

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF:

91A470

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
BELGARD H + P <u>20/6/91</u> —	Decision noted by Cllr Jiffey Said works ongoing on site despite appeal period not being up D.D to arrange Ply Office to meet local 102 Residents		

Mr. A. Hinchy,

Senior Executive Draughtsman/Technician

RE: 90A/1749 + 91A/0470

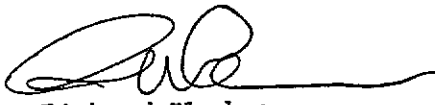
4 industrial units at Greenhills Industrial Estate

REG. REF.: 90A/1749

RE: LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) (FEES AND AMENDMENT)
REGULATIONS, 1983 - ARTICLE 6.1

A reduced fee (i.e. 1/2) has been paid in respect of the above application.
Please confirm this is the correct fee under Article 6.1 of the Local
Government (Planning and Development) (Fees and Amendment) Regulations, 1983.
File Reg. Ref.: 90A/1749 on which a full fee was paid is attached.

91A/470



Richard Whelan,
Staff Officer,
Registry Section.

Mr. R. Whelan,
Registry Section.

*No alteration to overall site. This application
is to change Block C, which originally had 4 units,
to 14 units in the latest proposal.*

*J.Y.
10/4/91*

A. Hinchy,
Senior Executive Draughtsman/Technician

BYE LAW APPLICATION FEES

REF. NO.: 91A/470 CERTIFICATE NO.: 14993

PROPOSAL: 12 industrial/warehouse units

LOCATION: Greenhills Ind. Est.

APPLICANT: Dendonald Const. Ltd.

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55					
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for ^{1890m²} office or other comm. purpose <i>See 24740</i>	@ £3.50 per M ² or £70	<i>£6615</i>	<i>£6615</i>	<i>-</i>		
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: M. Deane Grade: III Date: 17/5/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1962

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

FILE REF:

9, A 470

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
BELGARD H+P <u>23/4/91</u> <u> </u>	Noted by Cllr M Lyndal		



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0470

Date : 10th April 1991

Dear Sir/Madam,

Development : Revisions to part of already approved development of industrial units viz replacement of the 4 units in Block C with 14 smaller units, associated internal alterations and revisions to parking layout

LOCATION : Greenhills Industrial Estate, Greenhills Road

Applicant : Dundonald Construction Ltd

App. Type : PERMISSION

Date Recd : 28th March 1991

Your application in relation to the above was submitted with a fee of £826.88 .

On examination of the plans submitted it would appear that the appropriate amount should be £3307.50.

I should be obliged if you would submit the balance of £2480.62 as soon as possible as a decision cannot be made on this application until the correct fee is received.

Yours faithfully,

.....
PRINCIPAL OFFICER

Lorcan Greene & Associates,
5 Thormanby Road,
Howth,
Co. Dublin.

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: 91A/471

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL: 20,345 FT²

MEASURED BY:

J.Y.
9/4/91

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

Contributions
as at 90A/4749

DEVELOPMENT CONTROL ASSISTANT GRADE

J.Y.
23/11/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

PL. 6/5/86072

CN - 707 1/1

P/433/92

AN BORD PLEANÁLA

FINANCIAL CONTRIBUTION :-	
AMOUNT € 20,820	
F	<i>heads</i>

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/470

APPEAL by Paul Phelan and others care of 12 Tymon North Lawn, Tallaght, Dublin against the decision made on the 11th day of June, 1991 by the Council of the County of Dublin to grant subject to conditions a permission to Dundonald Construction Limited care of Lorcan Green and Associates of 5 Thormanby Road, Howth, County Dublin for development comprising revisions to part of already approved development of industrial units consisting of replacement of the 4 units in Block C with 14 smaller units, associated internal alterations and revisions to parking layout at Greenhills Industrial Estate, Greenhills Road, Tallaght, Dublin in accordance with plans and particulars lodged with the said Council:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, it is hereby decided, for the reason set out in the First Schedule hereto, to grant permission for the said development in accordance with the said plans and particulars, subject to the conditions specified in the Second Schedule hereto, the reasons for the imposition of the said conditions being as set out in the said Second Schedule and the said permission is hereby granted subject to the said conditions.

FIRST SCHEDULE

It is considered that, subject to compliance with the conditions set out in the Second Schedule hereto, the proposed development would accord with the proper planning and development of the area.

SECOND SCHEDULE

1. The water supply and drainage arrangements associated with the proposed development, including the disposal of all surface water arising on the site, shall accord with the detailed requirements of the planning authority for such services and works.

Reason: In the interest of orderly development and public health.

2. Development of the site on foot of this grant of permission shall include landscaping of the site and the carrying out of planting along the boundaries of the site all in accordance with a landscaping and planting scheme which shall be submitted to the planning authority by the developer prior to the commencement of development and shall be as agreed upon between the planning authority and the developer or, in default of agreement, shall be as determined by An Bord Pleanála. The said scheme shall include, inter alia, a programme for the implementation of the scheme.

Reason: In the interest of orderly development and the visual amenities of the area.

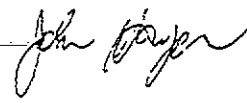
Record of Executive Business and Manager's Orders

PL 6/5/86072

SECOND SCHEDULE (CONTD.)

3. The developer shall pay a sum of money to Dublin County Council as a contribution towards the expenditure that has been incurred by the said Council in the provision of water supplies and sewerage facilities that have facilitated the proposed development. The amount of the contribution and the arrangements for payment of the contribution shall be as agreed upon between the developer and the Council or, in default of agreement, shall be as determined by An Bord Pleanála.

Reason: It is considered reasonable that the developer should contribute towards the expenditure that has been incurred by the Council in the provision of services that have facilitated the proposed development.



Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this 5th day of December 1991.

Contd/....

COMHAIRLE CHONTAE ÁTHA CLIATH

214

Record of Executive Business and Manager's Orders

- 3 -

PL 6/5/86072

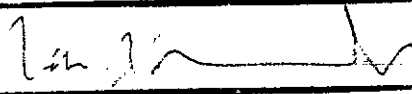
AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/470

With regard to condition no. 3 the financial contribution towards the cost of providing a public water and piped draining is assessed at £20,800.

Order Noted: <u>L.D.</u>	
Dated: <u>27 JAN 92</u>	<u>ASST. COUNTY MANAGER</u>
to whom the appropriate powers have been delegated by order of the Dublin C., and County Manager.	
Dated <u>10th</u> day of <u>DECEMBER</u> 19 <u>91</u>	

An Bord Pleanála,
Floor 3,
Blocks 6 & 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Our Ref: 91A/0470

Your Ref: PL6/5/86072

Date: 27 September 1991

RE: Proposed revisions to part of already approved development of industrial units at Greenhills Industrial Estate, Greenhills Road, viz replacement of the 4 units in Block C with 14 Smaller units, associated internal alterations and revisions to parking layout for Dundonald Construction Ltd.

Dear Sir/Madam,

I refer to your letter dated 29th July, 1991, enclosing correspondence regarding the above appeal.

It is considered that the grounds of appeal do not raise any new matter which in the opinion of the Planning Authority would justify a change of attitude to the proposed development. The points raised have been dealt with in the Planning Authority's decision order dated 11th June, 1991.

Yours faithfully,

for Principal Officer.

decision made

COMHAIRLE CHONTAE ATHA CLIATH

TO: G. Boothman,
Executive Planner

REG. REF. 91A/0470

RE: Proposed revisions to part of already approved development of industrial units at Greenhills Industrial Estate, Greenhills Road viz replacement of the 4 units in Block C with 14 smaller units, associated internal alterations and revisions to parking layout for Dundonald Construction Ltd.

I attach for your observations memo/letter dated 29th July, 1991 from An Bord Pleanala.

Please reply before: 3 Sept. 91

S. McWilliam
for Principal Officer

DATED: 19 August 1991

OBSERVATIONS:

No further comment.

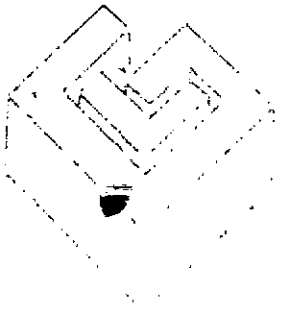
Decision made

Signature of person making observations: G. Boothman

Countersigned: R. Cronin SEP
(S.E.D.C.)

DATE: 10/9/91

DATE: 25.5.91



AK

14/6

12th. June 1991.

Planning Department,
Dublin County Council,
Block 2, Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

Re: Revisions to part of already approved development of industrial units at Greenhills Industrial Estate, Greenhills Road, Dublin 24 for Dundonald Construction. Reg. Ref. 91A/0470.

Dear Sirs,

A Decision to Grant Permission for the above was made on the 11th. inst.

It is my opinion that the conditions of Article 10 of the Local Government (Planning and Development) (Fees) Regulations, 1984, are complied with in this case and I now wish to request a refund of three quarters of the Planning Application Fee paid, amounting to £2,480.62.

Yours sincerely,

Lorcan Greene, B. Arch., MRIAI.

13 JUN 91

P/3212/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

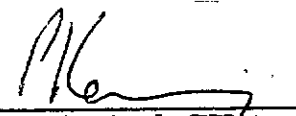
REFUND OF FEE IN CASE OF CERTAIN REPEAT APPLICATIONS

A Planning Application No. 90A/1749 for Light Industrial Warehouse Development at Greenhills Industrial Estate, Tallaght was received on the 1/10/90. The applicant was Dundonald Construction Ltd a fee of £9,618 was paid (5,496 metres @ £1.75 per square metres) and Receipt No. N22063 issued. On the 28/3/91 permission was granted for this development.

A second Planning Application on part of the same site (Block C) was made by Dundonald Construction Ltd on the 28/3/91 - Reg.Ref. No. 91A/0470. A fee of £3,307.50 was paid (1,890 metres @ £1.75 per metre Receipt Numbers N39727 & N35015 issued. A decision to grant permission was made on the second application on the 11/6/91.

A letter was received on the 13/6/91 from Lorcan Greene & Associates Architects (agents for the applicant) claiming a refund.

As this claim complies with Article 10 of the Local Government (Planning and Development)(Fees) Regulations 1984, I recommend that a refund of £2,480.62 be made to Dundonald Construction & Development Ltd., c/o Lorcan Greene & Associates, 5 Thormanby Road, Howth, Co. Dublin.


for Principal Officer

10. *Zw* ORDER; That a refund of £2,480.62 be paid to Dundonald Construction & Development Ltd

Dated; 10 July 1991.


ASSISTANT CITY AND COUNTY MANAGER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 8/7/91.

John Tunney
Mr. Jack Finucane,

Acting Draughtsman/Technician Grade 1
.....

I attach, herewith, files Reg.Ref.'s *90A/1349* & *91A/0470*

Please let me know if ~~Building Bye-Law~~ *Plenary* Application Reg.Ref. *91A/0470*

relates: (a) to development of the same character or description as the
development to which the earlier application related, and

(b) relates to land substantially consisting of the site or part
of the site to which the earlier application related.

*(a) Revision of Block "C" from 4 Units 90A/1349
15 14 Units 91A/470*

(b) Yes.

J.Y. 8/7/91.

ARTICLES 7,8,9, - LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT)(FEES AND AMENDMENT)
REGULATIONS, 1983

REFUND OF FEE IN CASE OF CERTAIN REPEAT APPLICATION

RE: warehouse developments at Greenhills Industrial Estate

REG.REF.: 90A/1749

A Claim for a refund under the above regulations has been made in respect of the above Planning Application. Please let me have your report on question 4 as listed below.

Files Reg.Ref. 90A/1749 91A/0470 are attached.

1. Date of decision 11/6/91
2. Date of claim for refund received: 13/6/91
3. Is second application made by or on behalf of the same applicant : Yes
4. Does it relate to development of the same character or description:-
see attached sheet
5. Date of withdrawal or determination of first application:-
6. Fee paid on first application:-

0767 VI

Order No. P/²¹⁰⁰~~2071~~/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

CONTRIBUTION:	
Standard	20,820
Roads	29,900
S Sers:	
Open Space:	
Other:	
SECURITY:	
Bond / C.I.F.:	
Cash:	

Proposed revisions to part of already approved development of industrial units at Greenhills Industrial Estate, Greenhills Road viz: replacement of the 4 units in Block C with 14 smaller units, associated internal alterations and revisions to parking layout for Dundonald Construction Ltd.

Lorcan Greene & Associates,
5, Thormanby Road,
Howth,
Co. Dublin.

Reg. Ref. 91A-0470
App. Recd: 28.03.1991
Floor Area: 1,890 sq. m.
Site Area: 12,950 sq. m.
Zoning:

Fee paid. - 24.05.91

Report of the Dublin Planning Officer, dated 21 May 1991

This is an application for PERMISSION for revisions to already approved block at Greenhills Industrial Estate. The proposal is to revise Block C, replacing four light industrial warehouse units with 14 smaller units. The site area is stated to be 12,950 sq. m. The floor area of development proposed is 1,890 sq. m.

By decision order no. P/698/90, Reg. Ref. 90A-1749, planning permission was granted for 14 terraced light industrial/warehouse units at Greenhills Industrial Estate subject to 15 conditions. The proposal under consideration affects block C of this development. This backs onto the reservation for the proposed bus way.

I note that the elevations which have been submitted under Drawing No. 91/01/05 have mistakenly referred to the south elevation as the north elevation and the north elevation as the south, i.e. the windows of the proposed first floor level will face north.

In support of the application the agent for the applicant states that because of a reduction of floor space in the proposed development, car parking has been reduced by 5 spaces. There is no planning objection to the proposed development.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (7) conditions:-

(Continued)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revisions to part of already approved development of industrial units at Greenhills Industrial Estate, Greenhills Road viz replacement of the 4 units in Block C with 14 smaller units associated internal alterations and revisions to parking layout for Dundonald Construction Ltd.

CONDITIONS

REASONS FOR CONDITIONS

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

2. In order to comply with the Sanitary Services Acts, 1878-1964.

3. That before any development commences on site, revised drawings of the elevations ~~are~~ submitted which show *OR CORRECT* orientation for the elevations.

3. In the interest of the proper planning and development of the area.

16 and 9 to
4. The development shall be carried out in conformity with Conditions Nos. 3 to 13 inclusive of the decision to grant permission by Order No. P/698/90, dated 14th February, 1991, Reg. Ref. 90A-1749, save as amended to conform with the revisions indicated in the plans lodged with Dublin County Council in connection with this application.

4. In the interest of the proper planning and development of the area.

5. That ~~the~~ ^{be} arrangements made for the payment of the financial contribution in the sum of £20,820 in respect of the overall development required by Condition No. 14 of planning permission granted under Reg. Ref. 90A-1749 ~~be strictly adhered to in respect of the above proposal~~ *be arrangements*

5. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

to be made prior to be consent of Council
proposed

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revisions to part of already approved development of industrial units at Greenhills Industrial Estate, Greenhills Road viz replacement of the 4 units in Block C with 14 smaller units associated internal alterations and revisions to parking layout for Dundonald Construction Ltd.

CONDITIONS

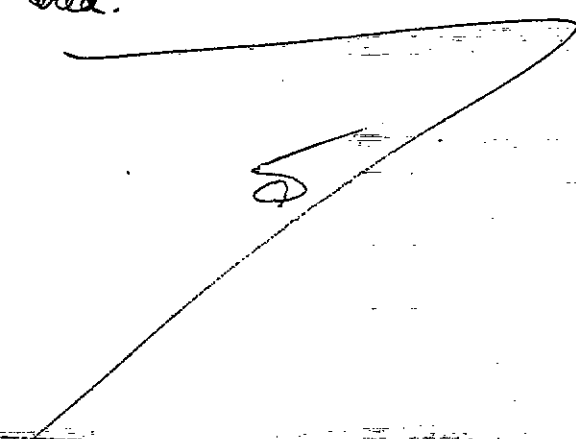
REASONS FOR CONDITIONS

6. That ~~the~~ ^{be} arrangements made for the payment of the financial contribution in the sum of £29,900 in respect of the overall development required by Condition No. 15 of planning permission granted under Reg. Ref. 90A-1749 ~~be strictly adhered to in respect of the above proposal.~~ *to be made prior to the commencement of this proposal*

6. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

7. Applicant to submit a detailed landscaping scheme for the entire site to the Planning Authority for written agreement, prior to commencement of development. This scheme must include a timescale for the carrying out of the necessary works and it must incorporate dense planting all along the south-east boundary of the site i.e. between Block C and the busway reservation. No storage to take place in this area.

In the interest of visual amenity.



COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revisions to part of already approved development of industrial units at Greenhills Industrial Estate, Greenhills Road viz replacement of the 4 units in Block C with 14 smaller units associated internal alterations and revisions to parking layout for Dundonald Construction Ltd.

(Continued)

MD
(MD/DK)

Endorsed:- *[Signature]*
for Principal Officer

Richard Canning SEP
For Dublin Planning Officer
22.5.91

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to GRANT PERMISSION for the above proposal subject to the (7) conditions set out above is hereby made.

Dated: ~~May~~, 1991.
11 June

K.O. Sullivan
ASSISTANT CITY & COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 26 April, 1991.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revisions to part of already approved development of industrial units at Greenhills Industrial Estate, Greenhills Road viz replacement of the 4 units in Block C with 14 smaller units associated internal alterations and revisions to parking layout for Dundonald Construction Ltd.

Lorcan Greene & Associates,
5, Thormanby Road,
Howth,
Co. Dublin.

Reg. Ref. 91A-0470
Appl. Rec'd: 28.03.1991
Floor Area: 1,890 sq. m.
Site Area: 12,950 sq. m.
Zoning:

Report of the Dublin Planning Officer, dated 24 May 1991

This is an application for PERMISSION for proposed revisions to part of already approved development of industrial units at Greenhills Industrial Estate, Greenhills Road viz replacement of the 4 units in Block C with 14 smaller units; associated internal alterations and revisions to parking layout for Dundonald Construction Ltd.

In accordance with Section 10(a) of the Local Government (Planning and Development) Act, 1982, it is not proposed to determine this planning application as the correct prescribed fee in respect of this planning application has not been submitted to the Planning Authority.

Accordingly, I recommend that no decision be made on this planning application.

Applicant to be informed accordingly.

PK
Endorsed:- [Signature]
for Principal Officer

Order:- NOTED.

Dated: 24 May, 1991.

[Signature]
ASSISTANT CITY AND COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 26th April, 1990.

NOTE: I have carried out the necessary check and confirm that the required fee has not been paid in full/~~the full fee was not paid until~~

[Signature]
STAFF OFFICER

Fax.

Lorcan Greene & Associates,
5 Thormanby Road,
Howth,
Co. Dublin

RW/GC

21/5/91

Re; Replacement of 4 units in Block C with 14 smaller units at Greenhills Industrial
for Dundonald Construction Ltd. Reg.Ref. 91A/0470

Dear Sirs,

I refer to your letter dated 24/4/91 claiming a reduced fee in respect of the above application. Article 9 of the Local Government Planning and Development Fees Regulations 1984 provides that a reduced fee is payable in respect of an application which relates to Development which differs from development authorised by a previous permission by reason only of the modification of the design or the external appearance of a building. Any increase or decrease in floor area renders an application ineligible for payment of reduced fees. This being the case the balance of fee in the sum of £2,480.62 is still outstanding on the above application.

As the statutory 2-month period within which the planning authority must make a decision will not begin to run until the correct fee has been paid it is important that you submit the balance of fee immediately.

Yours faithfully,



for PRINCIPAL OFFICER


Mr. A. Hinchy,
Senior Executive Draughtsman/Technician

RE: 14 Industrial units - at Greenhills Industrial
Estate, Greenhills Road

REG. REF.: 91A/0470

RE: LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) (FEES AND AMENDMENT)
REGULATIONS, 1983 - ARTICLE 6.1

A reduced fee (i.e. $\frac{1}{2}$) has been paid in respect of the above application.
Please confirm this is the correct fee under Article 6.1 of the Local
Government (Planning and Development) (Fees and Amendment) Regulations, 1983.
File Reg. Ref.: 90A/1749 on which a full fee was paid is attached.


Richard Whelan,
Staff Officer,
Registry Section.

Mr. R. Whelan,
Registry Section.

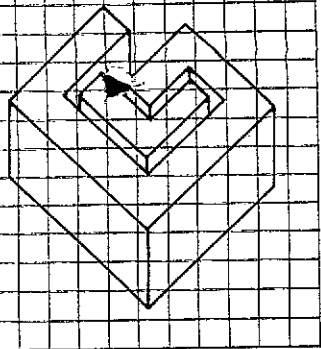
John Can you give measurement of difference
in area if any between these two
applications


Dick

Area of 91A/470 :- 1890^m
" " 90A/1749 :- 2008^m

J. S.
14/5/81

A. Hinchy,
Senior Executive Draughtsman/Technician



LORCAN GREENE
& ASSOCIATES
ARCHITECTS

Registry Section,
Planning Department,
Dublin County Council,
Block 2, Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

PR.
3/5
24th. April 1991,

02 MAY 91

Re: Revisions to part of already approved development of industrial units at Greenhills Industrial Estate, Greenhills Road, Dublin 24 for Dundonald Construction. Reg. Ref. 91A/0470.

Dear Sirs,

I refer to your letter of the 10th. inst. requesting payment of additional sum of £2,480.62 as part of the Planning Application Fee for the above.

As stated in our letter of application dated 28th. March 1991 a reduced fee was "tendered in accordance with Article 9 of the Local Government (Planning and Development) (Fees) Regulations, 1984, being one-quarter of the fee otherwise payable, as follows:

Gross floor area of building: $1,890m^2 \times £1.75 = £3,307.50$
25% = £826.88 "

I would be obliged if you would inform me under what part of the above mentioned Regulations your request for additional payment is based.

Yours sincerely,

Lorcan Greene, B. Arch., MR.I.A.I.

5 THORMANBY ROAD
HOWTH, CO. DUBLIN
TEL: (01) 322826

MD

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT
 Date ... 27/05/91 ...
 Time ... 9.30 A.M. ...



Bosca 174
 P. O. Box 174
 5 Rae Gardiner,
 5 Gardiner Row,
 Baile Atha Cliath 1.
 Dublin 1.
 Telephone. (01)727777
 Fax. (01)727530

Mr. D. Drumgoole,
 Senior Administrative Officer,
 Planning Department,
 Dublin County Council.

Our Ref. PP 615
 Your Ref.
 Date 25/4/1991

RE: Industrial Development at Greenhills Industrial Estate. Reg. Ref. 91A/0470

With reference to this application, the Parks Department's comments are;

As outlined in the previous Parks Department report dated 4th February 1991 as per Reg. Ref. 90A/1749, the lands subject of this application are located in close proximity to a major unit of public open space at Greenhills. As detailed in the previous application virtually no technical information has been submitted concerning the landscaping treatment of the industrial complex. This current application is for an intensification of development at Block C which is the most visually sensitive area of the site and the Parks Department are very concerned about the total lack of any proposals for site landscaping as per drawing No. 91/01/02 dated March 91. As outlined in the previous Parks Department report it is considered essential that the impact of this industrial development is ameliorated by a comprehensive scheme of landscape works. In order to ensure that this industrial development does not result in a further example of industrial blight it is essential that the applicants are required to submit and agree a detailed landscape plan for the entire site prior to the commencement of any development. Condition No. 8 which was drafted as per Reg. Ref. 90A/1749 is unsatisfactory and effectively means that the developer could leave the estate landscaping uncompleted for a considerable period of time. It is essential that the landscop works are carried out as a priority on this site and that the applicants are required to agree a suitable timescale with the County Council prior to the commencement of development, in compliance with any grant of permission.

[Signature]
 SENIOR PARKS SUPERINTENDENT

COMHAIRLE CHONTAE ATHA CLIATH

Record of Executive Business and Manager's Orders

CONTG

CONTRIBUTION
Standard: 24,8
Roads: 29,9
S. Sars:
Open Space:
Other:
SECURITY:
Bond / C.I.F.:
Cash:

Proposed 14 terraced light industrial/warehouse units at Greenhills Industrial Estate, Greenhills Road, Tallaght for Dundonald Construction Ltd.

Lorcan Greene & Associates,
5, Thormanby Road,
Howth,
Co. Dublin.

Reg. Ref: 90A-1749
Appl. Rec'd: 01.10.1990
Floor Area: 5,496 sq. m.
Add. Info. Rec'd: 17/12/90

Report of the Dublin Planning Officer, dated 12 February 1991.

This is an application for PERMISSION for proposed 14 terraced light industrial/warehouse units at Greenhills Industrial Estate, Greenhills Road, Tallaght. The proposal is in three blocks 3, 7 and 4 units in each block. The site is roughly triangular and green field. The north/eastern boundary in adjacent to the rear garden of Tymon Lawns. The line of the reservation for the proposed busway forms the south eastern boundary, the existing industrial estate bounds to the west. The proposal has an access road way from the existing estate road along the east of the site - this coincides with the height of overhead cabling. The three blocks of units run approx. NE-SW with 3 access routes. There is a 2 m. pathway to NE boundary which is a proposed pedestrian route. The units are 7.6 m. in height and are located in a staggered fashion from 3.5 m. - 5.00 m. from the rear gardens of existing houses. A 2 m. high chainlink/palisade fence is proposed for the boundary with the proposed busway, it is proposed to retain the existing palisade fence to the west. No boundary treatment is indicated along the pedestrian route. The units area finished in metal cladding in wedgewood blue or goosewing grey with fenestration on the north west corners, aluminium windows are proposed in plastisol coated pressed metal. No windows are proposed to the east elevation (which faces the residential area). A small security building is also proposed at the access point.

By decision order PA/1637/83, permission was granted subject to 16 conditions for 28 advance factory units at this location. (This proposal was 4,765 sq. m.) The roadway accessing to the units was to the north east. The pedestrian route was conditioned to be min. 2 m. (Reg. Ref. YA 427 refers)

By decision order PL 6/5/51355, An Bord Pleanála granted permission for 19 light industrial units on the site of the current application and additional lands to the south subject to 10 conditions (Reg. Ref. TA 1244).

By decision order PA/1840/80 permission was granted for 14 units subject to 14 conditions on the site of the current application (Reg. Ref. TA 1245).

Contd....

COMHAIRLE CHONTAE ATHA CLIATH

Record of Executive Business and Manager's Orders

Proposed 14 terraced light industrial/warehouse units at Greenhills Industrial Estate, Greenhills Road, Tallacht for Dundonald Construction Ltd.

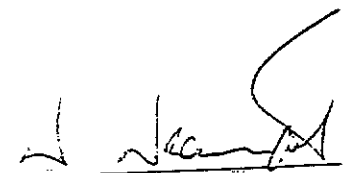
A vehicular access with gates is shown onto the proposed busway - ~~an~~ adjacent greenfield lands. This access would only be permitted until the busway is constructed.


The developer proposes to manage the estate by a Management Company.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (15) conditions:-

CONDITIONS ATTACHED.

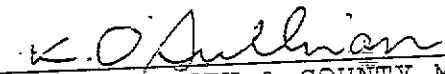
(MD/SMcM)

Endorsed: 
for Principal Officer


For Dublin Planning Office
13 2 91

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to GRANT PERMISSION for the above proposal subject to the (15) conditions set out above is hereby made.

Dated: 14 February, 1991.


ASSISTANT CITY & COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of Dublin City and County Manager, dated 11th February, 1991.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed 14 terraced light industrial/warehouse units at Greenhills Industrial Estate, Greenhills Road, Tallaght for Dundonald Construction Ltd.

By decision order P/832/79 permission was granted for 11 industrial units in 2 blocks. (Reg. Ref. RA 2150).

Current application, Reg. Ref. 90A/2309, relates to the adjacent site to the south west.

ADDITIONAL INFORMATION was requested from the applicant with regard to the following:-

1. The site is located adjacent to the rear gardens of dwellings. The proposed units by reason of their height and proximity to this rear boundary would cause serious residential disamenity by overshadowing. The applicant is requested to state if he is prepared to redesign or relocate units in order to alleviate the overshadowing.
2. There are proposed units located within 5 m. of public sewers. The applicant is requested to modify the layout or to indicate diversion of the sewers to ensure integration of sewers and building to required standards.
3. Applicant is requested to consult with the Area Engineer (Phone 576784) regarding watermain layout; a 250 mm. watermain traverses this site and requires relocation.
4. The applicant is requested to include in future submission details of lighting and security along the proposed pedestrian route.

Additional information was received on 17th December, 1990. The site layout has been revised to accommodate questions nos. 1-3.

The units have been relocated to more ¹⁶ closer than 25m from the residential development to the north.

The elevations of the proposed buildings are acceptable. Proposed finishes are plastisol coated galvanised steel cladding (TMF 32 or Shadowline 47) in Wedgewood Blue or Goosewing Grey. Cover flashings window and corner turins in plastisol coated pressed metals.

Contd....

Record of Executive Business and Manager's Orders

Proposed 14 terraced light industrial/warehouse units at Greenhills Industrial Estate, Greenhills Road, Tallacht for Dundonald Construction Ltd.

CONDITIONS

REASONS FOR CONDITIONS

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received, 17th December, 1990, save as may be required by the other conditions attached hereto.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

3. That the proposed structure be used solely for use as ^{light} industrial/warehousing and any change of use shall be subject to a further planning application.

4. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

5. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.

6. That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

7. That off-street car parking facilities and parking for trucks be provided in accordance with the Development Plan Standards.

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. In order to comply with the Sanitary Services Acts, 1878-1964.

3. To prevent unauthorised development.

4. In the interest of safety and the avoidance of fire hazard.

5. In the interest of health.

6. In order to comply with the Sanitary Services Acts, 1878-1964.

7. In the interest of proper planning and development of the area.

8. That details of landscaping be submitted to and agreed in writing by the Planning Authority and work thereon completion prior to occupation of unit.

9. That no advertising sign or structure be erected, except those which are exempted development, without prior approval of the Planning Authority.

10. That the access gates shown on Drawing No. 90/14/12 received by Dublin County Council on 17th December, 1990, shall be closed and incorporated into the boundary when the proposed busway is constructed. No access shall be permitted from this development to the busway.

11. That the boundaries which define the busway to the south east and the western "Existing palisade fence" shall be a low wall with railings.

12. That prior to the commencement of development the boundary with the proposed busway shall be set out in accordance with Roads Drawing No. RP176 or otherwise to the requirements of the Roads Department. The applicant shall ascertain the location of this line with Dublin County Council Roads Department and shall submit any resulting revised drawings to the Planning Department *Authority for agreement*.

13. That the proposed pedestrian way shall be paved in materials agreed in writing with the Planning Authority and shall be adequately lit to ensure security of pedestrian users in accordance with the requirements of the public lighting section of Dublin County Council.

8. In the interest of amenity.

9. In the interest of the proper planning and development of the area.

10. In the interest of the proper planning and development of the area.

11. In the interest of visual amenity.

12. In the interest of the proper planning and development of the area.

13. In the interest of the proper planning and development of the area.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed 14 terraced light industrial/warehouse units at Greenhills Industrial Estate, Greenhills Road, Tallacht for Dundonald Construction Ltd.

CONDITIONS

14. That a financial contribution in the sum of £20,820. be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

15. That a financial contribution in the sum of £29,900. be paid by the proposer to the Dublin County Council towards the cost of road improvements in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

NOTE: Works necessary to meet the requirements of the foregoing conditions may involve development as defined in the Planning Acts, 1963-1983 and in respect of which a further planning application may be required.

REASONS FOR CONDITIONS

14. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

15. In the interest of the proper planning and development of the area.

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	7.2.91
Time	3.30



Bosca 174,
P. O. Box 174,
5 Rae Gardnar,
5 Gardiner Row,
Baile Atha Cliath 1,
Dublin 1.
Telephone: (01) 727777
Fax: (01) 725782

Mr. D. Drumgoole,
Senior Administrative Officer,
Planning Department,
Dublin County Council.

Our Ref.

Your Ref.

Date 04.02.1991

MD

RE: Light Industrial Warehouse, Greenhills, Tallaght.
Reg. Ref. 90A/1749.

With reference to this application, the Parks Departments comments are;

1. The lands subject of this application are located beside an existing residential housing layout and are in close proximity to the public open space at Greenhills, which is being developed as a major recreational facility for this part of Tallaght. The proposed busway is located on the eastern boundary of the site. As such this industrial site will be visually prominent, and it is essential that an extensive scheme of landscaping takes place on site. The written submission with this application states that "landscaping will be an important feature of this development and that it is proposed to carryout extensive works;" However the site plan No. 90/14/12 dated December 1990 shown only a very minimal landscape treatment for the entire industrial site; The Parks Department are very concerned about the visual impact that will be created by backing Sites 11 - 14 on to the Busway Reservation, and the total absence of any landscaping plans which would ameliorate the views from the Busway Route and adjoining public open space. According to the site layout, rear access doors are shown from sites 11 - 14 to the area of land along the eastern boundary, and it appears that the applicant has no intention of carrying out any landscape works at this location. It is essential that a proper scheme of site landscaping is implemented on these lands, which will reduce the visual impact of this Industrial Development.

90A 11749

Accordingly, it is recommended that any grant of permission should require a relocation of Site Nos. 11 - 14 in a westerly direction, so as to provide an adequate area for screen planting; and thus lessen the impact of the development on the surrounding land. A detailed landscape plan with full works specifications, bill of quantities, including details of maintenance on a regular basis to be submitted and agreed with the County Council prior to the commencement of development. The boundary alongside the busway reservation should consist of a 2m high wall, capped and rendered.

Handwritten signature

SENIOR PARKS SUPERINTENDENT

Our Ref: PL 6/5/86072
P.A. Ref: (91A/470)35

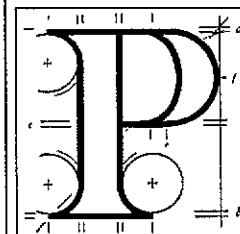
91A-470

Dk

Principal Officer,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

[Handwritten signature]
11/12
6 DEC 91

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Date:

5 DEC 1991

Appeal Re: Revisions to part of already approved development of industrial units consisting of replacement of the 4 units in Block C with 14 smaller units, associated internal alterations and revisions to parking layout at Greenhills Industrial Estate, Greenhills Road, Tallaght, Dublin 24.

Dear Sir,

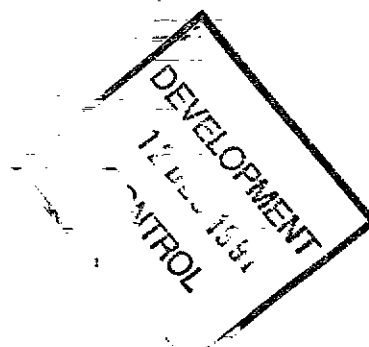
An order has been made by An Bord Pleanála determining the above-mentioned appeal under the Local Government (Planning and Development) Acts, 1963 to 1990. A copy of the order is enclosed.

Yours faithfully,

[Handwritten signature]
Miriam Baxter.

Encl.

BP 352



AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/470

APPEAL by Paul Phelan and others care of 12 Tymon North Lawn, Tallaght, Dublin against the decision made on the 11th day of June, 1991 by the Council of the County of Dublin to grant subject to conditions a permission to Dundonald Construction Limited care of Lorcan Green and Associates of 5 Thormanby Road, Howth, County Dublin for development comprising revisions to part of already approved development of industrial units consisting of replacement of the 4 units in Block C with 14 smaller units, associated internal alterations and revisions to parking layout at Greenhills Industrial Estate, Greenhills Road, Tallaght, Dublin in accordance with plans and particulars lodged with the said Council:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, it is hereby decided, for the reason set out in the First Schedule hereto, to grant permission for the said development in accordance with the said plans and particulars, subject to the conditions specified in the Second Schedule hereto, the reasons for the imposition of the said conditions being as set out in the said Second Schedule and the said permission is hereby granted subject to the said conditions.

FIRST SCHEDULE

It is considered that, subject to compliance with the conditions set out in the Second Schedule hereto, the proposed development would accord with the proper planning and development of the area.

SECOND SCHEDULE

1. The water supply and drainage arrangements associated with the proposed development, including the disposal of all surface water arising on the site, shall accord with the detailed requirements of the planning authority for such services and works.

Reason: In the interest of orderly development and public health.

2. Development of the site on foot of this grant of permission shall include landscaping of the site and the carrying out of planting along the boundaries of the site all in accordance with a landscaping and planting scheme which shall be submitted to the planning authority by the developer prior to the commencement of development and shall be as agreed upon between the planning authority and the developer or, in default of agreement, shall be as determined by An Bord Pleanála. The said scheme shall include, inter alia, a programme for the implementation of the scheme.

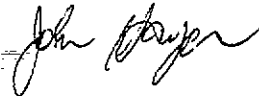
Reason: In the interest of orderly development and the visual amenities of the area.

PL 6/5/86072

SECOND SCHEDULE (CONTD.)

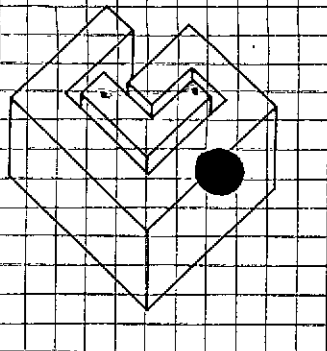
3. The developer shall pay a sum of money to Dublin County Council as a contribution towards the expenditure that has been incurred by the said Council in the provision of water supplies and sewerage facilities that have facilitated the proposed development. The amount of the contribution and the arrangements for payment of the contribution shall be as agreed upon between the developer and the Council or, in default of agreement, shall be as determined by An Bord Pleanála.

Reason: It is considered reasonable that the developer should contribute towards the expenditure that has been incurred by the Council in the provision of services that have facilitated the proposed development.



Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this 5th day of December 1991.



PK

24th. July 1991.

Att: Geraldine Boothman,
Planning Department,
Dublin County Council,
Irish Life Centre,
Lr. Abbey St.,
Dublin 1.

29 JUL 91
9/8

(F)

LORCAN GREENE
& ASSOCIATES
ARCHITECTS

Re: Third Party Appeal - Ref: PL 6/5/86072 - against decision
of Dublin County Council to grant Planning Permission for
Revisions to part of already approved development of
industrial units at Greenhills Industrial Estate,
Greenhills Road, viz: replacement of the 4 units in Block C
with 14 smaller units, associated internal alterations and
revisions to parking layout, for Dundonald Construction
Ltd. Reg. Ref. 91A/0470.

Dear Ms. Boothman,

I understand that you are the planner for the area in which the
above development is situated.

As you may be aware, some residents of the Tymon North Lawns
have lodged a third party appeal against the County Council's
decision to grant permission for revisions to part of this
proposal.


The developers are dismayed at this course of action and
believe that the objections of the local residents are based on
inaccurate information. In the hope of clarifying matters and
avoiding costly delays, on behalf of my client, Dundonald
Construction Ltd., I have invited the signatories to the appeal
to a presentation of the proposals for this site to be held in
the Spawell Leisure Centre, Dublin 12, on Wednesday 31st. July
1991 at 8.30 p.m. I have also invited the local councillors and
I now understand that some local TD's wish to attend.

I would also like to extend an invitation to a representative
of the Planning Department.

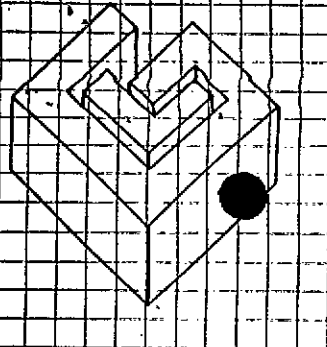
Enclosed is a copy of my letter to An Bord Pleanala of the
19th. inst., for your information.

RSVP to 768188 before the 30th. July.

Yours sincerely,


Lorcan Greene, B.Arch., M.R.I.A.I.

5 THORMANBY ROAD
HOWTH, CO. DUBLIN
TEL: (01) 322826



19th. July 1991,

An Bord Pleanála,
Floor 3, Blocks 6 & 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

LORCAN GREENE
& ASSOCIATES
ARCHITECTS

Re: Third Party Appeal - Ref: PL 6/5/86072.
Revisions to part of already approved development of
industrial units at Greenhills Industrial Estate,
Greenhills Road, viz: replacement of the 4 units in Block C
with 14 smaller units, associated internal alterations and
revisions to parking layout, for Dundonald Construction
Ltd. Reg. Ref. 91A/0470.

Dear Sirs,

Further to your letter and enclosures dated 24th. June 1991 and
having inspected in your offices the copies of the planning
authority documents relevant to their decision we wish to make
the following observations:

1.0. Zoning:

1.1. In the current (1983) Dublin County Council Development
Plan the site is zoned "E" - industrial and related uses.

2.0. Address of Site:

2.1. There does not appear to be any consensus on this. Some
previous planning applications (RA 2150, TA 1244 & TA 1245)
refer to the site as 'Sitecast Industrial Estate, Greenhills
Road'. Planning Application YA 427 refers to the site as
'Greenhills Industrial Estate, Greenhills Road'.

2.1. The addresses given in the telephone directory for some
local businesses are as follows:

'Power Import & Wholesale Ltd., Greenhills Road, 24'

'Bridgestone Tyres, 30a Greenhills Estate, 24,

'East Coast Car Parts Ltd., Unit GB3, Greenhills Road
Industrial estate, 24.'

....over/

....contd/

2.3. Following consultations with the officials of Planning Department we agreed to refer to the site as 'Greenhills Industrial Estate, Greenhills Road, Dublin 24.' as used for the most recent planning application (YA 427). This address was used for both the application, ref. 90A/1749 and the application which is under appeal.

3.0. Planning History:

3.1. Several permissions have been granted for industrial developments on this site, or on this site as part of a larger site - see Planning Reference Nos. (year of application in brackets): RA 2150 (1979), TA 1244 (1980), TA 1245 (1980), YA 427 (1983) & 90A/1749 (1990).

3.2. Application, Reg. Ref. 90A/1749:

3.2.1. An application for Planning Permission for 14 terraced light industrial/warehouse units at Greenhills Industrial Estate, Greenhills Road, Tallaght, Dublin 24 was submitted by Dundonald Construction on the 1st. October 1990.

3.2.2. The proposal, which was designed following consultations with the Planning Department, consisted of three separate single storey buildings, Blocks A, B & C, aligned on site so that only their windowless gable ends faced towards the adjoining housing. To minimise disturbance from traffic noise the main access road was located along the western boundary, at the furthest point from the housing.

3.2.3. On foot of representations made by councillors the Planning Department requested Additional Information on the 29th. November 1990, asking the developer to indicate, inter alia, if he would be prepared to relocate the buildings to improve their relationship with the adjoining houses. Revised plans, showing the buildings relocated as requested, were submitted on the 17th. December 1990.

3.2.4. The Notification of the Decision to Grant Planning Permission was issued on the 14th. February 1991. No appeal was lodged against this decision and the Notification of the Grant of Permission was issued on the 28th. March 1991. The enclosed drawing no. 90/14/12 shows the site layout as approved, with Block C marked in blue.

3.2.5. Work is now being carried out on site on foot of this Planning Permission and the Bye Law Approval granted for Block A.

....over/

....contd/

4.0. Application under appeal. Reg. Ref. 91A/0470.

4.1. This application is for a revision to part of the development granted permission under ref. 90A/1749. The developer wishes to replace the 4 large units in Block C with 14 smaller units. The enclosed drawing no. 91/01/02 shows the site layout for this application, with Block C marked in yellow. The enclosed photograph of an architectural model shows a view of the entire development from the North West.

4.2. From the point of view of the occupants of the neighbouring houses this proposal should be seen as more desirable than that for which approval has already been granted, for the reasons stated hereunder.

4.2.1. The floor area of the building has been reduced from 2,074m² to 1,890m², thereby reducing the intensity of use of the site.

4.2.2. The overall height of the buildings has been reduced by 1m from 7.6m to 6.6m which will reduce the visual impact of the development.

4.2.3. The small size of the units now proposed make it more likely that their use will be confined to warehousing only, or very small scale light industrial enterprises, with consequent lower levels of noise.

5.0. Grounds for Objection:

5.1. The appellants' stated reasons for their objection to the development were set out in their letter dated 20th. June 1991. We would reply to these points as follows (appellants' reasons in italic):

5.1.1. "*(1) No notices were published - at least none that could be geographically located to the site in question.*"

Reply: Notice was published in the Irish Press on the 28th. March 1991 as follows:

Dublin 24: Permission sought from Dublin County Council for revisions to part of already approved development of industrial units at Greenhills Industrial Estate, Greenhills Road, viz: replacement of the 4 units in Block C with 14 smaller units, associated internal alterations and revisions to parking layout, for Dundonald Construction Ltd.

5.1.2. "*(2) That such a development will devalue the houses. When the houses were sold the area was designated as part of the Bancroft Park.*"

Reply: It is unreasonable to state that the development will devalue the adjoining houses.

....over/

....contd/

The site, until now, has been used as an unofficial dump. The proposed development will be finished to a high standard and the estate will be maintained by a management company. The developer's record in this respect can be judged from examination of another development carried out in the area at Cookstown Enterprise Park, Old Belgard Road. The developer hopes to see, and will actively encourage, an upgrading of the existing industrial developments in the vicinity.

To our knowledge the site has never been designated as part of Bancroft Park.

5.1.3. *"(3) The planning permission is intentionally vague."*

Reply: It is not clear what this refers to. If it is the address of the site this is covered in 2.3. above.

5.1.4. *"(4) The level of industrial noise from the Powers warehouse is already unacceptable."*

Reply: The proposed uses of the buildings will be light industrial or warehouse use. Neither of these uses generate unacceptable levels of noise and are consequently are frequently located in close proximity to residential areas, as in this case where the land uses were determined by the Local Authority when drawing up the Development Plan.

5.1.5. *"(5) Upon instruction from the County Council we were told that the land was simply being landscaped."*

Reply: The County Council Parks Department landscaping work on the perimeter of the site was carried out in error as the site was in private ownership and agreement of the owner had not been obtained.

6.0. Conclusions:

6.1. In summary we wish to state that:

6.1.1. The site of this development is zoned for industrial use. Several applications for industrial developments have been granted permission, the most recent being in March 1990, and no appeals against these decisions have been lodged by third parties.

6.1.2. The appellants' grounds for objection are based mainly on hearsay and are unreasonable or without foundation.

6.1.3. The proposed development is less intensive than that which has already been approved under ref. 90A/1749.

....contd/

We request that the appeal be dismissed without delay so that the development can proceed forthwith.

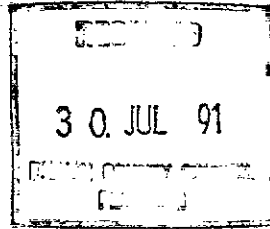
Yours sincerely,

Lorcan Greene, B.Arch., MRAI.
LORCAN GREENE & ASSOCIATES.

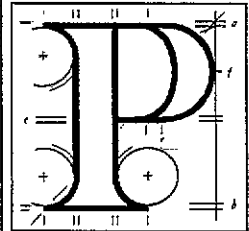
Our Ref: PL 6/5/86072
P.A. Reg. Ref: 91A/470

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 29th July 1991.



pa
An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Appeal re: Revisions to part of already approved development of industrial units, replacement of the 4 units in Block C with 14 smaller units, associated internal alterations and revisions to parking layout at Greenhills Road, County Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within twenty-one days of the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

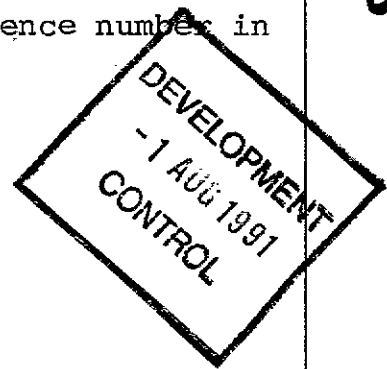
Please quote the above appeal reference number in any further correspondence.

Yours faithfully,

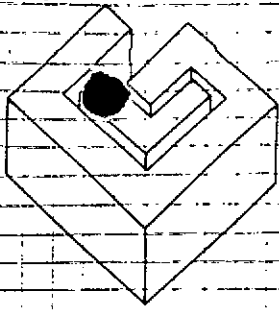
Suzanne Lacey
Suzanne Lacey

Encl.

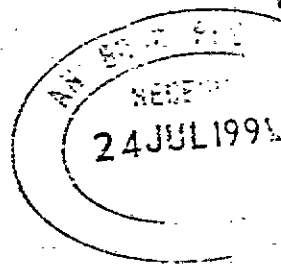
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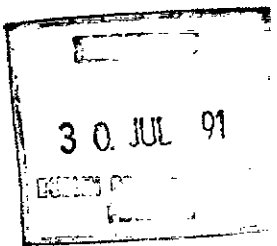
LORCAN GREENE
& ASSOCIATES
ARCHITECTS



19th. July 1991,

An Bord Pleanala,
Floor 3, Blocks 6 & 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Re: Third Party Appeal - Ref: PL 6/5/86072.
Revisions to part of already approved development of
Industrial units at Greenhills Industrial Estate,
Greenhills Road, viz: replacement of the 4 units in Block C
with 14 smaller units, associated internal alterations and
revisions to parking layout, for Dundonald Construction
Ltd. Reg. Ref. 91A/0470.



Dear Sirs,

Further to your letter and enclosures dated 24th. June 1991 and
having inspected in your offices the copies of the planning
authority documents relevant to their decision we wish to make
the following observations:

1.0. Zoning:

1.1. In the current (1983) Dublin County Council Development
Plan the site is zoned "E" - industrial and related uses.

2.0. Address of Site:

2.1. There does not appear to be any consensus on this. Some
previous planning applications (RA 2150, TA 1244 & TA 1245)
refer to the site as 'Sitecast Industrial Estate, Greenhills
Road'. Planning Application YA 427 refers to the site as
'Greenhills Industrial Estate, Greenhills Road'.

2.1. The addresses given in the telephone directory for some
local businesses are as follows:

'Power Import & Wholesale Ltd., Greenhills Road, 24'

'Bridgestone Tyres, 30a Greenhills Estate, 24,

'East Coast Car Parts Ltd., Unit GB3, Greenhills Road
Industrial estate, 24.'

AN BG
24 JUL 1991

2.3. Following consultations with the officials of Planning Department we agreed to refer to the site as 'Greenhills Industrial Estate, Greenhills Road, Dublin 24.' as used for the most recent planning application (YA 427). This address was used for both the application, ref. 90A/1749 and the application which is under appeal.

3.0. Planning History:

3.1. Several permissions have been granted for industrial developments on this site, or on this site as part of a larger site - see Planning Reference Nos. (year of application in brackets): RA 2150 (1979), TA 1244 (1980), TA 1245 (1980), YA 427 (1983) & 90A/1749 (1990).

3.2. Application, Reg. Ref. 90A/1749:

3.2.1. An application for Planning Permission for 14 terraced light industrial/warehouse units at Greenhills Industrial Estate, Greenhills Road, Tallaght, Dublin 24 was submitted by Dundonald Construction on the 1st. October 1990.

3.2.2. The proposal, which was designed following consultations with the Planning Department, consisted of three separate single storey buildings, Blocks A, B & C, aligned on site so that only their windowless gable ends faced towards the adjoining housing. To minimise disturbance from traffic noise the main access road was located along the western boundary, at the furthest point from the housing.

3.2.3. On foot of representations made by councillors the Planning Department requested Additional Information on the 29th. November 1990, asking the developer to indicate, inter alia, if he would be prepared to relocate the buildings to improve their relationship with the adjoining houses. Revised plans, showing the buildings relocated as requested, were submitted on the 17th. December 1990.

3.2.4. The Notification of the Decision to Grant Planning Permission was issued on the 14th. February 1991. No appeal was lodged against this decision and the Notification of the Grant of Permission was issued on the 28th. March 1991. The enclosed drawing no. 90/14/12 shows the site layout as approved, with Block C marked in blue.

3.2.5. Work is now being carried out on site on foot of this Planning Permission and the Bye Law Approval granted for Block A.

....contd./

4.0. Application under appeal, Reg. Ref. 91A/0470.

4.1. This application is for a revision to part of the development granted permission under ref. 90A/1749. The developer wishes to replace the 4 large units in Block C with 14 smaller units. The enclosed drawing no. 91/01/02 shows the site layout for this application, with Block C marked in yellow. The enclosed photograph of an architectural model shows a view of the entire development from the North West.

4.2. From the point of view of the occupants of the neighbouring houses this proposal should be seen as more desirable than that for which approval has already been granted, for the reasons stated hereunder.

4.2.1. The floor area of the building has been reduced from 2,074m² to 1,890m², thereby reducing the intensity of use of the site.

4.2.2. The overall height of the buildings has been reduced by 1m from 7.6m to 6.6m which will reduce the visual impact of the development.

4.2.3. The small size of the units now proposed make it more likely that their use will be confined to warehousing only, or very small scale light industrial enterprises, with consequent lower levels of noise.

5.0. Grounds for Objection:

5.1. The appellants' stated reasons for their objection to the development were set out in their letter dated 20th. June 1991. We would reply to these points as follows (appellants' reasons in italic):

5.1.1. "*(1) No notices were published - at least none that could be geographically located to the site in question.*"

Reply: Notice was published in the Irish Press on the 28th. March 1991 as follows:

Dublin 24: Permission sought from Dublin County Council for revisions to part of already approved development of industrial units at Greenhills Industrial Estate, Greenhills Road, viz: replacement of the 4 units in Block C with 14 smaller units, associated internal alterations and revisions to parking layout, for Dundonald Construction Ltd.

5.1.2. "*(2) That such a development will devalue the houses. When the houses were sold the area was designated as part of the Bancroft Park.*"

Reply: It is unreasonable to state that the development will devalue the adjoining houses.

....over/



....contd/

The site, until now, has been used as an unofficial dump. The proposed development will be finished to a high standard and the estate will be maintained by a management company. The developer's record in this respect can be judged from examination of another development carried out in the area at Cookstown Enterprise Park, Old Belgard Road. The developer hopes to see, and will actively encourage, an upgrading of the existing industrial developments in the vicinity.

To our knowledge the site has never been designated as part of Bancroft Park.

5.1.3. "(3) The planning permission is intentionally vague."

Reply: It is not clear what this refers to. If it is the address of the site this is covered in 2.3. above.

5.1.4. "(4) The level of industrial noise from the Powers warehouse is already unacceptable."

Reply: The proposed uses of the buildings will be light industrial or warehouse use. Neither of these uses generate unacceptable levels of noise and are consequently are frequently located in close proximity to residential areas, as in this case where the land uses were determined by the Local Authority when drawing up the Development Plan.

5.1.5. "(5) Upon instruction from the County Council we were told that the land was simply being landscaped."

Reply: The County Council Parks Department landscaping work on the perimeter of the site was carried out in error as the site was in private ownership and agreement of the owner had not been obtained.

6.0. Conclusions:

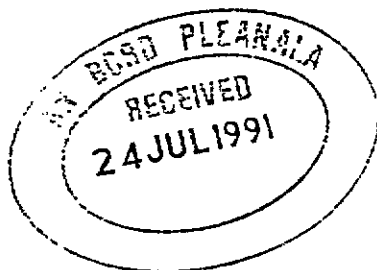
6.1. In summary we wish to state that:

6.1.1. The site of this development is zoned for industrial use. Several applications for industrial developments have been granted permission, the most recent being in March 1990, and no appeals against these decisions have been lodged by third parties.

6.1.2. The appellants' grounds for objection are based mainly on hearsay and are unreasonable or without foundation.

6.1.3. The proposed development is less intensive than that which has already been approved under ref. 90A/1749.

....over/



....contd/

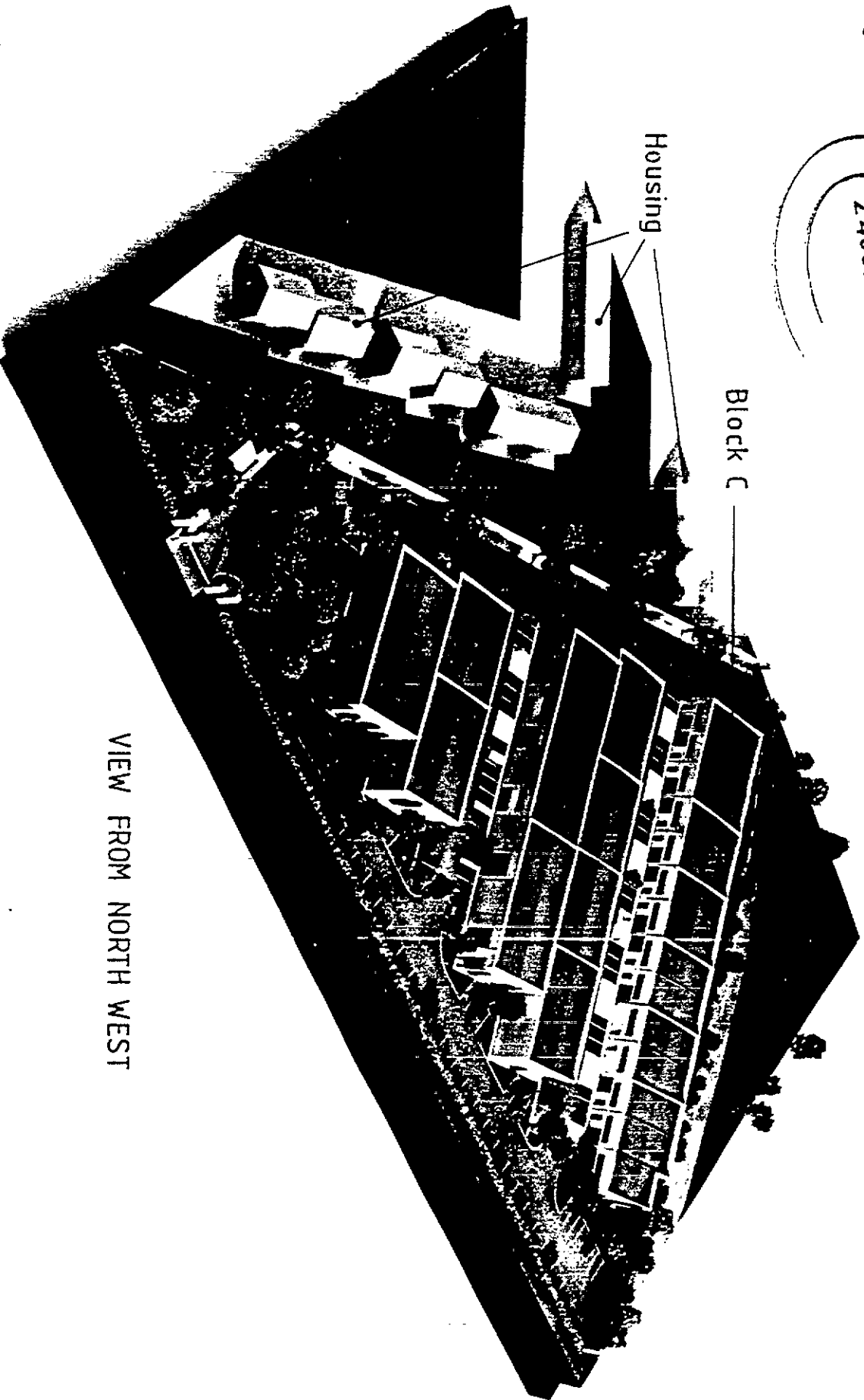
We request that the appeal be dismissed without delay so that the development can proceed forthwith.

Yours sincerely,

Lorcan Greene, B.Arch., MRIAI.
LORCAN GREENE & ASSOCIATES.

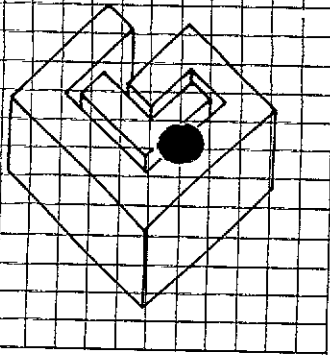


AR. B. U. I.
24 JUL 1991



VIEW FROM NORTH WEST

Industrial Development at Greenhills Industrial Estate, Dublin 24.



WITH
COMPLIMENTS

IN RELATION TO:

kg

INDUSTRIAL UNITS AT GREENHILLS,
TALLAGHT, DUBLIN 24.

LORCAN GREENE
& ASSOCIATES
ARCHITECTS

91x | 0470

1.2.0.2

A.I. for BBL ?

27. JUN 91

5 THORMANBY ROAD
HOWTH, CO. DUBLIN
TEL: (01) 322826

INDUSTRIAL UNITS AT GREENHILLS ROAD,
DUBLIN 24. DRAINAGE LEVELS.

STORMWATER DRAINS,

FOUL DRAINS.

M.H. No	I.L
No 1	98.40
No 2	98.227
No 3	98.40
No 4	98.12
No 5	98.40
No 6	98.00
No 7	98.40
No 8	97.887
No 9	98.40
No 10	97.78
No 11	98.40
No 12	97.667
No 13	98.40
No 14	97.554
No 15	98.40
No 16	97.407
Outfall at	
stream.	97.00
Additional MH's on	
Line S11 S12	98.03
Line S13-S14	98:00

M.H. No	I.L.
No 1	98.40
No 2	97.927
No 3	98.40
No 4	98.15
No 5	98.00
No 6	97.74
No 7	97.528
No 8	97.371
No 9	98.40
No 10	98.15
No 11	97.90
No 12	97.40
No 13	98.00
No 14	97.64
No 15	97.286
No 16	97.00
No 17	96.815
Existing	
sewer	96.35

RECEIVED
27 JUN 1991
91A/0470
REG SEC.

INDUSTRIAL UNITS AT GREENHILLS ROAD,

DUBLIN 24

DRAIN SLOPES.

STORMWATER DRAINS.

FOUL DRAINS.

LINE FALL 1 in

LINE FALL 1 in

S1-S2 145

F1-F2 55

S2-S4 150

F2-F8 90

S4-S6 150

F8-F17 90

S6-S8 150

F17-Existing 90

S8-S10 150

F5-F8 80

S10-S12 150

F13-F14 84

S12-S14 150

F14-F15 84

S14-S16 150

F15-F16 84

S16- Outfall 76

F16-F17 84

S3-S4 150

F9-F14 21

S5-S6 125

F11-F15 23

S7-S8 140

F12-F16 47

S9-S10 120

F3-F6 24

S11-11A 140

F4-F7 26.

S11A-S12 140

S13-S13A 140

S13A-S14 140

S15-S15A 110

S15A-S16 110

COMHAIRLE CHONTAE ATHA CLIATH

Tel. 704755

Ext. 268/269

Planning Department
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

Your Ref. 613/86072

Our Ref. 91A 470

01.07.91

An Bord Pleanála,
Blocks 6 and 7,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) ACTS, 1963 TO 1983

PROPOSAL : *revisions + alterations to approved development at Greenhills Rd, Tallaght.*

APPLICANT : *Dundonald Construction Ltd.*

Dear Sir,

With reference to your letter dated 24.06.91 I enclose herewith:-

- (1) & (2) A copy of the application which indicated the applicant's interest in the land or structure.
- (3) A copy of the public notice given, i.e. IRISH PRESS 28/3/91
- (4) The plan(s) received from the applicant on 28/3/91
- (6) & (7) A certified copy of Manager's Order P2700 91 together with technical reports in connection with the application.

Yours faithfully,

M. Murtogh
for PRINCIPAL OFFICER

Our Ref: PL 6/5/86072
Your Ref: 91A/470

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 24th June 1991.

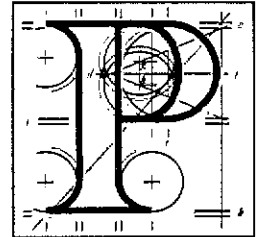
Planning authority decision re: Revisions to part of already approved development of industrial units, replacement of the 4 units in Block C with 14 smaller units, associated internal alterations and revisions to parking layout at Greenhills Road, County Dublin.

Dear Sir/Madam,

Enclosed is a copy of an appeal under the Local Government (Planning and Development) Acts, 1963 to 1990, in relation to the above-mentioned decision. So that consideration of the appeal may proceed, you are requested to forward to the Board within two weeks:

- (1) The application made to the planning authority.
- (2) Particulars of the applicant's interest in the land or structure, as supplied to the planning authority.
- (3) A copy of the public notice, whether published in a newspaper or on the site.
- (4) Any drawings, maps, particulars, information, evidence or written study received or obtained from the applicant, including the ordnance survey number.
- (5) Copies of requests (if any) to the applicant for further information relating to the application under appeal and copies of reply and documents (if any) submitted in response to such requests.
- (6) A certified copy of the relevant Manager's Order.
- (7) Copies of any technical or other reports relevant to the decision on the application.
- (8) Particulars and relevant documents relating to previous decisions affecting the same site or relating to applications for similar development close by.

214
An Bord Pleanála



Floor 3 Blocks 6&7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

PR see
re
25 JUN 91

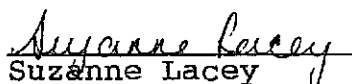
Please note that the other party/parties to the appeal are being notified that copies of the planning authority documents relevant to the decision which gave rise to the above-mentioned appeal will be available for inspection at your offices after the expiration of a period of fourteen days from the date of this letter. It would be appreciated if parties could be facilitated in this regard.

Copies of the representations or observations made to the planning authority in relation to the application should not be sent to the Board. It is assumed that the planning authority has notified observers of the decision made and of the right of appeal.

The planning authority may make to the Board, in writing, such observations on the appeal as it thinks fit. Where practicable, any such observations should be submitted with the documents listed above but the furnishing of the documents should not be held up until observations are available. In any event, to ensure that they will be taken into account in the determination of the appeal, any such observations should be furnished within one month of the date of this letter.

Please quote the above appeal reference number in any further correspondence.

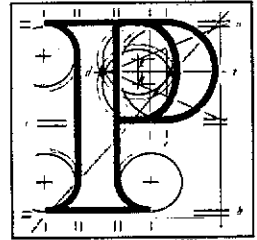
Yours faithfully,


Suzanne Lacey

Encl.

BP 005

An Bord Pleanála



Floor 3 Blocks 6&7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

By ~~Hand~~ ~~with~~

21/6/91

for cash

B23644

Mr & Mrs Paul Phelan.
12 Tymon North Lawn,
Tallaght,
Dublin 24.

An Bord Pleanála

Dublin County Council,
Planning Permission Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

June 20, 1991.

Dear Sir/Madam,

We the undersigned are concerned that despite repeated demands to your department concerning the development of the site adjacent to our homes, we have received no satisfactory answers.

Most of the information has come not from our elected representatives or from local government officials but from our youngsters who have interrogated the builders. It appears that the site, which was once part of Bancroft Park, has been sold by the Council for private development.

After numerous requests for information from the Council officials we were informed that planning permission was granted under Ref Number 90A/1749. According to the information supplied with this reference number, permission was granted for the erection of industrial units on the Greenhills Estate, Greenhills Road. We would like clarification as to whether or not the planning permission went through the correct process, ie - the posting of notice to apply for planning permission or through the Newspapers.

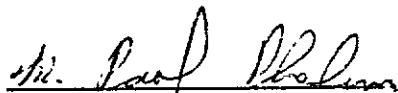
As you are aware the 1977 Act SI 342 (1982) stipulates clearly that notice must be given in a clear and concise manner. This has clearly not been adhered to. The recent case of Crodaun Homes v Kildare County Council (1983) takes note of some of our concerns and gave a judicial decision on the matter.

We, the undersigned, have unanimously decided to take this matter further. We have agreed to object on the revised planning approval reference no.: 91a/470 on the following basis:

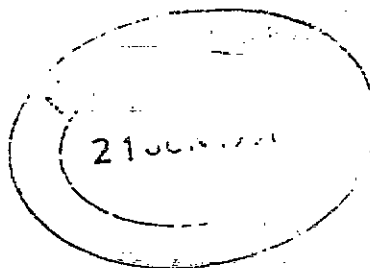
- (1) No notices were published - at least none that could be geographically located to the site in question.
- (2) That such a development will devalue the houses. When the houses were sold the area was designated as part of the Bancroft Park.
- (3) The planning permission is intentionally vague.
- (4) The level of industrial noise from the Powers warehouse is already unacceptable.
- (5) Upon instruction from the County Council we were told that the land was simply being landscaped.

We await your reply. If we do not hear from you within 3 days we shall pursue the matter through the normal legal channels.

Yours sincerely,



For and on behalf of Residents of Tymon North Lawn.



OBJECTION TO BUILDING OF WAREHOUSES REAR OF TYMON NORTH LAWN

NAME

ADDRESS

	<u>NAME</u>	<u>ADDRESS</u>
1.	PAUL PHELAN	12 TYMON NORTH LAWN TALLAGHT
2.	OLIE PHELAN	13 Tyman North LAWN TALLAGHT
3.	ANGELA M'KERRY	11 Tyman North Lawn Tallaght
4.	MICHAEL KELLY	13 Tyman North Lawns, Tallaght
5.	MANDY KELLY	13 Tymoncelt Lawns, Tallaght
x 6.	LUCAS SMITH	14 Tymoncelt Lawns Tallaght
7.	GARRY SMITH	14 Tymoncelt Lawns Tallaght
x 8.	PAUL M'GARR	15 Tyman North Lawn Tallaght
x 9.	LINDA BARRY	17 Tyman North Lawn Tallaght
10.	THOMAS BARRY	17 TYMON NORTH LAWN
x 11.	JAMES M'GARR	21 Tyman North Lawn Tallaght
12.	JAMES M'GARR	21 Tyman North Lawn Tallaght
13.	JAMES M'GARR	11 Tyman North Lawn Tallaght
14.	JAMES M'GARR	22 Tyman North Lawn Tallaght
15.	G. MATHIAS	23 Tyman North Lawn Tallaght
16.	G. MATHIAS	23 Tyman North Lawn Tallaght
17.	MARY M'GARR	10 Tyman North Lawn Tallaght

SERVED
JUN 1991

OBJECTION TO BUILDING OF WAREHOUSES REAR OF TYMON NORTH LAWN

NAME

ADDRESS

18.	Peter Guinness	10 Tymon North Lawn Tallagh.
19.	Miss Guinness	22 Tymon North Lawn Tallagh.
20.	WASA	19 Tymon North Lawn
21.	Thomas Christine Hendon	18 Tymon North Lawn
22.	Eileen Brady	9 Tymon North Lawn D 24.
23.	Anthony Brady	9 Tymon North Lawn D 24
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34.		

RECEIVED
21/03/1954

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/Approval
Local Government (Planning and Development) Acts, 1963-1983

To Lorcan Greene & Associates, Decision Order p/2700/91 - 11.06.1991
5, Thormanby Road, Number and Date
Howth, Register Reference No. 91A-0470
Co. Dublin. Planning Control No.
 Applicant Dundonald Construction Ltd. Application Received on 28.03.1991
Floor Area: 1,890 sq. m. *FE. PAID 24.05.91*

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/Approval for:-

revisions to part of already approved development of industrial units at Greenhills Industrial Estate, Greenhills Road viz: replacement of the 4 units in Block C with 14 smaller units, associated internal alterations and revisions to parking layout.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto. 2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development. 3. That before any development commences on site revised drawings of the elevations be submitted which show the correct orientation for the elevations.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained. 2. In order to comply with the Sanitary Services Acts, 1878-1964. 3. In the interest of the proper planning and development of the area.

(Continued)

Signed on behalf of the Dublin County Council

J. de Baintist
For Principal Officer

11th June, 1991.
Date

IMPORTANT: Turn overleaf for further information

(Continued)

CONDITIONS

REASONS FOR CONDITIONS

4. The development shall be carried out in conformity with Conditions Nos. 3 to 7 and 9 to 13 inclusive of the decision to grant permission by Order No. P/698/90, dated 14th February, 1991, Reg. Ref. 90A-1749, save as amended to conform with the revisions indicated in the plans lodged with Dublin County Council in connection with this application.

5. That arrangements be made for the payment of the financial contribution in the sum of £20,820 in respect of the overall development required by Condition No. 14 of planning permission granted under Reg. Ref. 90A-1749. The arrangements to be made prior to the commencement of this proposal.

6. That arrangements be made for the payment of the financial contribution in the sum of £29,900 in respect of the overall development required by Condition No. 15 of planning permission granted under Reg. Ref. 90A-1749. The arrangements to be made prior to the commencement of this proposal.

7. Applicant to submit a detailed landscaping scheme for the entire site to the Planning Authority for written agreement, prior to commencement of development. This scheme must include a timescale for the carrying out of the necessary works and it must incorporate dense planting all along the south-east boundary of the site, i.e. between Block C and the busway reservation. No storage to take place in this area.

4. In the interest of the proper planning and development of the area.

5. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

6. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

7. In the interest of visual amenity.

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.

Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Telephone: 773066

Telephone: 724755
Extension: 231/234

27 May 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: Greenhills Industrial Estate, Greenhills Road, Tallaght
PROPOSED DEVELOPMENT: 14 single storey light ind. warehouse units
APPLICANT: Dundonald Construction Ltd
PLANNING REG. REF.: 91A/0470
DATE OF RECEIPT
OF SUBMISSION: 7 May 1991

A Chara,

With reference to above, I acknowledge receipt of application for:

Building Bye Law Approval.

Mise, is meac

A. Smith

PRINCIPAL OFFICER

Lorcan Greene & Associates,

5 Thormanby Road,

Howth,

Co. Dublin.

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.

- (a) The address of the structure or the location of the land.
- (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
- (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.

4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)	E	Petrol Filling Station Development or Proposals not coming within any of the foregoing classes.	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F		£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ATHA CLIATH

[RECEIPT CODE]

PAID BY

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET, DUBLIN 1. **BYE LAW APPLICATION.**

CASH

CHEQUE

M.O.

B.L.

I.T.

REC. No. N 39193

Received this 7th day of April 1991

from [Handwritten Name]

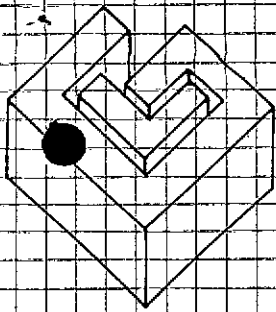
the sum of [Handwritten Amount] Pounds

Pence, being [Handwritten Pence]

[Handwritten Description]

[Handwritten Signature] Cashier

S. CAREY
Principal Officer



LORCAN GREENE
& ASSOCIATES
ARCHITECTS

5 THORMANBY ROAD
HOWTH, CO. DUBLIN
TEL: (01) 322826

24th. April 1991,

Building Control Section,
Dublin County Council,
Irish Life Centre,
Lr. Abbey St.,
Dublin 1.

Re: Block C of Proposed Light Industrial/Warehouse Development
at Greenhills Industrial Estate, Tallaght, Dublin 24.

Dear Sirs,

Please find enclosed the following documents as our application
for Bye Law Approval only for the above development:

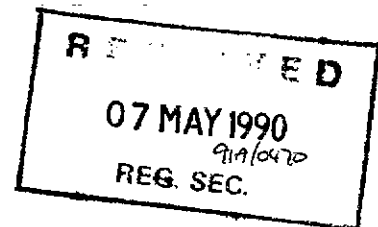
1. Application Form duly completed.
2. Cheque for Bye Law Application Fee.
3. 2 No. copies of Architect's drawings nos. 91/01/01A, /02,
/03A & /04A,
4. 2 No. copies of Architect's Specification.
5. 2 No. copies of Structural Engineer's drawings nos. 9120/1
to /4 inclusive.
6. 2 No. copies of Structural Engineer's Specification,
Calculations and Certificate.

The following points should be noted:

Planning Applications:

Planning Permission has been granted for the development of
Light Industrial/Warehouse Units on this site in three blocks,
Block A, B & C (Reg. Ref. No. 90A-1749, Grant Order No. and
Date: P/1340/91, 28/3/91).

An application for Planning Permission has recently been made
to Dublin County Council for this present development under the
title : "Revisions to Block C of already approved development
of industrial units at Greenhills Industrial Estate, Greenhills
Road, Tallaght, Dublin 24." (Reg. Ref. 91A/0470).



...contd/

Previous Bye Law Application:

Bye Law Approval has been obtained for Block A of this development, together with the relevant site development works (Reg.No.90A/1749, Order No. BBL/739/91). The relevant conditions attaching to this approval will be complied with in this present development.

Present Application:

This Bye Law application relates only to the 14 units, comprising Block C, of the entire development referred to above and the roads, drainage and other services necessary to serve these works.

The layout and details of the entire drainage system has been shown, but this application is only for that relating to Block C (coloured blue and red on drwg. no. 91/01/02).

Relaxations of Bye Laws:

We wish to apply for a relaxations of the following Bye Laws:

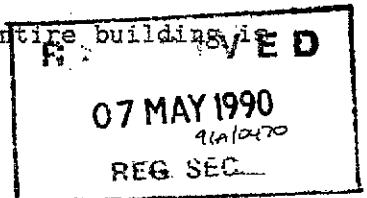
Bye Law 99 to permit the construction of internal Toilets with artificial ventilation.

Bye Law 75 to permit use of Reception area as a habitable room without windows and no opening vent as, for security reasons, it is desired to minimise the amount of openings at Ground Floor Level. Artificial lighting and mechanical ventilation, to give 6 - 10 air changes per hour, will be provided in this area.

Bye Law 23(1)a to permit the party wall to be carried up only 375mm above roof level, as approved by the Fire Officer.

Structure:

A Structural Engineer's Certificate for the entire building is enclosed.



Health Board Requirements:

The precise use of each Unit is not yet defined, but will fall within the definition of 'Light Industry' or 'Warehousing'. Similarly the precise number of occupants is not known. However for the purposes of this application the maximum number of occupants for each Unit has been assumed to be not more than 5 persons in total. In view of this small number it is proposed to provide only one Toilet, containing a w.c. and w.h.b., in

.....over/

...contd/

each Unit. However provision is made in the layout of drains to accommodate an additional Toilet if required.

Each Unit is provided with drinking water from the rising main through a suitably located drinking fountain or sink.

Details of the proposed use and numbers of occupants will be submitted when these are known. A Bye Law Application for additional sanitary facilities will also be made if necessary.

Ventilation to Toilets:

It is proposed to provide mechanical ventilation to the Toilet by means of an extract fan and duct leading to the open air designed to give 6 - 10 air changes per hour. The fan will be operated by the light switch and will have an over-run facility. The Ventilated Lobby separating the Toilet from habitable spaces will be provided with a fresh air inlet duct directly from the open air.

Ventilation to Reception:

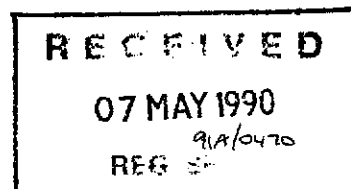
It is proposed to provide mechanical ventilation to the Reception area by means of an extract fan and duct leading to the open air designed to give 6 - 10 air changes per hour. The fan will be operated by the light switch and will have an over-run facility. Permanent ventilation, not less than 50 sq. in. in area, shall also be provided to this space by means of permanent vent in the external wall

We trust the above will meet with your approval and look forward to a favourable decision in the near future.

Yours sincerely,



Lorcan Greehe, B. Arch., MRIAI.



Encls.

DERMOT DOORLY C.ENG.M.I.STRUCT.E. F.F.A.S.
14A CHATHAM STREET, DUBLIN 2. Tel.6792942

Dublin County Council,
Planning Department,
Irish Life Centre,
Abbey St.,
Dublin 1.

21st January, 1991.

Dear Sirs,

Re: Greenhills Industrial Estate,
Industrial Development

The above development is designed and detailed in accordance with the following Codes of Practice:

C.P.3 Chapter V. Part 2. 1972 Loading

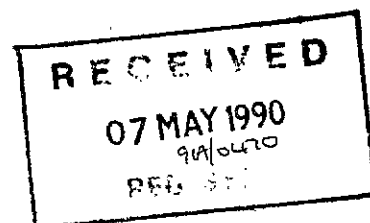
C.P.2004 1972 Foundations.

C.P. 110 1972 The Structural use of Concrete.

B.S. 449 Part 2 1969 The use of Structural Steel in Buildings.

The construction on site will also be supervised by me.

Dermot Doorly
Dermot Doorly



SPECIFICATION

of

MATERIALS TO BE USED AND WORKS TO BE CARRIED OUT

in

THE CONSTRUCTION OF BLOCK C

of

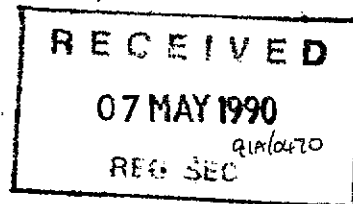
PROPOSED INDUSTRIAL DEVELOPMENT

at

GREENHILLS INDUSTRIAL ESTATE, TALLAGHT, DUBLIN 24,

for

DUNDONALD CONSTRUCTION LTD.



Prepared by:

Lorcan Greene & Associates,

Architects,

5 Thormanby Road,
Howth,
Co. Dublin.

April 1991.

©

EXCAVATION

SITE CONDITIONS:

The Contractor shall be deemed to have satisfied himself as to the nature of the site and subsoil.

EXCAVATIONS:

All excavations shall be made to the dimensions and depths shown on the drawing or to such other depths as the Architect may direct having regard to the nature of the subsoil.

PLANKING AND STRUTTING:

The sides of all excavations shall be properly supported with good sound timber as hereinafter specified (or otherwise satisfactorily retained) which must be carefully removed as the excavations are filled in but the removal of such timber shall not relieve the Contractor of his responsibility for the stability of the work. Should the dimensions of the excavations exceed those shown or directed or should the sides of the excavations cave in, the Contractor shall at his own expense fill and tightly pad such extra spaces alongside concrete foundations with mass concrete or other approved material as the Architect may direct.

BOTTOMS OF EXCAVATIONS:

The Contractor shall make provision for leaving insitu the bottom 75mm (3") in depth of all excavation in clay soil and for removing this layer by spade immediately prior to the laying of concrete or hard-core and no traffic shall be permitted over the prepared formation other than in placing the concrete or hardcore.

WATER IN EXCAVATIONS:

The Contractor shall make provision for and deal with all water, including spring or running water below the water level in the ground, which may find its way into the excavations under any conditions of weather and shall excavate sumps, from drains and provide all necessary plant and apparatus for dealing therewith.

ROCK:

Rock shall be excavated by means of compressed air equipment or wedges. Blasting will not be permitted without the prior written consent of the Architect.

EXISTING SERVICES:

All drains which pass through the site and which require to be reconnected to alternative outlets shall be maintained in operation until such time as new connections have been completed.

The Contractor shall take all necessary precautions and shall be entirely responsible for the safety of existing buildings and the temporary or permanent support of any underground drains or other services encountered during excavations. Any damage as a result of the Contractor's

negligence in this respect shall be made good at his expense.

HARDWARE:

Hardcore under floor slabs and paving shall consist of clean crushed stone uniformly graded and the maximum size of 100mm (4"). It shall be compacted in layers not exceeding 225mm (9") with a mechanically propelled vibrating roller not less than one ton weight. The rolling shall continue until the hardcore is thoroughly compacted and no visible movement of hardcore is seen on the passage of the roller. During the rolling process the hardcore is to be adequately watered.

CONCRETE WORK

CEMENT:

The cement shall be best quality Portland cement and shall comply in all respects with I.S. 1 or B.S. 12. It shall be used in good condition, direct from original sealed bags and stored in a cool dry place. Every bag of cement used shall be fully guaranteed and of the quality specified and a written guarantee shall be produced if required by the Architect.

The Contractor shall obtain a verification from the manufacture giving the result and date of the tests.

Cement damaged in transport, handling or storage shall not be used. Cement on site shall be re-tested from time to time as directed and any failing to pass these tests shall be removed from the site.

WATER:

The water for concrete shall be fresh, clean and free from suspended matter.

AGGREGATES:

The aggregates shall comply with I.S. 5 or B.S. 882, in all respects. Fine aggregate shall be washed.

The fine and coarse aggregates shall be delivered to the site separately and shall be stock piled on clean concrete, macadam or other approved surface.

REINFORCEMENT:

Steel reinforcement shall comply with the requirements of the following standard specifications:-

Mild steel B.S. 785

Hard drawn steel wire
fabric mesh B.S. 4483

All steel reinforcement shall be obtained from approved suppliers and shall be free from oil, grease, paint; all dirt, loose scale and rust shall be removed before use.

Ears shall be bent cold and no heating or forging shall be permitted.

MIXING:

The Concrete generally shall be mixed in a mechanical batch mixer of approved type and all concrete must be used only when freshly mixed. Water shall be used in carefully controlled amounts. The concrete may be used mixed by hand with the Architects permission when it shall be mixed on a dry platform, turned over at least three times dry and three times after the application of water through a hose to the correct consistency. Concrete mixed by hand must contain 10 per cent more cement than stated below. No displacers shall be used in any part of the concrete work.

PLACING:

All concrete shall be placed as soon as possible after mixing and carefully deposited in position, the throw or drop in being short to ensure the aggregate being properly distributed. All joints caused through stoppage in the work shall be brushed clean, roughened up and saturated with water and where in suspended work joints shall be washed with a cement slurry before proceeding with the work.

No concrete work shall be executed during frost and any newly placed work shall be covered up and protected during cold weather. Concrete laid during hot weather shall be kept continuously damp and covered until set

CONSOLIDATION:

All concrete shall be thoroughly consolidated by tamping and vibration to ensure complete compaction and the complete absence of "honeycombing". Any faulty surfaces exposed on stripping due to this or other causes shall be removed or made good to the Architect's satisfaction at the Contractor's own expense. Immersion vibrators may be used but they should be applied in a number of places, spaced apart, for short periods rather than in one place for a long time and they should be withdrawn slowly

CONSTRUCTION JOINTS:

All construction joints in slabs, beams, walls and bases are to be formed by inserting temporary vertical stopping of boards against which concrete can be properly consolidated. The position at which such joints may be made will be indicated by the Architect. The face of the concrete forming the side of the joint shall be suitably joggled for bonding to the subsequent concrete. Such joggles maybe formed by tapered battens fixed to the stopping of boards.

At all horizontal construction joints in walls the surface of the concrete shall be grooved or otherwise suitably indented for bonding with the concrete above. Such grooves may be formed by temporarily inserting

longitudinal battens, these to be removed immediately the concrete has set. In cases where vertical concrete faces will be permanently visible the longitudinal battens shall be fixed temporarily to the shuttering so as to form a rebate along the line of the joint into which the subsequent concrete can be thoroughly consolidated.

All previous work to be connected to new concrete must be properly cleaned and roughened.

In the case of vertical joints the face of the concrete is to be coated with a cement grout immediately before concreting is recommenced.

In the case of horizontal joints a 2" thick layer of cement and sand shall be deposited immediately before concrete is recommenced and the new concrete thoroughly panned into the cement mortar.

Where construction joints occur in reinforced concrete work the reinforcement shall be lapped to ensure a proper bond.

MIXTURES:

Concrete mixtures are to be composed as follows:

Mix A One part cement to two parts sand to four parts sand to four parts aggregate by volume.

Mix B One part cement to two and a half parts sand to five parts aggregate by volume.

Mix C One part cement to twelve parts all in aggregate.

BRICKWORK AND BLOCKWORK

BRICKWORK:

The facing bricks shall be selected clay bricks in accordance with BS 3921. Concrete Bricks shall be in accordance with BS 1180. Care shall be exercised in handling the bricks and no damaged facing bricks shall be used. Brickwork shall be laid in stretcher bond bedded, backed and jointed in gauged mortar.

CONCRETE BLOCKWORK: All concrete blocks shall be in accordance with I.S. 20 (solid blocks) and I.S. 40 (hollow blocks) and shall be obtained from an approved manufacturer.

Blocks shall be to the sizes indicated on drawings, with all necessary closers and the like, and shall be free from cracks, flaws, etc. true in shape, uniform in size with all arrises square, straight and sharply defined

All blockwork shall be laid to an approved bond, bedded and jointed in gauged mortar with the joints raked out for a depth of 18mm where to be plastered.

GAUGED MORTAR:

Gauged mortar shall be composed of one part hydrated lime to one part cement to six parts sand by volume.

These materials shall be mixed in a mechanical mixer designed for the purpose, or shall be thoroughly mixed dry on a clean platform for a sufficient length of time well wetted as required and thoroughly turned over before use in small quantities, to avoid partial setting in the heap.

CAVITY TIES:

Cavity wall ties shall be of galvanised wrought iron or galvanised mild steel complying with B.S. 1234. Ties shall be spaced 900mm apart horizontally and 450mm vertically, alternation on each course and shall include additional ties around openings.

DAMP PROOF COURSE:

Damp proof course in walls shall be hessian, felt or asbestos based bitumen type to BS 743 or polythene blended with carbon black filler of approved manufacture. The damp proof course shall be inserted in all walls where shown on the drawings or directed by the Architect, to form a continuous impenetrable water barrier. The damp proof course shall be lapped 300mm at joints.

WORKMANSHIP:

All work shall comply with C.P. 122 for block walling unless otherwise specified.

No blockwork or brickwork shall be built during frosty weather and any work already built shall be covered and protected from frost. The Contractor shall repair and make good all defective work at his own cost to the satisfaction of the Architect.

CARPENTER AND JOINER

GENERALLY:

The whole of the timber is to be the best of its respective kind, perfectly sound, thoroughly seasoned and free from sap, shakes, large loose or dead knots, waney edges and all other imperfections. All are to be sawn die square finished to the sizes specified and shown.

SOFTWOOD:

All timber for Carpenter's work is to be white deal obtained from an approved source and the Contractor must furnish proof that it is properly dried and seasoned. All timber for joinery work unless otherwise specified, is to be selected best quality imported red deal.

HARDWOOD:

Hardwood in joinery shall be selected of prime quality.

QUALITY:

All timber shall be kiln dried and must be free from

seasoning defects when delivered on the job. All timber shall be dried to a moisture content of 10%.

JOINERY:

Joinery shall be stored under dry conditions and should not be fixed until the plaster has completely dried out. Final wedging up should not be completed until fixing of the joinery is in hand.

The word framed as applied to woodwork is to be understood as including all the best methods of joining woodwork together by mortice and tenon, dovetail or other method.

Any portion that may warp, get in winding and develop shakes or other defects, is to replace with new before being wedged up.

All external Joiner's work is to be framed and jointed with a mixture of white and red lead and boiled linseed oil.

PRESSURE
IMPREGNATION:

All softwood in structural timbers shall be pressure impregnated after machining with a 15% to 18% solution of non-ammonium phosphate in water and the depth of penetration is to be not less than 13mm at any place on finished work. All other softwood shall be impregnated under pressure with an approved patented protective treatment approved by the Architect. The Contractor is to allow for any twisting, warping or increase in size of the members due to these processes being used after machining and for members having to be replaced or re-machined.

FINISHED SURFACE:

All timber for joinery work is to be kept perfectly clean and left ready for applied paint.

BLOCKBOARD AND
PLYWOOD:

All blockboard and plywood is to be resin bonded.

FOUNDATIONS AND
RISING WALLS:

Concrete strip foundations to be to the sizes indicated on Structural Engineer's drawings, base of foundation to be a minimum of 900mm below ground level. Concrete mix and reinforcement to be to Structural Engineer's details.

Rising walls to be in solid concrete blockwork or to be in cavity walling with cavity filled with concrete.

Foundation pads for concrete frames to be in reinforced concrete to Structural Engineer's details.

DRAINS:

Foul and surface water drains to be in PVC piping with all necessary junctions, gullies, traps etc., laid in strict accordance with the Manufacturer's instructions. Layout and falls to be as shown on drawings.

DAMP PROOF COURSE:

Damp proof course to be hessian based bitumen type to BS 743 laid to form a continuous impenetrable water barrier in all the usual places, e.g. in walls 150mm above ground level, around opes in cavity walls, under sills etc.

CONCRETE FRAME:

Structural frame to have 4° precast concrete roof beams supported on precast concrete columns, 6.1m high above FFL, all to Structural Engineer's details.

EXTERNAL WALLS:

All external walls to be formed from Plastisol coated, galvanised steel cladding (TMF 32 or Shadowline 47 or similar) fixed horizontally and supported on Multibeam vertical metal sheeting rails, with inner steel lining sheet, all in accordance with Structural Engineer's details.

Cover flashings, window and corner trims in plastisol coated pressed metal.

Where fire resistant walling is required, walls are to be constructed in accordance with the specification of the construction tested in the preparation of the report entitled WARRES No. 40788 or with prefabricated fire resistant cladding panels.

PARTY WALLS:

Party walls to be constructed in 225mm solid concrete blockwork, with r.c. framing to S.E. detail where required. Walls to be carried at least 375mm over roof finish and to be rendered externally and capped with p.c. coping on d.p.c., or clad in metal cladding.

INTERNAL WALLS:

Internal walls supporting p.c. floors to be in 225mm solid concrete blockwork, supported on strip foundation to S.E. detail

CONCRETE FLOORS:

Ground floor to be 150mm thick laid on 1000 grade Visqueen d.p.m. on blinded hardcore with power floated finish. Concrete mix, reinforcement and ground beam details to be to Structural Engineer's specification

First floor over Loading/Entrance area to be in precast concrete hollow core slabs, 200mm thick, with 50mm structural screed supported on r.c. beams and walls, to Structural Engineer's details.

ROOF:

Roof to be finished with p.v.c. coated 35mm profile insulated metal roofing panels supported on metal purlins, to Structural Engineer's detail.

Gutters to be precast concrete or formed with p.v.c. coated pressed metal, insulated internally.

20% rooflighting to be provided using Astolite or similar double skin sheeting.

WINDOWS:

Windows to be aluminium framed, finished with Syntha Pulvin paint, with single or double glazing and may include housing for roller shutter box where required. Windows to be bedded in mastic and securely fixed to walls.

LOADING BAY DOORS:

Aluminium or steel roller shutter or sectional doors, Plasticol coated, in selected colours.

EXIT DOORS:

Metal finish with timber or metal frame, fire resistant where required and fitted with push bars or pads.

INTERNAL PARTITIONS:

Partitions around Toilets and ventilated lobby to be 100mm fire resisting stud partitions

constructed in accordance with details.

INTERNAL PLASTERING:

On internal blockwork walls, scud wall and plaster one coat 25mm thick and finish with gypsum plaster skim.

On stud partitions and ceiling over Toilet slab and plaster in accordance with detail drawing to obtain suitable fire resistance.

SUSPENDED CEILINGS:

Ceilings to Entrance Area to be proprietary suspended ceiling with metal grid and lay-in tiles.

EXTERNAL WORKS:

Roadways and vehicular areas to have tarmac finish, with concrete at loading bays, all to Structural Engineer's specifications. Car parking spaces to be marked with white paint. Footpaths to be in concrete.

SERVICES:

Ventilation to be provided to give 3 - 6 air changes per hour.

Mechanical Air Extraction to specialist detail to be provided to give 6 - 10 air changes per hour in Toilets and ventilated lobbies.

FIRE PRECAUTIONS:

Storage/Industrial Area is to be separated from the Entrance area by a 225mm solid block wall and fire resistant stud partitions carried up to underside of concrete floor slab or to fire resistant timber ceiling. ½ hour f.r.s.c. doors to be fitted in opes in this wall.

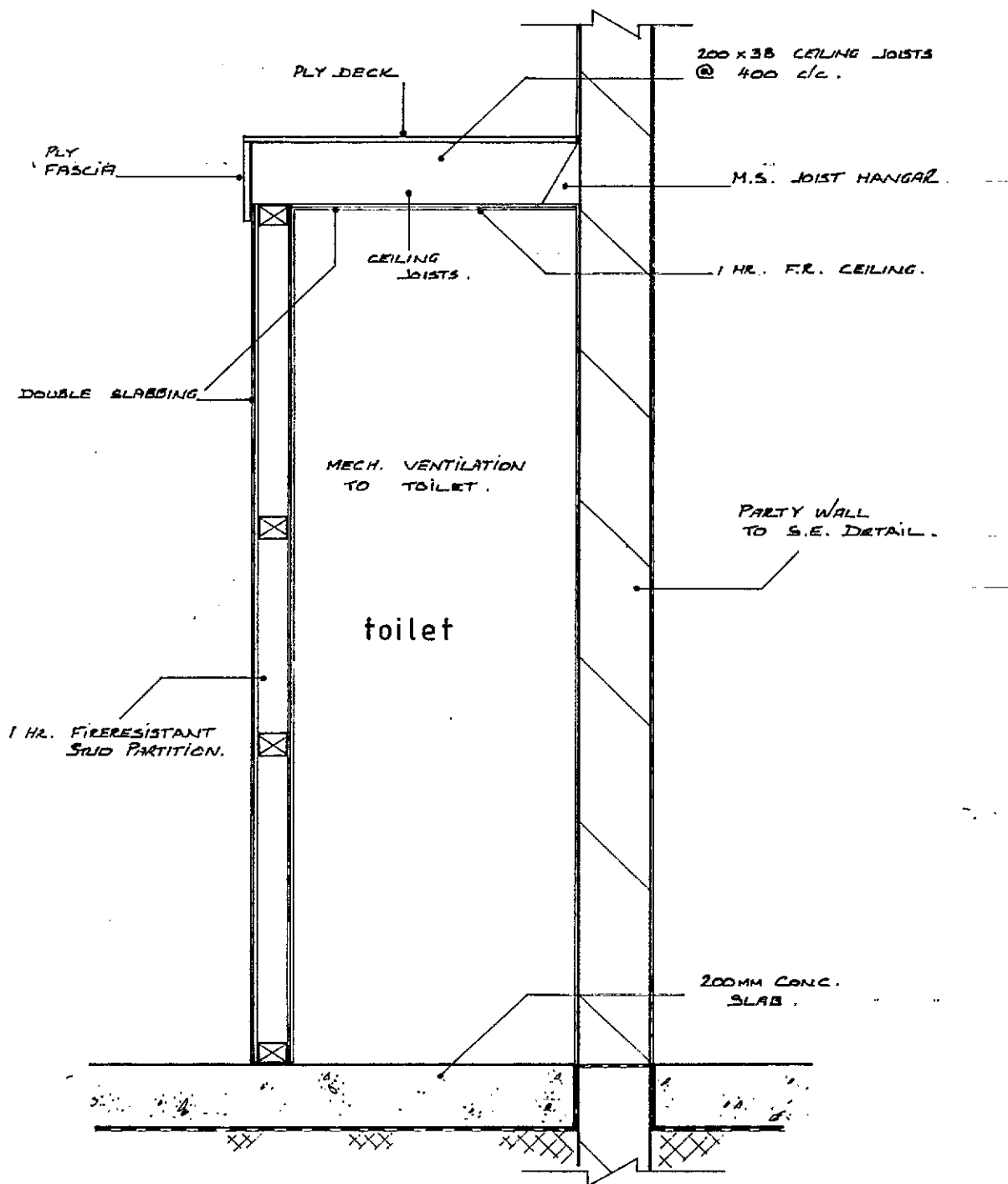
Exit doors from the Storage/Industrial Area direct to open air to be provided with emergency exit signs. Twin beam wall or roof mounted emergency lighting to be provided in suitable locations internally.

Fire alarm to BS 5839 to be provided.

Fire extinguishers will be provided at suitable locations.

Fire alarm, to BS 5839, to be provided.

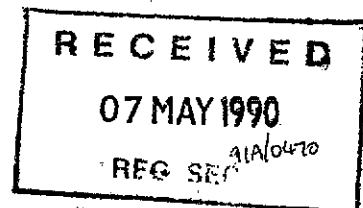
Access to buildings for fire-fighting purposes will be in accordance with the requirements of Part Q3 of the Proposed Building Regulations.



SECTION THRO TOILET

Scale 1:20.

SPECIFICATION
for
STRUCTURE, ROADS, DRAINAGE
and WATER SERVICES
for BLOCK C
of
GREENHILLS INDUSTRIAL ESTATE
TALLAGHT, DUBLIN 24.



Dermot Doorly C.Eng.M.I.Struct.E F.F.A.S.
14A Chatham Street,
Dublin 2.

SEWERS AND DRAINS

Pipe Types

The following pipes and fittings may be used for both foul and surface water sewers and drains.

uP.V.C. pipes complying with the 'Provisional Specification for soil and Waste Pipes, Drains, Sewers and Fittings made of hard P.V.C.' issued by the Dept. of Local Governmnet.

Gradient

All sewers and drains shall be laid at gradients that will produce velocities lying in the range 0.8 M/sec and 4.0 M/sec when flowing half full.

Cover

All pipes shall be laid with a minimum cover of 1.2M.

Where it is not possible to achieve this cover pipes shall be bedded and surrounded in concrete 150mm thick.

Access to Sewers and Drains

Access to sewers and drains shall be provided at maximum intervals of 90 M and in the following positions:

1. At all change of directions
2. At all changes of gradient
3. At the head of all sewer and drain lengths
4. At all sewer junctions and all changes in pipe diameter

Pipe Laying

Pipes shall be laid on a concrete bed at least 100mm in thickness and projecting at least 75mm on either side of the drain, and haunched up to half the external diameter of the pipe.

Jointing

All pipes shall have flexible joints which shall be formed by an approved method recommended by the pipe manufacturer. Rubber sealing rings shall comply with B.S. 2494 Part 2. Ogee concrete pipes shall have mortar joints.

Manhole Construction

Manholes shall be constructed of solid concrete blockwork to I.S. 20. The minimum wall thickness shall be 200mm. Manholes shall be built on a base of concrete of minimum 150mm.

Manhole roofs shall consist of a reinforced concrete cover slab suitably reinforced to carry all probable dead and live loads and shall be of minimum thickness 150mm.

Manholes shall be scudded and rendered two coats externally. Manholes shall be at least 750mm square.

Benching

Benching shall consist of pre-formed channels or pipes cut to form channels.

Benching shall rise vertically from the top edge of the channel to a height not less than the soffite of the outlet, be sloped upwards thence to the wall at a gradient of 1 in 6 and finished in a cement mortar.

Manhole Covers and Frames

Manhole covers and frames shall be as approved and, unless specified otherwise, shall comply with B.S.497 in all but dimensions. The minimum opening dimensions shall be 600mm x 600mm rectangular or, if circular, 550mm diameter. The appropriate grade of cover and frame which shall be used in any location is given in the following table:

Manhole Covers and Frames

B.S. 497 Grade	Location
Grade A	Carriageways
Grade B	Footpaths, verges, vehicular accesses
Grade C	Situations inaccessible to wheeled vehicles

Gullies

Gullies in paved areas and carriageways shall be arranged so that pondings shall not occur.

Gullies for paved areas shall be provided at the minimum rate of one gully per 200 S.M.

Gullies shall be pre-cast concrete complying with B.S.556 or shall consist of a chamber with minimum interval dimensions of 450mm x 300mm x 750mm deep constructed of 100mm solid concrete blockwork and having a 150mm in-situ concrete floor. The outlet from the gully shall be 155mm dia. set a minimum of 375mm above the floor of the chamber.

Gully gratings shall comply with B.S. 497 Grade E.

ROADS

LAYOUTS AND GRADIENTS

- Carriageway Radii. Kerb radii at junctions shall be a minimum of 6 M.
- Road Gradient. Longitudinal gradient shall lie between 1 in 200 and 1 in 20. At the junction the gradient shall not be greater than 1 in 50 for a distance of 7 M from the junction.
- Cambers and cross-falls. Cambers and crossfalls shall lie between 1 in 48 and 1 in 36.

CONSTRUCTION

- Sub-base material Sub-base material shall comprise gravel, crushed rock or crushed concrete. The material shall lie within the limits set out hereunder.

Sieve Size	Percentage Passing
B.S. 41I	by weight
75.00mm	100
37.5 mm	85-100
10.00mm	40-70
5.00mm	24-45
600.00 μ m	8-22
75.00 μ m	0-10

Carriageway
Construction

Concrete carriageway shall be unreinforced and shall be 180 mm thick.

Concrete shall have a cube strength of 21 N/S mm at 28 days.

The minimum sub-base thickness shall not be less than 200mm.

Where local weak areas of subgrade strength exist, increased construction thicknesses as may be approved shall be used.

Joints

Maximum joint spacings shall be as follows:-

Contraction joints 5 M.

Expansion joints 45 M.

Expansion joints shall also be used to form small slabs around all manhole covers, gullies and surface boxes occurring on the carriageway. The slabs shall be at least as large as the external dimensions of the relevant chambers. Either a contraction or expansion joint shall be provided at construction joints.

Carriageways wider than 5.5 M. shall have a central longitudinal joint. Longitudinal contraction and expansion joints shall be constructed as shown on Drawing No.

Expansion joint filler shall be softwood or softboard and shall be 25mm thick. The filler shall be immersed in water for at least 48 hours and kept damp until concrete is placed around it. The combined depth of filler and groove in contraction and longitudinal joints shall be a minimum of one third slab thickness. Where a construction joint occurs at a contraction or longitudinal joint a filler is not necessary.

Contraction and expansion joints shall have sliding dowel bars at 300mm centres. The dowel bars for expansion joints shall be 20mm diameter and 550mm long and those for contraction joints shall be 12mm diameter and 400mm long. Half the length of the bars shall be coated with bitumen complying with B.S.4147 or calcium-base grease complying with B.S.3223 to reduce bond. The bars in expansion joints only shall be provided with a sleeve at the de-bonded end, containing a thickness of 25mm of compressible material. Longitudinal joints shall have tie bars 12mm in diameter and 1 M long at 600mm centres. Dowel bars and tie bars shall be hot rolled plain mild steel complying with B.S.4449 and shall be free of loose mill scale, loose rust, oil, paint and grease. The sliding ends of dowel bars shall be sawn.

Joints shall be provided with a groove to accommodate a sealing material. The sealing material shall be hot applied joint-sealing compound complying with B.S. 2499, Type A2, and the finished surface of the joint sealing compound shall be 5mm below the surface level of the concrete. Dimensions of joint groove and seal shall be as in Table 2.6

TABLE 2.6 Dimensions of Grooves for Joints and Sealing Material

	Minimum width of groove (mm)	Minimum depth of groove (mm)	Depth of seal (mm)
Contraction Joint	10	25	20
Expansion Joint	30	30	25
Longitudinal Joint	5	25	20

Other joint filler and sealing materials may be used subject to approval.

Reinforcement

Where a reinforced concrete carriageway slab is used, the reinforcement shall be long mesh steel fabric complying with B.S.4483 and shall be free from loose mill scale, loose rust, oil, paint and grease. The minimum weight of reinforcement shall be 2.61 kg/m^2 . The reinforcement shall have 60mm cover from the surface and shall terminate at least 40mm and not more than 80mm from the edges of the slab including edges at joints. Reinforcing mats shall overlap such that the transverse wire of one mat shall lie within the last complete mesh of the previous mat and the overlap shall be at least 450mm. No overlap is needed longitudinally between mats.

Cement

Normal Portland cement shall comply with I.S.1.

Aggregates for concrete

Coarse and fine aggregates from material sources for concrete shall comply with I.S.5

CAR PARKING AREAS

Sub-base material

The sub-base material and grading shall be as for the carriageway construction.

The minimum sub-base thickness shall be 150mm.

Where local weak areas of sub-grade strength exist, increased construction thickness as approved shall be used.

Base material

The base material shall consist of 40mm nominal size dense roadbase bitumen macadam complying with B.S. 4987.

Surfacing shall be a minimum of 60mm thick and shall consist of wearing course bitumen macadam complying with B.S. 2040. The nominal maximum aggregate size shall be 20mm.

Surface Dressing

The surface to be dressed shall be dense and free from dust. The binder shall be cut back bitumen complying with the Department of Local Government specification for cut-back bitumen or cationic road bitumen emulsion.

KERBS

Kerbs shall be precast concrete 250mm by 125mm complying with I.S. 146 and shall be laid on a 100mm thick by 300mm wide concrete bed and haunch.

Kerbs shall show between 100mm and 150mm over the carriageway.

WATER SUPPLY

- Water main pipe The following water main pipes may be used.
1. Asbestos cement pressure pipes complying with B.S.480.
 2. Ductile iron pipes cast and spun complying with B.S. 4772.
 3. uP.V.C. pipes complying with I.S.123.
- Watermain pipes shall be minimum 100mm diameter.
- Service Pipes Service pipes shall be a minimum 12mm interval diameter and shall be one of the following type.
1. Annealed copper complying with B.S. 2871 .
 2. Polyethylene pipe 425 type complying with I.S.134 Heavy Guage.
 3. Polyethylene pipe 710 type complying with I.S. 135.
- Cover to Pipes Watermain pipes shall have a minimum cover of 900mm. Service pipes shall have a minimum cover of 600mm.
- Pipe Jointing Joints shall be formed by an approved method recommended by the pipe manufacturers. Rubber sealing rings, where used, shall comply with B.S.2494.
- Pipe anchorage Concrete anchor blocks shall be provided on watermains at dead ends, tees, bends of greater curvature than $22\frac{1}{2}^{\circ}$ and both sides of a sluice valve chamber. Anchor blocks shall encase the pipe in concrete to a minimum length of 600mm.

Stopcock A stopcock shall be provided on each service pipe immediately outside the front wall of the unit.

Chambers for Sluice Valves, Air Valves, Hydrants and Stopcocks Chambers for sluice valves, air valves hydrants and stopcocks shall be as shown on drawings No. 8 and 9.

Chambers for stopcocks shall comply with B.S.1185. Pre-cast concrete or in-situ concrete chambers may also be used subject to approval.

Surface Boxes Hydrant, sluice valve, air valve and stopcock chambers shall be provided with cast iron surface boxes. Surface boxes for sluice valve and stopcock chambers shall comply with B.S.1426 and 3461. The appropriate grade of surface box to be used in any location is given in the following table:

B.S. 1426 and 3461 Grade	Location
Heavy - Type H	Carriageways
Medium - Type M	Footpaths, verges vehicular accesses
Light - Type A	Situations inaccessible to wheeled traffic

STRUCTURE

The Structure will be designed in accordance with the following:

C.P.3 Chapter V. Part 2 1972 Loading

C.P. 2004 1972 Foundations

C.P. 110 1972 Structural use of Concrete

B.S. 449 Part 2 1969 The use of Structural
Steel in Buildings

Foundations. A safe ground bearing pressure of 1.5 tons per sq. ft. at 3'0" below ground surface has been assumed for sizing foundations. Trial holes will be opened up and the size and depth of the foundations will be adjusted if necessary.

Floor slabs. The ground floor slab will be a 150 thick R.C. slab on 1000 gauge visqueen D.P.M. on sand blinded consolidated hardcore 200 thick.

The 1st floor will be a 150 thick R.C. slab with a 50 thick concrete screed.

Structural Frame The structural frame will be pre-cast concrete columns and beams. The roof beams shall have a 4 pitch.

The pre-cast concrete shall be designed, manufactured and erected by a specialist firm.

Structural calculations shall be submitted for approval before manufacture.

External Walls The external walls shall be 35mm profile metal cladding with 30mm polystyrene insulation.

The wall cladding shall be fixed to vertical Multibeam sheeting rails. The rails shall be fixed to the floor at the bottom and to a UB eaves beam at the top.

Internal Walls The main dividing wall shall be a 225 thick solid concrete blockwork wall set in cement sand mortar and with R.C. beams at mid height and at the top.

Walls to offices etc. shall be 225 solid concrete blockwork.

Roof. The roof sheeting shall be 35 mm profile metal roofing with 30mm insulation.
The roof sheeting shall be carried on Multibeam purlins.

GREENHILLS INDUSTRIAL ESTATE

BLOCK C.

CALCULATIONS.

ROOF LOADING

DEAD LOAD.

35 mm Profile metal roofing.
with 35 mm insulation

9.93 kg / S.M.

2.04 kN/m²

Purlins

2.00 " "

SERVICES.

2.00 " "

Live load

15.00 " "

TOTAL

21.04 " "

PURLINS

SPAN 7 M (NOT CONTINUOUS)

SPACING 1.4 M. LOADING 1 KN / S.M.

From Tables MULTI-BEAM 203 / 225 1.1704 k / S.M.

Sheeting Rails

Spacing 1.20 M SPAN 5.5 M.

loading wind from CP3 clv 12 kN/m²
= 0.57 kN / S.M.From tables Multi-Beam R125 / 157
0.89 kN / S.M.R.C. Ground Beamloading
sheeting and nails 4 kN/m²

load on beam 4 x 23' 92 kN/m lin

Beam S.W. 30 x 30 900 " " "

add 3'0" width of flow slab B/F 992

D.L	75		
L.L	<u>100</u>		
	175 x 3		<u>525</u>

1517 u ft dia

$BOT = \frac{1517 \times 20^2}{10} = 61,000 \text{ u ft}.$

$A_7 = \frac{61,000 \times 12}{32,000 \times .85 \times 22.5} = 0.98 \text{ s. inch}$

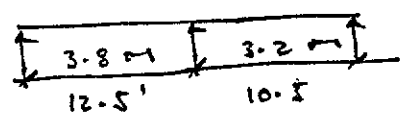
2-y 20 T + B (0.974 s. in)

shear = $1517 \times \frac{20}{2} = 15170 \text{ u}.$

shear stress $\frac{15170}{30 \times .85 \times 22.5} = 22 \text{ u/in}^2$

links nominal 10 mm @ 12".

R.C. flow slab 1st flow.



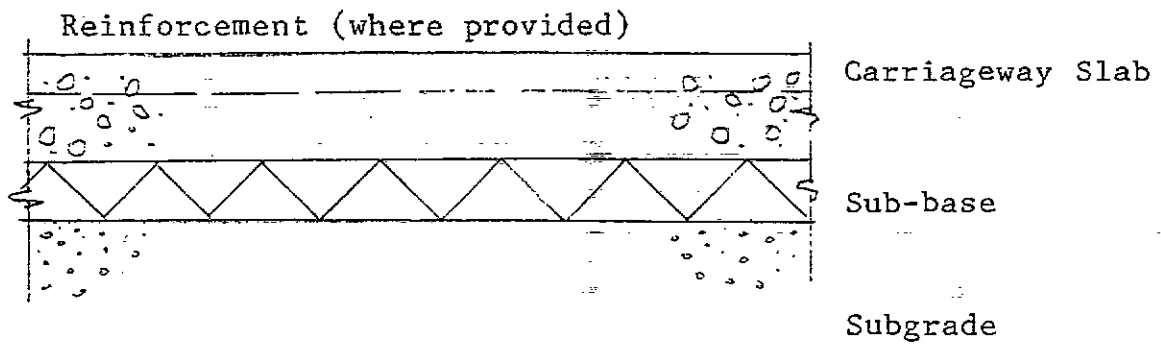
loading
slab

LL			
		100 u ft ²	
		<u>52 u "</u>	
		152	

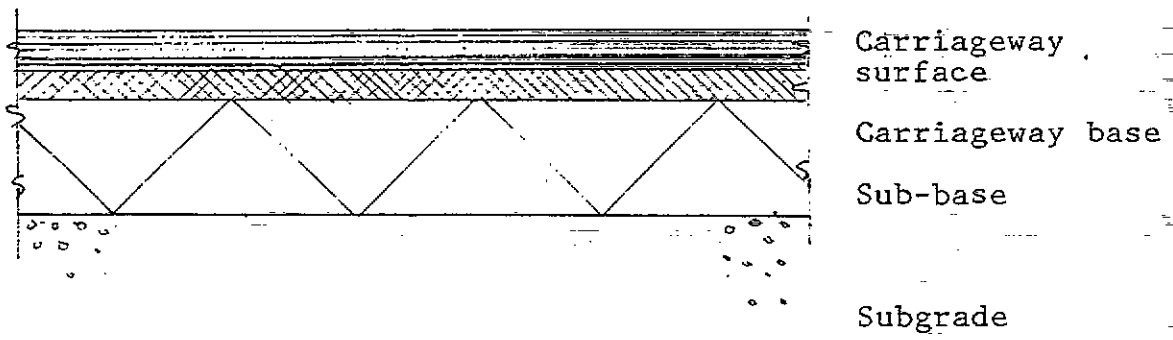
$BOT = \frac{152 \times 12.5^2}{10} = 2375 \text{ u ft}.$

$A_7 = \frac{2375 \times 12}{32,000 \times .85 \times 4.75} = 0.22 \text{ B"} \quad 12 \text{ mm @ } 200$

A7 over support $\frac{.22 \times 10}{8} = 0.275 \text{ B} \quad 12 \text{ mm @ } 200.$



CONCRETE CARRIAGEWAY CONSTRUCTION



FLEXIBLE CARRIAGEWAY CONSTRUCTION

not to scale

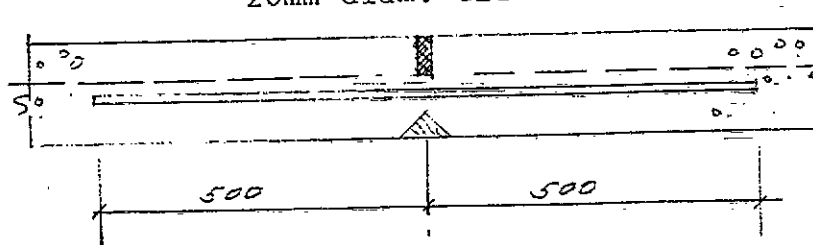
CARRIAGEWAY CONSTRUCTION

drawing no. 6.

Reinforcement (where provided)

20mm diam. tie bar at 600 c/c

Groove filled with joint sealing compound



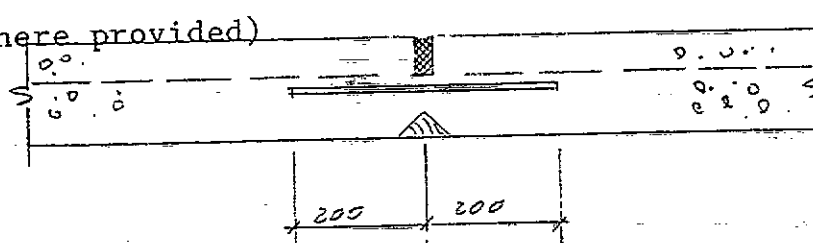
Triangular fillet of timber (omit where joint is also a construction joint)

LONGITUDINAL JOINT

Reinforce (where provided)

20mm diam. dowel bars at 300mm c/c

Groove filled with joint sealing compound



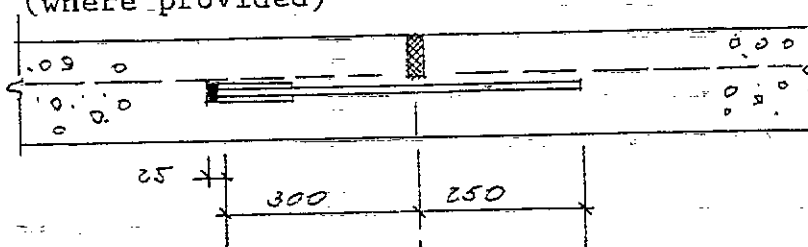
Triangular fillet of timber (omit where joint is also a construction joint)

CONTRACTION JOINT

Reinforcement (where provided)

20mm diam. dowel bars at 300mm c/c

groove filled with joint sealing compound



Softwood joint filler 25mm thick

Plug of compressible material 25mm thick

EXPANSION JOINT

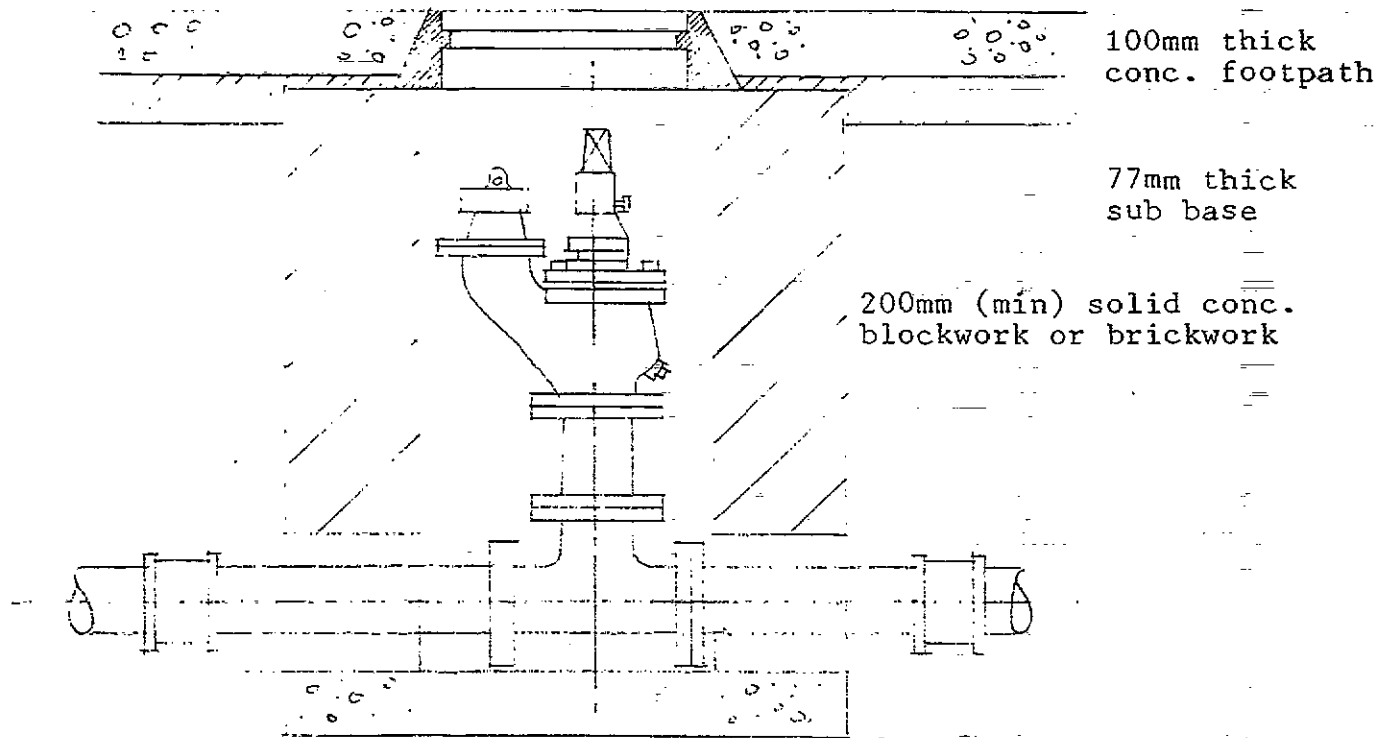
not to scale

JOINTS IN CONCRETE CARRIAGEWAYS

drawing no. 7

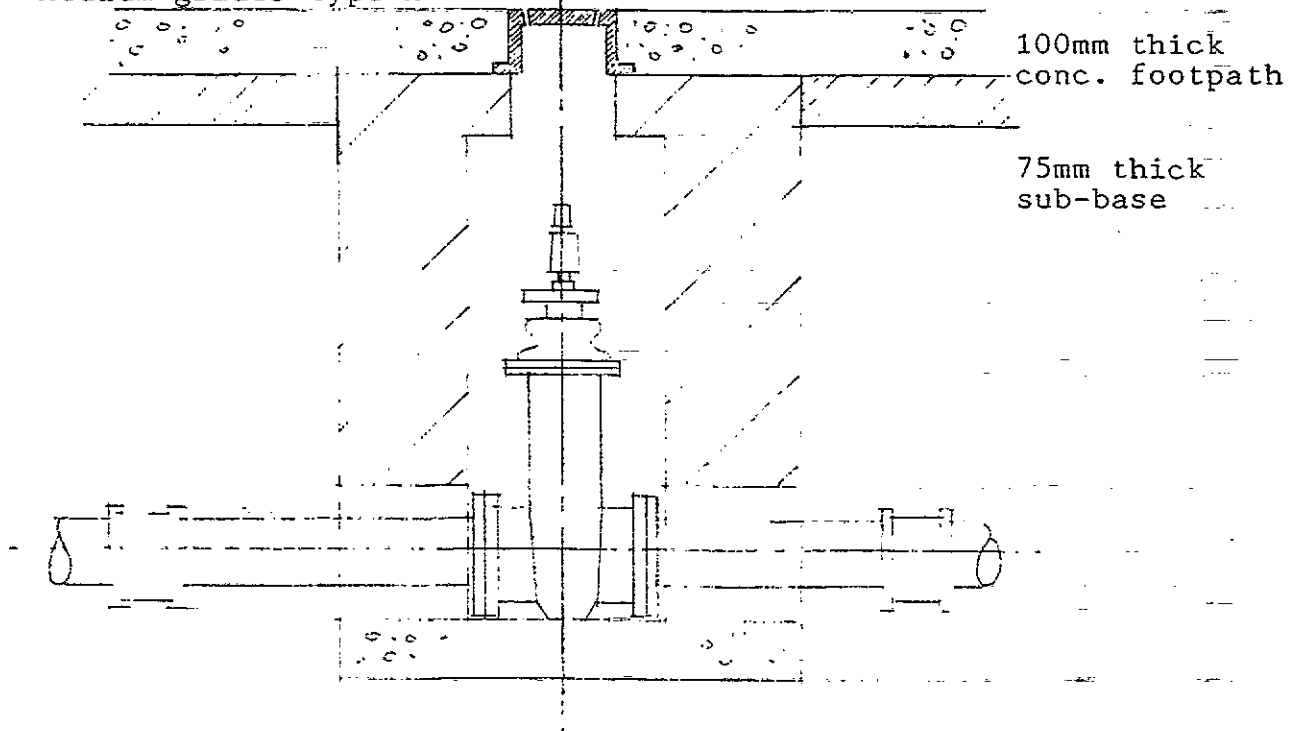
Surface box to
B,S, 750

Minimum internal dimension
450mm x 300mm



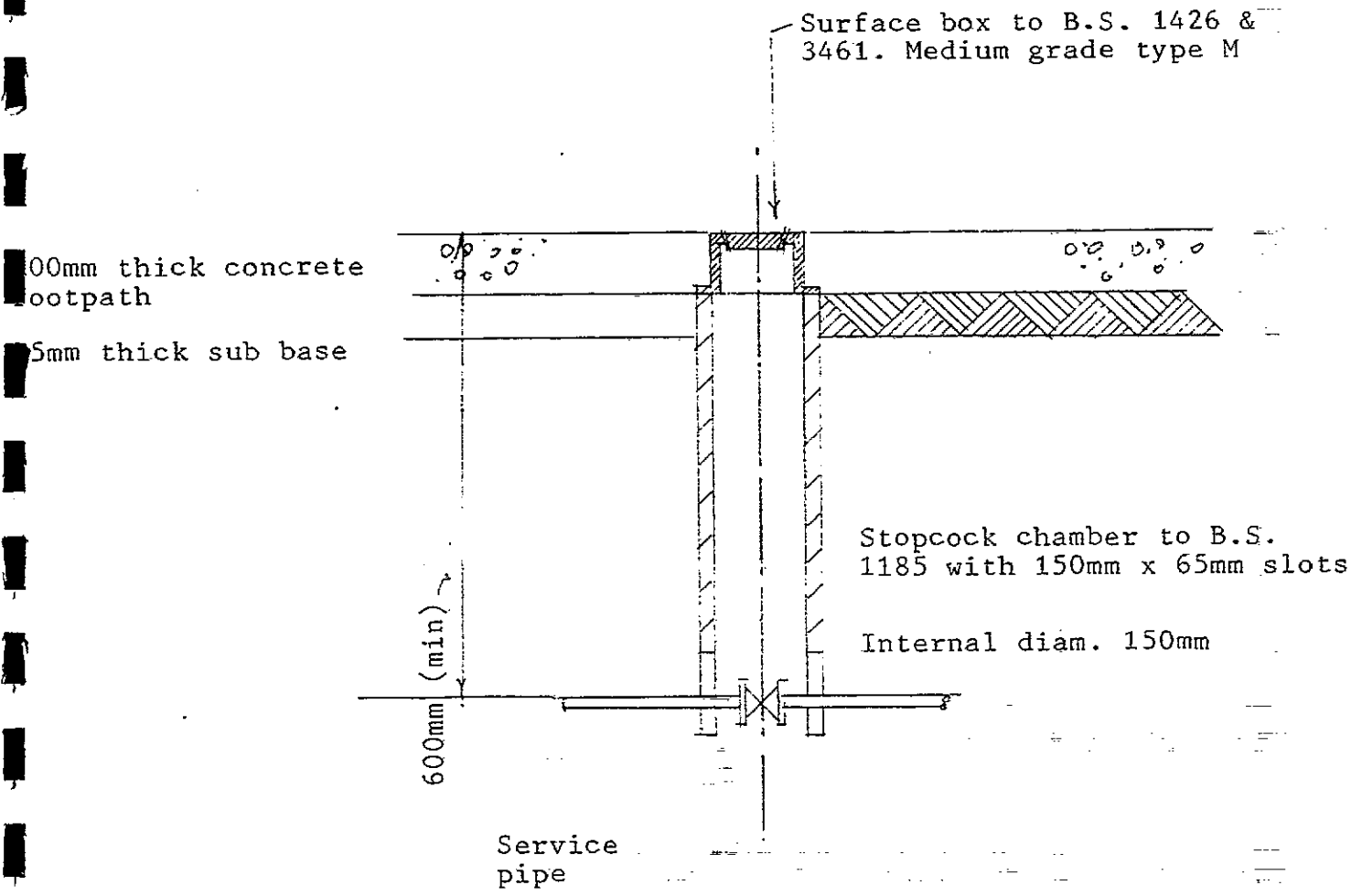
HYDRANTS

Surface box to B.S.1426 & 3461
Medium grades type M



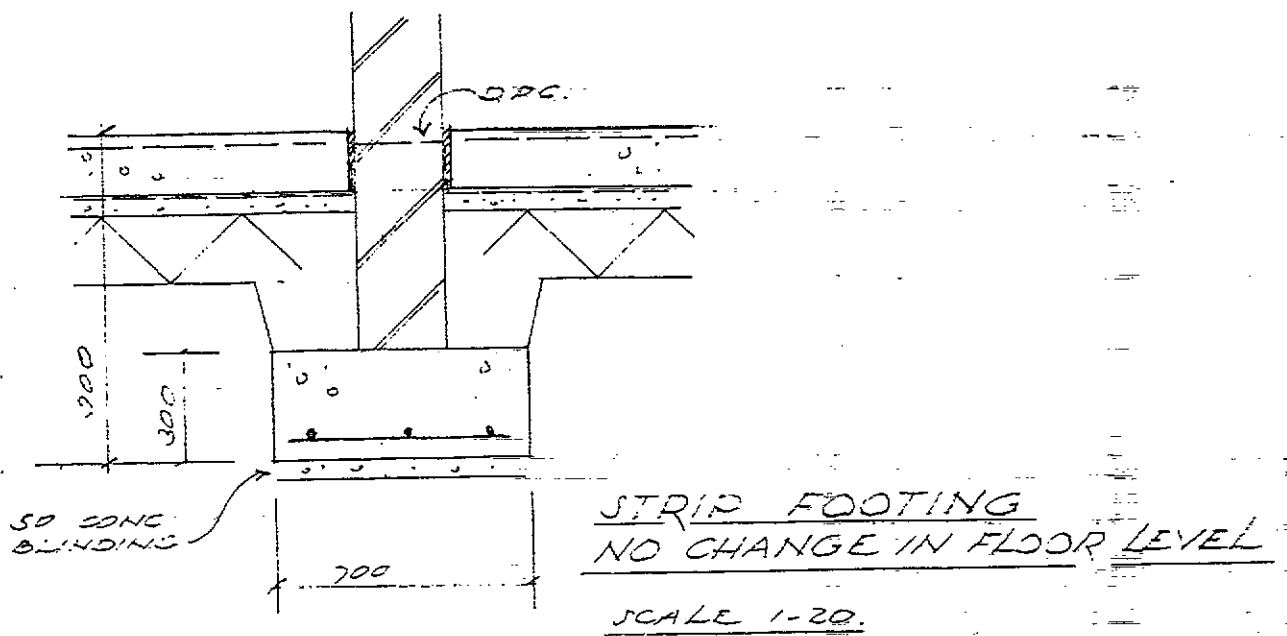
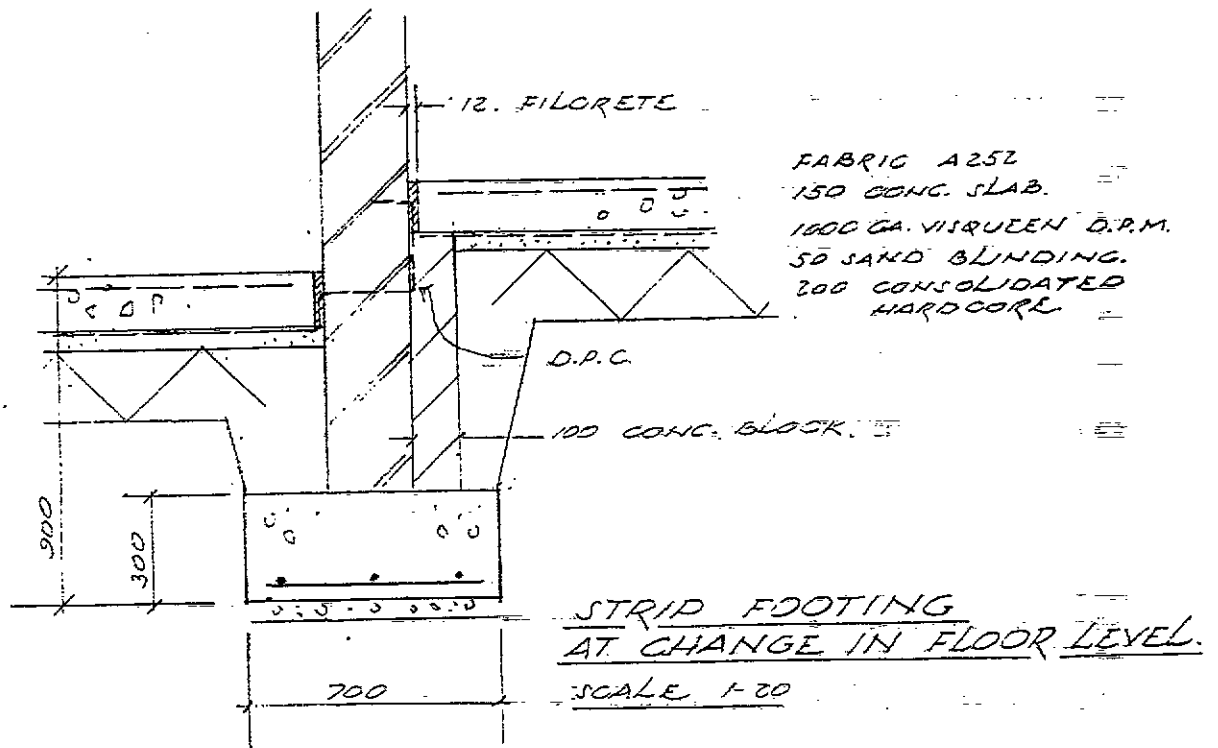
SLUICE VALVES

not to scale.
HYDRANT AND SLUICE VALVE CHAMBERS
DRAWING NO. 8



not to scale

STOPSOCK CHAMBER
drawing no. 9.



DRG. N° 10

INDUSTRIAL DEVELOPMENT GREENHILLS RD.

beg. ref. - 91A 470

Block C.

Greenhills Ind Park.

Richard Wheahan.

Dundonald
Construction
&
Development Ltd

£ 2480.62

- Dublin County
Council.

With Compliments

15 Hume Street, Dublin 2. Tel: 01-768188/768185. Fax: 01-768189.
Registered in the Republic of Ireland. Registered No. 93249. VAT No. 4693708C.

COMHAIRLE CHONTAE ATHA CLIATH

RECEIPT CODE

PAID BY — DUBLIN COUNTY COUNCIL

this receipt is not valid unless the fee is paid

46/49 UPPER O'CONNELL STREET
DUBLIN 1.

- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

fee.

N 39727

£ 2100.00

Received this 24th day of May 1977

from *James J. Deane, 114 St. James Street, Dublin 2*

the sum of *Two thousand one hundred* Pounds
and no pence Pence, being

James J. Deane Cashier *S. CAREY* Principal Officer

Lorcan Greene & Associates,
5 Thormanby Road,
Howth,
Co. Dublin.

Reg. Ref: 91A/0470

24 May 1991

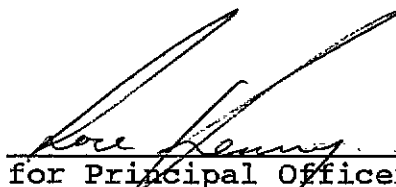
Re: Proposed revisions to part of already approved development of industrial units at Greenhills Industrial Estate, Greenhills Road viz replacement of the 4 units in Block C with 14 smaller units associated internal alterations and revisions to parking layout for Dundonald Construction Ltd.

Dear Sir,

With reference to your planning application received here on 28 March, 1991 in connection with the above, I wish to inform you that:-

In accordance with Section 10(2a) of the Local Government (Planning and Development) Act, 1982, it is not proposed to determine this planning application as the correct prescribed fee in respect of this planning application has not been submitted to the Planning Authority.

Yours faithfully,


for Principal Officer.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0470

Date : 2nd April 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : revisions to part of already approved development of industrial units viz replacement of the 4 units in Block C with 14 smaller units, associated internal alterations and revisions to parking layout

LOCATION : Greenhills Industrial Estate, Greenhills Road

APPLICANT : Dundonald Construction Ltd

APP. TYPE : PERMISSION

With reference to above, I acknowledge receipt of your application received on 28th March 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

Lorcan Greene & Associates,
5 Thormanby Road,
Howth,
Co. Dublin.



22-5

PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place in appropriate box.
 Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.
2. Postal address of site or building GREENHILLS INDUSTRIAL ESTATE,
 (If none, give description sufficient to identify) GREENHILLS ROAD, TALLAGHT, DUBLIN 24.
3. Name of applicant (Principal not Agent) DUNDONALD CONSTRUCTION LTD.
 Address 15 HUME STREET, DUBLIN 2. Tel. No. 768188.
4. Name and address of LORCAN GREENE + ASSOCIATES,
 person or firm responsible for preparation of drawings 5 THORMANBY ROAD, HOATH Tel. No. 322826
5. Name and address to which LORCAN GREENE + ASSOCIATES,
 notifications should be sent 5 THORMANBY ROAD, HOATH, CO. DUBLIN.
6. Brief description of proposed development REVISIONS TO ALREADY APPROVED BLOCK C. REPLACING 4 LIGHT INDUSTRIAL WAREHOUSE UNITS WITH 4 SMALLER UNITS ETC.
7. Method of drainage PUBLIC MAIN 8. Source of Water Supply PUBLIC MAIN
9. In the case of any building or buildings to be retained on site, please state:
 - (a) Present use of each floor or use when last used. —
 - (b) Proposed use of each floor —
10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No
11. (a) Area of Site 12,950 Sq. m.
 (b) Floor area of proposed development 1,890 Sq. m.
 (c) Floor area of buildings proposed to be retained within site — Sq. m.
12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD
13. Are you now applying also for an approval under the Building Bye Laws?
 Yes No Place in appropriate box.
14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
SUBSTANTIALLY.
15. DUBLIN 24 Permission sought with 4 No. COPIES OF SPECIFICATION AND DRAWINGS No's 91/01/01 TO 05 INCLUSIVE, PAGE FROM IRISH PRESS 28/3/91, COVERING LETTER, CHEQUE FOR PLANNING FEE
 from Dublin County Council for revisions to part of already approved development of industrial units at Greenhills Industrial Estate, Greenhills Industrial Estate, Greenhills road, viz. replacement of the 4 units in Block C with 4 smaller units and associated internal alterations and revisions to parking layout for Dundonald Construction Ltd.
16. Gross floor space of proposed development (See back) 1,890 Sq. m.
 No of dwellings proposed (if any) — Class(es) of Development 4
 Fee Payable £ 826.88 Basis of Calculation 1890 x 1.75 = 3307.5 ÷ 4
 If a reduced fee is tendered details of previous relevant payment should be given SEE COVERING LETTER.
- Signature of Applicant (or his Agent) Lorcan Greene Date 28th March 1991
- Application Type Plan FOR OFFICE USE ONLY
 Register Reference 91A 0470
 Amount Received £ —
 Receipt No —
 Date —

J. Piers 28/3/91
 826.88 88/3
 N35015

RECEIVED
 28 MAR 1991
 REG. SEC.

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Act 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha. (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls. For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ATHA CLIATH

PAID BY

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1.

Issue of this receipt is not an acknowledgement that the fee tendered is the prescribed application fee. N. 35015

- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

£ 100.00

Received this 10th day of March 1991

from [Handwritten Name]

the sum of [Handwritten Amount] Pounds

[Handwritten Amount] Pence, being [Handwritten Amount]

[Handwritten Note]

[Handwritten Signature] S. CAREY Principal Officer

[Handwritten Signature] Cashier

The attached submission, lodged on 28-3-91 in relation to a development at GREENHILLS ADD. EST cannot be plotted on the Ordnance Survey Sheets as the enclosed site location map is inadequate/~~incorrect~~.

J. Mahon
Draughtsman

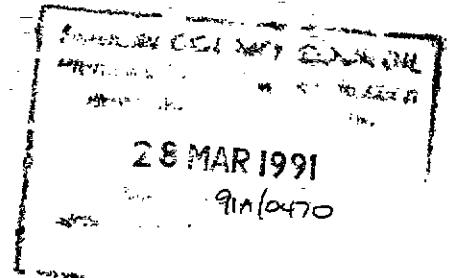
COMMENTS:



LORCAN GREENE
& ASSOCIATES
ARCHITECTS

Planning Department,
Dublin County Council,
Irish Life Centre,
Lr. Abbey St.,
Dublin 1.

28th. March 1991,



Re: Revisions to Block C of already approved Light
Industrial/Warehouse Development at Greenhills Industrial
Estate, Greenhills Road, Tallaght, Dublin 24.

Dear Sirs,

Please find enclosed the following documents as our application
for Planning Permission only for the above development:

1. Planning Application Form duly completed.
2. Cheque for Planning Application Fee.
3. Page from Irish Press, 28/3/91 with notice outlined in red.
4. 4 No. copies of Architect's drawings nos. 91/01/01 to
90/01/05 inclusive.
5. 4 No. copies of Architect's Specification.

The following points should be noted:

Nature of Development:

This proposal consists of revisions to part of an already
approved development on this site (see 'Previous Applications'
below). The changes are confined to Block C of the development
and the adjoining parking areas and consist of the replacement

...contd/

of 4 industrial units with 14 smaller units, with a reduced overall floor area of 1,890m² (previously 2,047m²), together with associated alterations to internal layouts and elevations, and the rearrangement of parking layout to facilitate additional loading areas.

Previous Applications:

The previous application to which this application relates is for 14 Light Industrial/Warehouse Units on this site (Reg. Ref 90A/1749, Decision to Grant Permission issued 14-2/91).

Site Layout:

This is basically unchanged from the above mentioned application. The one exception that the main estate access roadway is continued towards the southern boundary to provide access to additional parking spaces which are provided to make up the shortfall caused by the provision of extra loading bays.

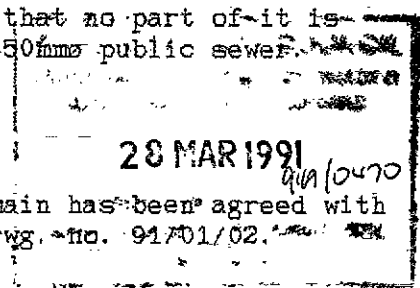
On plan the relationship of Block C to the adjoining houses is unchanged. It should be noted that the proposed building is approximately 1m lower than the building already approved.

Public Sewers:

The proposed building is located so that no part of it is closer than 5m. from the adjoining 450mm public sewer.

Water Main:

The position of the rerouted water main has been agreed with the Area Engineer and is shown on drwg. no. 91/01/02.



Public Lighting:

Copies of the Site Plan have been sent to the Public Lighting Department of Dublin County Council who will prepare a layout and specification for lighting along the pedestrian route. The installation will be carried out by the developer.

Management of Site:

As stated before the estate will be strictly controlled by the developer/landlord and all roadways, public lighting, landscaping etc. within the estate (excluding the pedestrian way) will be maintained by a management company set up for this purpose.

...over/

...contd/

Landscaping & Security:

These are unchanged from the previous application.

Pedestrian Way:

This is shown on drwg. no. 91/01/02 and is unchanged from the previous application.

Proposed Busway:

The location of the busway and building line is shown on drwg. no. 91/01/02 and is unchanged from the previous application.

Elevations:

As in the previous application it is proposed to use metal cladding on all external walls. The cladding will be fixed with profiles running horizontally and will be carried down to ground level. At roof level the wall will be carried up to form a parapet, concealing the pitched roof from view. Where required in order to comply with the requirements of N6 of the Proposed Building Regulations the cladding will be fire resistant. Proposed colours of cladding are shown on elevation drawings.

Windows will be aluminium framed with Syntha Pulvin finish on frames, colours to be selected.

Roller shutters or sectional doors will be used for loading bays.

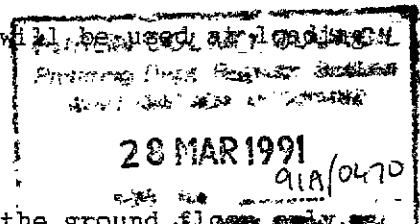
Office/Reception Areas:

These are provided in each unit on the ground floor only, totalling approximately 8% of the gross floor area. Windows are shown on elevations to light possible first-floor offices (these windows may be omitted) but separate planning applications will be made for any developments at first floor level.

Sanitary Facilities:

As the anticipated workforce in each unit is unlikely to be greater than 5 it has been agreed with the Eastern Health Board that one toilet compartment only need be provided at this stage.

A supply of drinking water will be provided to a drinking fountain or sink in a suitable location.



.....over/

...contd/

Parking:

The reduction in overall floor area has been accompanied by a pro-rata reduction in the number of car parking spaces being provided, as follows:

reduction in Office floor area 12.5m², 0.5 spaces,

reduction in Industrial/Warehouse floor area, 144 m², 4.3 spaces.

Total Car Parking reduced by 5 spaces.

Signage:

Signage on buildings will be strictly controlled by the developer/landlord and will be limited to individual 'cut-out' letters or small plates fixed to the facade in agreed locations. Details of these will be submitted to the Planning Department in advance if required.

Planning Application Fee:

A reduced fee is tendered in accordance with Article 9 of the Local Government (Planning and Development) (Fees) Regulations, 1984, being one-quarter of the fee otherwise payable, as follows:

Gross floor area of building: 1,890m² x £1.75 = £3,307.50
25% = £826.88

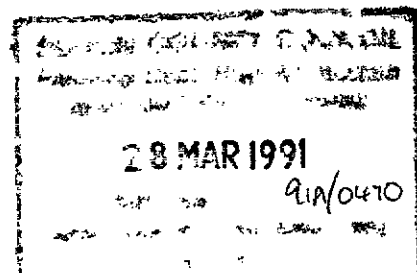
We trust the above is in order and look forward to a favourable decision in the near future.

Yours sincerely,

Lorcan Greene

Lorcan Greene, B. Arch., MRIA.I.

Encls.



Site Boundary

Tymon River

O.S. 3390-8.

LOCATION MAP

1:1000

28 MAR 1991
 91A10470
 28 MAR 1991
 91A10470

Project

BLOCK C - GREENHILLS

drawing

LOCATION MAP

scales

1:1000.

date MAR '91

drawn J. B.

checked

drg no

91/01/04.

revision

Lorcan Greene B.Arch.

Architect

SPECIFICATION

of

MATERIALS TO BE USED AND WORKS TO BE CARRIED OUT

in

THE CONSTRUCTION OF BLOCK C

of

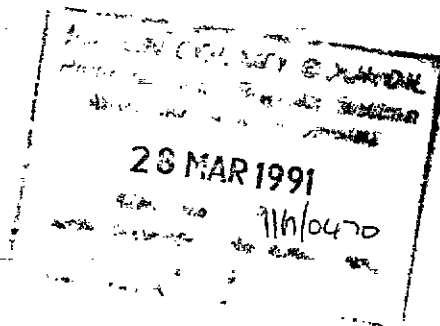
PROPOSED INDUSTRIAL DEVELOPMENT

at

GREENHILLS INDUSTRIAL ESTATE, TALLAGHT, DUBLIN 24,

for

DUNDONALD CONSTRUCTION LTD.



Prepared by:

Lorcan Greene & Associates,

Architects,

5 Thormanby Road,
Howth,
Co. Dublin.

March 1991.

©

EXCAVATION

SITE CONDITIONS: The Contractor shall be deemed to have satisfied himself as to the nature of the site and subsoil.

EXCAVATIONS: All excavations shall be made to the dimensions and depths shown on the drawing or to such other depths as the Architect may direct having regard to the nature of the subsoil.

PLANKING AND STRUTTING: The sides of all excavations shall be properly supported with good sound timber as hereinafter specified (or otherwise satisfactorily retained) which must be carefully removed as the excavations are filled in but the removal of such timber shall not relieve the Contractor of his responsibility for the stability of the work. Should the dimensions of the excavations exceed those shown or directed or should the sides of the excavations cave in, the Contractor shall at his own expense fill and tightly pad such extra spaces alongside concrete foundations with mass concrete or other approved material as the Architect may direct.

BOTTOMS OF EXCAVATIONS: The Contractor shall make provision for leaving insitu the bottom 75mm (3") in depth of all excavation in clay soil and for removing this layer by spade immediately prior to the laying of concrete or hard-core and no traffic shall be permitted over the prepared formation other than in placing the concrete or hardcore.

WATER IN EXCAVATIONS: The Contractor shall make provision for and deal with all water, including spring or running water below the water level in the ground, which may find its way into the excavations under any conditions of weather and shall excavate sumps, from drains and provide all necessary plant and apparatus for dealing therewith.

ROCK: Rock shall be excavated by means of compressed air equipment or wedges. Blasting will not be permitted without the prior written consent of the Architect.

EXISTING SERVICES: All drains which pass through the site and which require to be reconnected to alternative outlets shall be maintained in operation until such time as new connections have been completed.

The Contractor shall take all necessary precautions and shall be entirely responsible for the safety of existing buildings and the temporary or permanent support of any underground drains or other services encountered during excavations. Any damage as a result of the Contractor's

negligence in this respect shall be made good at his expense.

HARDCORE:

Hardcore under floor slabs and paving shall consist of clean crushed stone uniformly graded and the maximum size of 100mm (4"). It shall be compacted in layers not exceeding 225mm (9") with a mechanically propelled vibrating roller not less than one ton weight. The rolling shall continue until the hardcore is thoroughly compacted and no visible movement of hardcore is seen on the passage of the roller. During the rolling process the hardcore is to be adequately watered.

CONCRETE WORK

CEMENT:

The cement shall be best quality Portland cement and shall comply in all respects with I.S. 1 or B.S. 12. It shall be used in good condition, direct from original sealed bags and stored in a cool dry place. Every bag of cement used shall be fully guaranteed and of the quality specified and a written guarantee shall be produced if required by the Architect.

The Contractor shall obtain a verification from the manufacture giving the result and date of the tests.

Cement damaged in transport, handling or storage shall not be used. Cement on site shall be re-tested from time to time as directed and any failing to pass these tests shall be removed from the site.

WATER:

The water for concrete shall be fresh, clean and free from suspended matter.

AGGREGATES:

The aggregates shall comply with I.S. 5 or B.S. 882, in all respects. Fine aggregate shall be washed.

The fine and coarse aggregates shall be delivered to the site separately and shall be stock piled on clean concrete, macadam or other approved surface.

REINFORCEMENT:

Steel reinforcement shall comply with the requirements of the following standard specifications:-

Mild steel B.S. 785

Hard drawn steel wire
fabric mesh B.S. 4483

All steel reinforcement shall be obtained from approved suppliers and shall be free from oil, grease, paint; all dirt, loose scale and rust shall be removed before use.

Bars shall be bent cold and no heating or forging shall be permitted.

MIXING:

The Concrete generally shall be mixed in a mechanical batch mixer of approved type and all concrete must be used only when freshly mixed. Water shall be used in carefully controlled amounts. The concrete may be used mixed by hand with the Architects permission when it shall be mixed on a dry platform, turned over at least three times dry and three times after the application of water through a hose to the correct consistency. Concrete mixed by hand must contain 10 per cent more cement than stated below. No displacers shall be used in any part of the concrete work.

PLACING:

All concrete shall be placed as soon as possible after mixing and carefully deposited in position, the throw or drop in being short to ensure the aggregate being properly distributed. All joints caused through stoppage in the work shall be brushed clean, roughened up and saturated with water and where in suspended work joints shall be washed with a cement slurry before proceeding with the work.

No concrete work shall be executed during frost and any newly placed work shall be covered up and protected during cold weather. Concrete laid during hot weather shall be kept continuously damp and covered until set

CONSOLIDATION:

All concrete shall be thoroughly consolidated by tamping and vibration to ensure complete compaction and the complete absence of "honeycombing". Any faulty surfaces exposed on stripping due to this or other causes shall be removed or made good to the Architect's satisfaction at the Contractor's own expense. Immersion vibrators may be used but they should be applied in a number of places, spaced apart, for short periods rather than in one place for a long time and they should be withdrawn slowly

CONSTRUCTION JOINTS:

All construction joints in slabs, beams, walls and bases are to be formed by inserting temporary vertical stopping of boards against which concrete can be properly consolidated. The position at which such joints may be made will be indicated by the Architect. The face of the concrete forming the side of the joint shall be suitably joggled for bonding to the subsequent concrete. Such joggles may be formed by tapered battens fixed to the stopping of boards.

At all horizontal construction joints in walls the surface of the concrete shall be grooved or otherwise suitably indented for bonding with the concrete above. Such grooves may be formed by temporarily inserting

longitudinal battens; these to be removed immediately the concrete has set. In cases where vertical concrete faces will be permanently visible the longitudinal battens shall be fixed temporarily to the shuttering so as to form a rebate along the line of the joint into which the subsequent concrete can be thoroughly consolidated.

All previous work to be connected to new concrete must be properly cleaned and roughened.

In the case of vertical joints the face of the concrete is to be coated with a cement grout immediately before concreting is recommenced.

In the case of horizontal joints a 2" thick layer of cement and sand shall be deposited immediately before concrete is recommenced and the new concrete thoroughly punned into the cement mortar.

Where construction joints occur in reinforced concrete work the reinforcement shall be lapped to ensure a proper bond.

MIXTURES:

Concrete mixtures are to be composed as follows:

- Mix A One part cement to two parts sand to four parts sand to four parts aggregate by volume.
- Mix B One part cement to two and a half parts sand to five parts aggregate by volume.
- Mix C One part cement to twelve parts all in aggregate.

BRICKWORK AND BLOCKWORK

BRICKWORK:

The facing bricks shall be selected clay bricks in accordance with BS 3921. Concrete bricks shall be in accordance with BS 1180. Care shall be exercised in handling the bricks and no damaged facing bricks shall be used. Brickwork shall be laid in stretcher bond bedded, backed and jointed in gauged mortar.

CONCRETE BLOCKWORK:

All concrete blocks shall be in accordance with I.S. 20 (solid blocks) and I.S. 40 (hollow blocks) and shall be obtained from an approved manufacturer.

Blocks shall be to the sizes indicated on drawings, with all necessary closers and the like, and shall be free from cracks, flaws, etc. true in shape, uniform in size with all arrises square, straight and sharply defined

All blockwork shall be laid to an approved bond, bedded and jointed in gauged mortar with the joints raked out for a depth of 18mm where to be plastered.

GAUGED MORTAR:

Gauged mortar shall be composed of one part hydrated lime to one part cement to six parts sand by volume.

These materials shall be mixed in a mechanical mixer designed for the purpose, or shall be thoroughly mixed dry on a clean platform for a sufficient length of time well wetted as required and thoroughly turned over before use in small quantities, to avoid partial setting in the heap.

CAVITY TIES:

Cavity wall ties shall be of galvanised wrought iron or galvanised mild steel complying with B.S. 1234. Ties shall be spaced 900mm apart horizontally and 450mm vertically, alternation on each course and shall include additional ties around openings.

DAMP PROOF COURSE:

Damp proof course in walls shall be hessian, felt or asbestos based bitumen type to BS 743 or polythene blended with carbon black filler of approved manufacture. The damp proof course shall be inserted in all walls where shown on the drawings or directed by the Architect, to form a continuous impenetrable water barrier. The damp proof course shall be lapped 300mm at joints.

WORKMANSHIP:

All work shall comply with C.P. 122 for block walling unless otherwise specified.

No blockwork or brickwork shall be built during frosty weather and any work already built shall be covered and protected from frost. The Contractor shall repair and make good all defective work at his own cost to the satisfaction of the Architect.

CARPENTER AND JOINER

GENERALLY:

The whole of the timber is to be the best of its respective kind, perfectly sound, thoroughly seasoned and free from sap, shakes, large loose or dead knots, waney edges and all other imperfections. All are to be sawn die square finished to the sizes specified and shown.

SOFTWOOD:

All timber for Carpenter's work is to be white deal obtained from an approved source and the Contractor must furnish proof that it is properly dried and seasoned. All timber for joinery work unless otherwise specified, is to be selected best quality imported red deal.

HARDWOOD:

Hardwood in joinery shall be selected of prime quality.

QUALITY:

All timber shall be kiln dried and must be free from

seasoning defects when delivered on the job. All timber shall be dried to a moisture content of 10%.

JOINERY:

Joinery shall be stored under dry conditions and should not be fixed until the plaster has completely dried out. Final wedging up should not be completed until fixing of the joinery is in hand.

The word framed as applied to woodwork is to be understood as including all the best methods of joining woodwork together by mortice and tenon, dovetail or other method.

Any portion that may warp, get in winding and develop shakes or other defects, is to replace with new before being wedged up.

All external Joiner's work is to be framed and jointed with a mixture of white and red lead and boiled linseed oil.

PRESSURE
IMPREGNATION:

All softwood in structural timbers shall be pressure impregnated after machining with a 15% to 18% solution of non-ammonium phosphate in water and the depth of penetration is to be not less than 13mm at any place on finished work. All other softwood shall be impregnated under pressure with an approved patented protective treatment approved by the Architect. The Contractor is to allow for any twisting, warping or increase in size of the members due to these processes being used after machining and for members having to be replaced or re-machined.

FINISHED SURFACE:

All timber for joinery work is to be kept perfectly clean and left ready for applied paint.

BLOCKBOARD AND
PLYWOOD:

All blockboard and plywood is to be resin bonded.

FOUNDATIONS AND
RISING WALLS:

Concrete strip foundations to be to the sizes indicated on Structural Engineer's drawings, base of foundation to be a minimum of 900mm below ground level. Concrete mix and reinforcement to be to Structural Engineer's details.

Rising walls to be in solid concrete blockwork or to be in cavity walling with cavity filled with concrete.

Foundation pads for concrete frames to be in reinforced concrete to Structural Engineer's details.

DRAINS:

Foul and surface water drains to be in PVC piping with all necessary junctions, gullies, traps etc., laid in strict accordance with the Manufacturer's instructions. Layout and falls to be as shown on drawings.

DAMP PROOF COURSE:

Damp proof course to be hessian based bitumen type to BS 743 laid to form a continuous impenetrable water barrier in all the usual places, e.g. in walls 150mm above ground level, around opes in cavity walls, under sills etc.

CONCRETE FRAME:

Structural frame to have 4th precast concrete roof beams supported on precast concrete columns, 6.1m high above FFL, all to Structural Engineer's details.

EXTERNAL WALLS:

All external walls to be formed from Plastisol coated, galvanised steel cladding (TMF 32 or Shadowline 47 or similar) fixed horizontally and supported on Multibeam vertical metal sheeting rails, with inner steel lining sheet, all in accordance with Structural Engineer's details.

Cover flashings, window and corner trims in plastisol coated pressed metal.

Where fire resistant walling is required, walls are to be constructed in accordance with the specification of the construction tested in the preparation of the report entitled WARRES No. 40788 or with prefabricated fire resistant cladding panels.

- PARTY WALLS: Party walls to be constructed in 225mm solid concrete blockwork, with r.c. framing to S.E. detail where required. Walls to be carried at least 375mm over roof finish and to be rendered externally and capped with p.c. coping on d.p.c., or clad in metal cladding.
- INTERNAL WALLS: Internal walls supporting p.c. floors to be in 225mm solid concrete blockwork, supported on strip foundation to S.E. detail
- CONCRETE FLOORS: Ground floor to be 150mm thick laid on 1000 grade Visqueen d.p.m. on blinded hardcore with power floated finish. Concrete mix, reinforcement and ground beam details to be to Structural Engineer's specification
- First floor over Loading/Entrance area to be in precast concrete hollow core slabs, 200mm thick, with 50mm structural screed supported on r.c. beams and walls, to Structural Engineer's details.
- ROOF: Roof to be finished with p.v.c. coated 35mm profile insulated metal roofing panels supported on metal purlins, to Structural Engineer's detail.
- Gutters to be precast concrete or formed with p.v.c. coated pressed metal, insulated internally.
- 20% rooflighting to be provided using Astolite or similar double skin sheeting.
- WINDOWS: Windows to be aluminium framed, finished with Syntha Pulvin paint, with single or double glazing and may include housing for roller shutter box where required. Windows to be bedded in mastic and securely fixed to walls.
- LOADING BAY DOORS: Aluminium or steel roller shutter or sectional doors, Plasticol coated, in selected colours.
- EXIT DOORS: Metal finish with timber or metal frame, fire resistant where required and fitted with push bars or pads.
- INTERNAL PARTITIONS: Partitions around Toilets and ventilated lobby to be 100mm fire resisting stud partitions

INTERNAL PLASTERING:

On internal blockwork walls, scud wall and plaster one coat 25mm thick and finish with gypsum plaster skim.

SUSPENDED CEILINGS:

Ceilings Entrance Area to be proprietary suspended ceiling with metal grid and lay-in tiles.

EXTERNAL WORKS:

Roadways and vehicular areas to have tarmac finish, with concrete at loading bays, all to Structural Engineer's specifications. Car parking spaces to be marked with white paint. Footpaths to be in concrete.

SERVICES:

Ventilation to be provided to give 3 - 6 air changes per hour.

Mechanical Air Extraction to specialist detail to be provided to give 6 - 10 air changes per hour in Toilets and ventilated lobbies.

FIRE PRECAUTIONS:

Storage/Industrial Area is to be separated from the Entrance area by a 225mm solid block wall and fire resistant stud partitions carried up to underside of concrete floor slab. ½ hour f.r.s.c. doors to be fitted in opes in this wall.

Exit doors from the Storage/Industrial Area direct to open air to be provided with emergency exit signs. Twin beam wall or roof mounted emergency lighting to be provided in suitable locations internally.

Fire alarm to BS 5839 to be provided.

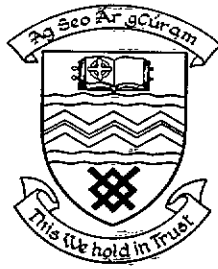
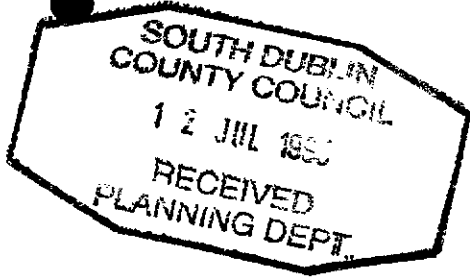
Fire extinguishers will be provided at suitable locations.

Where the office space is subdivided glazed partitions will be used.

Fire alarm, to BS 5839, to be provided.

Access to buildings for fire-fighting purposes will be in accordance with the requirements of Part Q3 of the Proposed Building Regulations.

BM 13/7 MR. S. O'Hara. 15.7.95
SOUTH DUBLIN COUNTY COUNCIL



WS

INTERNAL MEMORANDUM

Department: Parks and Landscape Services

Date: 11.07.95

Mr. P. Murphy,
Acting Senior Administrative Officer,
Planning Department.

Re: Development of 42 Houses west of and abutting Ballyowen Lane, Lucan. Reg.ref. S94A/0269/C1.

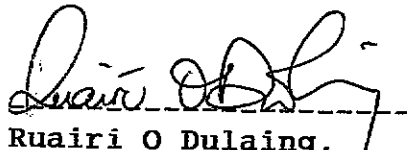
With reference to the above compliance submission our comments are as follows:-

This application was not referred to us when it was initially submitted. It should be noted that the layout of the open space as proposed is highly undesirable and will be a source of problems for residents in the future.

The provision of cycle routes is highly desirable and we are not opposed to them in principle. We would however be totally opposed to the cycle lane as proposed in drawing no. 258/48 as the further incursion into an already narrow strip of open space will create an area of backland between the cycle lane and the houses.

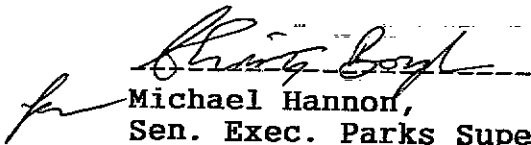
It will also require mounding on the open space as there is a grade difference of between 0.61m and 2 metres between the level of the proposed cycle lane and the level of the houses.

We would therefore recommend that the cycle lane be re-routed.



Ruairi O Dulaing,
Executive Parks Superintendent.

Endorsed by,


Michael Hannon,
Sen. Exec. Parks Superintendent.

BM 5/7

SOUTH DUBLIN COUNTY COUNCIL

REG. REF: S94A/0269/C1

DEVELOPMENT: Revision to previous permission 92A/1918 on an extended site for 42 semi detached 3 and 4 bedroom houses

LOCATION: West of and abutting Ballyowen Lane, Lucan

APPLICANT: Ballymore Homes Ltd.

DATE LODGED: 30.5.1995

The above is for compliance. Roads Department have no objection to the above compliance conditions.

DN/PO'R
3.7.1995

SIGNED: 

ENDORSED: _____

DATE: 4/7/95

DATE: _____

Bm 28/6

SOUTH DUBLIN CO.
12 JUN 1995
ENVIRONMENTAL SERVICES

Register Reference :S94A/0269/C1 Date :12th June 1995

Development : revision to previous permission 92A/1918 on an extended site for 42 semi detached 3 and 4 bedroom houses.

Location : west of and abutting Ballyowen Lane, Lucan, Co.Dublin.

Applicant : Ballymore Homes Ltd.

App. Type : Compliance with Cond

Date received : 30th May 1995 Planning Officer:

SOUTH DUBLIN CO. CO.
27 JUN 1995
ENVIRONMENTAL SERVICES

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Yours faithfully

.....
for SENIOR ADMINISTRATIVE OFFICER

Date received in Sanitary Services

FOUL SEWER REPORT

See Attached Report dated 20/7/94

SURFACE WATER REPORT

See attached report dated 20/7/94

D. Bowler
21/6/95

WATER SUPPLY REPORT

ENDORSED B. H. G.

DATE 23/6/91

Senior Engineer
Environmental Services
South Dublin County Council,
Floor 2.

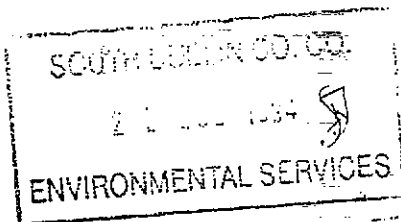
Reg. Ref: S94A/269

Development: -Erection of 42 no. semi-detached houses

Location: Lands at Ballyowen Lane, Lucan

Applicant: Ballymore Homes Limited

Report refers to Drawing No. 258/44.



Foul Sewer: Available subject to the following.

1. A wayleave extending 8 metres either side of the centreline of the twin rising main must be granted to the County Council.

Where the ownership is to be transferred to owners other than the County Council, these ownerships should be indicated.

Where the wayleave extends over gardens of adjacent property the said wayleave should be included within the deeds of the new properties indicating the limitation placed on the prospective householder.

i.e.

- (a) No building/house extension/boundary wall to be constructed within 8m of the rising mains.
- (b) Boundary fence construction should be of a light type ensuring that their foundations do not bear on the rising mains.

The Parks Department should be consulted with reference to this wayleave prior to the final determination of its status.

2. The applicant must submit the following details prior to the commencement of work:-
 - (a) typical manhole sections.
 - (b) long sections of the internal sewer lines.

Surface Water: Available subject to the following.

1. The applicant must construct a manhole where the surface water system connects to the existing 750mm diameter storm sewer (i.e. upstream of manhole S17).

2. The pipe reach from Manhole NO. AS5 to the outfall must be of 375mm diameter.
3. As (2) under foul sewer.
4. A special levy of £50 per house is payable in respect of proposed improvements to the Griffeen River.

Donal Monahan

Donal Monahan
Temp. Assistant Engineer

B. Whyte

B. Whyte
Senior Engineer

20/07/94

