

91A/0493

CERTIFICATE NO: 24814

Retain Extension

PROPOSAL: Marian House, Main Street Luca

LOCATION: John Collins

1	2	3	4	5	6	7
DWELLINGS/AREA LENGTH/STRUCT	RATE	AMT. OF FEE REQ.	AMOUNT LOGGED	BALANCE DUE	BALANCE DUE	REMARKS
Dwellings	3252					
	3216					
	3216					
16.70m			440	440		

1. Certified: *[Signature]* Grade: *2/12* Date: *9/4/91*
 2. Endorsed: *[Signature]* Grade: *8.0* Date: *8/4/91*
 3. 2,3,4,5,6 & 7 Certified Signed: _____ Grade: _____ Date: _____
 4. 2,3,4,5,6 & 7 Endorsed Signed: _____ Grade: _____ Date: _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1962

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: *91A/493*

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL: *180 sq*

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: *5/* /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

J.Y. 9/4/91
Standard
$$\frac{180}{1000} @ 750$$

= 135

DEVELOPMENT CONTROL ASSISTANT GRADE

[Signature] *21/1/91*

Register Reference : 91A/0493

Date : 9th April 1991

Development : Retain extension to rear

LOCATION : Marian House, Main Street, Lucan

Applicant : John Collins

App. Type : PERMISSION

Planning Officer : M.GALVIN

Date Recd. : 2nd April 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN CO. COUNCIL
 18 APR 1991
 SAN SERVICES

DUBLIN CO. COUNCIL
 SANITARY SERVICES
 PRINCIPAL OFFICER
 20 MAY 1991
 Returned. *[Signature]*

Date received in Sanitary Services

FOUL SEWER

No foul sewer requirements indicated.

SURFACE WATER

Scallop proposal - refer to D.V.L. Dept.

[Signature] 16/5/91.

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT
 Date ... 22.05.91
 Time ... 11.10

[Signature] 16/5/91

Filed.

Register Reference : 91A/0493

Date : 9th April 1991

.....
ENDORSED _____

DATE _____

WATER SUPPLY.....

Water available = Existing supply P. Gyles 18/4/91

[Signature]
12/4/91

.....
ENDORSED _____

DATE _____

[Signature]

16/5/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date <i>22.05.91</i>
Time <i>11.10</i>

Register Reference : 91A/0493

DUBLIN COUNTY COUNCIL
21 MAY 1991
ENVIRONMENTAL HEALTH
DATE OFFICERS
21st April 1991

Development : Retain extension to rear

LOCATION : Marian House, Main Street, Lucan

Applicant : John Collins

App. Type : PERMISSION

Planning Officer : M.GALVIN

Date Recd. : 2nd April 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

Paul John

PRINCIPAL OFFICER

This proposal is acceptable subject to

- ① *Compliance with Office Premises Act 1952 & regulations made thereunder.*
- ② *Compliance with Health, Safety & Welfare at Work Act 1989.*
- ③ *Compliance with Shops Conditions of Employment Act 1938.*

for

Devin
John O'Reilly
SUPER. ENVIRON. HEALTH OFFICER,
33 GARDINER PLACE,
DUBLIN 1.

24/5/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date *24.05.91*
Time *4.30*

P/2223/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/0493

Date Received : 2nd April 1991

Correspondence : Colm P. Buckley,
Name and : 6 Vesey Park,
Address : Lucan,
 co. Dublin.

Development : Retain ^{commercial/office} extension to rear
Location : Marian House, Main Street, Lucan
Applicant : John Collins
App. Type : Permission
zoning : C1.

<u>CONTRIBUTION:</u>	
Standard:	135
Roads:	-
S. Servs:	-
Open Space:	-
Other:	-
<u>SECURITY:</u>	
Bond / C.I.F.:	-
Cash:	-

(MG/AC)

Report of the Dublin Planning officer dated 15 May 1991.

This is an application for PERMISSION for the retention of extension to the rear of Marian House, Main Street, Lucan, for J. Collins.

The proposed site is located in the centre of Lucan village in an area zoned 'C1' "to protect, provide for and/or improve local, neighbourhood centre facilities" in the Dublin County Development Plan, 1983. The area also forms part of the Lucan Conservation Area.

PLANNING HISTORY

Reg. Ref. No. WA.1417 refers to a 1981 grant of permission for change of use of this building from residential to office use.

Reg. Ref. No. 87A/982 refers to a 1987 grant of permission for change of use to shops and for offices at this location.

The current application provides for a single-storey extension to the side and rear of the existing building. The proposed extension which has a floor area of c. 17 sq.m. does not extend beyond the rear building line of the existing premises. ~~It is unclear from the drawings lodged whether it is to be used for storage or retail purposes.~~ The newspaper advertisement submitted states that the proposed extension is to be used for commercial office use.

Under Reg. Ref. No. 87A/982 the applicants indicated a total of 11 no. car parking spaces to the rear of the site and were conditioned to provide same (although the Planning Officer's report noted that c. 8 no. were required to serve the proposed development). The car parking area, which is accessed via a laneway to the side has not been laid out to date. The proposed development does not encroach on the area of proposed parking which is considered adequate

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0493

Page No: 0002

Location: Marian House, Main Street, Lucan

to serve the approved development and the proposed small scale addition.

Roads Department report noted.

The proposed development is considered acceptable.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990, subject to the following

(7) conditions:-

CONDITIONS / REASONS

- 01 The development in its entirety to be in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of safety and the avoidance of fire hazard.
- 03 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of health.
- 04 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
REASON: In order to comply with the Sanitary Services Acts, 1978 - 1964.
- 05 That 11 no. car parking spaces be provided as shown on plans lodged under Reg. Ref. No. 87A/982. This car parking area is to be laid out with a tarmacadam surface. Individual car parking spaces are to be marked out in white.
REASON: In the interest of the proper planning and development of the area.
- 06 That all external finishes harmonise in colour and texture with the existing premises.
REASON: In the interest of visual amenity.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0493

Page No: 0003

Location: Marian House, Main Street, Lucan

~~07 That in the event of the structure or part of the structure establishing a use as a 'shop' than such part of the structure so established as a 'shop' may not revert to office use without a further grant of permission from the Planning Authority.~~

~~REASON: In the interest of orderly development~~

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

NOTE: This permission does not imply any consent or approval for the structural stability and/or habitability of the works carried out.

07 That a financial contribution in the sum of £135. be paid by the proposer to the Dublin County Council towards the provision of public services in the area of the development and which facilitates this development; this contribution to be paid prior to the commencement of development on site.

07 Reason: In the interest of the proper planning and development of the area.

10

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0493

Page No: 0004

Location: Marian House, Main Street, Lucan

Endorsed: *[Signature]*
for Principal Officer

[Signature]
for Dublin Planning officer

Order: A decision pursuant to section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (7) conditions set out above is hereby made.

Dated: *20 May 1991* *[Signature]*
ASSISTANT CITY AND COUNTY MANAGER

to whom the appropriate powers have been delegated by order of the Dublin city and county Manager dated 26th April, 1991.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/493.
LOCATION: Marian House, Main Street, Lucan.
APPLICANT: John Collins.
PROPOSAL: Retain ext. to rear.
DATE LODGED: 2.4.91.

On a recent site inspection it appears that the car park has not been laid out in accordance with Condition 9 of 87A/982 and the lodged plans (11 spaces conditioned). The car park is not surfaced nor marked and appears to be obstructed by old walls.

A revised plan should be requested showing:-

1. An off-street car park for 12 cars to comply with Development Plan Standards.
2. This car park to be surfaced and marked out for 12 spaces and made available to the public.
3. A prominent sign to be displayed detailing the availability to the general public during working hours.

TR/BMcC
29.4.91.



SIGNED: Jerome Ryan
DATE: 29/4/91

ENDORSED: Y. Bank
DATE: 29/4/91



Bloc 2, Ionad Bheatha na h-
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 2223 /91 Date of Decision : 22nd May 1991

Register Reference : 91A/0493 Date Received : 2nd April 1991

Applicant : John Collins

Development : Retain extension to rear

Location : Marian House, Main Street, Lucan

Time Extension(s) up to and including :

Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the county Health District of Dublin, did by order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

Subject to the conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- 7.....ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer

Date:.....23/5/91.....

Colm P. Buckley,
6 Vesey Park,
Lucan,
Co. Dublin.

NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.
2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,
Blocks 6 and 7
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Reg. Ref. 91A/0493
Decision Order No. P/ 2223 /91
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

CONDITIONS / REASONS

- 01 The development in its entirety to be in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
 - 02 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of safety and the avoidance of fire hazard.
 - 03 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of health.
 - 04 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
REASON: In order to comply with the Sanitary Services Acts, 1978 - 1964.
 - 05 That 11 no. car parking spaces be provided as shown on plans lodged under Reg. Ref. No. 87A/982. This car parking area is to be laid out with a tarmacadam surface. Individual car parking spaces are to be marked out in white.
 - 05 REASON: In the interest of the proper planning and development of the area.
 - 06 That all external finishes harmonise in colour and texture with the existing premises.
REASON: In the interest of visual amenity.
 - 07 That a financial contribution in the sum of £135 be paid by the proposer to the Dublin County Council towards the provision of public services in the area of the development and which facilitates this development. This contribution to be paid prior to the commencement of development on site.
REASON: In the interest of the proper planning and development of the area.
- NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.
- NOTE: This permission does not imply any consent or approval for the structural stability and/or habitability of the works carried out.

NOTES

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5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

18/4/91

Just Bros 2/4/91

new adv

see my land at Lyon's Road,
Newcastle, Thomas Grimes
CO. DUBLIN Permission sought
to retain commercial office
extension to the rear of Marian
House, Main Street, Lucan, John
Collins



Bosca 174,
P. O. Box 174,
Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath,
Dublin 1.
Telephone: (01) 724755
Fax: (01) 724896

Mr Colm P. Buckley,
6 Vesey Park,
Lucan,
Co. Dublin.

Our Ref. RW/LD

Your Ref.

Date 3rd April 1991

6285222

RE: Marian House, Main Street, Lucan, Co. Dublin.

Dear Sir,

I refer to your submission received in this office on 2nd April, 1991.
I wish to inform you that the advertisement submitted does not describe the development proposed adequately.

It will be necessary for you to re-advertise and submit this advertisement to this office as soon as possible.

Yours faithfully


for PRINCIPAL OFFICER

Spoke to Colm Buckley
(Phone) 4/4/91 re his residential
status. development proposed
i.e. commercial or otherwise



Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0493

Date : 3rd April 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Retain extension to rear
LOCATION : Marian House, Main Street, Lucan
APPLICANT : John Collins
APP. TYPE : PERMISSION

With reference to above, I acknowledge receipt of your application received on 2nd April 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

Colm P. Buckley,
6 Vesey Park,
Lucan,
Co. Dublin.

COMHAIRLE CHONTAE ÁTHA CLIATH
(DUBLIN COUNTY COUNCIL)

DUBLIN PLANNING OFFICE,
44-46 DAME STREET,
DUBLIN 2
Telephone : 42951

PLANNING APPLICATION FORM

1. Location of proposed development
Postal address of Site or Building
(if none, give description sufficient
to identify) *Marian House, Main St., Lucan*
- to Dublin

2. Name of applicant *John Collins, 69 Lucan Heights*
Address of applicant *Lucan, Co Dublin phone 6281277 (H)*
6281046 (W)

3. State applicants interest in site
(i.e. freehold, leasehold etc.) *Free hold.*

4. Name and address of person responsible for preparation of plans ...
John P. Buckley, 6 Vesey Park, Lucan
Co Dublin 6280159

5. Address to which notifications should be sent *4 above.*

CO. DUBLIN Permission sought
to retain extension to rear of
Marian House, Main St., Lucan.
John Collins

6. Brief description of proposed development *Permission being sought to retain*
extension approx 17 sq. m to the rear
of Marian House, Main St., Lucan

7. Method of drainage *Foul water to sewer, surface water to soak hole*
as per bye law Document B.

8. Source of water supply *Town*

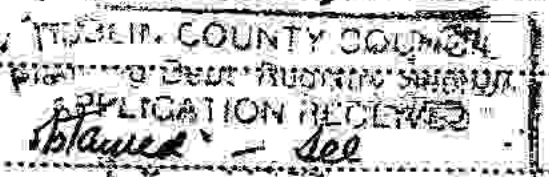
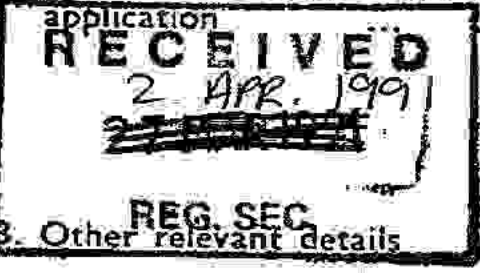
9. (a) Floor area of proposed development *14* *sq. m* (gross) (b) Area of site *330* *sq. m*

10. Does the proposal involve :
(a) Demolition or partial demolition of any habitable house *No*
(b) Use otherwise than for human habitation of any habitable house *Commercial use.*

11. If application is in respect of a material change of use, state :
(a) Present use(s) or use(s) when last used *see planning permission document*
(b) Proposed use(s) *"A" enclosed.*

440 3/4
N 35061

12. List of documents enclosed with application *4 sets of drawings and specification documents*
4 sets of O.S. map, news paper, cheque



13. Other relevant details *Bye law permission obtained - see*
item B attached *2 APR 1990*

J. P. 26/3

C.P. Buckley
6 Vesey Park
Lucan
Co Dublin

20/3/91

Dear Sir,

Enclosed here are documents re
planning permission for retention of extension to rear
of Marian House, Main St., Lucan Co Dublin
Document "A" is Notification of Grant of Permission for
change of use to shops and/or offices ref 87A/982. This
work was undertaken last Autumn and completed. At the
time the client discussed a small extension to the
rear, single storey, approximately 17 sq. m. Bye law
permission was obtained for this, document "B". An error
was made by me in not seeking planning permission
as I thought the 20 sq. m rule applied to small
commercial as well as domestic extensions.
Permission is now sought to retain this extension.

CO. DUBLIN COUNTY COUNCIL
PLANNING REGISTRY SECTION
APPLICATION RECEIVED

2 APR 1990

91A/0400
REG NO. 91A/0400
APPLICATION TYPE OIPIA/BBL
NO. L D S

has full files

Ben Buckley

27

DUBLIN COUNTY COUNCIL

BUILDING BYE LAWS

APPROVAL NOTICE

Personal Callers/
Enquiries to:
Liffey House
24/28 Tara Street
Dublin 2
Telephone 773066

Address for
Correspondence:
Building Control Section
Planning Dept.
Block 2
Irish Life Centre
Lower Abbey Street
Dublin 1

Application received: 5/4/1990 & 1/5/90
Applicant: John Collins
Submitted by: C.P. Buckley, 6 Vesey Park, Lucan, Co. Dublin.
Reg. No.: 87A/982
Order No.: BBL/2133/90
Proposal: Change of use from offices to shops and/or offices
Location: 5 Main Street, Lucan.

Notice is hereby given that the Council has approved the plans submitted by you for the work described above subject to the following conditions:

- (1) That the applicant submits the statutory notice of commencement and completion of work in accordance with Bye Law no's 114 and 117. Premises should not be occupied until the requirements of these Bye Laws have been fulfilled.
- (2) The applicant must comply with the requirements of the Chief Fire Officer where applicable.

Note A The Chief Fire Officer's requirements include the provisions of Parts, N, P, Q and R of the Proposed Building Regulations issued by the Department of the Environment.

Note B The Applicant is advised to comply with the provisions of the Proposed Building Regulations issued by the Department of the Environment.

- (3) That before construction commences, a Structural Certificate from a Chartered Engineer is submitted, stating that the proposed structure has been designed in accordance with the Relevant Codes and Standards.
- (4) That the Health and Safety at Work Act 1989 is complied with.
- (5) That the Food Hygiene Regulations 1950/89 are complied with where applicable.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

A

PLANNING DEPARTMENT
BLOCK 2.
IRISH LIFE CENTRE,
LR, ABBEY STREET,
DUBLIN 1.

GRANT OF
PERMISSION

Notification of Grant of Permission/Approval

Local Government (Planning and Development) Acts, 1963-1983

To	Mr. Colm P. Buckley,	Decision Order	P/158/88, 18/1/'88
	6, Vesey Park,	Number and Date	87A/982
	Lucan,	Register Reference No.	
	Co. Dublin.	Planning Control No.	
Applicant	Mr. John Collins	Application Received on	4/8/'87
		Add. Inf. Rec. d.	20/11/'87
		Floor area.	140 sq.m.

A PERMISSION/APPROVAL has been granted for the development described below subject to the undermentioned conditions.
Proposed change of use from offices to shops and/or offices at Marian House, 5, Main Street, Lucan.

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and as amended on the 20th November, 1987, save as may be required by the other conditions attached hereto.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. That before development commences, approval under the Building Bye Laws be obtained, and all conditions of that approval be observed in the development.	2. In order to comply with the Sanitary Services Acts, 1878-1964.
3. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.	3. In the interest of safety and the avoidance of fire hazard.
4. That the requirements of the Chief Medical Officer be ascertained and strictly adhered to in the development. In this regard each toilet to be accessed via lobby. Both lobby and toilet to be vented directly to outer air.	4. In the interest of health.
5. That the water supply and drainage arrangements be in accordance with the requirements of the Dublin County Council. In this regard, acceptable surface water and foul drainage proposals are required to be submitted.	5. In order to comply with the Sanitary Services Acts, 1878-1964.

CONT/.....

Signed on behalf of the Dublin County Council

McHugh
For Principal Officer

Date **3 MAR 1988**

Approval of the Council under Building Bye-Laws must be obtained before the development is commenced and the terms of approval must be complied with in the carrying out of the work.

6. That the applicant shall agree details of signage and lighting on the shop front fascia prior to the commencement of development. In this regard:
(i) no box signs shall be permitted on the fascia;
(ii) no other advertising signs or structures be erected without prior approval of the Planning Authority.

7. That none of the shop units shall be used as a:
i) shop for the sale of hot food for consumption off the premises;
ii) shop for the sale of pet animals or birds;
iii) shop for the sale or display for sale of motor vehicles other than bicycles;
iv) betting office
without a prior grant of permission by the Planning Authority or An Bord Pleanála on appeal.

8. That the proposed new shop front shall be constructed in hardwood and shall contain traditional shop front features. Detailed shopfront elevation(s) and section(s) shall be submitted to and agreed with the Planning Authority prior their erection.

9. That 11 off street car parking spaces be provided as shown on lodged plans.

10. That in the event of the structure or part of the structure establishing a use as a 'shop' then such part of the structure so established as a 'shop' may not revert to office use without a further grant of permission from the Planning Authority.

6. In the interest of the proper planning and development of the Conservation Area.

7. To protect the amenities of the area.

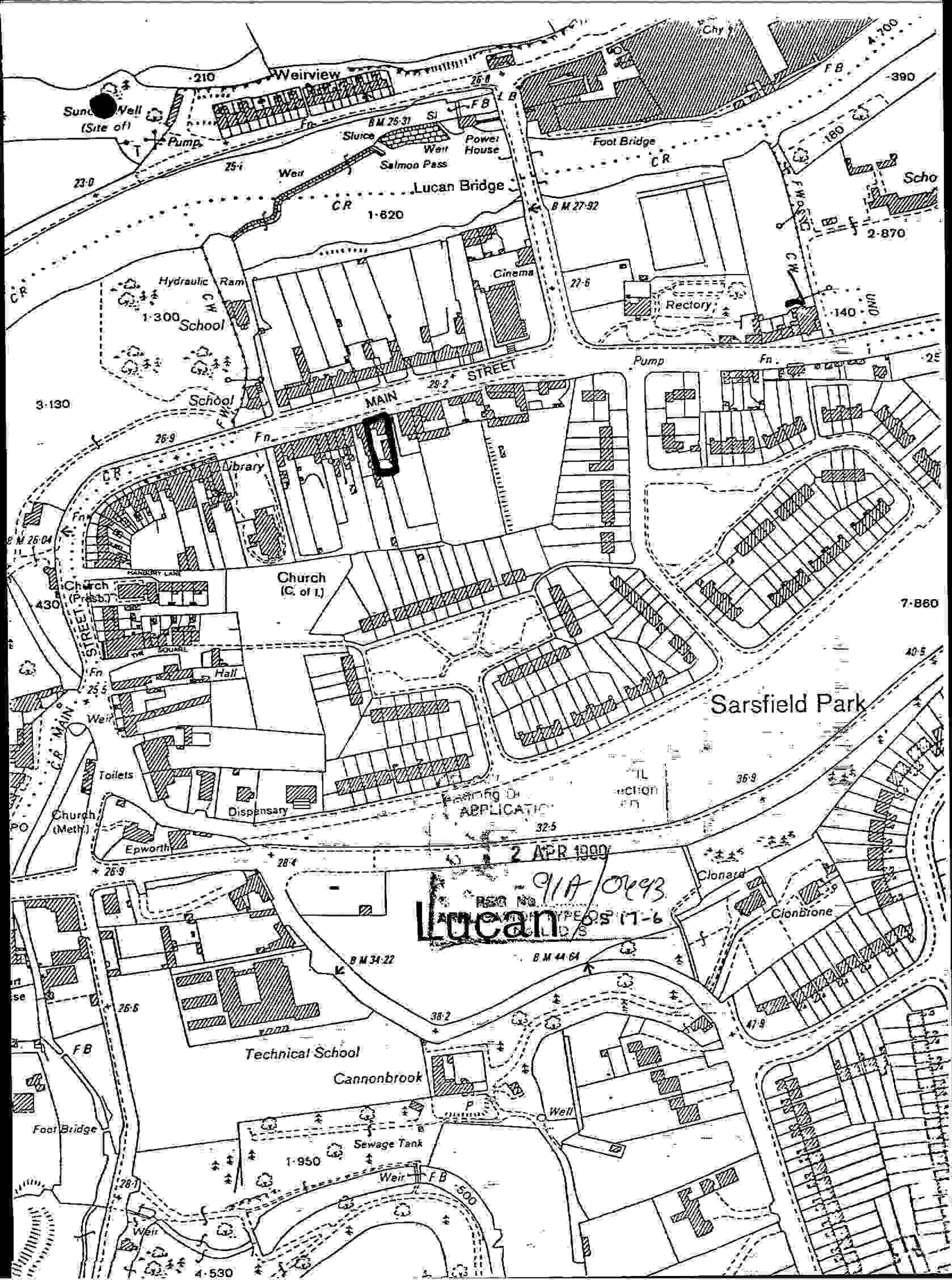
8. It is considered that the lodged shop front proposals are inadequately detailed to ensure effective control within the Conservation Area.

9. To ensure a satisfactory standard of development.

10. In the interest of orderly development.

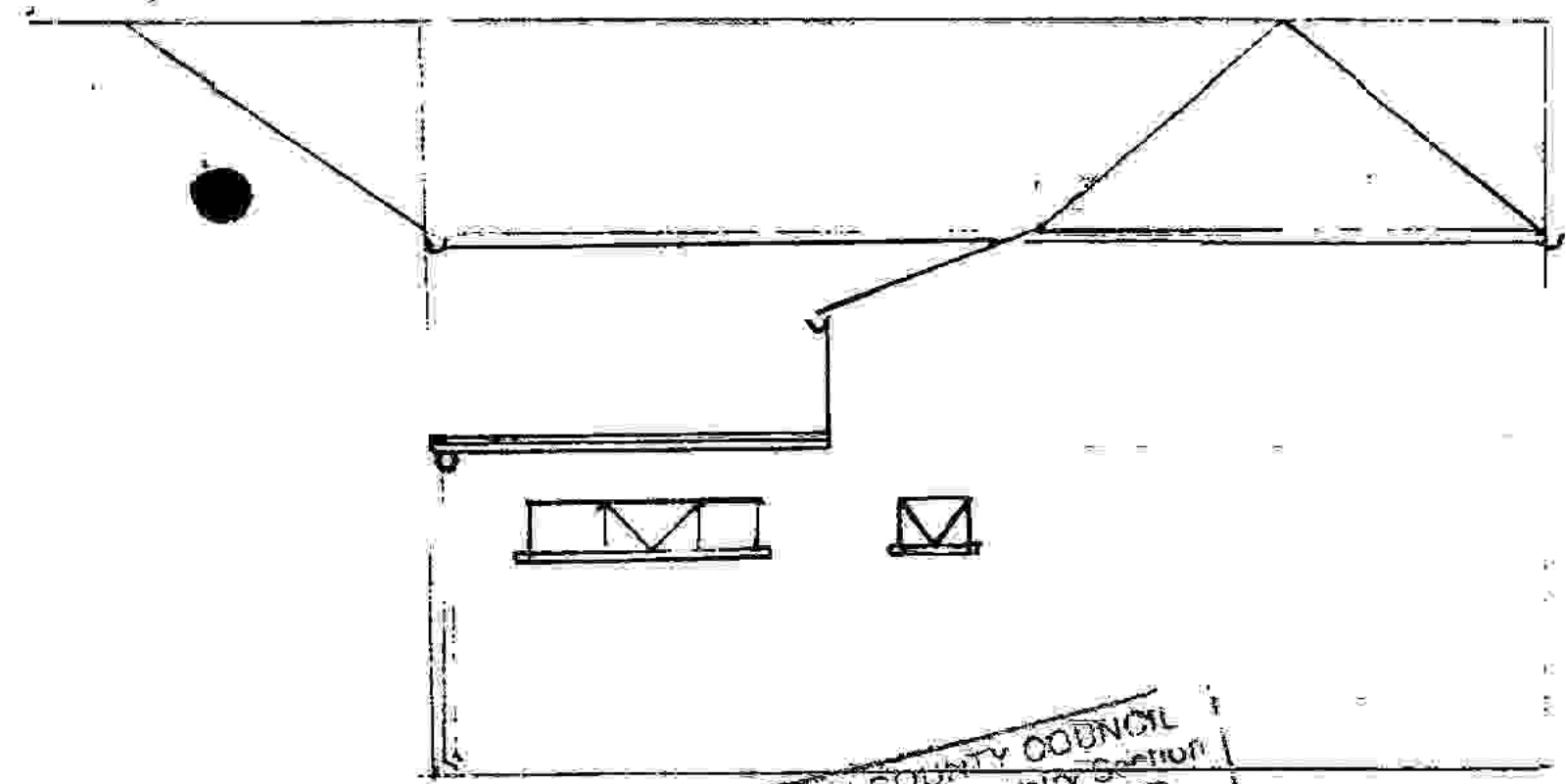
M. H. H. H.

3 MAR 1998



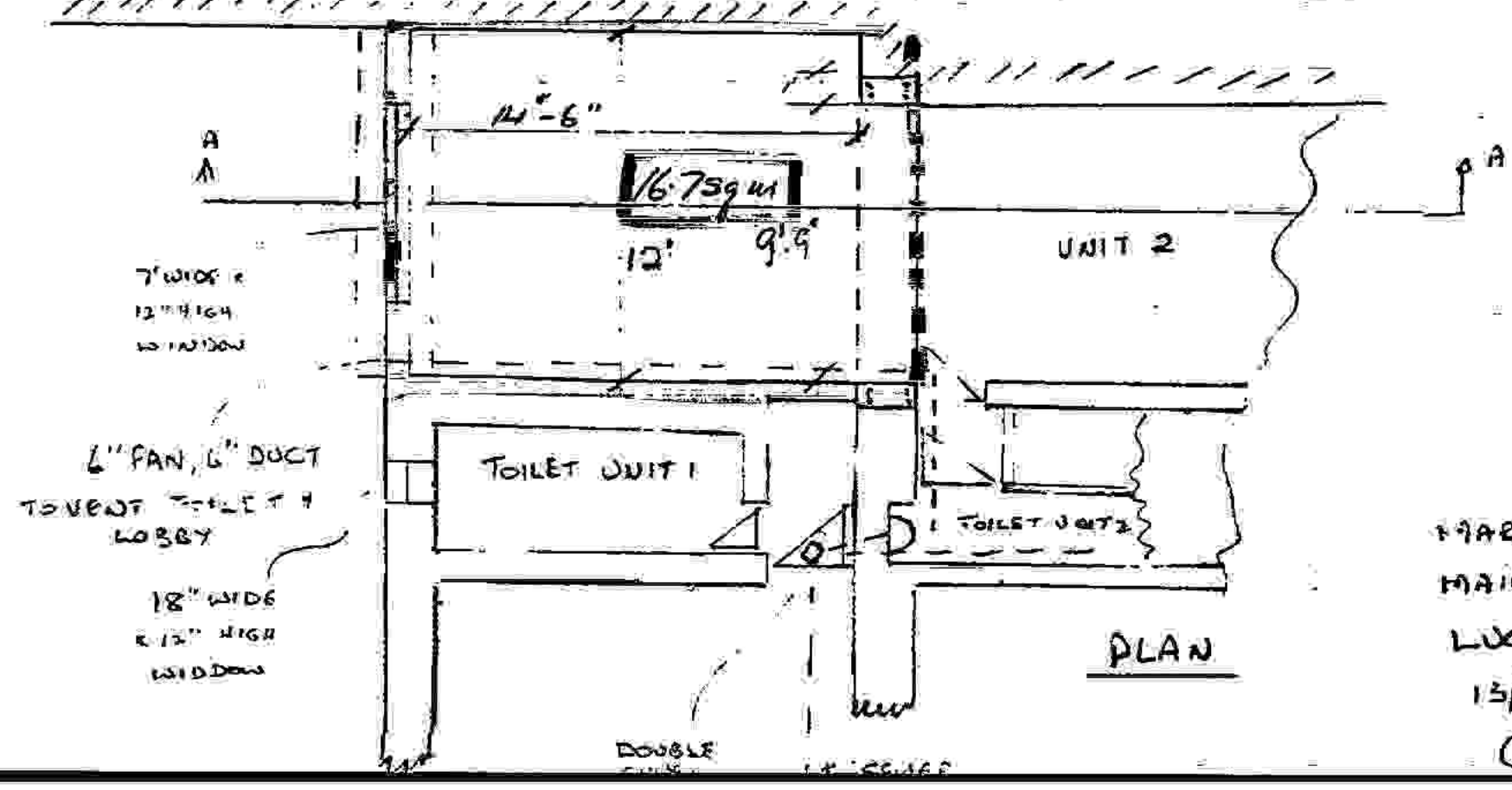
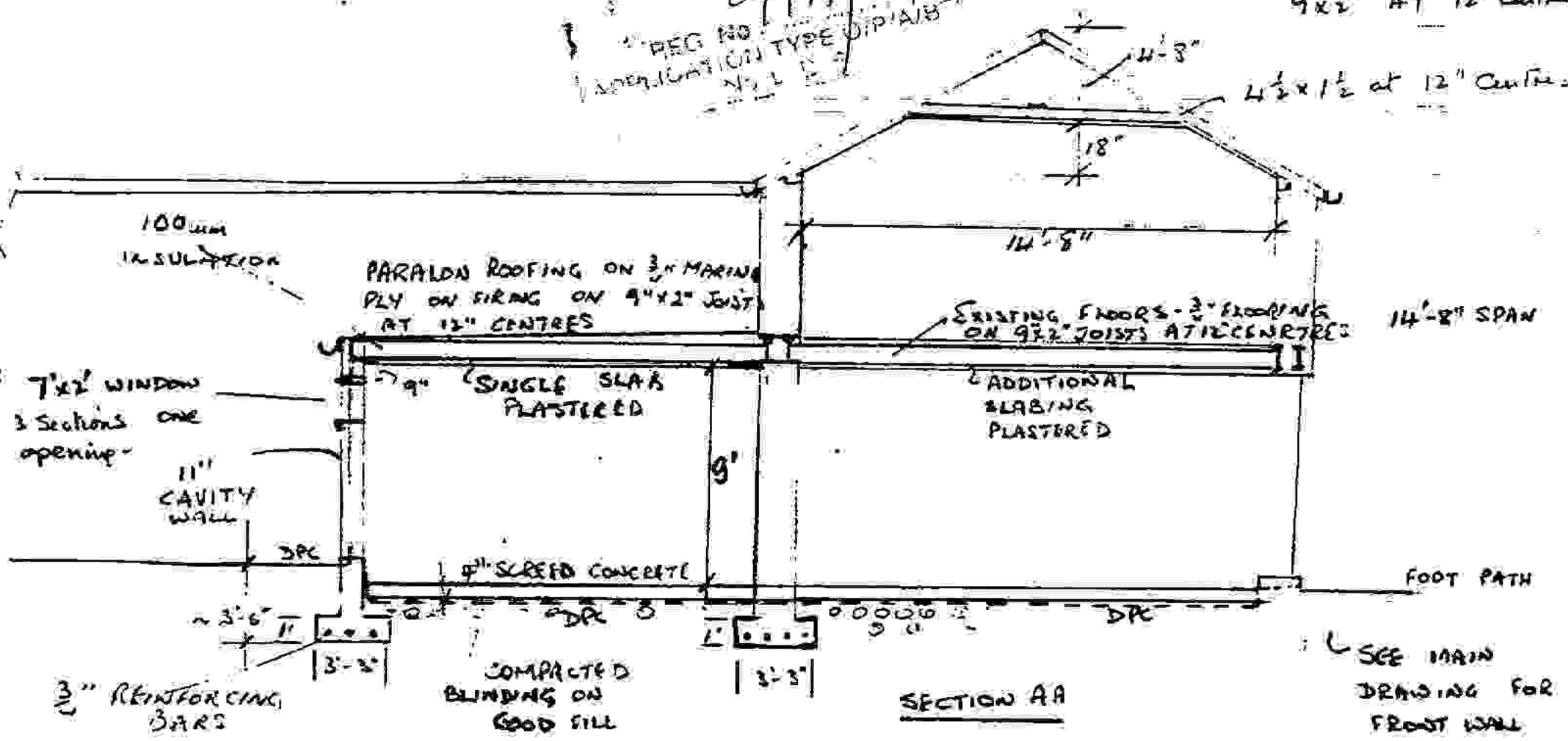
2 APR 1900
91A/0493
REG. NO. 91A/0493
APPLIC. TYPES 17-6

Lucan



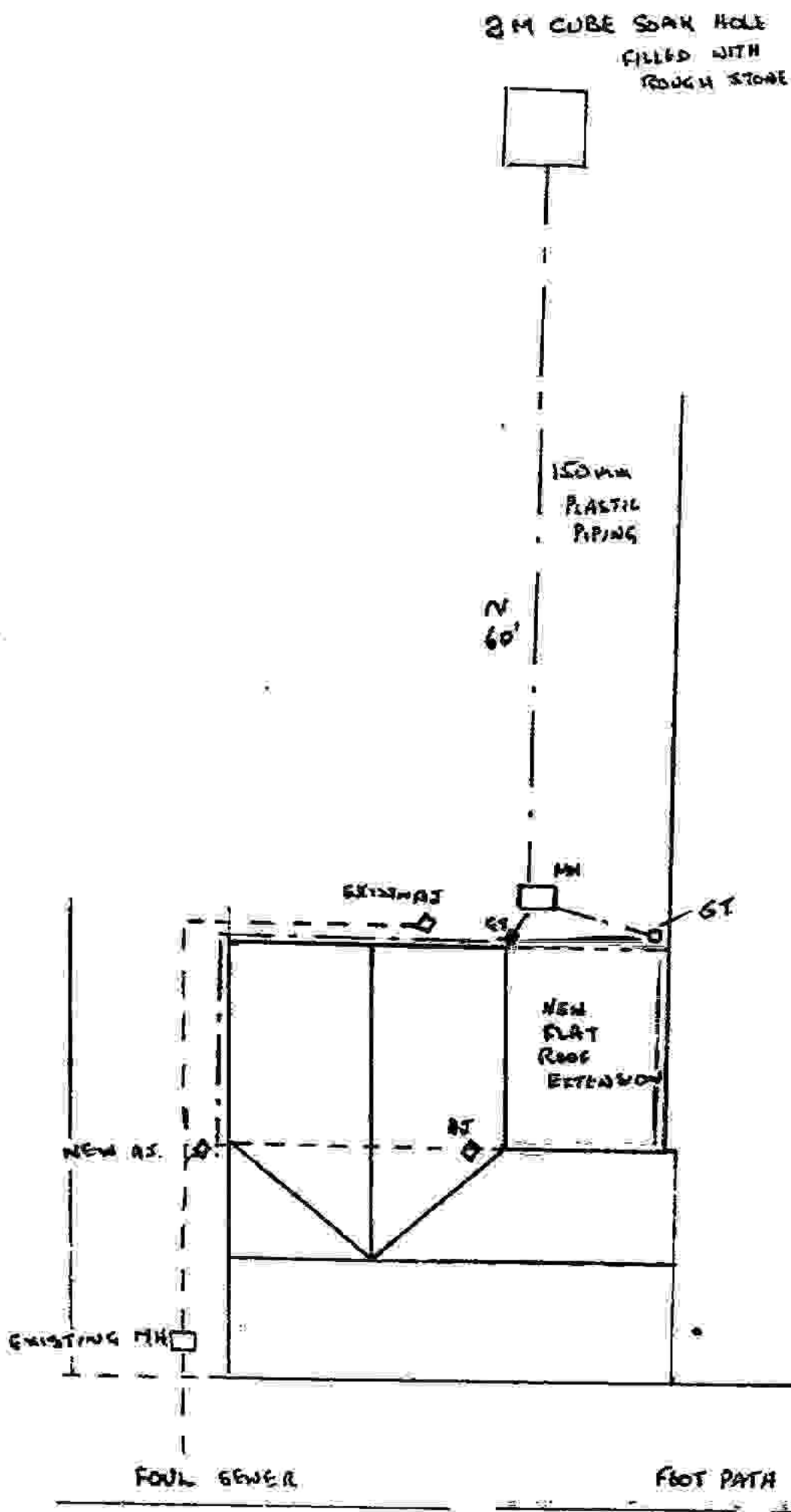
BELMONT COUNTY COUNCIL
 Planning Dept. Priority Section
 APPROVAL RECEIVED
 2 APR 1990
 917/0493
 REG NO. 1011
 APPLICATION TYPE D/P/1/B

NB
 JOIST SPAN FIRST
 FLOOR REAR ROOM 7
 10' = JOISTS
 9x2" AT 12" CENTRES



SCALE 1/8" = 1'

MARIAN HOUSE
 MAIN ST.
 LUCAN.
 15/3/90
 C. Ducker



1. SURFACE WATER REROUTED TO 2M CUBE SOAK HOLE IN GARDEN THE GUTTERS TO BE REDIRECTED AND DOWN PIPES DISCHARGE INTO GTS TO M.H. TO SOAK HOLE.
THE SURFACE WATER FROM THE NEW FLAT ROOF EXTENSION TO GUTTER TO DOWN PIPE TO GT. TO MAN HOLE ETC.
SOME OF THE SURFACE WATER FROM THE NEIGHBOURING HOUSE ALSO TO BE COLLECTED AND DISCHARGE TO GT. & M.H.CE
2. THE EXISTING TOILETS WILL REMAIN AS IS DISCHARGING INTO AJ AND VIA EXISTING PIPING TO EXISTING MANHOLE TO TOWN SEWER
THE NEW TOILET FOR UNIT 2 TO DISCHARGE VIA DOUBLE COVER AJ TO OUTSIDE NEW AJ TO SEWER.

SCALE 1/8" = 1'

MARIAN HOUSE
MAIN ST
LUCAN.

Dublin County Council Bye Laws,
Building Control Section,
Planning Department, Block 2,
Irish Life Centre,
Dublin 1.

Colm P. Buckley,
6, Vesey Park,
Lucan,
Co. Dublin.

2nd April, 1990.

APPLICATION RECEIVED
2 APR 1990
REG NO. 87A/982
APPLICATION TYPE CP/BBL

RE: Your letter of 14th February, 1990.

REF: Req. No. 87A/982, Order No. BBL/369/90.

1. Enclosed is drawing showing foil sewer existing, running at the rear and side of the house discharging into the town sewer. The existing toilets will continue to discharge as is. The new toilet for unit 2 will discharge via an inside double cover AJ via under floor pipe to a new AJ to the sewer at the side of the house.

At the rear the surface water will all be collected from the roofs and discharge to a new 2m square soak hole approximately 20m from the rear of the house as shown. The front roof will continue to discharge as is.

2. Details of the structural arrangement are submitted with the calculations.
3. Floor joist layout and span shown on enclosed drawing.
4. Roof details shown on enclosed drawing.
5. Bye law is now also sought for a rear extension as shown on the drawing. This extension is 174 sq. ft., conventional flat roof, utilizing two existing side walls and constructing end wall in line with the existing building. Structural details are shown on the drawing.

Yours sincerely,


Colm P. Buckley.

Alterations to Marian House, Main Street, Lucan, to form three units - namely two downstairs and one upstairs.

- (a) The rooms marked 1.1, 1.2 and the existing toilet downstairs will form Unit 1.
The room marked 2.1 plus a new toilet will comprise Unit 2.
The access stairs plus the three rooms upstairs marked 3.1, 3.2 and 3.3 plus the toilet upstairs will comprise Unit 3.
- (b) The front of the building will be modified and upgraded to provide three entrances to the separate units. This will be done by removal of the lower portion of the front wall and the upper section will now be supported by the existing end walls plus three (or four) new reinforced concrete pillars with two off 305 x 165 steel beams running the length of the building.
- (c) The front will be finished with timber panelling as per the drawing and this panelling will include the boxes for five off roller shutters.
- (d) Units 1 and 2 will be separated by blocking up the doors inside the existing hallway to room 1.1 and room 2.1. At the end of the corridor near the downstairs toilet this opening to be blocked up. The back door is also to be blocked up. A new opening to be made from room 2.1 under the stairs to provide a lobby and toilet for Unit 2.
- (e) The handrail of the stairs to be removed and replaced by a studded partition double slabbed on one side. Unit 2 to have a toilet constructed by blocking off the corridor by the stairs by a studded partition double skimmed one side. (Note this separation partition to be slightly different to that shown on the drawing). See the drawing for the lobby, doors, wash basin and ventilation arrangement.
- (f) Unit 3 to comprise of the three rooms upstairs plus the toilet upstairs. The tank and hot press arrangement in room 3.2 to be removed and the tank relocated in the toilet. This tank will serve all the toilets and wash basins. The tank will be mounted as high as possible and a second tank to be installed in parallel with it if there is space available. These tanks to be boxed in with removable access panel for maintenance. The bath in this toilet to be removed and the space refurbished. At the wash-hand basins in the three toilets, one gal oversink water heaters to be installed.
- (g) Sewer - the sewer connection for the toilet in Unit 2 to be installed generally as per the drawing via AJ's to connect into the existing sewer - some tidying up of the existing sewer piping maybe required to provide the falls required. The outlet from the wash basin in toilet Unit 2, to discharge via back entry gully outside to AJ.
- (h) The ceilings downstairs to be slabbed and skimmed to meet the fire officers requirements. This applies also to lobbies and toilets.
- (i) Electrics - Each of the units are to be wired independantly back to individual fuse boards and individual meters. These boards and meters have to be sited in the *individual units.*

The existing storage heater points to be wired back similarly to the individual boards.

Note 1: The additional outlets for the sink, water heaters are mention in (f) above.

Note 2: The lighting of the individual units to be discussed with the client as work progresses.

Note 3: All rooms to have two twin sockets, 12. Unit 1 to have 2 double sockets; unit 2 to have 2 double sockets; unit 3 to have 6 double sockets.

(j) The windows and doors to be hardwood in keeping with the design of the surrounds and facia. A specialist shop fitter should be employed for this work. The doors should have good quality locks fitted.

(k) A specialist roller shutter man should be employed for this part of the job; to work closely with the shop fitter (j above). These roller shutters to be capable of being locked with good quality locks.

(l) Finishes - a p.c. sum should be included for decoration and painting.



Mr. Colm Buckley,
January, 1990.

P. 1 of 5

Athgoe,
Newcastle,
Co. Dublin,
Ireland.

Telephone: 01 - 589142

re: Developement at Marian House
Main Street, Lucan, Co Dublin
for Mr. J. Collins /

Date: 24/3/1990

Structural Calculations re. Changes to
front elevation only

Loadings used here are for assessment re. front elevation members
only!

Loadings: Dead loads re. schedule of Weights of
Building Materials B.S. 648: 1964 (amended 1969)

Imposed loads to CP 3: Chapter V: Part 1

Wind loads to CP 3: Chapter V: Part 2

Self-weight of slated roof and rafters, collars etc = $1 \text{ KN/m}^2 \text{ max}$
(including services)

Maximum self-weight of suspended first floor (inclusive) = 12 KN/m^2

Maximum self-weight of masonry rubble wall 550mm thick
= 12 KN/m^2

Ground floor to first floor glazed panelling = 0.3 KN/m^2

Maximum imposed loads on ground & first floors = 2.5 KN/m^2

Maximum imposed load on roof (excluding wind) = 0.75 KN/m^2

Maximum wind load on roof (load perpendicular to roof)
after applying coefficients is \times 1.00 KN/m^2

Marian House / Calculations / Front elevation

Self of whole front elevation wall per metre run

$$= \frac{3 \times 12}{3 \times 0.3} = \frac{36}{0.9}$$

36.9 kN / m. run

Load from roof

(a)	3 x 1 =	3.00	
(b)	3 x 0.75 =	2.25	
(c)	3 x 1 =	3.00	
		8.25	kN / m. run of wall

Load from first floor

(a)	2.5 x 2.5 =	6.25	
(b)	1.2 x 2.5 =	3.00	
		9.25	kN / m. run of wall

Add extra for rising wall and footing = 12 kN / m. run of wall

$$= 66.4 \text{ kN / m run}$$

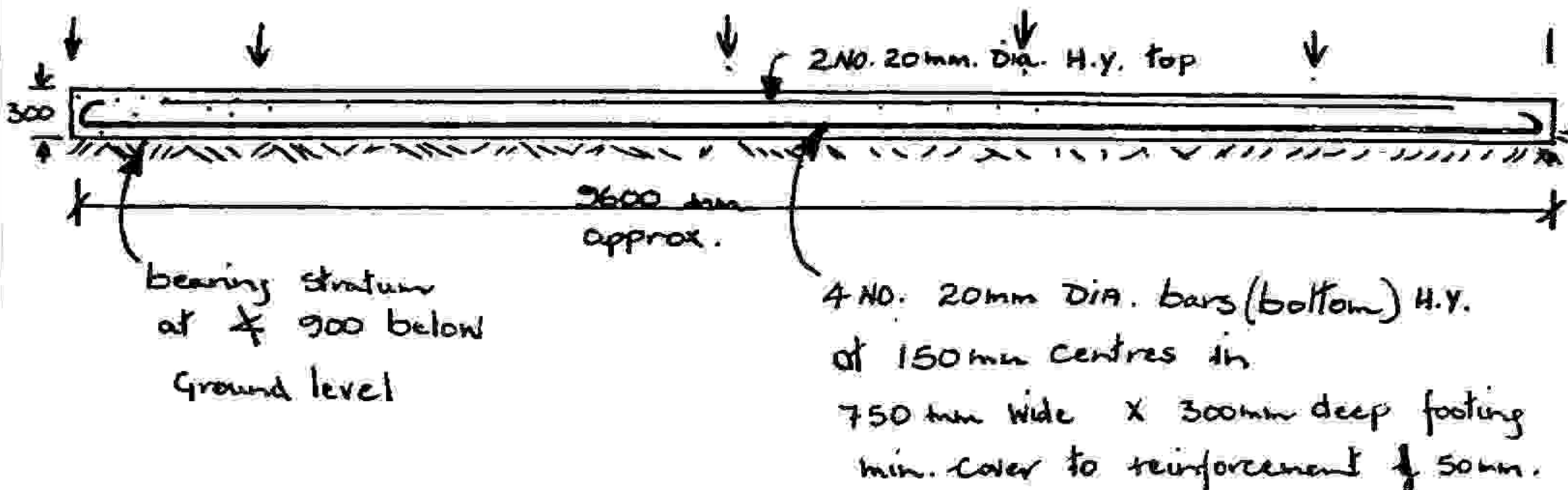
Permissible stress in foundations / bearing stratum

take as 100 kN / m^2

N.B. Note: THIS IS TO BE APPROVED by Engineer on
OPENING UP of Foundations

Proposed: Strip foundation 750 mm wide x 300 mm deep Reinforced concrete footing at a depth of not less than 900 mm

Mano House / Calculations



1: 50 Elevation of strip footing

Concrete: 30 N 20 at 28 days

Reinforced Concrete Columns

4 NO. full R.C. Columns

2 NO. end gable walls to be reinforced and made good

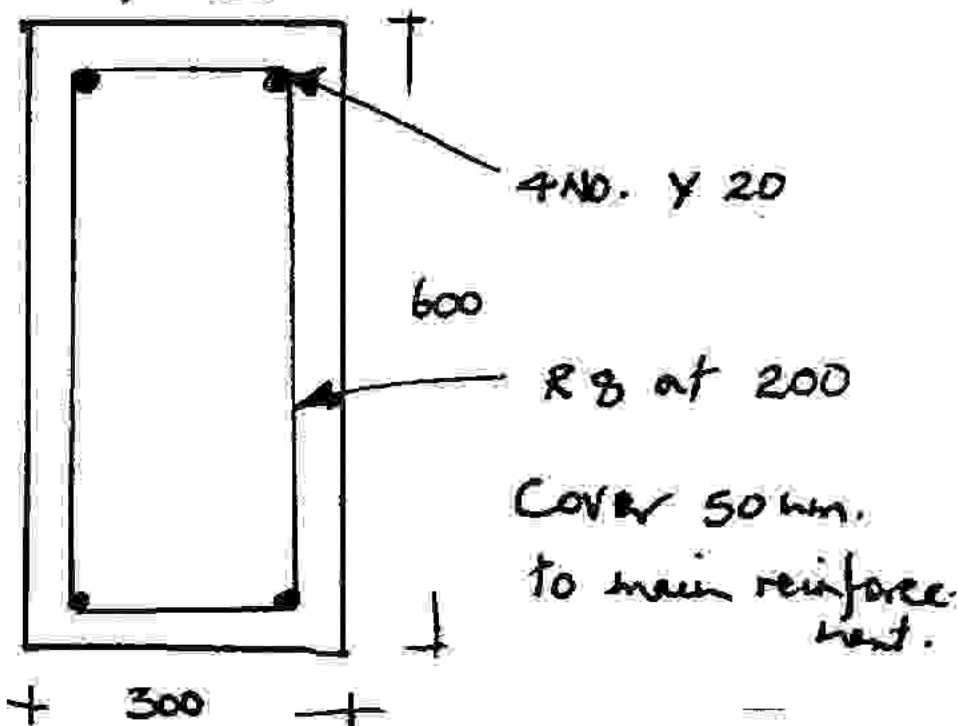
Load carried by columns (not greater than) 160 kN.

The proposed 300 x 600 reinforced as shown in drawing with 4 NO. Y 20 with binders at 200mm centres as acceptable

See Chart No. 24 BS 8110: Part 3 1985

Use Concrete: 30 N 20 at 28 days.

Cross-section through 4 NO. Columns in front



Analysis re: Provision of girders to support existing front masonry wall above proposed new shop front.

Note: This section of structure must be carefully pinned and supported by experienced contractor before, during and after provision and incorporation of proposed new support girders across front of the building until ^{permanent} support work is completed and mature to new loads.

$$\text{Load per metre run} = 36 + 8.25 + 9.25 = 53.5 \text{ KN}$$

$$\text{Max bending moment} \neq 71.8 \text{ KN.m}$$

$$\frac{M}{I} = \frac{f}{y} = \frac{E}{R}$$

Working to elastic design methods here

$$\frac{M}{f} = \frac{I}{y} = Z = \frac{71.8 \cdot 10^6}{165} = 436,000 \text{ mm}^3$$

2 NO. girders to be used each having $Z \neq 218 \text{ cm}^3$

Use 2 NO. 203 x 133 x 25 Kg Universal Beams
10.13 metres long *

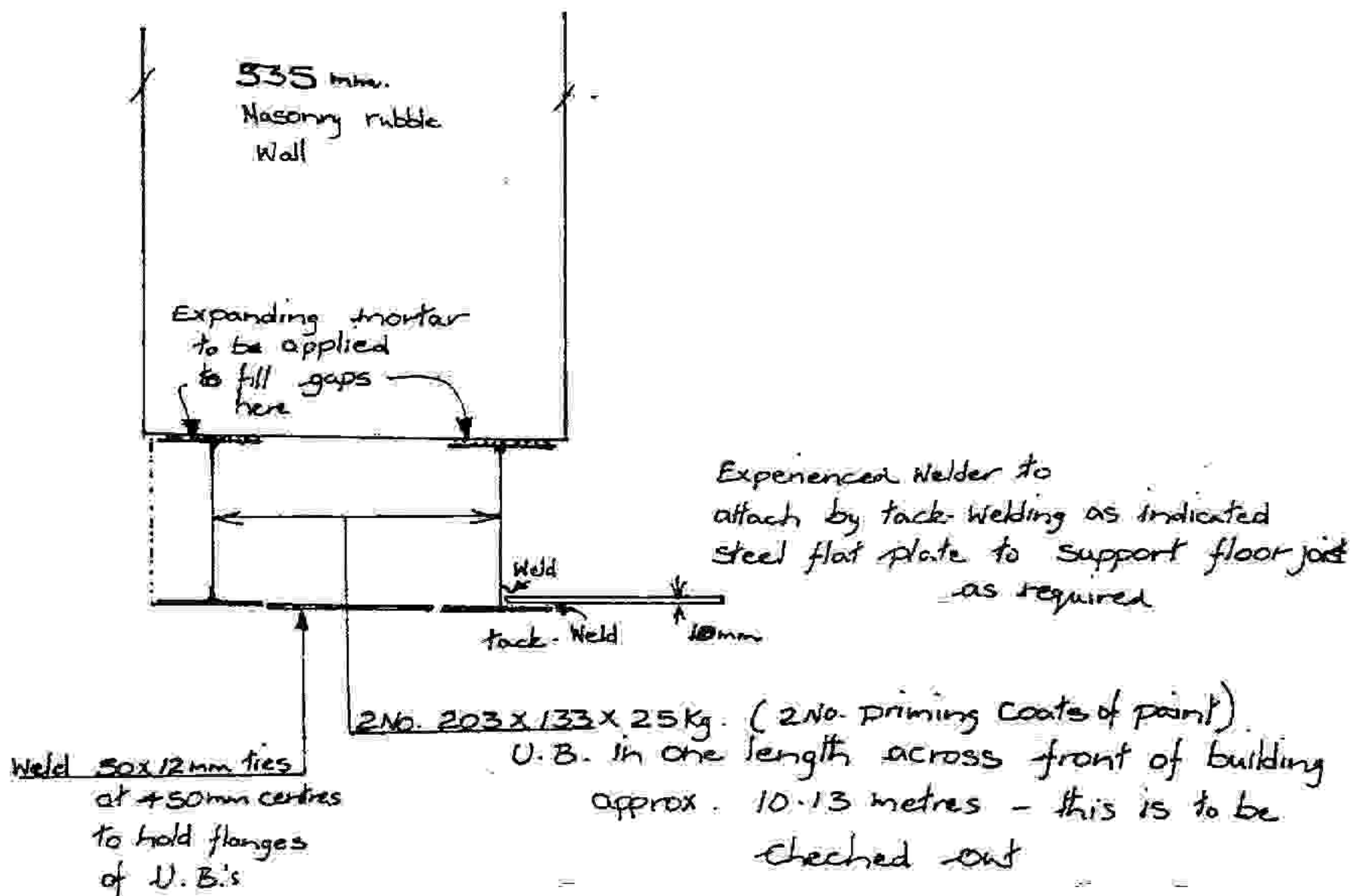
* - this is to be checked on site before ordering.

Alliance

has been made for front roller shutters and for support for floor joists

Wind load effects not significant

Sketch indicating approach for proposed girders - front wall



Tadhg Walsh

26/3/90

P.S. The engineer should be consulted when this work is being put in hand; so as to ensure compliance with design assumptions made here.

Tadhg Walsh 26/3/1990