. Council, Monagear.	40 pe
3.	Wexford Co. Council, Clonroche.	650 pe
4.	Waterford Co. Council, Bawnfume.	250 pe
5.	Cork Co. Council, Millstreet.	10 pe
6.	Cork Co. Council, Kilcrohane.	125 pe
7.	Mayo Co. Council, Keel, Achill.	250 pe
8.	Mayo Co. Council, Kilasser.	100 pe
9.	Mayo Co. Council, Kilmaine.	60 pe
10.	Mayo Co. Council, Achill Sound.	125 pe
11.	Mayo Co. Council, Geesala.	50 pe
12.	Alumina Aughinish Jetty.	10 pe
13.	Kerry Co. Council, Glenbeigh.	600 pe
14.	Kerry Co. Council, Moyvane.	400 pe
15.	Hotel Furbo, Co. Galway.	2 x 250 pe
16.	Bradan Mara, Lettermullan, Co. Galway.	5 pe
17.	Inagh Valley Hotel, Co. Galway.	35 pe
18.	Ballina, Co. Tipperary.	150 pe
19.	Carlow Golf Club, Co. Carlow.	50 pe
20.	Irish Shell, Kilmacanoge.	5 pe
21.	Sheen Falls Hotel, Kenmare.	200 pe
22.	Parknasilla Hotel, Co. Kerry.	250 pe
23.	Cork Co. Council, Dripsey.	600 pe
24.	Wexford Co. Council, Glenbrian.,	150 pe
25.	Muckross Park Hotel.	300 pe
26.	Wexal Limited, Enniscorthy.	25 pe

J. Hubert Brown & Assocs.,
Architects,
1 Deansgrange Road,
Blackrock,
Co. Dublin.

Reg. Ref. No. 91A/0751

17 September 1991

re: Permission for demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road near Wellington Lane, Templeogue for C. A. G. Construction.

Dear Sir,

With reference to your planning application, received here on 9th May, 1991, in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts, 1963-1990, the following clarification of additional information must be submitted in quadruplicate:-

1. The applicant is requested to submit evidence demonstrating that the location and design of the proposed septic tank, percolation and reserve percolation areas are in accordance with the recommendations set out in SR6 1975 available from Eolas. The location of the percolation area and reserve percolation on the adjoining site should be shown in detail.

2. The applicant is requested to submit evidence showing the suitability of the site for septic tank drainage. In this regard he should contact the Supervising Environmental Health Officer (33 Gardiner Street Place, Tel No. 727777), with regard to the opening and testing of a trial hole.

NOTE: The applicants response to these matters received by the Planning Authority on 18th July, 1991, is considered inadequate.

Please mark your reply "Clarification of Additional Information" and quote the Reg. Ref. No. given above.

Yours faithfully,

for Principal Officer.

Dublin County Council Comhairle Chontae Atha Cliath

Planning Department

Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066

Register Reference : 91A/0751

Date : 19th July 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Demolition and replacement of existing bungalow and septic tank on same site.

LOCATION : Tallaght Road near Wellington Lane, Templeogue

APPLICANT : C.A.G. Construction

APP. TYPE : Additional Information

With reference to the above, I acknowledge receipt of your application received on 18th July 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

J. Hubert Brown & Associates,
Architects,
1 Deansgrange Road,
Blackrock,
Co. Dublin.

J. Hubert Brown & Associates

Chartered Architects W. P. GUARD F.R.I.A.I., R.I.B.A..

MARSWORTH DEANSGRANGE ROAD BLACKROCK CO DUBLIN TEL: 893421

16 July 1991

91A/0751

3.1.0

A.1.

Dublin County Council
Planning Dept.
2, Irish Life Centre
Lower Abbey Street
Dublin 1

Additional Information.

Re: 91a/o751 Demolition and replacement of Bungalow and septic tank on same site.
Tallaght Rd (near Wellington Lane)

Dear Sirs,

Further to your order P/2971/91 we now attach copy of the following additional information:

Tree Survey. The existing Trees on or near the boundary line, mainly fir, are to be retained. One fir tree about 4.5 metres away from the existing bungalow must be removed. In view of the number of trees being retained we do not consider that its removal would materially affect the overall tree pattern.

Right of Way. Copy of Carroll & Kelly's letter regarding this matter is attached.

Adjoining Septic Tank. Location of this tank which was, we understand, installed about 1983 with the approval of the local Authority has been shown. We understood that the general detail for the new tank was in accordance with your requirements. We will now check with Eolas regarding their specification. (as shown in our spec.)

Trial Hole: This was dug at the time of making application for Permission and Approval and has been available for inspection. We have asked our Client to arrange with the Health Officer at 33 Gardiner Place to inspect.

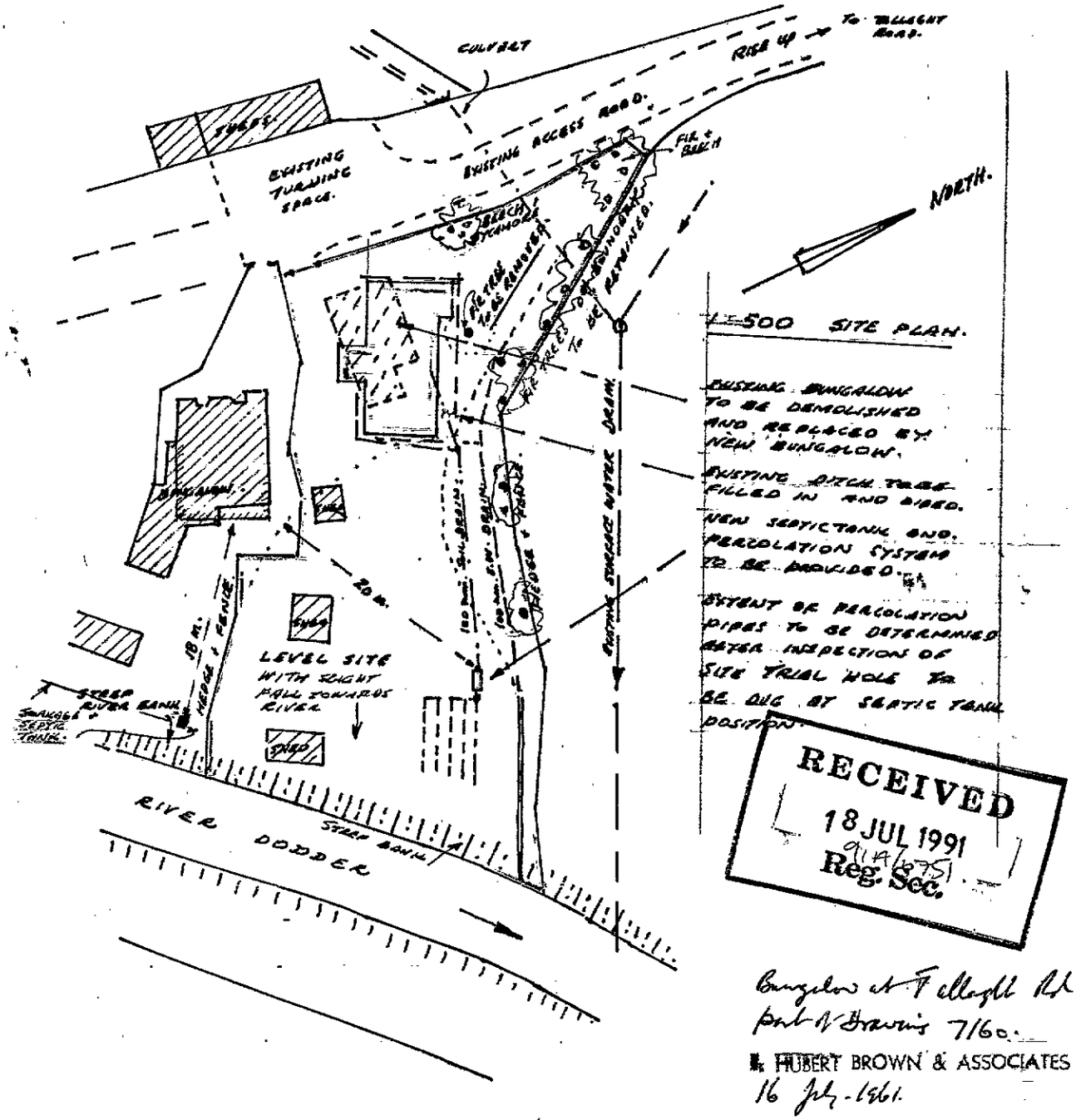
Yours faithfully,

Wilson P Guard

J. Hubert Brown & Associates.

18 JUL 91
91A/0751

c.c CAG Construction.


CULVERT
RISE UP
To TULLAGHT ROAD.
SHED.
EXISTING TURNING SPACE.
EXISTING ACCESS ROAD.
FIR + BEECH
BEECH HEDGE
NORTH.
1:500 SITE PLAN.
EXISTING BUNGALOW TO BE DEMOLISHED AND REPLACED BY NEW BUNGALOW.
EXISTING DITCH TO BE FILLED IN AND DIRED.
NEW SEPTIC TANK AND PERCOLATION SYSTEM TO BE PROVIDED.
EXTENT OF PERCOLATION PIPES TO BE DETERMINED AFTER INSPECTION OF SITE TRIAL HOLE TO BE DUG AT SEPTIC TANK POSITION.
BUNGALOW
20 m.
18 m.
HEDGE + FENCE
LEVEL SITE WITH SLIGHT FALL TOWARDS RIVER
SHED
STEEP RIVER BANK
SEPTIC TANK
RIVER DODDER
STEEP BANK
EXISTING SURFACE WATER DRAIN
RECEIVED
18 JUL 1991
Reg. Sec.
Bungalow at Tullaghat Rd
Port Drawing 7/60.
HUBERT BROWN & ASSOCIATES
16 July 1961.
ROAD
NEW FLOOR LEVEL.
APPROX GROUND LEVEL
100 mm DRAIN AT FALL OF 1:50.
SEPTIC TANK
RIVER.
CROSS SECTION
VERTICAL SCALE 1:100.
HORIZONTAL " 1:500.
APPROX LEVELS SHOWN.

CARROLL & KELLY

SOLICITORS

90 MARLBOROUGH ROAD DUBLIN 4

D.D.E. BOX No: 28 TEL: 966363/967555
FAX: 966433

OUR REF: JC/EF

YOUR REF:

DATE: 4th July 1991

RECEIVED
18 JUL 1991
91A/0751
Reg. Sec.

Christopher Gray Esq.,
C.A.G. Construction
668 South Circular Road
Dublin 8

Dear Chris,

Please find herewith letter adressed to the Planning Department, which you should submit to them with the remainder of your proposals.

Yours sincerely,

CARROLL & KELLY.

encl.

CARROLL & KELLY

SOLICITORS

90 MARLBOROUGH ROAD DUBLIN 4

D.D.E. BOX No: 28 TEL: 966363/967555
FAX: 966433

OUR REF: JC/EF

YOUR REF:

DATE:
4th July 1991

RECEIVED
18 JUL 1991
91A/0751.
Reg. Sec.

Dublin County Council
Planning Department
Block 2
Irish Life Centre
Lower Abbey Street
Dublin 1

re: Planning Register Reference 91A/0751
Applicant: C.A.G. Construction
Demolition and Replacement of existing Bungalow and Septic Tank at Tallaght Road, near Wellington Lane, Templeogue.

Dear Sirs,

We refer to yours of the 9th instant.

On behalf of the above-named, we confirm that we acted in the purchase of the Site. From our investigation of the title, we ascertained that the property was situated on an old country lane which was partly surfaced and which constituted a public right-of-way for the inhabitants of the lane their invitees and licensees. This right-of-way has existed for many years although there is no written grant now available. The owners of the Site in question and their Successors in title would have had this right-of-way which would have been transferred to the present owner by virtue of the provisions of the Conveyancing Act of 1881.

Yours faithfully,

Carroll & Kelly

CARROLL & KELLY.

Dublin County Council Comhairle Chontae Atha Cliath **Planning Department**

Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Decision Order Number : P/ 2971 /91 Date of Decision : 28th June 1991

Register Reference : 91A/0751 Date Received : 9th May 1991

Applicant : C.A.G. Construction

Development : Demolition and replacement of existing bungalow and septic tank on same site.

Location : Tallaght Road near Wellington Lane, Templeogue

Dear Sir/Madam,

With reference to your planning application, received here on 09.05.91 in connection with the above, I wish to inform you, that before the application can be considered under the Local Government(Planning and Development) Acts 1963 - 1990, the following additional information must be submitted in quadruplicate:-

01 The applicant is requested to submit a detailed tree survey of all trees on the site. This survey should give information on position, species, condition, spread of trees etc. The applicant is requested to indicate if the proposed development will necessitate the felling of any trees and if so to indicate these and proposed replacement planting.

02 The applicant is requested to submit evidence showing that he has a right of way over the existing access laneway which is located off the Tallaght Road.

03 The applicant is requested to submit evidence demonstrating that the location and design of the proposed septic tank, percolation and reserve percolation are in accordance with recommendations set down in SR6, 1975 available from Eolas. NOTE: The applicant should note that the location of septic tank percolation area and reserve percolation area on adjoining site should be shown on a block plan, as well as the proposed septic tank, percolatioon areas on this site.

04 The applicant is requested to submit evidence showing the suitability of the soil for septic tank drainage. In this regard he should contact the

J. Hubert Brown & Associates,
Architects,
1 Deansgrange Road,
Blackrock,
Co. Dublin.

Dublin County Council Comhairle Chontae Atha Cliath **Planning Department**

Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Reg.Ref. 91A/0751
Decision Order No. P/ 2971 /91
Page No: 0002

Supervising Environmental Health Officer (Tel. 727777, address: 33 Gardiner Place, Dublin 1), with regard to arranging for the opening and testing of a trial hole.

Please mark your reply "ADDITIONAL INFORMATION" and quote the Reg. Ref. No. given above.

Yours faithfully,

PRINCIPAL OFFICER

Date : 1/7/91

COMHAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

PAID BY
CASH
CHEQUE
M.O.
B.L.
I.T.

RECEIPT CODE

Issue of this receipt is not an acknowledgment that the sum tendered is the prescribed application fee.

N 39743

£40-00

Received this 24th day of May 19[illegible]

from C A G Construction (Dublin) Ltd
668 South Circular road

the sum of forty

Pounds

and nil/00 Pence, being balance of fee

Michael O'Hara Cashier

S. CAREY
Principal Officer

Balance Class II

C.A.G. CONSTRUCTION (DUBLIN) LIMITED

Demolition & Replacement
of existing bungalow & septic
tank on same site

With Compliments

Reg Ref 91A/0751

668 South Circular Road
Kilmainham, Dublin 8
(01) 538618 (01) 541386

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 91A751

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
BELGARD H+P 28/5/91	Noted & Cllr Laing		

CERTIFICATE NO: 25256

: 91A/0751

OSAL: Demolish + replace existing bungalow

CATION : Tallaght road, Templeogue

PLICANT : C.A.C. Construction

1	2	3	4	5	6	7
DWELLINGS/AREA LENGTH/STRUCT	RATE	AMT. OF FEE REQ.	AMOUNT LODGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT
Dwellings 1	£32	£32	£32	—		
	£16					
	£50p per M² in excess of 300M² Min.£40					
metres²	£1.75 per M² or £40					
x .1 hect.	£25 per .1 hect. or £250					
x .1 hect.	£25 per .1 hect. or £-0					
x .1 hect.	£25 per .1 hect. or £100.					
	£100					
x metres²	£10 per M² or £40					
M1,000M²	£25 per 1,000M² or £40					
x .1 hect.	£25 per .1 hect. or £40	£40	N.1	£40		

Mr. [illegible] Notified

£40 N39743

24/5

Lumps 1,2,3,4,5,6 & 7 Certified Signed: Grade: Date:

Lumps 1,2,3,4,5,6 & 7 Endorsed Signed: Grade: Date:

Lumps 1,2,3,4,5,6 & 7 Certified Signed: Michael O'Kane Grade: c/o Date: 16/5

Lumps 1,2,3,4,5,6 & 7 Endorsed Signed: Grade: Date:

BYE LAW APPLICATION FEES

REF. NO.: 91A/0751 CERTIFICATE NO.: 14989B

PROPOSAL: Demolish + replace existing bungalow

LOCATION: Tallaght road, Templeogue

APPLICANT: C.A.C. Construction

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats) 1	@ £55	£55	£55	—		
B	Domestic Ext. (Improvement/ Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M^2 or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M^2 in excess of 300 M^2 Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: Morten Grade: CO Date: 16/5

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

DUBLIN COUNTY COUNCIL

PLANNING DEPARTMENT

Register Reference : 91A/0751 Date Received : 9th May 1991

Applicant : C.A.G. Construction Appl.Type : PERMISSION/BUILD

Development : Demolition and replacement of existing bungalow and septic tank on same site.

LOCATION : Tallaght Road near Wellington Lane, Templeogue

O.S.REFS. 22-6

AREA REFERENCE W 4 0 1 0 5

HISTORY

FEES CERTIFICATE NO.

FEE CLASS

MEASUREMENT FOR FEES

SIGNED ..... DATE .....

SENIOR EXECUTIVE DRAUGHTSMAN

FEE PAID	FEE ASSESSED	BALANCE DUE

CERTIFIED _____ GRADE _____ DATE _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

EG. REF.:

ONT. REG.:

ERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

REA OF SITE:

LOOR AREA OF PRESENT PROPOSAL:

EASURED BY:

HECKED BY:

ETHOD OF ASSESSMENT:

OTAL ASSESSMENT

ANAGER'S ORDERED NO: P7 /
DATED

NTERED IN CONTRIBUTIONS REGISTER:

Standard
£375
Sewerage only
original Quality
connected to
Public water
supply

EVELOPMENT CONTROL ASSISTANT GRADE

P/2171/92

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

CONTRIBUTION:
Standard: 375
Roads: Sewerage only
S. Sers.:
Open Space:
Other:
SECURITY:
Bond / C.I.F.:
Cash:

SOUTH ~~COUNTY~~ DUBLIN

Register Reference : 91A/0751 Date Received : 27th September 1991

Correspondence Name and Address : J. Hubert Brown & Associates, Architects, 1 Deansgrange Road, Blackrock, Co. Dublin.

Development : Demolition and replacement of existing bungalow and septic tank on same site.

Location : Tallaght Road near Wellington Lane, Templeogue

Applicant : C.A.G. Construction

App. Type : Permission

Zoning : G

Floor Area : 92 Sq.metres

Time Extn. to 15/5/92

(RC/DK)

Report of the Dublin Planning Officer dated 12th May, 1992.

This is an application for PERMISSION for the demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road, near Wellington Lane, Templeogue for C.A.G. Construction.

The applicant is stated to have a freehold interest in the site.

There appears to be no record of any previous planning applications on this site.

Under Reg. Ref. 88A/382 permission was granted on an adjoining site to the north for 25 houses and associated site development works (Decision Order P/3912/88, dated 11.04.88).

ZONING

The site is zoned 'G' in the 1983 County Development Plan with the objective "to protect and improve high amenity areas". The site is also affected by a specific objective to protect and maintain trees and woodlands.

The site is located close to the Dodder River. It is a specific objective of

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0751

Page No: 0002

Location: Tallaght Road near Wellington Lane, Templeogue

the Planning Authority to provide for the creation of a riverside walk along the Dodder and to provide for the visual improvement of the Dodder River Valley, the regrading of the river bank and the planting of tree belts.

SITE DESCRIPTION

Access is by means of a small narrow private laneway (c. 3 metres wide) off the Tallaght Road.

The existing house on the site is in an almost derelict state and is vacant. The external walls are still standing and it is roofed and has doors and some windows.

The site has many mature trees which are not shown on plan. These trees screen the existing house from public view on the Tallaght Road. It is not clear if the proposed new house would necessitate the felling of any trees.

The proposed house is single-storey with a pitched roof. The stated block area is 82 sq. m. The stated floor area of the existing house is 50 sq. m.

REPORTS

The Roads Department report dated 04.06.91 notes that no right of way has been shown on the access lane to the site which meets the Tallaght Road at an awkward angle. Any increase in turning movements onto the dual carriageway is undesirable. If permission is being granted the Roads Engineer states that 2 no. car parking spaces are to be provided on site.

The Sanitary Services report dated 13 June 1991 states that water is available.

Parks Department report dated 16th September, 1991, opposed the application on the grounds that it would prejudice a proposed pedestrian link along the river bank as part of the Dodder River Park.
Environmental Health Officer report dated 20th August, 1991, states that the septic tank proposals are unacceptable.

Additional information was requested from the applicant with regard to the following on the 1st July, 1991.

1. The applicant is requested to submit a detailed tree survey of all trees on the site. This survey should give information on position, species, condition, spread of trees, etc. The applicant is requested to indicate if the proposed development will necessitate the felling of any trees and if so to indicate these and proposed replacement planting.

2. The applicant is requested to submit evidence showing that he has a right

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0751

Page No: 0003

Location: Tallaght Road near Wellington Lane, Templeogue

of way over the existing laneway which is located off the Tallaght Road.

3. The applicant is requested to submit evidence demonstrating that the location and design of the proposed septic tank, percolation and reserve percolation are in accordance with recommendations set down in SR6, 1975 available from EOLAS.

NOTE: The applicant should note that the location of the septic tank percolation area and reserve percolation area on adjoining site should be shown on a block plan, as well as the proposed septic tank, percolation areas on this site.

4. The applicant is requested to submit evidence showing the suitability of the soil for septic tank drainage. In this regard he should contact the Supervising Environmental Health Oficer (Te. 727777, address: 33, Gardiner Place, Dublin 1), with regard to arranging for the opening and testing of a trial hole.

In a reply received on 18th July, 1991, applicant indicates that only one tree would be affected by the development. A letter from Carroll & Kelly solicitors, confirms they do have right-of-way, which would have been transferred to the present owner by virtue of the provisions of the Conveyancing Act of 1881.

With regard to the septic tank, applicants state that they understood the proposed tank was in accordance with requirements.

Clarification of additional information was requested from the applicant with regard to the following:

1. The applicant is requested to submit evidence demonstrating that the location and design of the proposed septic tank, percolation and reserve percolation areas are in accordance with the recommendations set out in SR6, 1975 available from Eolas. The location of the percolation area and reserve percolation on the adjoining site should be shown in detail.

2. The applicant is requested to submit evidence showing the suitability of the site for septic tank drainage. In this regard he should contact the Supervising Environmental Health Officer (33, Gardiner Street Place, Tel. No. 727777), with regard to the opening and testing of a trial hole.

NOTE: The applicants response to these matters received by the Planning Authority on 18th June, 1991, is considered inadequate.

PROPOSAL

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0751

Page No: 0004

Location: Tallaght Road near Wellington Lane, Templeogue

This application was discussed at the Development Co-ordinating Committee on 19th September, 1991, where it was decided that, if granted, the necessary lands for the riverside walk be conditioned as public open space and ceded free of charge to the Council. Also that the applicants arrange that the foul sewerage be pumped to the nearest public sewer to avoid having a septic tank in such close proximity to the river.

At a subsequent meeting with Council officials the principle of a land swop was accepted, generally similar to that now proposed by the applicant in his unsolicited additional information drawing ref. no. 7180, date stamped 30th April, 1992.

The lands to be exchanged ~~is~~ are of a similar size, i.e. 260 sq. m. and ~~is~~ this land swop will ensure the continuation of riverside walk along the river Dodder. I understand that it is acceptable to the Parks Department.

Sanitary Services Department have informed me verbally (written report to follow) that the proposal to connect to a public sewer is acceptable subject to a condition.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963 - 1991, subject to the following (6) conditions :-

C O N D I T I O N S / R E A S O N S

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 18th July, 1991, clarification of additional information received on 27th September, 1991, and submission received on 30th April, 1992, including revised site as shown on Drawing Ref. No. 7180, save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 The requirements of the Sanitary Services Department to be complied with in the development. Foul and surface water drainage to be as per drawing Ref. No. 7180, subject to final details being agreed with the Sanitary Services Department, through the Planning Authority. In particular, the proposed rising main is to incorporate a protective sleeve sufficiently

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0751

Page No: 0005

Location: Tallaght Road near Wellington Lane, Templeogue

large to cater for this house and the adjoining dwelling. The adjoining dwelling is to be allowed to use this protective sleeve.

02 REASON: In the interest of the proper planning and development of the area.

03 The proposed land swop with the County Council as shown on drawing ref. no. 7180 to be completed prior to commencement of development.
REASON: To ensure the provision of a riverside walk.

P.C. ~~04 Details of proposed boundary treatment to be agreed with the Planning Authority prior to commencement of development.~~
~~REASON: In the interest of visual amenity.~~

4 ~~05~~ All public services to the proposed development, including electrical, telephone cables and equipment to be located underground, unless otherwise agreed with the Planning Authority.
REASON: To minimise the visual impact of the proposed development, which is located within the Dodder Valley Linear Park.

5 ~~06~~ Roof tiles/slates to be of muted colour, eg. blue/black or brown.
REASON: In the interest of visual amenity.

06 That a financial contribution in the sum of £375. be paid by the proposer to Dublin County Council towards the provision of public foul sewerage in the area of the proposed development and which will facilitate this developme This contribution to be paid prior to the commencement of development on site.
REASON: In the interest of the proper planning and development of the area.

F

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0751

Page No: 0006

Location: Tallaght Road near Wellington Lane, Templeogue

Richard Cronnane SEP
for Dublin Planning Officer

14/5/92 Endorsed:-.....
for Principal Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1991 to GRANT PERMISSION for the above proposal subject to the (6) conditions set out above is hereby made.

Dated : 15th MAY, 1992. .....
ASSISTANT COUNTY MANAGER/~~APPROVED OFFICER~~

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated ~~[illegible]~~, 10th February 1992

Sal

J. Hubert Brown & Associates
Chartered Architects W. P. GUARD A.R.I.B.A.
MARSWORTH DEANSGRANGE ROAD BLACKROCK CO.DUBLIN TEL: 89 34 21

Dublin County Council
Planning Department Attn: Mr Cremin.

91A/0751/
1.80
Mod A.1.

Re: Demolition and replacement of Bungalow on same site.
Tallaght Road, Templeogue. Reg. Ref. 91A/0751

Dear Mr. Cremin,

We now enclose four copies of a revised site plan, No.7180

1. Our client is agreeable to hand over the 10metre wide strip of ground along the river edge to form part of the proposed riverwalk, in return the Council to hand over the strip of ground on the N.E. side of the proposed bungalow. Both spaces are about 260 sq.metres in area.

2. Concrete block wall rendered and coped, or suitable fencing as may be agreed with the Parks Dept. will be provided by our client to define the new boundaries.

3. The Council will allow a 100mm pipe to be laid in a route to be agreed to allow pumped sewage from the proposed bungalow to deliver into an existing manhole at high level in the position Z shown on plan. (under negotiation with the Developer)

4. The Floor level of the new bungalow to be not less than 300mm over road-level at the culvert marked X on plan. We understand that even during 'Huricane Charlie' the existgardenlevel was barely inundated and the proposed floor level will be about 600mm over that level.

5. Surface water to deliver to the manhole on the new Council surface water drain.

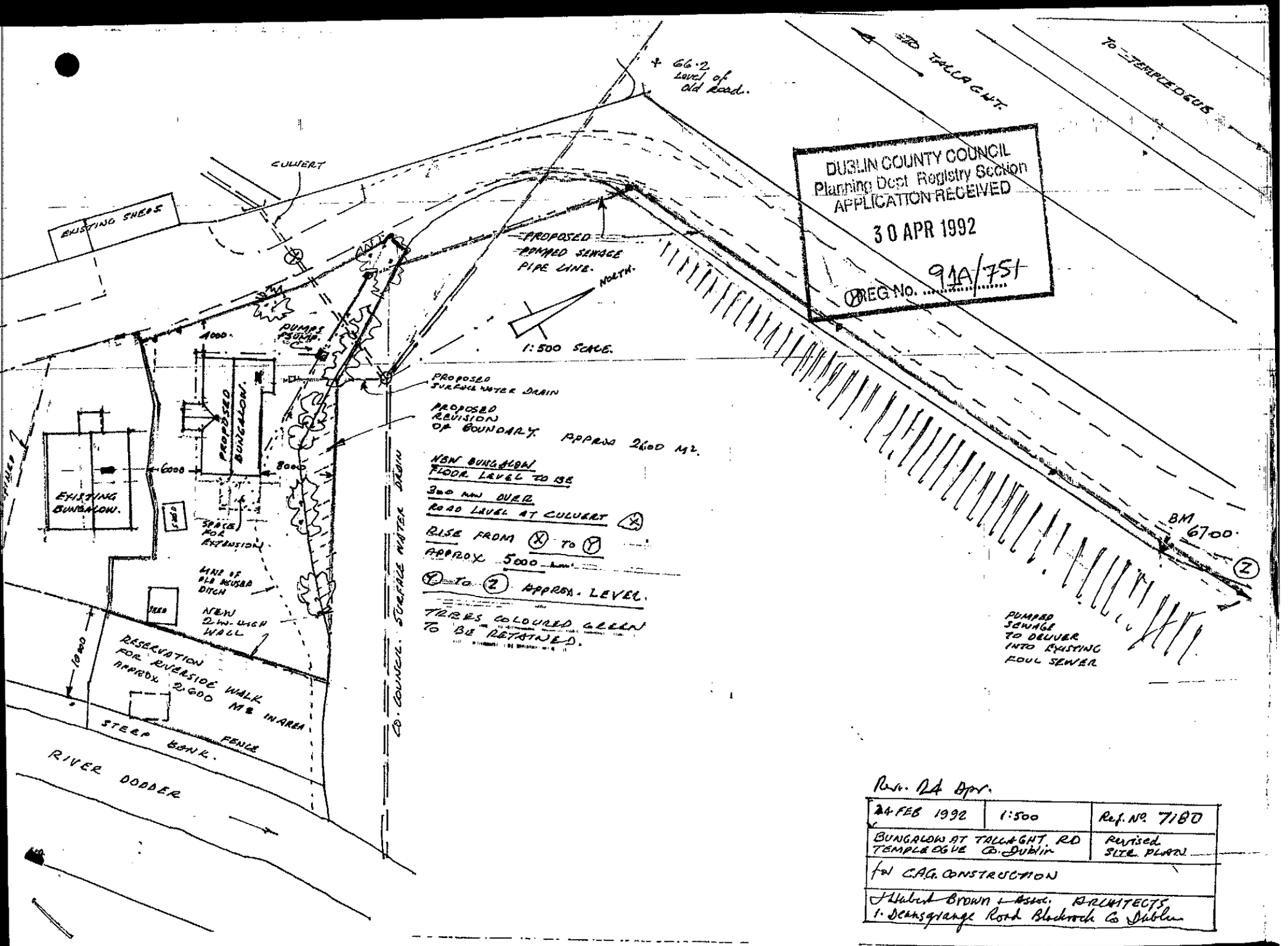
6. The nearest point of the bungalow to the front road boundary has been increased to 4000 mm.

We look forward to having a favourable decision to these modified proposals. a copy of a specification for the sewage pump is also attached.

Yours faithfully, Wilson P Guard

J.Hubert Brown & Associates.

c.c CAG Construction.



Rev. 24 Apr.

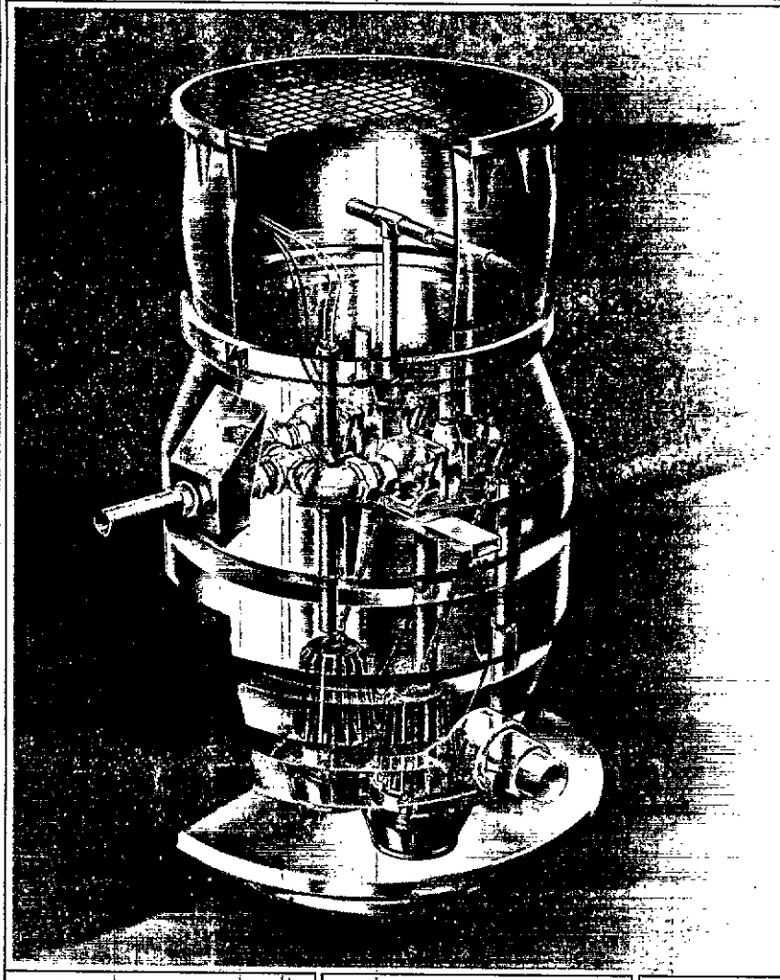
24 FEB 1992	1:500	Ref. No. 7180
BUNGALOW AT TALLAGHT RD TEMPLEOGUE Co. Dublin		Revised SITE PLAN
for C.A.G. CONSTRUCTION		
Hubert Brown + Assoc. ARCHITECTS 1. Deansgrange Road Blackrock Co Dublin		

J-4720 2/89 GB

ABS PUMPS

SYNCONTA® 1 and 2

For automatic removal of waste-water and sewage from rooms and areas below sewer level by means of a pre-fabricated sump of synthetic material fitted with one or two pumps



Synthetic Pre-Fabricated Sump for ABS-Submersible Pumps for installation outside a building

Easily transportable, corrosion resistant, synthetic collection tank for sewage

Can be easily and economically installed without the use of a crane

Pump fitting and maintenance is easy, no need to enter the sump

Four inlet ports DN 200/150/100 at different heights

Simple pipe connection by means of standard push-on connectors

Plug-/Cable port, odour-tight for combined cable duct and venting 70 mm N.B.

A range of standard ABS Submersible Pumps can be fitted*

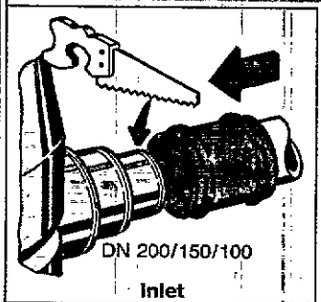
Supplied with ball-type non-return valve and gate-valve

With self-sealing high level coupling. Pump seals itself automatically when suspended in position

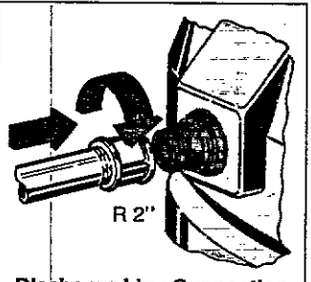
Pump control by means of the PNEUMOSTAT automatic level control system

Robust chequered plate (cast iron) with cast-in grips for easy removal (Class A)

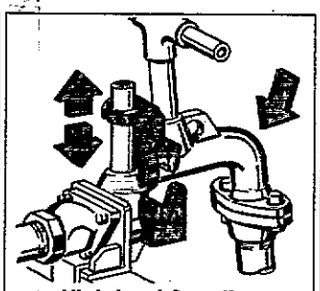
*PIRANHA PA-I-3465



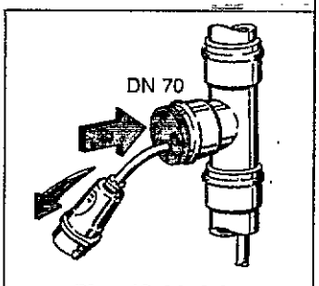
Inlet



Discharge Line Connection



High-level Coupling



Plug-/Cable Inlet

P/1550/92 P/1529/92

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/0751 Date Received : 27th September 1991

Correspondence Name and Address : J. Hubert Brown & Associates, Architects, 1 Deansgrange Road, Blackrock, Co. Dublin.

Development : Demolition and replacement of existing bungalow and septic tank on same site.

Location : Tallaght Road near Wellington Lane, Templeogue

Applicant : C.A.G. Construction

App. Type : Permission

Zoning :

Floor Area : Sq.metres

In accordance with Section 26(4a) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(f) of the Local Government (Planning and Development) Act, 1976, the applicant has furnished his consent in writing to the extension by the Council of the period for considering this application within the meaning of subsection (4a) of Section 26, up to and including the 15.05.92.

I recommend that the period be extended accordingly.

Reason: To facilitate full consideration of the application.

Endorsed:- .....
for Principal Officer

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Order: A decision pursuant to Section 26(4A) of the Local Government (Planning and Development) Act, 1963 to extend the period for considering the application as recommended is hereby made.

Dated : ...9th April 1992 .....

ASSISTANT COUNTY MANAGER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated ....4th February..1992

NOTE: I have checked that the necessary entry has been made recording details of the period as extended and that the statutory expiry date on the Detail Screen has been updated.

.....

Senior Staff Officer.

D/South

Order No. P/879/92

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Permission for demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road new Wellington Lane, Templeogue, for C.A.G. Construction.

J. Hubert Brown & Associates,
Architects,
1 Deansgrange Road,
Blackrock,
Co. Dublin.

Reg. Ref. 91A/0751
Appl. Rec'd: 09.05.1991
Time Exts. up to:28.02.91
Fur. let. of Ext. rec: 26.02.1991
Fur. Time Ext. up to: 15.04.1992

Report of the Dublin Planning Officer, dated 26 February 1992

This is an application for permission for demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road new Wellington Lane, Templeogue, for C. A. G. Construction.

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the applicant has furnished his consent in writing to the further extension by the Council of the period for considering this application within the meaning of subsection (4A) of Section 26, up to and including **15th April, 1992.**

I recommend that the period to be extended accordingly.

Reason: To facilitate full consideration of the application.

for Principal Officer.

Order: A decision pursuant to Section 26(4A) to extend the period for considering the application as recommended is hereby made.

Dated: 26th February, 1992.

Asst Comty Manager

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 6 February

---

NOTE: I have checked that the necessary entry has been made recording details of the period as extended.

SENIOR STAFF OFFICER.

Order No. P/503/92

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Permission for demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road new Wellington Lane, Templeogue, for C.A.G. Construction.

J. Hubert Brown & Associates,
Architects,
1 Deansgrange Road,
Blackrock,
Co. Dublin.

Reg. Ref. 91A/0751
Appl. Rec'd: 9/5/91
Time Exts. up to. 31/1/92
Further Let. of Ext. rec. 30/1/92
Further Time Ext. up to. 28/2/92

Report of the Dublin Planning Officer, dated 30 January 1992

This is an application for permission for demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road new Wellington Lane, Templeogue, for C.A.G. Construction.

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the applicant has furnished his consent in writing to the further extension by the Council of the period for considering this application within the meaning of subsection (4A) of Section 26, up to and including 28th February, 1992.

I recommend that the period to be extended accordingly.

Reason: To facilitate full consideration of the application.

for Principal Officer.

Order: A decision pursuant to Section 26(4A) to extend the period for considering the application as recommended is hereby made.

Dated: 30th January, 1992.

Assistant County Manager
to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 10th December 1991

NOTE: I have checked that the necessary entry has been made recording details of the period as extended.

SENIOR STAFF OFFICER.

Order No. P/5454/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Permission for demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road new Wellington Lane, Templeogue for C.A.G. Construction.

J. Hubert Brown & Associates,
Architects,
1, Deansgrange Road,
Blackrock,
Co. Dublin.

Reg. Ref. 91A-0751
Appl. Rec'd: 09.05.1991
Time Ext. let. rec'd: 26.11.1991
Time Ext. up to: 31.01.1992

Report dated 26 November 1991

This is an application for permission for demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road new Wellington Lane, Templeogue for C.A.G. Construction.

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the applicant has furnished his consent in writing to the extension by the Council of the period for considering this application within the meaning of subsection (4A) of Section 26, up to and including 31st January, 1992.

I recommend that the period to be extended accordingly.

Reason: To facilitate full consideration of the application.

for Principal Officer.

Order: A decision pursuant to Section 26(4A) to extend the period for considering the application as recommended is hereby made.

Dated: 26th November, 1991.

Assistant County Manager

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 6th November 1991.

NOTE: I have checked that the necessary entry has been made recording details of the period as extended.

SENIOR STAFF OFFICER.

Development Co-Ordinating Committee held on 19/9/91

(c) Planning application 91A/751 - Springbank, Tallaght (Min. No. 8)

Noted that additional information has been requested on this planning application for a new dwelling.

Noted also that there is a current planning application for upgrading of an old cottage on the adjoining lands. (91A/1307)

Agreed that a condition should be inserted in both permissions if granted that the necessary land for the riverside walk be conditioned as open space and ceded free of charge to the Council and also requiring that the applicants arrange that the foul sewerage be pumped to the nearest public sewer to avoid having septic tanks in such close proximity to the river.

(d) Car parking at the rear of Main Street, Swords (Min. No. 10)

Noted that Development Department is in the process of issuing draft Deeds of Dedication, to include Council's proposed boundary treatment, to the landowners and if completed the Roads Department would be in a position to have the contract documents ready within three weeks so that work could start on a section to provide 80 car parking spaces.

Noted that the funding for the car parking is being provided by imposing levies in planning applications.

(e) Service Reports on planning applications

Noted that the majority of reports from Roads Department are received in the Planning Department in sufficient time before a planning decision requires to be made but that there is still an unacceptable delay in the Sanitary Services Department.

Noted that a copy of the planning application is sent to Building Control Department prior to it being forwarded to Sanitary Services but that a copy is sent direct to Roads Department.

Agreed that J. D. Taylor would chair a meeting with P. Hennigan, F. Vaughan and B. Casey to co-ordinate the procedure with a view to expediting Sanitary Services reports to Planning. Agreed to re-enter for next meeting.

PLANNING DEPARTMENT
DUBLIN COUNTY COUNCIL
IRISH LIFE CENTRE

19th September 1991

20/9

K. Kennedy,
Senior Executive Planner,

RE: 91A/0751 C.A.G. CONSTRUCTION, TALLAGHT ROAD
91A/1307 P. O'TOOLE, THE STRAND, TEMPLEOGUE.

The above files were discussed at the Development Co-ordination Meeting on 19.9.91. 91A/0751 is on 'clarification of A.I. 91A/1307 is due for decision on 6.10.91.

Both proposals would prejudice the objectives of the Council to provide a linear park walkway along the banks of the Dodder. The reservation of a strip for public use would also involve relocating the existing septic tank and also the proposed septic tank.

The decision of the Development Co-ordination Meeting was that the Planning Department would attempt to secure a strip of appropriate width along the bank for public use in negotiation with the applicants. Parks Department will advise in relation to the width of the strip. The problems of the septic tanks can only be resolved by pumping to the sewer which is at the level of the Templeogue Road. P. Hennigan Deputy Chief Engineer is having this matter examined.

The objective is to secure the strip and the pumped sewer at no cost to the Council. If this proves not to be feasible some arrangements may be proposed which would achieve the objective at minimal cost.

You will see the urgency of the situation. I would be obliged if you would give it your attention.

W. Murray

W. MURRAY,
DEPUTY PLANNING OFFICER,
DUBLIN COUNTY COUNCIL.
cc O'Toole,
WM/JO'M.
P. Hennigan
B.C.
D.D.

P/4407/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Order No. P/4407/91

Record of Executive Business and Manager's Orders

Permission for demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road near Wellington Lane, Templeogue for C.A.G. Construction.

J. Hubert Brown & Assocs.,
Architects,
1 Deansgrange Road,
Blackrock,
Co. Dublin.

Reg. Ref.	91A/0751
App. Recd:	09.05.1991
Floor Area:	82 sq. m.
Site Area:	1200 sq. m.
Zoning:	

A 1 Rec 11/7/91.

Report of the Dublin Planning Officer, dated 16 September 1991

This is an application for PERMISSION for the demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road, near Wellington Lane, Templeogue for C. A. G. Construction.

The applicant is stated to have a freehold interest in the site.

There appears to be no record of any previous planning applications on this site.

Under Reg. Ref. 88A/382 permission was granted on an adjoining site to the north for 25 houses and associated site development works (Decision Order P/3912/88, dated 11.04.88). There is a current application 91A/1307 for retention of reconstructed house on the adjoining site, also close to the river.

The site is zoned in the 1983 County Development Plan with the objective "to protect and improve high amenity areas". The site is also affected by a specific objective to protect and maintain trees and woodlands.

The site is located close to the Dodder River. It is a specific objective of the Planning Authority to provide for the creation of a riverside walk along the Dodder and to provide for the visual improvement of the Dodder River Valley, the regrading of the river bank and the planting of tree belts.

The area of the site is stated to be 1200 sq. m. (0.3 acres).

Access is by means by a small narrow private laneway (c. 3 metres wide) off the Tallaght Road.

The existing house on the site is in an almost derelict state and is vacant. (The external walls are still standing and it is roofed and has doors and some windows).

When the application was originally submitted the site has many mature trees which are not shown on plan. These trees screen the existing house from public view on the Tallaght Road. It was not clear if the proposed new house would necessitate the felling of any trees.

COMHAIRLE CHONTAE ÁTHA CLIATH

Order No. P/4117/91

Record of Executive Business and Manager's Orders

Permission for demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road near Wellington Lane, Templeogue for C.A.G. Construction.

The proposed house is single-storey with a pitched roof. The stated block area is 82 sq. m. The stated floor area of the existing house is 50 sq. m.

REPORTS

The Roads Department report dated 04.06.91 noted that no right of way has been shown on the access lane to the site which meets the Tallaght Road at an awkward angle. Any increase in turning movements onto the dural carriageway is undesirable. If permission is being granted the Roads Engineer stated that 2 no car parking spaces are to be provided on site.

The Sanitary Services report dated 13 June 1991 states that water is available.

Parks Department oppose the application on the grounds that it would prejudice a proposed pedestrian link along the river bank as part of the Dodder River Park.

There is no report available from the Supervising Environmental Health Officer at the time of writing ~~this~~ report.

Additional Information was requested from the applicant with regard to the following on the 1st July 1991.

1. The applicant is requested to submit a detailed tree survey of all trees on the site. This survey should give information on position, species, condition, spread of trees etc. The applicant is requested to indicate if the proposed development will necessitate the felling of any trees and if so to indicate these and proposed replacement planting.

2. The applicant is requested to submit evidence showing that he has a right of way over the existing laneway which is located off the Tallaght Road.

3. The applicant is requested to submit evidence demonstrating that the location and design of the proposed septic tank, percolation and reserve percolation are in accordance with recommendations set down in SR6, 1975 available from Eolas. NOTE: The applicant should note that the location of septic tank percolation area and reserve percolation area on adjoining site should be shown on a block plan, as well as the proposed septic tank, percolation areas on this site.

4. The applicant is requested to submit evidence showing the suitability of the soil for septic tank drainage. In this regard he should contact the Supervising Environmental Health Officer (Tel. 727777, address: 33 Gardiner Place, Dublin 1), with regard to arranging for the opening and testing of a trial hole.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Permission for demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road near Wellington Lane, Templeogue for C.A.G. Construction.

In a reply received on 18 July 1991, applicant indicates that only one tree would be affected by the development. A letter from Carroll & Kelly Solicitors, confirms they do have right-of-way, which would have been transferred to the present owner by virtue of the provisions of the Conveyancing Act of 1881.

With regard to the septic tank, applicants state that they understood the proposed tank was in accordance with requirements. The adjoining septic tank is still not shown in detail. However a report on file from the Supervising Environmental Health Officer dated 20.08.91 indicates that the proposal is unacceptable because:

1. the road frontage is inadequate,
2. no reserve percolation area,
3. location of existing septic tank on adjoining site not shown,
4. distance between percolation pipes less than 2 metres,
5. no evidence of soil suitability for septic tank drainage. The applicants have not indicated that their proposals meets the requirements of SR6 (1975) nor have they submitted evidence that the site is suitable for septic tank drainage.

I recommend that CLARIFICATION OF ADDITIONAL INFORMATION be requested from the applicant with regard to the following:-

1. The applicant is requested to submit evidence demonstrating that the location and design of the proposed septic tank, percolation and reserve percolation areas are in accordance with the recommendations set out in SR6 1975 available from Eolas. The location of the percolation area and reserve percolation on the adjoining site should be shown in detail.

2. The applicant is requested to submit evidence showing the suitability of the site for septic tank drainage. In this regard he should contact the Supervising Environmental Health Officer (33 Gardiner Street Place, Tel No. 727777), with regard to the [illegible] and testing of a trial hole.

Note: The applicant's response to this matter ~~in their reply to the original request~~ received by the Planning Authority on 12/7/91 is considered inadequate.

COMHAIRLE CHONTAE ÁTHA CLIATH

Order No. P/4167/91

Record of Executive Business and Manager's Orders

Permission for demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road near Wellington Lane, Templeogue for C.A.G. Construction.

For Dublin Planning Officer

Endorsed:- _____
for Principal Officer

Order:- I direct that CLARIFICATION OF ADDITIONAL INFORMATION be requested from the applicant for planning permission as set out in the above report and that notice thereof be served on the applicant.

Dated: 17 September, 1991.

ASSISTANT CITY & COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 4th September, 1991.

EASTERN HEALTH BOARD

P.C. _____ Reg. Ref: 91A/0751

Proposed: Replacement of existing bungalow & septic tank on same site

At: TALLAGHT ROAD NEAR WELLINGTON LANE TEMPLEOGUE

For: C.A.G. CONSTRUCTION

Plans lodged: _____

Architect: _____

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

These proposals are unacceptable for the following reasons

1/ The road frontage is inadequate.

2/ There is no reserve percolation area indicated.

3/ Location of existing septic tank on the site not shown.

4/ Details of septic tank & percolation area on adjoining site not adequate

5/ Distance between percolation pipes is less than 2 mts.

6/ Evidence of soil suitability for septic tank drainage not submitted.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 26.08.91
Time 10.30

EHO 26/8/91.

COUNTY PLANNING DEPARTMENT,
IRISH LIFE CENTRE,
LOWER ABBEY STREET.

26 August, 1991.

Mr. D. O'Sullivan,
Principal Officer,
Community/Environment Dept.,
Dublin County Council.

Re: 91A/0751: Replacement of Bungalow at Tallaght Road near Wellington Lane for CAG Construction.

You will recall that at the Development Co-Ordinating meeting on the 22nd August you indicated that your Department might be interested in acquiring a right-of-way along the river bank and that this matter might be addressed during the course of the currency of the application.

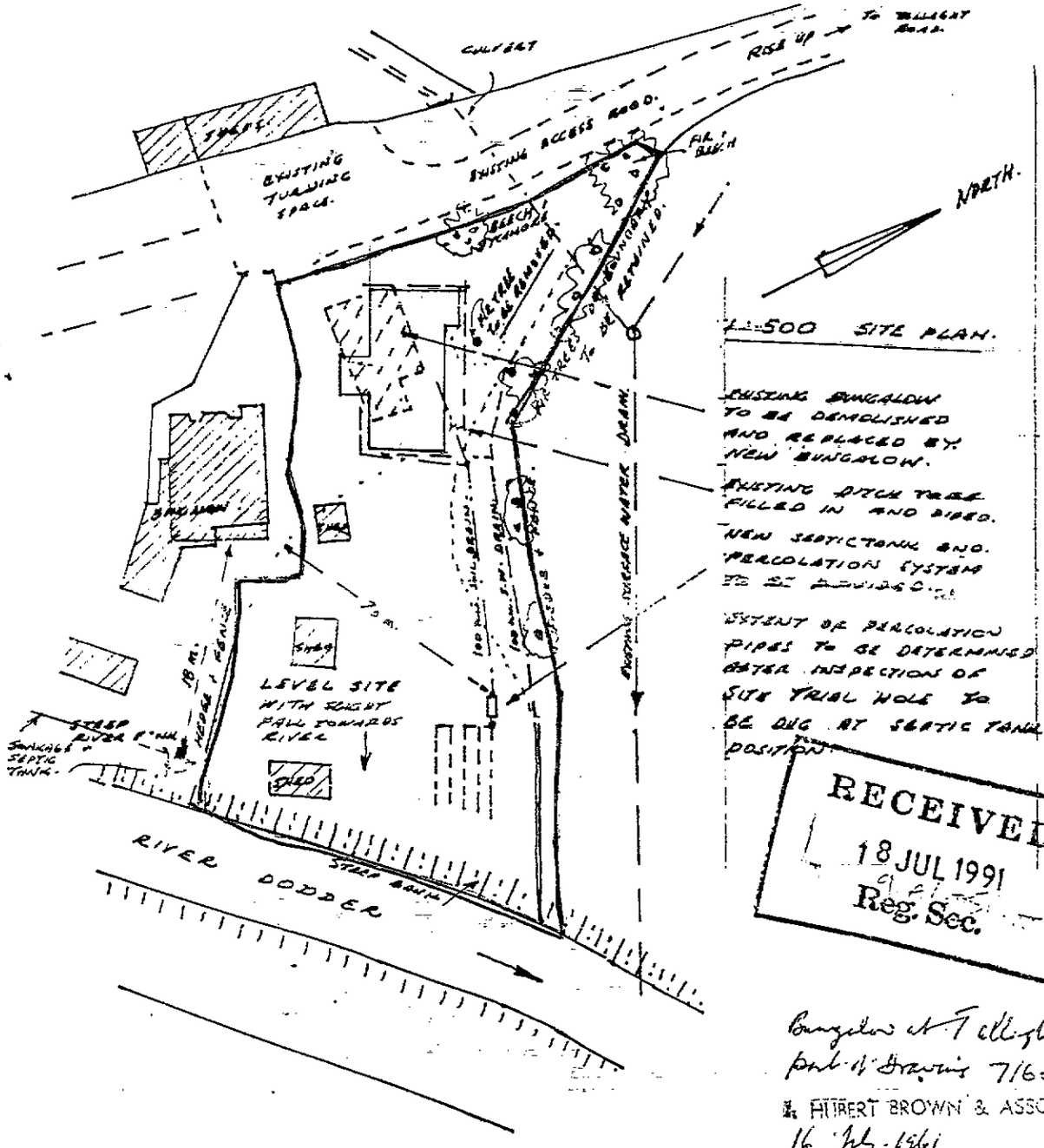
It may be of interest to you that Mrs. O'Toole who owns the adjoining property, indicated informally to me that she might be sympathetic to such a right-of-way on her property. She could perhaps be approached at the same time as a link through both properties would be required.

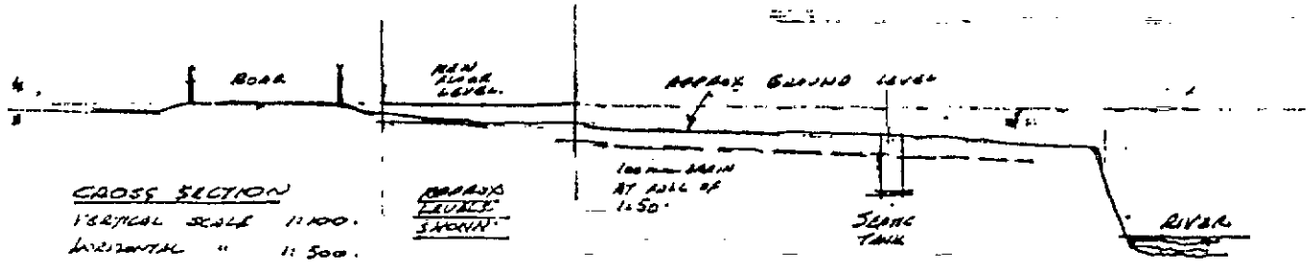
It is noted that there is a current application for the retention of Mrs. O'Toole's house, recently re-constructed (91A/1307 lodged 7/8/1991).

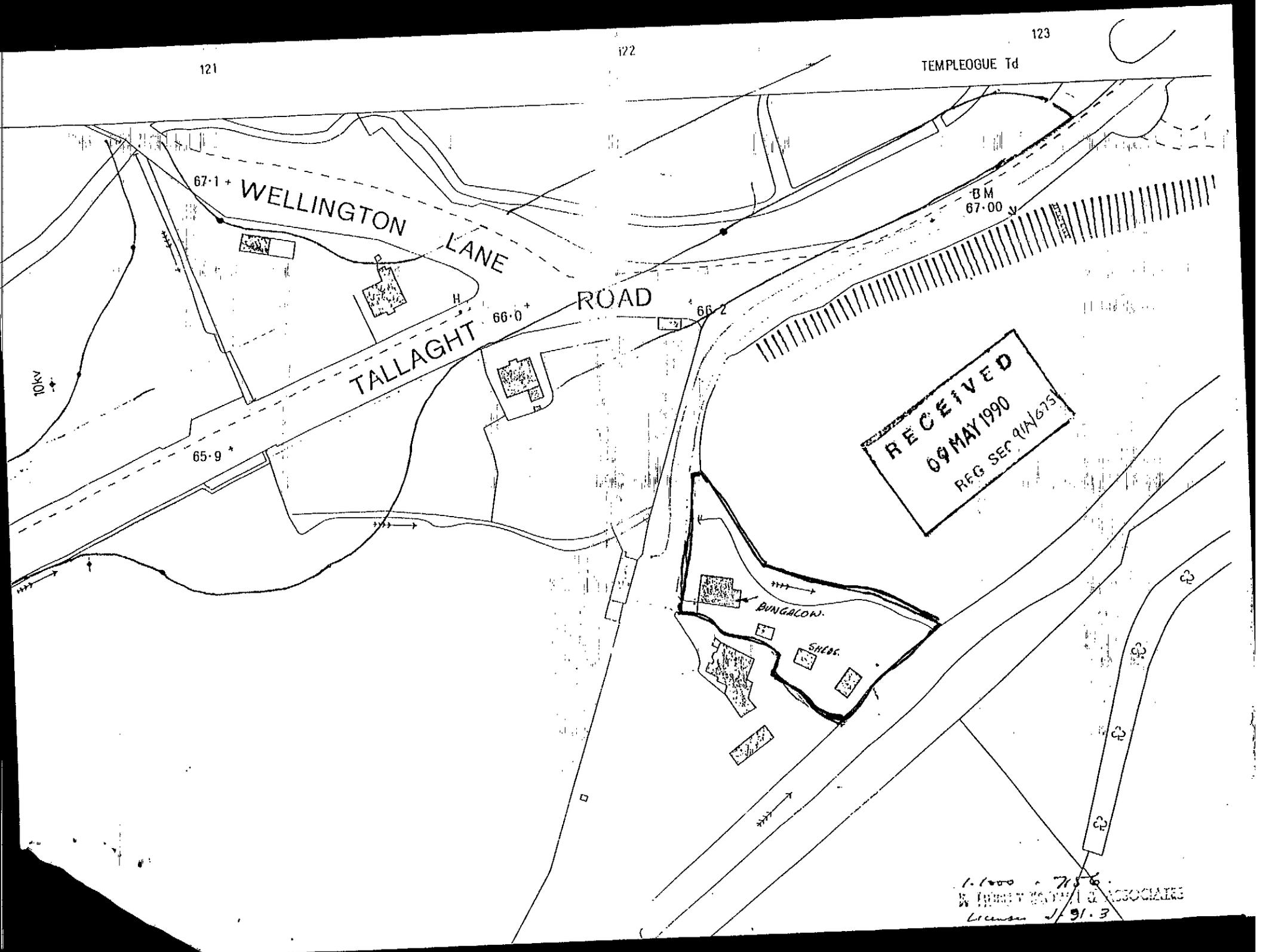
William Murray,
Deputy Planning Officer,
Dublin County Council.

cc. Mr. D. Hyde, Senior Planner.
Mr. R. Cremins, S.E.D.C.

WM/PG


CULVERT
RISE UP
TO TULLAGHT ROAD.
EXISTING ACCESS ROAD.
EXISTING TURNING SPACE.
NORTH.
1:500 SITE PLAN.
EXISTING BUNGALOW TO BE DEMOLISHED AND REPLACED BY NEW BUNGALOW.
EXISTING DITCH TO BE FILLED IN AND DIRED.
NEW SEPTIC TANK AND PERCOLATION SYSTEM TO BE PROVIDED.
EXTENT OF PERCOLATION PIPES TO BE DETERMINED AFTER INSPECTION OF SITE TRIAL HOLE TO BE DUG AT SEPTIC TANK POSITION.
LEVEL SITE WITH SLIGHT FALL TOWARDS RIVER
STEEP RIVER BANK
SEPTIC TANK
RIVER DODDER
STEEP BANK
RECEIVED
18 JUL 1991
Reg. Sec.
Bungalow at Tullaghlet Rd
Part of Drawing 7/6
HILBERT BROWN & ASSOCIATES
16 July 1991


ROAD
NEW FLOOR LEVEL.
APPROX GROUND LEVEL
100mm MAIN AT FALL OF 1:50
SEPTIC TANK
RIVER
CROSS SECTION
VERTICAL SCALE 1:100.
HORIZONTAL " 1:500.
APPROX LEVELS SHOWN


121
122
123
TEMPLEOGUE Td
67·1 +
WELLINGTON LANE
BM
67·00
H
66·0 +
TALLAGHT ROAD
66·2
10kV
65·9 +
BUNGALOW.
SHED.
RECEIVED
09 MAY 1990
REG SEC 91/N/675
1:1000 - 71·6
Licence J/91.3

SS + EHO

Register Reference : 91A/0751 Date : 24th July 1991

Development : Demolition and replacement of existing bungalow and septic tank on same site.

LOCATION : Tallaght Road near Wellington Lane, Templeogue

Applicant : C.A.G. Construction

App. Type : Additional Information

Planning Officer : M.O'SHEE

Date Recd. : 18th July 1991

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 11.09.91
Time 3.30

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

for PRINCIPAL OFFICER

DUBLIN Co. COUNCIL
31 JUL 1991.
SAN SERVICES

DUBLIN CO. COUNCIL
SANITARY SERVICES
10 SEP 1991
Returned

Date received in Sanitary Services .....

FOUL SEWER

Septic tank proposal – refer to E.H.O.

SURFACE WATER

Available as indicated.

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

29/8/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 11.09.91
Time 3.30

Register Reference : 91A/0751 Date : 24th July 1991

ENDORSED _____ DATE _____

WATER SUPPLY

See previous report.

2/8/91.

ENDORSED _____ DATE 28/8/91

PLANNING DEPT
DEVELOPMENT CONTROL SECT
Date 30.07.91
Time 5.00

M.O'S.

DUBLIN COUNTY COUNCIL

PLANNING AND BUILDING CONTROL DEPARTMAENT

Senior Environmental Health Officer,
33 Gardiner Place.

Register Reference : 91A/0751

Date : 10th May 1991

Development : Demolition and replacement of existing bungalow and septic tank on same site.

LOCATION : Tallaght Road near Wellington Lane, Templeogue

Applicant : C.A.G. Construction

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

DUBLIN COUNTY COUNCIL
21 JUN 1991

Planning Officer :

Date Recd. : 9th May 1991

Attached is a copy of the application for the above development .Please ensure that your report is received within 5 weeks from 9th May 1991.

Yours faithfully,

.....

PRINCIPAL OFFICER

This proposal is unacceptable for the following reasons.

1 The Road frontage is inadequate

2. The Septic tank is too far from the dwelling.

3. There is no Reserve percolation area indicated

4. Location of existing septic tanks on this site, or neighboring site not shown.

5. Evidence of Soil suitability for Septic tank drainage not submitted.

6. Distance between perc. pipes < 2 metres.

7 - Percolation area too close to river bank.

Kelly Mullen 15/7/91.

Ita Devine
for John O'Reilly SEHO 16/7/91

Dublin County Council Comhairle Chontae Atha Cliath

Parks Department

Bosca 174
P. O. Box 174
5 Rae Gardinar,
5 Gardiner Row,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)727777
Fax. (01)727530

Mr. D. Drumgoole,
Senior Administrative Officer,
Planning Department,
Dublin County Council.

Our Ref.
Your Ref.
Date 16.09.1991

RE: Bungalow at Tallaght Road. Reg. Ref. 91A/0751.

With reference to this Additional Information, the Parks Department's comments are:

The Parks Department are very concerned that no reference has been made in the Additional Information to the high amenity zoning of the land, and that it forms part of the Dodder Valley Linear Parkway. The site curtilage extends to the River Dodder, the bank of which is very steep at this location as detailed on the lodged drawing and as per the enclosed photograph alongside the River. If permission is granted for this application, then the objectives of the 1983 County Development Plan, as expressed in Section 5.8 Tallaght, "To provide for the creation of a riverside walk along the Dodder" will be jeopardized. In effect the linkage between the area of public open space as outlined on the attached drawing will be blocked by virtue of this proposed development, and pedestrian movement along the River bank will be impossible, which would be totally contrary to the Development Plan objectives for recreational amenity in this area. The Parks Department are totally opposed to the grant of a planning permission for this development which does not take any account of the 1983 County Development Plan Objectives, in relation to the Dodder Valley Linear Park.

SENIOR PARKS SUPERINTENDENT

Marjorie O'Shea.

EASTERN HEALTH BOARD

P.C. _____ Reg. Ref: 91A/0751

Proposed: Replacement of existing bungalow & septic tank on same site

At: TALLAGHT ROAD NEAR WELLINGTON LANE RATHFARNHAM

For: C.A.G. CONSTRUCTION

Plans lodged: _____

Architect: _____

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

These proposals are unacceptable for the following reasons

1/ The road frontage is inadequate.

2/ There is no reserve percolation area indicated.

3/ Location of existing septic tank on the site not shown.

4/ Details of septic tank & percolation area on adjoining site not adequate.

5/ Distance between percolation pipes is less than 2 mts.

6/ Evidence of soil suitability for septic tank drainage not submitted.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 26.08.91
Time 10.30

EHO
26/8/91.

Marjorie O'Shea.

DUBLIN COUNTY COUNCIL

PLANNING AND BUILDING CONTROL DEPARTMAENT

Senior Environmental Health Officer,
33 Gardiner Place.

Register Reference : 91A/0751

Date : 10th May 1991

Development : Demolition and replacement of existing bungalow and septic tank on same site.

LOCATION : Tallaght Road near Wellington Lane, Templeogue

Applicant : C.A.G. Construction

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 9th May 1991

DUBLIN COUNTY COUNCIL
21 JUL 1991

PLANNING DEPT
DEVELOPMENT CONTROL SECT
Date 23.7.91
Time 2.10.

Attached is a copy of the application for the above development .Please ensure that your report is received within 5 weeks from 9th May 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

This proposal is unacceptable for the following reasons.

1. The Road frontage is inadequate
2. The Septic tank is too far from the dwelling
3. There is no Reserve percolation area indicated
4. Location of existing septic tanks on this site, or neighbouring site not shown
5. Evidence of soil suitability for septic tank drainage not submitted
6. Distance between perc pipes < 2 metres.
7. Percolation area too close to river boundary.

Ita Devine
for John O'Reilly SEHO 16/7/91

Ruby Muller 15/7/91.

Marjorie O'Shea.

Dublin County Council Comhairle Chontae Atha Cliath

Parks Department

Bosca 174
P. O. Box 174
5 Rae Gardiner,
5 Gardiner Row,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)727777
Fax. (01)727530

Mr. D. Drumgoole,
Senior Administrative Officer,
Planning Department.

Our Ref. P.P. 589
Your Ref.
Date 27.06.1991

RE/ **Bungalow at Tallaght Road. Reg. Ref. 91A/0751.**

With reference to this application, the Parks Department's comments are:-

The lands subject of this application are zoned 'G' to protect and improve high amenity areas, in the 1983 County Development Plan, and form part of the Dodder Valley Linear Parkway. This proposed house is located in an extremely sensitive location in close proximity to the river and, if granted permission, would effectively block off the connection between the open space at Hillcrest, Templeogue and the Council's land surrounding Spawell House. In order to ensure that the open space linkage along the Dodder Valley Linear Park is achieved, it is essential that no permission is granted which would conflict with the recreational objectives of the 1983 County Development Plan.

Accordingly, it is strongly recommended that this application is refused.

SENIOR PARKS SUPERINTENDENT

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 27.06.91
Time 12.20

SS + CMS.

DUBLIN COUNTY COUNCIL

PLANNING AND BUILDING CONTROL DEPARTMAENT

Senior Engineer,
Sanitary Services Dept.

Register Reference : 91A/0751 Date : 10th May 1991

Development : Demolition and replacement of existing bungalow and septic tank on same site.

LOCATION : Tallaght Road near Wellington Lane, Templeogue

Applicant : C.A.G. Construction

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 9th May 1991

Attached is a copy of the application on the above development. Your report would be appreciated within the next 28 days.

Date received in Sanitary Services 23 MAY 1991

DUBLIN CO. COUNCIL SAN SERVICES

DUBLIN CO. COUNCIL SANITARY SERVICES 19 JUN 1991 Returned

FOUL SEWER

Septic tank proposal : refer to E.H.B.

PLANNING DEPT. DEVELOPMENT CONTROL SECT Date 21:06:91 Time 9:00

SURFACE WATER

Available to river as indicated, subject to the following:- the existing ditch shown piped should be piped in Ø225mm spigot and socket pipes, surrounded in approved media.

The proposed floor level should be 300mm above the highest recorded flood level.

12.6.91

12/6/91

Register Reference : 91A/0751 Date : 10th May 1991

ENDORSED _____ DATE _____

WATER SUPPLY ... available from exist. service which supplies the old dwelling.

29/5/91

ENDORSED _____ DATE 13/6/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 21.06.91
Time 9.00

DUBLIN COUNTY COUNCIL

REG. REF: 91A/751.

LOCATION: Tallaght road near Wellington Lane, Templeogue.

APPLICANT: C.A.G. Construction.

PROPOSAL: Replacement of existing bungalow.

DATE LODGED: 9.5.91.

This is a replacement house. A right of way has not been shown on the access lane to the site. This lane meets the Tallaght Dual Carriageway at an awkward angle and further intensification of the lane and increase in turning movements on the dual carriageway is highly undesirable.

If permission is granted it should be subject to:-

2 car parking spaces being provided on site.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 12.06.91
Time 12.25

TR/BMcC
4.6.91.

SIGNED: Francis Fogg

DATE: 4/5/91

ENDORSED: E. Madden

DATE: 4th June '91

P/2971/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/0751 Date Received : 9th May 1991

Correspondence Name and Address : J. Hubert Brown & Associates,
Architects,
1 Deansgrange Road,
Blackrock,
Co. Dublin.

Development : Demolition and replacement of existing bungalow and septic tank on same site.

Location : Tallaght Road near Wellington Lane, Templeogue

Applicant : C.A.G. Construction

App. Type : Permission

Zoning :

(MOS/AC)

Report of the Dublin Planning Officer dated 24 June 1991.

This is an application for PERMISSION for the demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road, near Wellington Lane, Templeogue for C.A.G. Construction.

The applicant is stated to have a freehold interest in the site.

There appears to be no record of any previous planning applications on this site.

Under Reg. Ref. 88A/382 permission was granted on an adjoining site to the north for 25 houses and associated site development works (Decision Order P/3912/88, dated 11.04.88).

The site is zoned 'G' in the 1983 County Development Plan with the objective "to protect and improve high amenity areas". The site is also affected by a specific objective to protect and maintain trees and woodlands.

The site is located close to the Dodder River. It is a specific objective of the Planning Authority to provide for the creation of a riverside walk along the Dodder and to provide for the visual improvement of the Dodder River Valley, the regrading of the river bank and the planting of ~~the beds.~~ tree belts.

The area of the site is stated to be 1200 sq.m. (0.3 acres).

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Access is by means of a small narrow private laneway (c. 3 metres wide) off the Tallaght Road.

The existing house on the site is in an almost derelict state and is vacant. (The external walls are still standing and it is roofed and has doors and some windows. R.C.

The site has many mature trees which are not shown on plan. These trees screen the existing house from public view on the Tallaght Road. It is not clear if the proposed new house would necessitate the felling of any trees.

There is an existing newly built house on the adjoining site to the south. No record of planning permission can be found for a grant of permission for this house - this is being investigated.

The proposed house is single-storey with a pitched roof. The stated floor area is 82 sq.m. The stated floor area of the existing house is 50 sq.m.

REPORTS

The Roads Department report dated 04.06.91 notes that no right of way has been shown on the access lane to the site which meets the Tallaght Road at an awkward angle. Any increase in turning movements onto the dual carriageway is undesirable. If permission is being granted the Roads Engineer states that 2 no. car parking spaces are to be provided on site.

The Sanitary Services report dated 13 June 1991 states that water is available.

There is no report available from the Supervising Environmental Health Officer at the time of writing this report.

While serious consideration should be given to the proposed development which is essentially a replacement house, before a decision is made on this application I recommend that additional information be requested from the applicant.

I recommend that ADDITIONAL INFORMATION be requested from the applicant with regard to the following:-

01 The applicant is requested to submit a detailed tree survey of all trees on the site. This survey should give information on position, species, condition, spread of trees etc. The applicant is requested to indicate if the proposed development will necessitate the felling of any trees and if so to indicate how and proposed replacement planting.

02 The applicant is requested to submit evidence showing that he has a

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

right of way over the existing access laneway which is located off the Tallaght Road.

03 The applicant is requested to submit evidence demonstrating that the location and design of the proposed septic tank, percolation and reserve percolation are in accordance with recommendations set down in ~~[illegible]~~ SR6, 1975 available from Eolas. NOTE: The applicant should note that the location of septic tank, percolation area and reserve percolation area on the adjoining site should be shown on a block plan ~~[illegible]~~ as well as the proposed septic tank, percolation and reserve percolation areas on this site.

04 The applicant is requested to submit evidence showing the suitability of the soil for septic tank drainage. In this regard he should contact the Supervising Environmental Health Officer (phone 727777. address 33 Gardiner Place D.1 (TEL. 727777) with regard to arranging for the opening & testing of a trial hole.

MOS

Richard Gemins SEP
for Dublin Planning Officer 27.6.91 Endorsed:-.....
for Principal Officer

Order: I direct that ADDITIONAL INFORMATION be requested from the applicant for Permission as set out in the above report and that notice thereof be served on the applicant.

Dated : 28 June 1991 .....
APPROVED OFFICER
to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 19 June 1991.

Marjorie

DUBLIN COUNTY COUNCIL

REG. REF: 91A/751.

LOCATION: Tallaght road near Wellington Lane, Templeogue.

APPLICANT: C.A.G. Construction.

PROPOSAL: Replacement of existing bungalow.

DATE LODGED: 9.5.91.

This is a replacement house. A right of way has not been shown on the access lane to the site. This lane meets the Tallaght Dual Carriageway at an awkward angle and further intensification of the lane and increase in turning movements on the dual carriageway is highly undesirable.

If permission is granted it should be subject to:-

2 car parking spaces being provided on site.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 4.06.41
Time 4.45

TR/BMcC
4.6.91.

SIGNED: Francis Fogg
DATE: 4/5/91

ENDORSED: E. Madden
DATE: 4th June '91

SS + CMS.

No's

DUBLIN COUNTY COUNCIL

PLANNING AND BUILDING CONTROL DEPARTMAENT

Senior Engineer,
Sanitary Services Dept.

Register Reference : 91A/0751 Date : 10th May 1991

Development : Demolition and replacement of existing bungalow and septic tank on same site.

LOCATION : Tallaght Road near Wellington Lane, Templeogue

Applicant : C.A.G. Construction

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 9th May 1991

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Date received in Sanitary Services 23 MAY 1991

DUBLIN CO. COUNCIL
SAN SERVICES

DUBLIN CO. COUNCIL
SANITARY SERVICES
19 JUN 1991
Returned

FOUL SEWER

Septic tank proposal : refer to E.H.B.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 21:06:91
Time 9:00

SURFACE WATER

Available to river as indicated, subject to the following:- the existing ditch where piped should be piped in 225 mm pipes and outlet pipes, conjunction line should be in approved media.

The proposed floor level should be 300 mm above the highest recorded flood level.

[illegible]
12.6.91

J.2
12/6/91

Register Reference : 91A/0751 Date : 10th May 1991

ENDORSED _____ DATE _____

WATER SUPPLY ... Available from exist. service which supplies the said dwelling.

29/5/91

.....

ENDORSED _____ DATE 13/6/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 21.06.91
Time 9.00

26 | 6 | 91

Michael Coleman

Develop. Dept -
property SRO/HUD
confirmed that D.C.U
do not own site

Dublin County Council Comhairle Chontae Atha Cliath

Planning Department

Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

FAX TRANSMISSION

Date: 19/6/91.

FROM: MARJORIE O'SHEE

TO: EAMON FARRELLY

RE: SITE AT TEMPLEOGUE
(Reg. ref: 91A 0751)

No. of Pages (including covering sheet) 5.

COMMENTS:

FOR THE ATTENTION OF MR. EAMON FARRELLY.

Please find enclosed copy of a current planning application near SPANIEL, & TEMPLEOGUE.

For ~~your~~ the information of the DEVELOPMENT DEPT.

Please confirm that the DEVELOPMENT Dept. has no objection to the proposed DEVELOPMENT.

MARJORIE O'SHEE.
EXT. 246

lin County Council
mhairle Chontae Átha Cliath

Planning Application Form/
Bye - Law Application Form

PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

Application for Permission ☐ Outline Permission ☐ Approval ☐ Place ✓ in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building (If none, give description sufficient to identify) TALLAGHT ROAD (NEAR WELLINGTON LANE) TEMPLEOGUE.

3. Name of applicant (Principal not Agent) C.A.G. CONSTRUCTION.
Address 668 S.C.R. Dublin 8. Tel. No.

4. Name and address of person or firm responsible for preparation of drawings V. HUBERT BROWN + ASSOC. - ARCHITECTS. 1 Deansgrange Road. Blackrock Co. Dublin. Tel. No 2893421.

5. Name and address to which notifications should be sent AS AT (4)

6. Brief description of proposed development REPLACEMENT OF EXISTING SUBSTANDARD BUNGALOW ON SAME SITE + PROVISION OF NEW SEPTIC TANK.

7. Method of drainage SEPTIC TANK. 8. Source of Water Supply MAINS WATER

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used. RESIDENTIAL
(b) Proposed use of each floor RESIDENTIAL

55 N39234

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? DEMOLITION OF SUB STANDARD BUNGALOW.

Trial Pen 8/5/91

11.(a) Area of Site 1200 Sq. m.
(b) Floor area of proposed development (NOTE NEW BUNGALOW 82 m² OLD BUNGALOW TO BE DEMOLISHED 50 NET EXTRA SPACE 32 m².) 82 Sq. m.
(c) Floor area of buildings proposed to be retained within site (SHEDS) 95 Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD

13.Are you now applying also for an approval under the Building Bye Laws? Yes ☑ No ☐ Place ✓ in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
WHERE APPLICABLE.

15.List of documents enclosed with application. 4 Copies
SITE MAP 1:1000. SITE PLAN 1:500. SECTION 1:50. GENERAL PLAN 1:100. SPECIFICATION — NOTICE IN PAPER 2 cheques.

CO. DUBLIN Permission for demolition and replacement of existing bungalow and septic tank on same site at Tallaght Road near Wellington Lane, Templeogue for C.A.G. Construction.

FEE: £32 DATE 9/5
N39545

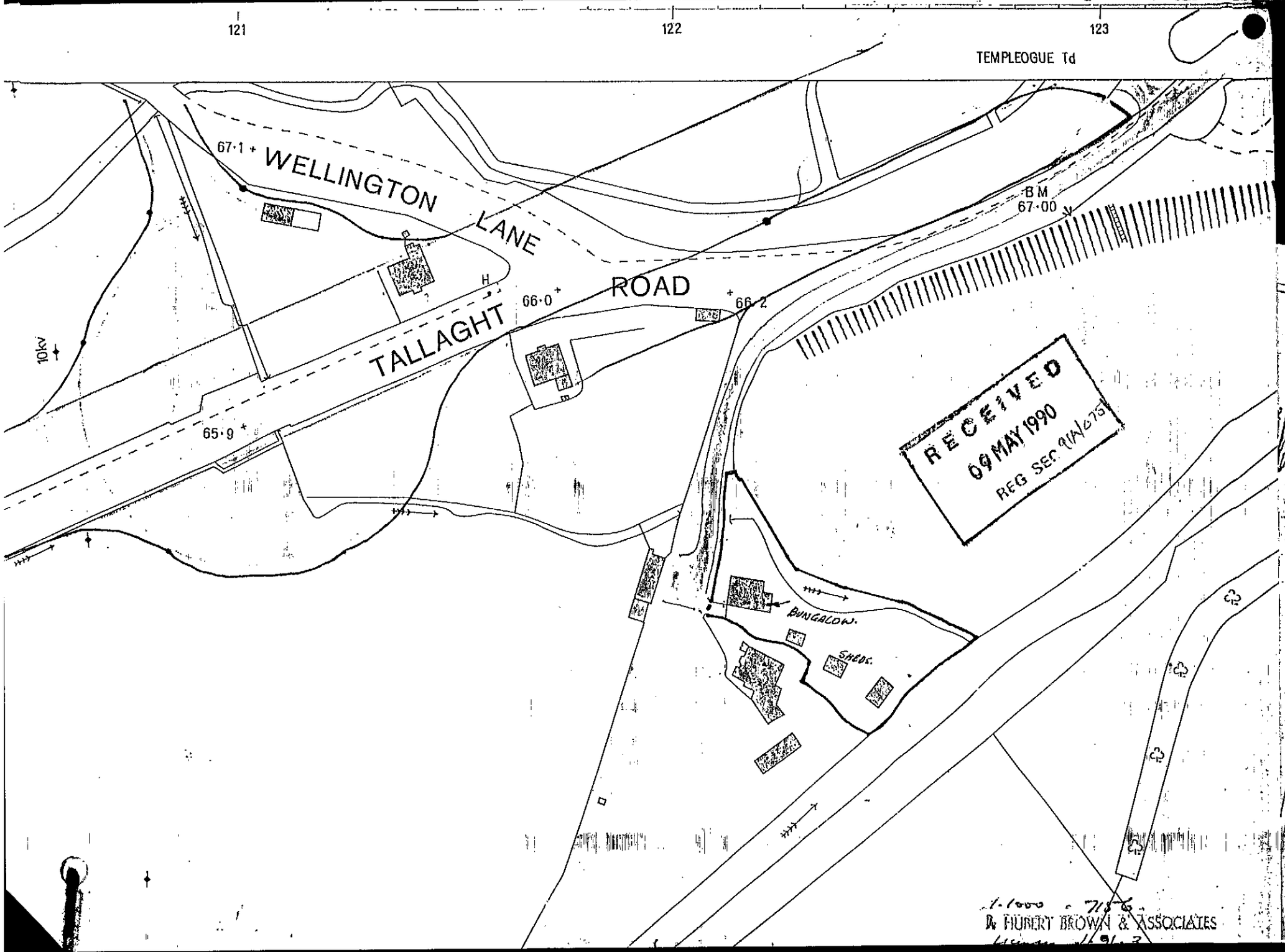
16.Gross floor space of proposed development (See back) Sq. m.

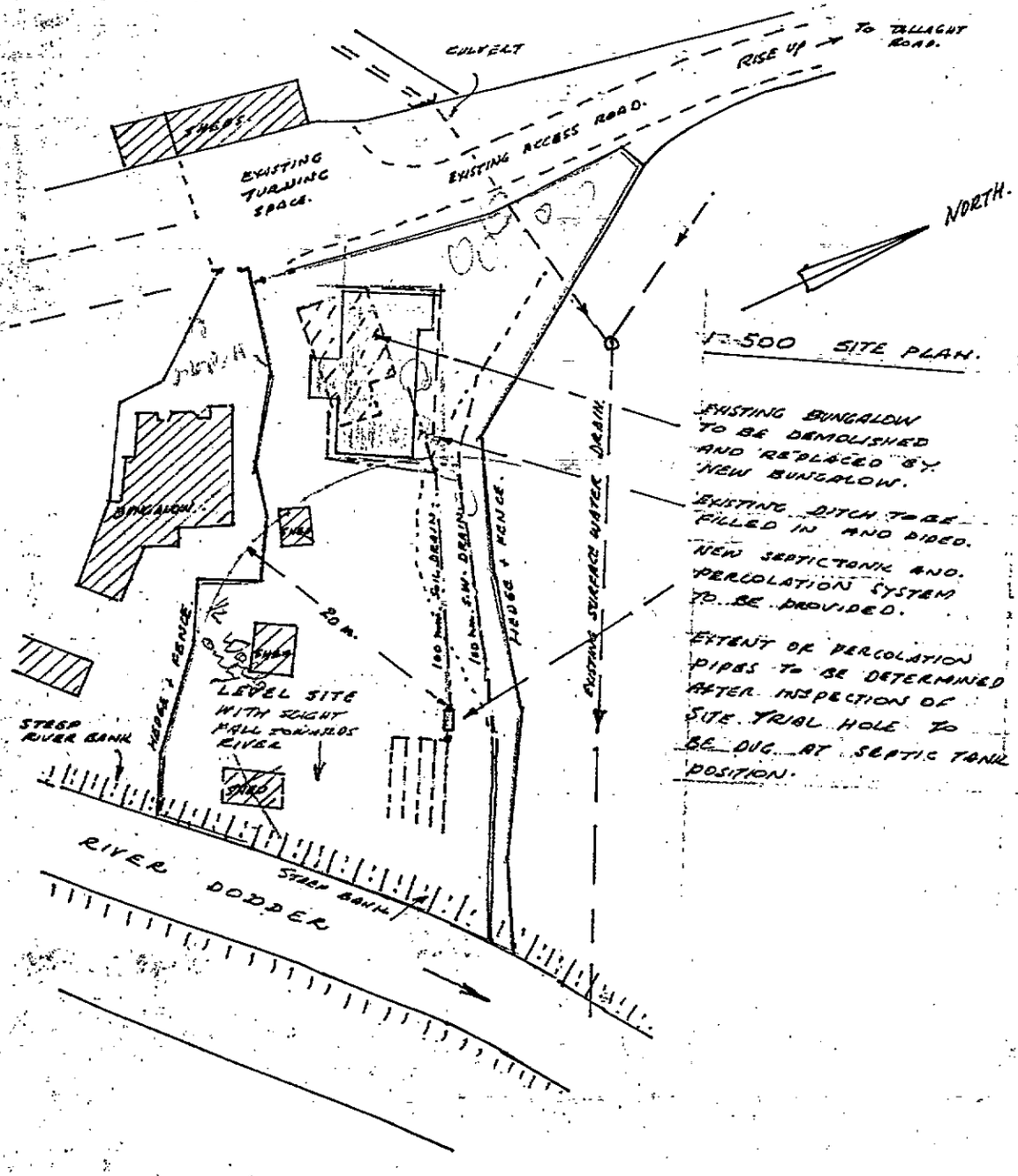
No of dwellings proposed (if any) ONE Class(es) of Development NEW RESIDENTIAL.
Fee Payable £ 32. PLANNING Basis of Calculation BYELAWS FEE IR£ 55.
If a reduced fee is tendered details of previous relevant payment should be given

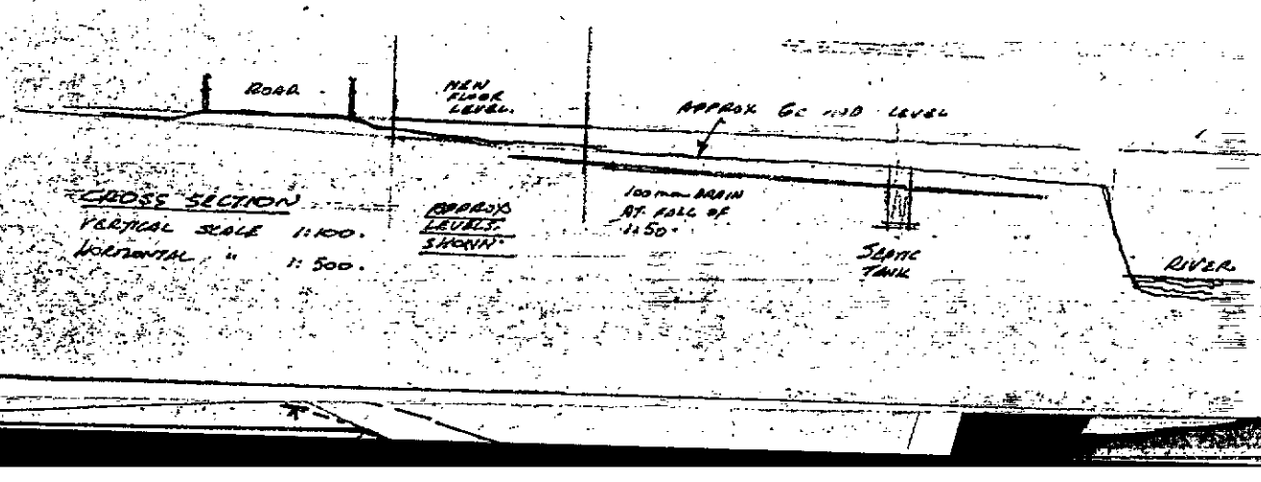
Signature of ~~Applicant (or his~~ Agent) V. HUBERT BROWN & ASSOCIATES Date 9. May. 91

Application Type P/BBL
Register Reference 91A/0751
Amount Received £ 1. 16. 4
Receipt No 22-6
Date

FOR OFFICE USE ONLY


121
122
123
TEMPLEOGUE Td
WELLINGTON LANE
TALLAGHT ROAD
67·1
66·0
66·2
65·9
BM 67·00
10kV
BUNGALOW.
SHEDS.
RECEIVED
09 MAY 1990
REG SEC 91/675
1:1000
D. HUBERT BROWN & ASSOCIATES


CULVERT
RISE UP
TO TALLAGHT ROAD.
SHEDS
EXISTING TURNING SPACE.
EXISTING ACCESS ROAD.
NORTH.
1:500 SITE PLAN.
EXISTING BUNGALOW TO BE DEMOLISHED AND REPLACED BY NEW BUNGALOW.
EXISTING DITCH TO BE FILLED IN AND DIRED.
NEW SEPTICTANK AND PERCOLATION SYSTEM TO BE PROVIDED.
EXTENT OF PERCOLATION PIPES TO BE DETERMINED AFTER INSPECTION OF SITE. TRIAL HOLE TO BE DUG AT SEPTIC TANK POSITION.
BUNGALOW
SHED
20 M.
100 mm S.W. DRAIN
100 mm S.W. DRAIN
HEDGE + FENCE
EXISTING SURFACE WATER DRAIN
HEDGE + FENCE
LEVEL SITE WITH SLIGHT FALL TOWARDS RIVER
STEEP RIVER BANK
STEEP BANK
RIVER DODDER


ROAD
NEW FLOOR LEVEL.
APPROX GROUND LEVEL
CROSS SECTION
VERTICAL SCALE 1:100.
HORIZONTAL " 1:500.
APPROX LEVELS SHOWN.
100 mm DRAIN AT FALL OF 1:50.
SEPTIC TANK
RIVER