

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/POUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ /
DATED

ENTERED IN CONTRIBUTIONS REGISTER

DEVELOPMENT CONTROL ASSISTANT GRADE

DUBLIN COUNTY COUNCIL

REG. REF: 91A/0465.
DEVELOPMENT: Vehicular Entrance.
LOCATION: Johnville, Tallaght.
APPLICANT: Michael Kavanagh.
DATE LODGED: 24.6.91.

This submission is additional information as requested by Dublin County Council on 23.5.91. The applicant was requested to indicate proposals to set back boundary to the west of the proposed access.

Roads are satisfied that the proposals on the current submission are adequate.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 19.08.91
Time 12.00

MA/BMcC
29.7.91.

SIGNED: Michael Arthur

ENDORSED: E. Madden

DATE: 30-7-91

DATE: 30th July 91

DUBLIN COUNTY COUNCIL

REG. REF: 91/A/465
LOCATION: Johnville, Tallaght.
APPLICANT: Michael Kavanagh.
PROPOSAL: Vehicular access.
DATE LODGED: 27th March, 1991.

This application is for full permission for a vehicular entrance at Johnville, Tallaght.

Roads object to any new access onto a National Secondary road, however, if permission is being contemplated it should be subject to:-

1. The pillars of the proposed access to be setback 3m from the carriageway edge.
2. The boundary to the west of the proposed access in the Blessington direction to be setback at least 5m from the carriageway edge.

This comprises approx. 20m of boundary from the westerly pillar of the proposed access to the existing pillar of the access presently being used for Heavy Goods Vehicles.

3. Existing field gate ~~to~~ an road frontage to be closed permanently. Details to be agreed with the Planning Authority.

MA/MM 22/5/91.

SIGNED: _____

DATE: _____

ENDORSED: E. J. O'Connell

DATE: 23rd May '91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed vehicular entrance at Johnville, Tallaght, Dublin 24 for M. Kavanagh.

Mr. Michael Kavanagh,
Johnville,
Tallaght,
Dublin 24.

Reg. Ref. 91A-0465
COMP. REC'D: 11.09.1991

Report of the Dublin Planning Officer, dated 19 September 1991.

This is a submission for COMPLIANCE with Condition No. 2 of decision to Grant Permission by Order No. P/3938/91, dated 21st August, 1991, in connection with the above.

Condition No. 2 states:

"The type of materials and the details of the design of the proposed new front boundary and access walls and gates to be agreed with the Planning Authority, in writing, prior to commencement of development."

Permission was granted following agreement with the Roads Department on exact location of access in relation to the road.

Condition No. 2 required agreement with the Planning Authority regarding materials and finish of boundary/access walls/gates.

Applicant is proposing 1.8 m. high walls, capped and plastered, with a steel security gate of similar height.

Applicant should be informed that there would be no objection to the proposal as shown in his submission dated 11th September, 1991, provided both walls and gate are painted and maintained to an acceptable standard.

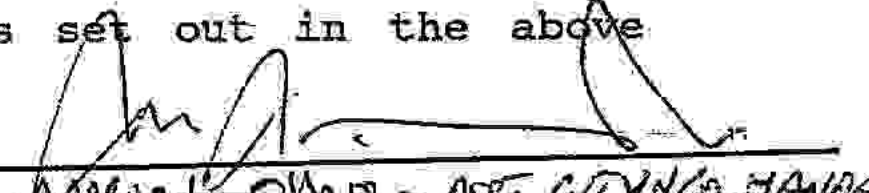
(GB/DK)

Endorsed:- 
for Principal Officer


For Dublin Planning Officer

Order:- Applicant to be informed as set out in the above report.

Dated: 7th September, 1991.


Assistant City and County Manager

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 4th September, 1991.

4th October 1991

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed vehicular entrance at Johnville, Tallaght, Dublin 24 for M. Kavanagh.

Michael Kavanagh,
Johnville,
Tallaght,
Dublin 24.

Reg. Ref.	91A/0465
App. Recd:	27.03.91
Floor Area:	
Site Area:	2700 sq.m.
Zoning:	'B'
A.I. Recd.	24.06.91

Report of the Dublin Planning Officer, dated 20 August, 1991.

This is an application for PERMISSION for a vehicular entrance at Johnville, Tallaght, Dublin 24 for M. Kavanagh.

This access is directly onto the N81 close to the junction at the Embankment Pub. This is a new access onto the road located to the east of the existing access which serves an existing bungalow and also the sheds which are indicated on the drawings provided. The agent for the applicant states that these sheds are use to park lorries. There is an existing field gate between the proposed entrance and the existing entrance. This has not been in use for a number of years judging by the condition of the verge between it and the road.

By Decision Order P/1991/76, Reg. Ref. K.972, planning permission was granted for a replacement dwelling at this location for Mrs. M. Kavanagh. Condition No. 5 of this permission stated "that the access to the existing Main Blessington Road be so designed and constructed as to provide a single access with adequate traffic visibility for the purpose of serving both houses for Mrs. Kavanagh and for Michael Kavanagh".

ADDITIONAL INFORMATION was requested from the applicant with regard to the following 23 May 1991:-

1. Applicant is requested to indicate in writing what proposals he has to set back the existing boundary to the west of the proposed access for a length of approximately 20 metres to the existing pillar of the access for heavy goods vehicles to meet the requirements of the Roads Department with regard to this entrance.

Roads Department report dated 30.07.91 states that the access arrangements proposed in the Additional Information lodged on 24.06.91 are adequate.

Over

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed vehicular entrance at Johnville, Tallaght, Dublin 24 for M. Kavanagh.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (2) conditions:-

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information submitted 24.06.91, save as may be required by the other conditions attached hereto.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. The type of materials and the details of the design of the proposed new front boundary and access walls and gates to be agreed with the Planning Authority, in writing, prior to commencement of development.	2. In the interests of visual amenity.

(RC/AC)

Endorsed:- 
for Principal Officer


For Dublin Planning Officer

21.8.91

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to GRANT PERMISSION for the above proposal subject to the (2) conditions set out above is hereby made.

Dated: 21 August, 1991.


APPROVED OFFICER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 6 August, 1991.

Geraldine

DUBLIN COUNTY COUNCIL

REG. REF: 91A/0465.
DEVELOPMENT: Vehicular Entrance.
LOCATION: Johnville, Tallaght.
APPLICANT: Michael Kavanagh.
DATE LODGED: 24.6.91.

This submission is additional information as requested by Dublin County Council on 23.5.91. The applicant was requested to indicate proposals to set back boundary to the west of the proposed access.

Roads are satisfied that the proposals on the current submission are adequate.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 31.07.91
Time 11.30

MA/BMcC
29.7.91.

SIGNED: Michael Arthur
DATE: 30.7.91

ENDORSED: E. W. [Signature]
DATE: 30th/July/91

M.D.

DUBLIN COUNTY COUNCIL

REG. REF: 91/A/465

LOCATION: Johnville, Tallaght.

APPLICANT: Michael Kavanagh.

PROPOSAL: Vehicular access.

DATE LODGED: 27th March, 1991.

This application is for full permission for a vehicular entrance at Johnville, Tallaght.

Roads object to any new access onto a National Secondary road, however, if permission is being contemplated it should be subject to:-

1. The pillars of the proposed access to be setback 3m from the carriageway edge.
2. The boundary to the west of the proposed access in the Blessington direction to be setback at least 5m from the carriageway edge.

This comprises approx. 20m of boundary from the westerly pillar of the proposed access to the existing pillar of the access presently being used for Heavy Goods Vehicles.

Existing field gate to be closed permanently. Details to be agreed with the Planning Authority.

an road frontage to be

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
 Date.....23.5.91.....
 Time.....6.00.....

MA/MM 22/5/91.

SIGNED: _____

DATE: _____

ENDORSED: *E. J. O'Connell*

DATE: *23rd May '91*

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed vehicular entrance at Johnville, Tallaght,
Dublin 24 for M. Kavanagh.

Michael Kavanagh,
Johnville,
Tallaght,
Dublin 24.

Reg. Ref. 91A/0465
App. Recd: 27.03.91..
Floor Area:
Site Area: 2700 sq.m.
Zoning:

Report of the Dublin Planning Officer, dated 23 May 1991

This is an application for PERMISSION for a vehicular entrance at Johnville, Tallaght, Dublin 24 for M. Kavanagh.

This access is directly onto the N81 close to the junction at the Embankment Pub. This is a new access onto the road located to the east of the existing access which serves an existing bungalow and also the sheds which are indicated on the drawings provided. The agent for the applicant states that these sheds are used to park lorries. There is an existing field gate between the proposed entrance and the existing entrance. This has not been in use for a number of years judging by the condition of the verge between it and the road.

By Decision Order P/1991/76, Reg. Ref. K.972, planning permission was granted for a replacement dwelling at this location for Mrs. M. Kavanagh. Condition No. 5 of this permission stated "that the access to the existing Main Blessington Road be so designed and constructed as to provide a single access with adequate traffic visibility for the purpose of serving both houses for Mrs. Kavanagh and for Michael Kavanagh".

Roads Department report ^{by phone} that they object to any new access to a national secondary route, however if permission is being granted (i) pillars are to be set back 3 metres, (ii) the boundary to the west of ^{the} proposed access in the Blessington direction is to be set ~~out~~ ^{back} from the carriageway edge. This comprises 20 metres of boundary from the western pillar of the proposed access to the existing pillar of the access for HGV's.

I recommend that ADDITIONAL INFORMATION be requested from the applicant with regard to the following:-

1. Applicant is requested to indicate in writing ^{what proposals he has} ~~if he is~~ prepared to set back the existing boundary to the west of the proposed access for a length of approximately 20 metres to the existing pillar of the access for heavy goods vehicles to meet the requirements of the Roads Department with regard to this entrance.

Over

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed vehicular entrance at Johnville, Tallaght, Dublin 24 for M. Kavanagh.

MD
(MD/AC)

Endorsed: - [Signature]
for Principal Officer

[Signature]
For Dublin Planning Officer
23.5.91

Order:- I direct that ADDITIONAL INFORMATION be requested from the applicant for planning permission as set out in the above report and that notice thereof be served on the applicant.

Dated: 23 May, 1991.

[Signature]
ASSISTANT CITY & COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 26 April, 1991.

Mr. Michael Kavanagh,
Johnville,
Tallaght,
Dublin 24.

Reg. Ref.: 91A-0465

14 October 1991

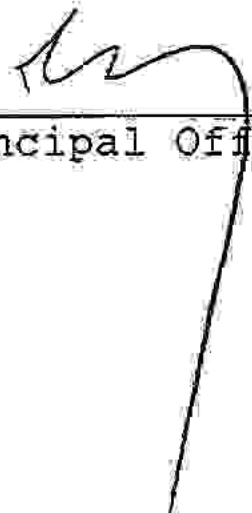
Re: Proposed vehicular entrance at Johnville, Tallaght,
Dublin 24.

Dear Sir,

I refer to your submission received on 11th September, 1991, to comply with Condition No. 2, of decision to grant permission by Order No. P/3938/91, dated, 21st August, 1991, in connection with the above.

In this regard, I wish to inform you that there would be no objection to the proposal as shown in submission dated 11th September, 1991, provided both walls and gate are painted and maintained to an acceptable standard.

Yours faithfully,



for Principal Officer.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.

Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Telephone: 773066

Telephone: 724755
Extension: 231/234

16th September 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: Johnville, Tallaght
PROPOSED DEVELOPMENT: Vehicular entrance
APPLICANT: M. Kavanagh
PLANNING REG. REF.: 91A/0465
DATE OF RECEIPT OF SUBMISSION: 11 September 1991

A Chara,

With reference to above, I acknowledge receipt of application for:

Compliance with Conditions.

Mise, le meas

A. Smith

PRINCIPAL OFFICER

Michael Kavanagh,

Johnville,

Tallaght,

Dublin 24.

Planning Dept.
Irish Life Centre
La albery St
Dublin 1

Johnville
Lullagh
Dublin 24
15/9/91

Re :- By Ref No 91 A/0465.

Enclosed is details of wall and
entrance to my site, details of construction
Taken from the standards for development works
in the County of Dublin

Trusting these are the details that
are required by you

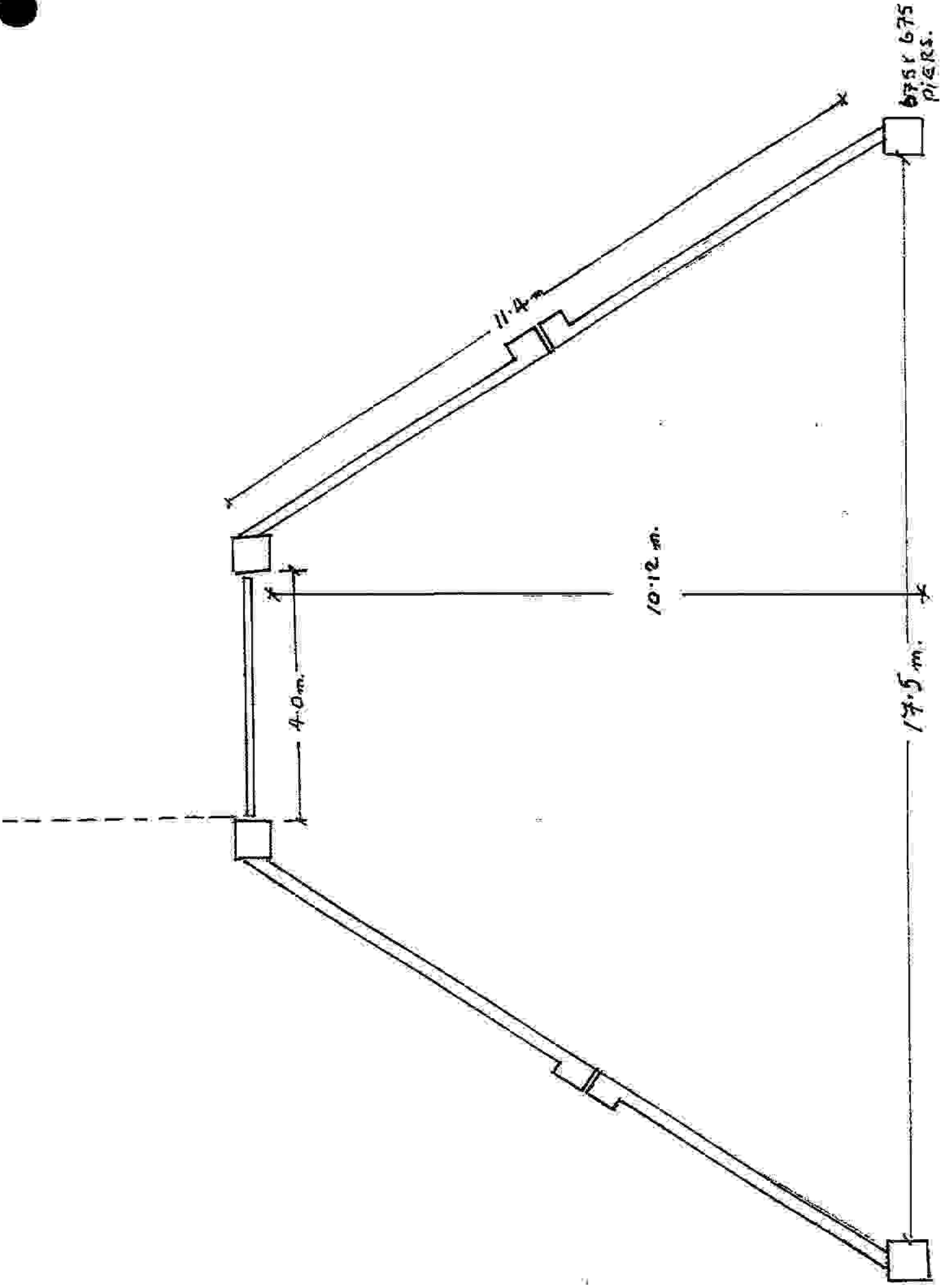
Thanking you
Michael Kavanagh.

91A/0465

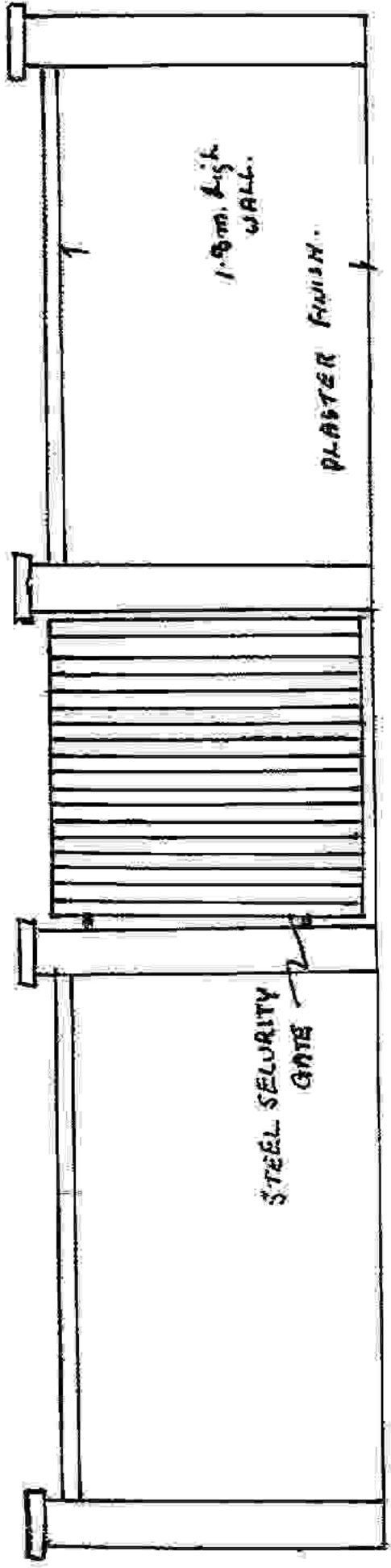
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Comp

11 SEPT 91



PLAN SCALE 1/100.



ELEVATION SCALE 1/20.

SPECIFICATION.

1. WALL TO BE CONSTRUCTED OF 18" x 9" x 4 1/2" BLOCKS LAID ON FLAT.
 2. 225 x 500 FOUNDATION USING 20 NO 20 CONCRETE REINFORCED WITH 2 NO 10MM WILD STEEL BARS.
 3. MORTAR MIX 1:1:5.
 4. STEPS IN FOUNDATION TO BE LOCATED AT PIERS.
 5. CONTRACTION JOINT TO BE LOCATED AT PIERS.
 6. COPING ON WALL TO BE CAST IN SITU REINFORCED WITH 2 NO 10MM BARS.
7. HEIGHT OF PIERS 2.0m.
- WALL TO BE CONSTRUCTED TO THE STANDARDS FOR DEVELOPMENT WORKS IN THE COUNTY OF DUBLIN

DUBLIN COUNTY COUNCIL
 PLANNING DEPARTMENT
 AFFILIATION EQUIPMENT
 11 SEP 1991
 REG NO. 91A10465

PROPOSED ENTRANCE AT,
 JOHNVILLE
 TALLAGHT

DUBLIN 24

FOR MR MICHAEL KAVANAGH

REG. REF. NO 91A/0465.

DATE: - 11 SEPT 91

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/~~Approval~~

Local Government (Planning and Development) Acts, 1963-1983

To: Michael Kavanagh, Decision Order Number and Date P/3938/91 21.08.91
Johnville, Register Reference No. 91A/0465
Tallaght, Planning Control No. _____
Dublin 24. Application Received on 27.03.91
Applicant M. Kavanagh. Site Area: 2700 sq.m. A.I. Recd. 24.06.91

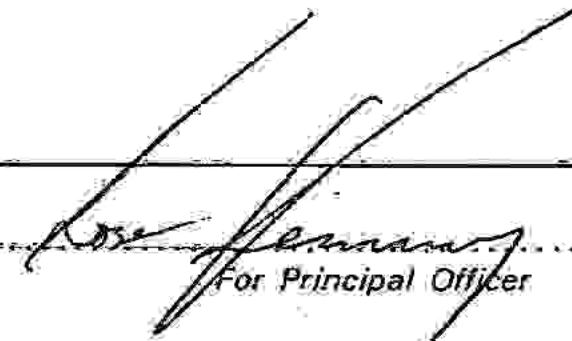
In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/~~Approval~~ for:-

vehicular entrance at Johnville, Tallaght, Dublin 24.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information submitted 24.06.91, save as may be required by the other conditions attached hereto.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. The type of materials and the details of the design of the proposed new front boundary and access walls and gates to be agreed with the Planning Authority, in writing, prior to commencement of development.	2. In the interests of visual amenity.

Signed on behalf of the Dublin County Council


For Principal Officer

Date: 21 August 1991

IMPORTANT: Turn overleaf for further information

CONDITIONS	REASONS FOR CONDITIONS

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone: (01)724755
Fax: (01)724896

Register Reference : 91A/0465

Date : 28th June 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Vehicular entrance
LOCATION : Johnville, Tallaght
APPLICANT : Michael Kavanagh
APP. TYPE : Additional Information

With reference to above, I acknowledge receipt of your application received on 24th June 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

Michael Kavanagh
Johnville,
Tallaght
Dublin 24.

91A/0465

1. LO

A.1

Planning Dept,
Irish Life Centre
LR Abbey St,
Dublin 1.

Johnville,
Tallaght,
Dublin 24.

18th June 1991.

Additional Information:

Reg/Ref No 91A 04565

Re: Proposed Vehicular entrance at Johnville, Tallaght Dublin 24
for Michael Kavanagh.

Dear Sirs,

Following a meeting with Mr. Eoin Madden E.E. Roads advance
planning O'Connell St it was agreed that:

1. The entrance be moved back to 3.00m from edge of Road.
2. Hedge to be cut back in line with pier on adjoining
property on western side of site which is 1.95m from edge
of Road.

These were the only conditions sought by Mr Madden to the proposal.

Trusting these alterations will enable you to make a successful
decision to the application.

Yours faithfully


Michael Kavanagh.

Michael Kavanagh,
Johnville,
Tallaght,
Dublin 24.

Reg. Ref. No. 91A/0465

23 May 1991

Re: Proposed vehicular entrance at Johnville, Tallaght, Dublin
24 for M. Kavanagh.

Dear Sir,

With reference to your planning application, received here on 27 March 1991, in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts, 1963-1983, the following additional information must be submitted in quadruplicate:-

1. Applicant is requested to indicate in writing what proposals he has to set back the existing boundary to the west of the proposed access for a length of approximately 20 metres to the existing pillar of the access for heavy goods vehicles to meet the requirements of the Roads Department with regard to this entrance.

Please mark your reply "ADDITIONAL INFORMATION" and quote the Reg. Ref. No. given above.

Yours faithfully,


for Principal Officer.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0465

Date : 28th March 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Vehicular entrance
LOCATION : Johnville, Tallaght
APPLICANT : Michael Kavanagh
APP. TYPE : PERMISSION

With reference to above, I acknowledge receipt of your application received on 27th March 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

Michael Kavanagh
Johnville,
Tallaght
Dublin 24.

Dublin County Council
Comhairle Chontae Átha Cliath



Planning Application Form/
 Bye Law Application Form

PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

DUBLIN COUNTY COUNCIL
 REGISTRY
 27 MAR 1991
 140 25/3

1. Application for Permission Outline Permission Approval Place / in appropriate box.
 Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building JOHNVILLE, TALLAGHT, DUBLIN 24
 (If none, give description sufficient to identify).....

3. Name of applicant (Principal not Agent) MICHAEL KAVANAGH
 Address..... Tel. No. 140 25/3

4. Name and address of person or firm responsible for preparation of drawings MICHAEL KAVANAGH
JOHNVILLE TALLAGHT DUBLIN 24 Tel. No. N 34399

5. Name and address to which notifications should be sent

BYE LAW APPLICATION
NIL

6. Brief description of proposed development PROPOSED VEHICULAR ENTRANCE

7. Method of drainage EXISTING ROAD DRAINAGE Source of Water Supply N/A

8. In the case of any building or buildings to be retained on site, please state:
 (a) Present use of each floor or use when last used SHED USED FOR PARKING LORRY
 (b) Proposed use of each floor FOR PARKING

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11.(a) Area of Site 2700 Sq. m.
 (b) Floor area of proposed development N/A Sq. m.
 (c) Floor area of buildings proposed to be retained within site 190 Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) OWNER

13.Are you now applying also for an approval under the Building Bye Laws?
 Yes No Place / in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
IN AS FAR AS POSSIBLE.

15.List of documents enclosed with application. A SETS OF PLANS, IRISH PRESS ADVERT, 140 CHIEFUE COVER LETTER

DUBLIN Permission sought for vehicular entrance at Johnville, Tallaght, Dublin 24. M. Kavanagh.

16.Gross floor space of proposed development (See back) Sq. m.

No of dwellings proposed (if any) Class(es) of Development
 Fee Payable € 40 Basis of Calculation SET OUT BY CO. COUNCIL REGISTRY
 If a reduced fee is rendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Michael Kavanagh Date 26/3/91

Application Type FOR OFFICE USE ONLY
 Register Reference 91A/0465 240
 Amount Received €
 Receipt No 21/15
 Date

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.

- (a) The address of the structure or the location of the land.
- (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
- (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.

4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ATHA CLIATH

PAID BY

DUBLIN COUNTY COUNCIL

Issue of this receipt is not an acknowledgement that the fee tendered is the prescribed application fee

46/49 UPPER O'CONNELL STREET
DUBLIN 1.

CASH

CHEQUE

M.O.

B.L.

L.T.

N 34399

€ 40.00

Received this

7th

day of

March

19

from

Mrs. J. J. [unclear]

[unclear]

[unclear]

the sum of

40

Pounds

Pence being

00

paid by cheque at above address

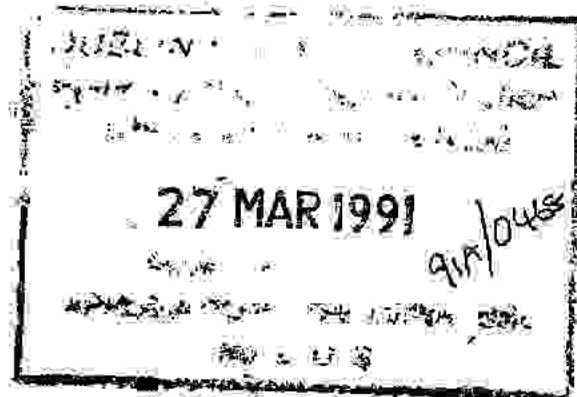
[Signature] Cashier

S. CAREY
Principal Officer

Johnville.
Tallaght,
Dublin 24.

25/3/91

Principal Officer,
Planning Department,
Dublin County Council,
Irish Life Centre.



Dear Sir,

I wish to apply for permission for a new entrance to my yard at Johnville, Tallaght. The existing entrance incorporates inadequate sight distance and in the interest of safety I am anxious to improve the situation by applying for a new entrance.

Yours faithfully,

Michael Kavanagh