



Bloc 2, Ionad Bheatha nEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0446

Date : 21st October 1991

Dear Sir/Madam,

Development : Revised development of 4½ houses on 5.6 acre site of previously approved developments (O.P.ref.no. 88A/0014, appro.ref no.89A/0367) and relocation of entrance to existing house on adjoining site

LOCATION : "Springvale" Edmondstown Rd. Ballyboden

Applicant : Dunboden Estates Ltd.

App. Type : Additional Information

I wish to inform you that by Order dated 17.10.91 it was decided to GRANT PERMISSION for the above proposal.

This decision, together with the conditions/reasons attached thereto, is recorded in the Planning Register kept at this office in accordance with Section 8 of the Local Government (Planning and Development) Act 1963. This register may be inspected during office hours [9.00a.m. - 12.30p.m. 2.15p.m. - 4.30p.m.] and interested party may obtain a certified copy of an entry therein on payment of a fee of £5 in respect of each entry.

It should be noted that the proposer may appeal to An Bord Pleanála against the decision or any conditions attached to the Council's decision within one month beginning on the day of receipt by him of the Council's decision. Any other person may appeal to An Bord Pleanála within three weeks beginning on the date of decision. Interested parties are advised to consult the Planning Authority or An Bord Pleanála to ascertain if an appeal has been lodged by the applicant.

Fionnuala Rogerson,
Ardfona House,
Lower Churchtown Road,
Dublin 14.



Bloc 2, Ionad Bheatha nEireann,
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Sraid na Mainistreach Iacht,
Lower Abbey Street,
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Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0446

Date : 21st October 1991

All appeals against decisions of the Planning Authority and all correspondence in relation to new and existing appeals should be addressed to The Secretary, An Bord Pleanala, Blocks 6 & 7 Irish Life Centre, Lower Abbey Street, Dublin 1. (Tel. 728011). Any appeal made to An Bord Pleanala will be invalid unless the correct fee is received by An Bord Pleanala within the statutory appeal period. The fee in respect of an appeal by an applicant for permission relating to commercial development is £100; any other appeal is £50.

Submissions or observations made to An Bord Pleanala by or on behalf of a person (other than the applicant) as regards an appeal made by another person must be accompanied by a fee of £15.

Yours faithfully,

L.D.

.....
for PRINCIPAL OFFICER



Bloc 2, Ionad Bheatha nEireann,
Block 2, Irish Life Centre,
Sraid nā Mainistreach Iacht,
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Honorary Secretary,
C/O 35 Moyville,
Dublin 16.



Bloc 2, Ionad Bheatha nEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
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Submissions or observations made to An Bord Pleanala by or on behalf of a person (other than the applicant) as regards an appeal made by another person must be accompanied by a fee of £15.

Yours faithfully,

.....*L.D.*.....

FOR PRINCIPAL OFFICER

Seamus Brennan, Esq., T.D.,
Minister for Tourism, Transport &
Communications,
Office of the Minister for Tourism,
Transport & Communications,
Baile Atha Cliath 2.

Our Ref.: 91A/0446

22 October 1991

RE: Revised development of 44 houses on 5.6 acre site of
previously approved development (O.P. Ref. No. 88A/0014,
appro. ref. no. 89A/0367) and relocation of entrance to
existing house on adjoining site at "Springvale",
Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

Dear Minister,

I refer to your recent representations on behalf of Moyville Residents Association in connection with the above planning application.

I now wish to inform you that by Order Dated 17th October, 1991 it was decided to GRANT PERMISSION for the above proposal.

Yours faithfully,

L.D.
for Principal Officer.

THIS AGREEMENT made the ~~14th~~ day of *May* one thousand nine hundred and ninety one BETWEEN BALLYMORE HOMES LIMITED having its registered office at Ballymore Eustace, County Kildare of the First Part, DUNBODEN LIMITED having its registered office at 15, Dr. Mount Street, Dublin 2 of the Second Part, MAPLEWOOD HOMES LIMITED havins its registered office at St. Michael's House, 1-3 High Street, Dublin 2 of the Third Part and CARVILL (IRL) LIMITED having its registered office at 43/49 Mespil Road, Dublin 4 of the Fourth Part.

WHEREAS the developments in the Scholarstown Road/Stocking Lane/Edmondstown Road area proposed by the parties to this Agreement are subject to the upgrading of a section of sewer pipe on Ballyboden Road from Scholarstown Road Junction to Ballyroan Road Junction shown coloured yellow on the attached plan.

AND WHEREAS Dublin County Council have made it a Condition of Permission 90A/543, 89A/367, 90A/637 and 90A/453 respectively that the Developer must pay the sum of IR£125,000.00 to Dublin County Council before commencing development.

NOW THEREFORE the parties hereto AGREE to pay to Dublin County Council for this sewer (in the manner set out in the Schedule hereto in accordance with the following Table:-

| | |
|-------------------------|------------|
| Ballymore Homes Limited | |
| 37% (of IR£125,000.00) | £46,250.00 |

Dunboden Limited
7% (of IR£125,000.00) £ 8,750.00

Maplewood Homes Limited
42.5% (of IR£125,000.00) £53,125.00

Carville (Irl) Limited
13.5% (of IR£125,000.00) £16,875.00

SCHEDULE

Bank Drafts made payable to Dublin County Council for the amounts herein referred to shall be delivered to such of the parties hereto as calls on the other parties to make such payment, within seven days of being called upon to do so.

The party who receives these payments shall forthwith hand the Drafts to Dublin County Council in satisfaction of the Planning Condition referred to above and shall, within seven days of receiving the said Drafts, furnish Receipts from Dublin County Council to each of the parties hereto to the effect that the said Condition has been complied with.

PRESENT when the Common Seal of
BALLYMORE HOMES LIMITED
was affixed hereto:--

Sean Mulgan
Peter Lillieby

PRESENT when the Common Seal of
DUNBODEN LIMITED
was affixed hereto:-

Robert R. [unclear]
John [unclear]

PRESENT when the Common Seal of
MAPLEWOOD HOMES LIMITED
was affixed hereto:-

[Signature]
[Signature]

PRESENT when the Common Seal of
CARVILL (Irl) LIMITED
was affixed hereto:-

Paul Kelly
Michael [unclear]

Dated the day of 1991

BALLYMORE HOMES LIMITED

First Part

DUNBODEN LIMITED

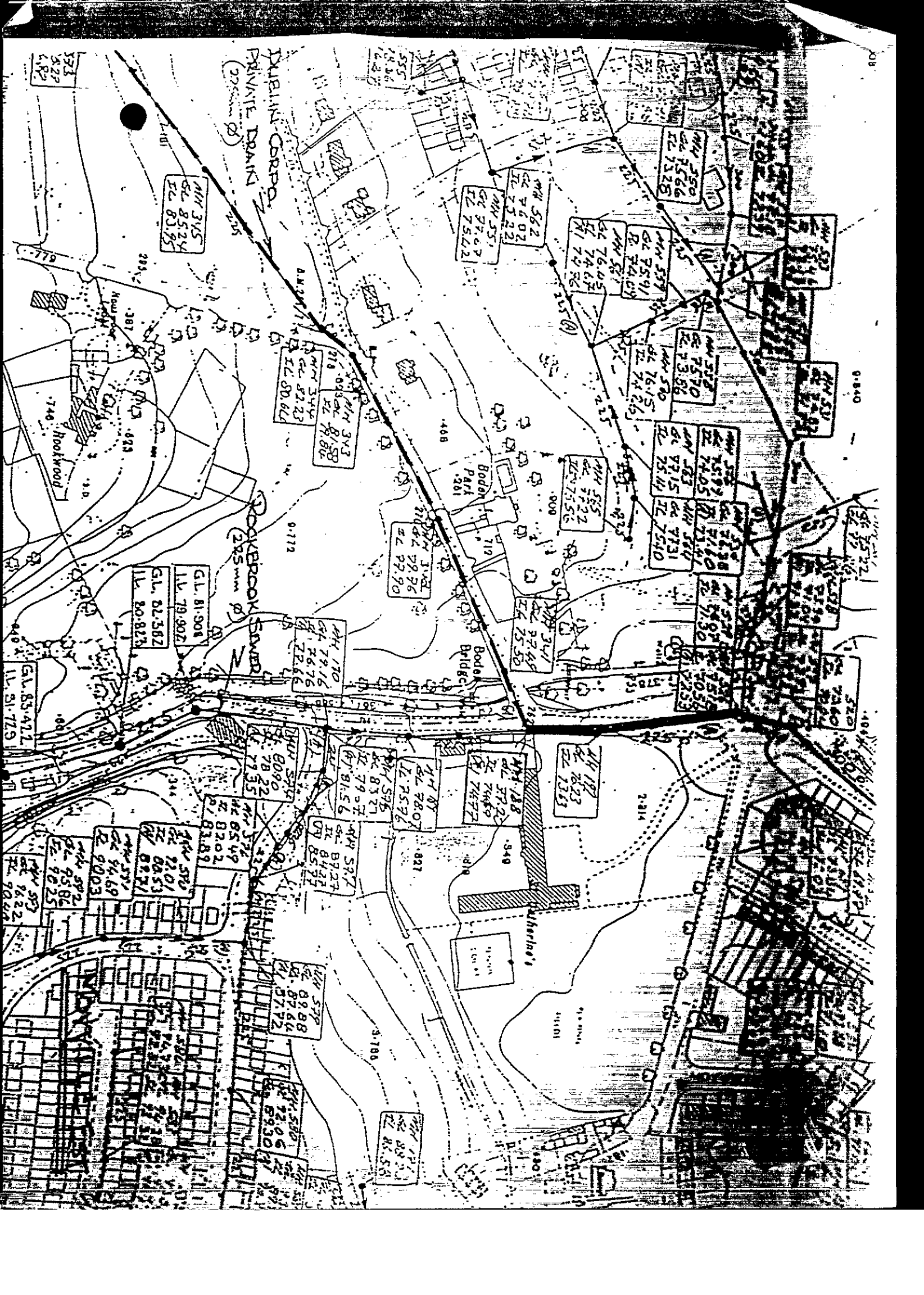
Second Part

MAPLEWOOD HOMES LIMITED

Third Part

CARVILL (Irl) LIMITED

Fourt Part



DUBLING CORP.
PRIVATE DRAIN
(35mm ∅)

ROCKCROCK ST
(25mm ∅)

MH 345
GL 8524
IL 8395

MH 351
GL 3767
IL 7542

MH 362
GL 3602
IL 7522

MH 350
GL 7525
IL 7325

MH 359
GL 7591
IL 7409

MH 360
GL 7615
IL 7425

MH 358
GL 7570
IL 7358

MH 357
GL 7559
IL 7405

MH 353
GL 7715
IL 7511

MH 354
GL 7716
IL 7511

MH 350
GL 7713
IL 7510

MH 355
GL 7522
IL 7556

MH 341
GL 7545
IL 7550

MH 342
GL 7936
IL 7790

MH 343
GL 7916
IL 7676

MH 344
GL 7916
IL 7676

GL 81508
IL 79907

GL 82382
IL 80823

GL 83422
IL 81729

MH 187
GL 8023
IL 7363

MH 188
GL 3722
IL 7459

MH 87
GL 7807
IL 7576

MH 396
GL 8327
IL 7957

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LEGEND:

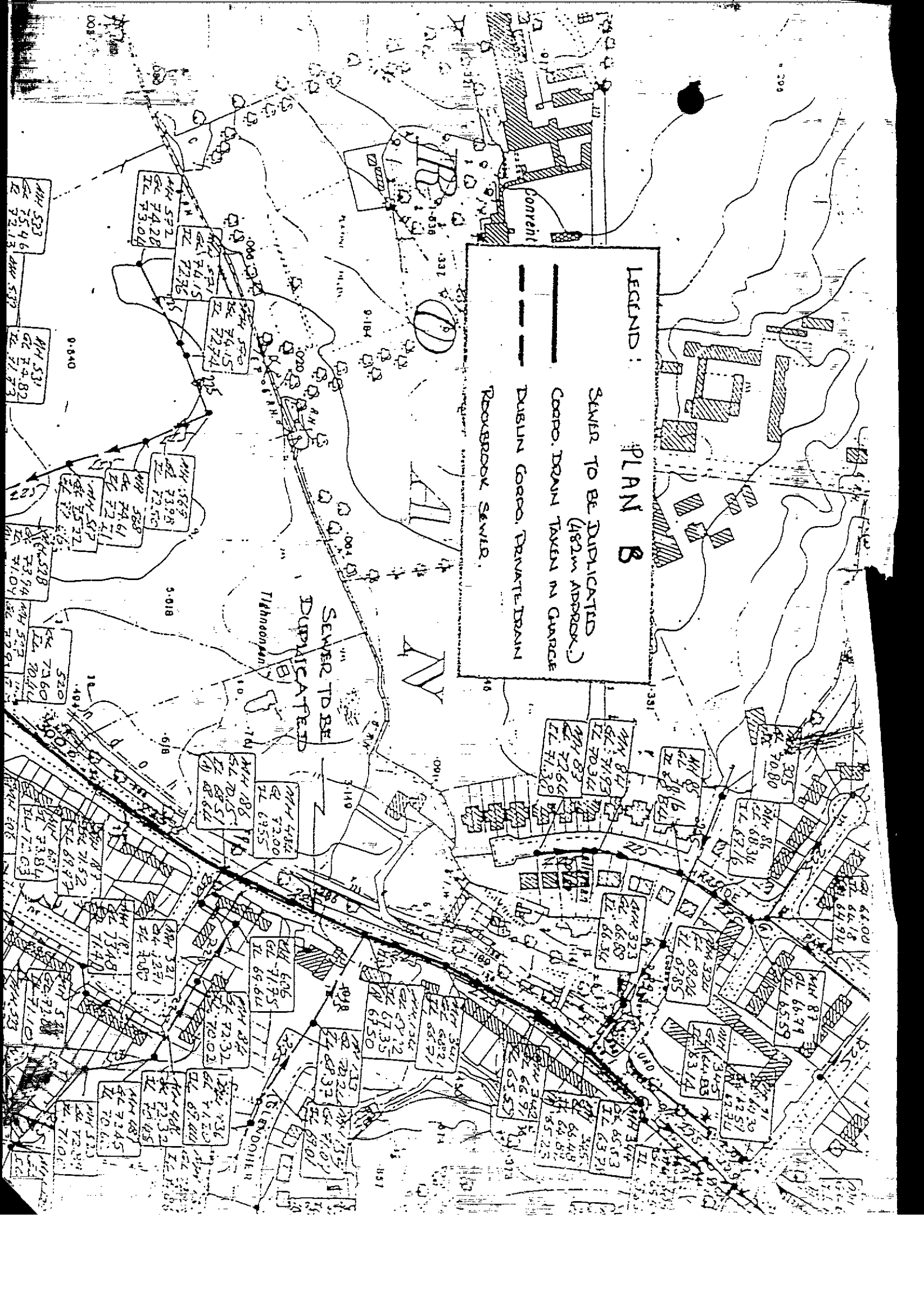
PLAN B

SEWER TO BE DUPLICATED
(482M APPROX.)

COOP. DRAIN TAKEN IN CHARGE

DUBLIN COOP. PRIVATE DRAIN

ROCKBROOK SEWER.



20 June 1991

Seamus Brennan Esq., T.D.,
Minister for Tourism, Transport
& Communications,
Office of the Minister for Tourism, Transport,
and Communications,
Baile Atha Cliath, 2.

Dear Minister,

I wish to refer to your recent letter in which you make representations on behalf of Moyville Residents Association who are objecting to an application for planning permission submitted on behalf of Dunboden Estates Limited for proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Limited.

I wish to inform you that by letter dated the 22nd May, 1991 the applicant was requested to submit additional information in respect of this proposal. This information has not been received to date.

Your representations have been noted and will be drawn to the attention of the Planning Officer for the area.

Yours sincerely,


for PRINCIPAL OFFICER

DD/MC



OIFIG AN AIRE TURASÓIREACHTA, IOMPAIR AGUS CUMARSÁIDE
(Office of The Minister for Tourism, Transport and Communications)
BAILE ÁTHA CLIATH 2
(Dublin 2)

Telephone (01) 789522
Fax (01) 785906

Dept. Office: 767309.

Constituency Office:
9 Braemor Road, Churchtown,
Dublin 14. Tel: 957171.

29 May, 1991.

Dermot Drumgoole,
Senior Administrative Officer,
Planning Dept.,
Dublin County Council,
Block 2,
Irish Life Centre,
Lr. Abbey St.,
Dublin 1.

OBJEC

Dear Dermot,

I write on behalf of Moyville Resident's Association who I understand have written to your Department on May 17 outlining their objections to application 91A/0446.

I am very concerned about this proposals which seeks to increase the housing density on a site which has already received approval on appeal to An Bord Pleanála.

I would appreciate if you could arrange to have my own objections associated with the papers in the file, and if you could let me know the situation as soon as possible.

With best wishes,

Seamus

Seamus Brennan, T.D.,
Minister for Tourism, Transport
& Communications.

31 MAY 91

COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/446

Letter No.: 267

Planning Department,
Block 2, Irish Life Centre,
Lower Abbey St.,
Dublin 1.

Fionnuala Rogerson, Architects,
Ardtona House,
Lower Churchtown Road,
Dublin 14.

Tel.: (01) 724755
Fax.: (01) 724896

24 May 1991

Re: Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O>P> Ref. No. 88A/0014, appro. Ref. No. 89A/0367) and for the relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

Dear Sir/Madam,

With reference to your representations/objections, I wish to inform you that additional information was requested on the proposal on 22nd May, 1991, and particulars of such request have been entered in the Planning Register. The Register is available for inspection at the Planning Department, Irish Life Centre, Lower Abbey Street, Dublin 1, during office hours (9 a.m. to 12.30 p.m. and 2.15 p.m. to 4.30 p.m.) A certified copy of the entry in the register may be purchased on payment of £5.00.

Yours faithfully,



for Principal Officer.

COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/446 Planning Department,
Letter No.: 311 Block 2, Irish Life Centre,
Lower Abbey St.,
Dublin 1.

Moyville, Edmondstown Green,
Edwards Court & Beechview (M.E.E.B.)
Residents Association,
35 Moyville,
Dublin 16.

Tel.: (01) 724755
Fax.: (01) 724896

24 May 1991

Re: Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O>P> Ref. No. 88A/0014, appro. Ref. No. 89A/0367) and for the relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

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Yours faithfully,

L. D

for Principal Officer.

91A/0446
311
MOYVILLE, Edmondstown Green,
Edwards Court & Beechview (M.E.E.B.)
RESIDENTS ASSOCIATION



Your Ref: 91A/0446

Our Ref: rf

Date: 17/5/91

All correspondence to the
Honorary Secretary at:
35 Moyville,
Dublin 16.

Dublin County Council
Planning Department,
Irish Life Centre,
Lower Abbey St.,
Dublin 1.

20 MAY 91

[Handwritten signature]

RE: Proposed Housing at "Springvale",
Edmondstown Road, Ballyboden.

OBJEC

Dear Sirs,

This Association hereby objects to the above proposal to construct over 40 houses; the site already has approval for 30 houses (reg. ref. 89A/367) which was granted by An Bord Pleanála on appeal.

While the proposed development may be of a high standard suited to this high amenity site we are most concerned about the **additional traffic** which will be generated by the extra houses. The Council will be aware that we are presently appealing other major housing permissions, primarily on the same grounds.

We are not anti-development but will resist any further housing in this area while the **roads infrastructure remains inadequate** even for the existing traffic conditions; every extra house will only worsen what is already an unacceptable situation especially in terms of road safety for pedestrians and cyclists.

We earnestly hope that the Council will agree with this approach and refuse this application.

Yours sincerely,

[Handwritten signature]
Hon. Secretary.

M.O'Shee

P.L.

MOYVILLE, Edmondstown Green,
Edwards Court & Beechview (M.E.E.B.)
RESIDENTS ASSOCIATION



Your Ref: 91A/0446

Our Ref: rf

Date: 17/5/91

All correspondence to the

Honorary Secretary at:
35 Moyville,
Dublin 16.

Dublin County Council
Planning Department,
Irish Life Centre,
Lower Abbey St.,
Dublin 1.

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Yours sincerely,


Hon. Secretary.



FIONNUALA ROGERSON
ARCHITECTS



91A/0446
267

Architects and Planners

Dublin County Council,
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Re
10/5.

Ardtona House
Lower Churchtown Road
Dublin 14 Ireland
Telephone (01) 984261
Fax (01) 987262

6th May, 1991.

OBJE

RE: PLANNING APPLICATION - REG. REF. 91A 0446.
44 HOUSES AT SPRINGVALE, EDMONSTOWN ROAD, DUBLIN 16.

Dear Sirs,

We act on behalf of Carvill Ireland Ltd., owners of a site of c. 8½ acres to the front of Rookwood, Stocking Lane, Ballyboden.

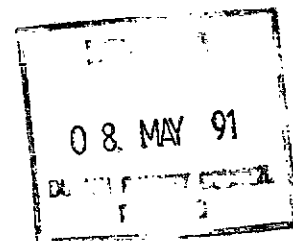
It has come to our attention that a current planning application for 44 houses on 5.6 acres at Springvale, Edmonstown Road Reg. Ref. 91A 0445 has included on its location map a portion of our Clients site. The area in question is to the north east of the Springvale site along the Owendoher river. This area was not included on their layout plan. Thus if can be seen, on comparison of these two documents, that the site area as indicated on the layout differs from that shown on the location map.

We would appreciate if the Planning Authority would take the necessary steps to have this situation rectified.

Yours faithfully,

Fionnuala Rogerson

Fionnuala Rogerson.



REF. NO.: 91A/0446

CERTIFICATE NO.: 14382B

PROPOSAL: 44 houses

LOCATION: "Sprangvale" Edmondstown Road, Ballyboden

APPLICANT: Dunboden Estates Ltd

| | 1 | 2 | 3 | 4 | 5 | 6 | 7 |
|-------|--|---|----------------------|-------------|-------------|----------------|------------------|
| CLASS | DWELLINGS/AREA LENGTH/STRUCTURE | RATE | AMT. OF FEE REQUIRED | AMT. LODGED | BALANCE DUE | RED. FEE APPL. | AMT. OF RED. FEE |
| A | Dwelling (Houses/Flats) | € 55 | £2420 | £2420 | — | | |
| B | Domestic Ect. (Improvement/Alts.) | € 530 | | | | | |
| C | Building for office or other comm. purpose | € 23.50 per M ² or 570 | | | | | |
| D | Building or other structure for purposes of agriculture | € 21.00 per M ² in excess of 300 M ² Min. 570 | | | | | |
| E | Petrol Filling Station | € 5200 | | | | | |
| F | Dev. of prop. not coming within any of the foregoing classes | €70 or €9 per .1 hect. whichever is the greater | | | | | |

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 3/4/21

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

912/0446

CERTIFICATE NO: 24715

44 houses

PROPOSAL: "Springvale" Edmondstown Road, Ballyboden
 LOCATION:
 APPLICANT: Durboden Estates Ltd

| 1 | 2 | 3 | 4 | 5 | 6 | 7 |
|---------------------------------|---|---------------------|------------------|----------------|----------------|---------------------|
| DWELLINGS/AREA LENGTH/STRUCT | RATE | AMT. OF FEE REC. | AMOUNT LOGGED | BALANCE DUE | BALANCE DUE | DATE/ RECEIPT NO |
| Dwellings | £232 | 4/408 | 4/408 | - | | |
| | £216 | | | | | |
| | £500 per M ² in excess of 300M ² Min. £200 | | | | | |
| 0.1 hect. | £21.75 per M ² of 2500 | | | | | |
| x 0.1 hect. | £21.75 per M ² of 2500 £543.75 £0.00 £543.75 | | | | | |
| x 0.1 hect. | £21.75 per M ² of 2500 £543.75 £0.00 £543.75 | | | | | |
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Column 1 Certified: Signed: _____ Grade: _____ Date: _____
 Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____
 Columns 2,3,4,5,6 & 7 Certified: Signed: Reid Grade: S.O Date: 3/4/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ / :
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

See Reg Ref 89A/367
5.6 acres

Standard 33,600
S.S. 125,000 (portion of!)
(Kalgate Lane)
2,000 per acre
(Edmonton)
✓
Roads £800 per house
DS: £300 per house overhead
Security 50,000 bond
35,000 Cost.

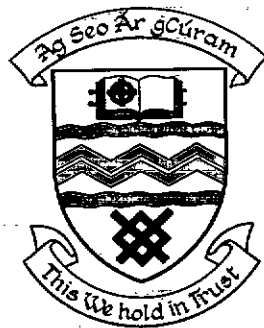
DEVELOPMENT CONTROL ASSISTANT GRADE

E Lfr 4/10/91

**SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

Bosca 4122,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-462 0000
Facs: 01-462 0104



**PLANNING
DEPARTMENT**
P.O. Box 4122,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-462 0000
Fax: 01-462 0104

Date : 19th October 1995

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963-1993

Register Reference : 91A/0446/C2

Development : Revised development of 44 houses on 5.6 acre site of previously approved developments (O.P.ref.no. 88A/0014), appro.ref no. 89A/0367) and relocation of entrance to existing house on adjoining site.

Location : "Springvale", Edmondstown Road, Ballyboden.

Applicant : Dunboden Estates Ltd.,
c/o Gerald Cantan, Dip. Arch.,
Architects and Building Consultants,
Unit 2, Edel House,
51-52 Bolton Street,
Dublin 1.

App. Type : Compliance with Conditions

Dear Sir/Madam,

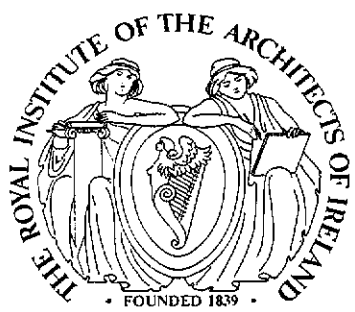
With reference to the above, I acknowledge receipt of your submission to comply with conditions received on 16/10/95.

Yours faithfully,


.....
for SENIOR ADMINISTRATIVE OFFICER

Gerald Cantan, Dip. Arch.,
Architects and Building Consultants,
Unit 2, Edel House,
51-52 Bolton House,
Dublin 1.

SOUTH DUBLIN
COUNTY COUNCIL
16 OCT 1995
RECEIVED
PLANNING DEPT.



**GERALD
CANTAN**

Dip. Arch.
M.R.I.A.I.

Architects and
Building Consultants

Unit 2,
Edel House,
51-52 Bolton Street,
Dublin 1.

Tel: 8727387

Planning Department,
Dublin County Council,
P.O. Box 4122,
Town Centre,
Tallaght,
Dublin 24

13/10/95

Re. Boundary wall along Edmonstown Road,
Springvale, Ballyboden, Dublin 16

Dear Sirs,

I acknowledge the receipt of your letter of 9/10/95
regarding the boundary wall at the above.

My client is of the opinion that they have complied with
condition 21 of the planning permission Reg. Ref.
91A/0446. Condition 21 required that the front boundary
road of the site along Edmonstown Road is to be repaired
in stone to match the existing wall. In practice Dunboden
Estates have reconstructed long sections of the boundary
wall, including sections additional to the original
submission. The elevation along Edmonstown Road and the
capping have been faced with stonework.

The intension of condition 21 was to have a stone wall
along the Edmonstown Road. My clients have used a
technique for reconstructing the wall which is common in
these circumstances and is predominantly used by South
Dublin County Council and other local authorities in
their developments. The exposed blockwork face will
quickly weather and become covered in ivy and natural
growth. Dunboden Estates would be willing to plaster
the blockwork surfaces.

I would be obliged therefore if Dublin County Council
would re consider the wall in the light of the above
comments. Dunboden Estates have put a lot of work into
the boundary wall and into the open space on the site.

Yours faithfully,
Gerald Cantan
Gerald Cantan

16 OCT 1995
APPLICATION RECEIVED
REG. No. 91A/446/C2.

*Compliance
91A/0446
1.0.0*

C2

VAT No. F16777190

M.O.S



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Mr. R. Cremins
S.E.D.C.
Planning Department,
Dublin County Council:

Enf 8758

7 September 1992

RE: Residential development at Springvale, Edmondstown
Road, Ballyboden

I refer to compliance lodged on 29th January, 1992 in connection with the above development (Reg. Ref. 91A.446 refers).

As there is enforcement action pending in relation to these lands I should be obliged if you would arrange to have this submission dealt with as a matter of urgency.

Reg. file 91A.446 attached.

Keogh
Assistant Staff Officer;

c.c. Mr. Wm. Murray, Deputy Dublin Planning Officer

Mr. E. O'Hare, Administrative Officer:



Bosca 174
P. O. Box 174
5 Rae Gardiner,
5 Gardiner Row,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)727777
Fax. (01)727530

Mr. D. Drumgoole,
Senior Administrative Officer,
Planning Department,
Dublin County Council.

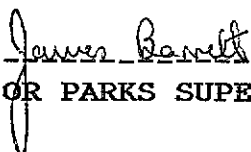
Our Ref.
Your Ref.
Date 08.05.1991

RE: Application for 44 No. Houses at Springvale, Edmonstown Road, Ballyboden. Reg. Ref. 91A/446.

With regard to this application, the Parks Department's comments are:

- 1) This application is for 44 No. houses, which represents an increase of 12 No. houses on the previous grant of permission (89A/367 PL 6/5/79448), however, the applicant shows no additional public open space. In this regard, it is considered essential that the applicant be requested to pay a financial contribution of £1,000 per additional house (£12,000) towards the provision and development of Class I public open space in the area.
- 2) The applicant be requested to adhere to the conditions of the An Bord Pleanala decision (PL 6/5/79448). Furthermore, the applicant should submit and agree proposals for street tree planting.

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT
 Date 14.4.91
 Time



 SENIOR PARKS SUPERINTENDENT

Originally Lodged - 26/3/91

REG. REF: 91A/0446

DEVELOPMENT: 41, Houses at Springvale, Ballyboden - Planning Permission.

LOCATION: Springvale Edmondstown Road.

APPLICANT: Mr. P. Rafferty.

PLANNING DEPT.
DEVELOPMENT CONTROL SE
Date 16.12.91
Time 4.00

The following report relates to drawings indicated below.

| | | |
|-------------------|----------------|------------------|
| Carrew Associates | Job No. 91/047 | Drawing No. 101A |
| | " | Drawing No. 105 |
| | " | Drawing No. 106C |
| | " | Drawing No. 107A |
| | " | Drawing No. 110 |

FOUL SEWER - Drawing No. 101A. - Available as indicated subject to the following.

- a) All manholes must be insitu concrete and any prospective sewer must be surrounded in concrete where the depth of cover is less than 1.2m.
- b) All manhole covers and frames must be of the heavy duty type.
- c) The minimum gradient between F1 and F2 (within the bridge) must be 1 in 225.
- d) Whatever the final treatment of the bridge superstructure and/or abutment, agreed with the Planning Authority, where the foul sewer is carried externally, this must be designed to blend with the superstructure. The 'cosmetic' treatment must be agreed before work commences.

SURFACE WATER:

Drawing 101A. - Available as indicated subject to the following:-

Details of the diameter and outfall structure of the proposed culverted stream bounding house No. 1 is to be agreed before work commences.

Drawing No. 107A.

Before roofing of houses numbers 1 to 21 and houses 22 to 29 can take place, a final proposal for the treatment of the escarpment to the rear of these premises must have been submitted to the Building Bye Law Department. The stability of the slopes must have been established, certified by a Chartered Engineer. Where it is considered necessary to provide retaining walls (if any) these must be correctly drained and appropriate designs submitted also certified by a Chartered Engineer.

B. Morris
B. Morris,
A/S.E.E.

Endorsed: F. G. Coffey 9/12/91
F. G. Coffey,
Senior Engineer.

4/12/91.

J.R.

(P)

Register Reference : 91A/ 446

Date : 16/8/91

Development : Revised dev. of 44 houses on 5.6 acre site etc

LOCATION : "Springvale", Edmundstown Road, Ballyboden

Applicant : Dunboden Estates Ltd.

App. Type :

Planning Officer :

Date Recd. : 8th Aug 1991

DUBLIN Co. COUNCIL
20 AUG 1991
SAN SERVICES

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN CO. COUNCIL
SANITARY SERVICES
PRINCIPAL OFFICER
24 SEP 1991
Returned *GL*

Date received in Sanitary Services

.....
FOUL SEWER

.....
SURFACE WATER

See attached sheet

*Refusal rec.
do.*

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 25.09.91
Time 9.00

REG. REF:

91A/ 446.

DATE LODGED:

8/8/91

LOCATION:

Springvale, Edmonstown Road, Ballyboden.

APPLICANT:

Dunboden Estates Limited

PROPOSAL:

Revised Development for 44 houses.

FOUL SEWER:

Not available.

- 1) Unless a special levy of £125,000 is paid in order to upgrade the Ballyboden Road sewer. The required works are between M.H. 526 and M.H. 344 on the County Council Foul Sewer Record Sheet 22/10.

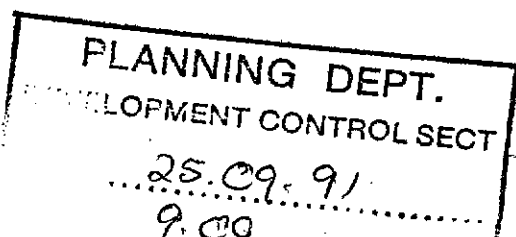
Note: A number of developments to contribute to this levy. See letter 30/1/91 of Mr. E. Coffey, Senior Engineer, Drainage Design to Mr. Simon Clear of An Bord Pleanala. This letter has been sent to Mr. D. Drumgoole.

- 2) A levy of £2,000/acre for the construction of the Rockbrook sewer to be paid by the developer.
- 3) Details of the protection to the sewer in the vicinity of proposed manholes F1 and F2 and at all areas where the cover is less than 1.0 metres to be submitted. The details of the connection to the main foul sewer to be submitted.
- 4) The internal drainage system to be revised so that not more than 6 houses are draining to any combined drain.

SURFACE WATER:

Refusal Recommended.

- 1) Applicant has not indicated the measures necessary to ensure the stability of the bank at the rear of house Nos. 1 - 21. Any future proposals to incorporate treatment for subsoil drainage in this area.
- 2) The structural details of the proposed bridge, river training walls and any proposal retaining wall behind house nos. 1 - 21 to be certified by a chartered engineer.
- 3) The foundation of the proposed river training wall downstream of the proposed bridge to be lowered to be below the invert level of the river. The west wing-wall on the upstream side of the proposed bridge to be splayed at 45°.



- 4) The invert level of the concrete floor of the proposed bridge to be lowered to the foundation level of the bridge.
- 5) The pipe size of the proposed culvert at the southern boundary of the site to be submitted. Details of the exit and entry of this pipeline to be submitted.
- 6) The proposed internal surface water system to be combined to have a single outfall. Details of this outfall to be submitted. Where cover to the internal pipe network is less than 1.0 m, 150 mm concrete surround to be incorporated as protection to pipe.

(Handwritten mark)

N. Murphy
N. Murphy
E.E.

Endorsed: *F. G. Coffey*
F. G. Coffey,
Senior Engineer.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 25.09.91
Time 9.00

Register Reference : 91A/446

Date : 16/3/91

.....
ENDORSED _____ DATE _____

WATER SUPPLY.....

Water available from existing main in Edmondston Road
24hr storage reqd
J. V. Cleary
30/8/91

.....
ENDORSED [Signature] DATE 12/3/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 25.09.91
Time 9.00

SS only

2

Register Reference : 91A/0446

Date : 12th April 1991

Development : Revised development of 44 houses on 5.6 acre site of previously approved developments (O.P.ref.no. 88A/0014, appro.ref no.89A/0367) and relocation of entrance to existing house on adjoining site

LOCATION : "Springvale" Edmondstown Rd. Ballyboden

Applicant : Dunboden Estates Ltd.

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : M.O'SHEE

Date Recd. : 26th March 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

Paul Goh

DUBLIN Co. COUNCIL
23 APR 1991
SAN SERVICES

DUBLIN Co. COUNCIL
SANITARY SERVICES
18 JUN 1991
Returned *[Signature]*

Date received in Sanitary Services 23 APR 1991....

FOUL SEWER

See attached sheet

SURFACE WATER

no.

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

89A/367

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 19.06.91
Time 4.30

ENC'D.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 19.06.91
Time 4.30

Register Reference : 91A/0446

Date : 12th April 1991

.....
ENDORSED _____ DATE _____

WATER SUPPLY.....

Water available to serve this proposal from an existing main in Edmondstown Road. Branch connections, fittings chlorination and ~~the~~ swabbing to be carried out by Dublin Co Co at applicants prior expense.

James V. Blevy
13/5/91

.....
ENDORSED *[Signature]* DATE 15/3/91

DUBLIN COUNTY COUNCIL

REG. REF: 91A/446.
LOCATION: "Springvale," Edmondstown Rd, Ballyboden.
APPLICANT: Dunboden Estates Ltd.
PROPOSAL: Rev. of 33 houses on 5.6 acre site of previously approved development.
DATE LODGED: 26.3.91.

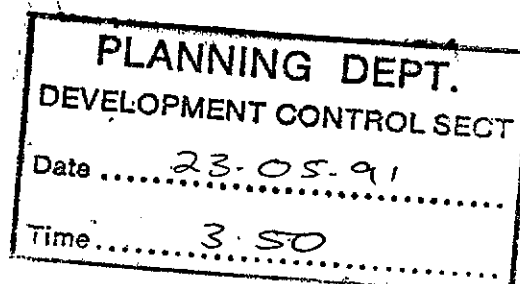
Permission exists on this site for 31 houses (A.B.P. grant of permission Reg. Ref: 89A/367 on 18th January, 1990).

Current application is for 44 units of a smaller size on this site. The proposed layout is similar to that previously approved.

If permission is being contemplated it should be subject to:-

1. A contribution of £800 per house as per Condition 13 of An Bord Pleanála decision of 18th January, 1990 towards improvements to the distributor road network in the area. The contribution to be the sum of money equivalent to £800 per house as of January 1990 and Index linked and updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.
2. Access details to be agreed with the Roads Department prior to commencement of development (including carriageway width on bridge and alignment at proposed junction).
3. Details of retaining walls, bridge and paths to be agreed with Sanitary Services Building Control and Roads Department prior to commencement of development. This will also include bridge railings and approaches etc.
4. Details of Edmondstown Road boundary treatment pedestrian provision etc. to be agreed with the Planning Authority prior to commencement of development.

EM/BMcC
15.5.91.



SIGNED: E. Madden

DATE: 15th May '91

ENDORSED: _____

DATE: _____

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

| | |
|---------------|---------------------------------|
| CONTRIBUTION: | |
| Standard: | 33,600 |
| Roads: | £800 per house |
| S. Servs: | £2,000 per acre (portion of) |
| Open Space: | £300 |
| Other: | |
| SECURITY: | |
| Bond/C.I.F.: | 50,000 |
| Cash: | 35,000 |

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

Auveen Byrne & Associates,
Lioscarran House,
32, Dale Road,
Kilmacud, Stillorgan,
Co. Dublin.

Reg. Ref. 91A-0446
Appl. Rec'd: 26.03.1991
Floor Area:
Site Area: 5.6 acres.
Zoning:

A. I. Rec

8/27/91

Report of the Dublin Planning Officer, dated 3 October 1991

This is an application for PERMISSION. The proposed development consists of revised development of 41 houses on a stated 5.6 acre site of previously approved development (Reg. Ref. 88A-0014 and 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

The site is zoned "B" in the 1983 County Development Plan "to protect and provide for development of agriculture".

The planning history of the site is as follows:

Reg. Ref. 88A-0014 - Outline planning permission was granted for 32 houses on 5.6 acre site at Springvale (Decision order P/1795/88 dated 9th June, 1988).

Reg. Ref. 89A-0367 - Planning approval was granted for 32 houses on 5.6 acre site at Springvale and the relocation of access to existing residence on adjoining site (Ref. PL 6/5/79448 dated 18th January, 1990).

The present proposal consists of 41 no. houses resulting in a density of 7.3 houses per acre approx.

The proposal seeks to increase the number of houses on the site by 20 when compared with the approved layout.

The proposed housing layout is similar to the approved layout. In a covering letter submitted as part of the original application it is stated that the same area of land is to be reserved as public open space.

The proposed house types are smaller than those approved under Reg. Ref. 89A-0367, in response to a change in market demands.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

It is noted that an area of land to the rear of house nos. 1-23 adjoining the orchard and the area of land accommodating a new driveway to the existing house are no longer included as part of the site as was the case in the earlier application lodged under Reg. Ref. 89A-0367. This is not significant in the context of this application.

It is also noted that the proposed house plans submitted as part of the original application were for semi-detached houses, while the housing layout (Drg. No. 42A) showed terraced housing. Furthermore, the house plans indicate a larger house than was shown on the site layout.

I understand that the applicant originally submitted in error the wrong site plan, as part of this application, and the correct site plan would have shown 41 no. houses (40 semi-detached and 1 detached).

A letter has been received on behalf of an adjoining land owners who maintain that the site outlined in the site location map includes part of their site. This area of land was not included in the site layout plan (Drg. No. 42A) originally submitted.

A letter of objection to the proposed development received on behalf of local residents has been noted.

The Sanitary Services report dated 15th May, 1991, states that foul sewer is not available unless financial contributions are made towards the upgrading of the Ballyboden Road sewer, and the cost of the Rockbrook Sewer. Details of the sewer crossing the Owendoher River are required to be submitted. The Sanitary Services Engineer recommended that additional information be requested in relation to a number of items, including structural details (including scaled drawings) of the proposed bridge, river training wall, new boundary wall and any proposed retaining walls behind house nos. 1-21 and the stability of the bank here.

Water is available to serve the proposed development from an existing main in Edmondstown Road. A supplementary report from the Water division of the Sanitary Services Department (letter dated 16th May, 1991) has been noted.

The Roads and Parks report dated 15th May, 1991, and 8th May, 1991, respectively have been noted. The Parks Superintendent recommends that a levy of £1000 be levied for each additional house towards the provision and development of Class I Public Open Space in the area.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

ADDITIONAL INFORMATION was requested from the applicant on the 22nd May, 1991, with regard to the following:-

1. The applicant is requested to indicate if he is willing to modify the proposed layout drawing to show the provision of semi-detached houses as per lodged house plans instead of terraced housing, and if so to submit a revised site layout showing this change.

It should be noted that there is a discrepancy between the size of the proposed houses as shown on the floor plans and the size of the houses as shown on the site layout. This discrepancy should be rectified and the applicant should demonstrate that Development Plan Standard with regard to space around dwellings can be met.

2. The applicant is requested to clarify the site boundaries. It is noted that the site as shown on the site location map differs from that shown on the site plan. In particular the applicant is requested to clarify its interest in that portion of the site (i.e. the north east corner of the site) shown as part of the site on the site location map and excluded from the site on the site plan.
3. The applicant is requested to submit a letter from a chartered structural engineer certifying the stability of the bank to the rear of houses nos. 1-23.
4. The applicant is requested to submit structural details (including scaled drawings) of the proposed bridge, river training wall, proposed new boundary wall and any proposed retaining walls behind houses nos. 1-23, together with a letter of certification for the structural design of these structures from a Chartered Engineer.
5. The applicant is requested to submit a longitudinal section of the existing bed level of the river upstream and downstream of the proposed development.
6. The applicant is requested to show the provision of a 5 metre distance between the culverted stream on the south boundary of the site and the nearest house.
7. The application is requested to confirm that the finished floor levels of houses nos. 1-23 to be at least 0.3 m above the highest recorded flood levels of the stream. The applicant is also requested to submit a letter of certification from a Chartered Engineer demonstrating the stability of the proposed house closest to the stream.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

8. Dublin Corporation have scheduled improvement works to the watermain infrastructure in the area. These works include the laying of a 1,000 mm. diameter watermain from Ballyboden Reservoir to Stillorgan Reservoir and the laying of a 600 mm. diameter scour watermain from Ballyboden Reservoir to the Owendoher River. Both of these mains are scheduled to traverse this site.

The Applicant is requested to submit information indicating how these works can be accommodated within the proposed housing layout. The applicant should note that both mains will require ready access and carry with them a sterilized wayleave of 20 metres total width each. The applicant is advised to consult with the Sanitary Services Department Water Division prior to submitting this information.

9. The applicant is requested to submit an acceptable detail for the sewer crossing of the Owendoher River.

In response to Item 1 the applicant has modified the proposed layout showing the provision of 40 no. semi-detached houses and 1 no. detached house. It is noted that there is still a discrepancy between the size of the proposed houses as indicated on the floor plans and the size of the houses as shown on the site layout Drg. No. 41A dated 27.6.91, (with particular reference to houses nos 30-41 which scale on the site plan at less than the 9.2 metres depth indicated on the house plans).

Development Plan Standards with regard to space about dwellings have not been met in all cases (e.g. not all houses have a 7.5 metres long drive way). These standard requirements should be made a condition of the permission.

The applicant has clarified the site boundaries as requested in item 2.

It is noted that the western boundary of the site to the rear of house nos. 1-21 has been altered slightly, on the site plan submitted (Drawing 41A) when compared to the original site plan (Drawing 42A). This change is not significant.

Items 3-5 inclusive and 9 relate to sanitary services.

In response to item 6 it is stated that the applicant has the permission of the adjoining landowner to divert the culverted stream which runs along the southern boundary of the site onto the adjoining property to the south. A letter has been submitted from the

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

adjoining property owner clarifying this. The plan submitted (Drawing No. 101) shows that the minimum distance (i.e. 5 metres) will be maintained between the diverted stream and house No. 1 as requested.

Responding to Item 7 it is stated that the finished floor levels of houses nos. 1-21 have been raised and that the lowest finished floor level of these houses will be of 86.2 metres. The flood plane is stated to be 85.60 metres, giving a clearance of 600 m.m.

In response to item 8, it is stated that discussions are currently underway between Dunboden Estates Ltd. and Dublin Corporation in relation to the routing of the proposed water mains.

REPORTS

Dublin Corporation have reported (report dated 2.10.91) that it has no objection to the proposed housing layout as shown on Drawing No. 41A dated 27.6.91. The proposed 1000 mm. watermain and 600 mm. overflow pipeline are to be constructed in the roadway fronting house nos. 30-41. Dublin Corporation state that the development of house nos. 28-41 should not proceed until these sections of the watermain and overflow pipeline are constructed. It is estimated by Dublin Corporation that this work can be complete within 9 months.

This is considered a reasonable requirement and a condition should be attached to this effect.

The Sanitary Services Report dated 17th September, 1991, states that foul sewer is not available unless a special levy of £125000 is paid in order to upgrade the Ballyboden Road Sewer. It also states that a levy of £2000/acre for the construction of the Rockbrook Sewer should be paid by the developer.

Both contributions are considered reasonable. I note that condition 28(a) of Decision Order P/1995/90 dated 14.5.90 (Reg. Ref. 90A/453) for a development of 62 houses at Rockwood (adjoining site to the north) stated that no works was to commence on the site until the foul sewer as Ballyboden road was duplicated at a cost of approximately £125000.

I also note that in the decision to grant permission for a housing development on the adjoining site to the south. (Reg. Ref. 90A/543) a special contribution of £2000 per acre was levied on the developer in respect of connection to the sewer in Edmondstown Road. Since the site of the current application is similarly "B" zoned land in the 1983 Development Plan, it is considered reasonable to levy this contribution. Such a contribution should in my opinion have been levied under the earlier application on this site (Reg. No. 89A-367).

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

In the case of surface water proposals a number of items are raised which are of concern to the Sanitary Services Department. In particular, it is stated that the applicant has not indicated the measures necessary to ensure the stability of the bank at the rear of house nos. 1-21. It is also noted that structural details, certified by a chartered structural engineer must be submitted, in relation to the proposed bridge river, training walls and any proposed retaining walls.

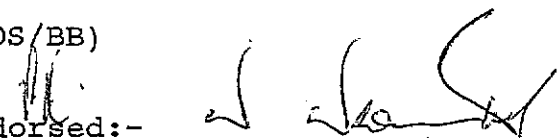
At a meeting held on 2nd October, 1991, with the Sanitary Services Department the Sanitary Services Engineer recommended the conditions that should be attached to any permission.

The proposed development is very similar to that already granted permission under Reg. Ref. 89A.367. The main difference being that the house types proposed are smaller and the number of houses on the site has been increased by 9.0.

In view of the fact that the level of public open space being provided is in excess of Development Plan Standards, it is considered unreasonable to require the applicant to pay a contribution of £1000 per each additional house. Instead conditions should be attached requiring the front boundary wall to be repaired in stone and the bridge to have a stone facing. Both are necessary in the interest of visual amenity.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following ⁽³⁵⁾ conditions:-

(Conditions attached)

(MOS/BB)
Endorsed:- 
for Principal Officer


For Dublin Planning Officer
4.10.91

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to GRANT PERMISSION for the above proposal subject to the ⁽³⁵⁾ conditions set out above is hereby made.

Dated: ⁽³⁵⁾ 17th October, 1991.


ASSISTANT CITY & COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated ~~14th~~ ^{16th} September, 1991.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

CONDITIONS

REASONS FOR CONDITIONS

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by Additional Information received on 8th August, 1991, (the site layout is to be in accordance with drawing no. 41A dated 27th June, 1991), save as may be required by the other conditions attached hereto.

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

2. In order to comply with the Sanitary Services Acts, 1878-1964.

3. That each proposed house be used as a single dwelling unit.

3. To prevent unauthorised development.

4. That a financial contribution in the sum of £33,600 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

4. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

5. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car parks, Sewers, Watermains and Drains, has been given by:-

5. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

CONDITIONS

REASONS FOR CONDITIONS

a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £50,000 which shall be renewed by the developer from time to time as required during the course of the development and kept in force by him until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.

OR.....

b. Lodgement with the Council of a Cash Sum of £35,000 to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specification.

OR.....

c. Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

6. That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

7. That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

6. To protect the amenities of the area.

7. In the interest of amenity.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

CONDITIONS

REASONS FOR CONDITIONS

8. That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by the County Council.

8. In the interest of amenity and public safety.

9. That no dwellinghouse be occupied until all the services have been connected thereto and are operational.

9. In the interest of the proper planning and development of the area.

10. That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council, Sanitary Services Department and that the cost thereof be paid to the County Council before any development commences.

10. To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

11. That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

11. In the interest of the proper planning and development of the area.

12. That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development, until taken in charge by the Council.

12. In the interest of the proper planning and development of the area.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

| CONDITIONS | REASONS FOR CONDITIONS |
|------------|------------------------|
|------------|------------------------|

13. That a financial contribution in the sum of £800 per house be paid by the proposer to the Dublin County Council towards improvements to the distributor road network in the area of the proposed development which will facilitate this development; this contribution to be paid before the commencement of development on the site.

13. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

14. (i) That the area shown as open space shall be landscaped in accordance with Drawing No. E104/205 submitted as part of the planning application. The open space shall be available for use by residents on completion of these dwellings. The open space areas shall not be used for the purpose of site compounds or for storage of plant, materials or spoil during the course of construction, or in lieu of open space being

14. To preserve the amenities of the area.

developed by the applicant a financial contribution of £200 per house shall be paid to the Council to enable the works to be carried out
(ii) In lieu of open space development by the developer, a financial contribution of £300/house to be provided to the County Council.

of this cost to be paid on a phased basis as agreed with the Planning Authority

15. Additional tree planting using Ash and Oak shall be carried out alongside the river bank. Details to be submitted to the Planning Authority for written agreement prior to development commencing.

15. In the interest of the proper planning and development of the area.

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COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

CONDITIONS

REASONS FOR CONDITIONS

16. (A) Prior to the commencement of development trees scheduled for retention shall be protected by means of stout timber fence 1.5 m. high (as indicated on Drawing No. E104/205). This fence shall enclose the area covered by the branch spread of trees and shall be maintained in good condition throughout the period of development. The areas so fenced off shall not be used for storage, dumping or for any purpose which would jeopardise the health of the trees.

(B) No underground services, roadways, pathways or carparking areas shall be provided beneath the row of Scots Pine scheduled for retention located to the east of house nos. 22-29. This may require the relocation of the proposed surface water sewer and manholes and S13 and S7. This matter to be subject of prior discussion and written agreement of the Planning Authority.

17. That access details (including carriageway width on bridge and alignment at proposed junction) are to be agreed with the Roads Department prior to the commencement of development.

18. That screen boundary walls 2 metres high with brick capping are to be provided in the following locations:-
(i) along the side boundaries of sites nos. 41, 21 29, to the rear of the proposed houses (ii) along the rear site boundaries of houses nos. 29 and 28.

16. In the interest of the proper planning and development of the area.

17. In the interest of the proper planning and development of the area.

18. In the interest of the proper planning and development of the area.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

CONDITIONS

REASONS FOR CONDITIONS

19. That front boundary walls are to be provided. These walls are not to exceed 1.2 metres in height, and are to have a brick finish and be properly capped.

19. In the interest of the proper planning and development of the area.

20. That the following Development Plan requirements are to be adhered to in this development:-

20. In the interest of the proper planning and development of the area.

(i) all gardens to be a minimum of 10.7 metres in length, as measured from main external wall;

(ii) that all driveways be a minimum of 7.5 metres long;

(iii) that a 2.3 metre distance be maintained between flank walls of pairs of semi-detached houses and between site 1 and houses on site 2/3.

(iv) that a 2 metre distance be maintained between the flank walls of house nos. 21 and 29 and the side site boundaries.

An accurate and detailed site plan (1:500 scale) showing precise house sizes (with measurements) and showing compliance with all the above standards, to be submitted for the agreement of the Planning Authority prior to commencement of development.

The applicant should note that complying with the above Development Plan Standards may require a reduction in the size of some of the houses.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

CONDITIONS

REASONS FOR CONDITIONS

21. That the front boundary wall of the site along Edmondstown Road is to be repaired in stone to match the existing wall. In this regard existing blockwork is to be removed and gaps filled in. The proposed new front boundary wall is to be constructed of stone to match the existing wall. The existing stone wall is to be extended across the existing entrance to the site.

21. In the interest of the proper planning and development of the area.

22. (a) That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council:

22. In order to comply with the Sanitary Services Acts 1878-1964.

The applicant should note that these arrangements must cater for the proposed Dublin corporation watermain and scour pipe. ~~(b) No work is to commence on site until the foul sewer at Ballyboden Road has been duplicated at a cost of approximately £125000 which work will require to be carried out by the County Council at the expense of developers in the Catchment Area.~~

23. Applicant to ensure the stability of the bank to the rear of houses nos. 1-21. A retaining wall ~~will be~~ required to be constructed. Prior to the commencement of development, the applicant is to submit detailed proposals designed to ensure the stability of the bank and to include cross sections across the site in the vicinity of dwelling nos. 1-21 for the written agreement of the Planning Authority. The proposals to be certified by a chartered structural engineer.

23. In the interest of the proper planning and development of the area.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

CONDITIONS

REASONS FOR CONDITIONS

24. The proposed diversion of the culverted stream adjacent to house no. 1 indicated on drawing no. 101 submitted as Additional Information on 8th August, 1991, shall be carried out prior to the commencement of development on the site. Details of the proposed treatment of the outfall of the diverted stream as well as pipe size, and the exit and entry of this pipeline are to be submitted to the Planning Authority for its written agreement prior to the commencement of development on the site.

24. In the interest of the proper planning and development of the area.

25. Prior to the commencement of development on the site the applicant is to determine from Dublin Corporation the location of the proposed 600 mm. scour pipe. The applicant is to combine the internal surface water system into a single outfall incorporating the Dublin Corporation scour pipe to discharge to the adjoining river. The outfall to be located at the wing walls associated with the bridge. The wing walls are to have a stone facing to match the bridge. The applicant to submit details showing compliance with this condition to the Planning Authority for written agreement prior the commencement of development on the site.

25. In the interest of the proper planning and development of the area.

26. Prior to commencement of development on the site the applicant is to submit structural details of the proposed bridge and river training walls, certified by a chartered structural engineer to the Planning Authority for its written agreement.

26. In the interest of the proper planning and development of the area.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

CONDITIONS

REASONS FOR CONDITIONS

27. That prior the commencement of development the design of the river training wall downstream of the proposed bridge is to be revised to show the foundations lowered to below the bed level of the river. The applicant is also to revise the design to show wing walls splayed at an angle of 45 degrees. The applicant is to submit details showing compliance with this condition to the Planning Authority for its written agreement prior to the commencement of development on the site.

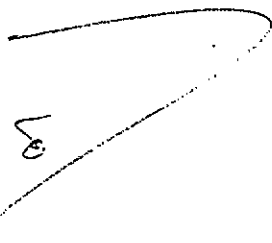
28. That the foundations of the abutments to the bridge are to be extended to meet under the River bed. The applicant is to submit details showing compliance with this condition to the Planning Authority for its written agreement prior to commencement of development.

29. Finished floor levels of houses nos. 30-41 to be submitted and agreed with the Planning Authority, in writing, prior to the commencement of development. Proposed finished floor levels should ensure that overlooking of any proposed development on the adjoining site is minimised. The applicant is to submit details showing compliance with this condition to the Planning Authority, for its written agreement, prior to the commencement of development.

27. In the interest of the proper planning and development of the area.

28. In the interest of the proper planning and development of the area.

29. To minimise any overlooking. A discrepancy of 1-2 metres is noted in the contours shown for this site vis a vis the contours shown for the adjoining "Rookwood" site under Reg. Ref. 91A/0946.



COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

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CONDITIONS

REASONS FOR CONDITIONS

30. That the proposed bridge and wing walls to the bridge as well as any proposed retaining wall are to have a stone facing.

30. In the interest of visual amenity.

31. The applicant to pay a special contribution of £2000/acre in respect of connection to the Rockbrook Sewer on Edmondstown Road.

31. It is considered reasonable that the applicant should bear some of the cost of the construction of this sewer which facilitates the proposed development.

32. That development of house nos. 28-41 and the access road serving these houses shall not proceed until the sections of the proposed Dublin Corporation 1000 mm. watermain and 600 mm. scour pipe are constructed by Dublin Corporation, unless otherwise agreed with the Planning Authority.

32. In the interest of the proper planning and development of the area.

33. That the hammerheads at the end of roads 'A' and 'C' measure 12 x 9 metres.

33. In the interest of the proper planning and development of the area.

34. Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

34. In the interest of reducing air pollution.

NOTE: The applicant is advised to consult with the Sanitary Services Department prior to lodging compliance submissions as required by conditions nos. 23-29 inclusive of this decision.

35. No development to commence on site until a contribution of £125,000 has been lodged with the Planning Authority to cover the cost of upgrading the foul sewer of Ballyboden Road.

35. The upgrading of the foul sewer on Ballyboden Rd is required to cater for development in the area including the site the subject of this application.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

Auveen Byrne & Assocs.,
Lioscarran House,
32, Dale Road,
Kilmacud, Stillorgan,
Co. Dublin.

Reg. Ref. 91A-0446
Appl. Rec'd: 26.03.1991
Time Ext. let. rec'd: 14.10.1991
Time Ext. up to: 18.10.1991

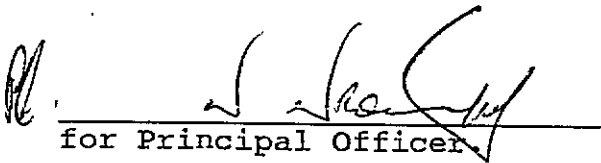
Report of the Dublin Planning Officer, dated 14 October 1991

This is an application for PERMISSION revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden.

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the applicant has furnished his consent in writing to the extension by the Council of the period for considering this application within the meaning of subsection (4A) of Section 26, up to and including 18th October, 1991.

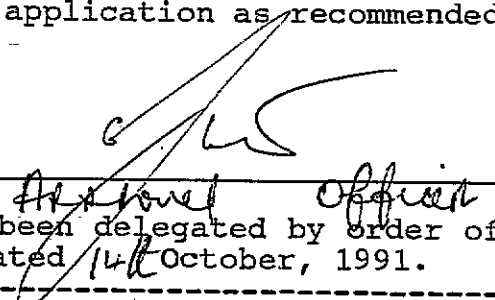
I recommend that the period to be extended accordingly.

Reason: To facilitate full consideration of the application.


for Principal Officer

Order: A decision pursuant to Section 26(4A) to extend the period for considering the application as recommended is hereby made.

Dated: 14 October, 1991.


to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 14th October, 1991.

NOTE: I have checked that the necessary entry has been made recording details of the period as extended.


SENIOR STAFF OFFICER.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved development (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

Auveen Byrne & Associates,
Lioscarran House,
32, Dale Road,
Kilmacud, Stillorgan,
Co. Dublin.

Reg. Ref. 91A-0446
Appl. Rec'd: 26.03.1991
Time Ext. let. rec'd: 07.10.1991
Time Ext. up to: 14.10.1991

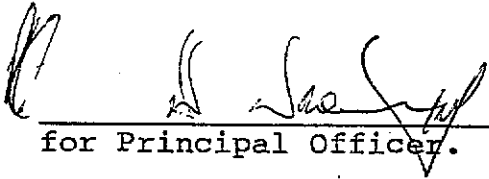
Report of the Dublin Planning Officer, dated 7 October 1991

This is an application for PERMISSION for revised development of 41 houses on 5.6 acre site of previously approved development (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden.

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the applicant has furnished his consent in writing to the extension by the Council of the period for considering this application within the meaning of subsection (4A) of Section 26, up to and including 14th October, 1991.

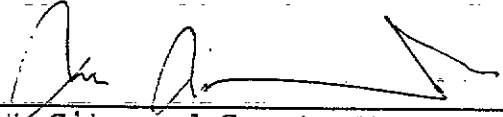
I recommend that the period to be extended accordingly.

Reason: To facilitate full consideration of the application.


for Principal Officer.

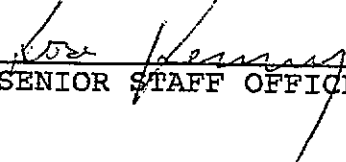
Order: A decision pursuant to Section 26(4A) to extend the period for considering the application as recommended is hereby made.

Dated: 7th October, 1991.


Assistant City and County Manager.

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 4th October, 1991.

NOTE: I have checked that the necessary entry has been made recording details of the period as extended.


SENIOR STAFF OFFICER.

contour lines a
shown on site survey
do not match up with
contour lines shown
on 9/17/0976.

A.P. levels on Hous
30-41 are between
89.5 - 86.3

PROP. A.P. level

on Hous 52 & 53
(9/17/976) on Rockwood
site are stated as:

84.6 m.

3/10/1991

A. Byene confirmed

to me (Phone call
3/10/91)

That the area of
land ^{is the strip} to the north of

HSE nos 1-21 ~~is~~ ^{site of}
excluded from the ^{valuation}
applic. & included
in the earlier applic.

As part of ^{site} (S91A 0367)
is in the applicant's ^(overseas)
ownership. ^{estate}

REG. REF: 91A/2 446.

DATE LODGED: 8/8/91

LOCATION: Springvale, Edmonstown Road, Ballyboden.

APPLICANT: Dunboden Estates Limited

PROPOSAL: Revised Development for 44 houses.

FOUL SEWER: Not available.

- 1) Unless a special levy of £125,000 is paid in order to upgrade the Ballyboden Road sewer. The required works are between M.H. 526 and M.H. 344 on the County Council Foul Sewer Record Sheet 22/10.

Note: A number of developments to contribute to this levy. See letter 30/1/91 of Mr. F. Coffey, Senior Engineer, Drainage Design to Mr. Simon Clear of An Bord Pleanala. This letter has been sent to Mr. D. Drumgoole.

- 2) A levy of £2,000/acre for the construction of the Rockbrook sewer to be paid by the developer.
- 3) Details of the protection to the sewer in the vicinity of proposed manholes F1 and F2 and at all areas where the cover is less than 1.0 metres to be submitted. The details of the connection to the main foul sewer to be submitted.
- 4) The internal drainage system to be revised so that not more than 6 houses are draining to any combined drain.

SURFACE WATER: Refusal Recommended.

- 1) Applicant has not indicated the measures necessary to ensure the stability of the bank at the rear of house Nos. 1 - 21. Any future proposals to incorporate treatment for subsoil drainage in this area.
- 2) The structural details of the proposed bridge, river training walls and any proposal retaining wall behind house nos. 1 - 21 to be certified by a chartered engineer.
- 3) The foundation of the proposed river training wall downstream of the proposed bridge to be lowered to be below the invert level of the river. The west wing-wall on the upstream side of the proposed bridge to be splayed at 45°.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
25.09.91
9 30

- 4) The invert level of the concrete floor of the proposed bridge to be lowered to the foundation level of the bridge.
- 5) The pipe size of the proposed culvert at the southern boundary of the site to be submitted. Details of the exit and entry of this pipeline to be submitted.
- 6) The proposed internal surface water system to be combined to have a single outfall. Details of this outfall to be submitted. Where cover to the internal pipe network is less than 1.0 m, 150 mm concrete surround to be incorporated as protection to pipe.

(Handwritten mark)

N. Murphy
N. Murphy
E.E.

Endorsed: *F. G. Goffey*
F. G. Goffey,
Senior Engineer.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 25.09.91
Time 9.00

Register Reference : 91A/446

Date : 16/8/91

.....
ENDORSED _____ DATE _____

WATER SUPPLY.....

Water available from existing main in Edmondstown Road
24 hr storage reqd
for availability
30/8/91

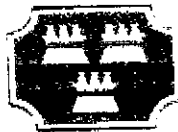
.....
ENDORSED [Signature] DATE 12/9/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 25.09.91
Time 9.00

Dublin Corporation

Bardas Átha Cliath

ENGINEERING SERVICES



WATERWORKS,
68/70 MARROWBONE LANE,
DUBLIN 8
TELEPHONE 543444
FAX 534849

Our Ref: JB.FT10911

2nd October, 1991.

Ms. M. O'Shee,
Planning Department,
Dublin County Council,
Irish Life Centre,
Lower Abbey Street.

RE:- Planning Application for proposed housing at Springvale,
Ballyboden - Ref. 91A/446 Drawing No. 41A dated 27/6/91.

Dear Ms. O'Shee,

1. This Division has no objection to the layout as shown on Drawing No. 41A dated 27/6/91. As agreed with the developer Dublin Corporation's proposed 1000 mm watermain and 600 mm overflow pipeline are to be constructed in roadway fronting house nos. 30 to 41 on layout Drawing No. 41A dated 27/6/91.
2. Development of house nos. 28 to 41 should not proceed until these sections of 1000 mm watermain and 600 mm overflow pipeline are constructed by Dublin Corporation. Dublin Corporation estimate that this work can be completed within 2 months. The programme for this work to be agreed with the developer.

Yours faithfully,

M. Phillips,
A/DIVISIONAL ENGINEER.

Dublin Corporation

Bárdas Átha Cliath



ENGINEERING SERVICES

WATERWORKS,
68/70 MARROWBONE LANE,
DUBLIN 8.TELEPHONE 543444
FAX 534849

Our Ref: JB.PT10911

2nd October, 1991.

Ms. M. O'Shee,
Planning Department.
Dublin County Council,
Irish Life Centre,
Lower Abbey Street.

RE:- Planning Application for proposed housing at Springvale,
Ballyboden - Ref. 91A/446 Drawing No. 41A dated 27/6/91.

Dear Ms. O'Shee,

1. This Division has no objection to the layout as shown on Drawing No. 41A dated 27/6/91. As agreed with the developer Dublin Corporation's proposed 1000 mm watermain and 600 mm overflow pipeline are to be constructed in roadway fronting house nos. 30 to 41 on layout Drawing No. 41A dated 27/6/91.
2. Development of house nos. 28 to 41 should not proceed until these sections of 1000 mm watermain and 600 mm overflow pipeline are constructed by Dublin Corporation. Dublin Corporation estimate that this work can be completed within 9 months. The programme for this work to be agreed with the developer.

Yours faithfully,



M. Phillips,
A/DIVISIONAL ENGINEER.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

Auveen Byrne & Associates,
Lioscarran House,
32, Dale Road,
Kilmacud, Stillorgan,
Co. Dublin.

Reg. Ref. 91A-0446
Appl. Rec'd: 26.03.1991
Floor Area:
Site Area: 5.6 acres.
Zoning:

Report of the Dublin Planning Officer, dated 17 May 1991

This is an application for PERMISSION. The proposed development consists of revised development of 44 houses on 5.6 acre site of previously approved development (Reg. Ref. 88A-0014 and 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

The planning history of the site is as follows:

Reg. Ref. 88A-0014 - Outline planning permission was granted for 32 houses on 5.6 acre site at Springvale (Decision order P/1795/88 dated 9th June, 1988).

Reg. Ref. 89A-0367 - Planning approval was granted for 32 houses on 5.6 acre site at Springvale and the relocation of access to existing residence on adjoining site (Ref. PL 6/5/79448 dated 18th January, 1990).

The present proposal consists of 44 no. houses resulting in a density of 7.8 houses per acre of floor.

The proposal seeks to increase the number of houses on the site by 12 when compared with the approved layout.

The proposed housing layout is similar to the approved layout. In a covering letter submitted as part of the application it is stated that the same area of land is to be reserved as public open space.

The proposed house types are smaller than those approved under Reg. Ref. 89A-0367, in response to a change in market demands.

It is noted that an area of land to the rear of house nos. 1-23 adjoining the *ONEHAKES* and the area of land accommodating a new driveway to the existing house are no longer included as part of the site as was the case in the earlier application lodged under Reg. Ref. 89A-0367. *This is not significant in the context of this application*

(Continued)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

(Continued)

It is also noted that the proposed house plans submitted are for semi-detached houses, while the housing layout shows terraced housing. Furthermore, the house plans indicate a larger house than is shown on the site layout.

I understand that the applicant has submitted in error the wrong site plan, as part of this application, and the ~~correct~~ ^{correct} site plan would have shown 41 no. houses (40 semi-detached and 1 detached).

A letter has been received on behalf of an adjoining land owners who maintain that the site outlined in the site location map includes part of their site. This area of land is not included in the site layout plan submitted. The applicant should be asked to clarify this discrepancy.

A letter of objection to the proposed development received on behalf of a
neighbour has been noted
The Sanitary Services report dated 15th May, 1991, that foul sewer is not available unless financial contributions are made towards the upgrading of the Ballyboden Road sewer, and the cost of the Rockbrook Sewer. Details of the sewer crossing the Owendoher River are required to be submitted. The Sanitary Services Engineer recommends that additional information be requested in relation to a number of items, including structural details (including scaled drawings) of the proposed bridge, river ~~training~~ ^{training} wall, new boundary wall and any proposed retaining walls behind house nos. 1-21 and the stability of the ~~back bank here~~ ^{bank here}. A letter of ~~certification~~ ^{certification} for the structural design of the structures from a Chartered Engineer ~~will also be required~~ ^{will also be required}.

Water is available to serve the proposed development from an existing main in Edmondstown Road. A supplementary report from the Waterway division of the Sanitary Services Department (letter dated 16th May, 1991) has been noted. *The applicant should be asked how it is proposed to accommodate the two proposed water mains on the site.*
The Roads and Parks Departments reports have been noted. Before a decision is made on this application,

I recommend that **ADDITIONAL INFORMATION** be requested from the applicant with regard to the following:-

(Continued)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

(Continued)

1. The applicant is requested to indicate if he is willing to modify the proposed layout ^{as per terrace house plan} to show the provision of semi-detached houses, instead of terraced housing, and if so to submit a revised site layout showing this change.

It should be noted that there is a discrepancy ~~noted~~ between the size of the proposed houses as shown on the floor plans and the size of the houses as shown on the site layout. This discrepancy should be rectified and the applicant should demonstrate that Development Plan Standards with regard to space around dwellings can be met.

2. The applicant is requested to clarify the site boundaries. It is noted that the site as shown on the site location map differs from that shown on the site plan. In particular the applicant is requested to clarify its interest in that portion of the site (i.e. the north east corner of the site) shown as part of the site on the site location map and excluded from the site on the site plan.
3. The applicant is requested to submit a letter from a chartered structural engineer certifying the stability of the bank to the rear of houses nos. 1-23.
4. The applicant is requested to submit structural details (including scaled drawings) of the proposed bridge, river training wall, proposed new boundary wall and any proposed retaining walls behind houses nos. 1-23, together with a letter of certification for the structural design of these structures from a Chartered Engineer.
5. The applicant is requested to submit a longitudinal section of the existing bed level of the river upstream and downstream of the proposed development.
6. The applicant is requested to show the provision of a 5 metre distance between the culverted stream on the south boundary of the site and the nearest house.
7. The application is requested to confirm that the finished floor levels of houses nos. 1-23 to be at least 0.3 m above the highest recorded flood levels of the stream. The applicant is also requested to submit a letter of certification from a Chartered Engineer demonstrating the stability of the house closest to the stream.

(Continued)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

(Continued)

- 8. Dublin Corporation have scheduled improvement works to the watermain infrastructure in the area. These works include the laying of a 1,000 mm. diameter watermain from Ballyboden Reservoir to Stillorgan Reservoir and the laying of a 600 mm. diameter scour watermain from Ballyboden Reservoir to the Owendoher River. Both of these mains are scheduled to traverse this site.*

The Applicant is requested to submit information indicating how these works can be accommodated within the proposed housing layout. The applicant should note that both mains will require ready access and carry with them a sterilized wayleave of 20 metres total width each. The applicant is advised to consult with the Sanitary Services Department, Water Division prior to submitting this information.

MOS
(MOS/DK)

9. The applicant is requested to submit an acceptable detail for the sewer crossing of the Owendoher River.

Richard Cronin SEP.
For Dublin Planning Officer

Endorsed:- [Signature]
for Principal Officer

20.5.91

Order:- I direct that ADDITIONAL INFORMATION be requested from the applicant for planning permission as set out in the above report and that notice thereof be served on the applicant.

Dated: 22 May, 1991.

K.O. Sullivan
Assistant City and County Manager

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 26th April, 1991.

SB only -

DUBLIN COUNTY COUNCIL
PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Engineer,
Sanitary Services Dept.

Register Reference : 91B/0446

Date : 24th April 1991

Development : Two storey extension at rear

LOCATION : 50 Sycamore Road, Mount Merrion

Applicant : H. O'Brien

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 23rd April 1991

WATER SUPPLY.....

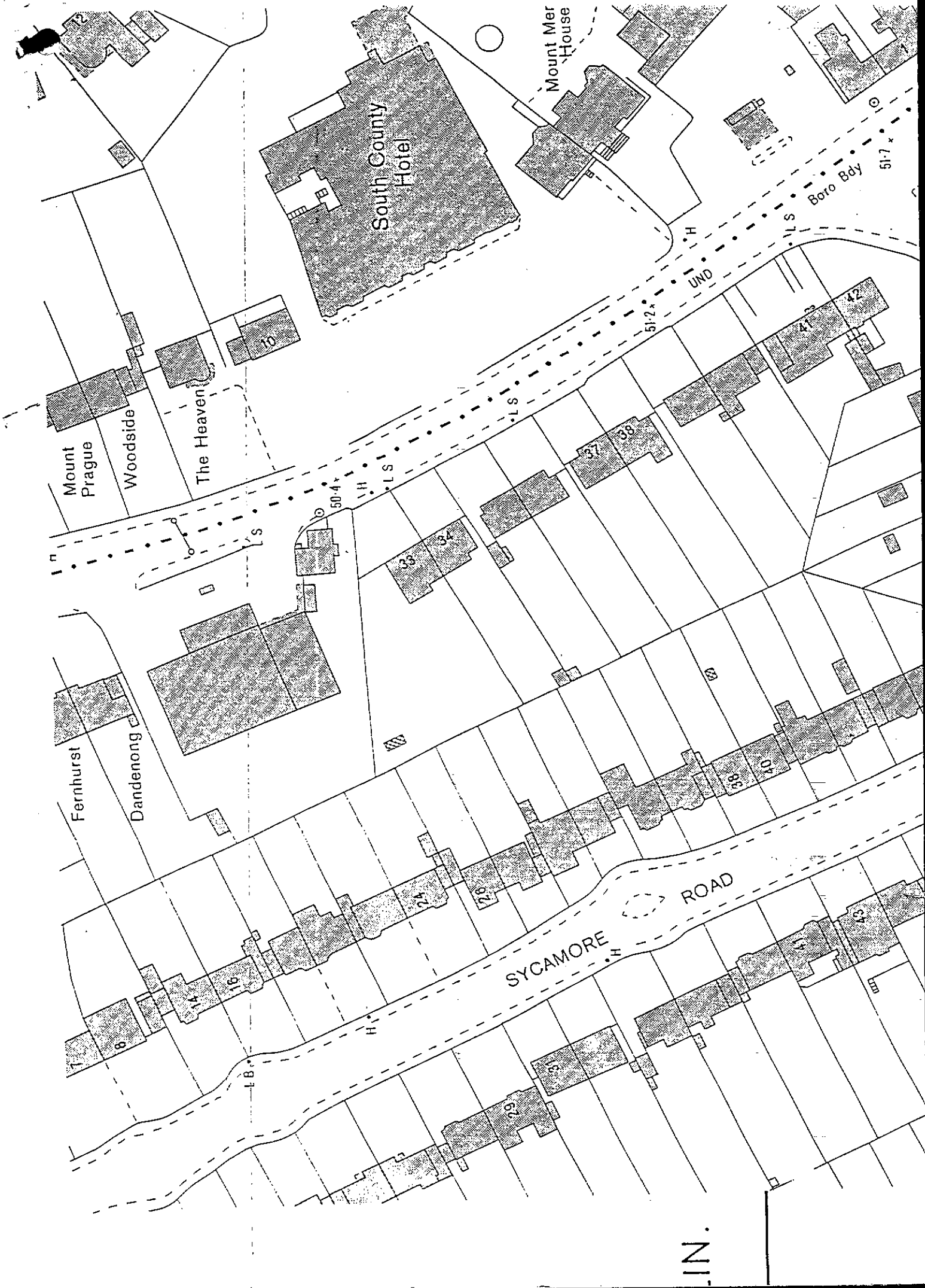
APPLICANT TO COMPLY WITH DUBLIN CORPORATION WATERWORKS
REGULATIONS AND REQUIREMENTS.

ENDORSED MR M. Kenna DATE 17-6-91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 27.06.91
Time 3.00

RECEIVED
24 MAY 1991

RECEIVED WATERWORKS DIVISION
03 JUN 1991
STILLORGAN WATERWORKS



South County Hotel

Mount Mer House

Boro Bdy 517 x

Mount Prague

Woodside

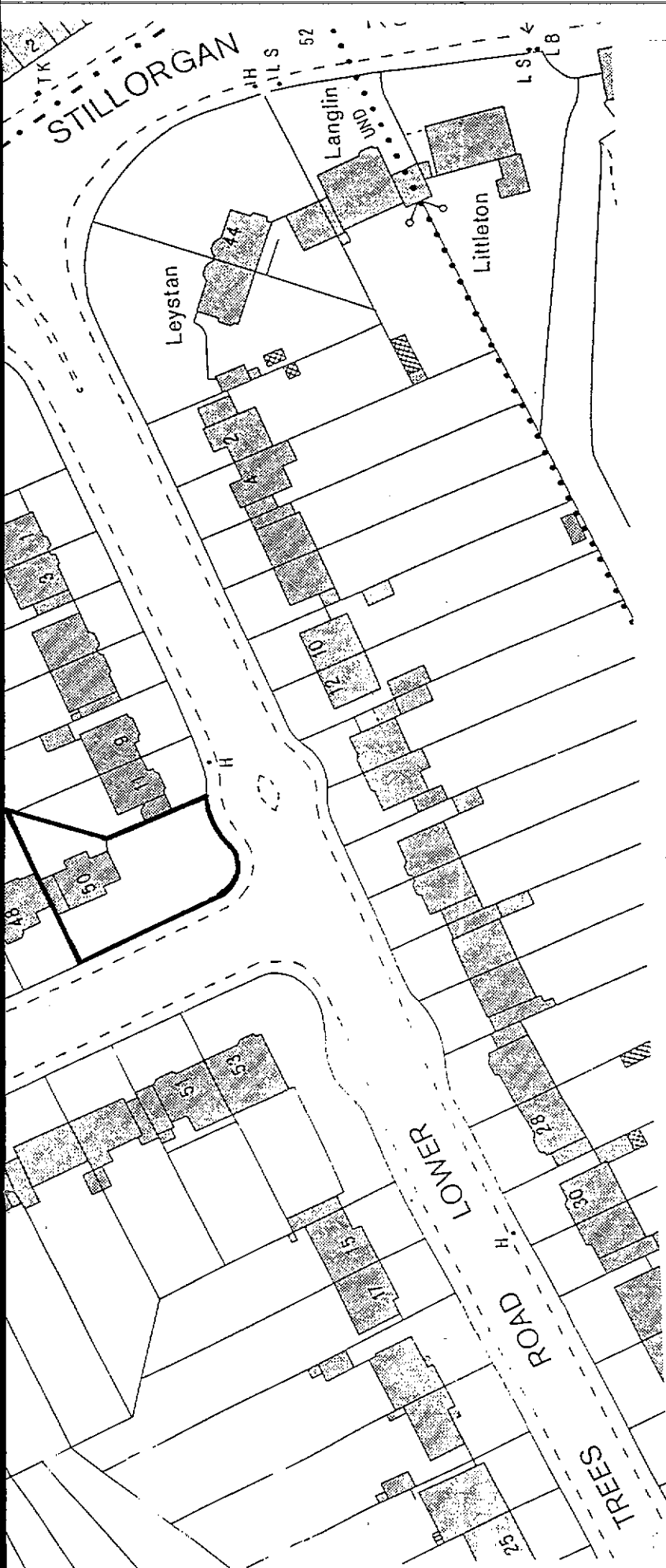
The Heaven

Fernhurst

Dandenong

SYCAMORE ROAD

1 IN.



23 APR 1991
 915/446

REC. REF. : 915/446
DATE LODGED: 23. 4. 91

SITE LOCATION MAP.
 SCALE 1:1000.
 PART OF O.S. SHEET 3392 : 5

DUBLIN COUNTY COUNCIL

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 14-6-91
Time

(M.O'S)

REG. REF: 91A/446.

LOCATION: "Springvale," Edmondstown Rd, Ballyboden

APPLICANT: Dunboden Estates Ltd.

PROPOSAL: Rev. of 33 houses on 5.6 acre site of previously approved development.

DATE LODGED: 26.3.91.

Permission exists on this site for 31 houses (A.B.P. grant of permission Reg. Ref: 89A/367 on 18th January, 1990).

Current application is for 44 units of a smaller size on this site. The proposed layout is similar to that previously approved.

If permission is being contemplated it should be subject to:-

1. A contribution of £800 per house as per Condition 13 of An Bord Pleanala decision of 18th January, 1990 towards improvements to the distributor road network in the area. The contribution to be the sum of money equivalent to £800 per house as of January 1990 and Index linked and updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.
2. Access details to be agreed with the Roads Department prior to commencement of development (including carriageway width on bridge and alignment at proposed junction).
3. Details of retaining walls, bridge and paths to be agreed with Sanitary Services Building Control and Roads Department prior to commencement of development. This will also include bridge railings and approaches etc.
4. Details of Edmondstown Road boundary treatment pedestrian provision etc. to be agreed with the Planning Authority prior to commencement of development.

EM/BMcC
15.5.91.

SIGNED: E. Adda

ENDORSED: _____

DATE: 15th May '91

DATE: _____

MOS



Bosca 174
P. O. Box 174
5 Rae Gardiner,
5 Gardiner Row,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)727777
Fax. (01)727530

Mr. D. Drumgoole,
Senior Administrative Officer,
Planning Department,
Dublin County Council.

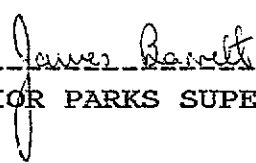
Our Ref.
Your Ref.
Date 08.05.1991

RE: Application for 44 No. Houses at Springvale, Edmonstown Road, Ballyboden. Reg. Ref. 91A/446.

With regard to this application, the Parks Department's comments are;

- 1) This application is for 44 No. houses, which represents an increase of 12 No. houses on the previous grant of permission (89A/367 PL 6/5/79448), however; the applicant shows no additional public open space. In this regard, it is considered essential that the applicant be requested to pay a financial contribution of £1,000 per additional house (£12,000) towards the provision and development of Class I public open space in the area.
- 2) The applicant be requested to adhere to the conditions of the An Bord Pleanala decision (PL 6/5/79448). Furthermore, the applicant should submit and agree proposals for street tree planting.

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT.
 Date 14.4.91
 Time



 SENIOR PARKS SUPERINTENDENT

Water Division

MO'S

Mr. R. O'Connell,
S.E.D.C.,
Planning Department.

JC/RMCG

16th May, 1991.

I refer to our discussions re: the Springvale application and consider that the following paragraph should be included in your request for additional information.

"Dublin Corporation have scheduled improvement works to the watermain infrastructure in the area. These works include the laying of a 1,000 mm diameter watermain from Ballyboden Reservoir to Stillorgan Reservoir and the laying of a 600 mm diameter scour watermain from Ballyboden Reservoir to the Owendoher River. Both of these mains are scheduled to traverse this site. Applicant should forward information to indicate how these works will be accommodated within his housing layout. It should be borne in mind that both mains will require ready access and carry with them a sterilized wayleave of 20 metres total width each."

James V. Cleary,
S.E.E.

| |
|---------------------------------|
| PLANNING DEPT. |
| DEVELOPMENT CONTROL SECT |
| Date 14/5/91 |
| Time 11:00 AM |

Jim Cleary.

(600) Scott Main will
+ house

~~House~~ Site probably
on road - next to 32-like
Water Main

(1000 MM) 13 (on road)

tentative →
photo

~~between sites~~

on sites 3 & 4

this would require
a 10 M. way ramp
on each site

Dublin County Council Comhairle Chontae Atha Cliath

Engineering Department
Sanitary Services Section



Bosca 174
P. O. Box 174
46 / 49 Sraid O'Connell Uacht.
46 / 49 Upper O'Connell Street,
Baile Atha Cliath
Dublin 1.
Telephone: (01)727777
Fax: (01)727434

FAX TRANSMISSION

DATE: 16/5/91 TIME: _____

FROM: Geoff Ginnelly

TO: Marjorie O'Shae

NUMBER OF PAGES TO FOLLOW: 1

COMMENT: _____

Register Reference : 91A/0446

Date : 12th April 1991

.....
ENDORSED _____ DATE _____

WATER SUPPLY.....

Water available to serve this proposal from an existing main in Almonds Town Road. Branch connections, fittings & chlorination and ~~and~~ swabbing to be carried out by Bullock Co at applicants prior expense.

James V Blevy
13/5/91

.....
ENDORSED [Signature] DATE 13/5/91

DATE LODGED:

REG. REF: 91A/0466

LOCATION: Springvale, Edmondstown Road, Ballyboden.

AFFLICANT: Duntoden Estates Limited.

PROPOSAL: Revised Development for 44 houses.

FOUL SEWER: - Not Available.

1. Unless a special levy of £125,000 is paid in order to upgrade the Ballyboden Road sewer. The required works are between MH.526 and MH.344 on the County Council Foul Sewer Record Sheet 22/10. *Note: A number of developments to contribute to this levy. See letter of 20/1/91 of Mr F. Coffey to Mr Simon O'Leary of An Level Planning.*
2. Unless a special levy of £2000/acre is paid for the construction of the Rockbrook sewer which serves this development. *This letter has been sent to Mr R. DUNN*
3. An acceptable detail for the sewer crossing of the Owendoher River to be submitted. Details for the protection of this sewer at proposed manholes F1 and F2 and at all areas where cover is less than 1.0 metres to be submitted.
4. All main internal sewers to be 225mm diameter. The detail of the connection to the existing sewer on Rockbrook Road to be submitted.

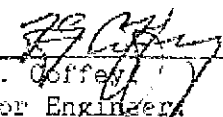
SURFACE WATER: - Additional Information is required.

1. A longitudinal section of the existing bed level of the river upstream and downstream of this proposed development to be submitted. The invert level of the proposed floor of the culvert to be agreed with Sanitary Services.
2. The foundations of the proposed bridge abutments and river training wall, to be lowered so that the top of foundation is 1.0m below the existing bed level of the river or as required by (1) above.
3. The stability of the bank to the rear of house No's 1 - 21 should be specifically certified by a qualified engineer.
4. The formation level of the proposed boundary wall north of the proposed bridge entry to be lowered by 1.0m or as required by (1) above. A letter from a chartered structural/civil engineer certifying the integrity of this proposal to be submitted.

5. The structural details (including detailed scaled drawings) of the proposed bridge, river training wall, new boundary wall and any proposed retaining walls behind house No's 1 - 21 to be submitted to the satisfaction of Building Control Section together with a letter of certification for the structural design of these structures from a chartered engineer.
6. The floor levels of house No's 1 - 21 to be at least 0.3m above the highest recorded flood level.
7. Rock armour, where shown to be a minimum of 500mm cube and the upstream entry wing-walls to the bridge to be splayed to prevent scour.
8. Surface water outfall details to be submitted.
9. The ditch along the southern boundary to be piped to cater for 170 l/s.


N. Murphy
Executive Engineer.

Enclosed:


F. G. Coffey
Senior Engineer.

12/1/12

11/4/91

J. Lang Arvans Byene Today

11/4/91. SG agreed to withdraw unclassified
A.I. Summary. Await request for
information under section 27. I ~~was~~
informed that that time extension
would be required

[Signature]

11/4/91

RECEIVED
09 APR 1991
QIA/0446

PR



AUVEEN BYRNE & ASSOCIATES,

Consultant Town Planners,

Lioscarren House, 32 Dale Road,
Kilmacud, Stillorgan, Co. Dublin.

Telephone: (01) 831611,
Facsimile: (01) 889747.

The Principal Officer,
Planning Department,
Dublin County Council,
Block II,
Irish Life Centre,
Lower Abbey Street,
Dublin 1

16/4
17/4

11 April 1991

Re: Dublin County Council Ref. No. 91A/0446
Application for permission for revised housing development
on 5.6 acre site of previously approved development (O.P.
Ref. No. 88A/0014, Appro. Ref. No. 89A/0367) and relocation
of entrance to existing house on adjoining site at
Springvale, Edmondstown Road, Ballyboden.

Dear Sir,

I refer to correspondence of 05.04.91 lodged by this office with
your Department and enclosing corrected drawings in relation to
the above.

Following discussions with your good selves, I now wish to
withdraw the said submission. I await your communication.

Yours faithfully,

AUVEEN BYRNE

12 APR 91

Mr. Gerald Cantan,
Architect,
84, Lower Dodder Road,
Dublin 14.

91A-0446

14 December 1992

Re: Proposed 41 houses and relocation of entrance at
Springvale, Edmondstown Road, Ballinteer for Dunboden
Estates Ltd.

Dear Sir,

I refer to your submission received on 29th January, 1992, to comply with Conditions No. 11, 18, 20 and 29, of decision to grant permission by Order No. P/4861/91, dated 17th October, 1991, in connection with the above.

In this regard, I wish to inform you that the submissions made to comply with condition nos. 11, 18 and 29 are acceptable.

The submission lodged in relation to condition no. 20 is acceptable subject to the following:

1. Houses nos. 1 and 22-30 (inclusive) are to have driveways which are 7.5 metres (minimum) in length and gardens which are 10.7 metres (minimum) as measured from the main external wall of the house.

NOTE: Complying with (1) above may require a slight reduction in the size of the proposed houses on these sites and this is acceptable to the Planning Authority.

Your attention is drawn to the fact that compliance submissions are still outstanding with regard to conditions nos. 15, 16(b), 23, 24, 25, 26, 27 and 28 of decision order P/4861/91 dated 17th October, 1991.

Yours faithfully,



for Principal Officer.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

SOUTH COUNTY *Dublin*

41 houses and relocation of entrance at Springvale, Edmondstown Road, Ballinteer for Dunboden Estates Ltd.

Gerald Cantan, Architect,
84 Lower Dodder Road,
Dublin 14.

Reg. Ref. 91A/446
COMP. REC'D: 29.01.92

Report of the Dublin Planning Officer, dated 3 November 1992.

This is a submission for COMPLIANCE with Conditions No. 11, 18, 20 and 29 of decision to Grant Permission by Order No. P/4861/91, dated, 17th October, 1991, in connection with the above.

Condition No. 11 states:-

"That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses".

It is stated that the development will be named "Springvale" and that the houses will be numbered 1-41 as indicated on drawing 579/41C (the enclosed drawing is in fact numbered 579 41E).

Condition No. 18 states:-

"That screen boundary walls 2 metres high with brick capping are to be provided in the following locations: (i) along the side boundaries of sites nos. 41, 21, 29 to the rear of the proposed houses (ii) along the rear site boundaries of houses nos. 29 and 28".

The applicant indicated the position of these screen walls on drawing no. 579/41 *e* lodged on 29th January, 1992. These walls will be 2 metres in height with a dashed external finish on the public side. It is proposed to use a concrete capping on the wall.

Condition No. 20 states:-

"That the following Development Plan requirements are to be adhered to in this development:-

- (i) all gardens to be a minimum of 10.7 metres in length, as measured from main external wall;
- (ii) that all driveways be a minimum of 7.5 metres long;
- (iii) that a 2.3 metre distance be maintained between flank walls of pairs of semi-detached houses and between site 1 and houses on site 2/3.
- (iv) that a 2 metre distance be maintained between the flank walls of house nos. 21 and 29 and the side site boundaries.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

SOUTH COUNTY

41 houses and relocation of entrance at Springvale, Edmondstown Road, Ballinteer for Dunboden Estates Ltd.

The agent for the applicant states that a 2 metre distance is to be maintained between the flank walls of houses nos. 21 and 29 and their respective site boundaries. It is stated that drawing no. 579 41C has been amended to show the precise house and site dimensions. †

I note that ^{on DWG. no. 579 41E that} the driveways of some of the houses appear to be approximately 7 metres in length and not the required 7.5 metres (I specifically refer to houses nos. 1 and 22-30 inclusive).

The rear gardens of a couple of the houses appear to be very marginally less than the required 10.7 metres length when scaled off the drawing (nos. 18-20 and 41). This is considered acceptable.

I note that permission was granted for revised house types on sites nos. 2-21 under Reg. Ref. 92A/1008. The approved houses on these sites under Reg. Ref. 92A/1008 had gardens which were less than 10.7 metres long. A condition of that permission stated that no extensions may be constructed to these dwellings without a prior grant of planning permission.

The drawings submitted show the provision of a 2.3 metre distance being maintained between the flank wall of houses.

Condition No. 29 stated:-

"Finished floor levels of houses nos. 30-41 to be submitted and agreed with the Planning Authority, in writing, prior to the commencement of development. Proposed finished floor levels should ensure that overlooking of any proposed development on the adjoining site is minimised. The applicant is to submit details showing compliance with this condition to the Planning Authority, for its written agreement, prior to the commencement of development".

Drawing no. 579/41 E shows the proposed finished floor levels of houses nos. 30-41 as requested.

The submissions made to comply with condition nos. 11, 18 and 29 are acceptable.

The submission lodged in relation to condition no. 20 is acceptable subject to the following:-

1. Houses nos. 1 and ^{22-30 (inclusive)} are to have driveways which are 7.5 metres (minimum) in length and gardens which are 10.7 metres (minimum) as measured from the main external wall of the house.

NOTE: The applicant is to note that complying with (1) above may require a slight reduction in the size of the proposed houses on these sites and that this is acceptable to the Planning Authority.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

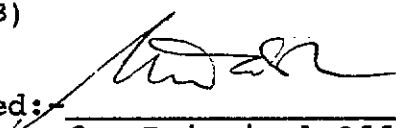
SOUTH COUNTY

41 houses and relocation of entrance at Springvale, Edmondstown Road, Ballinteer for Dunboden Estates Ltd.

The applicant should be advised accordingly.

The applicants attention should be drawn to the fact that compliance submissions are still outstanding with regard to conditions nos. 15, 16(b), 23, 24, 25, 26, 27, and 28 of Decision Order P/4861/91 dated 17th October, 1991.


(MOS/BB)

Endorsed: 

for Principal Officer


For Dublin Planning Officer

8/12/92

Order:- Applicant to be informed as set out in the above report.

Dated: 11th ~~November~~, 1992.
DECEMBER


South County Area Manager

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 25/9/92

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

Control Department,
Dublin 1.

Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Telephone: 773066

Telephone: 724755
Extension: 231/234

30th January, 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: Springvale, Edmonstown Road, Ballinteer
PROPOSED DEVELOPMENT: 41 houses & relocation of entrance
APPLICANT: Dunboden Estates Ltd.
PLANNING REG. REF.: 91A/446
DATE OF RECEIPT OF SUBMISSION: 29th January, 1992

A Chara,

With reference to above, I acknowledge receipt of application for:

Compliance with Conditions

Mise, le meas

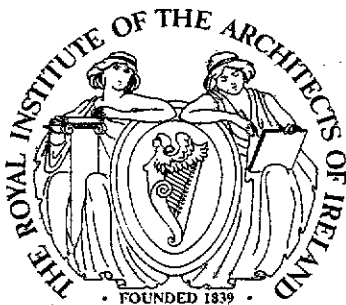
A. Smith

PRINCIPAL OFFICER

Gerald Cantan, Architect,

84 Lower Dodder Road,

Dublin 14



**GERALD
CANTAN**

Dip. Arch.

M.R.I.A.I.

**Architects and
Building Consultants**

**84 Lr. Dodder Rd.,
Dublin 14,
Ireland.**

Tel: 01-901678

Planning Department,
Dublin County Council,
Irish Life Centre,
Lower Abbey Street,
Dublin 1

91A/446

1.4.0

cont

29 JAN 92

9/1/92

Re: 41 Houses on 5.6 Acre site previously approved
development (o.p. ref. 88A-0014 appro ref. 89A-0367 and for
relocation of entrance to existing house at SPRINGVALE,
EDMONSTOWN ROAD, BALLYBODEN.

Dear Sirs,

With reference to the notification of decision to grant planning permission
for the above development I wish on behalf of my client Dunboden Estates
Ltd. to hereby submit four copies of a revised drawing in compliance with
the following conditions of that notice:

Condition 11.

It is my clients intention that the development will simply be called
Springvale after the original house on the site and that the houses will be
number 1-41 as indicated on the enclosed drawing 579/41C.

Condition 18.

Concrete blockwork screen walls 2 metres high above the ground will be
constructed as required to screen the boundaries to dwellings 41, 21, 29 and
28 as indicated on drawing 579/41C. The walls will be constructed on
concrete foundations and reinforced with concrete blockwork piers. The
walls will be constructed in 215mm solid concrete blockwork. The walls will
be stepped with the contours. The walls will be pointed fairface to the
garden side and scudded, rendered, floated and dashed externally with sand
cement plaster. A precast concrete capping will be fitted to the wall and a
plane plaster plinth formed.

Condition 20.

Part 4. 2 metres have been set down between the flank walls of houses 21
and 29 and their boundaries.

Drawing 579/41C has been amended to show the precise house and site
dimensions.

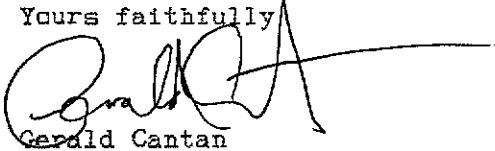
VAT No. F16777190

Condition 29.

A survey has been carried out on site to establish the relative levels of the Springvale site and the Rookwood site. The contours of the river valley are constant between both sites. It must be assumed that the differences in levels indicated on drawings submitted with each application must be attributable to the use of different datum levels. I have added an indication of the outline of houses in the approved Rookwood development (from information on the file of planning application 91A/0946) and have added information on the assumed level of their house 53 relative to the existing ground levels and information on the planning file. The difference of datum levels taken appears to be in the order of 2 metres.

We trust that the information provided on the enclosed drawing is satisfactory.

Yours faithfully

A handwritten signature in dark ink, appearing to read 'Gerald Cantan', with a long horizontal flourish extending to the right.

Gerald Cantan

DUBLIN COUNTY COUNCIL

tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/Approval

Local Government (Planning and Development) Acts, 1963-1983

To Auveen Byrne & Assocs., Decision Order P/4861/91 - 17.10.1991
Lioscarran House, Number and Date 91A-0446
32, Dale Rd., Kilmacud, Register Reference No.
Stillorgan, Co. Dublin. Planning Control No. 26.03.1991
 Applicant Dunboden Estates Ltd. Application Received on

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/~~Approval~~ for:-
 revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, app'd Ref. No. 89A-0367), and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden.

SUBJECT TO THE FOLLOWING CONDITIONS

| CONDITIONS | REASONS FOR CONDITIONS |
|--|--|
| 1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by Additional Information received on 8th August, 1991, (the site layout is to be in accordance with drawing no. 41A dated 27th June, 1991), save as may be required by the other conditions attached hereto. 2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development. 3. That each proposed house be used as a single dwelling unit. | 1. To ensure that the development shall be in accordance with the permission and that effective control be maintained. 2. In order to comply with the Sanitary Services Acts, 1878-1964. 3. To prevent unauthorised development. |

(Continued)

Signed on behalf of the Dublin County Council

Rose Murray
For Principal Officer

17.10.1991

Date

IMPORTANT: Turn overleaf for further information

(Continued)

CONDITIONS

REASONS FOR CONDITIONS

4. That a financial contribution in the sum of £33,600 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

4. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

5. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car parks, Sewers, Watermains and Drains, has been given by:-

5. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £50,000 which shall be renewed by the developer from time to time as required during the course of the development and kept in force by him until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.

OR.....

b. Lodgement with the Council of a Cash Sum of £35,000 to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specification.

OR.....

c. Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

NOTE: (Continued)

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:-
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
1R, ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/Approval

Local Government (Planning and Development) Acts, 1963-1983

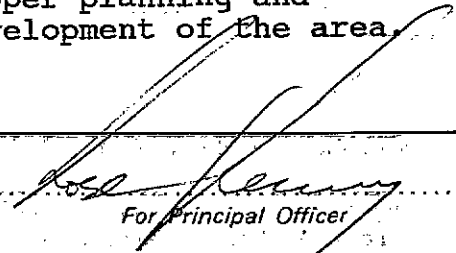
To Auveen Byrne & Assocs., Decision Order/4861/91 - 17.10.1991
Lioscarran House, Number and Date
32, Dale Rd., Kilmacud, Register Reference No. 91A-0446
Stillorgan, Co. Dublin. Planning Control No. 26.03.1991
 Application Received on
 Applicant Dunboden Estates Ltd.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/Approval for:-
 revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014; appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden.

SUBJECT TO THE FOLLOWING CONDITIONS

| CONDITIONS | REASONS FOR CONDITIONS |
|--|---|
| <p>(Continued)</p> <p>6. That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.</p> <p>7. That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.</p> <p>8. That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by the County Council.</p> <p>9. That no dwellinghouse be occupied until all the services have been connected thereto and are operational.</p> <p>(Continued)</p> | <p>6. To protect the amenities of the area.</p> <p>7. In the interest of amenity.</p> <p>8. In the interest of amenity and public safety.</p> <p>9. In the interest of the proper planning and development of the area.</p> |

Signed on behalf of the Dublin County Council


 For Principal Officer

Date 17.10.1991

IMPORTANT: Turn overleaf for further information

| (Continued) CONDITIONS | REASONS FOR CONDITIONS |
|--|--|
| <p>10. That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council, Sanitary Services Department and that the cost thereof be paid to the County Council before any development commences.</p> | <p>10. To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.</p> |
| <p>11. That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.</p> | <p>11. In the interest of the proper planning and development of the area.</p> |
| <p>12. That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development, until taken in charge by the Council.</p> | <p>12. In the interest of the proper planning and development of the area.</p> |
| <p>13. That a financial contribution in the sum of £800 per house be paid by the proposer to the Dublin County Council towards improvements to the distributor road network in the area of the proposed development which will facilitate this development; this contribution to be paid before the commencement of development on the site.</p> | <p>13. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.</p> |

(Continued)

NOTE:

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An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
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(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
1R, ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/Approval

Local Government (Planning and Development) Acts, 1963-1983

To Auveen Byrne & Assocs., Decision Order P/4861/91 - 17.10.1991
Lioscarran House, Number and Date 91A-0446
32, Dale Rd., Kilmacud, Register Reference No.
Stillorgan, Co. Dublin. Planning Control No. 26.03.1991
 Applicant Dunboden Estates Ltd. Application Received on

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/Approval for:-
 revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden.

SUBJECT TO THE FOLLOWING CONDITIONS

| CONDITIONS | REASONS FOR CONDITIONS |
|--|---|
| (Continued) 14. (i) That the area shown as open space shall be landscaped in accordance with Drawing No. E104/205 submitted as part of the planning application. The open space shall be available for use by residents on completion of these dwellings. The open space areas shall not be used for the purpose of site compounds or for storage of plant, materials or spoil during the course of construction or in lieu of open space being developed by the applicants a financial contribution of £300 per house shall be paid to the County Council to enable this work to be carried out. This cost to be paid on a phased basis as agreed with the Planning Authority. | 14. To preserve the amenities of the area. |
| 15. Additional tree planting using Ash and Oak shall be carried out alongside the river bank. Details to be submitted to the Planning Authority for written agreement prior to development commencing. | 15. In the interest of the proper planning and development of the area. |

(Continued)

Signed on behalf of the Dublin County Council

[Signature]
For Principal Officer

Date 17.10.1991

IMPORTANT: Turn overleaf for further information

(Continued)

CONDITIONS

REASONS FOR CONDITIONS

16. (A) Prior to the commencement of development trees scheduled for retention shall be protected by means of stout timber fence 1.5 m. high (as indicated on Drawing No. E104/205). This fence shall enclose the area covered by the branch spread of trees and shall be maintained in good condition throughout the period of development. The areas so fenced off shall not be used for storage, dumping or for any purpose which would jeopardise the health of the trees.

16. In the interest of the proper planning and development of the area.

(B) No underground services, roadways, pathways or carparking areas shall be provided beneath the row of Scots Pine scheduled for retention located to the east of house nos. 22-29. This may require the relocation of the proposed surface water sewer and manholes and S13 and S7. This matter to be subject of prior discussion and written agreement of the Planning Authority.

17. That access details (including carriageway width on bridge and alignment at proposed junction) are to be agreed with the Roads Department prior to the commencement of development.

17. In the interest of the proper planning and development of the area.

18. That screen boundary walls 2 metres high with brick capping are to be provided in the following locations:- (i) along the side boundaries of sites nos. 41, 21 29, to the rear of the proposed houses (ii) along the rear site boundaries of houses nos. 29 and 28.

18. In the interest of the proper planning and development of the area.

19. That front boundary walls are to be provided. These walls are not to exceed 1.2 metres in height, and are to have a brick finish and be properly capped.

19. In the interest of the proper planning and development of the area.

(Continued)

NOTE:

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Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR, ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission
Local Government (Planning and Development) Acts, 1963-1983

To Auveen Byrne & Assocs., Decision Order P/4861/91 - 17.10.1991
Number and Date
Lioscarran House, Register Reference No. 91A-0446
32, Dale Rd., Kilmacud, Planning Control No.
Stillorgan, Co. Dublin. Application Received on 26.03.1991

Applicant Dunboden Estates Ltd.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/~~Application~~ for:-
revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden.

SUBJECT TO THE FOLLOWING CONDITIONS

| CONDITIONS | REASONS FOR CONDITIONS |
|---|--|
| <p>(Continued)</p> <p>20. That the following Development Plan Requirements are to be adhered to in this development:- (i) all gardens to be a minimum of 10.7 metres in length, as measured from main external wall; (ii) that all driveways be a minimum of 7.5 metres long; (iii) that a 2.3 metre distance be maintained between flank walls of pairs of semi-detached houses and between site 1 and houses on site 2/3. (iv) that a 2 metre distance be maintained between the flank walls of house nos. 21 and 29 and the side site boundaries.</p> <p>(Continued)</p> | <p>20. In the interest of the proper planning and development of the area.</p> |

Signed on behalf of the Dublin County Council

[Signature]
For Principal Officer

Date 17.10.1991

IMPORTANT: Turn overleaf for further information

(Continued)

CONDITIONS

REASONS FOR CONDITIONS

An accurate and detailed site plan (1:500 scale) showing precise house sizes (with measurements) and showing compliance with all the above standards, to be submitted for the agreement of the Planning Authority prior to commencement of development.

The applicant should note that complying with the above Development Plan Standards may require a reduction in the size of some of the houses.

21. That the front boundary wall of the site along Edmondstown Road is to be repaired in stone to match the existing wall. In this regard existing blockwork is to be removed and gaps filled in. The proposed new front boundary wall is to be constructed of stone to match the existing wall. The existing stone wall is to be extended across the existing entrance to the site.

22. (a) That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

The applicant should note that these arrangements must cater for the proposed Dublin corporation watermain and scour pipe.

(Continued)

21. In the interest of the proper planning and development of the area.

22. In order to comply with the Sanitary Services Acts 1878-1964.

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

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Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR, ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/
Local Government (Planning and Development) Acts, 1963-1983

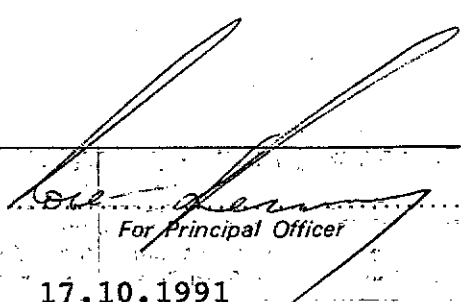
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|-----------|-------------------------|-------------------------|------------------------|
| To | Auveen Byrne & Assocs., | Decision Order | P/4861/91 - 17.10.1991 |
| | Lioscarran House, | Number and Date | |
| | 32, Dale Rd., Kilmacud, | Register Reference No. | 91A-0446 |
| | Stillorgan, Co. Dublin. | Planning Control No. | |
| Applicant | Dunboden Estates Ltd. | Application Received on | 26.03.1991 |

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-
revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden.

SUBJECT TO THE FOLLOWING CONDITIONS

| CONDITIONS | REASONS FOR CONDITIONS |
|---|--|
| <p>(Continued)</p> <p>23. Applicant to ensure the stability of the bank to the rear of houses nos. 1-21. A retaining wall may require to be constructed. Prior to the commencement of development, the applicant is to submit detailed proposals designed to ensure the stability of the bank and to include cross sections across the site in the vicinity of dwelling nos. 1-21 for the written agreement of the Planning Authority. The proposals to be certified by a chartered structural engineer.</p> <p>(Continued)</p> | <p>23. In the interest of the proper planning and development of the area.</p> |

Signed on behalf of the Dublin County Council


For Principal Officer

Date 17.10.1991

IMPORTANT: Turn overleaf for further information

(Continued)

CONDITIONS

REASONS FOR CONDITIONS

24. The proposed diversion of the culverted stream adjacent to house no. 1 indicated on drawing no. 101 submitted as Additional Information on 8th August, 1991, shall be carried out prior to the commencement of development on the site. Details of the proposed treatment of the outfall of the diverted stream as well as pipe size, and the exit and entry of this pipeline are to be submitted to the Planning Authority for its written agreement prior to the commencement of development on the site.

24. In the interest of the proper planning and development of the area.

25. Prior to the commencement of development on the site the applicant is to determine from Dublin Corporation the location of the proposed 600 mm. scour pipe. The applicant is to combine the internal surface water system into a single outfall incorporating the Dublin Corporation scour pipe to discharge to the adjoining river. The outfall to be located at the wing walls associated with the bridge. The wing walls are to have a stone facing to match the bridge. The applicant to submit details showing compliance with this condition to the Planning Authority for written agreement prior the commencement of development on the site.

25. In the interest of the proper planning and development of the area.

26. Prior to commencement of development on the site the applicant is to submit structural details of the proposed bridge and river training walls, certified by a chartered structural engineer to the Planning Authority for its written agreement.

26. In the interest of the proper planning and development of the area.

(Continued)

NOTE:

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Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
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Notification of Decision to Grant Permission/Approval

Local Government (Planning and Development) Acts, 1963-1983

To Auveen Byrne & Assocs., Decision Order P/4861/91 - 17.10.1991
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SUBJECT TO THE FOLLOWING CONDITIONS

| CONDITIONS | REASONS FOR CONDITIONS |
|--|---|
| <p>(Continued)</p> <p>27. That prior the commencement of development the design of the river training wall downstream of the proposed bridge is to be revised to show the foundations lowered to below the bed level of the river. The applicant is also to revise the design to show wing walls splayed at an angle of 45 degrees. The applicant is to submit details showing compliance with this condition to the Planning Authority for its written agreement prior to the commencement of development on the site.</p> <p>28. That the foundations of the abutments to the bridge are to be extended to meet under the River bed. The applicant is to submit details showing compliance with this condition to the Planning Authority for its written agreement prior to commencement of development.</p> | <p>27. In the interest of the proper planning and development of the area.</p> <p>28. In the interest of the proper planning and development of the area.</p> |
| <p>(Continued)</p> | |

Signed on behalf of the Dublin County Council

[Signature]
For Principal Officer

Date 17.10.1991

IMPORTANT: Turn overleaf for further information

(Continued)

CONDITIONS

REASONS FOR CONDITIONS

29. Finished floor levels of houses nos. 30-41 to be submitted and agreed with the Planning Authority, in writing, prior to the commencement of development. Proposed finished floor levels should ensure that overlooking of any proposed development on the adjoining site is minimised. The applicant is to submit details showing compliance with this condition to the Planning Authority, for its written agreement, prior to the commencement of development.

30. That the proposed bridge and wing walls to the bridge as well as any proposed retaining wall are to have a stone facing.

31. The applicant to pay a special contribution of £2000/acre in respect of connection to the Rockbrook Sewer on Edmondstown Road.

32. That development of house nos. 28-41 and the access road serving these houses shall not proceed until the sections of the proposed Dublin Corporation 1000 mm. watermain and 600 mm. scour pipe are constructed by Dublin Corporation, unless otherwise agreed in writing with the Planning Authority.

33. That the hammerheads at the end of roads 'A' and 'C' measure 12 x 9 metres.

29. To minimise any overlooking. A discrepancy of 1-2 metres is noted in the contours shown for this site vis a vis the contours shown for the adjoining "Rookwood" site under Reg. Ref. 91A/0946.

30. In the interest of visual amenity.

31. It is considered reasonable that the applicant should bear some of the cost of the construction of this sewer which facilitates the proposed development.

32. In the interest of the proper planning and development of the area.

33. In the interest of the proper planning and development of the area.

(Continued)

NOTE:

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DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
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Lioscarran House, Number and Date 91A-0446
32, Dale Rd., Kilmacud, Register Reference No. 91A-0446
Stillorgan, Co. Dublin. Planning Control No. 26.03.1991
 Applicant Dunboden Estates Ltd. Application Received on 26.03.1991

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/Approval for:-
 revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden.

SUBJECT TO THE FOLLOWING CONDITIONS

| CONDITIONS | REASONS FOR CONDITIONS |
|--|--|
| <p>(Continued)</p> <p>34. Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.</p> <p>NOTE: The applicant is advised to consult with the Sanitary Services Department prior to lodging compliance submissions as required by conditions nos. 23-29 inclusive of this decision.</p> <p>35. No development to commence on site until a contribution of £125,000 has been lodged with the Planning Authority towards the cost of upgrading the foul sewer at Ballyboden Road.</p> | <p>34. In the interest of reducing air pollution.</p> <p>35. The upgrading of the foul sewer on Ballyboden Road is required to cater for development in the area including the site the subject of this application.</p> |

Signed on behalf of the Dublin County Council

[Signature]
For Principal Officer

Date

17/10/91

IMPORTANT: Turn overleaf for further information

CONDITIONS

REASONS FOR CONDITIONS

NOTE:

If there is no appeal to An Bord Pleanála against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanála. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanála, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanála will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanála for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanála a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanála when making submissions or observations to An Bord Pleanála in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Auveen Byrne & Associates,
Lioscarran House,
32, Dale Road,
Kilmacud, Stillorgan,
Co. Dublin.

Reg. Ref. 91A-0446

15 October 1991

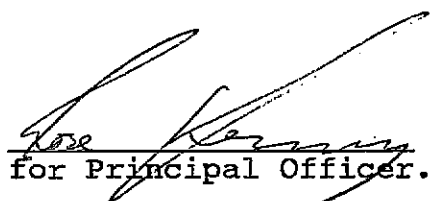
Re: Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

Dear Sir/Madam,

With reference to your planning application received here on 26th March, 1991, (letter for extension period received 14th October, 1991), in connection with the above, I wish to inform you that:-

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the period for considering this application within the meaning of subsection (4A) of Section 26 has been extended up to and including 18th October, 1991.

Yours faithfully,


for Principal Officer.



AUVEEN BYRNE & ASSOCIATES,

Consultant Town Planners,

Lioscarran House, 32 Dale Road,
Kilmacud, Stillorgan, Co. Dublin.

Telephone: (01) 831611,
Facsimile: (01) 889747.

Dublin County Council,
Block II
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

14th October 1991

RE: Permission for housing development at Springvale for
Dunboden Estate Limited.
Reference number 91A/446.

For the attention of Mr Pat Kenny

Dear Sir,

In accordance with the provisions of Section 26. 4(a) of the Local Government (Planning and Development) Act 1963, as modified by the Act of 1976, I am authorised by my clients, Dunboden Estates Limited to request an extension of time for consideration of this application for a limited period of time, i.e. up to and including Friday, 18th October 1991.

Yours sincerely,

P.P. *Liz Scanlon*

AUVEEN BYRNE

15 OCT 91



AUVEEN BYRNE & ASSOCIATES,

Consultant Town Planners,

Lioscarran House, 32 Dale Road,
Kilmacud, Stillorgan, Co. Dublin.

Telephone: (01) 831611,
Facsimile: (01) 889747.

Dublin County Council,
Block II
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

14th October 1991

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In accordance with the provisions of Section 26. 4(a) of the Local Government (Planning and Development) Act 1963, as modified by the Act of 1976, I am authorised by my clients, Dunboden Estates Limited to request an extension of time for consideration of this application for a limited period of time, i.e. up to and including Friday, 18th October 1991.

Yours sincerely,

P.P. Liz Scanton

AUVEEN BYRNE

for



AUVEEN BYRNE & ASSOCIATES,

Consultant Town Planners,

Liosoarran House, 32 Dale Road,
Kilmaoud, Stillorgan, Co. Dublin.
Telephone: (01) 831611,
Facsimile: (01) 889747.

Dublin County Council,
Block II
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

4th October 1991

RE: Permission for housing development at Springvale for
Dunboden Estate Limited.
Reference number 91A/446.

For the attention of Mr Pat Kenny

Dear Sir,

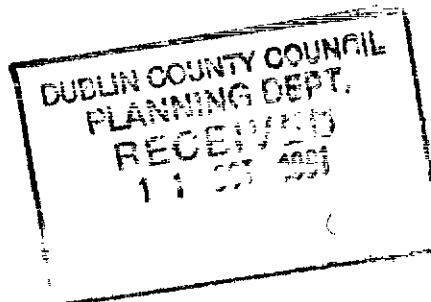
In accordance with the provisions of Section 26. 4(a) of the
Local Government (Planning and Development) Act 1963, as modified
by the Act of 1976, I am authorised by my clients, Dunboden
Estates Limited to request an extension of time for consideration
of this application for one week, i.e. up to and including
Monday, 14th October 1991.

Yours sincerely,

P.P. J.B. Scaulon

AUVEEN BYRNE

*Recd @ 2:30pm
on 11/10/91*



6



Dublin County Council,
Block II,
Irish Life Centre,
Lower Abbey St,
Dublin 1.

Auveen Byrne & Assocs.,
Lioscarran House,
32, Dale Road,
Kilmacud, Stillorgan,
Co. Dublin.

Reg. Ref.: 91A-0446

8 October 1991

Re: Proposed revised development of 41 houses on 5.6 acre site of previously approved development (O.P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

Dear Sir,

With reference to your planning application received here on 26th March, 1991, (letter for extension period received 7th October, 1991), in connection with the above, I wish to inform you that:-

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the period for considering this application within the meaning of subsection (4A) of Section 26 has been extended up to and including 14th October, 1991.

Yours faithfully,


for Principal Officer.



ALVEEN BYRNE & ASSOCIATES,

Consultant Town Planners,

Lioscarran House, 32 Dale Road,
Kilmaoud, Stillorgan, Co. Dublin,

Telephone: (01) 831811,

Facsimile: (01) 889747.

Dublin County Council,
Block II
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

4th October 1991

RE: Permission for housing development at Springvale for
Dunboden Estate Limited.
Reference number 91A/446.

For the attention of Mr Pat Kenny

Dear Sir,

In accordance with the provisions of Section 26. 4(a) of the Local Government (Planning and Development) Act 1963, as modified by the Act of 1976, I am authorised by my clients, Dunboden Estates Limited to request an extension of time for consideration of this application for one week, i.e. up to and including Monday, 14th October 1991.

Yours sincerely,

P. E. DeSaulon

ALVEEN BYRNE

G Hayden
informed
4.35pm

GH



**GERALD
CANTAN**

Dip. Arch.

M.R.I.A.I.

**Architects and
Building Consultants**

**87 Terenure Road North
Dublin 6,
Ireland.**

**Tel: 01-920106
Fax: 01-920107**

Attn. Mr. A. Doran
Building Control Section,
Dublin County Council
Irish Life Centre,
Lower Abbey Street,
Dublin 1

91A/0446
1.12.01 13. SEPT 01
A.I. for BBL

4/9/91

Re. Proposed housing at Springvale, Ballyboden
TIME EXTENSION/ADDITIONAL INFORMATION FOR B.B.L.

Reg. Ref. No. 91A/446

Dear Sir,

Referring to your letter of 15/7/91 to Aúveen Byrne and Associates re additional information required on the above project I understand that you have had a meeting with Michael Carew of Carew Associates and that he has submitted further information to you on the above project. There are some items which require further architectural details namely:

- (1) details of the bay windows
- (2) details of the closure of the cavity at the return of the brick facing to the gable walls.

To satisfy your requirements for further information on these details I am submitting the following:

- (1) Revised copies of drawings 579/42A and 43A which illustrate the house type to be constructed with further information on the bay windows.

VAT No. F1677190

(2) 2 Copies on construction details numbered 579/44 which illustrate the details of the bay window at roof level, at first floor level, of the reveal of the bay window and of the closure of the cavity at the return of the brickwork to the gable wall.

We have consulted with Carew Associates on these details and they have recommended the use of a 203x203x57 U.C. over the openings to the bay window at both levels. This has been marked on our drawings.

I trust that this supplementary information is satisfactory.

Yours sincerely

Gerald Cantan

WELLS COUNTY OFFICIAL
Planning Dept. Registration Section
APPLICA... ED
18 SEP 1991
REG No 91A/446
APPLICATION TYPE...
No. 1...

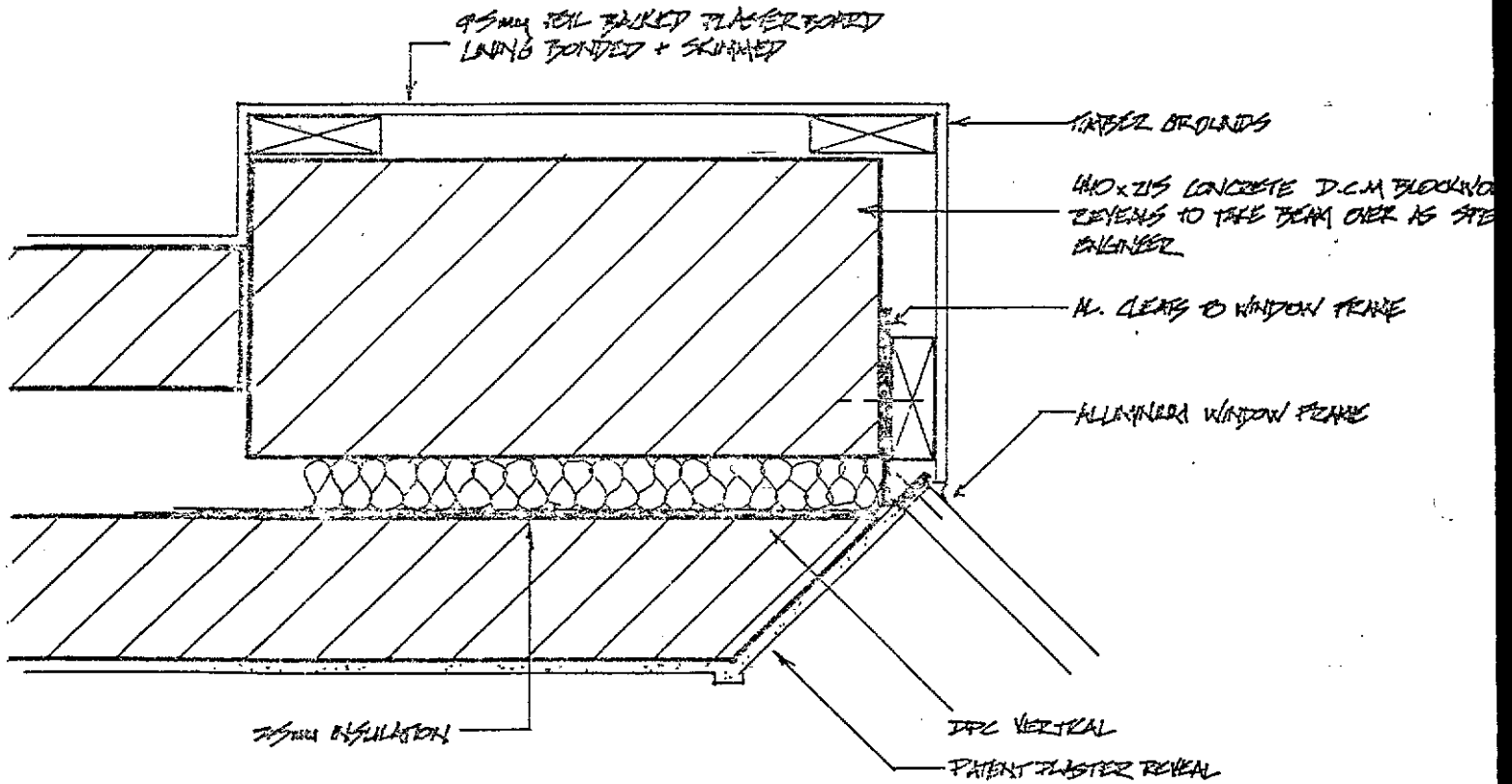
PROPOSED HOUSING
AT
SPRINGVALE,

DETAILS TO BAY WINDOW
DRG NO.s 579/44/1-4

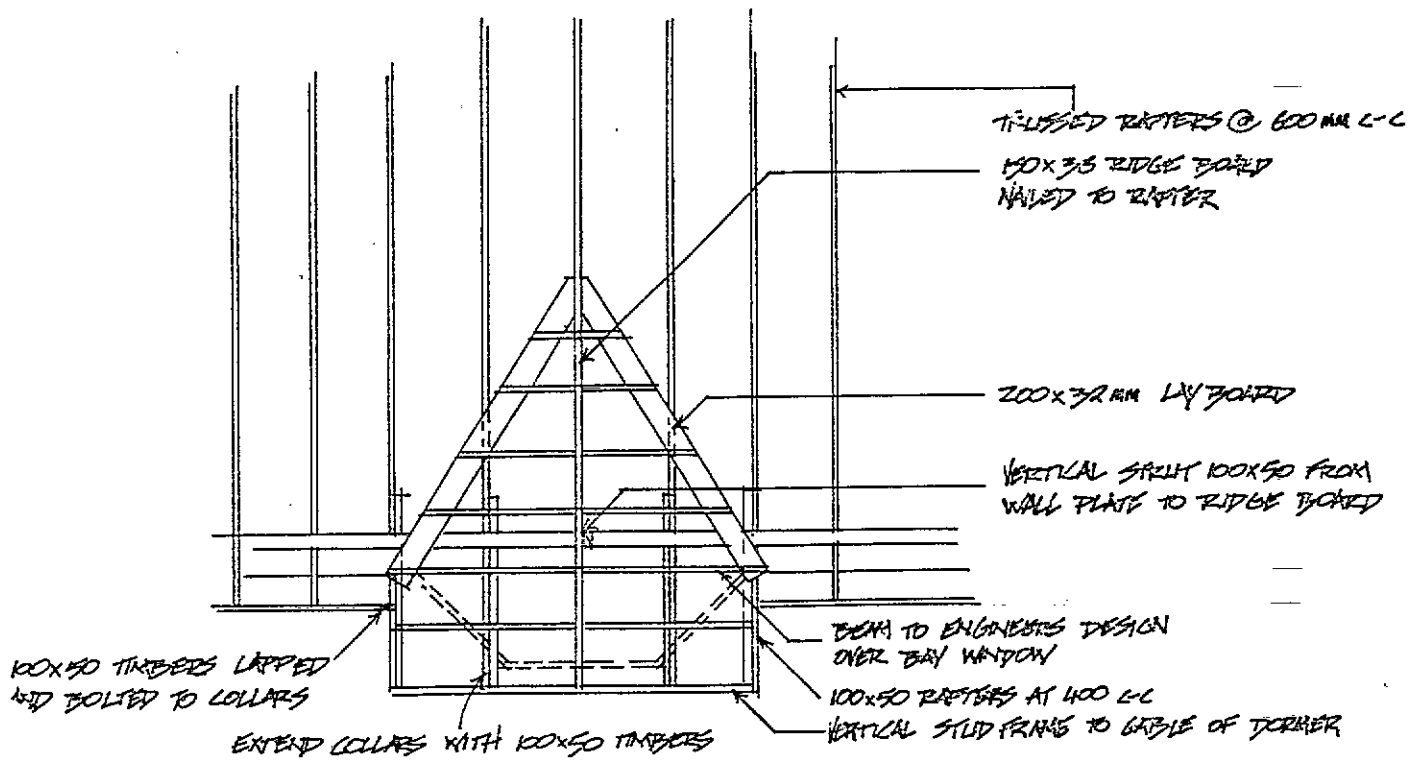
OF DEVELOPMENT

ANALYSIS

WS



DETAIL OF PIER AT SIDES OF BAY WINDOW

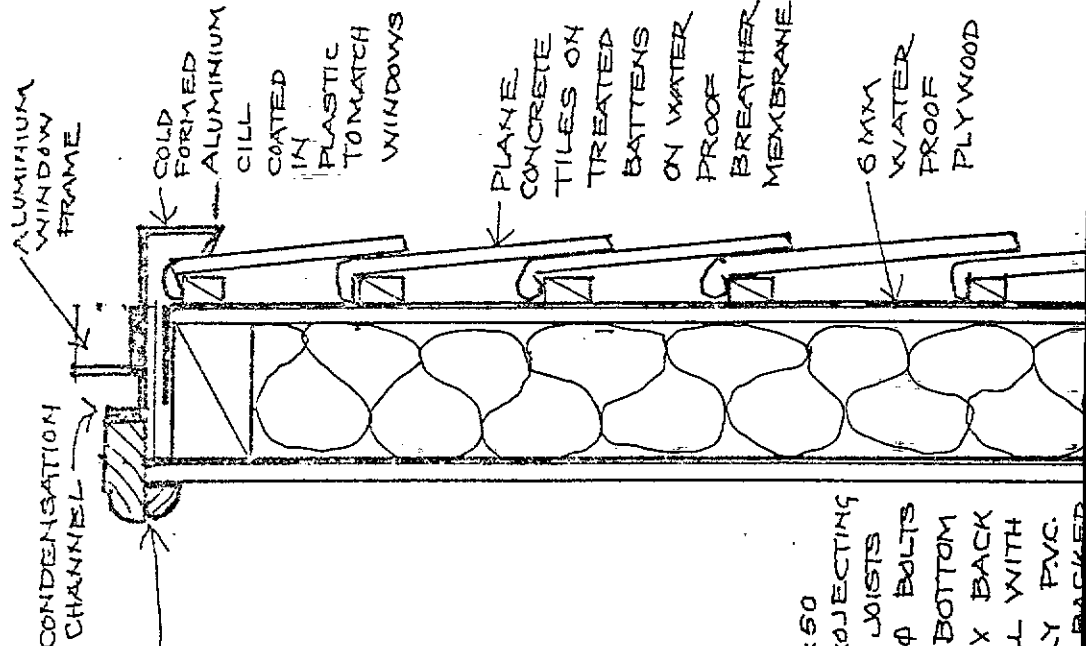


PLAN OF ROOF TIMBERS TO DORMERS

Scale 1:5 Date 3-9-91

HOUSING AT SPRINGVALE BALLYBODEN

DRG. NO. 579/44/1



SCRIBED 5MM MOULDED TRIM TO INSIDE OF WINDOW AND FIT QUADRANT

STUD FRAME TO BOW WITH 100 X 50 STUDS AT CENTRES TO SUIT PROJECTING JOISTS (MAX 400 MM) BOLT TO JOISTS WITH STAINLESS STEEL 9MM Ø BOLTS AS INDICATED, CUT HEAD AND BOTTOM RAIL TO BOW AND SECURE. FIX BACK TO EXTERNAL BLOCKWORK. INFILL WITH 100MM FIBREGLOSS QUIL. APPLY PVC. VARIOUS BARRIER LINE WITH FOIL BACKED

PLANE CONCRETE TILES ON TREATED BATTENS ON WATER PROOF BREATHER MEMBRANE

6MM WATER PROOF PLYWOOD

ALUMINIUM WINDOW FRAME

CONDENSATION CHANNEL

COLD FORMED ALUMINIUM CILL COATED IN PLASTIC TO MATCH WINDOWS

FIRST FLOOR

FLOOR

GROUND

FLOOR

PLASTERBOARD, BOND AND SKIM

EX 125X25 SKY SKIRTING

2.5X150 T+G TIGHTLY CRAMPED AND
NAILED TO 225X50 JOISTS

225X50 JOISTS PROJECTED OUT TO FORM
BAY

OUTLINE OF D.C.M
CONCRETE BLOCK PIERS

203 X 203 X 57 U.C

U.B. TO ENGINEERS DESIGN CASSED
IN MIN OF 50 MM CONCRETE
INCORPORATE 3MM M.S. BINDERS

75X50 FRAMING

PLASTERBOARD LINING TO CEILING
BOND AND SKIM

100 X 50
NOGGIN'S

SKY DRIP
ALUMINIUM
WINDOW
FRAME

HOUSING AT SPRINGVALE BALLYBODEN
DETAIL AT FIRST FLOOR LEVEL OF BAY WINDOW

Scale 1:5 Date 2/9/91 DRG NO 579/44/2

PROFILED CONCRETE TILES TO DORMER ON 38X38 TREATED BATTENS
ON SARKING FELT ON 100 X 50 RAFTERS

COLOURED MORTAR
POINTING ON BLAT
UNDERCLOAK

EX 22.5 X
25 MM
S.W.
BARGE

100 X 50
GROUND

CHANGED EXPANDED
METAL OVER MEMBRANE
OF DOWNWINDS FELT
OVER 6MM WATER
PROOF PLYWOOD.
RENDER AND FLOAT
WITH SAND CEMENT
PLASTER AND TRINT.

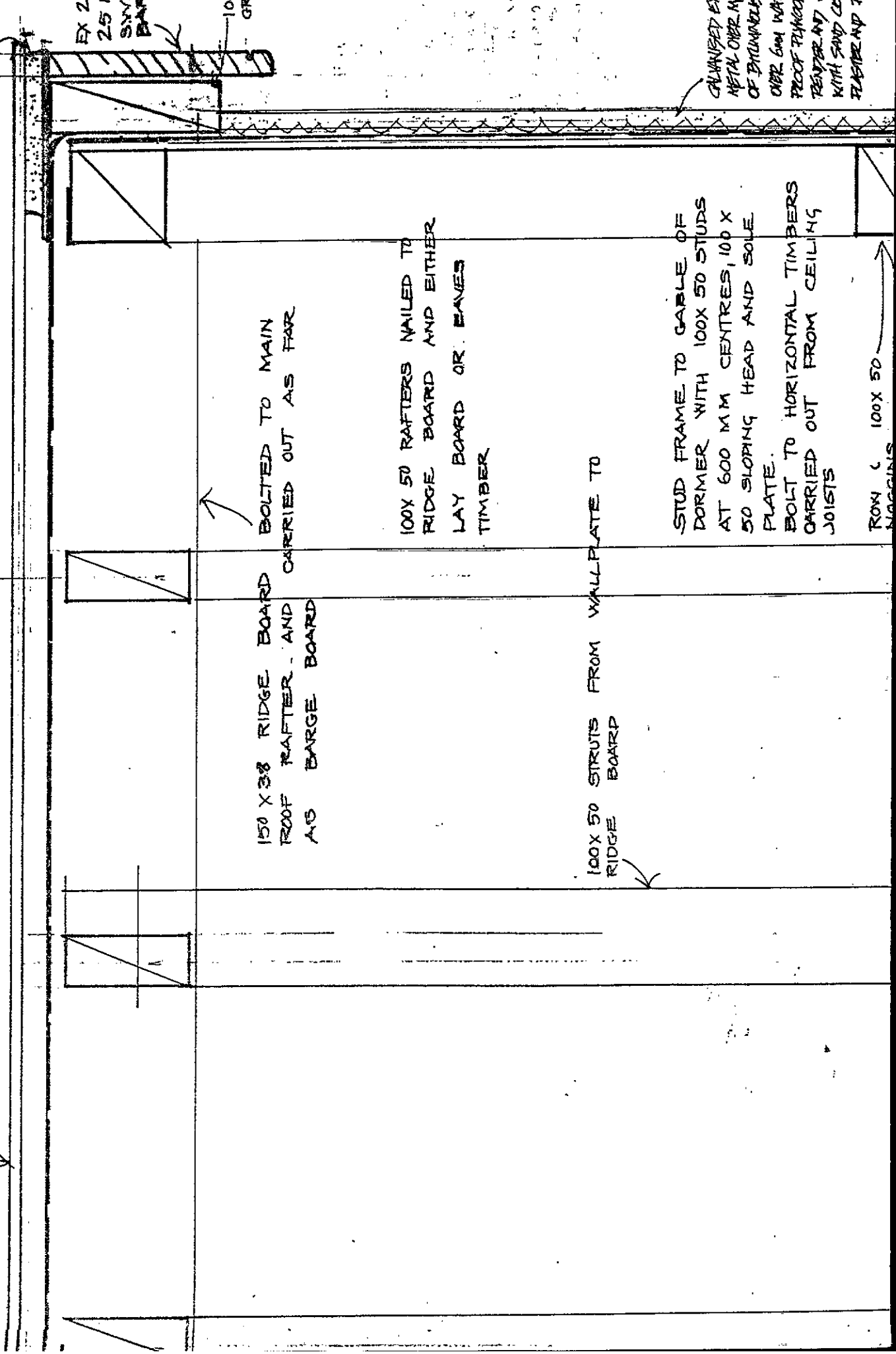
150 X 38 RIDGE BOARD BOLTED TO MAIN
ROOF RAFTER AND CARRIED OUT AS FAR
AS BARGE BOARD

100 X 50 RAFTERS NAILED TO
RIDGE BOARD AND EITHER
LAY BOARD OR BARGE
TIMBER

100 X 50 STRUTS FROM WALL PLATE TO
RIDGE BOARD

STUD FRAME TO GABLE OF
DORMER WITH 100 X 50 STUDS
AT 600 MM CENTRES, 100 X
50 SLOPING HEAD AND SOLE
PLATE.
BOLT TO HORIZONTAL TIMBERS
CARRIED OUT FROM CEILING
JOISTS

ROW C 100 X 50
NAGGINS



100X50 TRUSSED RAFTER

16 ASO HORIZONTAL TIMBERS TO I P CEILING
JOISTS BY MIN OF 1.2 MTS. BOLT TO
JOISTS AT 200 MM CENTRES, PROJECT AND
BOLT TO STUD FRAME TO GABLE OF DORMER

⊕ ⊕

100X75 WALLPLATE BOLTED TO WALL
OR COACH BOLTED TO STEEL UP.

STEEL U.P. TO ENGINEERS DESIGN
AND DETAIL TO BEAR ON PIER OF
D.C.M. CONCRETE BLOCKWORK

100 MM FIBREGLASS QUILT INSULATION

75X38 BATTENS FOR
DROPPED CEILING

DOUBLE SLAB CEILING UNDER STEEL
BEAM AND BULKHEAD BOND AND SKIM

OUTLINE OF CONC
BLOCK PIER

HOUSING AT SPRINGVALE BALLYBODEN
DETAIL AT ROOF LEVEL OF BAY WINDOW

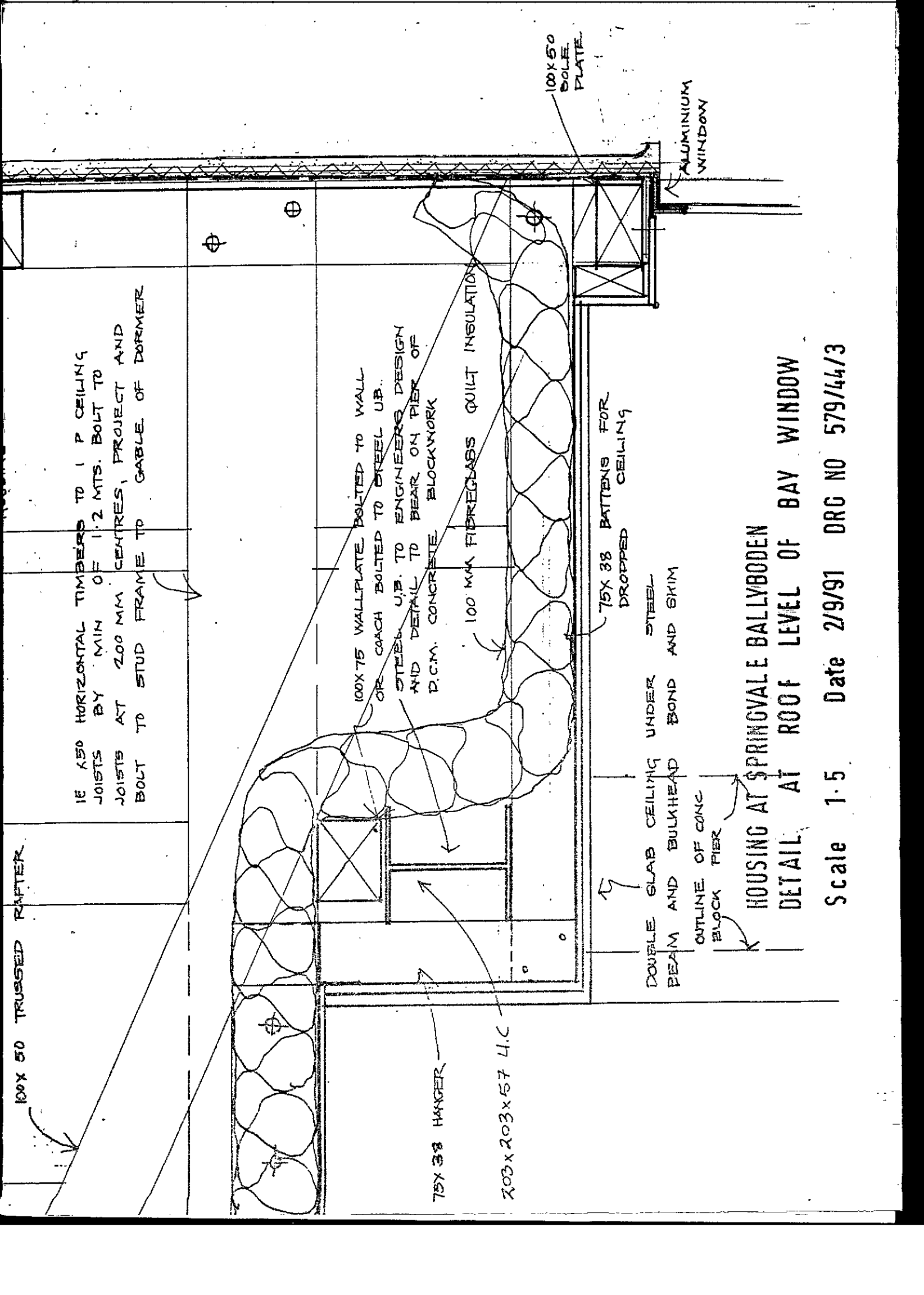
Scale 1:5 Date 2/9/91 DRG NO 579/44/3

100X50
SOLE
PLATE

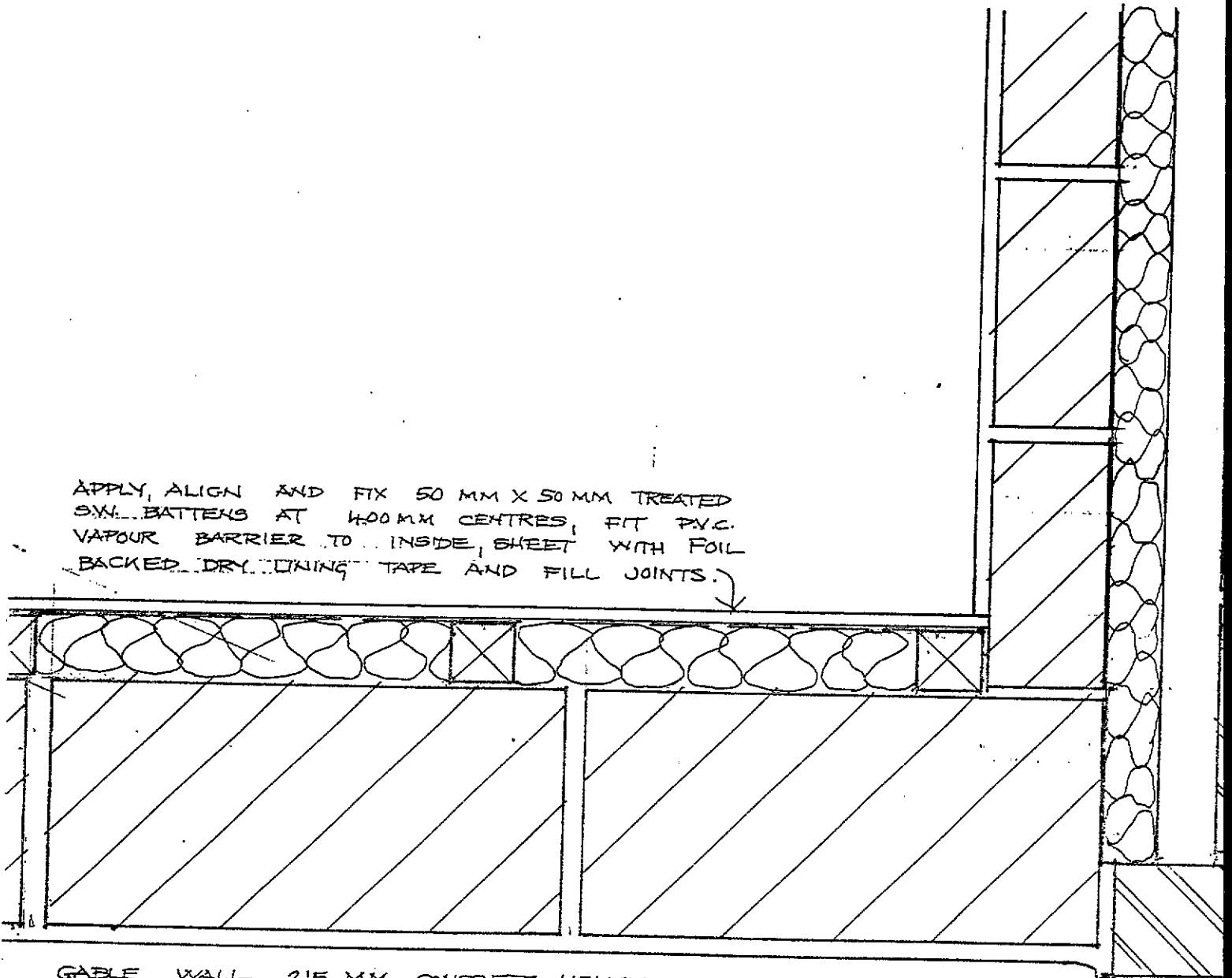
ALUMINIUM
WINDOW

75X38 HANGER

203X203X57 L.I.C



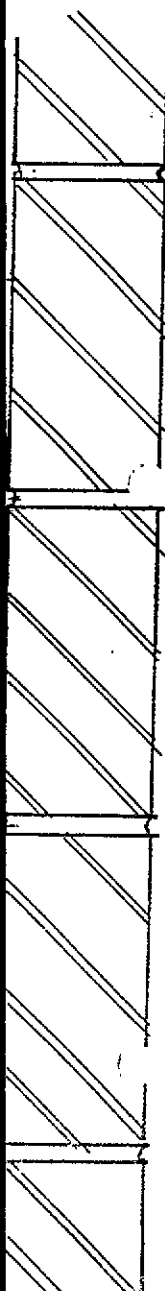
APPLY, ALIGN AND FIX 50 MM X 50 MM TREATED
S.W. BATTENS AT 400MM CENTRES, FIT P.V.C.
VAPOUR BARRIER TO INSIDE, SHEET WITH FOIL
BACKED DRY LIXING TAPE AND FILL JOINTS.



GABLE WALL 215 MM CONCRETE HOLLOW BLOCKWORK
SCUD RENDER AND FLOAT WITH SAND CEMENT PLASTER,
INCORPORATING WATERPROOFER TO NAP FINISH

SAWY CUT
TO CLOS
TO MAST

HOUSING AT SPR
DETAIL OF
Scale 1:5



FRONT ELEVATION 100MM CLAY BRICK EXTERNAL
LEAF TO GROUND FLOOR 100MM CONCRETE BLOCK
LEAF TO FIRST FLOOR.
100MM CAVITY INCORPORATING 50MM BOARD
INSULATION TO INSIDE FACE
INTERNAL 100MM CONC BLOCK INTERNAL LEAF
WNE INTERNALLY WITH FOIL BACKED PLASTERBOARD

AT BRICKS AND CONC BLOCKS
THE CAVITY. BUILD OUT BRICKWORK
WITH PLASTER TO GABLE

INGVALE BALLYBODEN

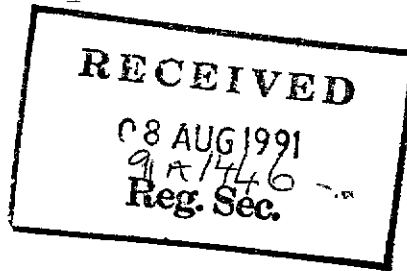
CLOSURE OF CAVITY AT GABLE

Date 2/3/91 DRG NO 579/44/4

CAREW ASSOCIATES
CONSULTING ENGINEERS

22 CROFTON ROAD, DUN LAOGHAIRE, CO. DUBLIN.
TELEPHONE: (01)2809827, 2844334
MOBILE: 088-557302
FAX: 2809944

Ms Auveen Byrne,
Auveen Byrne & Associates,
Lioscarran House,
32 Dale Road,
Kilmacud,
Stillorgan,
Co.Dublin.



2nd August 1991.

RE: PROPOSED HOUSING AT
SPRINGVALE, BALLYBODEN.

Dear Auveen,

With reference to the additional information requested by Dublin County Council in their letter dated 22nd May 1991, we would comment as follows to the individual items:

Item no.3.

Cross sections have been plotted across the site at three locations showing the bank to the rere of houses nos 1-21. These sections have been examined by Mr B.Morris, Dublin County Council and he is generally satisfied with the current profile of the bank, as shown on drawing no.91/047/107. The possibility of providing a line of land drainage directly behind the rere fencing was discussed, and this may be a condition of approval.

Mr Morris requested that an additional section be plotted across the site through house no.26. This section is shown on drawing no.91/047/109.

As can be seen from the various cross-sections, the gradient of the banks to the rere of houses nos.1-21 has been greatly reduced, thereby greatly increasing the stability of same. Formal certification may not be required now and this can be discussed with Mr Morris.

Item no.4 Bridgeworks.

The main bridgeworks drawings have been amended in accordance with the requirements from Dublin County Council. These revised drawings have been examined by Mr B.Morris, and again he is generally satisfied with the current details. The possibility of providing eyes in the abutments was discussed and this may be another condition of approval. A standard structural design certificate is attached to cover the aforementioned bridgeworks.

Item no.5.

A longitudinal section of the existing bed level was plotted from a distance of 30 metres upstream of the proposed development to a distance of 30 metres downstream. See drawing no.91/047/108.

Item no.7.

The floor levels of houses nos.1-21 have been raised by 1 metre. The lowest of these houses (nos.16,17,18,19,20 & 21) have a finished floor level of 86.20m. The flood plane has been taken at 85.60m. This gives a clearance of 600mm to the lowest houses along this line.

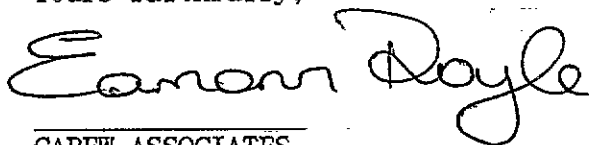
With regard to the stability of the house closest to the stream, foundation details will be subject to opening up works on site in this area and all details will be agreed with the Dublin County Council inspector for the area. If formal certification is required at that stage, we will issue same.

Item no.9.

The pipe was moved to the outside of the bridge for the re-submission of drawings. However in discussion with Mr B.Morris, it was decided to leave this pipe within the bridge deck and that the final details could be submitted as a further condition of approval.

We trust that the above comments, together with the revised drawings, will meet the requirements of Dublin County Council.

Yours faithfully,



CAREW ASSOCIATES.

CAREW ASSOCIATES
CONSULTING ENGINEERS

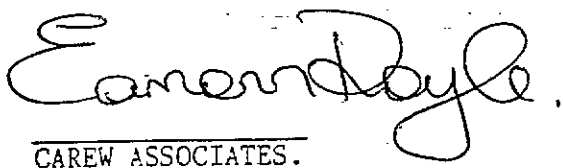
22 CROFTON ROAD, DUN LAOGHAIRE, CO. DUBLIN.
TELEPHONE: (01) 2809827, 2844334
MOBILE: 088-557302
FAX: 2809944

DATE: 2/8/91

STRUCTURAL CERTIFICATE

PROJECT: Bridgeworks For Proposed Housing
Development At Springvale Ballyboden.

The structural design of the above project is in accordance with the relevant Irish and British Codes of practice and has been carried out under the supervision of a Chartered Structural Engineer.


CAREW ASSOCIATES.

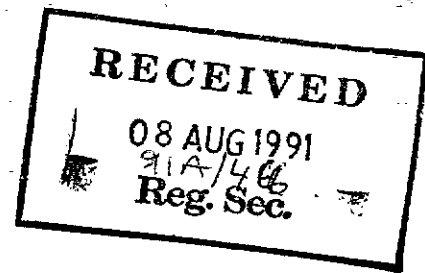
CAREW ASSOCIATES
CONSULTING ENGINEERS

22 CROFTON ROAD, DUN LAOGHAIRE, CO. DUBLIN.
TELEPHONE: (01) 2809827, 2844334
MOBILE: 088-557302
FAX: 2809944

DATE: 2/8/91

STRUCTURAL CERTIFICATE

PROJECT: Bridgeworks For Proposed Housing
Development At Springvale Ballyboden.



The structural design of the above project is in accordance with the relevant Irish and British Codes of practice and has been carried out under the supervision of a Chartered Structural Engineer.

Eamon Doyle
CAREW ASSOCIATES.



BALLYMORE HOMES LIMITED,
BALLYMORE EUSTACE,
CO. KILDARE, IRELAND.
TELEPHONE: (045)64164, 64445.
TELEFAX: (045)64478.

15th July 1991.

P. Rafferty Esq.,
Dunboden Estates,
C/O Crowley Millar,
Solicitors,
17, Mount Street,
Dublin 2.

RECEIVED
08 AUG 1991
91K/446
Reg. Sec.

Re: Springdale

Dear Sir,

Further to your letter of 11th July 1991, I wish to confirm that it is our intention to grant a way leave to re-route the drain at the boundary between our land and Springdale through our land, approximately 5 - 6 metres south of the boundary as shown on drawings prepared by Gerard Cantan.

The size of pipe and design of outfall to be to the satisfaction of Dublin County Council. This way leave will be granted whether or not permission is achieved by us for development of our lands.

Yours faithfully,
BALLYMORE HOMES LTD.


Peter Melady.

c.c. Auveen Byrne

CAREW ASSOCIATES
CONSULTING ENGINEERS

22 CROFTON ROAD, DUNLAOGHAIRE, CO. DUBLIN.
TELEPHONE: (01) 2809827, 2844334
MOBILE: 088-557302
FAX: 2809944

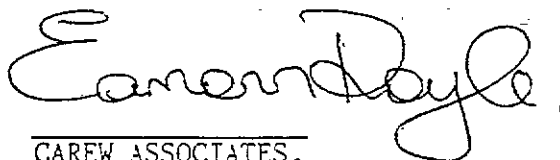
DATE: 2/8/91

STRUCTURAL CERTIFICATE

PROJECT: Bridgeworks For Proposed Housing
Development At Springvale Ballyboden.

RECEIVED
08 AUG 1991
dia/446
Reg. Sec.

The structural design of the above project is in accordance with the relevant Irish and British Codes of practice and has been carried out under the supervision of a Chartered Structural Engineer.

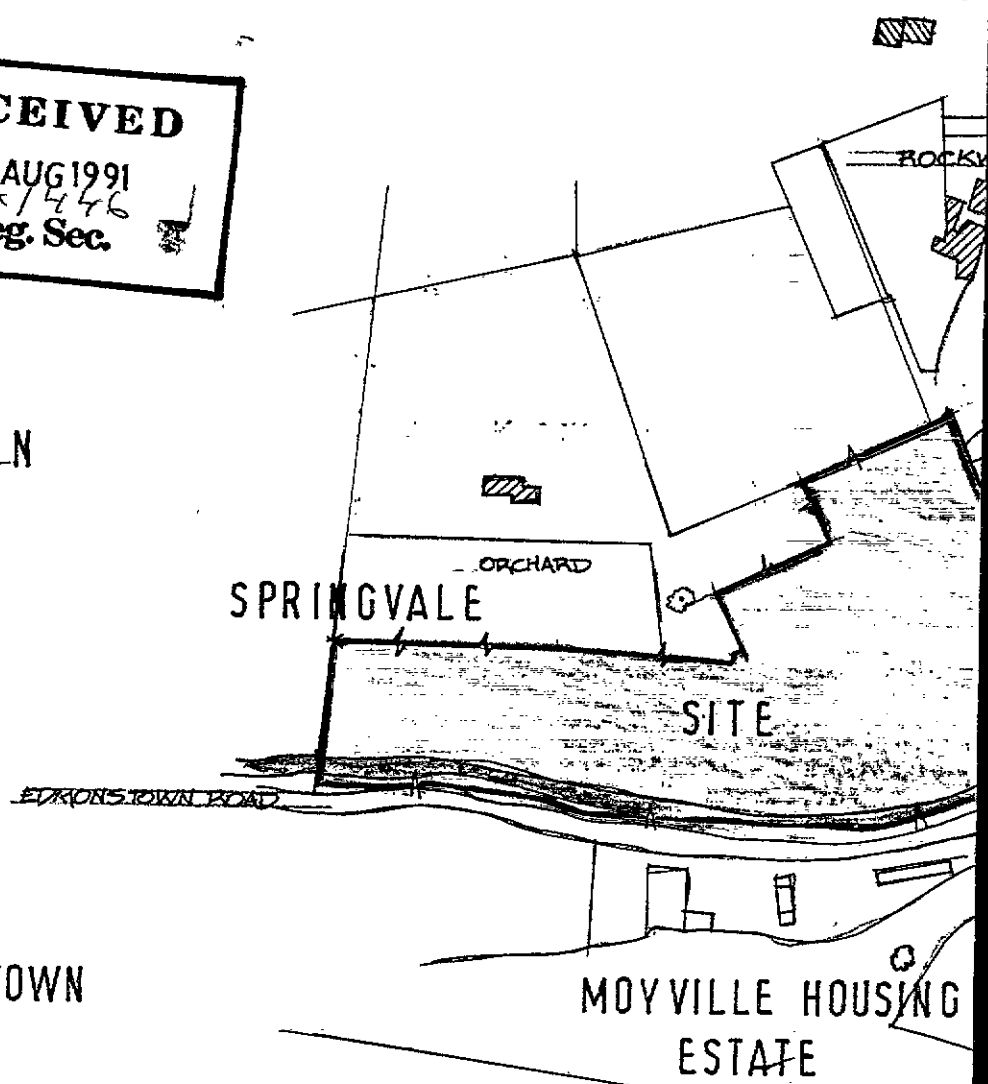
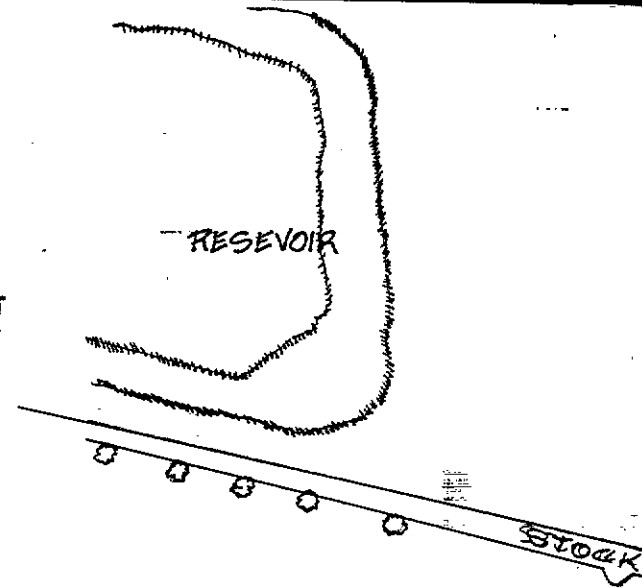
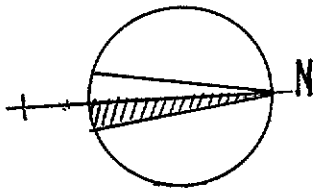

CAREW ASSOCIATES.

PROPOSED HOUSING DEVELOPMENT
AT SPRINGVALE BALLYBODEN

SITE LOCATION MAP

SCALE 1:2500 DATE 28/6/91

RECEIVED
08 AUG 1991
91A/446
Reg. Sec.



EDMONSTOWN

MOYVILLE HOUSING
ESTATE

TRIG CRANE

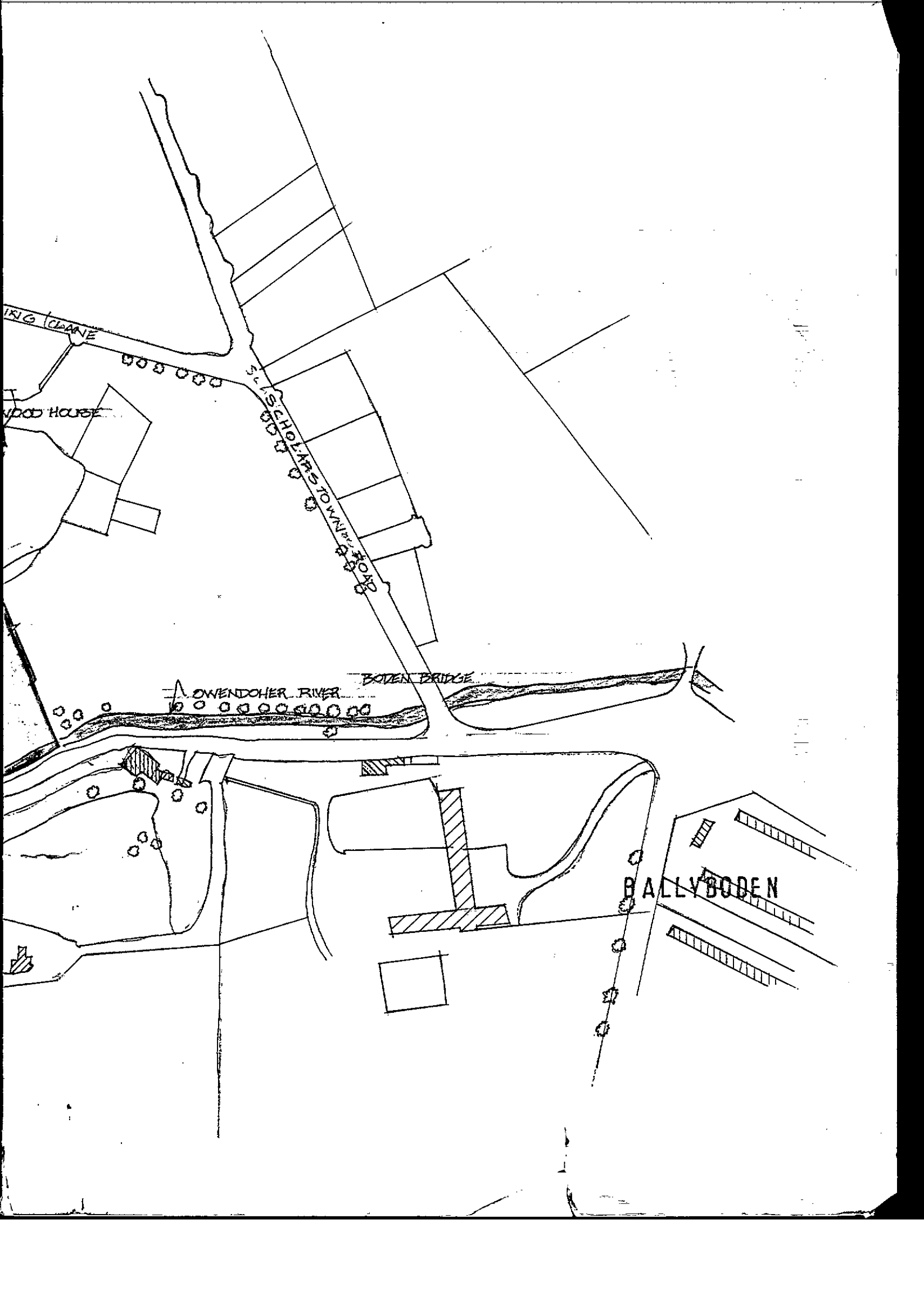
WOOD HOUSE

S. L. SCHOLARS TOWN

OWENDOHER RIVER

BODEN BRIDGE

BALLYBODEN





AUVEEN BYRNE & ASSOCIATES,

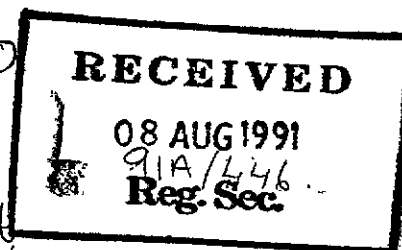
Consultant Town Planners,

Lioscarran House, 32 Dale Road,
Kilmacud, Stillorgan, Co. Dublin.

Telephone: (01) 831611,
Facsimile: (01) 889747.

The Principal Officer,
Planning Department,
Dublin County Council,
Block II,
Irish Life Centre,
Lower Abbey Street,
Dublin 1

4. 45.0
A.I.
91A/0446



7 August 1991

ADDITIONAL INFORMATION

RE: DUBLIN COUNTY COUNCIL REFERENCE NUMBER 91A/0446
APPLICATION FOR PERMISSION FOR 41 HOUSES AND RELOCATION OF
ENTRANCE TO EXISTING HOUSE ON SITE AT SPRINGVALE, BALLYBODEN
CO. DUBLIN.

Dear Sir,

I refer to the above application and in particular to your request for additional information dated 22.05.1991. I wish to respond on behalf of my clients, the applicants Dunboden Estates Limited.

The following drawings are enclosed;

- Revised site location map.
- Gerald Cantan & Associates, Architects, Drawing No. 579/41a.
- Revised site plan.
- The following drawings of Carew & Associates, Consultant Engineers;
 - 91/047/101 Roads and Drainage: Sheet 1 (Revised July 1991)
 - 102 Roads and Drainage: Sheet 2 (Revised July 1991)
 - 103 Roads and Drainage: Sheet 3 (Revised July 1991)
 - 104 Drainage: Sheet 4
 - 105 Bridgeworks: Sheet 1
 - 106 General Arrangement Bridgeworks (Revised July 1991)
 - 107 Sections AA, BB, CC.
 - 108 Longitudinal Sections along riverbed.
 - 109 Section DD.
- Cover letter of Carew & Associates, Consultant Engineers.

The points raised in your letter are dealt with as follows, the paragraphs numbers corresponding to yours;

RE: Item 1:

The revised site layout in Gerald Cantan & Associates drawing 579/41a shows provision of 41 semi-detached houses as opposed to the terraced ones shown on the lodged drawings.

The revised house type shown in this site layout now corresponds with the house plans lodged with the application originally, and no discrepancy in this regard now exists.

RE: Item 2:

Gerald Cantan & Associates revised site location map shows the site boundary at the northern end of the site adjusted to match that shown on the revised site layout drawing.

I wish to confirm that the small projection of the site boundary in the north eastern corner of the site included in the original site location map, but not in the original site layout map, is not in the applicant's ownership and is not now shown as part of the development.

RE: Item 3:

This is dealt with under a similar heading in Carew & Associates letter of 2/8/1991 attached.

RE: Item 4:

See Carew & Associates letter of 2/8/1991. No retaining wall is proposed behind houses 1 to 21 as same is unnecessary as the Consulting Engineer's letter demonstrates.

RE: Item 5:

See Carew & Associate's letter.

RE: Item 6:

I attach copy of a letter from Ballymore Homes Limited, owners of the adjoining site to the south of the subject site. The letter confirms that the culverted stream currently running along the southern boundary of Springvale will be diverted into the Ballymore Homes Limited site when Dunboden Estates Limited are ready to commence development. The letter confirms that the said works will be carried out whether or not Ballymore Homes Limited carry out development of their site.

This diversion of the stream in question enables my client to retain house number 1 in it's currently proposed position.

RE: Item 7:

See Carew & Associates letter of 2/8/1991.

RE: Item 8:

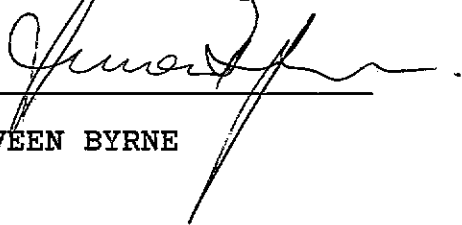
Discussions are currently underway between Dunboden Estates Limited and Dublin Corporation in relation to routing of the water main and scour water main through my client's site. However, per reference numbers 88a/14 (OP) and 89a/367 (Approval) Dunboden Estates Limited have permission to develop for housing that portion of the site currently proposed to take the revised housing layout. Dublin Corporation's proposals for provision of water mains to serve the general area should not affect any decision on this application.

RE: Item 9:

See Carew & Associates letter of 2/8/1991.

I trust the above constitutes a full and satisfactory reply to your request for additional information and look forward to an early decision in the matter.

Yours faithfully,

A handwritten signature in dark ink, appearing to read 'Auveen Byrne', is written over a horizontal line. The signature is fluid and cursive.

AUVEEN BYRNE

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0446

Date : 12th August 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Revised development of 44 houses on 5.6 acre site of previously approved developments (O.P.ref.no. 88A/0014, appro.ref no.89A/0367) and relocation of entrance to existing house on adjoining site

LOCATION : "Springvale" Edmondstown Rd. Ballyboden

APPLICANT : Dunboden Estates Ltd.

APP. TYPE : Additional Information

With reference to the above, I acknowledge receipt of your application received on 8th August 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

Auveen Byrne & Assoc.,
Lioscarran House
32 Dale Rd.
Kilmacud
Co.Dublin

Auveen Byrne & Associates,
Lioscarran House,
32, Dale Road,
Kilmacud,
Stillorgan, Co. Dublin.

Reg. Ref. 91A-0446

22 May 1991

Re: Proposed revised development of 41 houses on 5.6 acre site of previously approved developments (O. P. Ref. No. 88A-0014, appro. Ref. No. 89A-0367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden for Dunboden Estates Ltd.

Dear Sir/Madam,

With reference to your planning application, received here on 26th March, 1991, in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts, 1963-1983, the following additional information must be submitted in quadruplicate:-

1. The applicant is requested to indicate if he is willing to modify the proposed layout drawing to show the provision of semi-detached houses as per lodged house plans instead of terraced housing, and if so to submit a revised site layout showing this change.

It should be noted that there is a discrepancy between the size of the proposed houses as shown on the floor plans and the size of the houses as shown on the site layout. This discrepancy should be rectified and the applicant should demonstrate that Development Plan Standard with regard to space around dwellings can be met.

2. The applicant is requested to clarify the site boundaries. It is noted that the site as shown on the site location map differs from that shown on the site plan. In particular the applicant is requested to clarify its interest in that portion of the site (i.e. the north east corner of the site) shown as part of the site on the site location map and excluded from the site on the site plan.

(Continued)

(Continued)

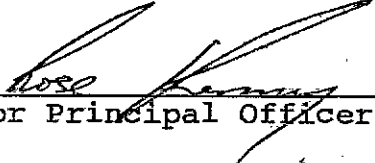
3. The applicant is requested to submit a letter from a chartered structural engineer certifying the stability of the bank to the rear of houses nos. 1-23.
4. The applicant is requested to submit structural details (including scaled drawings) of the proposed bridge, river training wall, proposed new boundary wall and any proposed retaining walls behind houses nos. 1-23, together with a letter of certification for the structural design of these structures from a Chartered Engineer.
5. The applicant is requested to submit a longitudinal section of the existing bed level of the river upstream and downstream of the proposed development.
6. The applicant is requested to show the provision of a 5 metre distance between the culverted stream on the south boundary of the site and the nearest house.
7. The application is requested to confirm that the finished floor levels of houses nos. 1-23 to be at least 0.3 m above the highest recorded flood levels of the stream. The applicant is also requested to submit a letter of certification from a Chartered Engineer demonstrating the stability of the proposed house closest to the stream.
8. Dublin Corporation have scheduled improvement works to the watermain infrastructure in the area. These works include the laying of a 1,000 mm. diameter watermain from Ballyboden Reservoir to Stillorgan Reservoir and the laying of a 600 mm. diameter scour watermain from Ballyboden Reservoir to the Owendoher River. Both of these mains are scheduled to traverse this site.

The Applicant is requested to submit information indicating how these works can be accommodated within the proposed housing layout. The applicant should note that both mains will require ready access and carry with them a sterilized wayleave of 20 metres total width each. The applicant is advised to consult with the Sanitary Services Department Water Division prior to submitting this information.

9. The applicant is requested to submit an acceptable detail for the sewer crossing of the Owendoher River.

Please mark your reply "ADDITIONAL INFORMATION" and quote the Reg. Ref. No. given above.

Yours faithfully,


for Principal Officer.

Auveen Byrne & Associates,
Consultant Town Planner,
Lioscarran House,
32 Dale Road,
Kilmacud, Stillorgan,
Co. Dublin.

91A/0446

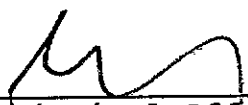
16 April 1991

RE: Application for permission for revised housing development on 5.6 acre site of previously approved development (O.P. Ref. No. 88A/0014, Approval Ref. No. 89A/0367) and relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Road, Ballyboden.

Dear Madam,

I refer to your letter of 11th April, 1991, in connection with Planning Application Register Reference Number 91A/0446, and wish to inform you that it is noted that the documentation submitted ^{with letter} of 5th April, 1991, has been withdrawn. No further consideration will be given to this documentation.

Yours faithfully,



for Principal Officer.

TELEFAX TO DUBLIN C.C.U.

COMPANY: _____

FAX NO: 724896 PAGE: 1 OF: 1

FROM: AUVEEN BYRNE DATE: 10/4/91

COM: _____

Post-It Notes from 3M Ref No: 7688

BYRNE & ASSOCIATES,

Consultant Town Planners,

Lioscarran House, 32 Dale Road,
Kilmacud, Stillorgan, Co.Dublin.

Telephone: (01) 831611,
Facsimile: (01) 889747.



The Principal Officer,
Planning Department,
Dublin County Council,
Block II,
Irish Life Centre,
Lower Abbey Street,
Dublin 1

11 April 1991

Re: Dublin County Council Ref. No. 91A/0446
Application for permission for revised housing development
on 5.6 acre site of previously approved development (O.P.
Ref. No. 88A/0014, Appro. Ref. No. 89A/0367) and relocation
of entrance to existing house on adjoining site at
Springvale, Edmondstown Road, Ballyboden.

Dear Sir,

I refer to correspondence of 05.04.91 lodged by this office with
your Department and enclosing corrected drawings in relation to
the above.

Following discussions with your good selves, I now wish to
withdraw the said submission. I await your communication.

Yours faithfully,

AUVEEN BYRNE

RECEIVED
09 APR 1991
RE: 91A/0446



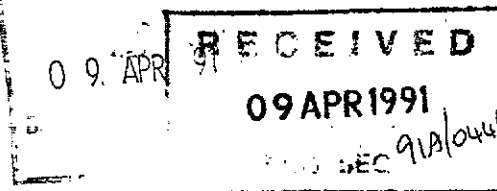
AUVEEN BYRNE & ASSOCIATES,

Consultant Town Planners,

Lioscarran House, 32 Dale Road,
Kilmacud, Stillorgan, Co. Dublin.

Telephone: (01) 2831611,
Facsimile: (01) 889747.

The Principal Officer,
Planning Department,
Dublin County Council,
Block II,
Irish Life Centre,
Lower Abbey Street,
Dublin 1



5 April 1991

Re: Dublin County Council Ref. No. 91a/0446
Application for permission for revised housing development
on 5.6 acre site of previously approved developments (O.P.
Ref. No. 88a/0014, Appro. Ref. No. 89A/0367) and relocation
of entrance to existing house on adjoining site at
Springvale, Ballyboden for Dunboden Estates Ltd.

Dear Sir,

I refer to the above planning application lodged with you on
26.03.91.

Unfortunately, the wrong site layout map was inadvertently lodged
with the application. I enclose 4 copies of the correct drawing
- Gerald Cantan & Associates, Architects, Drawing No. 579/41.

The layout shows 41 semi-detached dwellings proposed, not 44
terraced and semi-detached as shown in the previously lodged
drawing. I enclose a revised newspaper notice displaying this
change. As far as the cover letter from this office lodged with
the application is concerned, only 3 small points require
changing;

In paragraph 2.1, the final sentence should read

"It is proposed to build 41 units comprising 32 x 89 sq
metre 3-bed units and 9 x 101 sq metre 4-bed units."

At Paragraph 2.3, the density of development is 7.3 units
per acre not 7.8 as previously stated.

CO. DUBLIN — Full permission
is sought from Dublin County
Council for revised development
of 41 houses on 5.6 ac. site of
previously approved develop-
ments (O.P. Ref. No. 88a/14,
appro. Ref. No. 89a/367) and for
relocation of entrance to existing
house on adjoining site at Spring-
vale, Edmondstown Rd., Bally-
boden for Dunboden Estates Ltd.

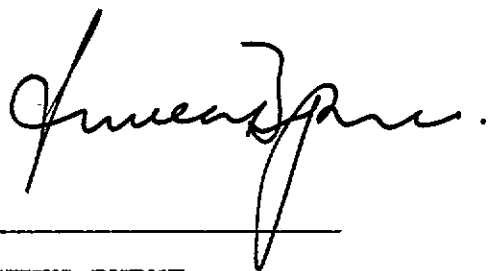
1 13.0 + newspaper ADU
J. Tunes 5/4/91

Otherwise the information contained in the letter remains unchanged despite the error, as does its overall thrust and sense.

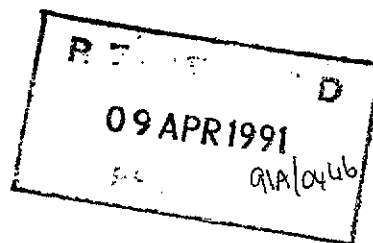
To conform with the corrected site layout, Carew & Associates, Consulting Engineers, Drawing No. 89/006/01 - Roads And Drainage General Arrangement Sheet 1, required a small adjustment. The rear gardens of Units 22-29 are slightly shorter than shown in the originally lodged drawing. Their length still complies with the County Council's minimum standard of 10.7 metres. Note that the rest of Carew & Associates drawing and all of their remaining documentation remain unaffected by this change.

I apologise for any inconvenience the lodgement of this revised information may cause.

Yours faithfully,



AUVEEN BYRNE



Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0446

Date : 27th March 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Revised development of 44 houses on 5.6 acre site of previously approved developments (O.P.ref.no. 88A/0014, appro.ref no.89A/0367) and relocation of entrance to existing house on adjoining site

LOCATION : "Springvale" Edmondstown Rd. Ballyboden

APPLICANT : Dunboden Estates Ltd.

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received on 26th March 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

Auveen Byrne & Assoc.,
Lioscarran House
32 Dale Rd.
Kilmacud
Co.Dublin



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building "Springvale", Edmondstown Road, Ballyboden, Co. Dublin
(If none, give description sufficient to identify)

3. Name of applicant (Principal not Agent) Dunboden Estates Ltd
Address Tel. No. 2420

4. Name and address of person or firm responsible for preparation of drawings Gerald Cantan Architect
..... Tel. No. N 34657

5. Name and address to which notifications should be sent Auveen Byrne & Assocs., Cons. Town Planners, Lioscarran House
32 Dale Road, Kilmacud, Stillorgan, Co. Dublin.

6. Brief description of proposed development 44 Houses

7. Method of drainage Public Mains 8. Source of Water Supply Public Mains

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used. N/A
(b) Proposed use of each floor Residential
J. Tines 22/8/91

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No

11.(a) Area of Site 5.6 acres 1408 26/3 Sq. m.

(b) Floor area of proposed development N 34361 Sq. m.

(c) Floor area of buildings proposed to be retained within site Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) Freehold Owner

13.Are you now applying also for an approval under the Building Bye Laws?
Yes No Place / in appropriate box.

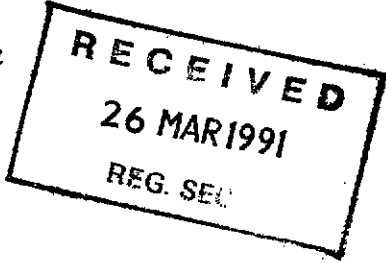
14. CO. DUBLIN — Full permission is sought from Dublin County Council for revised development of 44 houses on 5.6 ac. site of previously approved developments (O.P. ref. No. 88a/14, appro. ref. No. 89a/367) and for relocation of entrance to existing house on adjoining site at Springvale, Edmondstown Rd., Ballyboden for Dunboden Estates Ltd.
15. Building Regulations have been taken in account in your proposal:
See Schedule attached

16.Gross floor space of proposed development (See back) Sq. m.

No of dwellings proposed (if any) 44 Class(es) of Development 1
Fee Payable £. 3828.00 Basis of Calculation £32.00/house re planning application and £55/house re Bye-Law application.
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) [Signature] Date 26.03.91

Application Type P/BOL
Register Reference 9/A 0446 FOR OFFICE USE ONLY
Amount Received £. 2.48.20.4
Receipt No.
Date



COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET
DUBLIN 1.

Issue of this receipt is not an acknowledgement that the fee tendered is the prescribed application fee. N 34361

PAID BY
CASH
CHEQUE
M.O.
B.L.
H.

£ 1408.00

Received this 26th day of March 1991

from Dunbrody Estates Ltd.

the sum of one thousand four hundred eight Pounds

Pence, being 100 pence

planning application at "Springvale"
Edininstown Rd.
Noelce Lane

Cashier

S. CAREY
Principal Officer

(1088) 1111

COMHAIRLE CHONTAE ATHA CLIATH

RECEIPT CODE

PAID BY

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET BYE LAW APPLICATION.
DUBLIN 1.

REC. No. N 34657

£ 2030.00

Received this 21st day of April 1971

from Diabla, C. to D.

The sum of Ten thousand three hundred and thirty Pounds

Pence, being

bye law application at "Springvale"
Edmondstown Rd.

Abela Cashier

S. CAREY
Principal Officer



AUVEEN BYRNE & ASSOCIATES,

Consultant Town Planners,

Lioscarran House, 32 Dale Road,
Kilmacud, Stillorgan, Co. Dublin.

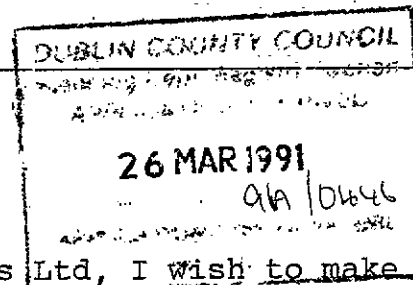
Telephone: (01) 831611,

Facsimile: (01) 889747.

The Principal Officer,
Planning Department,
Dublin County Council,
Block II,
Irish Life Centre,
Lower Abbey Street,
Dublin 1

25 March 1991

Re: Application for full permission for revised development of 44 houses and relocation of entrance to existing house adjoining to the west at Springvale, Edmondstown Road, Ballyboden.



Dear Sir,

On behalf of my client, Dunboden Estates Ltd, I wish to make an application for planning permission as set out above.

I enclose;

- Planning Application Form.
- Newspaper Notice.
- 4 x Copies Drawings as set out in the attached schedule.
- Planning Application Fee.

In support of the application, some background information and comment would be helpful.

1.0 PLANNING HISTORY OF THE SITE.

- 1.1 The 5.6 acre site at Springvale, Ballyboden is zoned agricultural under the current County Development Plan 1983.
- 1.2 Per Ref. No 88A/14, outline permission was achieved in respect of an application for 32 houses on the site. Material contravention procedures were adopted to enable Dublin County Council to decide to grant permission. The County Council's decision was confirmed by An Bord Pleanala following a Third Party appeal on 30.11.88. This outline permission is valid until November 1983.
- 1.3 On the 18.01.90, An Bord Pleanala, again pursuant to a Third Party appeal of a favourable decision of Dublin County Council, issued a grant of approval based on this outline permission. This was Dublin County Council Ref. No. 89A/367.

Permission was sought for 32 houses. The Bord's decision required the elimination of house No. 1 on grounds that it interfered with access to a culverted surface water stream on the southern boundary of the site. Thus permission was confirmed for a residential density of 5.5 houses per acre.

- 1.4 A high quality layout was approved. 42% of the site area was dedicated to public open space, well in excess of the County Council's requirement of 20%. The open space was designed to focus on a stream which runs along the eastern boundary of the site. Houses were designed to face the public open space where possible. There are many mature trees on the site and as many as possible of these were proposed to be retained in the layout. A landscaping scheme was proposed to augment existing planting.

Access to the proposed development was via a new bridge over the stream. The existing front boundary wall was to be set back. This was to provide adequate sight lines for cars accessing the site. However it would also effect a necessary improvement in a bad bend on the Edmondstown Road. The Planning Authority have no plans to carry out any improvements on this stretch of the Edmondstown Road and are thus dependent on the proposed development to effect the improvement.

26 MAR 1991

91A/0446

2.0 THE PROPOSED DEVELOPMENT.

- 2.1 The average floor area of the houses approved per 89A/367 was 133 sq metres including a garage. DUNBODEN Estates Ltd feel that the market has changed since this permission was granted over a year ago. They now wish to provide a smaller house type on the site. They proposed to build 44 units comprising 34 x 89 sq metres 3 bed units and 10 x 101 sq metre 4 bed units.

- 2.2 The layout is very similar to that previously approved. Precisely the same access design is proposed, and a very similar bridge arrangement across the Owendoher stream. The same road layout is proposed.

Precisely the same area of land is to be reserved as open space. The same trees to be preserved and the same landscaping proposals to be implemented.

All conditions of the approval on Ref. No. 89A/367 are met in the proposed scheme.

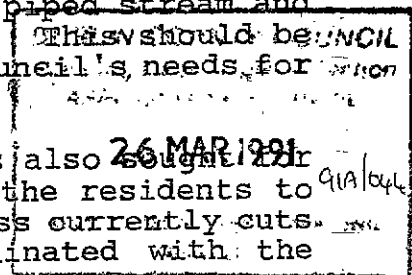
- 2.3 The increase in density proposed is justified. The proposed density is 7.8 houses per acre, still well below the County Council's maximum permissible 10 houses per acre. 42% of site area will still be public open space, over double the normal requirement of the County Council. While the number of houses has increased, their size has decreased. The overall floor space to be provided will actually decrease if this revised development is approved.

As the site is serviced and has the benefit of permission for development, it is reasonable to expect that it will be re-zoned residential in the forthcoming review of Dublin County Council's Development Plan. If so the proposed density will appear modest and the level of open space to be provided generous.

Note that since the County Council's decision to grant outline permission on the client's site, a decision to grant permission has issued in respect of 163 houses on a site adjoining my client's to the south and west. This is Dublin County Council Ref. No. 90A/543, confirming the contention that it would be appropriate to consider re-zoning of my clients and adjoining lands.

- 2.4 On this occasion, the problem of the proximity of a proposed dwelling to the culverted stream on the southern boundary of the site has been solved. The southwesternmost point of the nearest dwelling is 4 metres from the piped stream and the southeasternmost end 5 metres from it. This should be of sufficient setback to meet the County Council's needs for access.

- 2.5 As on the previous occasion, permission is also sought for the relocation of the existing access to the residents to the west of the development site. Its access currently cuts through the site and needs to be coordinated with the proposed development.



3.0 SEWERAGE FACILITIES.

3.1 The upgrading of a particular substandard length of the sewer in the Ballyboden Road will be required to facilitate the proposed development. In the course of consideration of Ref. No. 89A/367 by both Dublin County Council and An Bord Pleanala, considerable attention focused on the appropriate level of contribution to be charged in respect of this facility. It is noted that the Bord in its wisdom imposed Condition 12 in respect of Ref. No. 89A/367 which states

"The developer shall pay a financial contribution to Dublin County Council towards the cost of upgrading the existing foul sewer in the Ballyboden Road which will facilitate the proposed development. The amount of the contribution and the time and method of payment shall be agreed with the County Council or in default of such agreement shall be determined by An Bord Pleanala. This contribution shall be levied on this development on a proportionate basis (per house), relative to approved new development in the catchment area which would utilise the increased system capacity and allowing for the degree to which the sewer may already be overloaded."

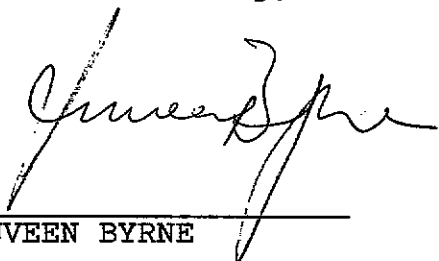
I trust the Planning Authority will reflect the principles of this condition should a decision to grant in the instant case be contemplated.

4.0 CONCLUSION.

- 4.1 The proposed development is for a higher number of houses but a lesser floor area than that of a development already approved on the site.
- 4.2 The density of the proposed development is still well below the County Council's permitted maximum and the amount of open space well above same.
- 4.3 The development in all other respects is similar to that approved and accords with the conditions of the Bord's approval decision.

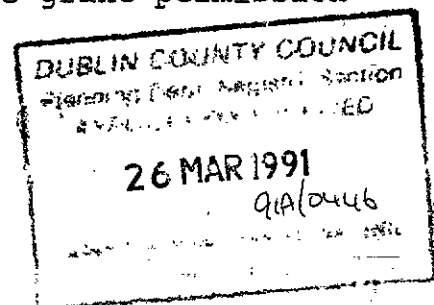
On the above bases, I trust that a decision to grant permission can issue in respect of the enclosed.

Yours faithfully,



Auveen Byrne

AUVEEN BYRNE



Application for full permission for revised development of 44 houses and relocation of entrance to existing house adjoining to the west at Springvale, Edmondstown Road, Ballyboden.

DRAWINGS SCHEDULE

Drawings of Gerald Cantan & Associates, Architects;

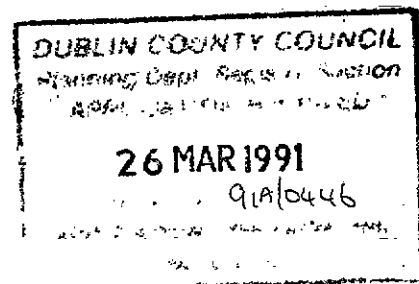
Site Location Map
579/42A Site Layout
579/43 4 Bedroomed House Plans
579/42 3 Bedroomed House Plans
Outline Specifications

Drawings of Carew Associates, Civil Engineers;

89/006-01 Roads & Drainage Sheet 1
89/006-02 " " " 2
89/006-03 " " " 3
89/006-04 " " " 4
SV/891/05 Bridgeworks Sheet 1
89/006-06A General Arrangement Bridgeworks.
Drainage Specification Notes
Concrete Specification Notes
Blockwork Specification Notes
Structural Design Calculation

Drawings of P.C. Roche & Associates, Landscape Architects;

Tree Survey (Southern Tree Surgeons)
E 104/204 Tree Survey Evaluation.
E 104/205 Landscaping Proposals.
Specification for landscaping and planting.

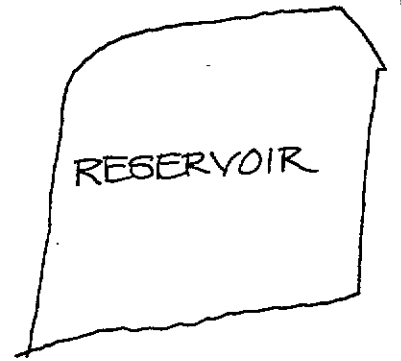


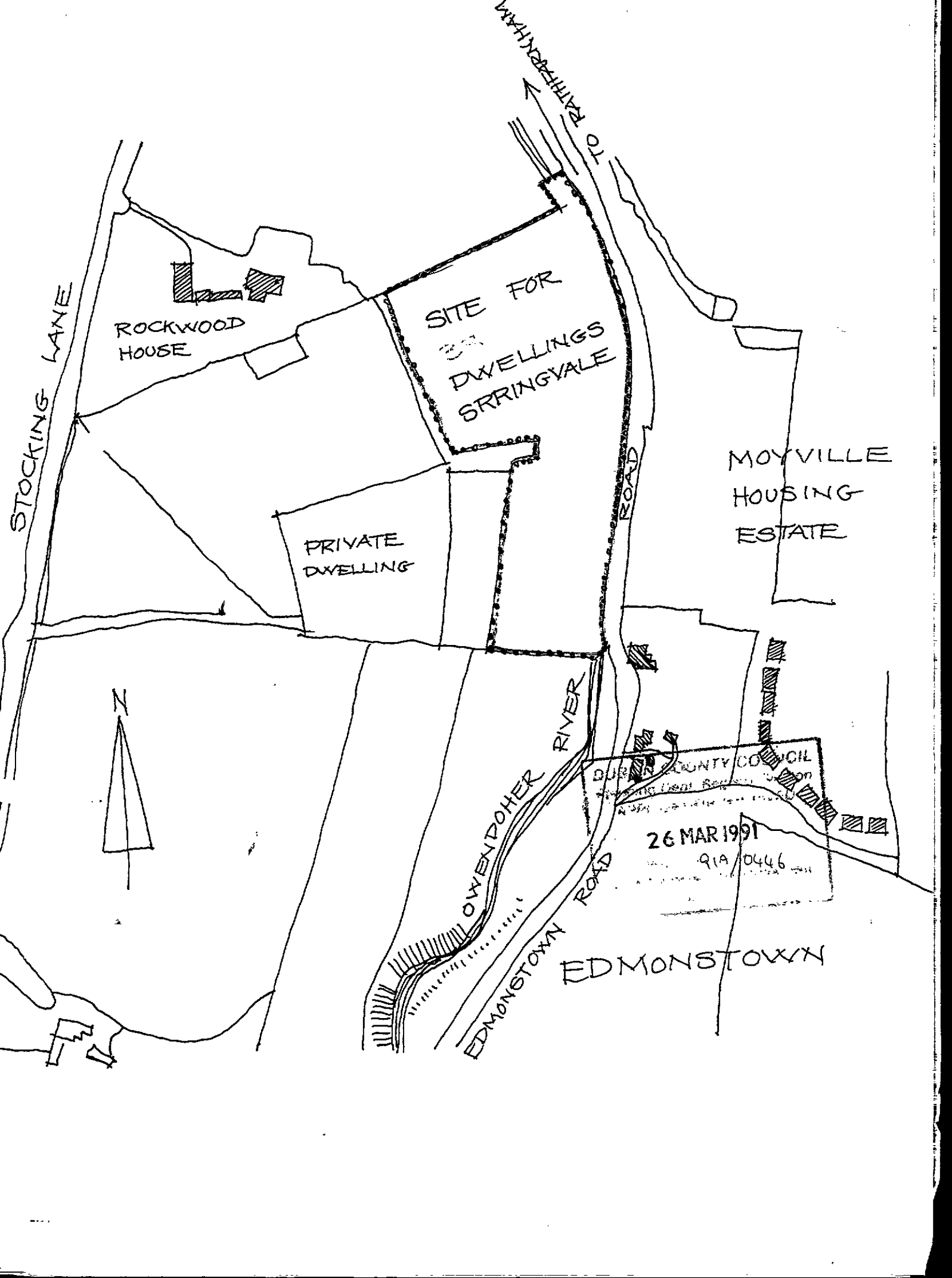
SITE LOCATION MAP FOR
PROPOSED HOUSING DEVELOPMENT
AT SPRINGVALE, BALLYBODEN
FOR THE DUNBODEN DEVELOPMENT
CO.

EXTRACT FROM O.S. DUBLIN

SHEETS 22/14

SCALE 1-2500





STOCKING LANE

ROCKWOOD HOUSE

SITE FOR
3 DWELLINGS
SRRINGVALE

PRIVATE DWELLING

MOYVILLE HOUSING ESTATE



OWENPOHER RIVER
EDMONTOWN ROAD

DURBAN COUNTY COUNCIL
26 MAR 1991
91A/0446

EDMONTOWN

TO FATHERS DAM

OUTLINE SPECIFICATION

OF

MATERIALS AND LABOUR TO BE USED IN THE
CONSTRUCTION OF DWELLINGS

AT

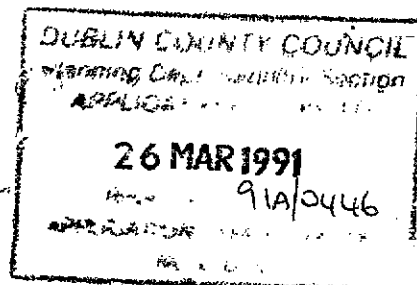
SPRINGVALE, BALLYBODEN, CO.DUBLIN

Architects:

Gerald Cantan Dip.Arch. M.R.I.A.I.,
Owenstown House,
Fosters Avenue,
Blackrock,
Co.Dublin

Structural Engineer:

Carew Associates,
22 Crofton Road,
Dun Laoghaire,
Co.Dublin



THE WORKS IN GENERAL

The works in general are to consist of the construction of 3 and 4 bedroomed two storey houses at Springvale, Ballyboden. roads, drains and other site development works will be constructed in accordance with detailed specification of Carew Associates, Consultant Engineers.

FOUNDATIONS

Foundations shall be constructed in concrete reinforced as directed by structural engineer. foundations are to extend on either side of the wall they support for a width equal to the width of the wall. Foundations are to be a minimum of 300mm deep. Foundations are to be placed at formation levels approved by structural engineer and Building Control Department of Dublin County Council before placing of concrete. Foundations are to be formed level with maximum steps of 225mm unless specifically directed by engineer. Any excess excavation is to be backfilled with lean mix concrete. Foundations shall be placed below all drains and adjacent underground services.

RISING WALLS

Rising walls shall be constructed in solid concrete blockwork using sand cement mortar only. Rising walls shall be fully bonded within themselves and to each other. All cavities below the ground shall be filled with concrete to within 250mm of ground level where they shall be drained to ground by leaving perpend open. Rising walls shall be bridged over all drains and other underground services using precast concrete lintels.

GROUND FLOOR

Ground floor shall be formed with a 150mm (30N) concrete slab laid on a damp proof membrane of Visqueen 1000 on a 50mm sand blinding on compacted graded hardcore. Hardcore to be graded 50mm-100mm and compacted in 250mm layers. Ground floor to be finished with 50mm sand cement screed.

GROUND FLOOR CONTD/...

Visqueen damp-proof membrane to be turned up at edge of slab and turned over rising walls to unite with horizontal d.p.c. A 1 metre deep strip of 50mm board insulation shall be placed on the internal surface of the external rising wall before back filling.

EXTERNAL WALLS

External wall to front elevation shall be formed with a 100mm clay brick outer leaf, a 50mm cavity and a 100mm solid concrete block inner leaf. Leaves of masonry to be tied together with stainless steel bar ties at 900mm centres horizontally and 450mm centres vertically. Cavity is to be sealed at top and around external opes.

Damp proof courses are to be laid under cills, over lintels stepped outwards and vertically where cavities are closed. A horizontal damp proof course is to be laid over rising walls.

External walls to side and rear are to be 215mm hollow concrete blockwork fully bonded within itself and to internal walls. These walls are to be mudded, rendered and floated with 3:1 sand cement plaster to a nap finish. Plaster to contain a proprietary water proofing agent.

All internal surface of external walls are to be laid with insulation and dry lining fixed to treated timber grounds. A vapour barrier is to be placed over the inside surface of the insulation fixed to grounds.

PARTY WALL

Party wall is to be constructed in 215mm solid concrete blockwork from damp proof course over rising walls to underside of roof finish. Form to profile of roof finish and pack max 18mm gap over wall with fibreglass quilt.

INTERNAL WALL

Internal cross wall is to be constructed in 100mm solid concrete blockwork on d.p.c. on rising wall.

PERMANENT VENTILATION OPENS

From permanent ventilation openings as indicated and fit with galvanised steel grill to exterior and p.v.c. screen to interior seal cavity around ope.

CILLS

Cills to front of dwelling are to be proprietary clay brick specials bedded in mortar and laid on d.p.c. turned up at back and sides. Cills to side and rear are to be proprietary precast concrete cills laid on d.p.c. turned up to back and sides.

LINTELS

Lintels to concrete blockwork are to be proprietary precast concrete lintels. Lintels to have a min of 225mm solid concrete blockwork above and a min bearing of 150mm at each end. Prop lintels in centre of span until blockwork is set. Lintels to brickwork to be proprietary steel lintels catnic or similar to engineer's specification.

FIRST FLOOR STRUCTURE

The first floor structure is to consist of 200 x 50mm white deal joists at 400mm centres bearing on external and internal walls. ends of joists are to be treated. Fit row of herringbone bridging to centre of span. trim out for stairs with 200 x 75 trimmers.

Deck first floor with ex 25 x 150 T & G boarding tightly cramped and nailed to each joist.

ROOF STRUCTURE

Roof structure is to be formed with proprietary turned timber rafters fabricated and fitted in accordance with Irish Standard. A design certificate to be submitted to the structural engineer for approval before the trusses are fabricated and fitted. Trusses are to have horizontal and diagonal bracing in accordance with Irish Standard. Trusses are to be trimmed out for lightwells in accordance with engineer's instruction. Bearing timbers for water tanks are to be fitted to distribute weight over at least 5 trusses.

Projecting roof to front is to be formed with cut timbers bearing on trussed rafters. Carry out rafters and extensions of ceiling ties to carry bay window members. Fit lay board over trusses and nail cut rafters to lay board. All to detail.

BAY WINDOW STRUCTURE

Lintel cast over bay window to engineer's design and detail. Carry out first floor joists and form stud frame to front face and sides of bay. Fix stud frame to structural walls.

ROOFING

the roof is to be covered with proprietary concrete tiles on treated timber battens on a layer of sarking felt. Sarking felt to be turned over ridge, out at eaves and barges. Form verge to barge with slate undercloak and pointing.

Form lead valley gutter to either side of bays. Form flashings and bay to chimney.

ROOFING CONTD/...

Fit flashing sets to rooflights and around P.V.C. soil vent pipes.

Supply and fit p.v.c. raingear to eaves with downpipes taken down to discharge over gulley traps. Fabricate roof over entrance and tile with small concrete plain tiles. tile hang front of bay at first floor level with heart shaped concrete tiles nailed to battens over a layer of sarking felt. fit lead flashing from under first floor windows to form apron over vertical tiles.

EXTERNAL FINISHES

Brick finishes to front of dwelling, from plaster plinth at base. Side and rear of dwelling plastered with sand cement painted with masonry paint to selected colours.

INTERNAL FINISHES

Dry line all internal surfaces of external walls and partitions with 9.5mm plasterboard. Tape and fill joints. Line ground floor ceilings with 9.5mm plasterboard, tape and fill joints and apply stipple finish. First floor ceiling to be sheeted with foil backed 12mm plasterboard, fill and tape joints and stipple.

WINDOWS

Fabricate and fit double glazed p.v.c. framed windows. Fix securely in opes. Seal between window frame and masonry with 2 part polysulphide.

ROOFLIGHTS

Supply and fit proprietary (Velux) rooflights over bathroom. Fix night ventilator to each rooflight to provide permanent ventilation to each bathroom (as w.c. compartment). Supply and fit cord sets to make rooflights openable.

DOORS

Fabricate and fit hardwood framed front door with glazed light as indicated. Fabricate and for p.v.c. framed patio door and incorporate into glazed conservatory.

Internal doors to be proprietary panelled doors fabricated from partition board. Fit doors into softwood frames. Fit with ironmongery.

Fabricate and fit 600 x 600 trap door to roof void.

WARDROBES

Fabricate and fit wardrobe fronts to bedroom as indicated.

KITCHEN FITTINGS

Fabricate, supply and fit kitchen fittings.

SUNDRY JOINERY

Supply and fit skirtings, Architraves, window-boards etc.,

WATER SUPPLY AND DISTRIBUTION

A 12mm diameter p.v.c. water main is to be taken from a tapping of the common water main. Main is to be a minimum of 400mm below the ground. Take water main into dwelling and bring to kitchen sink location. Control with gate valve and bring supply to cold water tap to sink. 12mm diameter mains supply to rise to 60 gallon actual cold water cistern in roof void. Rising main to be controlled by gate valve and by ballvalve at tank. Cold water cistern to have 25mm diameter overflow to discharge at rear eaves. Fit cistern with plywood cover and fully insulate. Each house is to have a 30 gallon copper hot water cylinder located in hot press. Cylinder to be fabricated in accordance with Irish Standard. Fit 18mm diameter expansions pipe taken to over cold water cistern.

WATER SUPPLY AND DISTRIBUTION

Take 18mm copper supplies off cold water tank and take to bathroom and hot water cylinder.

Take 18mm diameter hot supply from expansion pipe and bring to bathroom and kitchen. 12mm brand supplies to ground floor toilet.

SANITARY WARE

Supply and fit vitreous china w.c., wash sown suites with external overflow to each. Supply and fit acrylic baths and non-slip shower tray. Plumb in and connect to wastes. Supply and fit vitreous china lavatory and wash hand basins as indicated complete with chromed wastes, traps and taps.

DRAINAGE

general drainage to site to design and detail of Carew Associates. Ground floor W.C.'s are to discharge into A.J. or drain. first floor toilets are to discharge into soil vent stacks either externally or internally at first floor level. Internal soil vent pipes are to be carried up through roof void and out to terminate 900mm along the rooflights.

Wastes are to be trapped at fitting and taken out to discharge over gulley in the core of ground floor fittings or into soil vent stacks in the case of first floor fittings. All soil pipes taken internally are to be insulated against sound transmission.

Drains around dwelling are to be laid as indicated on beams. All drains are to be cased in concrete.

SOLID FUEL BURNER AND CHIMNEY

Solid fuel burner is to be a class 1 appliance of approved manufacture to burn smokeless fuel only.

Gathering of flue is to be formed with a proprietary precast lintel. Flue is to be lined with interlocking fireclay liners surrounded by a minimum of 50mm sand/lime parging. A lead damp proof tray is to be incorporated into the chimney at roof level. Chimney is to be capped in corbelled brick, haunched with concrete on a damp proof course.

PAINTING AND DECORATING

Softwoods externally are to be properly primed and prepared before coating with 2 coats of a water based breather paint to a gloss finish.

Hardwoods externally are to be coated with 3 coats of varnish. Softwoods internally are to be prepared and primed and finished with 2 coats of oil paint to a gloss finish. Walls internally are to be prepared with a selected wallpaper.

INSULATION

Roof void is to be covered with a 100mm fibreglass quilt. Any pipework above the first floor ceiling will be insulated. Pipework below the ground floor slab will be insulated and isolated from concrete.

External walls are to be lined internally with 50mm insulation.

SITE WORKS

Paths and car stands adjacent to dwelling is to be laid in concrete on bedded hardcore.

CAREW ASSOCIATES
CONSULTING ENGINEERS

22 CROFTON ROAD, DUN LAOGHAIRE, CO. DUBLIN.
TELEPHONE: (01) 809827
FAX: (01) 809944

STRUCTURAL DESIGN

CALCULATIONS

FOR

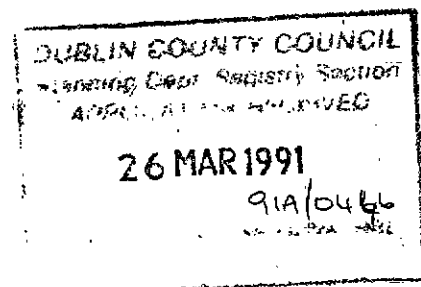
BRIDGE BEAMS AND HOUSING

FOR

HOUSING DEVELOPMENT

AT

SPRINGVALE, BALLYBODEN.

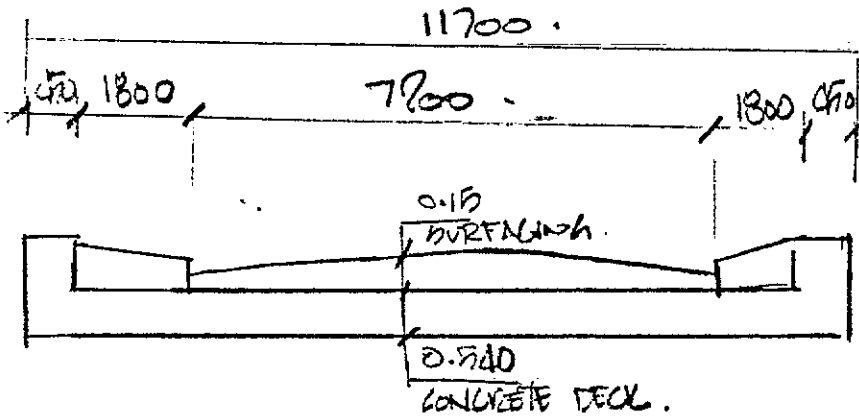


ARCHITECT.
GERALD CANTAN,
OWENSTOWN HOUSE,
FOSTERS AVENUE,
BLACKROCK.

Member Ref:

CALCULATIONS

OUTPUT



SPAN = 7000
LANES.

CARRIAGEWAY WIDTH (S.P.9.1) = 7.2m.

NUMBER OF NOTIONAL LANES = 2.

WIDTH OF EACH LANE = 7.2/2 = 3.6m.

WIND: NOT REQUIRED SPAN < 20.
WIDTH > 10.

TEMPERATURE RANGES:

MINIMUM CHANGE AIR TEMP (FK 7) = -17°C.

MAXIMUM " " " (FK 8) = +32°C.

MINIMUM BRIDGE TEMP (TB 10) = -7°C.

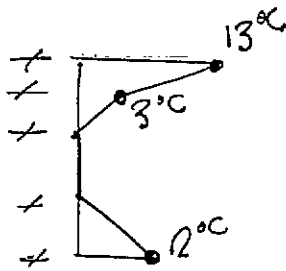
MAXIMUM " " " (TB 11) = 3°C.

CO-EFFICIENT OF EXPANSION = $12 \times 10^{-6} / ^\circ\text{C}$.

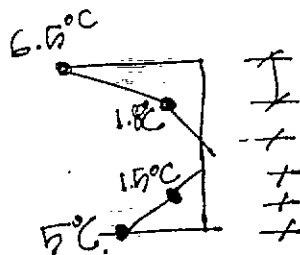
ANTICIPATED BRIDGE TEMP AT SETTING = 15°C.

∴ NOMINAL EXPANSION = $(32 - 15) 12 \times 10^{-6} \times 7 = 1.4 \text{mm}$.

NOMINAL CONTRACTION = $(15 + 7) 12 \times 10^{-6} \times 7 = 1.9 \text{mm}$.



POSITIVE.



NEGATIVE.

Member
Ref:

CALCULATIONS

OUTPUT

THE TEMP DIFFERENCES OBTAINED FROM FIG 9 ARE SHOWN. THE POSITIVE DIFF CAN CO-EXIST WITHIN THE EFFECTIVE BRIDGE TEMP IN THE RANGE 15° TO 32° C. & THE NEGATIVE FROM -7 TO 30° C.

HA.

UDL = 30 kN/m OF NOTIONAL LANE

$$\therefore \text{INTENSITY} = \frac{30}{3.6} = 8.33 \text{ kN/m}^2$$

KNIFE EDGE LOAD = 120 kN / NOTIONAL LANE

$$\therefore \text{INTENSITY} = \frac{120}{3.6} = 33.3 \text{ kN/m}$$

HB.

45 UNITS

LOAD PER AXLE = 450 kN.

FOOTPATH:

$$0.8 \times 5 = 4 \text{ kN/m}^2$$

LONGITUDINAL.

LOADED LENGTH = 7m.

$$\therefore \text{HA BRIDGE LOAD} = 8 \times 7 + 200 = 256 \text{ kN}$$

APPLIED TO ONE NOTIONAL LANE + PRIMARY HA LOAD.

CAREW ASSOCIATES
Consulting Engineers

Contract:
BREINVALE HIGHWAY.

Job No:
89/006

Sheet No:
3.

Part of Structure:
BRIDGE

By:
UC

Date:
APRIL 90.

Member
Ref:

CALCULATIONS

OUTPUT

LOADING:

ULTIMATE LOADS:

~~DESIGN LOADS~~

| LOAD. | γ_s | γ_{FL} | NOMINAL | DESIGNL. |
|-----------|------------|---------------|-------------------------|-------------------------|
| S WT CONC | 1.15 | 1.2 | 12.96 kN/m ² | 17.90 kN/m ² |
| SURFACING | 1.15 | 1.75 | 3.60 kN/m ² | 7.25 kN/m ² |
| HA. (JAL) | 1.10 | 1.50 | 8.33 kN/m ² | 13.75 kN/m ² |
| | | | PLUS | PLUS. |
| HA (KEL) | 1.10 | 1.50 | 38.3 kN/m | 55.00 kN/m |
| H/B | 1.10 | 1.30 | 450 kN/AXLE | 611 kN/AXLE. |
| FOOTPATH | 1.10 | 1.50 | 4.0 kN/m ² | 6.6 kN/m ² |

CAREW ASSOCIATES

Consulting Engineers

Contract:

SPRINGVALE HOLDINGS

Job No:

89/006

Sheet No:

4.

Part of Structure:

BRIDGE

By:

UK

Date:

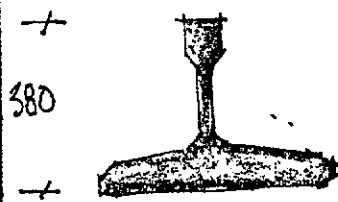
APRIL 90

Member Ref:

CALCULATIONS

OUTPUT

DESIGN CHECK FOR T1 BRIDGE BEAM.



SECTION PROPERTIES:

$$AREA = 9800$$

$$Z_t = 5.18 \times 10^6 \text{ mm}^3$$

$$Z_b = 8.89 \times 10^6 \text{ mm}^3$$

$$SWT = 2.31 \text{ kNm}$$

PERMISSIBLE STRESS:

$$\text{b.wt BEAM} = 2.31 \text{ kNm}$$

$$M = 2.31 \times 7.5^2 / 8 = 16.25 \text{ kNm}$$

$$\text{NETO SWT} = 1.95 \times 5100 - 9800 = 4.06 \text{ kNm}$$

$$M = 4.06 \times 7.5^2 / 8 = 28.57 \text{ kNm}$$

$$\text{SOOTING} = 1.2 \times 3.6 \times 7.5^2 / 8 = 30.38 \text{ kNm}$$

$$\text{HA UDL} = 1.2 \times 8.33 \times \frac{7.5^2}{8} = 70.28 \text{ kNm}$$

$$\text{PER BEAM} = 70.28 \times \frac{1}{2} = 35.14 \text{ kNm}$$

$$\text{HA UDL} = 1.2 \times 33.3 \times \frac{7.5^2}{4} = 75 \text{ kNm}$$

$$\text{PER BEAM} = 75 \times \frac{1}{2} = 37.5 \text{ kNm}$$

CAREW ASSOCIATES

Consulting Engineers

Contract:

SPRINGWATER HOUSE

Job No:

89/006

Sheet No:

5

Part of Structure:

BRIDGE

By:

UC

Date:

APRIL 90

Member Ref:

CALCULATIONS

OUTPUT

STRESSES

INITIAL:

b.WT: $f_t = \frac{M}{Z} = \frac{16.25}{5.18} = 3.14 \text{ N/mm}^2$

$f_b = \frac{M}{Z} = \frac{16.25}{8.89} = -1.83 \text{ N/mm}^2$

EFFECTIVE

WET CONC $f_t = \frac{28.57}{5.18} = 5.5 \text{ N/mm}^2$

$f_b = \frac{28.57}{5.18} = -3.21 \text{ N/mm}^2$

TRANSFER:

COMPOSITE SECTION:

$Z_t = Z_b = \frac{1500 \times 540^2}{6} = 24.3 \times 10^6 \text{ mm}^3$

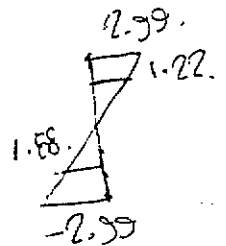
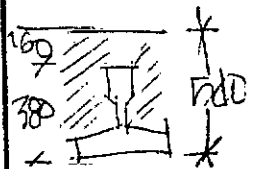
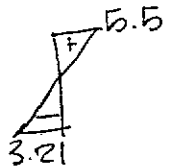
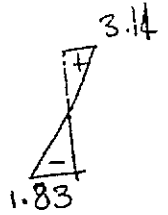
BTREBRES

$f_{ti} = \frac{72.64}{24.3} = 2.99 \text{ N/mm}^2$

$f_{tp} = 2.99 \times \frac{110}{270} = 1.22 \text{ N/mm}^2$

$f_{bp} = 2.99 \times \frac{270}{270} = -2.99 \text{ N/mm}^2$

$f_{bi} = 2.99 \times \frac{170}{270} = -1.88 \text{ N/mm}^2$



CAREW ASSOCIATES

Consulting Engineers

Contract:

KRONQUELLE + SCHMIDT

Job No:

89/006

Sheet No:

6

Part of Structure:

BEAMS

By:

UK

Date:

APRIL 90

Member Ref:

CALCULATIONS

OUTPUT

PERMISSIBLE STRESSES:

FLEXURAL COMPRESSION:

- (1) AT TRANSFER = 0.5 f_{ci}
- (2) AT SERVICE = 0.33 f_{ac}

TENSION

- (1) AT TRANSFER = 1.0 N/mm²
- (2) AT SERVICE = 0

MAX STRESS IN PRESTRESSING TENSION 70%
= 0.7 f_y

FINAL PRESTRESSING STRESS

$$= 1.83 + 3.21 + 2.99 = 8.03 \text{ N/mm}^2$$

ALLOW FOR 25% LOSS OF PRESTRESS

THEN INITIAL PRESTRESSING STRESS

$$= 8.03 \times \frac{100}{70} = 11.47 \text{ N/mm}^2$$

THEN AT TRANSFER THE FOLLOWING APPLIES
ALLOW 15% LOSS OF PRESTRESS ON INITIAL TRANSFER

$$\frac{P}{A} + \frac{Pe}{Z} = f$$

$$\frac{P}{A} - \frac{Pe}{Z} = f$$

$$\text{ie } \frac{P}{98000} + \frac{Pe}{8.89 \times 10^6} = 11.47$$

$$\frac{P}{98000} - \frac{Pe}{18 \times 10^6} = -1.05$$

$$P = 0.672 \times 10^6 \text{ N (672 kN)}$$

$$e = 67.9 \text{ mm}$$

$$= 140 - 67.9 = 72.1 \text{ mm From soffit}$$

Member Ref:

CALCULATIONS

OUTPUT

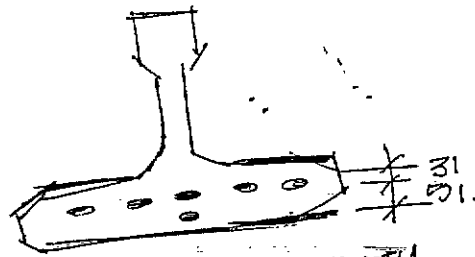
PRE STRESSING TENDONS:
12.5 mm STRANDS.

$$\text{MAX FORCE} = 165 \text{ N/mm}^2 \quad (70\% \text{ ALLOWED}) \\ = 0.7 \times 165 = 115.5 \text{ kN}$$

$$\therefore \text{No of STRANDS} = \frac{672}{115.5} = 5.8 \text{ ie } 6 \text{ NO STRANDS}$$

$$\therefore \text{STRESS/STRAND} = 672/6 = 112 \text{ kN}$$

HOWEVER THE ECCENTRICITY DOES NOT CONFORM TO THE STANDARD STRAND ARRANGEMENT.
TRY STRAND ARRANGEMENT:



CALCULATIONS FOR ECCENTRICITY.

$$1 \times 31 + 89 \times 6 = 67 \\ y = 82.67$$

$$e = \frac{M}{P} = \frac{580}{2} = 290$$

$$\text{FROM CENTRE} = 140 - 82.67 = 57 \text{ mm}$$

THEN FOR $e = 57$

$$P = 0.690 \times 10^6 = 690 \text{ kN}$$

$$\frac{690}{115.5} = 5.97 \text{ ie } 6 \text{ NO STRANDS}$$

\therefore OK.

$$\text{STRESS/STRAND} = \frac{690}{6} = 115 \text{ kN}$$

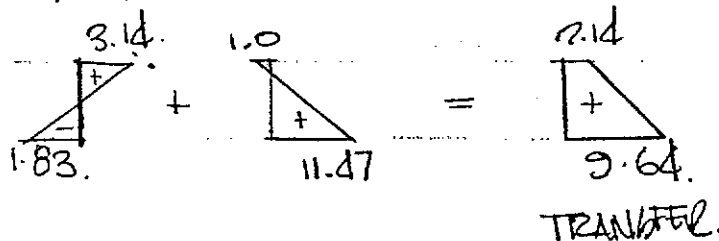
Member Ref:

CALCULATIONS

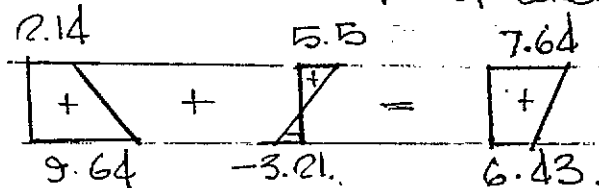
OUTPUT

CHECK LOADING CONDITIONS:

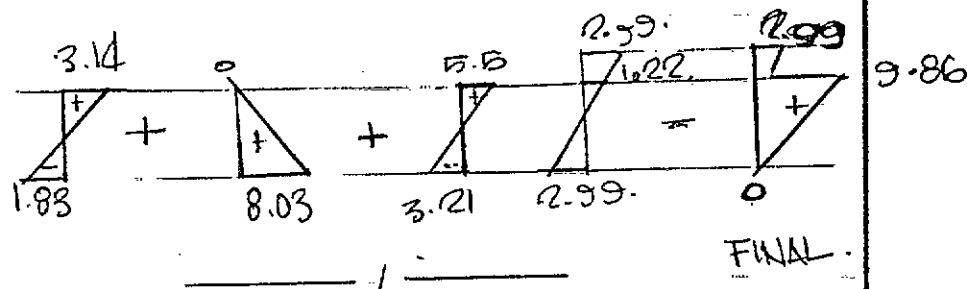
(1) SELF WT & INITIAL PRESTRESS.



(2) S.WT & INITIAL PRESTRESS & WET CONCRETE.



(3) b.WT + FINAL PRESTRESS + INITIAL CONC + SURFACE.



MIN CURR STRENGTH AT TRANSFER = $0.5 f_{cu}$

$= 2.0 \times 9.64 = 19.28 \text{ N/mm}^2$

MIN CURR STRENGTH AT WORKING LOAD

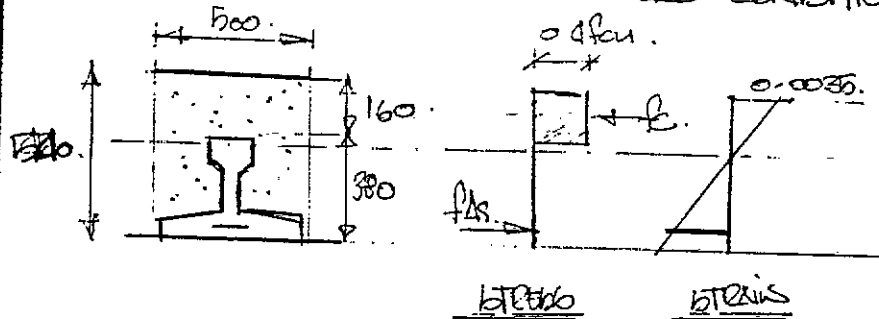
$0.33 f_{cu} = 3 \times 9.86 = 30 \text{ N/mm}^2$

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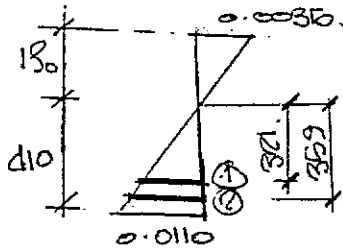
CALCULATIONS

OUTPUT

CHECK BEAM FOR ULTIMATE LOAD CONDITIONS.



TFY N/A 130 mm FROM TOP.



$\epsilon_1 = 0.0086$
 $\epsilon_2 = 0.0097$

| STRENGTH N/mm^2 |
|-------------------|
| 1933 |
| 1728 |

| AREA STEEL (mm^2) |
|---------------------|
| 471 |
| 94.2 |

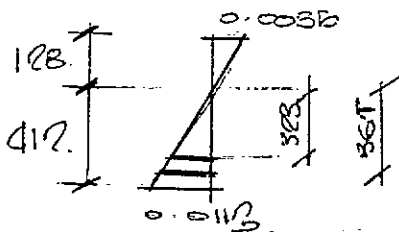
TOTAL TENSION FORCE = $814 + 182 = 996 \text{ kN}$.

AREA OF CONCRETE IN COMPRESSION.

$130 \times 500 = 65000 \text{ mm}^2$

COMPRESSIVE FORCE = $65000 \times 0.4 \times 40 = 1040 \text{ kN}$.

TFY DEPTH TO N/A 128 mm.



$\epsilon_1 = 0.0088$
 $\epsilon_2 = 0.0099$

| |
|------|
| 1766 |
| 1974 |

| AREA STEEL | TENSION |
|------------|------------|
| 471 | 832 |
| 94.2 | 186 |
| | <hr/> 1018 |

COMPRESSIVE FORCE $\Rightarrow 128 \times 500 = 64000 \text{ mm}^2$ AREA CON
 $64000 \times 0.4 \times 40 = 1024 \text{ kN}$.

CAREW ASSOCIATES

Consulting Engineers

Contract:

OPENING HOUSING

Job No:

89/006

Sheet No:

10

Part of Structure:

By:

EC

Date:

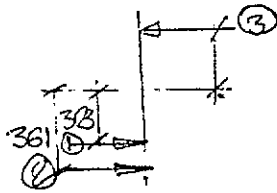
APRIL 90

Member Ref:

CALCULATIONS

OUTPUT

TAKING MOMENTS ABOUT N.A



| | FORCE | LEVER ARM. | MOMENT. |
|-----|-------|------------|---------|
| 1 → | 832 | 0.323 | 268.7 |
| 2 → | 186 | 0.361 | 67.1 |
| 3 → | 1024 | 0.058 | 59.0 |

TOTAL = 395 kNm.

REQUIRED MOMENT OF RESISTANCE.

= 270 kNm

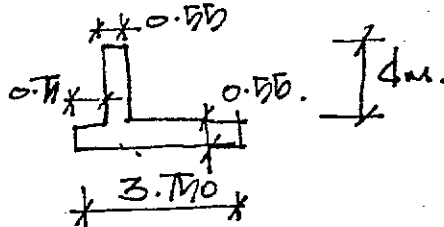
∴ SECTION OK.

Member Ref:

CALCULATIONS

OUTPUT

CHECK ABUTMENT FOR OVERTURNING:



DESIGN LOADS:

HA SURCHARGE = 10 kN/m².

HA BRACKEN = 30 kN/m WIDTH OF ABUTMENT.

EARTH PRESSURES.

$\gamma_{\text{soil}} = 18 \text{ kN/m}^3$

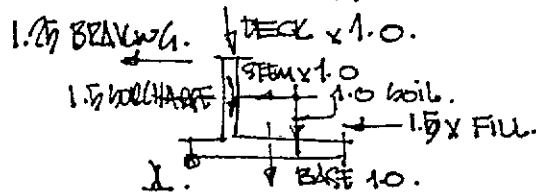
$K_a = 0.27$

DECK:

$k_{WT} = 0.69 \times 24 = 16.56 \text{ kN/m}^2$

SPAN = 7m.

$\therefore \text{LOAD} = 16.56 \times 7 / 2 = 58 \text{ kN/m}$



ACTIVE PRESSURE SOIL

$F = 1/2 K_a \gamma h^2 = 1/2 \times 0.27 \times 18 \times 4^2 = 39 \text{ kN}$

SURCHARGE HA

$F = 10 \times 4 = 40 \text{ kN}$

ULTIMATE LIMIT STATE LOADS:

OVERTURNING MOMENTS Δ

kNm.

ACTIVE PRESSURE = $39 \times 1.70 \times 4.55 / 3 = -88.73$

SURCHARGE = $40 \times 1.70 \times 4.55 / 2 = -136.70$

BRACKEN = $30 \times 1.70 \times 4.55 = -170.63$

395.86

Member Ref:

CALCULATIONS

OUTPUT

RESTORING MOMENTS.

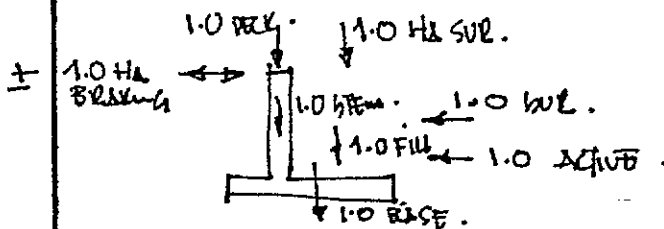
$$\begin{aligned} \text{STEM} &= 0.75 \times 24 \times 4 \times 1.025 \times 1.0 = 54.12 \\ \text{BASE} &= 0.75 \times 24 \times 3.75 \times 3.75 / 2 \times 1.0 = 92.81 \\ \text{FILL} &= 2.45 \times 18 \times 4 \times 2.525 \times 1.0 = 445.81 \\ \text{DECK} &= 58 \times 1.025 \times 1.0 = 59.45 \\ \text{SURCHARGE} &= 40 \times 1.0 \times 2.525 = 101.00 \\ & \qquad \qquad \qquad \underline{152.79} \end{aligned}$$

$$\text{FOS AGAINST OVERTURNING} = \frac{152.79}{395.86} = 1.90.$$

∴ FOS ADEQUATE:

(IF DECK W/ + HA LINE LOADING TAKES THEN FOS > 1).

EARTH PRESSURES:



MOMENTS ABOUT A.

1. VERTICAL FORCES.

$$\begin{aligned} \text{STEM} &= 1.0 \times 0.75 \times 24 \times 4 = 57.80 \\ \text{BASE} &= 1.0 \times 0.75 \times 24 \times 3.75 = 49.50 \\ \text{FILL} &= 1.0 \times 2.525 \times 18 \times 4 = 181.80 \\ \text{DECK} &= 1.0 \times 58 = 58.00 \\ \text{HA SUR} &= 1.0 \times 40 = 40.00 \\ & \qquad \qquad \qquad \underline{382.10 \text{ kN}} \end{aligned}$$

2. MOMENTS ABOUT A.

$$\begin{aligned} \text{ACTIVE} &= 1.0 \times 39 \times 4.5 / 3 = -59.15 \\ \text{SURCHARGE} &= 1.0 \times 40 \times 4.5 / 2 = -91.00 \\ \text{HA BRKING} &= 1.0 \times 30 \times 4.5 = -136.50 \\ \text{STEM} &= 1.0 \times 57.80 \times 0.85 = -44.80 \\ \text{BASE} &= \qquad \qquad \qquad = -29.30 \\ \text{DECK} &= 1.0 \times 58.00 \times 0.85 = -49.30 \\ \text{FILL} &= 1.0 \times 181.8 \times 0.65 = +118.17 \\ \text{HA SUR} &= 1.0 \times 40 \times 0.65 = +26.00 \\ & \qquad \qquad \qquad \text{TOTAL: } 236 \end{aligned}$$

CAREW ASSOCIATES
Consulting Engineers

Contract:
SPRINGHILL HOUSING.

Job No:
89/006

Sheet No:
13.

Part of Structure:
SUBSTRUCTURE

By:
UC

Date:
MAY 90.

Member
Ref:

CALCULATIONS

OUTPUT

FOUNDATION PRESSURES:

$$= \frac{382.10}{3.750} \pm \frac{236}{3.75} \times 6.$$

$$= 101.9 \pm 100.7.$$

$$= 202.6 \text{ OR } 0.2.$$

ASSUMED ABP = 200 N/m².

∴ WITH DETAILED SITE INVESTIGATION WE ASSUME
AN ABP OF 200 ∴ FOUNDATION PRESSURES OK.
(SUBJECT TO INVESTIGATIONS).

Member Ref:

CALCULATIONS

OUTPUT

DESIGN OF FLOOR JOISTS:

LOADING:

| | | | |
|--|---|-------------|-------------------|
| DEAD: T&G BOARDING; PLASTERBOARD & FINISH JOISTS | = | 0.55 | kl/m ² |
| IMPOSED | = | 1.50 | |
| | | <u>2.05</u> | |

JOISTS AT 300 C/C:

DEFLECTION

Allow = $0.003L = 0.003 \times 5100 = 15.3$

Allow max deflection of 15mm.

$$\therefore I_{reqd} = \frac{5 \times 2.05 \times 0.3 \times 5100^4}{384 \times 8000 \times 15}$$

$$= 45.16 \times 10^6 \text{ mm}^4$$

PROV 225 JOISTS:

$$I = \frac{50 \times 225^3}{12} = 87.46 \times 10^6 \text{ mm}^4$$

STRENGTH:

LOAD/m run JOIST:

$$f = 2.05 \times 0.3 = 0.615$$

$$M = \frac{fl^2}{8} = \frac{0.615 \times 5.1^2}{8} = 2.00 \text{ kNm}$$

$$\frac{M}{Z} = \sigma = \frac{2 \times 10^6}{42.19 \times 10^4} = 4.74 \text{ N/mm}^2$$

$$f_c = \frac{50 \times 225^2}{6} = 42.19 \times 10^3$$

GRADE SCB

$$T_{permissible} = 15.6 \times 1.037 \times 1.1 = 6.35 \text{ N/mm}^2$$

\therefore OK FOR STRENGTH

\therefore USE 50x225 JOISTS AT 300 C/C
MIN GRADE SCB TIMBER.

CAREW ASSOCIATES

Consulting Engineers

Contract:

SPRINKLER HOODS

Job No:

89/006

Sheet No:

100.

Part of Structure:

FLOOR JOINTS.

By:

U.E.

Date:

MAY 90.

Member Ref:

CALCULATIONS

OUTPUT

JOINTS TO CARRY PARTITIONS:

LOADING:

DEAD PARTITION D.W.T = 10.0 kN/m

FLOOR = 0.615

1.615 kN/m runs JOINT.

DEFLECTION

delta = (15 x 1.615 x 15 x 10^3) / (384 x 8000 x 47.46 x 10^6) = 37mm.

USE 3 NO 50x25 JOINTS BELOW PARTITION

delta = 12mm.

∴ OK.

CAREW ASSOCIATES

Consulting Engineers

Contract:

BRICKMATE HOUSING

Job No:

89/006

Sheet No:

16.

Part of Structure:

FOUNDATION - 10.

By:

KK

Date:

MAY 90

Member Ref:

CALCULATIONS

OUTPUT

LOADING

DEAD:

ROOF

= 1.00 kN/m²

FLOOR

= 0.55 kN/m²

MASONRY:

100 SOLID BRICK & PLASTER

= 2.76 kN/m²

100 BRICK

= 2.40 kN/m²

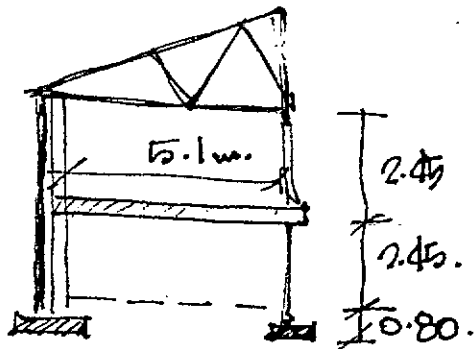
IMPOSED:

ROOF

= 0.75 kN/m²

FLOOR.

= 1.50 kN/m²



LOADING:

(2.55m)

ROOF = $\frac{5.1}{2} (1.75) = 4.46$ kN/m.

FLOOR = $2.55 (2.05) = 5.23$ kN/m.

MASONRY = $5.7 (5.16) = 29.41$ kN/m.

39.10 kN/m REQS.

CAREW ASSOCIATES
CONSULTING ENGINEERS

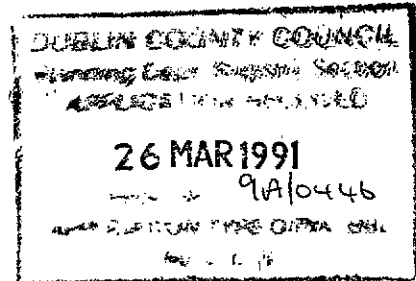
22 CROFTON ROAD, DUN LAOGHAIRE, CO. DUBLIN.
TELEPHONE: (01) 809827
FAX: (01) 809944

PROPOSED HOUSING DEVELOPMENT

AT

SPRINGVALE, BALLYBODEN.

BLOCKWORK SPECIFICATION NOTES.



ARCHITECT.
GERALD CANTAN,
OWENSTOWN HOUSE,
FOSTERS AVENUE,
BLACKROCK.

BLOCKWORK.

1. GENERAL.

All blockwork shall be in accordance with the requirements of I.S.325 : Part 1(The Structural Use of Unreinforced Masonry.)

2. MATERIALS & PROPERTIES.

2.1. CONCRETE BLOCKS.

All blocks shall be dense aggregate solid blocks of density not less than 1650kg/m^3 & shall comply with the requirements of I.S. 20 :Part 1 1987 :(Concrete Building Blocks.), I.S. 325 : Part 1 1986 Structural Use of Unreinforced Masonry.) Blocks to have a co-ordinating size of 450mm x 225mm to suit various wall thicknesses. They shall be true to size with clean, sharp arrises. The drying shrinkage of the blocks shall not exceed 0.05%. Blocks to have a compressive strength, when tested on edge, as specified on Engineers drawings. A manufacturer's certificate of the quality of the blocks shall be produced for all batches delivered to site.

2.2. CEMENT.

Cement used shall be Ordinary Portland Cement to comply with requirements of I.S. 1 : 1987(Portland Cement.)

2.3. LIME.

Lime used to be hydrated lime in accordance with the requirements of I.S. 8 : 1973 (Hydrated Lime for Building Purposes.) or semi-hydraulic or non-hydraulic, class 'B', calcium lime to B.S.890(Building Lime.) Lime shall be premixed in the required proportion with sand & allowed to stand for 16 hours before use.

2.4. SAND FOR MORTAR.

Sand used in the preparation of mortar shall be clean, washed, sharp river or pit sand, free from deleterious matter. Sand shall comply with the requirements of B.S.1200(Sands for mortar for plain & unreinforced blockwork, block walling & masonry.)

2.5. WATER.

Water shall be free from impurities harmful to the mortar. Where the quality of supply is doubtful the water shall be tested in accordance with BS3148(Tests for water for making concrete.)

3. MIXING OF MORTARS.

All materials shall be accurately gauged by gauge boxes & thoroughly mixed. Re-tempering of mortar will not be permitted. The proportions of mortar mixes shall be nine parts sand & two parts lime to one part cement by volume, unless otherwise stated on the Structural Engineers' drawings. The lime & sand shall first be mixed & gauged immediately before use with the cement. The lime & sand may with the approval of the Architect be mixed in batches of a reasonable size & stored, provided it is not allowed to dry out. Cement Mortar shall be composed of three parts sand to one part cement by volume. Mortars containing cement shall be used within two hours of the addition of the cement. Ready mixed mortar obtained from an approved supplier shall be in accordance with B.S. 4721. Mortar for facework shall be coloured ready-mixed to suit the shade of the brickwork. If colouring agents are to be used, these shall comply with the requirements of B.S. 1014. Pigments shall not exceed 10% by mix of the cement in the mortar. All such pigments shall be used in strict accordance with the manufacturers' instructions.

4. DELIVERY & STORAGE OF MATERIALS.

4.1. Blocks shall be carefully transported, unloaded & stacked on a strong, reasonably laid, level surface clear of any material which might be likely to stain or damage the blocks. Blocks shall not be stored in contact with the ground, but shall be placed on a surface formed of clean planks or other approved surface which is not likely to become saturated. Alternatively, blocks shall be delivered & stored on timber pallets & protected with polythene coverings arranged to throw off water or melting snow while at the same time allowing air to circulate freely between the blocks.

4.2. Cements & limes shall be stored off the ground, under cover & away from the damp & in such a manner to enable them to be used in rotation in order of delivery. Sands shall be stored separately according to type, on clean, hard, drystanding & protected from contamination. Sands for pointing shall be stored separately, away from all other sands & shall be obtained in sufficient quantity at one time to enable material of the approved colour to be used for the whole of the work.

5. WALL TIES.

5.1. Wall ties shall comply with B.S. 1243 : 1964 (Metal ties for cavity wall construction), stainless steel vertical twist type. The length of ties shall be 100mm greater than the width of the cavity for which they are to be used. Wall ties shall be placed at 900mm centres horizontally & 450mm centres vertically & staggered. Additional ties shall be provided to jambs at openings every 225mm & at reinforced concrete columns & walls. The wall ties at concrete skins shall be slotted into stainless steel dovetail slots cast monolithically with the concrete. Ties in insulated cavity walls to be stainless steel combined, twist strip wall tie/board clip at 450mm vertical & 900mm horizontal staggered general spacings, unless stated otherwise on Engineer's structural drawings, to suit insulation board.

5.2. DOVETAIL MASONRY SLOTS & ANCHORS.

Masonry slots to be 18 gauge stainless steel cut to lengths & fixed to inside face of formwork before pouring concrete. Dovetail anchors to be 3mm thick stainless steel vertical twist & split, provided at 450mm vertical centres or as directed by the Engineer.

5.3. BED-JOINT REINFORCEMENT.

Specialist bed-joint reinforcing to be used as specified on Engineer's drawings. Reinforcement to have an effective cover of not less than 20mm & shall be continuous except at control joints, or where otherwise indicated.

6. WORKMANSHIP.

6.1. LAYING BLOCKS.

All blockwork shall be set out & built to the respective dimensions, thickness & heights shown upon the drawings.

The blockwork shall be laid in accordance with C.P. 121 : Part 1. Blocks to be fully bedded & the vertical joints completely filled to ensure a waterproof wall.

Blockwork shall be carried up in a uniform manner, no one portion being raised more than 1200mm above another at one time. All perpend, quoins, etc., shall be kept strictly true & square & the whole properly bonded together & levelled round at each floor.

6.2. LAYING BRICKS.

Bricks for laying should be random picked from a number of pallets to scatter possible shade variations & a sufficient stock of bricks should be kept on site to permit blending bricks from different deliveries. Bricks should not be wetted before laying but the plasticity of the mortar should be adjusted to suit the bricks during dry & warm weather conditions. Bricks shall be fully bedded & the vertical joints completely filled to ensure a waterproofed wall. Before the mortar sets the joints shall be carefully dressed with a 12mm round steel bar. All joints shall be of uniform thickness throughout. Mortar chaffings on the face of the brickwork should be avoided & if it occurs the mortar should be removed immediately with the edge of a trowel & the residue lightly wire-brushed when dry. Consistency in the mortar mix is essential to avoid variation in the finished appearance of the facework.

6.3. BOND.

The blockwork shall be laid in stretcher bond unless otherwise noted on the Engineer's drawings. Vertical & horizontal joints shall be 10mm wide.

7. WALLING.

Walls & partitions to be to the thickness & heights as shown in the Drawings; built to an approved bond & all work well bonded together. Perform all cutting, tothing for bonding as may be required & set & joint all blockwork in lime gauged mortar as described.

Cavity wall shall be of the various thicknesses shown. The leafs of the cavity walls shall be tied together with approved ties three per square metre with additional ties where required at openings. All cavity walls shall be tied together with approved ties three per square metre with additional ties where required at openings. All cavity walls to be carefully executed in accordance with good building practice & the level of courses in adjacent leaves to be strictly maintained throughout construction.

8. DAMP-PROOF COURSE.

Sheet damp-proof courses shall be approved P.V.C. in accordance with I.S. 57. Damp-proof courses shall be laid with 150mm minimum laps in running lengths, passings & junctions, & shall be sealed where the damp-proof course is used to form cavity flashings.

Damp-proof courses shall be laid on a level bed formed at the required heights for the full width & length of all walls & partitions & quired in mortar. Damp-proof courses under sills to be similar well solutioned to underside, back & ends of sills before fixing.

Damp-proof courses under all floors to be 1,000 gauge polythene sheeting with welded joints; 100mm minimum width, at sides & ends. Sheeting to be carried up face of walls at abutments & lapped 50mm minimum over horizontal damp course on rising walls.

9. CAVITIES.

The wall cavity to be 50mm wide minimum using ties as described. The cavity should be clear of mortar droppings by means of battens drawn up as the work proceeds, leaving weep holes over cavity gutters as directed & cleaning out the cavity on completion by means of holes left at the base & filling holes & making good on completion.

10. INCLEMENT WEATHER / FROST.

No blockwork shall be carried out during rain, frost or snow. During inclement weather & overnight the work shall be protected & covered with felt or polythene. In cold weather the mortar shall be protected from freezing before it has set & for a few days afterwards. If work continues during cold weather the work shall be protected from freezing during the first week by covering the top with sacks of straw. None of the material shall be at a temperature below freezing point & the sand & lime shall be free from ice. The use of proprietry anti-freeze admixtures in the mortar may permit the work to be continued under frosty conditions subject to approval. All additives must be used strictly in accordance with the manufacturer's instructions & should be approved before use. Any blockwork damaged by frost shall be taken down & made good at the contractor's expense.

11. KEEPING THE WORK CLEAN.

Mortar boards should have two adjacent vertical sides about 150mm high; one of which should face the wall being built to minimise splashing. Scaffolding planks should be kept at least 225mm from the face of the blockwork & should be turned back at night & in rain to prevent splashing. Tops of all walls should be protected with felt or polythene on completion of the days work & during inclement weather.

Where cast in-situ concrete or plaster work has to be executed adjacent to facework; it is imperative that the blockwork should be covered down with felt or polythene as it is impossible to clean concrete facing blocks without damaging the surface or colour. Any facework damaged by want of sufficient protection shall be removed & made good at the Contractor's expense.

12. PLASTERED FINISHES.

Where the walls require to be plastered & the surface of the blocks is too smooth to provide a key, the joints shall be made flush as the work proceeds & subsequently raked out after the mortar has set to form a key for the plaster. When the wall face is not required to be plastered the joints shall be given a tool finish as required by the Architect. Unless otherwise specified the tooling shall be done with a 12mm diameter round tool before the mortar hardens, but not before it has begun to set.

13. JOINT SEALANTS.

Sealing compounds to exposed edges of control & expansion joints shall be approved polysulphide liquid polymer sealant. The sealant shall be applied in strict accordance with the manufacturers instructions & neatly tooled to joints from a pressure gun. Note that expansion joints shall be cleaned out to insure that mortar does not bridge the joint.

CAREW ASSOCIATES
CONSULTING ENGINEERS

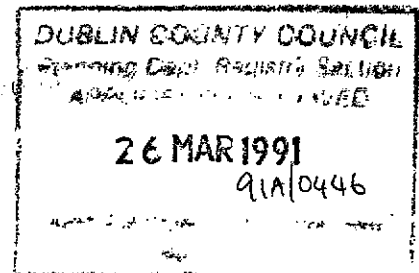
22 CROFTON ROAD, DUN LAOGHAIRE, CO. DUBLIN.
TELEPHONE: (01) 809827
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PROPOSED HOUSING DEVELOPMENT

AT

SPRINGVALE, BALLYBODEN.

CONCRETE SPECIFICATION NOTES.



ARCHITECT.
GERALD CANTAN,
OWENSTOWN HOUSE,
FOSTERS AVENUE,
BLACKROCK.

CONCRETE WORK:

Workmanship:

The materials, labour and workmanship in and connected with the execution of the reinforced concrete work shall be the best of their kinds without regard to any trade terms and the Contractor shall employ a duly qualified Foreman, experienced in reinforced concrete construction, to supervise the work. The quality of materials and the standard of workmanship for the reinforced concrete shall comply with the relevant clauses of B.S. Codes of Practice 110, 115 and 2007 in regard to all requirements not otherwise described herein.

Cement:

The cement used on this Contract shall be manufactured in Ireland, and shall be normal Portland or Rapid Hardening to comply with the current Irish Standard 1. The cement shall be delivered in standard bags and stored under dry conditions in a shed of approved construction. Alternatively, cement may be delivered in bulk in a tanker and stored in a silo of approved design. Cements of different qualities shall be stored and used separately.

The Contractor shall obtain a test certificate from the manufacturer with each consignment giving the result and date of the tests.

Cement damaged in storage or handling shall not be used and shall be removed off the site. The cement on the site shall be re-tested from time to time as directed. Cement failing to pass the test shall be removed from the site.

Water:

The mixing water shall be of potable quality obtained from an approved source.

Aggregate:

The aggregate for concrete shall consist of naturally occurring material complying in all respects with B.S. 882, 1201, and I.S. No. 5 (Note: the use of 'all-in' aggregates shall not be permitted). All aggregates shall be free from laminated, and/or flaky particles, dust, silt, clay and other impurities.

The fine aggregate shall be a natural pit or river sand passing a 5mm screen and shall be thoroughly washed in a mechanical washing plant. It shall be graded from the largest to the smallest particle sizes in approved proportion.

The coarse aggregate shall be retained on a 5mm screen and shall be composed of clean washed gravel or crushed stone, or a combination of both, of approved quality and grading, free from laminated and flaky particles, dust and other impurities.

(Continued Over/...)

CONCRETE WORK (Continued):

Aggregate (Continued):

Aggregates having the following defects are specifically excluded:

- a. Fine aggregate containing organic material in excess of the standard tolerance.
- b. Fine aggregate containing silt or other material removable by decantation in excess of five per cent by weight.
- c. Fine or coarse aggregate containing particles coated with clay or clay lumps exceeding one per cent by weight.

The fine aggregate and the various kinds of coarse aggregate listed in the table below shall be delivered to the site separately and shall be stock piled separately with suitable divisions between adjacent stock-piles on clean impermeable concrete, macadam or other approved surface.

The following table gives the approximate grading to which the aggregates should conform:

| Sieve | Nominal Size of Aggregate | | | |
|---------|-------------------------------|-------|-------|----------------|
| | 38 | 19 | 13 | Fine Aggregate |
| | Percentage passing each Sieve | | | |
| 38 | 100 | | | |
| 19 | 0-5 | 100 | | |
| 13 | - | - | 100 | |
| 10 | 0.5 | 20-50 | 40-85 | 100 |
| 5 | | 0-10 | 0-10 | 90-100 |
| No. 25 | | | | 30-55 |
| No. 100 | | | | 0-5 |

Preliminary Tests:

Before concreting operations are commenced, samples of the aggregates shall be submitted for approval. The mass of the samples shall be about 15kg for each size of coarse aggregate and 5 kg for the fine aggregate.

The quality of all materials delivered to the site shall be equal or superior to that of the samples.

CONCRETE WORK (Continued):

Control:

The grading and proportion of the aggregates shall be controlled on the site by means of routing sieve analyses and the Contractor shall keep on the site a set of standard sieves together with a direct reading weighing scales of approved design.

Trial Mixes:

Before commencing concreting work, the Contractor shall prepare batches of the various mixes as determined from the sieve analyses and from such batches shall prepare 150mm test cubes. The proportions of the aggregates for each mix shall be determined by the workability of the trial mixes and the test results thereof. The cubes shall be made in properly machined steel or cast-iron moulds, and the Contractor shall provide such moulds as required to maintain a testing programme in accordance with the CL. 6.8.2.2 of C.P. 110.

Test Cubes:

During progress of the concreting work, the strength of the concrete shall be verified by means of compressive tests carried out in 150mm cubes. An average of two cubes shall be made per 20 cubic metres of concrete placed per day or as may be instructed by the Engineer. The cubes shall be made under the supervision of the Clerk of Works and stored in the manner set out in the Code of Practice 110.

The samples of concrete for the test cubes shall be obtained at the place of deposition when the concrete is being placed in position. The test cubes shall be marked clearly with a serial and job number, together with a note stating the date of casting, the mix and the place of deposition of the corresponding concrete.

The expenditure as certified by the Architect on test cubes will be refunded to the Contractor. The Contractor shall keep daily progress charts and other records setting out the position and the amount of concrete placed each day.

Gauging:

The cement and aggregate shall be gauged by weight and the Contractor shall provide mechanical weight batching plant with direct reading dial gauge weighing apparatus, all of approved capacity and design.

Consistency:

The proportion of mixing water for the various parts of the work shall be adjusted to the satisfaction of the Engineer to ensure that the proportion of water shall not be greater than that required to obtain a fully compacted dense concrete, free from laitance and excess water. The Contractor shall carry out from time to time such tests as may be necessary to ascertain the proportion of water required to obtain consistency in the various mixes. Consistometers of the vibrating type and of approved design shall be used for controlling the workability of the concrete.

CONCRETE WORK (Continued):

Mixing:

The concrete shall be mixed in power driven batch mixers of approved size and design and having a capacity of not less than that required for a one 'Bag' batch. Mixers with damaged or work blades shall not be used. The interior of the mixers shall be maintained in a clean condition and shall be thoroughly washed out at least once daily. Mixers shall be operated at the speed recommended by the makers.

An approved device shall be provided for adjusting and controlling the exact quantity of water in each mix. When commencing work with a clean mixer, the proportions of coarse aggregate in the initial batches shall be reduced until the blades have packed up the normal proportion of fine material. A mixing time of not less than two minutes shall be allowed after all materials and water have been placed in the drum.

Ready-Mixed Concrete:

Ready-mixed concrete may be used subject to the Engineers prior approval. The transport containers shall be such as to ensure continuous agitation of the concrete until deposited on site. Preliminary trial mix requirements may at the discretion of the Engineer be waived. In every respect the concrete manufacturer, transport, agitation and period of time between manufacture and delivery to final position shall conform with B.S. 1926. Ready-mixed concrete shall otherwise comply with the requirements of this specification.

Mixes:

The following table sets out the approximate proportion of each mix for the guidance of the Contractor. The cement content of each mix may be reduced or increased at the Contractor's discretion provided that he can satisfy the Engineer that the minimum cube strength and required workability and surface finish shall be consistently obtained with the mix he proposes to adopt.

| Mix | Minimum Cement Content | Maximum Aggregate size | Characteristic Cube Strength at 28 ₂ days N/mm ² |
|-----|------------------------|------------------------|--|
| A | 150 | 20 | 10 |
| B | 300 | 20 | 20 |
| C | 370 | 20 | 30 |

Continued Over/...

CONCRETE WORK (Continued):

Mixes (Continued):

Except where otherwise described in the Bills of Quantities or the Engineers' structural drawings, concrete mixes for various sections of the work shall be as follows:

- Mix A: Sewer beds, haunching and casing to sewers and water mains and as elsewhere specified.
- Mix B: Foundations, reinforced concrete walls, manholes, gully chambers and slabs where the thickness is 225mm or more.
- Mix C: Foundations, reinforced concrete beams and columns, and slabs having a thickness less than 225mm; infilling and manufactured precast concrete floor and roof units.

The approval of aggregates, grading, water content, etc. shall not relieve the Contractor of responsibility in regard to the strength and finish of the concrete, and the Contractor shall remove and reconstruct at his own expense, any part of the work which the Architect and Engineer deem to be below standard.

Concrete Binding:

The surface of the ground or hardcore under foundations, and under other concrete in contact with the ground or with hardcore shall be sealed with a layer of concrete Mix A average 50mm thick.

Transporting and Placing Concrete:

The concrete shall be transported from the mixer to the place of deposition as rapidly as possible and due precaution shall be taken to prevent segregation. The concrete shall be evenly placed in its final position and shall not be worked or allowed to flow in horizontal direction. As far as possible all concrete in one unit of construction shall be placed in one continuous operation.

No concrete shall be dropped into moulds in such a manner as to cause segregation of the larger aggregate from the mass, such concrete shall be forthwith removed from the mass and wheeled to spoil. The concrete shall be placed in its final position before setting has commenced, and shall not subsequently be disturbed. Concrete shall be thoroughly compacted and worked by means of immersion vibrators of approved design in order to produce a dense uniform concrete free from segregation, honeycombing and surface defects. The number and method of use of the vibrators shall be such as to ensure uniform compaction. The heads of the vibrators shall be sufficiently small to pass freely between the reinforcing bars. Approved hand compaction tools shall be used where necessary in conjunction with the vibrators. Vibrating tables and surface vibrators of approved design shall be used to compact the concrete in precast concrete slabs and other precast members and units. Surface vibrators of approved design shall be used to compact in-situ ground floor slabs, road slabs and pavement slabs and immersion vibrators shall be used in conjunction with the surface vibrators where directed. Where non-vibrated concrete is specified, e.g. Mix A approved hand compaction tools shall be used unless otherwise directed.

CONCRETE WORK (Continued):

Jointing New Concrete:

Before depositing concrete against any temporarily stopped work or at approved joints, the procedure shall be as follows:

Bonding to concrete of any age: between 2 to 4 hours after casting, wet the surface of the completed work with a fine spray (not a jet) and at the same time brush the surface gently with a soft brush and thus remove the cement film from superficial coarse aggregate without dislodging any of the aggregate or smaller particles between the coarse aggregate. The surface thus prepared shall be coated lightly with neat grout immediately before any subsequent concrete is cast and care should be taken that the first or second batch out of a clean mixer are not used against existing work.

In the event of the above procedure not being carried out, the following procedures may be adopted:

- a). Bonding to concrete which is not more than 4 hours in position; strike off the surface layer including laitance and immediately pour concrete.
- b). Bonding to concrete which has been in position more than 4 hours but not longer than 3 days; remove laitance as in (a), brush with a steel brush and thoroughly wash with clean water. The concrete must not be hacked unless very hard. Plaster the face of the concrete with a layer of mortar 13mm thick as herein after specified. Immediately pour concrete and thoroughly work same towards mortar grout.
- c). Bonding to concrete which is more than 3 days in position; chip away the hardened surface, brush and thoroughly wash with clean water to remove all loose particles. Brush a neat cement slurry of thick creamy consistency over the concrete and work well in. Plaster the face of the concrete (over the slurry) with a layer of mortar 13mm thick and immediately pour the concrete and work in as before.

Note:

The mortar shall contain the same proportion of cement and sand as used in corresponding concrete mix. Forms shall be re-tightened in all cases before concrete is poured.

CONCRETE WORK (Continued):

Construction Joints:

All vertical construction joints shall be formed with well braced timber stop ends holed or slotted where necessary to allow the reinforcement to pass through the joints. The concrete shall be compacted against the stop end for the full height of the lift.

All construction joints shall be located in such positions as shall be approved by the Engineer. The vertical joints shall be stepped and staggered in approved positions and such joints shall not be located at or adjacent to quoins. The joints in floors shall be located in such positions as will minimise the number of joints required. In beams and suspended slabs an approved splayed joint shall be provided. In all other cases a tongued and grooved key shall be formed at horizontal and vertical joints. The width of the groove shall be about one third the thickness of the concrete and shall be formed with prepared timber battens having slightly splayed edges.

Additional reinforcement shall be provided at joints where so directed by the Engineer.

Shrinkage Gaps:

The work shall be carried out in such a manner as the Engineer shall direct to minimise the shrinkage of the concrete and shrinkage gaps shall be left at the discretion of the Engineer.

Concreting in Cold Weather:

All concreting work shall be entirely suspended when the temperature in the shade is below 2°C , and the concrete shall not be mixed when the temperature is below 4°C .

The Contractor shall provide a maximum and minimum thermometer of approved design for the purpose of measuring the shade temperature of the outside air. The temperature of concrete measured at the surface at the most unfavourable position shall not be less than 5°C at the time of placing. Any batch of concrete whose temperature as measured above falls below 5°C shall be removed from the site.

Subsequent to or during cold weather the water and aggregates used in the mix shall be free from snow, ice and frost. Formwork reinforcement and any other surface against which fresh concrete is to be poured shall be free from snow, ice and frost and have a temperature within 2°C of the temperature of the fresh concrete. Concrete placed in cold weather shall be protected from damage by frost with a covering of suitable insulating material. All concrete damaged by frost or other weather conditions shall be cut out and replaced by fresh concrete at the Contractor's expense.

CONCRETE WORK (Continued) :

Concrete in Warm Weather:

During warm weather the Contractor shall ensure that the constituent materials are sufficiently cool to prevent the concrete from stiffening prematurely. The temperature of mixing water shall be less than 60°C.

When placed the concrete shall not have a temperature greater than 32°C. Any batch of concrete whose temperature measured in the most unfavourable position is greater than 32°C shall be removed from the site and replaced by fresh concrete at the Contractor's expense.

Curing:

Horizontal and vertical slabs and other large areas of concrete shall be prevented from drying out for at least seven days after the concrete has been placed. Precautions shall be taken during the initial period of at least 7 days, to protect all reinforced work from exposure to sun, wind or rain.

Preparation for Plastering:

Where a rendered or plastered finish is specified, the concrete surfaces shall be treated to provide an adequate key.

Alternatively, the formwork may be coated with an approved retarding compound, which shall be removed with water and wire brushed as soon as possible after concreting. Precautions shall be taken to ensure that the retarding compound does not come in contact with the reinforcement.

Traffic over Concrete:

No traffic or temporary load of any kind will be allowed over any concrete until the following minimum times after casting unless approved protective methods are adopted to the satisfaction of the Engineer:

1. Foundations, ground floor slabs and other concrete in contact with the ground 28 days
2. Columns 10 days
3. Suspended Slabs 10 days
4. Suspended Beams 14 days

These times are given for guidance only and do not relieve the Contractor of any responsibility for protecting the concrete work against damage from any cause whatsoever.

CONCRETE WORK (Continued):

Protection of Concrete Foundations:

Reinforced concrete foundations, in general, shall not require formwork, the concrete being cast against the sides of the excavations. The Contractor shall ensure that the footing be kept clear of loose materials from the sides of the excavations. Particular care shall be taken to keep footing clean during the operation of fixing reinforcement and pouring concrete.

Horsing:

The Contractor shall submit dimensioned drawings of the systems of false work which he proposes to adopt the various sections of the work. This falsework shall be suitable proportioned and braced to withstand the weight of the freshly placed concrete, together with the weight of the workmen and materials.

Where supported on the ground, the sole pieces carrying the vertical supports shall be bedded on a solid base and shall have an area sufficiently large to ensure that there shall be no settlement under full load. Adjustable screws or hardwood folding wedges shall be used for adjusting and striking the vertical supports. All shuttering shall be removed without shock or vibration. Before the shuttering is stripped, the concrete shall be exposed in order to ascertain that the concrete has sufficiently hardened.

Shuttering to vertical surfaces may be removed whenever the concrete will not be damaged by so doing. Shuttering and supports under slabs, beams, girders, arches and structures or parts of structures carrying loads shall not be removed without the approval of the Engineer. The striking of the horsing shall be carried out in an approved sequence of operations so that no undue shock or other damage is caused to the permanent work.

The Contractor shall be responsible for any injury to work and any consequential damage caused or arising from the removal and striking of formwork, centering and supports, and any advice, permission or approval given relative to their removal shall not relieve the Contractor from the responsibility here defined.

Formwork:

All formwork materials shall be in good condition and shall be arranged in a uniform pattern. Minor defects shall be rectified as directed by the Architect. All joints shall be carefully aligned and shall be located as directed by the Engineer. The formwork shall be so braced so that no ties appear in the finished surfaces. Narrow width wrought timber slips shall be provided at all daywork joints to ensure straight line construction joints. The formwork and bracing to the sides of beams and columns shall be sufficiently strong to resist distortion during vibration. The use of internal timber spacers or wire ties will not be permitted. Suitable camber shall be provided in formwork to beams and floors as directed by the Engineer to compensate subsequent deflections. The formwork shall be thoroughly cleaned out before concreting and shall be provided with temporary opes to facilitate the removal of cleanings.

CONCRETE WORK (Continued):

Formwork Generally;

The formwork for surfaces which are not exposed or which are subsequently to be plastered shall consist of sawn boards or sheet metal closely jointed to prevent loss of grout. The surfaces of the concrete shall be free from excessive honeycombing, voids or lippings.

Formwork Fair Finish:

The formwork for exposed surfaces where the finish is of special importance shall consist of plywood or similar material in large sheets in new condition, having smooth non-ferrous surfaces and close fitting joints tongued and grooved where required. Junctions of the formwork with the completed work shall be carefully sealed in with mastic or foam rubber strip and closely butted to ensure that there is no leakage of water. The surfaces of the concrete shall be entirely free of honeycombing, voids, fins, lippings, projections and virtually free of air holes. Such surfaces shall not be touched up in any way.

Mould Oil and Greases:

All formwork shall be treated with approved mould oil or grease before use and shall be carefully cleaned down and further oiled or greased before re-use.

The type of mould oil or grease and its method of application to be used for shuttering for exposed surfaces shall be as recommended by the manufacturer for this kind of work and shall be subject to the Architect's approval. The use of specially faced boards or plywood shall not be permitted except with the approval of the Architect.

Additives:

Additives may be used for the following purposes but the amount and type of such additives shall be subject to the approval of the Engineer:

- a. Waterproofing: An approved proprietary waterproofing agent may be used when specified in strict accordance with the manufacturer's instructions.
- b. Damp-Proofing: All approved additives for damp-proofing in work such as concrete rising walls, ducts and ground floor slabs shall be provided where specified and shall be used in proportions and manner recommended by the manufacturer.
- c. Hardening: Approved hardeners for integral or superficial use shall be provided where specified and used in the proportions and manner recommended by the manufacturer.

(Continued Over).

CONCRETE WORK (Continued):

Additives (Continued):

- d. Workability Aids and Accelerators: Approved Additives of these kinds may be used subject to the Engineer's approval of the circumstances and location of the work for which the Contractor proposes to use the additive. All workability aids and accelerations shall be provided at the Contractor's expense.

Control of Additives:

All additives shall be mixed into the concrete in such a manner as will ensure to the Engineer's satisfaction that the recommended amount of additive is incorporated and thoroughly mixed in each batch of concrete.

Holes and Chases in Concrete:

Holes, chases and other openings required for the passage of pipes, conduits, etc. shall be formed by inserting suitable sleeves, cores and sinkings before placing the concrete. The sub-contractors shall be required to furnish full information in regard to the position and size of such openings and chase, and the position of bolts, clips and other fastenings. The cutting of chases, holes or other openings in the finished work shall not be permitted without the sanction of the Engineer. Such holes and chases shall be made only in approved locations and shall be cut with approved tools.

Reinforcement:

Rolled mild steel bars, cold twisted bars and high tensile fabric reinforcement shall comply with the requirements of British Standards 4449, 4461 and 4483 respectively. The Contractor shall deliver free of charge, samples of the various reinforcements for testing as directed. Any consignment of reinforcement failing to comply with the tests shall be removed from the site. In the measurement of the weight, the net lengths as shown on the drawings and schedules shall be taken in conjunction with the net weight per metre on the nominal diameter or size of the reinforcement.

The sizes and other dimensions of the reinforcement shall be checked against the drawings and site dimensions before the material is ordered. The reinforcement shall be cut, cold bent and hooked to the dimensions shown on the drawings and schedules or to such other dimensions as may be directed.

Alternative Bar Sizes:

No alteration or substitution shall be made in the lengths, sizes or arrangement of the reinforcement without the prior written approval of the Engineer.

Handwritten notes:
No alteration or substitution shall be made in the lengths, sizes or arrangement of the reinforcement without the prior written approval of the Engineer.
M.S.P.

CONCRETE WORK (Continued):

Fixing Reinforcement:

Reinforcement shall be provided as indicated on the drawings and maintained in its correct position by means of suitable clips, soft tying wire or welding, supplied by the Contractor at his own expense. The correct cover shall be maintained by means of suitable metal or plastic spacers or small concrete blocks, concrete washers or purpose made steel stools wired to the reinforcement. Such spacers and stools shall be supplied at the Contractor's expense. The Contractor shall not commence concreting on any section of the work until the formwork and reinforcement has been approved by the Engineer.

Reinforcement in slabs shall be supported at points sufficiently close to ensure that the correct cover is accurately maintained. Each corner bar in beam and column reinforcement shall be similarly supported, at such intervals as will ensure that the correct cover is accurately maintained.

CONCRETE WORK (Continued):

Rough Precast Concrete:

Rough precast concrete shall be composed of Concrete Mix 'D' as described hereinbefore and prices shall include for moulds, packing around reinforcement, hoisting, setting, jointing and pointing.

Faced Precast Concrete:

Faced precast concrete shall be composed of Concrete Mix 'D' as described hereinbefore, finished fine on exposed faces and waterproofed with an approved waterproofing compound. Castings shall have perfect arrises. Prices shall include for moulds, packing around reinforcement, hoisting, setting, jointing and pointing.

Manufactured Precast Structural Units:

The precast structural units shall be supplied by a Specialist in the design, manufacture and erection of precast concrete structural units.

The manufacturer shall be responsible for the design of the precast structural units. The design of the units shall comply with the latest edition (including amendments) of CP 110: 1972 "The Structural Use of Concrete: design, materials and workmanship."

The Architect shall be informed when the units are to be manufactured and shall have access to the manufacturer's work to inspect the unit during and after manufacture.

The manufacturer of the precast units shall include in the design calculations he submits to the Engineer for approval, details of the mix proportions, water cement ratio and characteristic strength for each concrete mix he proposes to use.

The supports provided to the precast units for the purpose of lifting, handling, storage, transport and erection shall in number, type and location be such as will ensure safety and minimise the resulting stresses induced by the units. Packings and other necessary means shall be employed to protect the units from chaffing and discolouration arising from these operations.

All necessary temporary connections and supports to the precast units required to ensure the stability of the structure in the interim between the erection of the units and the completion of the permanent structural connections of the units to be in-situ portion of the structure shall be provided immediately on erection of the units and shall be maintained operative until the permanent connections have reached their full design strengths. The arrangement and design of the temporary connections and supports shall be such that in the event of an accident causing the local collapse of one or more units, the temporary connections and supports to the units not immediately affected will be sufficient to prevent the local collapse becoming progressive. The permanent connections shall be completed as soon as is practicable after the erection of the units.

CAREW ASSOCIATES
CONSULTING ENGINEERS

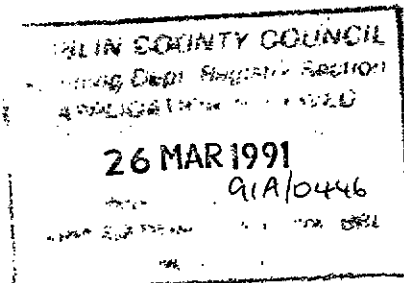
22 CROFTON ROAD, DUN LAOGHAIRE, CO. DUBLIN.
TELEPHONE: (01) 809827
FAX: (01) 809944

PROPOSED HOUSING DEVELOPMENT

AT

SPRINGVALE, BALLYBODEN.

DRAINAGE SPECIFICATION NOTES.



ARCHITECT.
GERALD CANTAN,
OWENSTOWN HOUSE,
FOSTERS AVENUE,
BLACKROCK.

SPECIFICATION NOTES

1. Drainage

- 1.1. Concrete pipes shall be spigot and socket type with flexible joints and shall comply with I.S. 6, 1974.
- 1.2. Clayware pipes and fittings shall comply with I.S. 6, 1974.
- 1.3. U P.V.C. drains and fittings shall comply with the requirements of ISO/DIS 4435 1978, BS 4660 and BS 5481 and shall be constructed strictly in accordance with the manufacturer's instructions.
- 1.4. Manhole covers and frames shall comply with I.S. 261, 1984 and shall be Grade A quality in ductile cast iron and with 600 mm clear opening.
Covers must incorporate a triangular point suspension without Neoprene sealing ring.
- 1.5. Gratings and frames for unsealed gullies shall be in grey cast iron to I.S. 261, 1984 and shall be dished with slots normal to kerb lines and hinged to close in traffic direction.
- 1.6. All covers, gratings and frames shall have clearly cast marking

"I.S. 261 Grade A

I.S. mark or equivalent

Manufacturer's Name

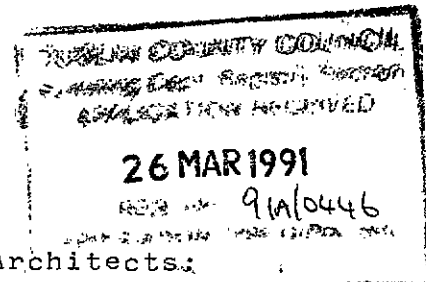
- 1.7. Manholes shall have minimum clear internal dimension of 1200 mm square for up to 2.5 m depth.
- 1.8. Roof slabs shall be of reinforced concrete 150 mm thick to support standard HA loading.
- 1.9. Base slabs shall be 250 mm thick unreinforced in Grade 30N/40 concrete.
- 1.10. Roof slab shall be set 550 clear of finished road surface.
- 1.11. Surface water manholes shall be constructed in Type A solid concrete block 10.5 N/mm² in cement mortar. Beds and vertical joints shall be completely filled with mortar as the blocks are laid and flush pointed.
- 1.12. Manholes up to 2.5 m depth shall be constructed in 225 mm block: Thereafter in 350 mm thickness as directed.
- 1.13. Manhole shafts shall have internal dimension 900 mm by width of manhole.
- 1.14. Galvanised rungs to approved type shall be built in line vertically at 300 mm centres.
- 1.15. Foul sewer manholes shall be cast insitu concrete 30 N with 225 mm thick walls, fair faced internally. Base slab and roof slab shall be as 1.8, 1.9, 1.10 above. Galvanised rungs shall be provided as Clause 1.14.
- 1.16. All benchings shall be finished smooth in 1 : 3 cement sand mortar with cross fall of 1 : 30.
- 1.17. Road gully pits shall be constructed in solid blockwork or insitu concrete with clear internal size 450 mm X 380 mm

and outlet as described on the drawings.

- 1.18. Road gully connection shall be in 150 mm spigot and socket concrete pipe with full 100 mm thick concrete bed and surround as described and not exceeding 10 m length.

PROPOSED HOUSING AT SPRINGVALE
BALLYBODEN, CO. DUBLIN

SPECIFICATION FOR LANDSCAPING
AND PLANTING.



Landscape Architects:
P.C. Roche Associates,
120 St. Lawrences Road,
Clontarf,
Dublin 3

1.0 PREPARATORY OPERATIONS

Such operations are to conform to B.S. 4428 1969 and to Local Authorities requirements.

1.1 Existing Services

It shall be the responsibility of the landscape contractor to satisfy himself as to the location of service runs, in so far as it affects his contract area.

He shall make good, at his own expense, any damage he may cause to such services. The Landscape Architect to be informed immediately if any such damage has occurred.

1.2 Temporary Works

The Landscape Contractor shall provide, maintain and remove on completion of the works, all temporary works necessary for carrying out the contract. To the satisfaction of the Landscape Architect. He shall make them safe and suitable in every respect to carry all plant required for the work and secure adequate protection of the public in their legal use of the adjacent paths, roads, pavements and buildings and comply with the applicable Bye-Laws and regulations of the Local Authority.

1.3 General Protection

The Landscape Contractor shall allow for safeguarding and protection against damage due to the carrying out of the contract all existing and completed works by others, including kerbs, paths and ground.

Should any damage or loss be caused to any existing or completed works due to or arising from the performance of the contract. Then the Landscape Contractor will be required to reinstate and make good any damage at his own expense, to the satisfaction of the Landscape Architect.

2.0 PROTECTION

2.1 Existing Vegetation

No existing trees, shrubs, or other plants shall be removed or cut without specific instruction. The Contractor shall protect, in the course of his work, all plants to be retained, from malicious or accidental damage.

2.2

Existing Soil

No soil, spoil, constructional materials or rubbish shall be stored or tipped within the spread of the existing trees, shrubs or hedges. No bonfires shall be lit in any situation where they can cause damage to existing trees, shrubs or hedges.

2.3

Existing Trees

If any tree which it is intended to preserve, be uprooted, destroyed, or in the opinion of the Landscape Architect, be damaged beyond reasonable chance of survival in its original shape due to the Contractor's negligence, then the Contractor shall without charge to the employer plant suitable replacement trees and shrubs of a similar type and age.

Removal of existing trees or shrubs shall include grubbing out to specific depth, and chemical killing of any stump or roots which require such treatment to the satisfaction of the Landscape Architect.

3.0

SOIL

3.1

Soil Stacking

All topsoil and subsoil cleared from building operations should be stored in separate heaps.

Topsoil shall be stacked in spoil heaps not more than 1.25m high and shall not remain unused for more than 12 months unless work is undertaken to turn the soil over to prevent it becoming stale. Weed growth on topsoil heaps shall be controlled by mechanical or approved chemical means to prevent soil becoming polluted with weed seeds.

3.2

Imported Soil

Imported topsoil to be from an approved source and conform to B.S. 3882, obtained from top 150mm of ground. It shall be fertile with a humus and fibre content, be of medium texture and approved before use. Imported topsoil is to be spread in layers not exceeding 150mm consolidated.

3.2

Continued

The topsoil shall be clean and the Contractor must allow for removing all stones and alien materials.

Any topsoil brought on to site without approval will be deemed to have been brought in at the Contractor's risk.

The pH reaction of the imported topsoil shall be the same as the existing topsoil unless otherwise stated by the Landscape Architect.

All rubbish to be carted off site by the Landscape Contractor.

4.0.

GRADING

The Contractor shall grade the site to smooth flowing gradients, eliminating all abrupt angles and changes of levels. All earth sloping works to be carried out in consultation with the Landscape Architect and Local Authorities representative on site.

4.1

Finished Levels

Topsoil levels shall be finished 25mm above adjoining pavings and 150mm below the damp course level of buildings after reasonable consolidation.

Final grading of the top 150mm is to be carried out to ensure a true specified level and slope and to avoid dishing or other depressions where water may collect.

4.2

Rollers

The use of heavy rollers to roll out lumps will not be permitted and any area that becomes unduly compacted during the grading operation shall be loosened by forking and harrowing.

5.0 CULTIVATION

Ground unaffected by building operations can be cultivated by plough, rotovator or digging to a minimum depth of 150mm. It should be brought to a fine tilt and regulated to evenly running levels. All weeds, large stones, building rubbish should be cleared out and carted off site.

5.1 Planting Areas

All planting areas are to be cultivated by hand digging or where approved by mechanical rotovator to a minimum depth of 300 and cleaned free of weeds and rubbish to the satisfaction of the Landscape Architect.

All stones with one dimension greater than 38mm are to be cleared from surface and removed from site.

The Contractor to allow for destorying all weeds if owing to the time of year or other causes, there is a period of waiting between completion of the top-soiling and actual seeding or planting operations.

5.2 Peat

Peat used as an additive to the soil or as a mulch shall conform to BS 4156: 1967. It shall be procured from an approved source, free from rubbish and when requested, the Contractor shall retain for the Landscape Architect's inspection a marked package or bale container.

5.3 Manure or Compost

Manure or compost used as an additive to the soil or as a mulch shall be procured from an approved source and the Landscape Architect shall be informed of the material content before carting to the site. No compost to be used which has a grass clipping content exceeding 25%.

5.4 Chemical Fertilizers

Chemical fertilizers and sprays are to be used only where specified and measured and shall be applied strictly in accordance with the manufacturer's instructions. Only chemicals on the Agricultural Chemicals Approval Scheme current list of approved products may be used.

Apply Chemical fertilizer at the rate recommended by manufacturer.

5.5

Fertilizer

Fertilizer to be applied at the rate of 70g/M² and incorporated into the soil by roughly raking.

5.6

Mole Draining

Where required the Landscape Contractor is to mole plough all areas to a depth of 600mm in parallel runs at 1,200 c/c using a 75 dia.mole.

6.0

GRASSING

The tilth shall be maintained free from weeds during any fallow period prior to sowing seed. Protect seed from damp and vermins until required.

6.1

Preparation

In preparation for sowing, the surfaces should be lightly and uniformly firmed and reduced to a fine tilth up to 25mm in depth by raking or harrowing. All large stones should be removed, and maintained weed free during any fallow period.

Preseeding fertilizer to be applied four days before seeding at the rate of 70 g/m², applied in transverse directions and worked into the final tilth.

6.2

Germination

The germination capacity of each constituent of the mixture should be not less than 80% and the purity of mixture not less than 90%. Total weed seed content should be not more than 0.5%

Grass areas will only be accepted as reaching practical completion when germination has proved satisfactory and all weed will have been removed.

Damage, failure or dying back of grass due to neglect of watering shall be the responsibility of the Contractor.

No payment shall be made to the Contractor if the seed fails due to any cause whatsoever. He shall be required to make good the soiling and repeat the seeding until a good sward is obtained.

Seed Mixtures

| <u>Species</u> | <u>Percentage of mix</u> |
|--|--------------------------|
| Festuca rubra (chewings fescue) | 10% |
| Agrostis tennis (browntop bent) | 10% |
| Lolium perenne (perennial ryegrass) | 60% |
| Cynosurus cristatus (crested dogstail) | 10% |
| Poa trivialis (rough stalked meadow grass) | 10% |

6.4

Sowing

Sow grass seed at the rate of 45 g/m² during suitable calm weather.

After sowing the ground shall be raked or chain harrowed. The operation should be carried out in equal sowing in transverse directions.

6.5

Cutting

Large stones more than 38mm in diameter shall be removed before initial cutting and all areas rolled with a light roller to firm grass and press in remaining stones.

Grass to be cut with a roto-system so as to leave from 25 to 50 of growth. Grass cut during wet or dull weather should be spread evenly to prevent damage to the growing grass beneath.

6.6

Maintenance

Maintenance to consist of watering, weeding, cutting repair of all erosion, settlement and reseeded as necessary to establish a uniform and healthy stand of the specified grassed and shall continue for a minimum period of 18 months after practical completion and until it is accepted by the Landscape Architect.

Pernicious weeds to be treated with selective weed-killer applied twelve weeks after seeding if the grass was sown in the Spring.

Autums sown grasses to be treated in May/April the following year.

Weedkiller to be I.C.I. "weedkiller for New Grass Areas".

6.7

Defects

The contractor shall reseed any areas which fail to germinate, make up and seed over any depressions which develop after seeding and make good any areas not of the specified quality.

7.0

SPECIES

7.1

Origin

Trees and shrubs shall be true to name. Those which are normally propagated vegetatively shall, if grown from seed, be stated to have been so produced. If subjects have been budded or grafted, this shall be stated and the name of the root supplied on request.

7.2

Conditions

Trees and shrubs shall be substantially free from pest and disease and shall be materially undamaged. Torn or lacerated roots shall be pruned before dispatch. No roots shall be subjected to adverse conditions, such as prolonged exposure to drying winds or subjected to water logging between lifting and delivery.

7.3

Rootball

The rootball shall be free from perennial weeds and conducive to successful transplantation. No variations from the plant schedules will be allowed except on written instruction from the Landscaping Architect.

8.0

TREES

Trees are to be best nursery stock and to B.S. 3936 Part 1. 1965 and 4, 1966.

Minimum tree sizes are indicated on the planting drawing. The Landscape Contractor is responsible for complying with three sizes. Notice shall be given to the Landscape Architect if the trees are not to this standard.

8.1

Pruning

Planted trees to have all broken branches pruned, damaged areas of bark to be neatly pared back to sound tissues and all cuts and wounds over 25mm in diameter to be treated with approved tree wound paint.

8.2

Rootball

Trees to have a minimum rootball diameter of 10 times the diameter of the stem measured 450mm above the ground.

8.3

Positions

No tree pits shall be dug until final tree positions have been pegged out for approval.

All plants to be refirmed into the ground if lifted by frost during the landscape contract period.

9.0

SHRUBS

Shrubs to be of best nursery stock and to B.S. 3936 Part 1.

9.1

Position and Beds

Position of shrubs in beds to be pegged out before planting. Polythene and other non-perishable containers to be removed and any badly damaged roots carefully pruned.

9.2

Watering

Before planting of containerised shrubs, the shrub is to be thoroughly soaked in water before removing from container.

9.3

Planting

Plants to be set in holes so that the soil level after settlement will be at the original soil mark on the stem of the shrub.

Planting pits to be backfilled to half its depth and firmed by treading. The remainder of the soil can then be returned and again firmed by treading.

9.4

On Completion

On completion of plant bed the surface is to be lightly picked over with a fork.

10.0 Tree Planting

Tree planting to be carried out in accordance with B.S. 4428; 1969.

10.1 Planting

Trees to be planted to the original soil depth. Allow for settling of the soil after planting. All non-perishable containers to be removed before planting.

Bare roots to be spread evenly in planting pit.

10.2 Tree Pits

Tree pits to be excavated to allow adequate clearance between root ends, or the perimeter of the ball and the side of the pit.

The depth of the pit to be 100 greater than the depth of the root system.

The bottom of the pit to be forked over to break up the sub-soil for a depth of 150. Return 75 thick layer of prepared backfill to the bottom of planting pit.

10.3 Backfill

The size of the pit shall be such to allow for the provision of not less than 0.75 cubic metres of backfill with best quality top soil, 1.25 litres of general purpose fertilizer and 10 litres of moist moss peat, well mixed.

Backfill to be placed around the roots generally shaking the tree to allow soil particles to shift into the root system to ensure close contact with roots. Backfill to be firmed as filling proceeds, layer by layer, care being taken to avoid damaging the roots.

11.0

TREE STAKES

Secure trees to \varnothing No 75 dia (min) stakes. The stakes are to be driven into the ground before the tree is planted to a min depth of 750. The lower 850 of the stake is to be coated with a non-injurious wood preservative.

The remainder of the stake is to be painted with a selected sadolius or equal wood preservative.

The stake should be cut off just below the first crotch after the tree has been planted and berris removed.

12.00

TREE TIES

Each tree is to be secured just below its lowest branch. The ties are to be strapped around the trees and nailed to the stake with galvanised nails. Ties are to be replaced or adjusted to allow for growth. Tree ties are to be approved by Landscape Architect before delivery on site.

13.00

SHRUB PLANTING

Shrub planting to be carried out in accordance with B.S. 4428; 1969.

13.1

Planting

Planting of shrubs to be carried out as soon as possible after reaching site. Where planting must of necessity be delayed, care is to be taken to protect the plants from pilfering or damage from people or animals. The contractor is responsible for all plants and planting pits until they are accepted by the Landscape Architect.

All planting areas to be maintained weed and grass free during the contract period.

Shrubs to be planted to the original soil depth to allow for settling of the soil after planting. All non-perishable containers to be removed before planting.

13.2 Shrub Beds

All beds to be marked out and approved by Landscape Architect before planting. Planting holes to be 150 wider than the root system. The depth of the hole to be minimum 150 deeper than root system with the bottom of the pit forked over for a depth of 75.

13.3 Backfill

All shrubs to receive 6 litres of moist moss peat and 0.5 litres of general purposes fertilizer well mixed with good quality top soil. Return 50 thick layer of backfill to bottom of shrub pit before planting.

14.0 WEATHER CONDITIONS

Planting shall not be carried out during periods of frost, persistent winds, when the site is waterlogged and when the ground is frozen.

15.0 WATERING

The contractor is to water thoroughly all planting areas on completion of planting to the satisfaction of the Landscape Architect. The contractor is responsible for the supply.

16.0 PROTECTION

Contractor shall allow for the repair of all fencing erected during the contract and maintenance period.

17.0 MULCH

Mulch all shrub beds with 50mm deep moist peat, leaf mould grass mowings or other suitable organic material.

18.0 FORMING PLANTER AREAS

The landscape contractor to form planting beds where shown on layout drawings.

Planters to upper yard and to areas for wall climbing plants to be formed with precast conc. kerbs on conc. footings, as edging. Imported soil to be spread into pits to a min. depth of 600 for shrubs and 1000 for trees. Soil to be spread over backfill (to engineers detail).

Planting beds to river edge to be set into planting pits dug so as not to disturb existing soil or surrounding plants. Backfill soil to be as before to be set in and around the proposed plants.

Planting to area east of the proposed industrial units to be into imported top quality soil to a min. depth of 750.

19.0 Herbicides

The landscape contractor is responsible for supplying and applying approved herbicides, which shall be on the approved list or approved by the Dept. of Agriculture for use in such locations.

Paraquat

Paraquat based product, Gramoxone by ICI Plant Protection Ltd. Spray in accordance with manufactures instructions and protect all foliage of plants and shrubs.

Simazine

Simazine based product, Groundhog by ICI Plant Protection Ltd. Spray in accordance with manufactures instructions.

20.0 Planting Season

Plant clean root deciduous material between November and March inclusive.

Evergreen and conifer trees to be moved when ground is warm enough to encourage root development between September and October and between April and Mid-May.

Herbaceous plants shall be planted between September and October and between March and April.

Container grown plants can be planted all year round, all subjects to be moved only in warm weather. Water spraying, mulching, shading and anti-desiccant to be used when necessary.

No planting when ground is water-logged, or at times of excessive drought or frost.

22.0 MAINTENANCE .

All planted areas to be maintained for a period of 18 months, after practical completion. All defects, at the end of this period, due to materials or workmanship shall be replaced by the contractor.

After this period the maintenance contract to be reevaluated and a maintenance contract to be agreed with a landscape contractor for inclusion in the maintenance companys works.

22.1 GENERAL

Maintenance to include watering, weeding, cultivation, control of insects, fungus and other diseases by means of spraying with approved insecticide or fungicide and other horticultural operations necessary for the propoer growth of the plants and for keeping the planted and grassed areas neat in appearance.

22.2 Weeding

Shrub and tree areas to be hand forked and weeded at regular intervals throughout the 18 months.

22.3 Pruning and refirming

Trees and shrubs to be firmed up, restaked, tied or adjusted where necessary or directed by Landscape Architect. Dead or broken twigs are to be removed and pruning carried out according to species.

Large wounds to be treated with approved treatment.

22.4 Watering

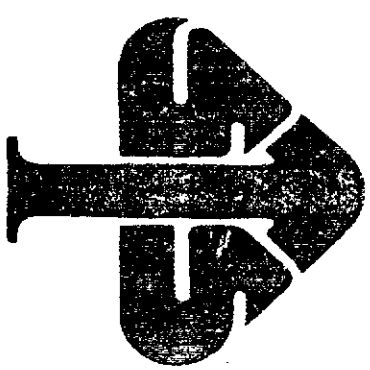
Contractor to allow for thorough watering of all plants as necessary or when directed by Landscape Architect.

22.5 Replacement

Contractor is responsible for replacement at his own expense for all trees or shrubs which die from inadequate root preparations, lack of water or any cause over which the contractor has control, for a period of 18 months after practical completion

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICANT'S NAME
26 MAR 1991
914/0446

Shirley



Southern Tree Surgeons (Ireland) Ltd.

Tree Survey

CATEGORY SYSTEM

- A Indicates an outstanding tree which should be retained at all costs.
- A/B Indicates the best of B category or a tree which would be worthy of A classification if it were given remedial treatment.
- B Indicates an average for the site, i.e. those trees which should be kept unless there is a specific reason for their removal.
- B/C Indicates the worst of the B category or a tree which although healthy now may succumb to disease or decay in the near future.
- C Indicates a tree which is dead, dying or dangerous and which should be removed.

TREESURVEY: SITE AT SPRINGVALE, BALLYBODEN, DUBLIN, 14.

DATE OF SURVEY: JANUARY, 1987.

| Tree No. | Species | Age | Condition | Treatment Required | Category |
|----------|--------------|-------------|-----------|--|----------|
| 3457 | Sycamore | Middle-aged | Poor | The first section of the survey commences in the extreme north-east corner of the site, close to the weir, and proceeds along the Edmondstown Rd. boundary along the Owendoher river. A multi-stemmed specimen, growing on a narrow bank. Its close proximity to river may indicate soil erosion and potential future instability problems. Cut ivy and monitor in the future. | B/C |
| 3458 | Elm | Semi-mature | " | Missshapen and leaning heavily. Little future potential. Remove. | C |
| 3459 | Willow | Mature | " | Collapsed across the river and is now partially "hung-up" in trees on opposite bank. Remove. | C |
| 3460 | " | " | " | -ditto- | C |
| 3461 | Group of Ash | Semi-mature | " | Missshapen. Little future potential. Remove. | C |
| 3462 | Alder | Mature | Fair | Heavily covered in ivy preventing close inspection. Cut ivy at base of tree. | B |
| 3463 | Elm | " | Poor | Twin-stemmed. In the latter stages of Dutch Elm Disease. Remove immediately. | C |
| 3464 | Beech | " | Fair | Some die-back in upper crown system but otherwise in good condition. Thoroughly overhaul and thin by 20%. Monitor future progress. | B |
| 3465 | Elm stump | " | " | A large stump which is infected with Polyporous squamosus. Stability is highly questionable. Remove immediately. | C |
| 3466 | Oak | " | Fair/poor | Severe lean towards centre of site, possibly due to "wind-blow" and a restricted rooting area. Plan for its removal. | B/C |

TREE SURVEY:

DATE OF SURVEY:

| Tree No. | Species | Age | Condition | Treatment Required | Category |
|----------|----------------|----------|-----------|---|----------|
| 3467 | Ash | Mature | Fair | Tall, spindly specimen with sharply forked upper crown system. Thoroughly overhaul and tightly thin. | B |
| 3468 | Laurel | " | Poor | Severe limb loss and heavy lean towards river. Little future potential. Plan for its removal. | C |
| 3469 | Elm stump | " | " | Little remains of this tree but it could still present some hazard to road users. Remove. | C |
| 3470 | Horse Chestnut | " | Fair | Upper crown system has slight lean towards road and is extremely heavy as are two large limbs overhanging the river. Thin upper crown system by approx. 30%, paying particular attention to weight reduction towards ends of heavy limbs. | B |
| 3471 | " | " | Fair/poor | Appears to be in good health but is structurally very weak. There are numerous sharp forks which are structural faults in a tree. This, together with its close proximity to the road would suggest that it be removed. | C |
| 3472 | Elm | " | Fair/poor | In the initial stages of Dutch Elm Disease and has little future potential. Remove. | C |
| 3473 | Sycamore | Mid-aged | " | In good health, apart from slight bark wounds at base. No work required at present. | B |
| 3474 | Elm | Mature | Dead | Heavily covered in ivy. Upper crown system appears to be extremely heavy and liable to imminent collapse. Fell immediately. | C |
| 3475 | Willow | " | Poor | Has collapsed in the past and is now lying along the bank. This tree is still alive and growing and I do not think it presents any hazard at present. No work required at present. | B/C |

TREE SURVEY:

DATE OF SURVEY:

| Tree No. | Species | Age | Condition | Treatment Required | Category |
|----------|---------|-----------|-----------|--|----------|
| 3476 | Elm | Mature | Poor | In the middle stages of Dutch Elm Disease. Partial collapse is likely. Remove in the immediate future. | C |
| 3477 | Willow | " | " | Upper crown system has collapsed. Severe damage to trunk. No future potential. Remove. | C |
| 3478 | Elm | " | Fair/poor | Is only slightly infected with Dutch Elm Disease but its future is limited. Plan for its removal. | B/C |
| 3479 | Lime | " | Fair | Appears to be in good health but its origin is questionable as I feel this tree has arisen as regrowth from a stump in which case its anchorage may be questionable. Thin by about 25% and thoroughly overhaul. Larger limbs over river should be heavily reduced back. | B |
| 3480 | Elm | Mid.-aged | " | Will probably succumb to Dutch Elm Disease. Plan for removal. | B/C |
| 3481 | Lime | Mature | Poor | Severely misshapen due to harsh pruning to clear wires. No practical means of repair. Remove. | B/C |
| 3482 | Beech | " | " | A massive specimen, severely infected with Ganoderma applanatum, a severe butt rotting fungus which is common to Beech and renders the tree structurally unstable and liable to "wind-blow" or partial collapse. This tree is slightly unbalanced towards and is very close to, the roadway and I would suggest that it presents a serious hazard to road users. Fell immediately. | C |
| 3483 | " | Mid.-aged | " | Suppressed and badly misshapen with a severe cavity at 0.5 m. from ground. Remove. | C |
| 3484 | Elm | " | Fair | Not yet affected by Dutch Elm Disease but it has limited future potential. Plan for its removal. | B/C |

TREE SURVEY:

DATE OF SURVEY:

| Tree No. | Species | Age | Condition | Treatment Required | Category |
|----------|----------------|-----------|-----------|--|----------|
| 3485 | Elm | Mature | Poor | In the advanced stages of Dutch Elm Disease and is liable to collapse. Remove immediately. | C |
| 3486 | Beech | " | " | A massive specimen which is infected with both <i>Ustulina deusta</i> and <i>Ganoderma applanatum</i> . Both these fungi undermine a tree's structural stability, rendering it liable to "wind-blow" or partial collapse. Remove. | C |
| 3487 | Alder | Mid.-aged | Fair | Twin-stemmed with slight lean towards river. No work recommended at present. | B |
| 3488 | Horse Chestnut | Mature | " | No sign of any fungal activity. The crown system appears to be healthy. It is sharply forked at 3 m. and, for this reason, I would urge you to have the tree thinned by approx. 25%. Paying particular attention to heavier limbs overhanging the road, the upper crown system, and two limbs growing towards the river. | B |
| 3489 | Alder | Mid.-aged | " | Slight lean towards river. No work required at present. | B |
| 3490 | " | " | " | -ditto- | B |
| 3491 | Horse Chestnut | Mature | Poor | Has been severely lopped in the past leading to cavity formation and severe crown distortion. Little future potential. Plan for its removal. | B/C |
| 3492 | Alder | " | Fair/poor | Severe lean over river. No work at present. | B |
| 3493 | Willow | " | Poor | Has suffered severe ground disturbance due to installation of drainage system. Little future potential. Remove. | B/C |

TREE SURVEY:

DATE OF SURVEY:

| Tree No. | Species | Age | Condition | Treatment Required | Category |
|----------|-------------|-------------|-----------|---|----------|
| 3494 | H. Chestnut | Mature | Fair | <p>At this point, we crossed over the river and proceeded in a northerly direction back towards the lodge.</p> <p>A massive specimen with minor breakages throughout the crown system. Although this tree is in good health, I doubt if it would survive any developments. The upper crown system is supported by many large, heavy limbs which, in this species, can be somewhat brittle, leading to limb collapse. If this tree is to be retained, I would recommend that branch end thinning be carried out (approximately 30%) in an attempt to reduce weight and wind resistance. Please note that a close watch should be kept on this tree after any developments take place on this site.</p> | B |
| 3495 | Alder | Semi-mature | Poor | <p>Partially collapsed. No future potential. Remove.</p> | C |
| 3496 | " | Mature | Fair | <p>A well balanced specimen but covered in ivy. Cut ivy at base. Fell adjacent suppressed Sycamore and leaning Alder, plus two dead Alders on riverside of tree.</p> | B |
| 3497 | Willow | Mid.-aged | " | <p>Slight lean towards river. Cut ivy at base.</p> | B |
| 3498 | Alder | | Dead | <p>Fell.</p> | C |
| 3499 | " | Semi-mature | Fair/poor | <p>Heavily covered in ivy and slight lean towards centre of site. Little future potential. Remove.</p> | C |
| 3500 | " | Mid. aged | Fair | <p>Heavily covered in ivy. Cut ivy at base.</p> | B |
| 3501 | Sycamore | " | " | <p>Slight ivy covering and rooted at base of bank. Erosion may cause problems in future years. Cut ivy at base.</p> | B |

TREE SURVEY:

DATE OF SURVEY:

| Tree No. | Species | Age | Condition | Treatment Required | Category |
|----------|----------|-------------|-----------|--|----------|
| 3502/3 | 2 Elms | Mid.-aged | Dead | Fell. | C |
| 3504 | Sycamore | " | Fair | Heavily covered in ivy. Cut ivy at base. Reinspect when ivy has withered. | B |
| 3505 | Elm | Semi-mature | Poor | Dead. Fell. | C |
| 3506 | Sycamore | Mid.-aged | Poor | Slightly suppressed and misshapen. Little future potential. Remove. | B/C |
| 3507 | Cypress | | | At this point, we reached the old lodge house and turned in a westerly direction and surveyed the northern boundary of the site. | |
| 3508 | Elm | Mature | " | Dead. Fell. | C |
| 3509 | Cypress | " | Good | In advanced stages of Dutch Elm Disease and is liable to partial or total collapse. Fell immediately. | C |
| 3510 | Yew | " | " | No work required at present. Reinspect after any development. Has previously been worked upon and is in good health. This tree is well worthy of retention. | A/B |
| 3686 | Elm | " | Dead | From this point, towards the next corner, is mostly taken up with Hawthorn, sapling Ash, and Elderberry and these have not been tagged. Liable to collapse in the near future. Fell immediately. | C |

TREE SURVEY:

DATE OF SURVEY:

| Tree No. | Species | Age | Condition | Treatment Required | Category |
|----------|----------|-------------|-----------|--|----------|
| 3687 | Elm | Mature | Dead | At this point, we reached the upper corner of this field and turned and moved along the boundary in a line towards the old house. Liable to partial or total collapse in the future. Fell immediately. | C |
| 3688 | Sycamore | Mid.-aged | Fair | Slightly misshapen by larger neighbour and has a slightly restricted root system on boundary wall bank. Medium future potential. Overhaul and cut ivy at base. | B |
| 3689 | Ash | Semi-mature | Good | Good future potential. No work required at present. | A/B |
| 3690 | Elm | " | Dead | Remove. | C |
| 3691 | Sycamore | " | Fair | Slightly misshapen by dead neighbour. No work required at present. | B |
| 3692 | Elm | Mid.-aged | Dead | Fell before it has a chance to collapse. | C |
| 3693 | " | Mature | " | Fell in the immediate future. | C |
| 3694 | Sycamore | " | Fair | Thoroughly overhaul and tightly thin by 20%, paying particular attention to removal of deadwood and stumps from throughout the crown system. | B |
| 3695 | Elm | " | Dead | Remove in the immediate future. | C |
| 3696 | Oak | " | Fair | At this point, we crossed the new driveway and inspected a large Oak and Monkey Puzzle. Severely damaged by recent storms. Numerous tears and stumps throughout the crown system. Thoroughly overhaul, paying particular attention to removal of deadwood, tears, rips and stumps from throughout the crown system. | B |

TREE SURVEY:

DATE OF SURVEY:

| Tree No. | Species | Age | Condition | Treatment Required | Category |
|----------|------------------|-----------|-----------|---|----------|
| 3697 | Monkey Puzzle | Mature | Fair | Remove major deadwood from trunk system. At this point, we moved into the field adjacent to the new house and surveyed the trees along this boundary. Please note that the majority of trees along this boundary are growing on the outside of the boundary bank and so are presumed to be the property of your adjacent neighbour. We moved back down the site towards a Yew, No. 3510, and surveyed the line of trees comprising the main avenue towards the old house. | B/C |
| 3698 | Scots Pine | Mid.-aged | Fair/good | Slightly unbalanced over driveway but otherwise in good health. Clean out deadwood from throughout crown system. | A/B |
| 3699 | Fir | Mature | Fair/poor | Above average amount of deadwood within crown system, plus slight signs of decline. Limited future potential. Plan for its removal. | B/C |
| 3700 | Douglas Fir | " | Fair | Large amount of deadwood in crown system. Future potential questionable. Remove deadwood. | B |
| 3701 | Fir | " | Poor | Signs of decline throughout crown system. Limited future potential. Plan for its removal. | B/C |
| 3702 | Douglas Fir | " | Fair | Numerous minor breakages throughout crown system. Overhaul, paying particular attention to removal of broken branches and stumps from throughout crown. | B |
| 3703 | Fir | " | " | Somewhat suppressed by larger neighbours. Slight signs of decline in crown system. Limited future potential. Reassess after development works. | B/C |

TREE SURVEY:

DATE OF SURVEY:

| Tree No. | Species | Age | Condition | Treatment Required | Category |
|----------|-------------|-----------|-----------|---|----------|
| 3704 | Scots Pine | Mature | Fair/poor | Upper crown system slightly unbalanced and major anchorage roots have been severed on driveside. Little future potential. Plan for its removal. | B/C |
| 3705 | Fir | " | Fair | Slight signs of decline throughout crown system. Remove deadwood and stumps. Reassess after development works. | B |
| 3706 | Douglas Fir | " | " | Slightly misshapen and suppressed by larger neighbours. Above average amount of deadwood within crown system. Thoroughly overhaul. | B |
| 3707 | " | " | " | Large amount of deadwood and stumps within crown system. Thoroughly overhaul. | B |
| 3708 | Fir | " | " | Seemingly in good health with only a small amount of deadwood throughout crown system. Thoroughly overhaul. | B |
| 3709 | Scots Pine | " | Fair/good | Clean out deadwood and stumps from throughout crown system. | A/B |
| 3710 | Holly | Mid.-aged | Good | No work required at present. | A/B |
| 3711 | Douglas Fir | Mature | Fair | Clean out deadwood and broken branches from throughout crown system. | B |
| 3712 | Fir | " | " | Small crown area but appears to be in good health. Clean out deadwood and stumps from throughout crown system. | B |
| 3713 | Douglas Fir | " | " | Thoroughly overhaul, paying special attention to removal of deadwood, stumps and broken branches from throughout crown system. | B |

TREE SURVEY:

DATE OF SURVEY:

| Tree No. | Species | Age | Condition | Treatment Required | Category |
|----------|---------------|-------------|-----------|--|----------|
| 3714 | Scots Pine | Mature | Good | Thoroughly overhaul, paying special attention to removal of deadwood, stumps and broken branches from throughout the crown system. | A/B |
| 3715 | Holly | Semi-mature | Fair | No work required at present. | B |
| 3716 | Douglas Fir | Mature | " | Thoroughly overhaul. Remove deadwood, stumps and broken branches from throughout crown system. | B |
| 3717 | " | " | " | Somewhat misshapen probably due to top being lost during storms. Overhaul, removing deadwood, stumps and broken branches from throughout crown system. | B/C |
| 3718 | Holly | Mid.-aged | " | No work required at present. | B |
| 3719 | " | Semi-mature | Good | -ditto- | A/B |
| 3720 | Monkey Puzzle | Mid.-aged | Fair/good | Remove low deadwood. | A/B |
| 3721 | " | " | Fair | -ditto- | B |
| 3722 | " | " | " | Also, remove dying branches. | B |
| 3723 | Douglas Fir | Mature | " | Thoroughly overhaul, removing deadwood, stumps, broken branches, and hanging branches from throughout crown system. | B |
| 3724 | " | Mid.-aged | Fair/poor | Suppressed by larger neighbors. Slightly misshapen. Overhaul. Reinspect after future developments. | B/C |

TREE SURVEY:

DATE OF SURVEY:

| Tree No. | Species | Age | Condition | Treatment Required | Category |
|----------|-------------|-----------|-----------|--|----------|
| 3725 | Scots Pine | Mid.-aged | Poor | Suppressed by larger neighbours. Almost completely dead. Remove. | C |
| 3726 | Douglas Fir | Mature | Fair | Slightly misshapen by larger neighbours. Overhaul. | B |
| 3727 | Fir | " | " | Well balanced and nicely shaped. Remove deadwood from throughout crown system. | B |
| 3728 | Douglas Fir | " | " | Slightly misshapen and sharply forked at 3.0 m. Thoroughly overhaul and install one mild steel flexible cable to support the sharply forked crown system and tighten one low lateral limb pointing away from driveway. | B |
| 3729 | " | " | Fair/poor | Severely misshapen and unbalanced. Little future potential. Plan for its removal. | B/C |
| 3730 | Scots Pine | " | Fair | Remove deadwood from throughout crown system. | B |
| 3731 | Douglas Fir | " | " | Thoroughly overhaul. | B |
| 3732 | " | " | " | " | B |
| 3733 | Fir | " | " | Remove deadwood from throughout crown system. | B |
| 3734 | Douglas Fir | " | " | Thoroughly overhaul and remove deadwood from throughout crown system. At the same time, inspect stump at 3 m. from ground. | B |
| 3735 | " | " | Poor | Badly misshapen and suppressed by larger neighbour. Little future potential. Fell. | C |

TREE SURVEY:

DATE OF SURVEY:

| Tree No. | Species | Age | Condition | Treatment Required | Category |
|----------|-------------|-----------|-----------|--|----------|
| 3736 | Scots Pine | Mid.-aged | Poor | Badly misshapen and suppressed by larger neighbours. Little future potential. Remove. | C |
| 3737 | Fir | Mature | Fair | Slightly unbalanced. Clean out deadwood from throughout crown system and install cable to support side fork. | B |
| 3738 | Douglas Fir | " | " | Thoroughly overhaul and remove deadwood and broken branches from throughout crown system. | B |
| 3739 | " | " | " | -ditto- | B |
| 3740 | Scots Pine | Mid.-aged | " | -ditto- | B |
| 3741 | Douglas Fir | Mature | " | Slightly unbalanced towards old lodge house. Thoroughly overhaul. | B |
| 3742 | " | " | Fair/poor | Upper crown system severely unbalanced towards entrance gates. Overhaul, and remove deadwood and broken branches from throughout crown system. Reinspect on a regular basis. | B/C |

At this point, we looked at the small wooded area to the rear of the old house. The majority of these trees are middle-aged Ash, Elm and Sycamore. A large number of them have been severely pruned in the past and are now unstable. Numerous Elms in this area have already died and the remainder have limited future potential. This, together with evidence of trees which have collapsed in this area, in the recent past, leads me to believe that there is little here worthy of retention.