

91A/0471

CERTIFICATE NO.


24739

2 storey office Building
Ballymank Road upper D24
Doceneel Glass Distribution Ltd

PROPOSAL:
LOCATION:
APPLICANT:

1	2	3	4	5	6	7
Dwellings/AREA LENGTH/STRUCT	RATE	AMT. OF FEE REQ.	AMOUNT LODGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO.
Dwellings	€252					
	€216					
	€500 per m ² in excess of 300m ² plus 25%					
403.0m ²	€11.75 per m ² of 25%		705.25	731.50	26.25 overage	
x .1 feet.	€225 per feet. of €250					
x .1 feet.	€225 per feet. of €250					
x .1 feet.	€225 per feet. of €250					
x .1 feet.	€225 per feet. of €250					
x .1 feet.	€225 per feet. of €250					
x 1,000m ²	€225 per 1,000m ² of €250					
x .1 feet.	€225 per feet. of €250					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed:  Grade: 5.0 Date: 4/4/97

Columns 2,3,4,5,6 & 7 Certified Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: 91A/471

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL: 4338 FT²

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

1094^{km}
25 3 2
3

J.Y.
5/4/91
① Standard

$$\frac{4338}{1000} @ £750$$

£3253.50

DEVELOPMENT CONTROL ASSISTANT GRADE

J 22/5/91

road 25 @ £10000
= £2500

roads lobby for
£25,000 at area
£10,000. previously sent
to area

V.

EASTERN HEALTH BOARD

P.C. _____ Reg. Ref: 91A - 0471

Proposed: Replace existing single storey factory
offices with two storey office building

At: Ballymount Road Upper, D.24

For: Dockrell Glass Distributors Ltd.

Plans lodged: _____

Architect: Wilfred M. Raftery

Observations and recommendations of Env. Health Officers and/or
Supervising Env. Health Officer.

Further information is required concerning
details of foul and surface water
drainage systems; and details of proposed
water supply.

Also compliance required with
1) Office Premises Act 1958 and regulations
made thereunder and
2) The Health Safety and Welfare at
Work Act 1989.

In particular a) a potable drinking water
supply to be provided for staff and

b) suitable and sufficient ventilation to
be provided in all offices and in
the canteen and kitchen areas.

JKelly EHO
8/7/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 12.07.91
Time 12.20

for Jfa Devine
John O'Keilly EHO 8/7/91

(1) Date Lodged

7.5.91

LOCATION: Hallymont Road Upper, Dublin 24

REG. REF. 51 V 6471

APPLICANT: Dockrell Glass Distribution Ltd.

PROPOSAL: Replace single-storey factory office with two-storey office building

(2) Date referred

REC'D
- 3 JUL 1991
CENTRAL OFFICERS

Chief Medical Officer, Eastern Health Board

(3) Rec'd San. Services

As per my report dated 8/7/91 to Planning Dept., except that drainage details are indicated on this proposal. I recommend that the drainage from the kitchen sink on the first floor should discharge directly out into a downpipe and then connect up with the drainage system outside the building.

(4) Dispatched by San. Ser. to C.M.O.:

(5) Rec'd Planning:

(6) Date to Planner:

(7) D.P.O. Report to be submitted before:

(8) DPO Report submitted to S.A.O.:

**PLANNING DEPT.
DEVELOPMENT CONTROL SECT**
Date 12.07.91
Time 12-20

Keely EHO 9/7/91

(9) Decision due:

ENDORSED:

Ma Devine

DATE:

9-7-91

for John O'Keilly EHO

H.D.

DUBLIN COUNTY COUNCIL

REG. REF: 91/A/471

LOCATION: Ballymount Road Upper, Dublin 24.

APPLICANT: Dockrell Glass Distribution Ltd.

PROPOSAL: Replace existing single storey factory offices with new two storey office building.

DATE LODGED: 28th March, 1991.

This application is for full permission to replace existing single storey factory offices with new two storey office building at Ballymount Road Upper, Dublin 24.

Presently the site has access via a right-of-way. The applicant proposes an additional net floor area of 258 sq.m. requiring 7 extra car spaces and a new access onto Ballymount Road Upper.

With regards to parking requirements, a total of 88 car spaces is required commensurate with a floor area of 2942 sq.m. A total of 35 spaces is provided in the plans submitted indicating a serious shortfall of 53 car spaces.

Roads are opposed to the creation of access onto Ballymount Road Upper as it has recently been improved and is a distributor link to the Motorway.

Roads require additional information with regard to how the applicant proposes to provide the parking shortfall of 53 spaces and internal circulation improvements to service the total site from the existing access.

It is noted that a floor space extension of 258 m² represents a development area of 1000 m² (1/4 acre based on 25% site coverage) which would attract a roads contribution of £6,250 for a £25,000 per acre contribution towards the necessary road network improvement in the immediate area of the site.

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT
 Date .. 28.5.91 ..
 Time .. 3.50 ..

MA/MM 21/5/91.

SIGNED: _____ ENDORSED: E. J. O'Connell

DATE: _____ DATE: 21st May '91

Urgent

SS+CHD

PLANNING DEPARTMENT

BOOK FOLIO

(1) Date Lodged
7.5.91

LOCATION: Ballymount Road Upper, Dublin 24

REG. REF. 91A/0471

APPLICANT: Dockrell Glass Distribution Ltd.
~~Replace single-storey factory office with~~

PROPOSAL: two-storey office building

(2) Date referred:

13/6

FOUL SEWER

No objection, available to existing system

Non domestic effluent is subject to a licence under the provisions of the Water Pollution Act.

Rec'd San. Serv.
18 JUN 1991

SAN SERVICES Dispatched by

1 JUL 1991

Returned

SURFACE WATER

No objection.

(5) Date to Planning

(6) Date to Planner

(7) D.P.O. report to be submitted before:

(8) D.P.O. report submitted to S.A.O.:

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 02.07.91
Time 4.15

Blumhoffer
25.6.91

(9) Decision due:

*Return to:
Email 12/6/91*

J.R.
26/6/1991

ENDORSED

DATE

*H. Torney 11/6/91
A. Ward 11/6/91
W. Ward 11/6/91*

*EMCD
29/5*

PLANNING DEPARTMENT

BOOK FOLIO

(1) Date Lodged
7.5.91

LOCATION: Ballymount Road Upper, Dublin 24

REG. REF. 91A/0471

APPLICANT: Dockroll Glass Distribution Ltd.

PROPOSAL: Replace single-storey factory office with two-storey office building

WATER SUPPLY

Available for procedure
& 24 hour storage to be provided.

Note: There is an existing ring main around the building and no structure should be built over this water main

J. Hanley 19/8/91
20/6/91

Refer to C.F.O.

ENDORSED:

[Signature]

DATE

26/6/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 02.07.91
Time 4.15

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

CON.	
Standard	13254
Roads	€2500
S. Sers	
Coen. Sers	
Other	
SECURITY	
Bond C.I.F.	
Cash	

Proposed to replace existing single storey factory offices with new two storey office building at Ballymount Road Upper, Dublin 24 for Dockrell Glass Distribution Ltd.

Wilfred M. Raftery Architect,
St. Michaels,
1, Springfield Avenue,
Templeogue,
Dublin 6W.

Reg. Ref.	91A-0471
App. Recd:	28.03.1991
Floor Area:	258 sq. m.
Site Area:	5,507 sq. m.
Zoning:	

S
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Report of the Dublin Planning Officer, dated 21 May 1991

This is an application for PERMISSION to replace existing single storey factory offices with new two storey office building at Dockrell Glass Distribution Ltd., Ballymount Road Upper, Dublin 24.

The site is located in an area which is zoned with the objective 'E' in the 1983 County Development Plan "to provide for industrial and related uses".

The floor area of the proposed development is stated to be 418 sq. m. Of this 160 sq. m. which already exists is to be demolished, therefore, net new development is 258 sq. m.

The existing access to the site is by right of way and this proposal contains in the drawings submitted a new entrance, boundary railings and dwarf wall and tree planting. It is stated this is to be the subject of a separate planning application.

The report of the Roads Department has not been received at the time of writing.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (9) conditions:-



(Continued)

re

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed to replace existing single storey factory offices with new two storey office building at Ballymount Road Upper, Dublin 24 for Dockrell Glass Distribution Ltd.

CONDITIONS

REASONS FOR CONDITIONS

- | | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.</p> <p>2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.</p> <p>3. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.</p> <p>4. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.</p> <p>5. That all external finishes harmonise in colour and texture with the existing premises.</p> <p>6. That no advertising sign or structure be erected, except those which are exempted development, without prior approval of the Planning Authority.</p> <p>7. That car parking to meet the standards of the 1983 County Development Plan are laid out on site for this proposal.</p> | <p>1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.</p> <p>2. In order to comply with the Sanitary Services Acts, 1878-1964.</p> <p>3. In the interest of safety and the avoidance of fire hazard.</p> <p>4. In the interest of health.</p> <p>5. In the interest of visual amenity.</p> <p>6. In the interest of the proper planning and development of the area.</p> <p>7. In the interest of the proper planning and development of the area.</p> |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

7

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed to replace existing single storey factory offices with new two storey office building at Ballymount Road Upper, Dublin 24 for Dockrell Glass Distribution Limited.

CONDITIONS

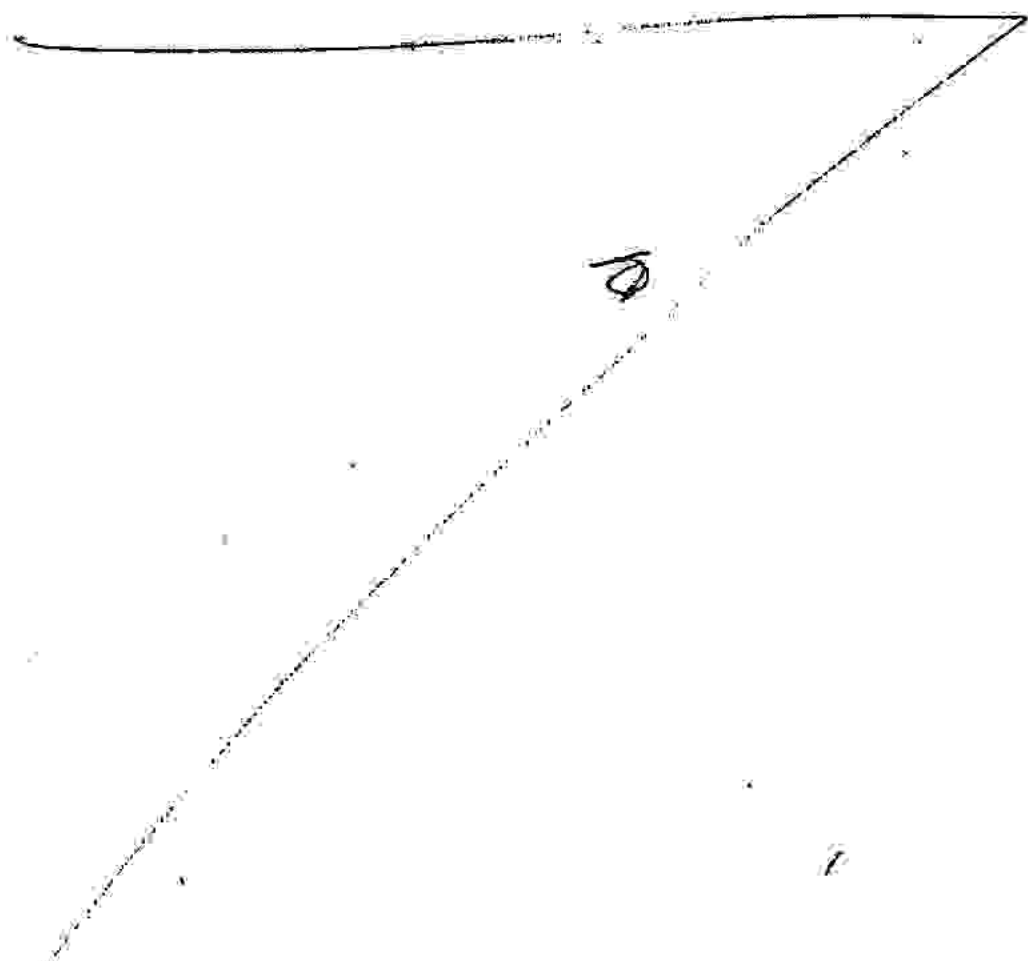
REASONS

8. That a financial contribution in the sum of £3,254. be paid by the proposer to the Dublin County Council towards the provision of public services in the area of the development and which facilitates this development; this contribution to be paid prior to the commenced of development on site.

8. In the interest of the proper planning and development of the area.

9. That a financial contribution in the sum of £2,500. be paid by the proposer to Dublin County Council towards the cost of road improvement works in the area of the proposed development and which will facilitate the proposed development; this contribution to be paid prior to commencement of development on site.

9. In the interest of the proper planning and development of the area.



COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed to replace existing single storey factory offices with new two storey office building at Ballymount Road Upper, Dublin 24 for Dockrell Glass Distribution Ltd.

(Continued)

MD
(MD/DK)

9

Endorsed:- [Signature]
for Principal Officer

Richard Connors SEP
For Dublin Planning Officer

21.5.91

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to GRANT PERMISSION for the above proposal subject to the (9) conditions set out above is hereby made.

Dated: 24 May, 1991.

[Signature]
ASSISTANT CITY & COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 26 April, 1991.

Pat Kenney

24/5/91

Re Reg Ref 91A/071

Area of Site Behind Building Line 4005sqm

Area of Building on Site 3037sqm

$$\frac{3037 \times 100}{4005} = 75.8\%$$

PK

Rev 114

M.R.

DUBLIN COUNTY COUNCIL

REG. REF: 91/A/471

LOCATION: Ballymount Road Upper, Dublin 24.

APPLICANT: Dockrell Glass Distribution Ltd.

PROPOSAL: Replace existing single storey factory offices with new two storey office building.

DATE LODGED: 28th March, 1991.

This application is for full permission to replace existing single storey factory offices with new two storey office building at Ballymount Road Upper, Dublin 24.

Presently the site has access via a right-of-way. The applicant proposes an additional net floor area of 258 sq.m. requiring 7 extra car spaces and a new access onto Ballymount Road Upper.

With regards to parking requirements, a total of 88 car spaces is required commesurate with a floor area of 2942 sq.m. A total of 35 spaces is provided in the plans submitted indicating a serious shortfall of 53 car spaces.

Roads are opposed to the creation of access onto Ballymount Road Upper as it has recently been improved and is a distributor link to the Motorway.

Roads require additional information with regard to how the applicant proposes to provide the parking shortfall of 53 spaces and internal circulation improvements to service the total site from the existing access.

It is noted that a floor space extension of 258 m² represents a development area of 1000 m² (1/4 acre based on 25% site coverage) which would attract a roads contribution of £6,250 for a £29,000 per acre contribution towards the necessary road network improvement in the immediate area of the site.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
 Date 22-05-91
 Time 12.45

MA/MM 21/5/91.

SIGNED: _____
 DATE: _____

ENDORSED: *E. of Adde*
 DATE: *21st May 91*



Bloc 2, Ionad Bheatha na hÉireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Mr. J. Carson,
Liffey House,
Dublin 2.

Our Ref.

Your Ref.

Date

9.1.92

Re: Development at *Ballymont Rd. Upper*

Reg. Ref. No. : *91A/471*

I refer to the submission for Building Bye-Law Approval received in this Department on *9.1.92*.

The submission is in compliance with conditions of Building Bye-Law Approval issued. Please confirm that the submission is strictly compliance as requested and not a new application and accordingly that a Bye-Law fee is not required. Documents enclosed.

for *Walter Deane*
STAFF OFFICER,
REGISTRY SECTION

ARTHUR W. WEST & ASSOCIATES

CONSULTING ENGINEERS

Arthur W. West, B.A.I., C. Eng., M.I.E.I.
Roger P. West, B.A.I., M.Sc., D.I.C., C.Eng., M.I.E.I.

25 Cambridge Road,
Rathmines,
Dublin 6.
Telephone: 977197.

Our Ref:

851

Your Ref: BBL/2133/91

Date: 7th January 1992.

Dublin County Council,
Building Control Section,
Planning Department,
Block 2, Irish Life Centre,
Ir. Abbey Street,
Dublin 1.

91A/471
L.O.O.
802 Conf

re Dockrell Glass Distribution Ltd.
Reg. No. 91A/471
Order No. BBL/2133/91

To comply with Condition (7) of your Notice of Approval under Building Bye-laws dated 1st August 1991 in connection with the above project, I hereby certify that the structural work involved is designed in accordance with current relevant Codes of Practice and that the structure as a whole is satisfactory. The construction will be supervised by the undersigned in conjunction with the Architect, Wilfred M. Raftery, A.R.I.B.A.

Signed

Arthur W. West

Arthur W. West,

Chartered Engineer.

C.C. JAN 92

Copy to Wilfred M. Raftery, A.R.I.B.A., 1 Springfield Avenue, Templeogue, 6W.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To: **Wilfred M. Raftery Architect,** Decision Order P/2286/91 - 24.05.1991
 St. Michaels, Number and Date
 1, Springfield Avenue, Register Reference No. 91A-0471
 Templeogue, Dublin 6W. Planning Control No.
 Applicant: **Dockrell Glass Distribution Ltd.** Floor Area: 258 sq. m.
 Application Received on 28.03.1991

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:
 to replace existing single storey factory offices with new two storey office building at Ballymount Road Upper, Dublin 24.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.	2. In order to comply with the Sanitary Services Acts, 1878-1964.
3. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.	3. In the interest of safety and the avoidance of fire hazard.
4. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.	4. In the interest of health.
5. That all external finishes harmonise in colour and texture with the existing premises.	5. In the interest of visual amenity.

(Continued)

Signed on behalf of the Dublin County Council

[Signature]
For Principal Officer

Date

Approval of the carrying out of the

IMPORTANT: Turn overleaf for further information

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To Wilfred M. Raftery Architect, Decision Order p/2286/91 - 24.05.1991
St. Michaels, Number and Date
1, Springfield Avenue, Register Reference No. 91A-0471
Templeogue, Dublin 6W. Planning Control No.
Application Received on 28.03.1991

Applicant Dockrell Glass Distribution Ltd. Floor Area: 258 sq. m.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-

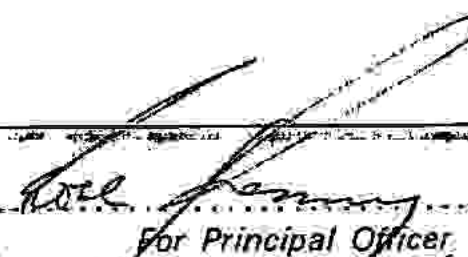
to replace existing single storey factory offices with new two storey office building at Ballymount Road Upper, Dublin 24.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
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4. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.	4. In the interest of health.
5. That all external finishes harmonise in colour and texture with the existing premises.	5. In the interest of visual amenity.

(Continued)

Signed on behalf of the Dublin County Council


For Principal Officer

24th May, 1991.

Date

IMPORTANT: Turn overleaf for further information

(Continued)

CONDITIONS

REASONS FOR CONDITIONS

6. That no advertising sign or structure be erected, except those which are exempted development, without prior approval of the Planning Authority.

7. That car parking to meet the standards of the 1983 County Development Plan are laid out on site for this proposal.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

8. That a financial contribution in the sum of £3,254 be paid by the proposer to the Dublin County Council towards the provision of public services in the area of the development and which facilitates this development; this contribution to be paid prior to the commencement of development on site.

9. That a financial contribution in the sum of £2,500 be paid by the proposer to Dublin County Council towards the cost of road improvement works in the area of the proposed development and which will facilitate the proposed development; this contribution to be paid prior to commencement of development on site.

6. In the interest of the proper planning and development of the area.

7. In the interest of the proper planning and development of the area.

8. In the interest of the proper planning and development of the area.

9. In the interest of the proper planning and development of the area.

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.

Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Telephone: 773066

Telephone: 724755
Extension: 231/234

20th May, 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: Ballymount Road Upper, Dublin 24
PROPOSED DEVELOPMENT: Replace single-storey factory office with two-storey office building
APPLICANT: Dockrell Glass Distribution Ltd.
PLANNING REG. REF.: 91A/0471
DATE OF RECEIPT OF SUBMISSION: 7th May, 1991

A Uchara,

With reference to above, I acknowledge receipt of application for:

Building Bye-Law Approval

Mise, le meas

A. Smith

PRINCIPAL OFFICER

Wilfred M. Raftery, Architect,

St. Michael's,

1 Springfield Avenue,

Templeogue,

Dublin 6W.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place in appropriate box. **BUILDING BYE LAWS APPROVAL**
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building Ballymont Road UPPER, DUBLIN 24
(If none, give description sufficient to identify)

3. Name of applicant (Principal not Agent) DOCKRELL GLASS DISTRIBUTION LTD
Address Ballymont Road, Upper, Dublin 24 Tel. No. 502155

4. Name and address of Walter M. Pattery A.R.P.A. Architect, St. Michael's,
person or firm responsible for preparation of drawings 1 Springfield Ave, Templeogue, Dublin Tel. No. 900514

5. Name and address to which notifications should be sent Above named Architect

6. Brief description of proposed development Replace existing single storey factory office with two storey office building

7. Method of drainage PUBLIC SEWERS 8. Source of Water Supply PUBLIC MAINS

9. In the case of any building or buildings to be retained on site, please state:
(a) Present use of each floor or use when last used INDUSTRIAL
(b) Proposed use of each floor INDUSTRIAL

BYE LAW APPLICATION.

REC. NO N 39186

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

€1063.00

11.(a) Area of Site 5507 Sq. m.

(b) Floor area of proposed development 418 sq metres new less 160 sq metres demolished 258 sq. m. nett

(c) Floor area of buildings proposed to be retained within site 2942 Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREE HOLD

13.Are you now applying also for an approval under the Building Bye Laws?
Yes No Place in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
GENERAL

15.List of documents enclosed with application.
Doc Nos 851/3951, 3952, 3953, Calculations
Doc Nos 891/27 & 28, SPECIFICATION
(all in duplicate)

16.Gross floor space of proposed development (See back) 418 Sq. m.

No of dwellings proposed (if any) — Class(es) of Development 4

Fee Payable € 1,463.00 Basis of Calculation 418 x 3.50
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) [Signature] Date 31 May 1991

Application Type FOR OFFICE USE ONLY

Register Reference 91A/0471

Amount Received € 2,10.2

Receipt No BBL

Date 31 May 1991



LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with L.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min. £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls. For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ATHA CLIATH

PAID BY DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

BYE LAW APPLICATION

REC. No. N 39186

CASH
CHEQUE
M.O.
B.L.
I.T.

€1163.00

Received this 7th day of July 1991

from Dublin City Council
Ballymont Road Upper,
D.20

the sum of 1163.00 Pounds

Pence, being 00

bye-law application at Ballymont Road

Walter Deane Cashier

S. CAREY Principal Officer

00514.

St. Michael's, 1 Springfield Avenue, Templeogue, Dublin.

Dublin County Council,
Building Control Department,
Liffey House,
Tara St.,
Dublin 2.

3/5/1991.



Dear Sirs,

Building Bye Laws Application; Two Storey Office
Building to replace Existing Single Storey Offices
at Ballymount Road Upper, Dublin 24 for
Dockrell Glass Distribution Ltd.

I submit herewith drawings, specification, structural consultants drawings and calculations for the above project.

Your early and favourable consideration of the application is requested.

The construction of the building is considerably influenced by the need to retain the existing offices in use until the first floor of the new building is ready for occupation.

I trust that I shall be contacted if any clarification of the proposal is required. Likewise any modifications that might make the scheme more acceptable to you will be gladly given consideration.

Yours faithfully,

Wilfred M. Raftery.

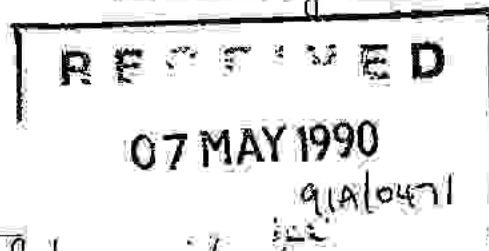
SPECIFICATION

April 1991

Two Storey Office Building to replace Existing Single Storey Factory
Offices at Ballymount Road Upper, Dublin 24 for
Dockrell Glass Distribution Ltd.

Architect Wulfred M. Lafferty A.R.I.B.A.
St. Michael's, 1 Springfield Avenue,
Templeogue, Dublin 6W

Structural Engineers Arthur W. West & Associates
25 Cambridge Road,
Rathmines, Dublin 6



Generally The Developer is a successful manufacturing company in need of substantial extra office space. The site area is limited and it is not feasible to erect new offices other than on the site of the existing ones which are of timber construction. These existing offices must remain in use until at least an equivalent area of the replacement offices is usable. The design and construction of the new building is therefore governed by the need to construct its upper floor with access stairs to it prior to removal of the existing offices and completion of the ground floor of the new building.

Demolition All demolition work shall be carefully carried out to preserve and protect existing abutting factory buildings and the existing office building whilst it remains in use and maintain its services. All necessary temporary shoring, propping, strutting, bracing, needling etc shall be provided together with boardings, screenings, weathering etc. to protect existing buildings from dirt, dust, ingress of rain etc. Noise and vibration shall be kept to the minimum practicable and timed whenever possible to suit the office working hours. Materials arising from demolition unless approved for reused or retained by the Employer shall be disposed of away from the site.

Excavation After removal of existing paving trenches shall be formed for new foundations and drains. Existing drains under and adjacent to the new building shall be exposed. Trenches for foundations shall be to depth shown or as additionally necessary to obtain good bottoms. Trenches for drains shall be to depths necessary to obtain suitable falls and adequate cover as well as to allow for suitable connections to existing drains. Trench bottoms shall be well rammed and consolidated; sides planked and strutted as necessary. Excavations shall be kept free from water

Backfilling shall be carefully executed about and over drains and footings. Surplus excavated material shall be disposed of away from site.

Making Good All structures, pavings, services etc affected by demolitions and excavation shall be appropriately made good.

Hardcore Under new ground floor concrete slabs and paving, spread, level, roll and thoroughly consolidate in 6" layers, clear hard broken stone or concrete to pass a 3" ring. Consolidate by use of a vibrating roller. Hardcore shall be free from earth, soil and any material liable to rot or decay. Where necessary make up levels by rolling in additional 6" layers of hardcore.

Cement Cement for concrete, mortar and plastering shall be Portland cement of Irish manufacture, normal setting, in good condition when used.

Aggregates Aggregates for concrete shall be clean, washed and graded sand and gravel. Sand for plastering shall be specially selected.

Concrete Concrete shall be machine-mixed using Portland cement, washed and graded aggregate and clean mains water. Ready mixed concrete from approved supplier may be used. Concrete shall be carefully placed in its final position within 20 minutes of mixing or discharge from transporter if delivered ready mixed to site. It shall be rodded, tamped and vibrated as necessary to ensure good compaction about reinforcement and into casings. Concreting shall not be undertaken in frosty weather or when frost is anticipated. Newly placed concrete shall be protected from frost and harsh drying conditions.

Concrete Mixes Mix A Min. Cement Content 360 kg/m^3 , Aggregate Size 20 mm, 28 day compressive strength 30 N
 Mix B Min. Cement Content 280 kg/m^3 , Aggregate Size 40 mm, 28 day compressive strength 15 N.
 Mix B shall be used for drain beds, Mix A for all other concrete work.

Formwork All necessary formwork shall be provided for concrete cast in situ; generally it shall be of sawn boarding but wrot casings shall be used for fine finished concrete. Formwork shall be suitably and adequately supported and braced so that it does not move under the weight of concrete. It shall not be struck until the concrete is sufficiently self-supporting.

Reinforcement

Reinforcement for concrete shall be mild steel bars & ties and high tensile steel mesh.

Reinforced concrete shall be designed by the Structural Engineering Consultant. Reinforcement shall be accurately positioned in accordance with the consultants detail drawings and schedules.

Foundations, slabs, bands, beams, lintels etc shall be reinforced. All reinforcement shall have 40mm minimum concrete cover.

Foundations

Main steel stanchions shall have R.C. bases 1800mm x 1800mm x 450mm thick

Rising walls shall be built on R.C. strip footing: 900mm wide x 300mm high reinforced with steel mesh

Ground Floor

3" cement & sand 1:3 screed on 25mm high density expanded polystyrene insulation slabs on 1,000 gauge polythene damp proof membrane on 6" concrete slab reinforced with steel mesh on hardcore.

First Floor

3" cement & sand 1:3 screed on 150mm hollow core precast, prestressed reinforced concrete units, Briton-Concrete or equal used strictly in accordance with manufacturers direction supported on steel framework to consultants design.

Rising Walls

Rising walls around perimeter of ground floor shall be 9" solid concrete blockwork laid in cement mortar 1:3.

Concrete blocks shall be machine made natural aggregate solid blocks of approved manufacture properly cured before delivery to site with good sharp arrises. Blocks shall be 18" x 9" x 4 1/2" nominal size, laid on flat, properly plumbed and bonded.

Roof

Roof shall be covered with a polyester based torched on felt membrane Parlon or equal on 2 No. glass fibre based felt underlays on 4" insulation slab on felt vapour barrier on galvanised profiled steel deck. Deck shall span between pressed galvanised steel purlins Multi-Beam or equal steel framework. Steel beams shall give fall to roof for drainage to eaves gutter. Felt covering shall be dressed down at eaves into gutter and over upstand kerbs at verges; it shall be carried up to form 6" high coved upstand to base of tank house.

Gutters shall be colour coated galvanised steel of box section with matching fittings and fixings draining to 100mm x 100mm square section downpipes of colour coated galvanised steel.

Existing eaves gutter to factory building where abutted by new offices shall be replaced with galvanised steel party wall gutter with

appropriate modification to A.C roofing & downpipes. Felt covering of new roof shall be carried down and flashed to factory roof gutter.

Cladding

Exterior of new building shall be clad with curtainwalling of aluminium box section framework infilled with double glazed sealed units from floor to ceiling level of both storeys. Cladding around perimeter of ground floor ceiling to first floor and of first floor ceiling to roof shall be infilled with flush aluminium faced insulated panels. All aluminium framing and cladding panels shall have Synthalux or equal powder coated finish; green for framing, white for panelling. Double glazed units shall be green tinted with reflecting finish and laminated inner glass leaf. Opening casements shall be top hung outward opening. Permanent ventilation units shall be provided to all offices by permanent or equal units incorporated in windows.

Roof lights

First floor corridors, lavatories etc shall be lit with Cordome or equal rooflights with double skinned pyramids or domes, ventilator upstands and integral insulated upstand kerbs weathered and flashed to felt roof covering.

Ventilation

All lavatories, lobbies, kitchen etc shall have mechanical ventilation to provide appropriate air changes. Extractor fans shall have ducted outlets through roof suitably flashed fitted with cowls.

Partitions

Internal partitions shall be non load bearing $4\frac{1}{2}$ " studding of $4\frac{1}{2}$ " x 2" studs @ 1'-0" centres, $4\frac{1}{2}$ " x 2" head and sole pieces fixed to floor and ceiling framing; $4\frac{1}{2}$ " x 2" noggings @ 3'-0" max spacing between studs. Studding shall be lined on both sides with 15mm Gyproc Fireline Board having tapered edges which shall be joint filled to makers recommended specification. These partitions will have 1 hour fire resistance rating.

Doors

External doors shall be purposed made double glazed aluminium framed with Synthalux powder coated finish to match curtain walling. They shall be fitted with heavy duty spring closers, selected locks and door furniture.

Internal doors shall be hardwood veneered 2" flush doors hung in rebated hardwood frames ex 6" x 2" framed both sides with rounded hardwood architraves ex 3" x 1". Doors shall have half-hour fire resistance rating where opening on to corridors and circulation spaces. Fire resisting doors shall be self closing, fitted with Perko or equal approved closing devices and shall have intumescent stripping.

Doors to staircases shall have small vision panels suitably glazed.

Internal doors shall be fitted with selected locks and furniture.

Stairs

Stairs shall be open tread design framed in RHS steel with balustrades of solid steel bars supporting steel flat core rail for hardwood handrail. Treads shall be built up in plywood $1\frac{1}{2}$ " thick on steel brackets from RHS strings. They shall have hardwood edges with recess for selected flooring inset.

Skirtings

Floors generally shall be trimmed with selected moulded hardwood skirtings ex $4" \times 1"$.

Ceilings

Suspended ceilings shall be used generally of mineral fibre acoustic tiles on metal framed suspension system.

Plumbing

Existing water supply from public main shall be modified and re-routed as necessary to provide $\frac{3}{4}$ " rising main to feed new coldwater storage tanks in tank enclosure on roof of new building. Tanks shall be galvanised steel or glass fibre reinforced plastic suitably supported to capacity required by Waterwork Department. They shall be fed through suitable pressure brass ball valve and have 1" overflow pipe discharging externally.

Water service pipes shall be in copper with brass compression fitting.

They shall be suitably bracketted and supported, lagged and generally concealed over ceilings in partitions etc.

From the rising main $\frac{1}{2}$ " drinking supplies shall be taken to kitchen of canteen and to drinking fountains on each floor.

$1\frac{1}{2}$ " main cold supply from tank shall branch in $\frac{1}{2}$ " to each W.C., W.H.B. and urinal cistern.

A domed and tested, insulated copper hot water cylinder of 40 gallons capacity shall be fed from c.w. storage tank in 1" pipe. It shall have 1" expansion from which 1" main hot supply shall branch to each W.H.B. and kitchen sink. Expansion pipe shall be carried up and turned down over storage tank. Hot water cylinder shall be heated with electric immersion grays.

Waste and soil pipes shall be PVC. $1\frac{1}{2}$ ", $1\frac{1}{4}$ " wastes from sink, W.H.B.s & drinking fountains shall run to 4" waste stack with vent. Stack shall discharge over gully. W.C.s shall connect through 4" branches to 4" soil stack with vent, $1\frac{1}{2}$ " wastes from urinals shall connect to soil stack. Soil stack shall connect to drain upstand. Vents shall be carried up through roof, flashed and be fitted with cowls.

Waste pipes shall be properly supported and have adequate regular falls. Soils and wastes shall be fitted with cleaning eyes and access traps to allow access for clearing of all pipe runs.

Sanitary fittings shall be in white vitreous china with C.P. fittings.

Wall Tiling

All exposed wall surfaces in lavatories and canteen kitchen shall be tiled with glazed ceramic tiles fixed with waterproof adhesive and have joints grouted with waterproof grout to 2.0" over floor.

Electrical

Electrical installation shall provide lighting, service sockets, space heating, water heating and ventilation. Wiring shall be in PVC/PVC cable, all concealed, in metal conduit where appropriate. Electrical work shall comply with L.E.E. regulations and satisfy ESIB requirements.

Fire Protection

A fire alarm system and emergency lighting installation shall be provided together with first aid fire-fighting equipment to meet the Fire Officers requirements. Structural steelwork shall be protected to meet Fire Officers requirements. Existing steel stanchions in factory and new main stanchions supporting the extension shall be cased in concrete reinforced with steel mesh to give 2" minimum cover. Other structural steelwork shall be protected with encasements of Gyproc Fireline board with frameworks of lightweight galvanised steel.

External Plaster

Concrete blockwork plinth of building shall be scudded rendered and floated with cement plaster 1:3 the floating coat being waterproofed with Sika or equal. It shall have a fine nap finish.

Internal Plaster

Existing factory wall enclosed by extension shall have existing rendering hacked off and be scudded rendered and floated with cement plaster 1:3 and skimmed with gypsum plaster.

Drainage

Final drainage layout shall be determined when existing drains under and adjacent to existing office building to be demolished are excavated and exposed. Foul and surface water drainage shall be separate running either to suitable existing drains within site or if this is not practicable to new sewer connections in Ballymount Road Upper. Drains shall be in 6" x 4" hard PVC pipes jointed with hard PVC collar connectors incorporating rubber rings. Drains shall be laid to suitable falls on concrete beds, 18"x4" for 6" dia, 12"x4" for 4" dia, haunched to half their diameter with concrete. Drains under buildings shall be cased all round with concrete to give 6" minimum cover. Where drains pass through a masonry wall and foundation there shall be suitably bridged so that they do not bear on the drain.

Grilles and junctions shall be PVC bedded on and cased around with 6" concrete cover.

Manholes shall have 6" concrete floors, 9" solid concrete blockwork walls laid in cement mortar 1:3 and plastered internally with 1" waterproofed cement plaster. Channels shall be PVC with all necessary branches and shall be benched to sides of chamber with concrete @ 45°. Top slabs shall be 6" reinforced concrete with inset galvanised C.I. covers and frames suitable in weight for the traffic to which they are likely to be subjected.

If new sewer connections are made manholes or drains inside the site boundary shall be fitted with Broad's pattern intercepting traps and fresh air inlets.

Making Good All tarmacadam paving disturbed around new building and over new drains shall be suitably made good.

Floor Coverings Selected tile or sheet floor coverings shall be laid on concrete ground and first floor slabs of new building.

Decoration Interior hardwood joinery shall be prepared and varnished 3 No. coats polyurethane varnish. Selected areas of interior wall surfaces shall be lined and wallpapered. Other wall surfaces if not tiled shall be decorated 3 No. coats plastic emulsion paint.

RECEIVED
07 MAY 1990
91A/0471

ARTHUR W. WEST

Consulting Engineer
25, Cambridge Road,
Dublin 6, Tel. 977197.

ARTHUR W. WEST & ASSOCIATES

CONSULTING ENGINEERS

Arthur W. West, B.A.I., C. Eng., M.I.E.I.
Roger P. West, B.A.I., M.Sc., D.I.C., C.Eng., M.I.E.I.

25 Cambridge Road,
Rathmines,
Dublin 6.
Telephone: 977197.

Our Ref:

851

Your Ref:

Date: 10th April 1991

P R O P O S E D O F F I C E S

for

D O C K R E E L L G L A S S D I S T R I B U T I O N L T D

at

B A L L Y M O U N T C R O S S , D U B L I N 2 4

C A L C U L A T I O N S F O R S T R U C T U R A L W O R K

Architect: Wilfred M. Raftery, A.R.I.B.A.,
1 Springfield Avenue,
Dublin 6W

Dockrell's Ballymount.

Assessment of crane reaction on extg. Stems.

Crane Data (assumed.)

- Crane span = 15.0m
- End clearance = 0.3m
- Min. hook approach = 1.0m
- length of end carriage = 2.0m
- Wheel centres in end car = 1.75m
- Weight of crane without crab = 30.0 kN
- Weight of crab = 6.0 kN
- Lift capacity = 30.0 kN
- Span of crane girder = 6.63m

Stems spacing = 16.0m

Vertical load

from crane $\frac{1}{2}(30) = 15.0 \text{ kN}$
 from crab + lift $\frac{1}{16}(30+6) = 33.75 \text{ kN}$
 48.75 kN

add wt. of girdery (assume 30x165 UB @ 40) Say = 3.00 kN

Total vert. load from crane $1.25 \times 48.75 = 60.94 \text{ kN}$
 = 30.5 kN per wheel on one side.

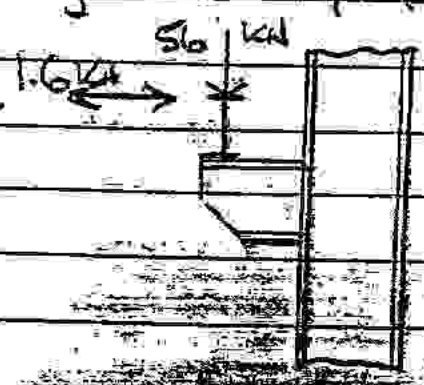
Max. Reaction on Stems.

Vertical

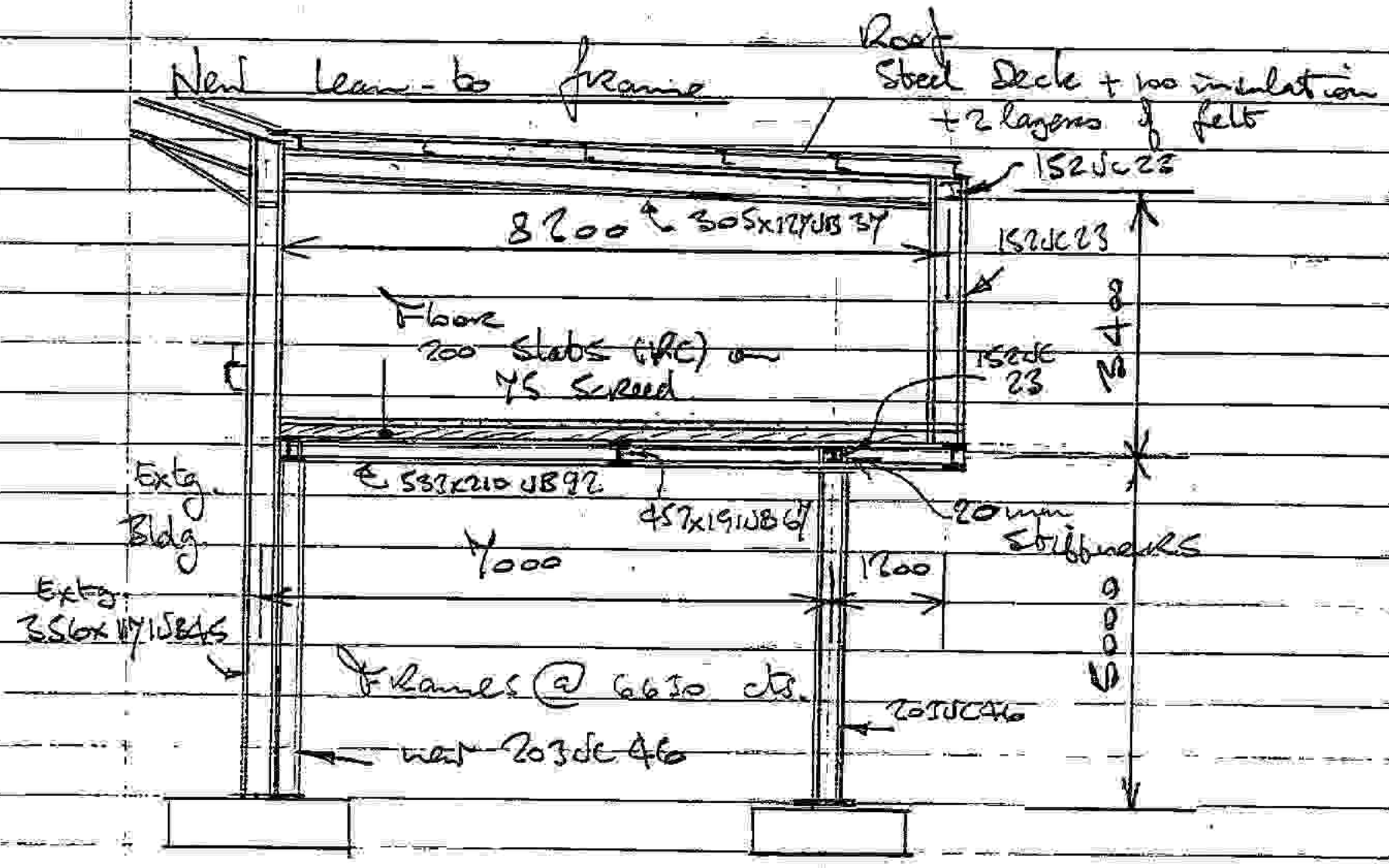
(Crane) $30.5 \left[1 + \frac{(6.63 - 1.75)}{6.63} \right] = 52.95 \text{ kN}$
 (Girders) $1.79 \times 3.00 = 5.37$

58.32 kN Say 56 kN

Horizontal $1.79 (30+6)/4 \times 0.1 = 1.6 \text{ kN}$



Crane Reactions

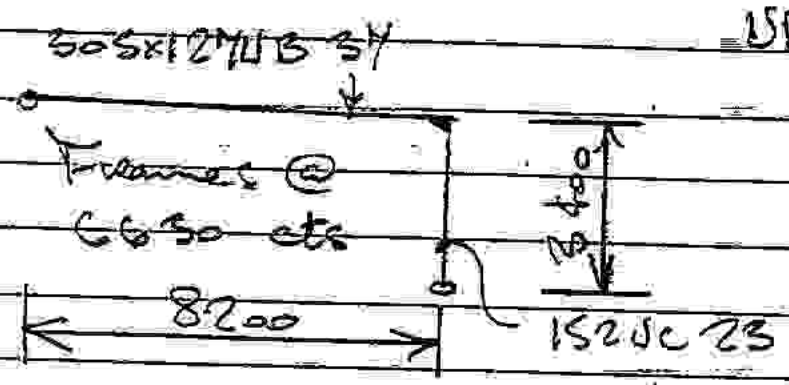


Typical Section (1:100)

Loadings

		-kN/m ²
Roof	Steel deck	0.15
	100 insulation	0.20
	+ 2 layers of felt	0.10
	+ purlins	0.10
	+ frame self wt.	0.15
		<u>0.70</u>
Live		0.75
		<u>1.45</u>
1st Floor	YS screed	1.80
	200 P/C units	3.15
	+ frame self	0.20
	finishes / services + partitions	1.10
		<u>6.25</u>
Live		3.00
		<u>9.25</u>

lean-to frame in Roof



$UDL = 1.45 \times 6.63 = 9.61 \text{ kN/m}$

$I_{\text{stair}} = 1263$
 $I_{\text{beam}} = 7162$

$\left. \begin{array}{l} I_{\text{stair}} = 1263 \\ I_{\text{beam}} = 7162 \end{array} \right\} \text{Dist. factor} = \frac{1263}{1263 + 7162} = 0.15$
 for col

Fixed End moment = $9.61 \times 8.2^2 / 8 = 80.77 \text{ kNm}$

Moment in stair = $0.15 (80.77) = 12.12 \text{ kNm}$

Moment in beam = $0.85 (80.77) = 68.65 \text{ kNm}$ (midspan) approx

Design of beam

slenderness OK on account of plastic Restraint

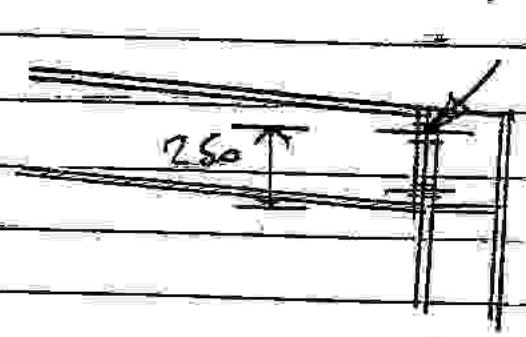
$Z_{\text{sect. reqd}} = 68.65 / 1.65$
 $= 416.1 \text{ cm}^3$

$Z_{\text{avail}} = 471.5 \text{ cm}^3$

⇒ Use

305 x 127 UB 37

Connection



20mm End Plate

$\text{Shear} = S_p U_L = S_p 9.61 \times 8.80$
 $= 52.98 \text{ kN}$

Tension force in 2 bolts = $12.12 / 2.5 = 48.48 \text{ kN}$
 force/bolt = 24.24 kN

Try 20mm φ bolts ⇒ stress = $\frac{24.2 \times 1000}{314.2} = 77.2 \text{ N/mm}^2$

Use 2/20mm dia bolts top
 & 2/20mm dia bolts bot for shear
 Cap. = 2 x 59 kN

Stair Reaction from Roof

$$= 9.61 \times 8.2/2 + 12.12/8.2 = 40.9 \text{ kN}$$

Design Moment = 12.12 kNm

eff. height = 3400, $D/T = 22.3$, $l/d_{yy} = \frac{3400}{36.8} = 92.4$

$$\Rightarrow P_{bc} = 165 \text{ N/mm}^2$$

$$P_c = 89 \text{ N/mm}^2$$

$$f_{bc} = \frac{M}{Z} = \frac{12.12}{1657} = 73.14 \text{ N/mm}^2$$

$$f_c = \frac{W}{A} = \frac{40.9}{2.98} = 13.72 \text{ N/mm}^2$$

$$\text{Ratio} = \frac{73.14}{165} + \frac{13.72}{89} = 0.6 (< 1.0)$$

\Rightarrow Use IS 20C 23 Stair 1st - Roof

First Floor

Secondary beams

Span = 6.63 m
 Spacing = 4.1 m, ODL = 9.25 kN/m²

Total load on 1 beam = $9.25 \times 6.63 \times 4.1$
 = 251.4 kN

P. 197
 Steel H' beam

Use 457 x 191 UB 67 Safe load = 259 kN

Main Beams (Floor - loads only)

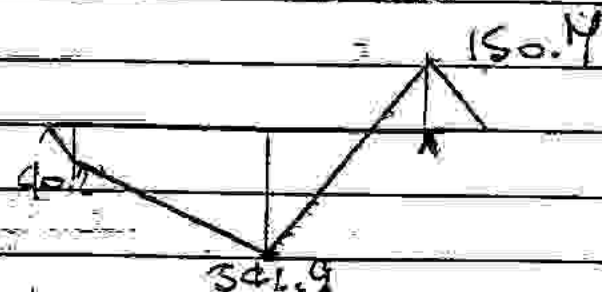
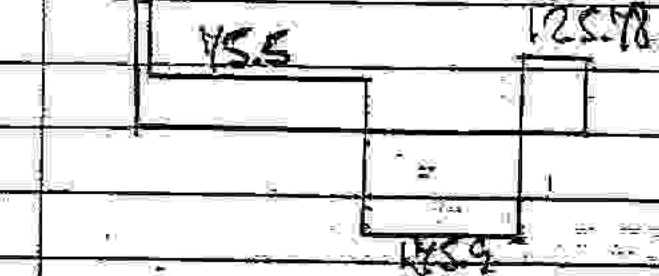
502.8 kN

$$R_2 = \left[\frac{251.4}{2} \times 2 + 251.4 \times 4.2 + \frac{251.4}{2} \times 8.2 \right] / 11$$

$$= 301.68 \text{ kN}$$

$$R_1 = 502.8 - 301.68$$

$$= 201.12 \text{ kN}$$



SF Diagram (kN)

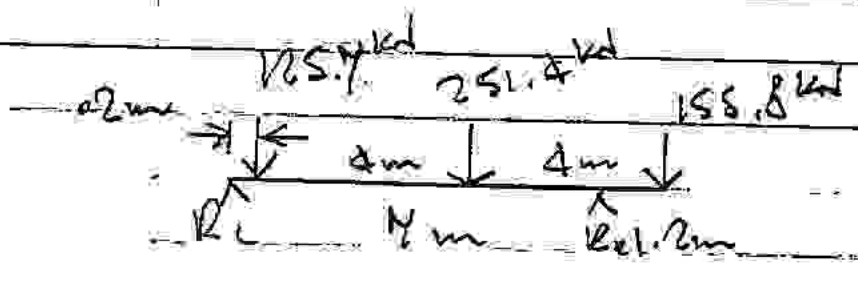
BM Diagram (kNm)

min load from roof = $52.98 \times \frac{0.7}{1.45}$
 = 25.6 kN

+ UDL from cladding $0.2 \text{ kN/m}^2 \times 3.4 \text{ m high} \times 6.63 \text{ m long}$
 = 4.5 kN

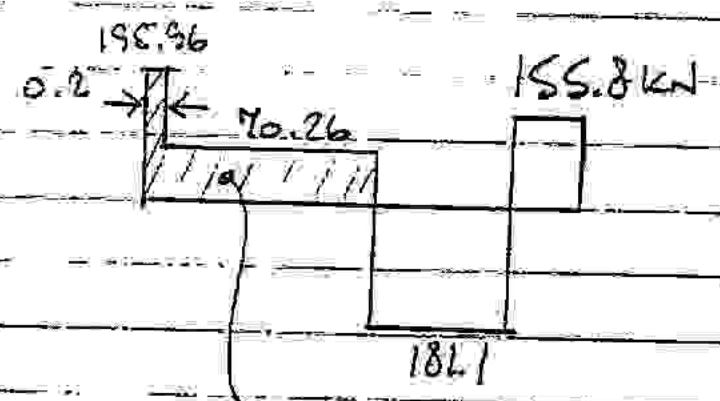
Total joint load from above 1st floor = 30.1 kN

Total load at end of cantilever = $30.1 + \frac{251.4}{2}$
 = 155.8 kN



$R_R = [125.7 \times 0.2 + 251.4 \times 4 + 155.8 \times 8.2] / 4$
 = 336.94 kN
 $R_L = (125.7 + 251.4 + 155.8) - 336.94$
 = 195.96 kN

Loading Diagram
 (for +M max.)



Design span $M_u = 320.23 \text{ kNm}$

$Z_{reqd} = 320.23 / 0.165$
 = 1940.8 cm^3

Area = 320.23 kNm

SF Diagram (kN)

Use	533 x 210 UB 92	$Z = 2076 \text{ cm}^3$
-----	-----------------	-------------------------

or 610 x 229 UB 101 $Z = 2515 \text{ cm}^3$
 depending on availability.

Check out Cantilever

Cantilever load = $155.8 + 52.98 \times \frac{0.25}{1.45}$ is full roof load.
 = 183.2 kN

take design cantilever span as 1.4m to allow for
 egress of setting out

Cantilever moment = 183.2×1.4
 $= 256.48 \text{ kNm}$

$\frac{D}{t} = 32.1$, $\frac{l}{r_y} = \frac{15(1400)}{45.1} = 47 (< 95)$
 $\Rightarrow p_{bc} = 165 \text{ N/mm}^2$

$\therefore Z_{reqd} = \frac{256.48}{165} = 1554 \text{ cm}^3$

$Z_{avail} = 2046 \text{ cm}^3$

\therefore Use $583 \times 210 \text{ UB } 92$ as cantilever

Stamps: 1st Floor

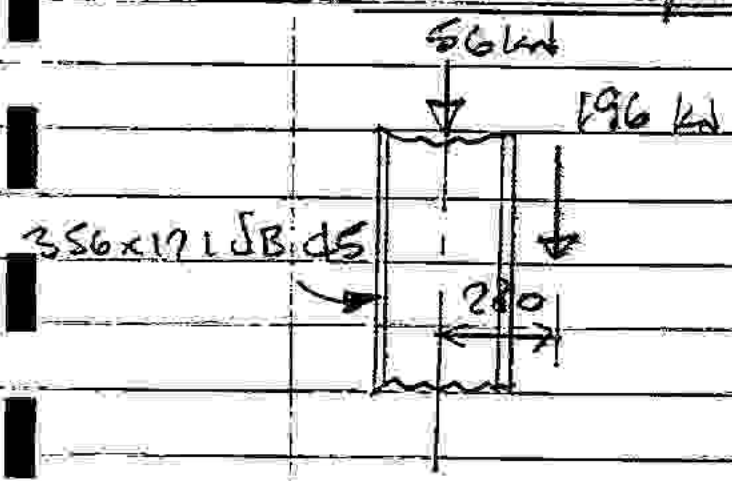
moments are nominal.

Max axial load = $336.94 + 52.98 \times \frac{0.75}{1.45}$
 $= 364.3 \text{ kN}$

eff. height = 5000

\therefore Use $203 \times 203 \text{ UC } 46$ Cap. = 481 kN ($> 364 \text{ kN}$)

Check capacity of extg. Stamp.



Eff. height ≈ 5000

$f_c = \frac{P}{A} = \frac{56 + 196}{5.7} = 44.2 \text{ N/mm}^2$

$f_{bc} = \frac{M}{Z} = \frac{196 \times 28}{6869} = 49.9 \text{ N/mm}^2$

$\frac{D}{t} = 36.2$, $\frac{l}{r_y} = \frac{5000}{27.1} = 13.2$

$\therefore p_c = 51 \text{ N/mm}^2$
 $p_{bc} = 120 \text{ N/mm}^2$

Ratio = $\frac{44.2}{51} + \frac{49.9}{120} = 1.53 \text{ N/mm}^2$
 > 1

Since Ratio > 1 , provide a neat 203 UC 46
Stems under next floor as shown on sketch
on p. 2.

$$\text{Capacity} = 481 \text{ kN}$$

Foundations - Net Bearing = 150 kN/m^2 (assumed)

$$\text{Axial load} = 364.3 \text{ kN}$$

Try $1800 \times 1800 \times 450$ thick found.

$$\text{Self wt. } 1.8^2 \times 0.45 \times 24 = 35.0 \text{ kN}$$

$$\begin{aligned} \text{Bearing Pressure} &= \frac{364.3 + 35}{1.8^2} \\ &= 123 \text{ kN/m}^2 \\ &\approx 1 \frac{1}{2} \text{ T/ft}^2 \end{aligned}$$

\therefore Bearing satisfactory.

$$\text{ult. Press.} \approx 1.5 \times 123 = 185 \text{ kN/m}^2$$

$$\text{overhang} = \frac{1800 - 300}{2} = 750$$

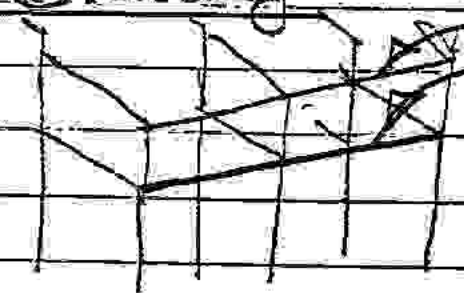
$$M = 185 \times 0.75^2 / 2 = 52 \text{ kNm}, d = 400, f_{cu} = 30$$

$$k_e = \frac{M}{bd^2 f_{cu}} = 0.11 \Rightarrow \beta/d = 0.95$$

$$A_s \text{ reqd} = \frac{52 \times 10^6}{400 \times 0.95 \times 400} = 342 \text{ mm}^2/\text{m}$$

Use T16 - 200 c/c 3tm Each way
 $A_s = 100 \text{ mm}^2/\text{m}$

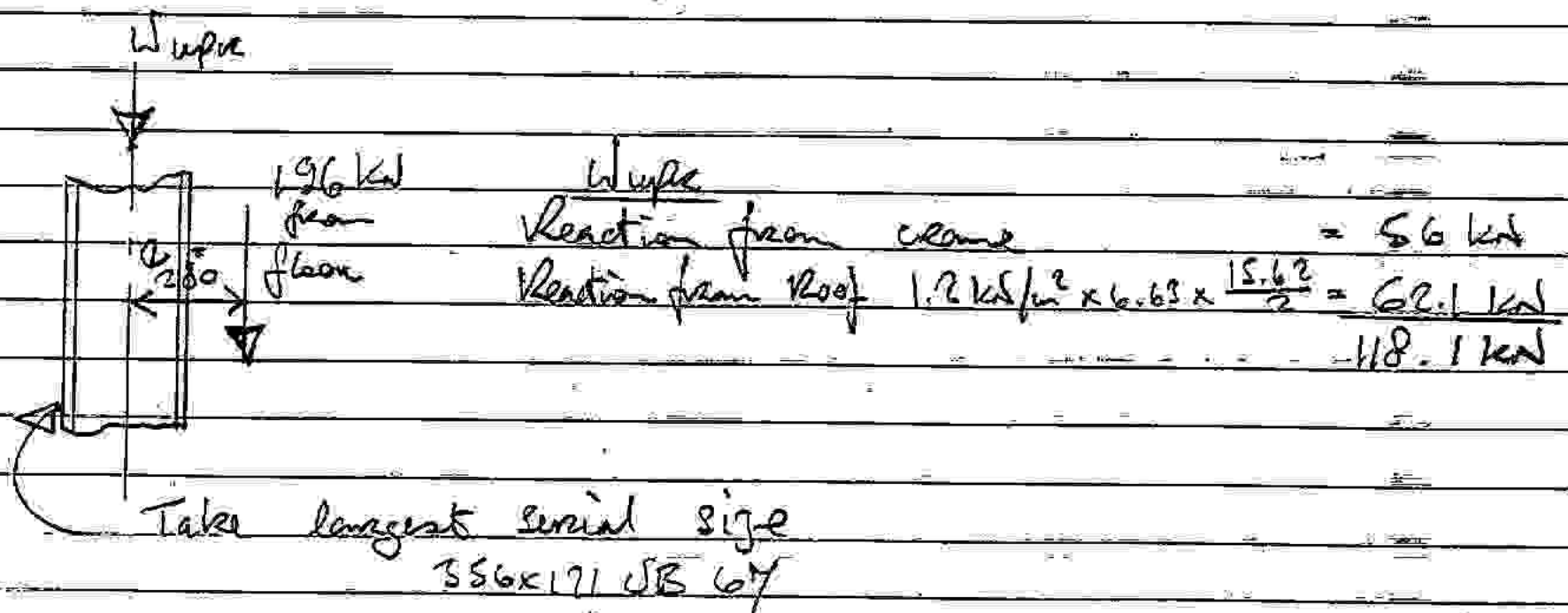
Bracing



Use Portal action longitudinally
Provide Gates beams on each next
level with 4 M20 bolts each connection
and use $l_p \text{ min} = 180$ as criterion
 $\text{Min reqd} = \frac{66 \times 30}{180} = 36.8 \text{ mm}$

\Rightarrow Use 152 UC 23 as long ties

Re-check Capacity of Exty Stairs See P. 6



Effective height = 4000

$$D/T = 23.2, \quad l/r_{yy} = 4000/39.9 = 100.25$$

$$\Rightarrow p_c = 79 \text{ N/mm}^2 \quad \left. \begin{array}{l} \\ \Rightarrow p_{bc} = 157 \text{ N/mm}^2 \end{array} \right\} \text{ allowable stresses.}$$

$$f_c = \frac{W}{A} = \frac{(118.1 + 196)}{8.59} = 36.78 \text{ N/mm}^2 \quad \left. \begin{array}{l} \\ f_{bc} = \frac{W_e}{A} = (196 \times 0.28)/1.073 = 51.15 \text{ N/mm}^2 \end{array} \right\} \text{ actual stresses.}$$

$$\text{Ratio} = \frac{f_c}{p_c} + \frac{f_{bc}}{p_{bc}} = \frac{36.78}{79} + \frac{51.15}{157} = 0.465 + 0.326 = 0.791 \quad (< 1.0)$$

\(\therefore\) Exty 356x171 UB 67 OK for additional load

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0471

Date : 2nd April 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : replace existing single storey factory offices with
new two storey office building

LOCATION : Ballymount Road Upper, Dublin 24.

APPLICANT : Dockrell Glass Distribution Ltd

APP. TYPE : PERMISSION

With reference to above, I acknowledge receipt of your application received
on 28th March 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

Wilfred M. Raftery, Architect,
St. Michael's,
1 Springfield Avenue,
Templeogue,
Dublin 6W.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building BALLYMOUNT ROAD UPPER, DUBLIN 24
(If none, give description sufficient to identify)

3. Name of applicant (Principal not Agent) DOCKRELL GLASS DISTRIBUTION LIMITED
Address BALLYMOUNT ROAD UPPER, DUBLIN 24 Tel. No. 500155

4. Name and address of person or firm responsible for preparation of drawings WILFRED W. RAFTERY ARISA ARCHITECT, ST. Michael's 1 Springfield Avenue, Templeogue, Dublin 6W Tel. No. 900514

5. Name and address to which notifications should be sent Above named architect

6. Brief description of proposed development Replace existing single storey factory offices with two storey office building

7. Method of drainage PUBLIC SEWERS 8. Source of Water Supply PUBLIC MAINS

9. In the case of any building or buildings to be retained on site, please state:
(a) Present use of each floor or use when last used INDUSTRIAL
(b) Proposed use of each floor INDUSTRIAL

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11.(a) Area of Site 5507 Sq. m.
(b) Floor area of proposed development 418 sq metres new less 160 sq metres demolished = 258 Sq. m. nett
(c) Floor area of buildings proposed to be retained within site 2942 Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD

13.Are you now applying also for an approval under the Building Bye Laws?
Yes No Place in appropriate box. A SEPARATE APPLICATION WILL BE LODGED

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
GENERALLY

15.List of documents enclosed with application
CO. DUBLIN Ballymount Road Upper Dublin 24 Dockrell Glass Distribution Ltd. seeks permission to replace existing single storey factory offices with new two storey office building. 2 copies (hand duplicates) Nos. R91/27 & 28, Outline Specification (all in Planning Notice from Irish Press dated 28/3/91)

16.Gross floor space of proposed development (See back) 258 Sq. m. nett
No of dwellings proposed (if any) — Class(es) of Development 4

Fee Payable £ — Basis of Calculation —
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) [Signature] Date 28/3/91

Application Type P
Register Reference 91A/0471
Amount Received £ 22/1
Receipt No —
Date —

FOR OFFICE USE ONLY
1.8.4



LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1:2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Ln. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.L.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (Improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls. For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ATHA CLIATH

PAID BY

DUBLIN COUNTY COUNCIL

CASH

CHEQUE

M.O.

B.L.

I.T.

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

Issue of this receipt is not an
acknowledgement that the fee
tendered is the prescribed application
fee. N-35014

£ 731.50

7th

day of

March

19 91

Received this

from

W. A. Doherty

1 Springfield Ave.

Templeogue

the sum of

seven hundred and thirty one

Pounds

Pence, being

two pence

fifty

pence application at Ballymount Rd.

M. O'Connell

Cashier

S. CAREY
Principal Officer

18/03/91

OUTLINE SPECIFICATION

March 1991

Two Storey Office Building to replace Existing Single Storey Factory Offices
at Ballymount Road Upper, Dublin 24 for
Dockrell Glass Distribution Ltd.

Wilfred M. Rattery ARIBA
Architect
St. Michael's
1 Springfield Avenue
Templeogue, Dublin 6W

Generally

The Developer is a successful manufacturing company in need of substantial extra office space.

The site area is limited and it is not feasible to erect new offices other than on the site of the existing ones.

The existing offices have got to remain in use until at least an equivalent area of new office is usable.

The design of the proposed building is therefore based on construction the first floor with stairs giving access to it before removing the existing building and completing the ground floor of the new building.

Foundations

Five reinforced concrete bases will be constructed to support steel stanchions which will support the new first floor, roof and cladding. The main steel beams of the first floor and roof framework will also be supported on the existing steel stanchions of the adjoining factory building.

Strip footings in reinforced concrete will be constructed later to carry a 9" solid concrete blockwork rising wall up to the new ground floor level.

Ground Floor

New ground floor shall have selected covering(s) on 3" screed of cement and sand on 25 mm high density expanded polystyrene insulation slabs on 6" reinforced concrete slab on consolidated hardcore built up in 6" layers.

Structural Steelwork

Structural steelwork to Consulting Engineers design shall consist of main steel stanchions to first floor level, main first floor beams spanning between these stanchions and those in existing factory; sub-beams between main beams carrying reinforced concrete first floor. Main beams outer ends shall cantilever and carry first floor stanchion at their ends.

First floor stanchions shall carry main roof beams also spanning

back to existing factory stanchions.

Root deck shall be carried on pressed galvanised steel purlins spanning between main roof beams which shall have fall for roof to drain to eaves gutter.

First Floor

First floor shall have selected covering(s) on 3" reinforced cement and sand screed on precast reinforced concrete cored units, Concast or equal, spanning between steel sub-beams.

Roof

Roof shall be covered with Parlin or equal polyester-based torched on waterproof membrane with painted on finish of reflective paint over 2 No. underlays of glass fibre based bitumen felt on 4" selected board insulation on bitumen felt vapour barrier on galvanised steel channel section deck spanning between galvanised pressed steel purlins.

Cladding

Exterior of building shall be clad with curtain walling consisting of box section aluminium framing with infilling of sealed double glazed units of green tinted glass and insulated metal panels. Exposed framing shall have a powder coating finish in green. Metal cladding panels shall have white powder coating finish externally.

Partitions

Internal partitions on both floors shall be non-loadbearing of 4 1/2" timber studing with Gyproc Fireline Board on both sides to give a minimum of 1/2 hour fire resistance rating or an additional period rating if required by the Chief Fire Officer.

Ceilings

Both floors shall have mineral fibre acoustic tile ceilings on metal suspended grids.

Internal Doors

Internal doors shall be selected hardwood veneered flush doors in rebated hardwood frames trimmed with hardwood architraves. All doors opening on to circulation spaces shall be of 1/2 hour fire resistance rating and be fitted with approved self closing devices.

Stairs

Stairs shall be framed in box section steelwork with steel balustrades to detail. Treads shall be built up in plywood edged in hardwood to take insets of selected floor covering. Handrails shall be in hardwood.

Plumbing

Existing water supply from public main shall be modified to provide $\frac{3}{4}$ " rising main to new coldwater storage tanks in tank enclosure on roof of new building. Tanks shall be galvanized steel or glass fibre reinforced plastic to capacity required by Water Department. They shall be fed through suitable pressure brass ball valve and have 1" overflow pipe discharging externally.

Water service pipes shall be in copper with brass compression fittings. They shall be generally lagged.

From the rising main $\frac{1}{2}$ " drinking supplies shall be taken to canteen kitchen and drinking fountains in selected locations on each floor. $1\frac{1}{8}$ " main cold supply from tank shall branch in $\frac{1}{2}$ " to each W.C. and washbasin and urinal.

Hot water supply shall be from insulated domed and tested 40 gallon copper cylinder in selected location fed from storage tanks with 1" cold supply, having 1" expansion carried up over tanks and turned down 1" main hot supply from expansion shall branch in $\frac{1}{2}$ " to sink and each W.H.B.

Wastes and soil pipes shall be in P.V.C. $1\frac{1}{2}$ " & $1\frac{1}{4}$ " wastes from each W.H.B. & sink shall run to 4" P.V.C. waste stack with vent. Stack shall discharge over gully. W.C.s shall connect to 4" soil stack with vent, $1\frac{1}{2}$ " wastes from urinals shall connect to soil stack. Soil pipes shall connect directly to drain upstand. Vents shall be carried up floored where they pass through the roof and be fitted with cowls. Sanitary fittings shall be of white vitreous china with C.P. fittings.

Electrical

Electrical installation shall provide lighting, service socket outlets, space heating, waterheating and ventilation.

Wiring shall be in PVC/PVC wiring, all concealed with plastic conduit used as appropriate.

Electrical work shall comply in all respects with I.E.E. Regulations and satisfy E.S.B. requirements.

Protection of Steelwork

Main new steel stanchions and existing stanchions in factory used to support new building shall be cased in concrete to give a minimum of 2" cover.

Other structural steelwork will be protected with Gyproc fireline board encasements using frameworks of lightweight galvanized steel to meet chief fire officers requirements.

Drainage

Final drainage layout shall be determined when existing drainage in vicinity of proposed building has been exposed. Rainwater from roof shall be run to existing surface water drain within site. Foul drainage shall be run to existing foul drain within site.

Drains shall be in 6" & 4" hard PVC pipes jointed with hard PVC.

patent collar connectors incorporating rubber rings. Drains shall be laid to suitable falls on concrete beds and be haunched with concrete to half their diameter. A drain under building shall be cased all round with concrete to give 6" min. cover. Where drains pass through or under walls and foundations these shall be suitably bridged over them.

Gullies and junctions shall be PVC bedded and cased with 6" concrete cover.

Manholes shall have 6" concrete floors, 9" solid blockwork walls, plastered internally with waterproofer cement plaster, 6" R.C. top slabs with inset C.I. covers and frames of suitable weight for the traffic to which they will be subjected. PVC channels with all necessary branches shall be haunched to sides of chamber with concrete @ 45°.

Entrance, Boundary Railing & Tree Planting New entrance to the developers site with railing and dwarf wall to front boundary will be an integral part of the proposed development but will be the subject of a separate Planning Application in the very near future.