

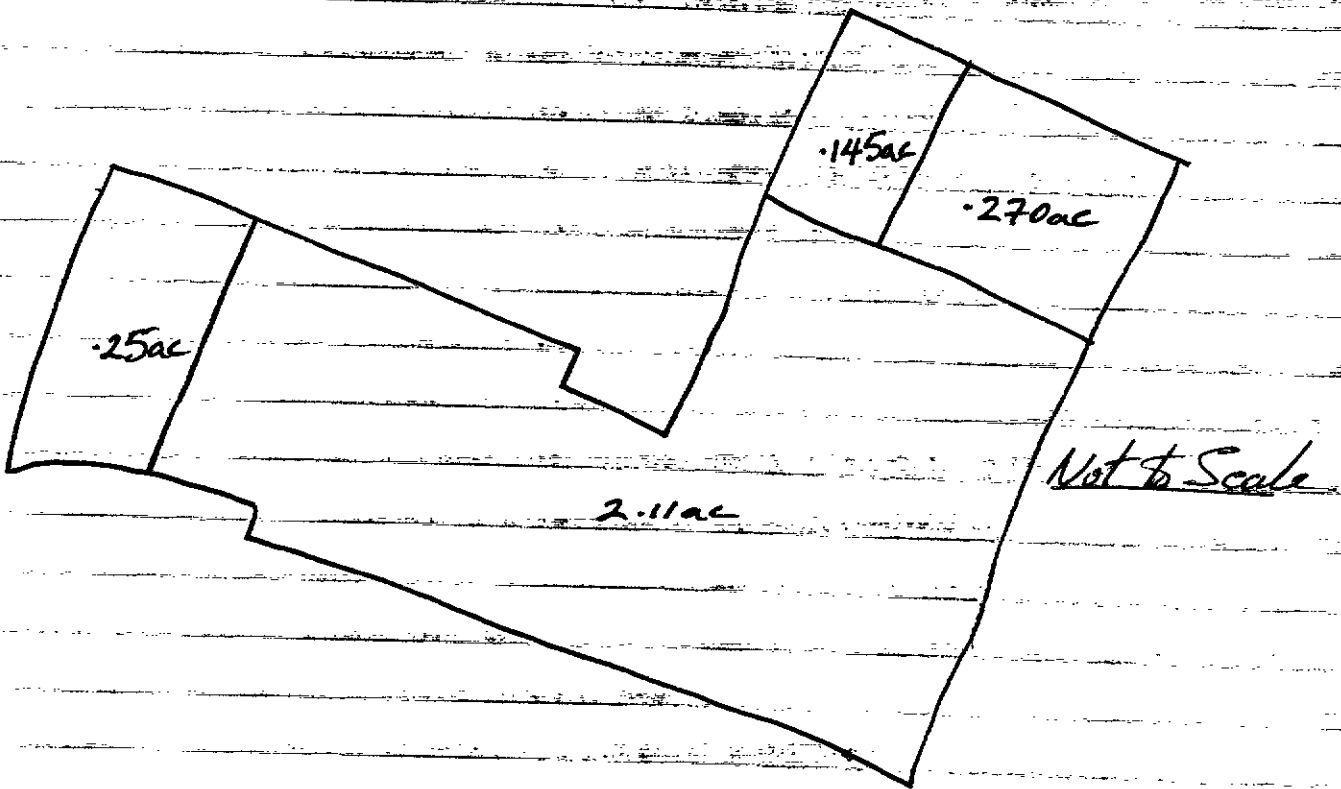
Hermitage Downs

Ratfara ham

D. 16.

Reg. Ref. 91/A/0370

Arch. F. Elmes.



Electronic Planimeter

Scale: 1:500.

Reg No. dB 91/03.

Owen O'Leary.

7/5/91.

# Hermitage Residents Association

RATHFARNHAM

OBJEC

91A/370

(211)

*Handwritten signature/initials*

202 Grange Road  
Rathfarnham,  
Dublin 16.

April 19th 1991

23 APR 91

Principal Planning Officer,  
Dublin County Council,  
Block 2,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1

re: Dean Developments  
Hermitage Estate Rathfarnham Dublin 16.  
Objection to planning ---No.91A/0370

Dear Sir,

On behalf of the above Residents Association I wish to register our objections to the proposed changes to the original development plan.

1. We object to the increase in density of 14 detached houses in the original application to 24 terraced type in this application.

2. We object to the inadequate provision of access to the church from Hermitage Estate for the following reasons.

The road is only 6 metres wide. This is too narrow and will lead to a lot of congestion particularly at Mass times. In an emergency access may be impossible e.g. during church services.

The entrance/roadway to the school and church is too narrow (4 metres) and furthermore it is unacceptable to use the school yard for access to the church. A proper access road to the church should be provided. The residents of Hermitage Estate object strongly to the fact that their repeated attempts to secure suitable access to the church has been ignored.

3. Non adherence to condition 6 on reg. no. 89A/33

Could you please clarify the position regarding the area identified as "option to purchase".

Yours sincerely

*Kathleen O'Sullivan*

Kathleen O'Sullivan  
Secretary

COMHAIRLE CHONTAE ATHA CLIATH

MEETING OF THE DUBLIN/BELGARD DISTRICT COMMITTEE - 20/12/91

ITEM NO. 58

**QUESTION:** Councillor A. Ormonde

"To ask the Manager to report on the access arrangements for Marley School in the light of development, Reg. No. 91A/370 (Hermitage development) and the very poor condition of the lands adjacent to the entrance and in replying will the Manager indicate the position regarding the other access from the school at Grange Manor?"

**REPLY:**

Application Reg. Ref. No. 91A/370 was an application for planning permission for 24 houses on previously approved site at 'Hermitage Lawns', Hermitage Court, Grange Road. Permission was granted on 8th August, 1991 subject 29 conditions.

Construction works have recently commenced on this development. Provision was made in the lodged plans for a 4.8m. wide access to the school lands on the eastern boundary of the housing site. Condition 26 of the permission refers to the kerb radii of the school access. Construction of this access has not yet commenced and would be premature having regard to the progress of building works on this site.

Planning permission for 'proposed erection of wall and fence boundary treatments to existing school and church at Marley Grange' was granted on 24th January, 1990 (Reg. Ref. 89A/2107). The lodged plans provided for an access over an area in front of the boundary fence which was denoted as 'existing parking' to the adjoining Grange Manor Estate (Grange Manor Close). Ownership of the lands adjacent to the entrance is being checked and the matter of tidying it up will then be pursued with the owner.

Margetson & Greene,  
Solicitors,  
35, Lr. Baggot St.,  
Dublin 2.

HJC/DHPB/FA

12/12/91


RE/ Hermitage Lawns - Deane Bros.

Dear Sirs,

I refer to your recent letter in connection with the above in which you state that deeds of dedication and their documentation were forwarded to the Council's Parks Department.

Formal notice of your clients proposals to comply with condition No. 24 of the planning permission granted for this proposal should be lodged with the Planning Authority who will examine the matter and issue a formal response.

Yours faithfully,

  
Principal Officer

MH/TFC



# MARGETSON & GREENE

SOLICITORS, 35 LR. BAGGOT ST., DUBLIN 2

CC MH

EC

■ K. B. HENDERSON  
FINTAN P. CLANCY  
HELEN J. CULLEN  
BRIAN P. REDDEN,  
BARBARA DOWLING  
FRANCES McIVER

■ TELEPHONE  
767803  
764845  
761916  
FAX (01) 766549  
D.D.E. Box 64

The Principal Officer,  
Planning Department,  
Dublin County Council,  
Block 2,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

FAX. 724896

↓  
JmQ  
Please attach file  
91A370  
A

to Chan 19/12

HJC/DHPB/FA

JMQ/HFC

24th December, 1991

RE: DEANE BROTHER DEVELOPMENTS - HERMITAGE LAWNS.

Dear Sirs,

We refer to your letter of the 28th of November, addressed to our Client's Architect in relation to condition 24 of the Planning. On the 25th of November, we wrote to the Parks Superintendent in the Parks Department, sending the engrossed Deed of Dedication together with Land Registry File Plan in order to comply with this condition. Previous correspondence in relation to the ceding of the open space had been with the Parks Department and we trust this is in order. The letter was marked for the attention of Mr. Peter Cutbert, we trust this is in order.

Yours faithfully

MARGETSON & GREENE.

5 DEC 1991

91A/370

COMHAIRLE CHONTAE ATHA CLIATH

MEETING OF THE DUBLIN/BELGARD DISTRICT COMMITTEE - 26/11/91

ITEM NO. 24

HERMITAGE - OPEN SPACE

QUESTION: Councillor A. Ormonde

"To ask the Manager to state what conditions are contained in Planning Application No. 91A/370 regarding open space and in replying will the Manager indicate if the open space development will be given priority?"

REPLY:

Planning Application Reg. Ref. 91A/370 was an application for permission for a development described as "24 no. houses (10 no. 3-bed/14 no. 4-bed) on previously approved site (Reg. Ref. 89A/0033) at Hermitage Lawns, Hermitage Court, Grange Road."

Planning permission was granted on 17th September 1991 subject to 29 conditions.

Conditions 10, 16, 24 and 29 relate to the development of the open space lands. Condition 24 requires:

"That the area of land coloured green on Drawing db/91/03 submitted with the application be ceded to the Dublin County Council prior to commencement of development on this site."

This area of land which adjoins the existing open space was shown on the lodged plans as 'area of site under contract to purchase/freehold which will be handed over to Dublin County Council Parks Department'. As development has commenced the developer has been requested to cede the area concerned to the Council forthwith.

BYE LAW APPLICATION FEES

REF. NO.: 91A/570 CERTIFICATE NO.: 16573<sup>B</sup>  
 PROPOSAL: Revised roof const.  
 LOCATION: 2, 5, 8, 11, 12, 15, 17, 20, 21, 24 Hermitage Lawns  
 APPLICANT: Deane Bros. Ltd.

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling <i>x10</i> (Houses/Flats)	@ £55	<i>£137.50</i>	<i>137.50</i>	<i>—</i>		
B	Domestic Ext. (Improvement/ Alts.)	@ £30	<i>N.B.</i>				
C	Building for office or other comm. purpose	@ £3.50 per M <sup>2</sup> or £70	<i>Application relates to 10 homes only.</i>				
D	Building or other structure for purposes of agriculture	@ £1.00 per M <sup>2</sup> in excess of 300 M <sup>2</sup> Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Columns 2,3,4,5,6 & 7 Certified: Signed: *A. Deane* Grade: *III* Date: *15/10/91*

Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/0370

Letter No.: 195

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Tel: (01) 724755  
Fax: (01) 724896

Norman & Janice Moorhouse,  
57 Hermitage Park,  
Rathfarnham,  
Dublin 14.

12 August 1991


RE: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A/0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. & A. Deane Bros. Ltd.

Date of decision to grant permission 8th August, 1991 subject to 29 conditions.

Dear Sir/Madam,

With reference to your representations/objections, I wish to inform you that a decision has been made on the above planning application. This decision has been entered in the Planning Register which is available for inspection at the Planning Department, Irish Life Centre, Lower Abbey Street, Dublin 1, during office hours (9 a.m. to 12.30 p.m. and 2.15 p.m. to 4.30 p.m.) A certified copy of the entry in the register may be purchased on payment of £5.00.

Yours faithfully,

  
\_\_\_\_\_  
for Principal Officer.

NOTE: An appeal against this decision by an aggrieved person must be made within the period of twenty one days beginning on the date of the decision to grant permission, indicated above. The appeal shall be in writing and shall state the subject matter of the appeal and the grounds of appeal and shall be addressed to An Bord Pleanala, Floor 3, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

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3. A person who is not a party to an appeal must pay a fee of £15.00 to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.
4. Interested parties are advised to consult the Planning Authority or An Bord Pleanala to ascertain if an appeal has been lodged by an applicant.



COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/0370

Letter No.: 238

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Tel: (01) 724755

Fax: (01) 724896

Declan P. Small,  
63 Hermitage Drive,  
Grange Road,  
Rathfarnham,  
Dublin 16.

12 August 1991

RE: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A/0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. & A. Deane Bros. Ltd.

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COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/0370

Letter No.: 224

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Tel: (01) 724755  
Fax: (01) 724896

David Nisbet,  
45 Hermitage Park,  
Rathfarnham,  
Dublin 16.

12 August 1991


RE: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Req. Ref. 89A/0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. & A. Deane Bros. Ltd.

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for Principal Officer.

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COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/0370

Letter No.: 226

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Tel: (01) 724755

Fax: (01) 724896

Tommy, Maureen & Sharon Kelly,  
73 Hermitage Drive,  
Rathfarnham,  
Dublin 16.

12 August 1991

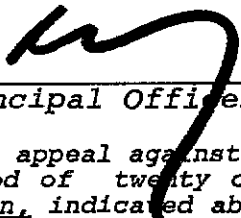
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COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/0370

Letter No.: 227

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Tel: (01) 724755

Fax: (01) 724896

Paul & Colette Appleby,  
61 Hermitage Drive,  
Rathfarnham,  
Dublin 16.

12 August 1991


RE: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Req. Ref. 89A/0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. & A. Deane Bros. Ltd.

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COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/0370

Letter No.: 220

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Tel: (01) 724755  
Fax: (01) 724896

12 August, 1991

Thomas, Jean, Ruth & Jennifer Murphy,  
2 Hermitage Drive,  
Rathfarnham,  
Dublin 16.

RE: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A/0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. & A. Deane Bros. Ltd.

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COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/0370

Letter No.: 260

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Tel: (01) 724755

Fax: (01) 724896

Mrs. A. Hopkins,  
18 Hermitage Drive,  
Rathfarnham,  
Dublin 16.

12 August 1991

RE: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Req. Ref. 89A/0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. & A. Deane Bros. Ltd.

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COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/0370

Letter No.: 211

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Tel: (01) 724755  
Fax: (01) 724896

Kathleen O'Sullivan,  
Secretary,  
Hermitage Residents Association,  
202 Grange Road,  
Rathfarnham,  
Dublin 16.

12 August 1991


RE: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Req. Ref. 89A/0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. & A. Deane Bros. Ltd.

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COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/0370

Letter No.: 290

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Tel: (01) 724755  
Fax: (01) 724896

William & Sheila Murray,  
16 Hermitage Drive,  
Rathfarnham,  
Dublin 16.

12 August 1991

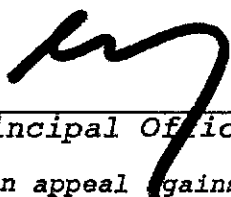
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COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/0370

Letter No.: 297

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Tel: (01) 724755  
Fax: (01) 724896

Donal Hanly,  
51 Hermitage Park,  
Grange Road,  
Rathfarnham,  
Dublin 16.

12 August 1991

RE: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A/0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. & A. Deane Bros. Ltd.

Date of decision to grant permission 8th August, 1991 subject to 29 conditions.

Dear Sir/Madam,

With reference to your representations/objections, I wish to inform you that a decision has been made on the above planning application. This decision has been entered in the Planning Register which is available for inspection at the Planning Department, Irish Life Centre, Lower Abbey Street, Dublin 1, during office hours (9 a.m. to 12.30 p.m. and 2.15 p.m. to 4.30 p.m.) A certified copy of the entry in the register may be purchased on payment of £5.00.

Yours faithfully,

  
for Principal Officer.

NOTE: An appeal against this decision by an aggrieved person must be made within the period of twenty one days beginning on the date of the decision to grant permission, indicated above. The appeal shall be in writing and shall state the subject matter of the appeal and the grounds of appeal and shall be addressed to An Bord Pleanala, Floor 3, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

1. An appeal by an aggrieved person to An Bord Pleanala will be invalid unless accompanied by a fee of £50.00
2. A party to an appeal making a request to An Bord Pleanala for an oral hearing of an appeal must, in addition to '1' above, pay to An Bord Pleanala, a fee of £50.00
3. A person who is not a party to an appeal must pay a fee of £15.00 to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.
4. Interested parties are advised to consult the Planning Authority or An Bord Pleanala to ascertain if an appeal has been lodged by an applicant.

COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/0370

Letter No.: 364

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Tel: (01) 724755  
Fax: (01) 724896

Thomas A. O'Connor,  
Secretary,  
Barton Residents Association,  
35 Barton Road West,  
Rathfarnham,  
Dublin 16.

12 August 1991

RE: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Req. Ref. 89A/0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. & A. Deane Bros. Ltd.

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Yours faithfully,

  
\_\_\_\_\_  
for Principal Officer.

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3. A person who is not a party to an appeal must pay a fee of £15.00 to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.
4. Interested parties are advised to consult the Planning Authority or An Bord Pleanala to ascertain if an appeal has been lodged by an applicant.

# Hermitage Residents Association

RATHFARNHAM

PK

91A/0370  
655

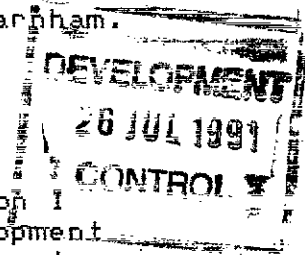
202 Grange Road  
Rathfarnham,  
Dublin 16.  
July 18th 1991

# OBJECTION

Principal Planning Officer,  
Dublin County Council,  
Block 2,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

25 JUL 91

Re. Dean Bros. Developments.  
Hermitage Estate Rathfarnham.  
Ref. No. 91a/0370



Dear Sir,

On behalf of the above Residents Association I wish to register our objections to the modified development as outlined by the developer in response to your letter to him of 13th May 1991.

Our grounds for objection are:

- 1) The increase of density from 14 detached + 2 priests houses to 24 terrace type + 2 priests houses. The application is a major deviation from the original outline planning permission approved for the same site. Furthermore the terrace type houses are not in keeping with existing houses in Hermitage Estate.
- 2) The entrance from Hermitage Estate to the development shown on drawings appears to be dangerous. This would be better located near to the old temporary road. Condition 6 of the original outline permission, Reg. No. 89A/33 stated that the entrance be located at a more northerly location adjacent to the present temporary road, and all details of vehicular and pedestrian routes, together with car parking arrangements for all uses at this location be submitted at approval time.
- 3) A right of way to the church should be made a condition of planning and the road built entirely right up to the church grounds. The driveway to the church carpark to be controlled by the church, gates or barrier opened for Mass. and other occasions.
- 4) Permanent pedestrian access should be provided to the church including paths etc.

5) At least 9 car parking spaces should be provided in front of the priests houses as per original outline planning. These spaces can be used in the event of <a> turning circle <b> visiting church when barrier closed <c> visiting priests house.

6) While the road is increased in the new additional information from 6m. to 6.5m. a 7 metre road would be more desirable, as this road services the church and school. While this road serves as an access road to both school and church it cannot be classified as a cul de sac for the purposes of road width parameters.

You will note that objections 3 to 6 above all focus on the issue of right of way and vehicular access by the Hermitage Residents to their local Catholic Church. I must convey the Residents extreme concern about the possibility that they would be effectively cut off from traditional access to their church as a result of the development in its present form. Already very strong emotions has been engendered by the placing of boulders on the current temporary road over which Hermitage Residents could drive to their church.

Hermitage Residents prize highly their right to drive to their church particularly during bad weather. If this right is snatched from them arising from the proposed development it will mean that residents will have to follow a very round about route to reach their local church. Access by car is essential for Hermitage Residents and it would be grossly unfair to deprive them of this right.

I trust that in the interests of good planning that you will make it a condition of planning that right of way to the church is maintained right up to the church grounds based on a road width of 7 metres.

My Association would welcome the opportunity to reinforce our strong objections to this development by way of a meeting if possible. Perhaps you would let me know if you would be willing to meet us as soon as possible.

Yours Sincerely

*Kathleen O'Sullivan*

Kathleen O' Sullivan  
Secretary

---

91A/0370

36

PK

BARTON RESIDENTS' ASSOCIATION  
RATHFARNHAM

The Principal Planning Officer  
Dublin County Council  
Irish Life Building  
Lower Abbey Street  
Dublin 1.

35 Barton Road West  
Rathfarnham  
Dublin 14.  
IRELAND.

516

OBJEC

My Ref PLN 91/10

Your Ref.  
91A/370

Date: 30/05/91

04 JUN

Dear Sir,

Planning Application for Revised layout etc  
S.A.Deane Ltd., Hermitage Lawns, Rathfarnham  
Terraced and detached mix of Dwellings (24)

I am directed by my Executive Committee to object to favourable consideration being given to the above application on the following grounds:

1. There appears to this Association to be a very much lower area of open space than is the normal requirement proportion leading to a congested appearance.
2. It is not clear to what extent the roadway in the centre of the revised scheme opening through gates on to a school yard can be considered a proper access road to the Catholic Church or whether the Church authorities approve of it at all. A letter from them stating their position should be included with the application.
3. The letter mentioned in 2 above should also reveal the Church's attitude to the gateway at the hammerhead at the end of the cul-de-sac. It is not clear who will build the wall/railing at this point nor the type of construction to be used.
4. The inclusion of compacted terracing in this area will lower the general standard of dwelling and would gainsay the proper expectations of present residents that the planning authorities should and would protect their standards for which standards they pay to the public purse.
5. The projected road is too narrow considering that one can expect on-road permanent parking by some residents, their lodgers and visitors.
6. Our enquiries lead us to believe that the "priests' houses" will not be built in the foreseeable proximate future. The applicant does not indicate how the site would be managed and laid out or fenced off in the interim.
6. It is essential that any project should absolutely bar and prevent the movement of through East-West traffic at this point.

Thanking you for your attention, yours faithfully,

Thomas A. O Connor Secretary.

*Thomas A. O'Connor*

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF:

91A 370

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
<p>BELGARD H + P <u>28<sup>TH</sup> MAY 1991</u> =</p>	<p>Mulloon + Amode Shake re this applies:</p> <p>Hope that the two presbyteries can be built as otherwise a desecrated site</p> <p>Want house design to be compatible with area also road widths</p>		
	<p>Want public access to church</p>		

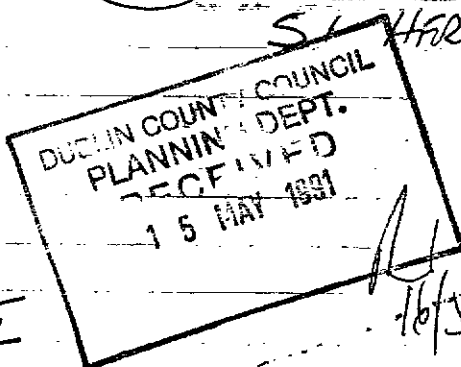
91A/0370

297

PK

Ref 91A/0370.

Dublin County Council,  
Planning Dept,  
Block 2  
JR Abbey St  
Dublin 1



HERMITAGE PARK  
Grange RD  
Kathowman  
D. 16  
6-5-91

Dear Sirs,

OBJ

I wish to object to the proposal by S+A DEANE Bros Ltd to erect 24 houses at Marley Grange Kathowman for the following reasons.

Outline permission was given on the 9th March 1989 for inter alia, 16 houses on this site subject to certain conditions. The proposed development will increase the number of houses to be built to an unacceptable level. The smaller & presumably cheaper housing will have a detrimental effect on the value of the existing housing stock in Hermitage Estate, (which it adjoins). The greater number of houses will almost inevitably lead to increased traffic flows on the already very busy roads in Hermitage Estate, creating greater risk of road accidents for children on the estate.

Yours Sincerely  
Donal Hanly  
DONAL HANLY

DUBLIN  
PLANNING  
RECEIVED  
13 MAY 1991  
91A/0370  
290

Hermitage Drive  
Rathfarnham  
Dublin 16 PK  
10th May 1991.

To Principal Officer  
Dublin County Council

Re: Planning No. 91A/0370.  
logged 15/3/91.  
16/5

**OBJECTOR**

Dear Sir,  
I wish to object to  
application for planning  
permission for 24 terraced  
type houses in the Hermitage  
area. The original application  
was for only 14 detached  
houses.

It appears that residents  
of Hermitage Estate will  
not have access to the church  
and school by car, as  
the planned road is too



narrows. This area has  
been totally neglected  
for a number of years  
and the proposed development  
will only lead to further  
congestion of this area.

I trust you will give this  
matter your careful  
consideration and attention

Yours sincerely  
William & Sheila Murray.

COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/370

Letter No.: 195

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Occupiers,  
57 Hermitage Park,  
Rathfarnham,  
Dublin 14

Tel.: (01) 724755  
Fax.: (01) 724896


14 May 1991

Re: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Req. Ref. 89A/0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. & A. Deane Bros. Ltd.

Dear Sir/Madam,

With reference to your representations/objections, I wish to inform you that additional information was requested on the proposal on 13th May, 1991, and particulars of such request have been entered in the Planning Register. The Register is available for inspection at the Planning Department, Irish Life Centre, Lower Abbey Street, Dublin 1, during office hours (9 a.m. to 12.30 p.m. and 2.15 p.m. to 4.30 p.m.) A certified copy of the entry in the register may be purchased on payment of £5.00.

Yours faithfully,

  
\_\_\_\_\_  
for Principal Officer.

COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/370

Letter No.: 238

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Declan P. Small,  
63 Hermitage Drive,  
Grange Park,  
Rathfarnham,  
Dublin 16.

Tel.: (01) 724755  
Fax.: (01) 724896


14 May 1991

Re: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A/0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. & A. Deane Bros. Ltd.

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Yours faithfully,

  
\_\_\_\_\_  
for Principal Officer.

COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/370

Letter No.: 224

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

David Nisbet,  
45 Hermitage Park,  
Rathfarnham,  
Dublin 16.

Tel.: (01) 724755  
Fax.: (01) 724896

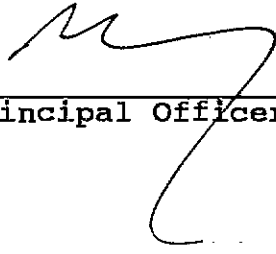
14 May 1991

Re: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A/0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. & A. Deane Bros. Ltd.

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Yours faithfully,

  
\_\_\_\_\_  
for Principal Officer.

COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/370  
Letter No.: 226

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Tommy, Maureen & Sharon Kelly,  
73 Hermitage Drive,  
Rathfarnham,  
Dublin 16.

Tel.: (01) 724755  
Fax.: (01) 724896

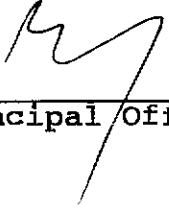
14 May 1991

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Yours faithfully,

  
\_\_\_\_\_  
for Principal Officer.

COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/370

Letter No.: 227

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Paul & Colette Appleby,  
61 Hermitage Drive,  
Rathfarnham,  
Dublin 16.

Tel.: (01) 724755  
Fax.: (01) 724896

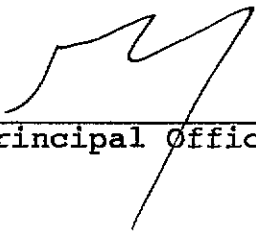
14 May 1991

Re: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A/0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. & A. Deane Bros. Ltd.

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Yours faithfully,

  
\_\_\_\_\_  
for Principal Officer.

COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/370

Letter No.: 220

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Thomas, Jean, Ruth & Jennifer Murphy,  
2 Hermitage Drive,  
Rathfarnham,  
Dublin 16.

Tel.: (01) 724755  
Fax.: (01) 724896

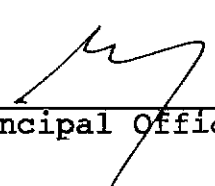
14 May 1991

Re: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A/0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. & A. Deane Bros. Ltd.

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Yours faithfully,

  
\_\_\_\_\_  
for Principal Officer.

COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/370

Letter No.: 260

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Mrs. Anne Hopkins,  
18 Hermitage Drive,  
Rathfarnham,  
Dublin 16.

Tel.: (01) 724755  
Fax.: (01) 724896

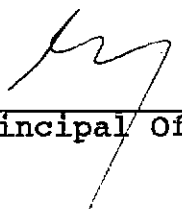
14 May 1991

Re: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A/0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. & A. Deane Bros. Ltd.

Dear Sir/Madam,

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Yours faithfully,

  
\_\_\_\_\_  
for Principal Officer.



COMHAIRLE CHONTAE ATHA CLIATH

Register Reference No.: 91A/370  
Letter No.: 211

Planning Department,  
Block 2, Irish Life Centre,  
Lower Abbey St.,  
Dublin 1.

Kathleen O'Sullivan,  
Secretary,  
Hermitage Residents Association,  
202 Grange Road,  
Rathfarnham,  
Dublin 16.

Tel.: (01) 724755  
Fax.: (01) 724896

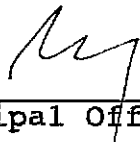
14 May 1991

Re: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A/0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. & A. Deane Bros. Ltd.

Dear Sir/Madam,

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Yours faithfully,



\_\_\_\_\_  
for Principal Officer.

91A/370 18, Hermitage Dr  
Rathfarnham  
Dublin 16  
T15790

(260)

Principal Planning Officer  
Dublin County Council,  
Block 2  
Irish Life Centre,  
Dublin 2.



Objections to Planning No. 91A/0370.  
lodged 15-3-91.

Dear Sir/Madam,

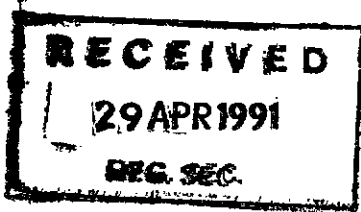
I wish to object to (1) the increase in number of houses in the original application and the change from detached to terraced houses (2) the dangerous condition of the road entrance (3) the width of the planned road and the inaccessibility to the church.

The area at present is a wasteland  
and during the winter months access  
becomes so difficult which does not look  
like being improved with the new planning  
application.

I hope you will consider these objections.

Yours faithfully,

Aime Hopkins (Mrs.),



91A/370

220

2 Hermitage Drive  
Rathfarnham  
Dublin 16.

Dear Sir/Madam,

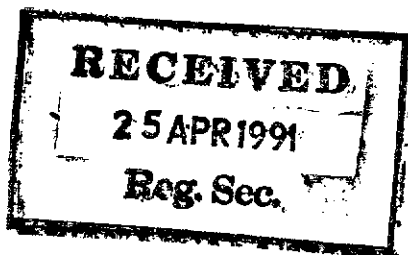
Re. Objections to planning  
No. 91A/0370 - lodged 15/3/91

I object to the above planning application  
The above was for 24 houses, mainly 3/4 bedroom  
terraced at Hermitage lawn, beside Divine  
Nod Church.

My objection are:

The application is a deviation  
from the planning permission for 14 detached  
houses originally approved for the same site  
The density of 24 houses is far too high  
and very little green space for this area.  
The road servicing this development is only  
6 metres wide, and will lead to a lot of  
congestion apart from the fact in the event  
of an accident or emergency it would be  
impossible to negotiate through this road  
during any Church services.

Yours Sincerely  
James Jean-Ruth-Jennifer  
Murphy.



61 Hermitage Drive,  
Rathfarnham,  
Dublin 16.

91A/370

227

22 April, 1991.

Dear Sir/Madam,

We write to object to the application for planning permission submitted by S & A Deane Bros. Ltd. for 24 houses on a previously approved site at Hermitage houses, Hermitage Court, Grange Road, Rathfarnham, Dublin 16.

Our grounds for objection are:

- (i) The application is a major deviation from the outline planning permission for 14 detached houses approved for the same site;
- (ii) The proposed density of housing is much greater than that in Hermitage Estate and the surrounding area;
- (iii) The proposed housing design is out of character with that prevailing in Hermitage Estate and in the immediate vicinity.

Yours sincerely,

Paul & Colette Appleby.



91A/370

226

73, Hermitage Drive,  
Rathfarnham,  
Dublin 16.

24th April, 1991

Dear Sir/Madam,

Re: Objections to Planning No. 91A/O370 - lodged 15.3.91

We are writing to you to object very strongly to the above Planning Application. This Application is for 24 houses, (mainly 3/4 bedrooomed terraced), at Hermitage Lawns, adjacent to Divine Word Church, Marley Grange, Rathfarnham, Dublin 16.

Our grounds for objections are:-

- (1) The application is a major deviation from the outline planning permission for 14 detached houses originally approved for the same site. The density of 24 houses is far too high, and there is certainly not enough green or open space for this development.
- (2) The proposed housing design is not in character with that prevailing in Hermitage Estate and the immediate vicinity.
- (3) The Condition 6 of the original outline permission, Reg. No. 89A/33 stated that the entrance be located at a more northerly location adjacent to the present temporary road, and all details of vehicular and pedestrian routes, together with car parking arrangements for all uses at this location, should be submitted at approval time. This has not been done. We find now that the entrance to the school and the church is being confined to a 4-metre road, going through narrow gates, and then winding its way through a school yard - this all in order to gain access to the Church. Incidentally, even this has not been adequately indicated on any drawings.
- (4) The road servicing this proposed development is only 6-metres wide, and this will certainly lead to a lot of unnecessary congestion during Mass times. Also in the event of an accident or emergency it would be impossible to negotiate through this road during any church services.
- (5) We feel this development should also be completed in its entirety - this to include the 2 Priest's houses, also the hammerhead and road leading up to them. This has not been submitted in this application. We do not want this portion of the development turned into a wasteland wilderness. We also note that the development does not show any public access to the church from the hammerhead to the church yard. We would like the hammerhead at the end of the road to be increased, and would certainly want to gain access to the church yard. The people of Hermitage feel victimized as they have been ignored for years in their attempts to gain access to their church.

Yours sincerely,

*Tommy Kelly, Sharon Kelly*  
Tommy, Maureen & Sharon Kelly  
*Maureen Kelly*

91A/370  
224

PK

Dublin County Council  
Planning Department  
Block 2  
Lr. Abbey St.  
Dublin 1

17th April 1991

**OBJE**

re 91 a\0370

Dear Sirs,

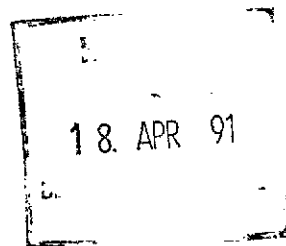
I wish to object to the proposal by S & A Deane Bros ltd to erect 24 houses at Marley Grange, Rathfarnham, for the following reasons.

Outline permission was given on the 9th March 1989 for, inter alia, 16 houses on this site, subject to certain conditions. This proposed development will increase the number of houses to be built, to an unacceptable level. The smaller, and presumably cheaper housing will have a detrimental effect on the value of the existing housing stock in Hermitage Estate (which it adjoins).

The greater number of houses will almost inevitably lead to increased traffic flows on the already very busy roads in Hermitage Estate, creating greater risk of road accidents for children on the estate.

  
Yours faithfully

David Nisbet  
45 Hermitage Park  
Rathfarnham  
Dublin 16.



91A/370  
238

*PK*  
*Leh*  
*2/5*

DUBLIN COUNTY COUNCIL  
PLANNING DEPT.  
RECEIVED  
11 MAY 1991

63 Hermitage Drive,  
Grange Road,  
Rathfarnham,  
Dublin 16  
29th April 1991

OBJECT

Principal Planning Officer,  
Dublin County Council,  
Block 2,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 2.

Dear Sir,

Re: Planning Application No. 91A/0370 of 15th March 1991

With reference above I wish to object to the granting of planning permission in respect of the above application. I believe that to increase the housing density from the original application of fourteen detached houses to the present application for twentyfour terrace type houses would not only be detrimental to the surrounding property values but would also be totally out of character with the remainder of the estate which are all of a similar type and size.

It would also appear that the entire site is not to be developed which would give rise to a waste land come wilderness appearance which could in turn pose a danger to young children residing in the area.

The road entrance to these houses at six metres wide seems very narrow and is likely to prove dangerous. The proposed access road to the Catholic Church for Hermitage residents at four metres is also totally inadequate for pedestrian and vehicular traffic. Indeed the amount of traffic through the estate at present is large and I feel there is no scope for any increase in this.

Yours Faithfully,

*Declan P. Small*  
(Declan P. Small.)



18.5.91.

91A/0370

195

57 Hermitage Park

PK Jan

Rathfarnham  
DUBLIN 14.

DEVELOPMENT  
22 APR 1991  
CONTROL

RECEIVED  
19 APR 91  
DUBLIN CITY COUNCIL  
PLANNING

Deer Co/Dodan

We wish to object to a revised proposal by S+A Deane Bros. Co to erect 24 houses at Marley Grove, Rathfarnham.

We are concerned about the alteration of the outline permission from 16 houses on this site to 24. Our main concern is the increased density will have an unacceptable level of traffic flow into an already congested residential area.

This development is too close to the school and canal exit and we are concerned about the safety of our children

DEVELOPMENT  
& 1991  
CONTROL

DEVELOPMENT  
22 APR 1991  
CONTROL

Yours faithfully

Noreen and Janice  
Noreen

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1953 TO 1962

ASSESSMENT OF FINANCIAL CONTRIBUTION

EG. REF.: 91A-370

CONT. REF.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

REA OF SITE: 2.81 Acres

LOCAL AREA OF PRESENT PROPOSAL:

MEASURED BY:

Mr. Beatty

CHECKED BY:

METHOD OF ASSESSMENT:

(I) Standard

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/  
DATE:

2.81 @ 6000

ENTERED IN CONTRIBUTIONS REGISTER:

= £16,860

(II) roads

DEVELOPMENT CONTROL ASSISTANT GRADE

£800 per unit  
not under luted  
in outline form  
not not under luted

8/8/91  
[Signature]

Security  
50 @ 2000

40p 40,000  
20p 25,000

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 91A370

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
<p>BELGARD H+P 26<sup>TH</sup> MAR 1991</p> <hr/> <hr/>	<p>Noted by Cllr Curmude.</p> <p>Site is a derelict condition</p>		


91A/0370

CERTIFICATE NO:

24594

PROPOSAL: 24 houses  
 LOCATION: "Hermitage Lanes" Hermitage Corner off George Road  
 APPLICANT: S.P.A. Dore Brothers Ltd

1	2	3	4	5	6	7
Dwellings/Area Length/Struct	RATE	AMT. OF FEE REQ.	AMOUNT LODGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO
Dwellings	£232	£768	£768	—		
	£216					
	£200 per M <sup>2</sup> in excess of 300M <sup>2</sup> Min. £40					
metres <sup>2</sup>	£21.75 per M <sup>2</sup> or £40					
x .1 hect.	£225 per hect. or £250					
x .1 hect.	£225 per hect. or £250					
x .1 hect.	£225 per hect. or £250					
	£2100					
x metres <sup>2</sup>	£210 per M <sup>2</sup> or £40					
x 1,000m <sup>2</sup>	£215 per 1,000m <sup>2</sup> or £40					
x .1 hect.	£25 per hect. or £40					

Ann 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_  
 Ann 1 Endorsed: Signed:  Grade: 8.0 Date: 21/3/91  
 Ann 2,3,4,5,6 & 7 Certified Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_  
 Ann 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

REF. NO.: 91A/0370 CERTIFICATE NO.: 14285B

PROPOSAL: 24 houses

LOCATION: Hermitage launde, Hermitage Court off George Road

APPLICANT: S.P.A. Doone Brothers Ltd

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	€ 555	1320	1320	—		
B	Domestic Ext. (Improvement/Alts.)	€ 230					
C	Building for office or other comm. purpose	€ 23.50 per M <sup>2</sup> or 270					
D	Building or other structure for purposes of agriculture	€ 21.50 per M <sup>2</sup> in excess of 300 M <sup>2</sup> Min. 270					
E	Petrol Filling Station	€ 200					
F	Dev. of prop. not coming within any of the foregoing classes	270 or 29 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 21/3/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ /  
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

DUBLIN COUNTY COUNCIL

REG. REF: 91A/0370  
DEVELOPMENT: 24 no. houses (10 no. 3 bed/14 no. 4 bed) on previously approved site (Reg. Ref. 89A/33)  
LOCATION: "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham  
APPLICANT: S & A Deans Bros. Ltd.  
DATE LODGED: 11/6/91

This submission is additional information. We refer to the previous Roads Report dated 10/5/91.

If permission is being granted it should be subject to:

1. Footpath to be extended on Hermitage Park across the width of the proposed road and dished to provide access. The detailed design to be agreed with the Roads Department prior to commencement of development. The works are to be carried out to the satisfaction of the Area Engineer, Roads Maintenance.
2. Cul-de-sac carriageway to be extended to the limit of the site at the boundary of the Church grounds. No wall or other boundary to be built across the width of the road.
3. Kerb radii at the school access road to be 6.0m.
4. Detailed design dimensions of the right angled bends and the cul-de-sac turning bay to be to the requirements of the Roads Department.
5. A financial contribution, in the sum of money equivalent to the value of £19,200 as on 1st January, 1991, updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

GC/AW  
6/8/91

SIGNED: Garrett Cuno

DATE: 6/8/91

ENDORSED: Garrett Cuno  
PP Sam Slack

DATE: 6/8/91

**COMHAIRLE CHONTAE ÁTHA CLIATH**

**Record of Executive Business and Manager's Orders**

16,800  
 Roads: 800 per  
 here  
 S. Serv:  
 Open Space: 300  
 out.  
 Other:  
 SECURITY:  
 Bond/C.I.F.:  
 Cash:

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.)  
on previously approved site (Reg. Ref. 89A-0033) at  
"Hermitage Lawns", Hermitage Court, Grange Road,  
Rathfarnham for S. and A. Deane Bros. Ltd.

Frank Elmes & Co.,  
 2, Waldemar Terrace,  
 Main Street,  
 Dundrum,  
 Dublin 14.

Reg. Ref. 91A-0370  
 Appl. Rec'd: 15.03.1991  
 Floor Area:  
 Site Area: 2.9 acres.  
 A. I. Rec'd: 11.06.1991

Report of the Dublin Planning Officer, dated 2 August 1991

This is an application for PERMISSION. The proposed development consists of 24 no. houses (10 no. 3 bed and 14 no. 4 bed) on previously approved site (Reg. Ref. 89A-0033) at Hermitage Court, Grange Road, Rathfarnham. The applicant is S. and A. Deane Bros. Ltd. who are stated to have a freehold interest in the site.

Under Reg. Ref. 89A-0033 outline permission was granted for 16 no. houses, a community centre site and new boundary treatments to existing school and church at Marley Grange (Decision order P/868/89, dated 9th March, 1989) on a larger site which included the site affected by the current application.

Other applications relevant in considering the present application include the following:

Reg. Ref. 89A-2017 permission granted for the proposed erection of wall and fence boundary treatments to existing school and church at Marley Grange. The boundary treatment around the school and church site has since been erected although not completely in accordance with the permission granted. The modifications carried out are, however, minor.

Reg. Ref. 90A-1879 relates to an application on the adjoining site to the south, currently before the Council. The proposed development consists of the change of design of previously approved development at Eden Grange Road, Rathfarnham, Dublin 16, comprising a mixed development of houses, apartments and shops with offices overhead. A request for clarification of additional information submitted by the applicant was made in a letter dated 15th July, 1991.

The site of the proposed house is presently a field.

The rear gardens associated with detached houses at Hermitage Park adjoin the site to the west. Mature trees form the southern boundary of the site. I noted while on site inspection that a certain amount of dumping of soil has occurred on the site.

(Continued)



# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros. Ltd.

(Continued)

The proposed development consists of 24 no. houses, 20 of which are comprised in terraces consisting of 4 no. houses. The proposed housing density is 10.6 houses per acre (9.6 if one includes the area to be ceded to Dublin County Council for public open space). Access to the site is proposed off Hermitage Park. A vehicular access way to the school from this road is indicated on the site plan.

The proposed road is a cul de sac 6 metres in width for the most part. The head of the cul de sac ends approx. 12 metres west of the church. House plans originally had been submitted for one terrace of houses and a discrepancy was noted between the floor plans and the site layout plan with regard to the position of a kitchen extension to the rear. No house plans were originally submitted for the detached or semi-detached houses. Proposed finishes include brick on the front elevation. No tree survey was submitted as part of the original application showing what trees are to be retained on the southern boundary of the site.

An area of land which measures 0.25 acres adjoins the site to the north west. It is stated that this area is under contract to purchase freehold and will be handed over to Dublin County Council Parks Department. There are presently problems relating to access to both the school and church from Hermitage Estate. The problems arise from the fact that there is no direct vehicular route to the school and church and people have to exit onto Grange Road to get into Marley Grange. I understand that vehicles have been driving across a pedestrian pathway to get to the school and church from Hermitage which is unacceptable and is causing concern to residents in the area particularly those living in Grange Manor Close.

If vehicular access can be provided through the proposed development to give access to both the school and church from Hermitage the situation would be improved significantly.

### REPORTS

The contents of the Parks report dated 3rd May, 1991 have been noted.

The Sanitary Services report dated 8th May, 1991, states that services are available.

The Roads report dated 10th May, 1991, states the following:-

(Continued)

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros. Ltd.

(Continued)

1. The proposed road serving the development should be increased from 6.0 m. to 6.5 m. in width;
2. The proposed junction details are unsatisfactory and roads would require that the treatment of this junction would clearly establish the priority of traffic on the existing road over the traffic in the proposed cul de sac.
3. The access gate to the school should be a minimum width of 4.8 m.
4. The access roadway should be constructed as far as the site of the church, to facilitate access to the church. A controlled access gate at this point should be provided to prevent the creation of a rat run.
5. The applicant should be conditioned to make a financial contribution of £800 per house towards traffic management, and road improvement schemes in the area. The roads engineer for the area has confirmed that this money is required for improvements of the Grange Road.

A number of letters of objection to the proposed development have been received and these have been noted. The main grounds of objection relate to the increased number of houses proposed on the site and the lack of public access between Hermitage Estate and the Church through the development.

The following additional information was requested of the applicant in a letter dated 13th May, 1991.

1. The applicant is requested to submit floor plans for the detached and semi-detached houses. The applicant is also requested to clarify the discrepancy noted between the floor plans of the terraced house and the block plan of the site with regard to the location of the proposed kitchen.
2. The applicant is requested to demonstrate that minimum Development Plan Standards with regard to space about dwellings can be provided (10.7 m. minimum of rear garden and 7.5 metre minimum long driveway). It should be noted that some of the proposed houses have rear gardens which are less than the required length and that some of the proposed houses may have to be reduced in depth.

(Continued)

## COMHAIRLE CHONTAE ÁTHA CLIATH

### Record of Executive Business and Manager's Orders

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros. Ltd.

(Continued)

3. The applicant is requested to submit a tree survey showing the location, spread, condition of trees along the southern boundary of the site. The applicant should indicate what trees it is proposed to retain as part of the development and what trees it is proposed to remove.
4. The applicant is requested to indicate if he is willing to provide a vehicular access gate to the church site at the top of the proposed road and if so to (i) submit details of the proposed vehicular access point, (ii) submit a letter from the parish priest indicating his consent to the proposed vehicular access point and stating that the church would control this access point, (iii) submit details showing a hard surfaced area over which cars could traverse between the proposed vehicular access point and the church car park and indicate whether the applicant would be willing to provide this, (iv) to submit a revised advertisement in the following form:  
  
"County Dublin - permission sought for 24 no. houses (10 no. 3 bed/14 no. 4 bed) on previously approved site (Reg. Ref. 89A-0033) and for vehicular access gate to serve the church at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham. S. & A. Deane Bros. Ltd."
5. The applicant is requested to indicate if he is prepared to modify the proposed layout to incorporate a carriageway 6.5 metres in width, and if he is so prepared to submit a revised layout indicating the same.
6. The applicant is requested to submit details of proposed treatment of the area of land along the proposed road and to submit details of proposed access way to the school.
7. The existing vehicular entrance to the school from the site should measure at least 4.8 metres in width. The applicant is requested to demonstrate that this can be provided.

This additional information was subsequently submitted to this Department on 11th June, 1991.

The applicant has responded to the request for additional information as follows:

Item 1: The applicant has submitted the floor plans as requested. The discrepancy noted has also been clarified satisfactorily.

(Continued)

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros. Ltd.

(Continued)

Item 2: It is stated that all houses will have minimum rear garden depth of 10.7 metres and a minimum driveway of 7.5 metres.

Item 3: The applicant has submitted a tree survey of the site as well as a landscaping plan for the proposed development. It is stated that the trees (i.e. trees nos. 114-120) along the southern boundary are located on the adjoining property. There are no mature trees within the boundaries of the site. There is an existing hedgerow along the eastern boundary with the school which it is proposed to retain.

Item 4: The applicant states that it is not their intention to provide a vehicular access gate to serve the church site.

Item 5: The applicant has modified the proposed layout to provide for a 6.5 metre wide access road as requested. It is noted that the drawing which has been submitted showing this modification (i.e. Drawing No. DB/91/03R) does not show the road extending as far as the eastern site boundary (i.e. where the site adjoins church grounds).

Item 6: The applicant states that the proposed access way to the school will be finished to the same standard as the access road and will be brought as far as the existing entrance to the school.

Item 7: The applicant states "... that any widening of the existing school entrance is beyond the scope of works required by Deane Bros..."

The Roads Department have reported (date 6th August, 1991) that certain conditions should be attached to any decision to grant permission.

The principle of housing development on this site has already been established under Reg. Ref. 89A-0033.

The proposed development which consists of 24 houses and resulting in an effective density of 9.6 houses per acre is considered acceptable.

The proposed front elevation would in my opinion be improved by the replacement of the brick finish at first floor level by a painted rendered finish, similar to the houses on Marley. The proposed development will provide for an additional area of public open space adjacent to the developed open space. In order to facilitate access between Hermitage Estate and the church, the applicant should be

(Continued)

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Req. Ref. 89A-0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros. Ltd.

(Continued)

conditioned to construct the proposed access road as far as the eastern boundary of the site where it adjoins the church site.

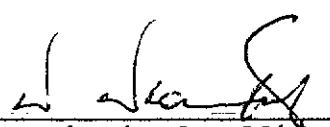
The applicant should also be conditioned to leave the eastern boundary of the site open for the full width of the proposed road. The proposed road should be fully constructed prior to the occupation of any of the houses.

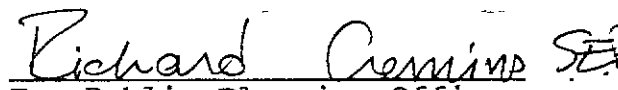
The proposed development conforms with the provisions of the development plan and is considered acceptable.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (29) conditions:-

MOS  
(MOS/DK)

(Conditions attached)

Endorsed:-   
for Principal Officer

  
For Dublin Planning Officer

7.8.91

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to GRANT PERMISSION for the above proposal subject to the (29) conditions set out above is hereby made.

Dated:  August, 1991.

Approved Officer.

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 6th August, 1991.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros. Ltd.

### CONDITIONS

### REASONS FOR CONDITIONS

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by additional information submitted on 11th June, 1991, save as may be required by the other conditions attached hereto.

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

2. In order to comply with the Sanitary Services Acts, 1878-1964.

3. That each proposed house be used as a single dwelling unit.

3. To prevent unauthorised development.

4. That a financial contribution in the sum of £ 16,860 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

4. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

5. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car parks, Sewers, Watermains and Drains, has been given by:-

5. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros. Ltd.

### CONDITIONS

### REASONS FOR CONDITIONS

a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £40,000 which shall be renewed by the developer from time to time as required during the course of the development and kept in force by him until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.

OR.....

b. Lodgement with the Council of a Cash Sum of £25,000 to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specification.

OR.....

c. Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

6. That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

6. To protect the amenities of the area.

7. That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

7. In the interest of amenity.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros. Ltd.

### CONDITIONS

### REASONS FOR CONDITIONS

8. That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by the County Council.

8. In the interest of amenity and public safety.

9. That no dwelling house be occupied until all the services have been connected thereto and are operational.

9. In the interest of the proper planning and development of the area.

10. That the area shown as open space (i.e. areas along the access roadway and area outlined in blue and coloured green on site layout map (Drawing No. db/91/03)) be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.

10. In the interest of the proper planning and development of the area.

11. That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

11. In order to comply with the Sanitary Services Acts 1878-1964.

12. That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council, Sanitary Services Department and that the cost thereof be paid to the County Council before any development commences.

12. To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

13. That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

13. In the interest of the proper planning and development of the area.



# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros. Ltd.

### CONDITIONS

### REASONS FOR CONDITIONS

14. That screen walls in block or similar durable materials not less than 2 metres high, suitably capped and rendered, be provided at the necessary locations so as to screen rear gardens from public view. The specific locations and extent of walling must be fully discussed and agreed with the County Council before construction. Timber fencing is not acceptable.

14. In the interest of visual amenity,

15. That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development, until taken in charge by the Council.

15. In the interest of the proper planning and development of the area.

16. A landscape plan with full works specification and bill of quantities etc., shall be submitted to and agreed with the Planning Authority before the commencement of development. Such plan shall include regrading, drainage, topsoiling, seeding, tree and shrub planting, pedestrian paths and details of maintenance.

16. In the interest of the proper planning and development of the area.

OR....

In lieu of the open space being developed by the applicants, a financial contribution of £300. per house shall be paid to the county Council to enable this work to be carried out. This cost to be paid on a phased basis as agreed with the Planning Authority.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros. Ltd.

### CONDITIONS

### REASONS FOR CONDITIONS

17. That the proposed access road be 6.5 metres wide. This road and the footpath and grass verge are to be constructed as far as the eastern boundary of the site where it adjoins the church grounds (as shown on site layout plan drawing no. db/91/03, submitted on 15th March, 1991). The east boundary of the site is to remain open for the full width of the road, and no boundary is to be erected, *without the agreement of the Planning Authority.*

17. To facilitate vehicular access to the church.

18. That no house be occupied until the proposed access road way is completely constructed as far as the eastern boundary of the site.

18. To facilitate vehicular access to the church.

19. That the front boundary treatment of each house site shall consist of a 1.00 metre high brick wall.

19. In the interest of the proper planning and development of the area.

20. That the external finish on the front elevations of the proposed houses shall consist of a painted rendering at first floor level.

20. In the interest of the proper planning and development of the area.

21. That the 'optional' conservatory indicated on some of the house plans be omitted from the proposed development, and that no extensions, sheds, porches, conservatories, greenhouses, etc. be erected on the site without the prior approval of the Planning Authority.

21. In the interest of the proper planning and development of the area.

22. That details of proposed boundary treatment along the southern boundary of the site be submitted and agreed in writing prior to the commencement of development on the site. The applicant should note that any proposed boundary treatment should not interfere with the stability of any of the trees on the adjoining site.

22. In the interest of the proper planning and development of the area.

R.C.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Req. Ref. 89A-0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros. Ltd.

### CONDITIONS

### REASONS FOR CONDITIONS

23. That details of the junction of the proposed access road and Hermitage Road are to be submitted and agreed in writing with the Planning Authority prior to the commencement of development. The applicant is to provide a dished footpath across the entire width of the proposed new road. This footpath is to link in with the existing footpath on Hermitage Park.

23. To establish the priority of traffic at Hermitage Park and in the interest of traffic safety.

The applicant is advised to consult with the Roads Department with regard to its requirements prior to making a compliance submission.

~~24. That a financial contribution in the sum of £800 per house be paid by the proposer to the Dublin County Council towards the cost of road improvements in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.~~

~~24. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.~~

25. Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

25. In the interest of reducing air pollution.

26. That kerb radii at the school access road is to be 6.0 m.

26. In the interest of the proper planning and development of the area.

27. Detailed design dimensions of the right angled bends and the cul de sac turning bay to be to the requirements of the Roads Department.

27. In the interest of the proper planning and development of the area.

28. Any poles which are required to be relocated as a result of the proposed development are to be moved at the applicants expense.

28. In the interest of the proper planning and development of the area.

*Handwritten notes:*  
D  
See Council  
over

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros. Ltd.

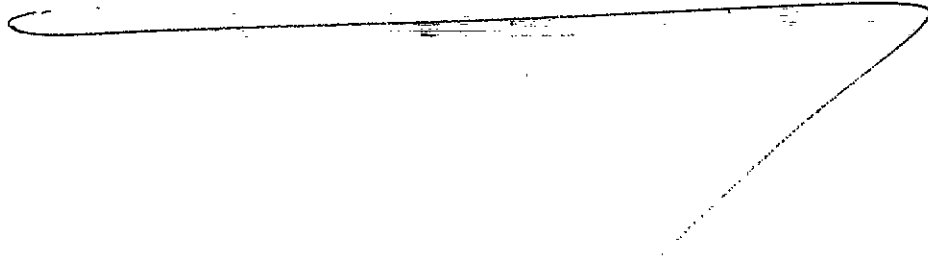
CONDITIONS

REASONS FOR CONDITIONS

29. All areas of open space are to be fenced off and protected from site development works and not be used for storage of soil, building materials, etc.

29. In the interest of the proper planning and development of the area.

24 ~~23~~. The area of land covered from <sup>24</sup>~~23~~ on the interest of amenity or Reg No dt/91/03 submitted with the application be related to the ~~to be~~ submitted for consent prior to commencement of development of the site.



DUBLIN COUNTY COUNCIL

REG. REF: 91A/0370

DEVELOPMENT: 24 no. houses (10 no. 3 bed/14 no. 4 bed) on previously approved site (Reg. Ref. 89A/33)

LOCATION: "Hermitage Lawns", Hermitage Court, Grange Road, Barnfarnham

APPLICANT: S & A Deans Bros. Ltd.

DATE LODGED: 11/6/91

This submission is additional information. We refer to the previous Roads report dated 10/5/91.

If permission is being granted it should be subject to:

1. Footpath to be extended on Hermitage Park across the width of the proposed road and dished to provide access. The detailed design to be agreed with the Roads Department prior to commencement of development. The works are to be carried out to the satisfaction of the Area Engineer, Roads Maintenance.
2. Cul-de-sac carriageway to be extended to the limit of the site at the boundary of the Church grounds. No wall or other boundary to be built across the width of the road.
3. Kerb radii at the school access road to be 6.0m.
4. Detailed design dimensions of the right angled bends and the cul-de-sac turning bay to be to the requirements of the Roads Department.  $\approx (24 \times 800)$
5. A financial contribution in the sum of money equivalent to the value of £19,200 as on 1st January, 1991, updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

CC:AW  
6/8/91

SIGNED: Garrett Curran

DATE: 6/8/91

ENDORSED: Garrett Curran  
PP Sam Stack

DATE: 6/8/91

*[Handwritten signature]*

# Hermitage Residents Association

RATHFARNHAM

OBJI

202 Grange Road  
Rathfarnham,  
Dublin 16.  
July 18th 1991

Principal Planning Officer,  
Dublin County Council,  
Block 2,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

Re. Dean Bros. Developments.  
Hermitage Estate Rathfarnham.  
Ref. No. 91a/0370

Dear Sir,

On behalf of the above Residents Association I wish to register our objections to the modified development as outlined by the developer in response to your letter to him of 13th May 1991.

Our grounds for objection are:

- 1) The increase of density from 14 detached + 2 priests houses to 24 terrace type + 2 priests houses. The application is a major deviation from the original outline planning permission approved for the same site. Furthermore the terrace type houses are not in keeping with existing houses in Hermitage Estate.
- 2) The entrance from Hermitage Estate to the development shown on drawings appears to be dangerous. This would be better located near to the old temporary road. Condition 6 of the original outline permission, Reg. No. 89A/33 stated that the entrance be located at a more northerly location adjacent to the present temporary road, and all details of vehicular and pedestrian routes, together with car parking arrangements for all uses at this location be submitted at approval time.
- 3) A right of way to the church should be made a condition of planning and the road built entirely right up to the church grounds. The driveway to the church carpark to be controlled by the church, gates or barrier opened for Mass and other occasions.
- 4) Permanent pedestrian access should be provided to the church including paths etc.

5) At least 9 car parking spaces should be provided in front of the priests houses as per original outline planning. These spaces can be used in the event of <a> turning circle <b> visiting church when barrier closed <c> visiting priests house.

6) While the road is increased in the new additional information from 6m. to 6.5m. a 7 metre road would be more desirable, as this road services the church and school. While this road serves as an access road to both school and church it cannot be classified as a cul de sac for the purposes of road width parameters.

You will note that objections 3 to 6 above all focus on the issue of right of way and vehicular access by the Hermitage Residents to their local Catholic Church. I must convey the Residents extreme concern about the possibility that they would be effectively cut off from traditional access to their church as a result of the development in its present form. Already very strong emotions has been engendered by the placing of boulders on the current temporary road over which Hermitage Residents could drive to their church.

Hermitage Residents prize highly their right to drive to their church particularly during bad weather. If this right is snatched from them arising from the proposed development it will mean that residents will have to follow a very round about route to reach their local church. Access by car is essential for Hermitage Residents and it would be grossly unfair to deprive them of this right.

I trust that in the interests of good planning that you will make it a condition of planning that right of way to the church is maintained right up to the church grounds based on a road width of 7 metres.

My Association would welcome the opportunity to reinforce our strong objections to this development by way of a meeting if possible. Perhaps you would let me know if you would be willing to meet us as soon as possible.

Yours Sincerely

*Kathleen O'Sullivan*

Kathleen O' Sullivan  
Secretary

---

DUBLIN COUNTY COUNCIL

REG. REF: 91A/370.  
LOCATION: "Hermitage Lawns," Rathfarnham  
APPLICANT: S & A Deane Bros. Ltd.  
PROPOSAL: 24 no. houses.  
DATE LODGED: 15.3.91.

Proposal is for a 26 house development on a site single sided frontage cul-de-sac. Roads would require a 6.5m road width not 60m as shown.

The road junction details with the existing housing access road is not satisfactory in that it gives a perceived right of way into the cul-de-sac. Roads would require that the junction be treated to establish the existing priority. This should be done by the creation of a footpath linking the pedestrian routes adjacent the site. This path should be continued and dished across the site entrance. The location of a suitably positioned set of gate piers should also be considered.

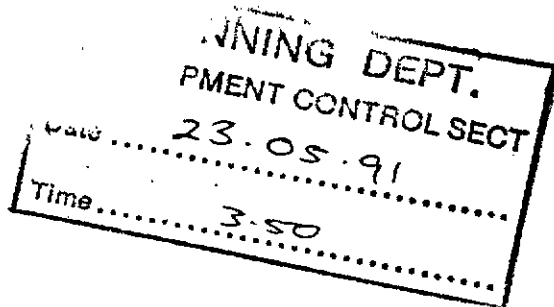
It is noted an access to the school is proposed. If the access is proposed to be vehicular roads would require that the gate width be a minimum of 4.8m.

There is also a possibility of access to the church site from the development especially as the last two houses are associated with the church. If this is to be then Roads would require that the road be constructed to the church/site boundary line and that a controlled access (gate) be provided to prevent the creation of a rat run. This should be addressed as large scale on street parking could result on the proposed road otherwise.

Roads require a contribution of £800 per unit towards traffic management, pedestrian/vehicular segregation and road improvement.

The comments above might be best addressed by a request for additional information on the specific points raised.

EM/BMcC  
10.5.91.



SIGNED: \_\_\_\_\_

ENDORSED: *E. Madden*

DATE: \_\_\_\_\_

DATE: *10<sup>th</sup> May '91*



SS only

2

Register Reference : 91A/370

Date : 2/4/91

Development : 24 no houses (10 no 3 bed / 14 no 4 bed) on prev. app  
 LOCATION : "Hermitage Lawns", Hermitage Court, Craze Rd. <sup>sta (89A/33) collected</sup>  
 Applicant : St A Deane Bros. Ltd.  
 App. Type : P/38L

Planning officer :

Date Recd. : 15/3/91

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN Co. COUNCIL  
 - 4 APR 1991  
 SAN SERVICES.

DUBLIN CO. CO  
 SANITARY SER.  
 PRINCIPAL OFFICER  
 10 MAY 1991  
 Returns *[Signature]*

Date received in Sanitary Services

FOUL SEWER

Available.

PLANNING DEPT.  
 DEVELOPMENT CONTROL SECT  
 Date 17.4.91

SURFACE WATER

Available.

*[Signature]* 6/5/91

SENIOR ENGINEER,  
 SANITARY SERVICES DEPARTMENT,  
 46/49 UPPER O'CONNELL STREET,  
 DUBLIN 1

*[Signature]*  
 8/5/91

Register Reference : 91A/370

Date : 2/4/91

ENDORSED \_\_\_\_\_

DATE \_\_\_\_\_

WATER SUPPLY \_\_\_\_\_

Available. Proposed main is to furnish  
in a deck foot hydrant.

WOSullivan  
5/4/91

JMM 5/24/91

ENDORSED \_\_\_\_\_

DATE \_\_\_\_\_

*[Handwritten signature]*

9/5/91

John THOMSON

propose to construct  
road as far as  
boundary of site  
not to erect any boundary  
either into a S. Apleen  
along Church to  
create a ~~cut~~  
vehicular way  
to the Church grounds  
from the prop. new  
Road.

to be used to the  
Church from Hemmings  
estate.

① boundary tract  
on S. side - should  
include north tree

② ment

③ my remedial work  
should be undertaken  
with adjoining lands  
to make trees safe

④  $\frac{1}{2}$  brick  $\frac{1}{2}$  inch

columns to have

no other details

Roofs ?

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros. Ltd.

Frank Elmes & Co.,  
2, Waldemar Terrace,  
Main Street, Dundrum,  
Dublin 14.

Reg. Ref. 91A-0370  
Appl. Rec'd: 15.03.1991  
Floor Area:  
Site Area: 2.9 acres  
Zoning:

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Report of the Dublin Planning Officer, dated 10 May 1991

This is an application for PERMISSION. The proposed development consists of 24 no. houses (10 no. 3 bed and 14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) at Hermitage Court, Grange Road, Rathfarnham. The applicant is S. and A. Deane Bros. Ltd. who are stated to have a freehold interest in the site.

Under Reg. Ref. 89A-0033 outline permission was granted for 16 no. houses, a community centre site and new boundary treatments to existing school and church at Marley Grange (Decision order P/868/89, dated 9th March, 1989) on a larger site which included the site affected by the current application.

Other applications relevant in considering the present application include the following:

Reg. Ref. 89A-2017 permission granted for the proposed erection of wall and fence boundary treatments to existing school and church at Marley Grange. The boundary treatment around the school and church site has since been erected although not completely in accordance with the permission granted. The modifications carried out are, however, minor.

Reg. Ref. 90A-1879 relates to an application on the adjoining site to the south, currently before the council. The proposed development consists of the change of design of previously approved development at Eden Grange Road, Rathfarnham, Dublin 16, comprising a mixed development of houses, apartments and shops with offices overhead. Additional Information requested of the applicant in a letter dated 20th December, 1990, has not been responded to and this application has, therefore, not been determined to date.

The site of the proposed house is presently a field.

The rear gardens associated with detached houses at Hermitage Park adjoin the site to the west. Mature trees form the southern boundary of the site. I noted while on site inspection that a certain amount of dumping of soil has occurred on the site.

(Continued)

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros. Ltd.

(Continued)

The proposed development consists of 24 no. houses, 20 of which are comprised in terraces consisting of 4 no. houses. The proposed housing density is 10.2 houses per acre (~~10.8 if one includes the reserved site with 2 houses~~). Access to the site is proposed off Hermitage Park. A vehicular access way to the school from this road is indicated on the site plan.

The proposed road is a cul de sac 6 metres in <sup>width</sup> ~~length~~ for the most part. The head of the cul de sac ends approx. 12 metres west of the church. House plans have only been submitted for one terrace of housing and a discrepancy is noted between the floor plans and the site layout plan with regard to the position of a kitchen extension to the rear. No house plans have been submitted for the detached or semi-detached houses. Proposed finishes include brick on the front elevation. It is noted some of the houses have rear gardens which fall short of the development plan standards. No tree survey has been submitted showing what trees are to be retained on the southern boundary of the site.

Z.C. An area of land which measures 2.5 acres adjoins the site to the north west. It is stated that this area is under contract to purchase freehold and will be handed over to Dublin County Council Parks Department. There are presently problems relating to access to both the school and church from Hermitage Estate. The problems arise from the fact that there is no direct vehicular route to the school and church, and people have to exit onto Grange road to get into Marley Grange. <sup>witness that</sup> Vehicles have been driving across pedestrian pathways to get to the school and church from Hermitage which is unacceptable and is causing concern to residents in the area particularly those living in Grange Manor Close.

If vehicular access can be provided through the proposed development to give access to both the school and church from Hermitage the situation would be improved significantly.

### REPORTS

There is no report available from the Sanitary Services Department at the time of writing. *cc Roads*

The ~~Roads~~ report dated \_\_\_\_\_ states \_\_\_\_\_

(Continued)

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros. Ltd.

(Continued)

The report of the Senior Parks Superintendent dated 3rd May, 1991, has been noted.

A number of letters of objection to the proposed development have been received and these have been noted. The main grounds of objection relate to the increased number of houses proposed on the site and the lack of public access between Hermitage Estate and the Church through the development.

Before a decision is made on this application,

I recommend that **ADDITIONAL INFORMATION** be requested from the applicant with regard to the following:-

1. The applicant is requested to submit floor plans for the detached and semi-detached houses. The applicant is also requested to clarify the discrepancy noted between the floor plans of the terraced house and the block plan of the site with regard to the location of the proposed kitchen.
2. The applicant is requested to demonstrate that minimum Development Plan Standards with regard to space about dwellings can be provided (10.7 m. minimum of rear garden and 7.5 metre minimum long driveway). It should be noted that some of the proposed houses have rear gardens which are less than the required length and that some of the proposed houses may have to be reduced in depth.
3. The applicant is requested to submit a tree survey showing the location, spread, condition of trees along the southern boundary of the site. The applicant should indicate what trees it is proposed to retain as part of the development and what trees it is proposed to remove.
4. The applicant is requested to indicate if he is willing to provide a vehicular access gate to the church <sup>site</sup> ~~from~~ the proposed road and if so to (i) submit details of the proposed vehicular access point, (ii) submit a letter from the parish priest indicating his consent to the proposed vehicular access point and stating that the church would control this access point, (iii) submit details showing a hard surfaced area over which cars could traverse between the proposed vehicular access point and the <sup>car</sup> ~~car~~ park and indicate whether the applicant would be willing to provide this, (iv) to submit a revised advertisement in the following form:

(Continued)

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros. Ltd.

(Continued)

"County Dublin - permission sought for 24 no. houses (10. no. 3 bed/14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) and for vehicular access gate to serve the church at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham. S. & A. Deane Bros. Ltd."

5. The applicant is requested <sup>to indicate if he is prepared</sup> to modify the proposed layout to incorporate a carriageway 6.5 metres in width, <sup>if he is so prepared</sup>
6. The applicant is requested <sup>to submit a revised layout indicating the same.</sup> to submit details of proposed treatment of the area of land along the proposed road and to submit details of proposed access way to the school.
7. The existing vehicular entrance to the school from the site should measure at least 4.8 metres in width. The applicant is requested to demonstrate that this can be provided.

(MOS/DK)

Endorsed:- [Signature]  
for Principal Officer

Richard Creamer S.E.P.  
For Dublin Planning Officer

13.5.91

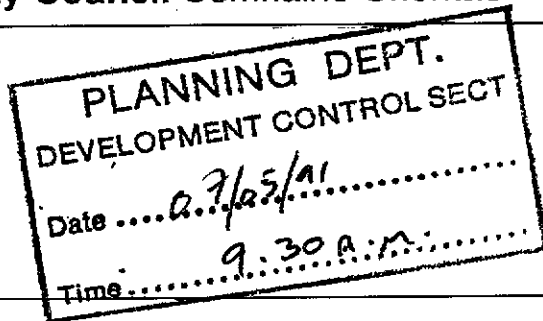
Order:- I direct that ADDITIONAL INFORMATION be requested from the applicant for planning permission as set out in the above report and that notice thereof be served on the applicant.

Dated: 17 May, 1991.

K. O'Sullivan  
Assistant City and County Manager

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 26th April, 1991.





Bosca 174  
P. O. Box 174  
5 Rae Gardiner,  
5 Gardiner Row,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)727777  
Fax. (01)727530

Mr. D. Drumgoole,  
Senior Administrative Officer,  
Planning Department,  
Dublin County Council.

Our Ref.  
Your Ref.  
Date 03.05.1991

RE: Housing at Hermitage Lawns, Grange Road, Rathfarnham.  
Reg. Ref. 91A/370.

With reference to this application, the Parks Departments comments are;

- 1 According to drawing No. db/91/03, there is no public open space shown within the curtilage of the applicant's site as outlined in red. A number of areas of land are shown alongside the boundary with the school grounds, with an access road to the school shown crossing from the estate distributor road. The applicants have not submitted any details concerning the vehicular access, and it will be important to clarify who is responsible for the construction of the road and a timescale for its completion.
- 2 The area of land outlined in blue with this application, is stated to be under contract to purchase freehold, and will be transferred to the County Council for open space. This proposal is acceptable to the Parks Department as these lands will integrate with the existing open space in Hermitage Park. This area of land should be transferred to the Council on the grant of permission for this development.
- 3 A landscape plan with full works specifications, bill of quantities including details of maintenance to be submitted and agreed with the County Council prior to the commencement of development. Alternatively, a financial contribution of £300 per house to be provided towards open space development on a phased basis with the development levy.

- 4 A scheme of street tree planting to be submitted and agreed with the County Council prior to the commencement of development.
- 5 The area of open space to be fenced off and protected from site development works, and not used for storage of spoil, builders material, etc.

*James Bonell*  
-----  
SENIOR PARKS SUPERINTENDENT

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 91A 370

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
<p>BELGARD H+P <u>23/4/91</u></p>	<p>Noted by Cllr Muldoon Cllr O'Rourke Recommended Refusal</p> <p>Objects to increase from 16 Houses (- outtings Rumour) to 24. - Also must take overall view of estate as a whole. - Terrible problems in estate with access to school/church</p> <p>also cars driving over green area</p> <p>Can applicants withdraw application?</p> <p>Terrible traffic problems at school times + with weddings funerals etc at church</p> <p>Church/School should have separate access</p>		

DUBLIN COUNTY COUNCIL

PLANNING AND BUILDING CONTROL DEPARTMENTS

Register Reference : 91A/0370

Date Received : 15th March 1991

Applicant : S & A Deane Bros. Ltd

Appl.Type : PERMISSION/BUI

Development : 24 no houses(10 no. 3 bed/14 no. 4 bed) on previously approved site (Reg.Ref. 89A/33)

LOCATION : "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham.

PLEASE INDICATE THE DEPARTMENTS/PUBLIC BODIES TO WHICH THIS APPLICATION SHOULD BE REFERRED.

SANITARY SERVICES DEPT.	<input checked="" type="checkbox"/>	WATER [ ]	
		FOUL SEWER [ ]	
		SURFACE WATER [ ]	
ROADS DEPT.	<input checked="" type="checkbox"/>	ENVIRONMENTAL HEALTH OFFICER	<input type="checkbox"/>
PARKS DEPT.	<input checked="" type="checkbox"/>	DEVELOPMENT PLAN TEAM	<input type="checkbox"/>
FIRE OFFICER	<input type="checkbox"/>	DEVELOPMENT DEPT.	<input type="checkbox"/>
AN TAISCE	<input type="checkbox"/>	BORD FAILTE	<input type="checkbox"/>
AN COMHAIRLE EALAOIN	<input type="checkbox"/>	OFFICE OF PUBLIC WORKS	<input type="checkbox"/>
DEPARTMENT OF DEFENCE	<input type="checkbox"/>	DUBLIN CORP.WATERWORKS DEPT.	<input type="checkbox"/>
FORWARD PLANNING	<input type="checkbox"/>	OTHER [SPECIFY]	<input type="checkbox"/>
ZONING	<input type="checkbox"/>	HISTORY REQUIRED	<input checked="" type="checkbox"/>

Ry  
5/4

REFER TO M.O.S EXECUTIVE PLANNER. REFER TO .....EXECUTIVE ENGINEER

NOTES.....  
.....  
.....

SIGNED R.C. S.E.D.C. SIGNED ..... S.E.E.  
DATE 4.4.91

25 MAR 1991

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.

Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

Telephone: 773066

Telephone: 724755  
Extension: 231/234

21st January 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: "Hermitage Lawns", Hermitage Court, Grange Rd, Rathfarnham  
PROPOSED DEVELOPMENT: 24 no. houses on prev. app. site  
APPLICANT: S & A Deane Bros. Ltd  
PLANNING REG.REF.: 91A/0370  
DATE OF RECEIPT  
OF SUBMISSION: 13 January 1992

A Chara,

With reference to above, I acknowledge receipt of application for:

**Compliance with Conditions.**

Mise, le meas

A. Smith

PRINCIPAL OFFICER

Margetson & Greene,

Solicitors,

35 Lr. Baggot Street,

Dublin 2.



# MARGETSON & GREENE

SOLICITORS, 35 LR. BAGGOT ST., DUBLIN 2

■ K. B. HENDERSON  
FINTAN P. CLANCY  
HELEN J. CULLEN  
BRIAN P. REDDEN,  
BARBARA DOWLING  
FRANCES McIVER

■ TELEPHONE  
767863  
764845  
761916  
FAX (01) 766549  
D.D.E. Box 64

*P. Kenny*

Michael Hodgins,  
Dublin County Council  
Planning Department,  
Block 2,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

*Just as  
compliance?  
originals sent  
direct to Parks.*

Our Ref: HJC/BS

Your Ref:

*10/14/1*

8th January 1992

91A/0370

2.1.0.1

*copy*

RE: Hermitage Lawns  
Planning Reference 91a/0370

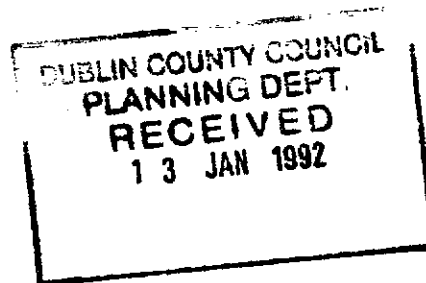
Dear Sir,

We refer to your letter of the 12th December. As explained on the telephone, we have already sent the deed of Dedication to the Counsel's Parks Department. However, as arranged, we enclose herewith a further copy of same. The original Deed of Engrossment was sent on to the Park's Superintendent. We enclose a copy of same together with a copy of the Land Registry map furnished. Unfortunately, we didn't keep a copy of the signed Agreement but no doubt same could be obtained from the Park's Department. We trust this is satisfactory and if you require anything further please don't hesitate to contact us.

Yours faithfully,

MARGETSON & GREENE

\* P.S. Copy letter for Parks Dept  
herewith.





P. O. Box 174

5 Gardiner Row,

Dublin 1.

Telephone. (01)727777

Fax. (01)727530

M/s Margetson & Greene,  
Solicitors,  
35 Lr. Baggot St.,  
Dublin 2.

Our Ref. P.P. 146

Your Ref. HJC/31P004A/FA

Date 07.01.1992

RE/ S & A Deane Brothers - Development at Hermitage Lawn  
Reg. Ref. 91A/0370 - Dedication of Open Space.

---

Dear Sirs,

I wish to acknowledge receipt of your letter dated 25th November, 1991, with enclosed Deeds relating to the public open space at Hermitage Lawn. These Deeds will be checked and I will be in touch with you again in the near future.

Yours faithfully,

A handwritten signature in cursive script, appearing to read "James Quinn".

---

SENIOR PARKS SUPERINTENDENT

THIS AGREEMENT made the                    day of                    1991  
BETWEEN    S & A DEANE BROTHERS LIMITED of 35 Lower Baggot  
Street, Dublin 2. (hereinafter called " Grantor") of the  
one part and THE COUNTY COUNCIL OF THE COUNTY OF DUBLIN  
(hereinafter called the "Council") of the other part.

WHEREAS the Grantor is seized in fee simple in possession  
free from incumbrances of the strip piece or parcel of  
land hereinafter mentioned and for the consideration  
hereinafter mentioned has consented and agreed to give up  
th same to the public for use as a public open space or  
such other use or uses as the in its discretion consider  
more beneficial in the interest of the public.

NOW THIS AGREEMENT WITNESSETH that it is hereby AGREED by  
and between the Grantor and the Council as follows:

1.        The Grantor agrees as on and from the                    day  
of                    1989 to GIVE UP AND DEDICATE TO THE  
PUBLIC for the purpose aforesaid ALL THAT strip piece or  
parcel of land at Hermitage Estate, Marley, situated in  
the Haroldsgrange, Co. Dublin as the same is more  
particularly delineated and described in the plan annexed  
to this Agreement and thereon coloured red TO THE INTENT  
that the said strip piece or parcel of land shall be for  
the use of the public as hereinbefore set out.

2.        The consideration for such agreement shall be the  
sum of £1.00.

3.        The Grantor shall within 21 days from the date of  
this Agreement furnish to the Council or their Solicitor  
(and at the expense of the Council) evidence proving the  
title as owner in fee simple free from incumbrances of  
the said strip or parcel of land.

4.        The Council shall enter on and take possession of  
the said land upon the signing thereof and may execute



such works thereon and use the land as open space or such other use or uses as the Council in its discretion considers more beneficial in the interest of the public and the Council hereby covenants that it will indemnify and keep indemnified the Grantor against all claims demands, expenses, costs damages or actions in respect of the lands hereby dedicated.

5. The Grantor his heirs executors administrators or assigns shall if called upon by the Council so to do at any time within a period of 21 years from the date hereof execute at the expense of the Council a proper conveyance of the said strip piece or parcel of land to the Council free from incumbrances.

IN WITNESS whereof the said Grantor has hereunto caused its common seal to be affixed and the Council has caused its Common Seal to be hereunto affixed the day and year first above written.

SCHEDULE

ALL THAT strip piece or parcel of land as more particularly delineated on the map annexed hereto and coloured red being part of the lands of Hermitage, Haroldsgrange, in the Barony of Rathdown and County of Dublin.

PRESENT when the common seal  
of the GRANTOR was affixed  
hereto:

PRESENT when the common seal  
of the Council The County Council  
of the County of Dublin was  
hereunto affixed.

---

Chairman/Nominated Member.

---

Asst. County Manager/Approved Officer.

Dated the        day of        1991.

S & A DEANE BROTHERS LIMITED

AND

DUBLIN COUNTY COUNCIL.

DEDICATION AGREEMENT

MARGETSON & GREENE,  
SOLICITORS,  
35, LR. BAGGOT ST.,  
DUBLIN 2.  
agrs&Adhjc1.

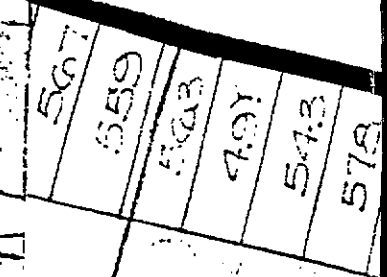
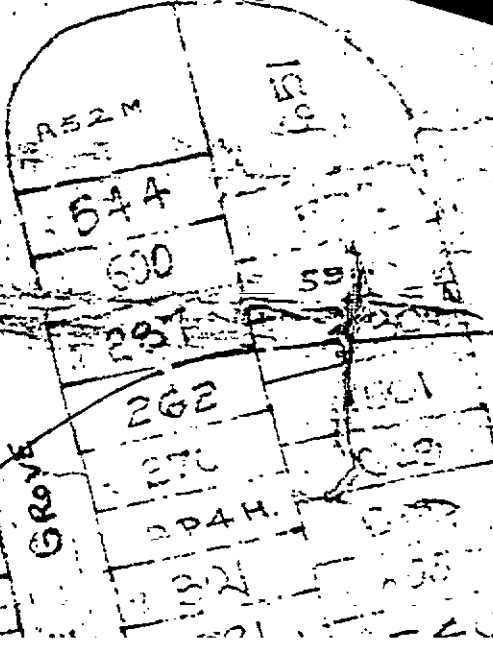
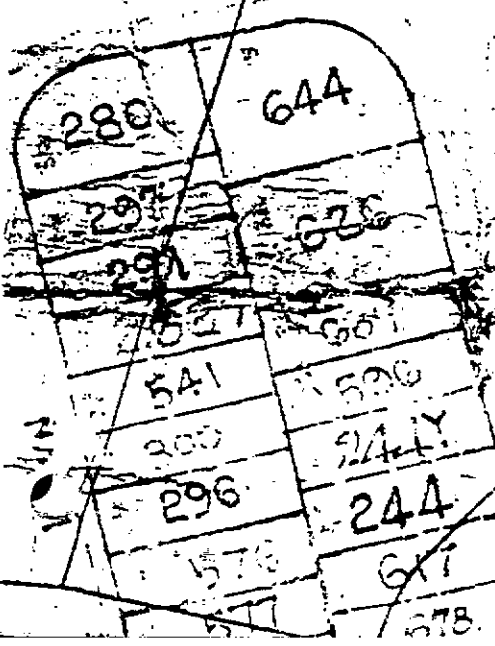
82

BW3N

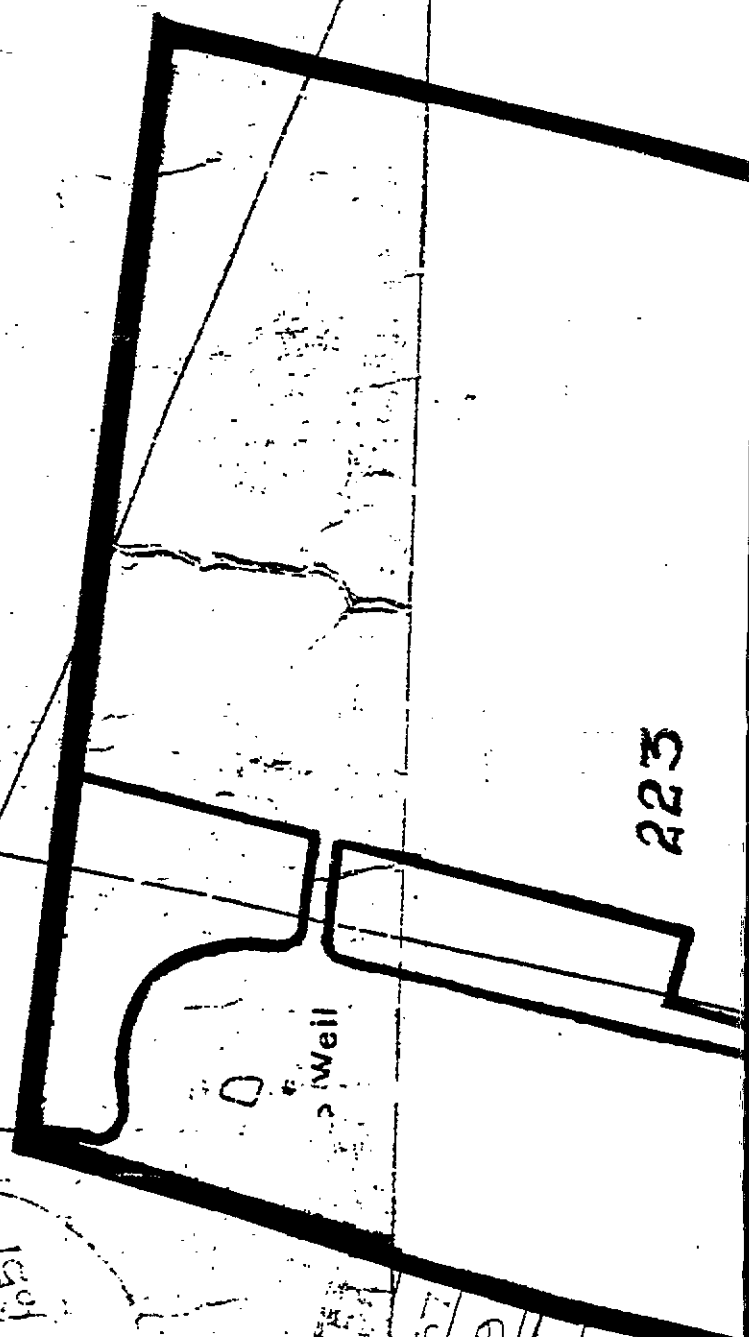
223

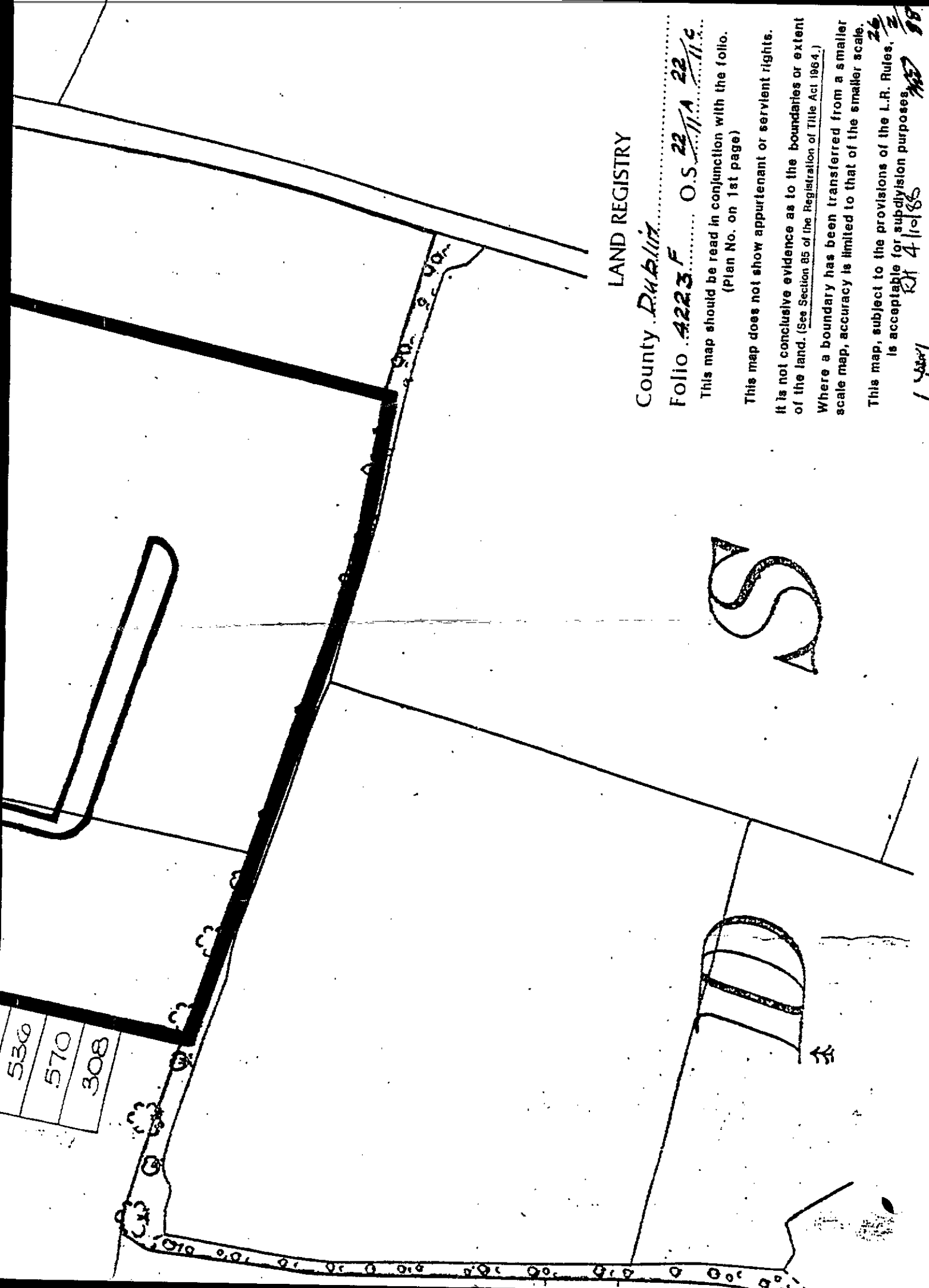
672

Well



Priority





LAND REGISTRY

County *Dublin*  
 Folio *A223 F* O.S. *22/1A 22/1C*

This map should be read in conjunction with the folio.  
 (Plan No. on 1st page)

This map does not show appurtenant or servient rights.

It is not conclusive evidence as to the boundaries or extent  
 of the land. (See Section 85 of the Registration of Title Act 1964.)

Where a boundary has been transferred from a smaller  
 scale map, accuracy is limited to that of the smaller scale.

This map, subject to the provisions of the L.R. Rules,  
 is acceptable for subdivision purposes.

*1/2/88*  
*4/10/88*



# MARGETSON & GREENE

SOLICITORS, 35 LR. BAGGOT ST., DUBLIN 2

■ K. B. HENDERSON  
FINTAN. P. CLANCY  
HELEN. J. CULLEN  
BRIAN P. REDDEN,  
BARBARA DOWLING  
FRANCES McIVER

■ TELEPHONE  
767863  
764845  
761916  
FAX (01) 766549  
D.D.E. Box 64

*✓ Healy*

*cc to P. Kenny*

*Formal compliance  
to be submitted to P. O'Neill  
see Ms Cullen.*

*10/9/1*

Dublin County Council,  
Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 2.

Our Ref: HJC/CR

Your Ref:

6th January 1992

RE: PLANNING REF. 91A-0370 - DEANE BROTHERS DEVELOPMENTS LIMITED  
HERMITAGE LAWN.

Daer Sirs,

We refer to your letter of the 12th December 1991. As stated we have already sent the Deed of Dedication to the Council's Parks Department. We are not sure what further proposals you require in this regard. Condition 24 requires land to be ceded to the County Council. Our understanding of the procedure is that the Parks Department initially deal with the Dedication Agreement and the matter is then passed on to the County Council Legal Department for an investigation of Title. If we should deal with the matter in any other way please let us know. Do you wish us to send you a copy of the Dedication Agreement which we have already sent to the Parks Department? \*

Yours faithfully,

MARGETSON & GREENE

*08 JAN 92*

*Dictated prior to on telephone  
conversation with Michael  
Hodgins*

DUBLIN COUNTY COUNCIL

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.

Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

Telephone: 773066

Telephone: 724755  
Extension: 231/234

16 October 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: Hermitage Lawns, Hermitage Court, Grange Rd, Rathfarnham  
PROPOSED DEVELOPMENT: 24 no. houses on prev. app. site  
APPLICANT: S & A Deane Bros Ltd  
PLANNING REG. REF.: 91A/370  
DATE OF RECEIPT OF SUBMISSION: 14 October 1991

A Chara,

With reference to above, I acknowledge receipt of application for:

**Building Bye Law Approval.**

Mise, le meas

A. Smith

\_\_\_\_\_  
PRINCIPAL OFFICER

Sean Forrest,

Fountain House,

55 Main Street,

Rathfarnham,

Dublin 14.

# Seán Forrest

CIVIL ENGINEERING CONSULTANT

Fountain House,  
55 Main Street,  
Rathfarnham,  
Dublin 14.  
Telephone: 903136.  
Fax: 905076

11, October, 1991

Planning Department  
Dublin County Council  
Block II  
Irish Life Centre  
Lower Abbey Street  
Dublin 1

RE: DEVELOPMENT AT HERMITAGE LAWNS  
RATHFARNHAM DUBLIN 16  
REG REF: ~~1257/91~~ Q1A/370.

Dear Sir

On behalf of our Clients, Deane Bros. Ltd. we hereby apply for Building Bye Laws' Approval for Revised Roof Construction to the following houses :

House No. 2  
House No. 5  
House No. 8  
House No. 11  
House No. 12  
House No. 15  
House No. 17  
House No. 20  
House No. 21  
House No. 24

EYE LAW APPLICATION.

REG. No. N 50354

£137.50

We are enclosing the following documentation:

Two copies of Drawing 218/4  
Two copies of Structural Calculations  
A cheque in the sum of £137.50

Yours faithfully

  
SEAN FORREST

Encls.

BBL.  
1.2.2.  
Q1A/370 14/10



**MAIRLE CHONTAE ATHA CLIATH**

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

BYE LAW APPLICATION

REC. NO. N 50354

€137.53

Received this

14th day of October 1991

from

Sean P. Forrest

Fountain House, 55 Main St, Rathfriland

the sum of

one hundred and thirty seven

Pounds

lill

Pence being

60 1/2

application of Hermitage laws, Rathfriland

Michael J. Hor

Cashier



S. CAREY

Principal Officer

Class A

10/25/91

STRUCTURAL CALCULATIONS

FOR

REVISED ROOF TYPES

TO

HOUSES 2, 5, 8, 11, 12, 15, 17, 20, 21, and 24

AT

HERMITAGE LAWNS, RATHFARNHAM  
DUBLIN 16

DUBLIN COUNTY COUNCIL  
Planning Dept. Registry Section  
APPLICATION RECEIVED

14 OCT 1991

REG No. 91A/0370

SEAN FORREST, B.E.  
Civil Engineering Consultant  
Fountain House  
55, Main Street  
Rathfarnham  
Dublin 14

Tel: 903136  
Fax: 905076

October, 1991

INDEX

RAFTERS	1.
PURLINS	2.
STRUTS	4.
CEILING JOISTS	5.
STUD PARTITIONS	10.

# HERMITAGE LAWNS

RATHFARNHAM, DUBLIN 16.

①

DESIGN THE ROOF CONSTRUCTION OF THE END  
Houses.

## RAFTERS.

### DEAD LOAD:

CONC. TILES ON	=	529.58 N/m <sup>2</sup>
Battens on felt on		47.88
Rafts		92.34
		<hr/>
		669.80 N/m <sup>2</sup>

Imposed Loading = 750.00 N/m<sup>2</sup> @ 30°

Total Load = 1419.80 N/m<sup>2</sup>

Length of Span =  $\frac{9.2}{2} \times \frac{1}{2} = 2.3 \text{ m}$

$$B.M = \frac{wL^2}{8} = \frac{1419.80 \times 2.3^2}{8} = 938.84 \text{ N-m}$$

@ 400 C/S.

$$B.M \text{ per rafter} = 938.84 \times 4 = 375.54 \text{ N-m/rafter}$$

Try 115 x 35 rafter

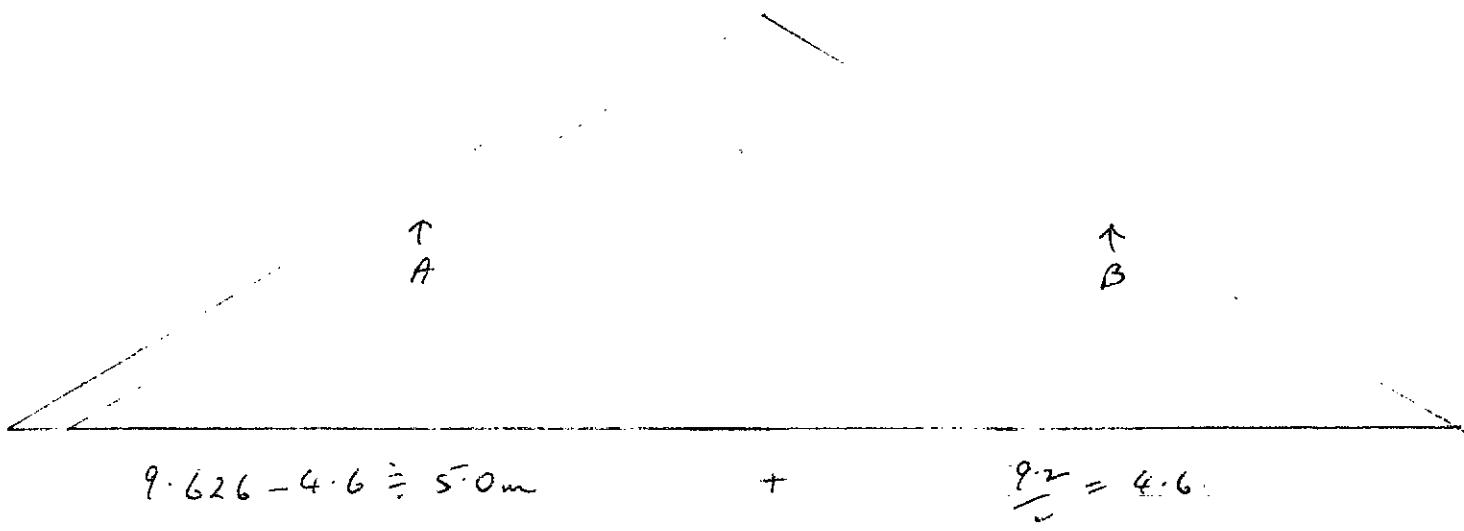
$$f = \frac{375.54 \times 6 \times 10^3}{115^2 \times 35} = 4.87 \text{ N/mm}^2$$

O.K

$$< 7.29 \text{ N/mm}^2$$

Design the purlins

The loading on the purlins is as follows



$$\begin{aligned} \text{Loading on A} &= \frac{3}{4} \times 4 \times 1419.80 \\ &= 4259.40 \text{ N/m} \end{aligned}$$

$$\begin{aligned} \text{Loading on B} &= \frac{3}{4} \times 4.6 \times 1419.80 \\ &= 4898.31 \text{ N/m} \end{aligned}$$

Design purlins

Critical section is over beam 4.

i.e 1.8 m

$$B.M = \frac{wL^2}{8} =$$

load on false work.

$$= \frac{3}{4} \times 1419.80 \times 4.0 \text{ m mat.}$$

$$= 4259.40 \text{ N/m.}$$

3.

Section over bedroom 3 is critical.

Let Spalls be @ 1.8 max.

load at A  $\therefore = 4259.4 + 102.13$   
 $= 4361.53 \text{ N/m.}$

Let finish be  
 $175 \times 75 \text{ ass'd.}$   
 $\frac{71.2 \times 71.2}{12} \times 48 = 7 \text{ lbs.}$   
 $= 102.13 \text{ N/m}$

load along B =  $4898.31 + 102.13$   
 $= 5000.44 \text{ N/m}$

load along false =  $4259.4 + 102.13$   
 $= 4361.53$

mat. B m =  $\frac{wL^2}{8} = \frac{5000.44 \times 1.8^2}{8} = 2025.18 \text{ N-m}$

$f = \frac{6 \times 10^3 \times 2025.18}{175^2 \times 75} = 5.29.$

Increase to 2.0 m.

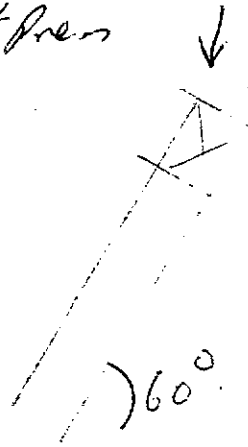
B m =  $\frac{5000.44 \times 2^2}{8} = 2500.44 \text{ N-m}$

$$p = \frac{2500 \cdot 22 \times 6 \times 10^3}{175^2 \times 75} = 6.53 \text{ N/mm}^2 \quad 4.$$

$$< 7.0 \text{ N/mm}^2$$

Fine

Design the strut supports  
 Critical Strut is over the hot press  
 Max. load =



Calculate the average  
 max. loading

loading over front

$$\begin{aligned}
 &= \frac{3}{4} \times 3.4 \times 1419.8 + 102.13 \\
 &= 3620.49 + 102.13 \\
 &= 3722.62 \text{ N/m} \quad \text{Avg max}
 \end{aligned}$$

loading over gable = Similar i.e. 3722.62 N/m

$$\begin{aligned}
 \text{loading over here} &= \frac{3}{4} \times 3.7 \times 1419.8 \\
 &= 3939.95 \text{ N/m}
 \end{aligned}$$

$$\begin{aligned} \text{Vertical load} &= 3722.64 \times 2 \\ &= 7445.28 \text{ N} \end{aligned}$$

$$\begin{aligned} \text{Force on Strut} &= \frac{7445.28}{\cos 30} \\ &= \frac{7445.28}{0.866} \\ &= 8597.29 \text{ N} \end{aligned}$$

Let Strut be  $100 \times 75$

$$f_c = \frac{8597.29}{100 \times 75} = 1.146 \text{ N/mm}^2$$

### Design the Ceiling Joists

$$\begin{aligned} \text{Dead Loading} &= \\ \text{Joist} &= 95.76 \\ \text{Insulation} &= 47.88 \\ \text{Ceiling Slabs} &= 108.00 \\ &= \frac{251.64 \text{ N/m}^2} \end{aligned}$$

$$\text{Imposed Load} = \frac{250.00}{501.64 \text{ N/m}^2}$$

$$\text{Point load} = 900.00$$



Critical Area is over the shaded bedroom. 6.  
i.e. the end stud over the long purlin  
and short purlin.

Carries  $\frac{2.0}{2}$  of the gable purlin and  
and  $\frac{1}{2}$  m of the front.

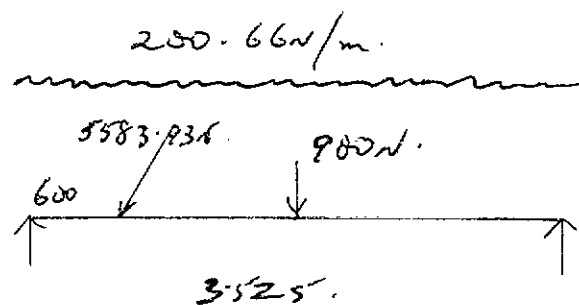
$$= 3722.62 + 3722.62$$

$$= 5583.93 \text{ N.}$$

@  $60^\circ$ .

Span of Joist =  $3.525$  m clear  
@ 400 c/s.

Loady on Joist =  $501.64 \times 4 = 200.66 \text{ N/m}$ .  
(ceiling).



$$\text{B.M. due to ceiling} = \frac{200 \cdot 66 \times 3.525^2}{8} = 311.67 \text{ N}\cdot\text{m}$$

$$\text{B.M. due to point load} = \frac{900}{2} \times \frac{3.525}{2} = 793.13 \text{ N}\cdot\text{m}$$

$$\begin{aligned} \text{B.M. due to slant} &= \frac{5583.93 (3.525 - 0.6) \times 0.6}{3.525} \\ &= \frac{5583.93 \times 2.925 \times 0.6}{3.525} \\ &= 2780.08 \text{ N}\cdot\text{m} \end{aligned}$$

Assume this B.M. is spread over 4 joints

$$\text{B.M. / R joint} = \frac{2780.08}{4} = 695.02 \text{ N}\cdot\text{m}$$

Assume two critical situations

Case I i.e. B.M. due to ceiling + total roof

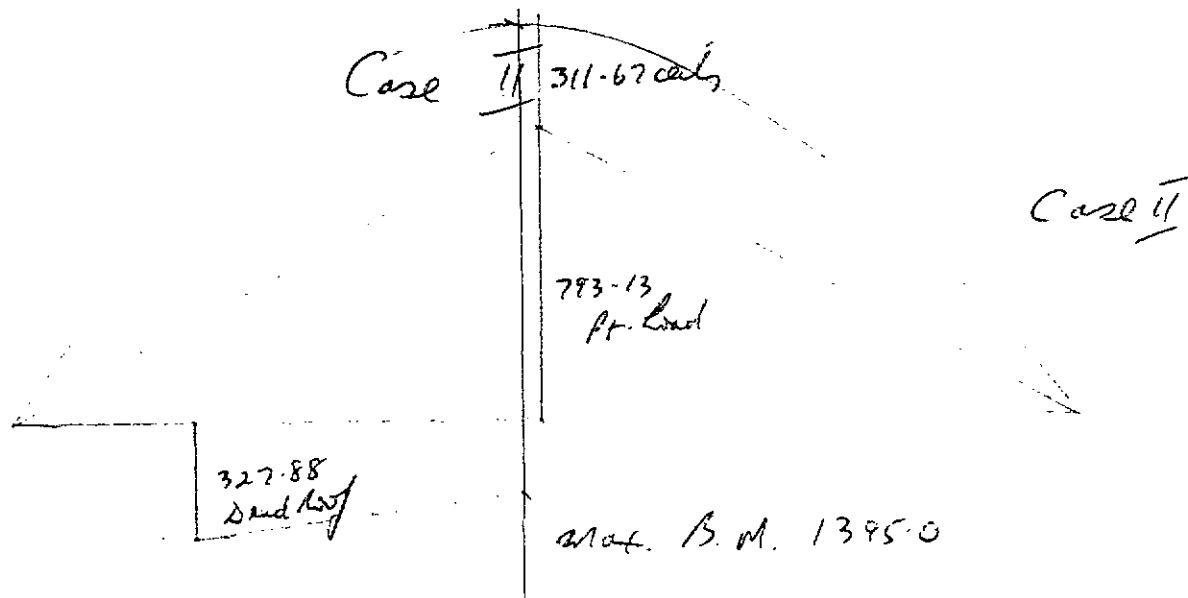
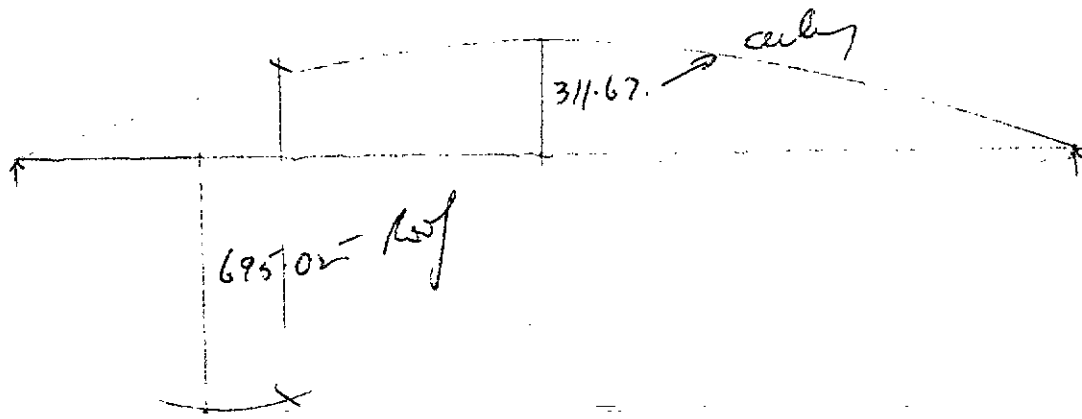
or Case II  
B.M. due to ceiling + point load + roof (dead) only.

$$\text{B.M. dead} = 695.02 \times \frac{669.80}{1419.80} \quad \text{pge 1.}$$

$$= 327.88 \text{ N}\cdot\text{m}$$

CASE I

Max. B.M. = 8800 D.N.M Scaled



What is Case II  
i.e. B.M. = 1395.0

Thy 175 x 44.

9.

$$f = \frac{1395.0 \times 6 \times 10^3}{175^2 \times 44} = 6.21 \text{ N/mm}^2$$

Lo

Design Ceiling over Bedroom 2.

clear span 3.0 m.

B.M. due to flat load =

$$\frac{3.0 \times 900}{8} = 675 \text{ N-m.}$$

$$\text{Due to Ceiling} = \frac{200 \cdot 66 \times 3^2}{8} = 225.74 \text{ N-m.}$$

No Struts.

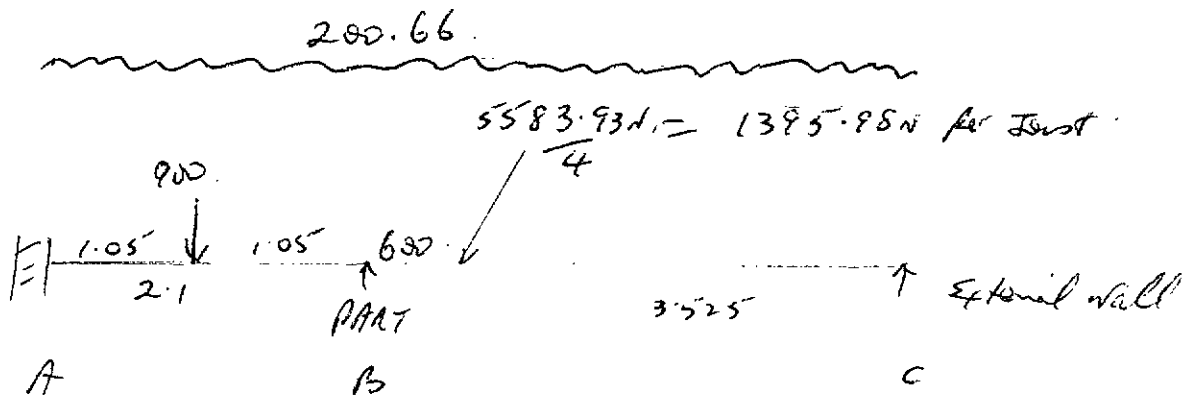
$$\begin{aligned} \text{Max. B.M.} &= 225.74 + 675.0 \\ &= 900.74 \text{ N-m.} \end{aligned}$$

$$f = \frac{900.74 \times 6 \times 10^3}{175^2 \times 35} = 5.04 \text{ N/mm}^2$$

Lo

# Design the Stud Partitions

Critical Stud is between kitchen 3 and 1.



REACTION at B =

$$\begin{aligned} & \frac{900}{1} + 200.66 \times \frac{(2.1 + 3.525)}{2} + 1395.98 \times \frac{(3.525 - 0.6)}{3.525} \\ &= 450 + 564.36 + 1158.37 \\ &= 2172.73 \text{ N.} \end{aligned}$$

Try 75 x 50 studs in the partitions

$$f_c = \frac{2172.73}{75 \times 50} = 0.58 \text{ N/mm}^2$$

allowing for reduction factors

still good.

Let's check B.E

Oct. 91.

# FRANK ELMES & Co.

ARCHITECTS

PLANNING CONSULTANTS

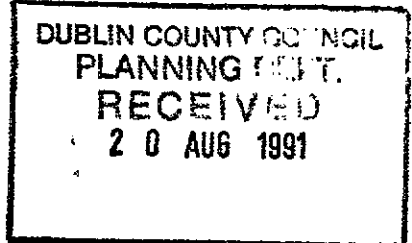
No. 2 WALDEMAR TERRACE,  
MAIN STREET, DUNDRUM,  
DUBLIN 14.  
TELEPHONE : 951514 / 5  
FAX No. : 951703

date : 19th August 1991.

your ref :

our ref : WP/GO'B

Dublin County Council,  
Building Control,  
Planning Dept.,  
Block 2 Irish Life Centre,  
Lr. Abbey Street,  
DUBLIN. 1.



RE: 24 no. Houses (10 no.3 bed/14 no.4 bed)  
Hermitage Lawns, Hermitage Court, Grange Road.  
Reg. Ref. 91A/370 BBL/1257/91.

Dear Sir,

Further to the above BBL application, and specifically Condition 5, we now submit details of the garage in house No. 1 and of the optional conservatory, in duplicate as required.

We trust this is in order, and would request that you issue written confirmation of same at your earliest convenience.

However, please do not hesitate to contact this office should you require any further clarification.

Yours faithfully,

A handwritten signature in black ink, appearing to read "W. Plunkett".

William Plunkett  
FRANK ELMES & CO.

enc.

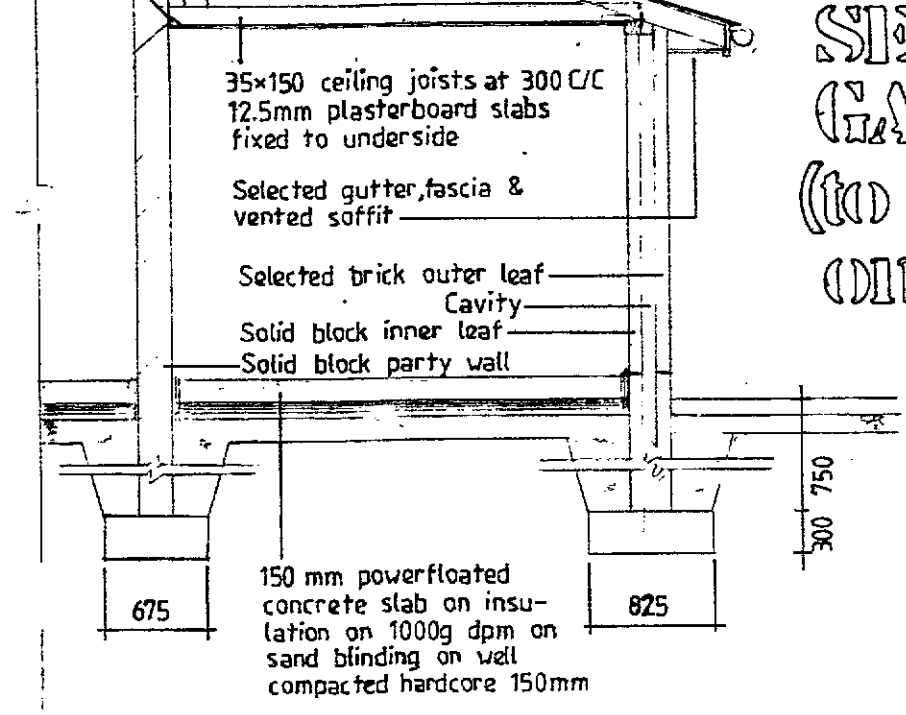
*BBL Compliance  
1-2-0.  
91A/370*

**FRANK ELMES & CO**  
 ARCHITECTS  
 2 WALDEMAR TCE.,  
 MAIN STREET, DUNDRUM,  
 DUBLIN, 14. TEL. 951514/5

CLIENT Deane bros. (td).  
 PROJECT Hermitage Lawns  
 Rathfarnham  
 Dublin 16  
 DRAWING TYPE Sections

NOTE:  
 All structural timber to be in  
 accordance with SR11 1989,  
 and be strength class B

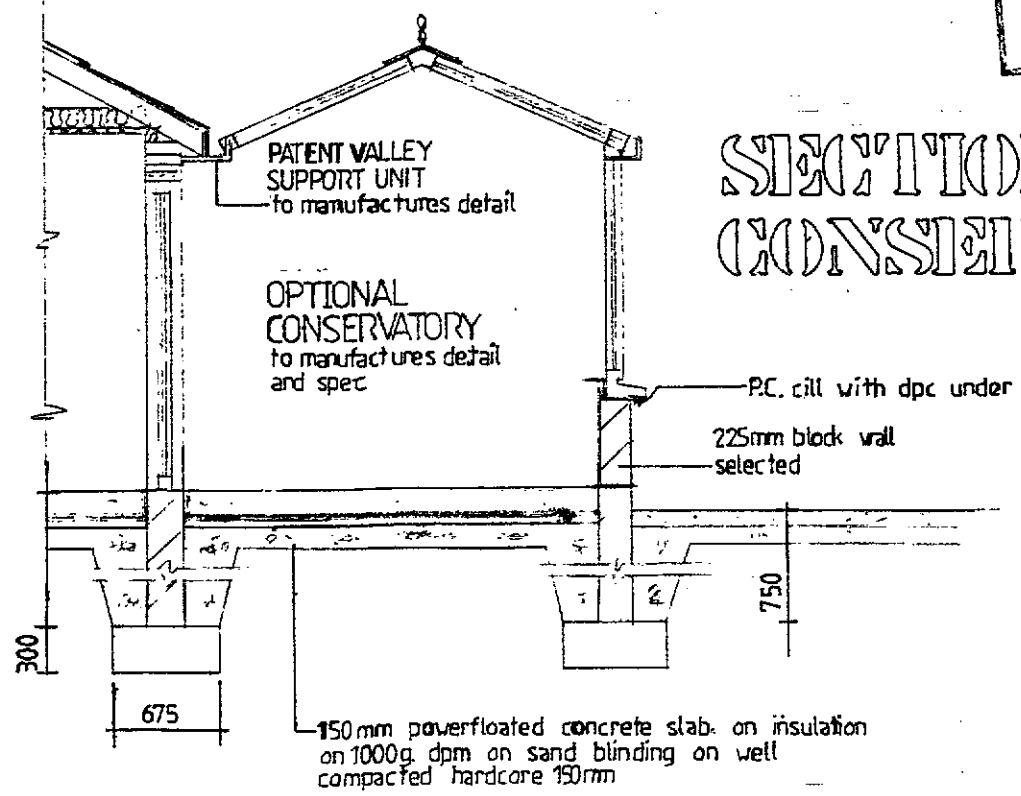
Stepped dpc  
 Weepholes  
 Lead flashing 150mm min. vert.  
 Selected conc. roof tiles on treated battens  
 on tearproof felt on 150x35 rafters at  
 300 C/C on 100x75 wallplate bolted to wall  
 Patent joist hangers



**SECTION 'THIRD'**  
**GARAGE**  
 (to house no. 1  
 only)

NOTE:  
 Compliance condition 5  
 BBL approval no. 1257/91

DUBLIN COUNTY COUNCIL  
 Planning Dept. Registration  
 APPLICATION RECEIVED  
 20 AUG 1991  
 REG No. 91A/0320



**SECTION 'THIRD'**  
**CONSERVATORY**

DRAWN R.E.  
 DATE 8/91  
 SCALE 1:50  
 JOB N° 08/07  
 DRAWING N° 08/91/10

# DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,  
BLOCK 2,  
IRISH LIFE CENTRE,  
LR. ABBEY STREET,  
DUBLIN 1.

## Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To Frank Elmes & Co., Decision Order P/3668/91 - 08.08.1991  
2, Waldemar Terrace, Number and Date  
Main St., Dundrum, Register Reference No. 91A-0370  
Dublin 14. Planning Control No.  
Application Received on 15.03.1991  
Applicant S. & A. Deane Bros. Ltd. A. I. Rec'd: 11.06.1991

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-

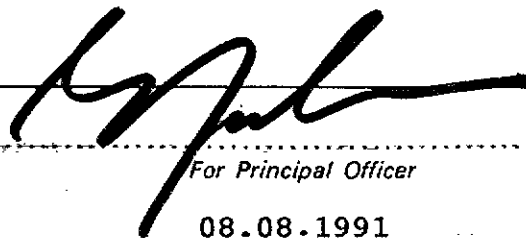
24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously  
approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns",

SUBJECT TO THE FOLLOWING CONDITIONS Hermitage Court, Grange Road, Rathfarnham.

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by additional information submitted on 11th June, 1991, save as may be required by the other conditions attached hereto.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.	2. In order to comply with the Sanitary Services Acts, 1878-1964.
3. That each proposed house be used as a single dwelling unit.	3. To prevent unauthorised development.
4. That a financial contribution in the sum of £16,860 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.	4. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

(Continued)

Signed on behalf of the Dublin County Council

  
For Principal Officer

Date 08.08.1991

IMPORTANT: Turn overleaf for further information

17/9



(Continued)

CONDITIONS

REASONS FOR CONDITIONS

5. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car parks, Sewers, Watermains and Drains, has been given by:-

a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £40,000 which shall be renewed by the developer from time to time as required during the course of the development and kept in force by him until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.

OR.....

b. Lodgement with the Council of a Cash Sum of £25,000 to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specification.

OR.....

c. Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

6. That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

5. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

6. To protect the amenities of the area.

(Continued)

NOTE:

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Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

# DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,  
BLOCK 2,  
IRISH LIFE CENTRE,  
LR. ABBEY STREET,  
DUBLIN 1.

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To Frank Elmes & Co., Decision Order P/3668/91 - 08.08.1991  
2, Waldemar Terrace, Number and Date  
Main St., Dundrum, Register Reference No. 91A-0370  
Dublin 14. Planning Control No.  
 Applicant S. & A. Deane Bros. Ltd. Application Received on 15.03.1991  
A. I. Rec'd: 11.06.1991

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-


24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously  
approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns",  
Hermitage Court, Grange Road, Rathfarnham.

CONDITIONS	REASONS FOR CONDITIONS
<p>(Continued)</p> <p>7. That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.</p> <p>8. That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by the County Council.</p> <p>9. That no dwelling house be occupied until all the services have been connected thereto and are operational.</p> <p>(Continued)</p>	<p>7. In the interest of amenity.</p> <p>8. In the interest of amenity and public safety.</p> <p>9. In the interest of the proper planning and development of the area.</p>

Signed on behalf of the Dublin County Council .....  
 For Principal Officer

08.08.1991  
 Date.....

IMPORTANT: Turn overleaf for further information

(Continued) CONDITIONS	REASONS FOR CONDITIONS
<p>10. That the area shown as open space (i.e. areas along the access roadway and area outlined in blue and coloured green on site layout map (Drawing No. db/91/03)) be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.</p>	<p>10. In the interest of the proper planning and development of the area.</p>
<p>11. That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.</p>	<p>11. In order to comply with the Sanitary Services Acts 1878-1964.</p>
<p>12. That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council, Sanitary Services Department and that the cost thereof be paid to the County Council before any development commences.</p>	<p>12. To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.</p>
<p>13. That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.</p>	<p>13. In the interest of the proper planning and development of the area.</p>
<p>14. That screen walls in block or similar durable materials not less than 2 metres high, suitably capped and rendered, be provided at the necessary locations so as to screen rear gardens from public view. <u>The specific locations and extent of walling must be fully discussed and agreed with the County Council before construction.</u> Timber fencing is not acceptable.</p>	<p>14. In the interest of visual amenity,</p> 

(Continued)

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Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

# DUBLIN COUNTY COUNCIL

PLANNING DEPARTMENT,  
BLOCK 2,  
IRISH LIFE CENTRE,  
LR. ABBEY STREET,  
DUBLIN 1.

Tel. 724755 (ext. 262/264)

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To Frank Elmes & Co., Decision Order p/3668/91 - 08.08.1991  
2, Waldemar Terrace, Number and Date  
Main St., Dundrum, Register Reference No. 91A-0370  
Dublin 14. Planning Control No.  
 Applicant S. & A. Deane Bros. Ltd. Application Received on 15.03.1991  
A. I. Rec'd: 11.06.1991

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24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously

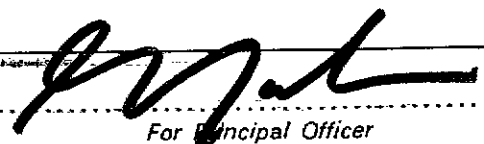
approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns",

SUBJECT TO THE FOLLOWING CONDITIONS Hermitage Court, Grange Road, Rathfarnham.

(Continued) CONDITIONS	REASONS FOR CONDITIONS
15. That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development, until taken in charge by the Council.	15. In the interest of the proper planning and development of the area.
16. A landscape plan with full works specification and bill of quantities etc., shall be submitted to and agreed with the Planning Authority before the commencement of development. Such plan shall include regrading, drainage, topsoiling, seeding, tree and shrub planting, pedestrian paths and details of maintenance.	16. In the interest of the proper planning and development of the area.
OR.... In lieu of the open space being developed by the applicants, a financial contribution of £300. per house shall be paid to the county Council to enable this work to be carried out. This cost to be paid on a phased basis as agreed with the Planning Authority.	

(Continued)


Signed on behalf of the Dublin County Council



For Principal Officer

Date 08.08.1991

IMPORTANT: Turn overleaf for further information

(Continued) CONDITIONS	REASONS FOR CONDITIONS
<p>17. That the proposed access road be 6.5 metres wide. This road and the footpath and grass verge are to be constructed as far as the eastern boundary of the site where it adjoins the church grounds (as shown on site layout plan drawing no. db/91/03, submitted on 15th March, 1991). The east boundary of the site is to remain open for the full width of the road, and no boundary is to be erected without the agreement of the Planning Authority.</p>	<p>17. To facilitate vehicular access to the church.</p>
<p>18. That no house be occupied until the proposed access road way is completely constructed as far as the eastern boundary of the site.</p>	<p>18. To facilitate vehicular access to the church.</p>
<p>19. That the front boundary treatment of each house site shall consist of a 1.00 metre high brick wall.</p>	<p>19. In the interest of the proper planning and development of the area.</p>
<p>20. That the external finish on the front elevations of the proposed houses shall consist of a painted rendering at first floor level.</p>	<p>20. In the interest of the proper planning and development of the area.</p>
<p>21. That the 'optional' conservatory indicated on some of the house plans be omitted from the proposed development, and that no extensions, sheds, porches, conservatories, greenhouses, etc. be erected on the site without the prior approval of the Planning Authority.</p>	<p>21. In the interest of the proper planning and development of the area.</p>
<p>22. That details of proposed boundary treatment along the southern boundary of the site be submitted and agreed in writing prior to the commencement of development on the site. The applicant should note that any proposed boundary treatment should not interfere with the stability of any of the trees on the adjoining site.</p>	<p>22. In the interest of the proper planning and development of the area.</p> 

(Continued)

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Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

# DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,  
BLOCK 2,  
IRISH LIFE CENTRE,  
LR. ABBEY STREET,  
DUBLIN 1.

## Notification of Decision to Grant Permission/~~Application~~

Local Government (Planning and Development) Acts, 1963-1983

To Frank Elmes & Co., Decision Order P/3668/91 - 08.08.1991  
2, Waldemar Terrace, Number and Date  
Main St., Dundrum, Register Reference No. 91A-0370  
Dublin 14. Planning Control No.  
Application Received on 15.03.1991  
Applicant S. & A. Deane Bros. Ltd. A. I. Rec'd: 11.06.1991

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/~~Application~~ for:-

24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously  
approved site (Reg. Ref. 89A-0033) at "Hermitage Lawns",

Hermitage Court, Grange Road, Rathfarnham.  
SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
(Continued)	
23. That details of the junction of the proposed access road and Hermitage Road are to be submitted and agreed in writing with the Planning Authority prior to the commencement of development. The applicant is to provide a dished footpath across the entire width of the proposed new road. This footpath is to link in with the existing footpath on Hermitage Park.  The applicant is advised to consult with the Roads Department with regard to its requirements prior to making a compliance submission.	23. To establish the priority of traffic at Hermitage Park and in the interest of traffic safety.
24. That the area of land coloured green on Drawing db/91/03 submitted with the application be ceded to the Dublin County Council prior to commencement of development on this site.	24. In the interest of amenity.
(Continued)	

Signed on behalf of the Dublin County Council

  
For Principal Officer

Date 08.08.1991

IMPORTANT: Turn overleaf for further information

(Continued) CONDITIONS	REASONS FOR CONDITIONS
<p>25. Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.</p>	<p>25. In the interest of reducing air pollution.</p>
<p>26. That kerb radii at the school access road is to be 6.0 m.</p>	<p>26. In the interest of the proper planning and development of the area.</p>
<p>27. Detailed design dimensions of the right angled bends and the cul de sac turning bay to be to the requirements of the Roads Department.</p>	<p>27. In the interest of the proper planning and development of the area.</p>
<p>28. Any poles which are required to be relocated as a result of the proposed development are to be moved at the applicants expense.</p>	<p>28. In the interest of the proper planning and development of the area.</p>
<p>29. All areas of open space are to be fenced off and protected from site development works and not be used for storage of soil, building materials, etc.</p>	<p>29. In the interest of the proper planning and development of the area.</p>



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Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone: 773066



Bloc 2, Ionad Bheatha na hÉireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/0370

Date : 12th June 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

---

Dear Sir/Madam,

DEVELOPMENT : 24 no houses (10 no. 3 bed/14 no. 4 bed) on previously approved site (Reg.Ref. 89A/33)

LOCATION : "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham.

APPLICANT : S & A Deane Bros. Ltd

APP. TYPE : Additional Information

With reference to above, I acknowledge receipt of your application received on 11th June 1991.

Yours faithfully,

.....  
PRINCIPAL OFFICER

Frank Elmes & Co.,  
2 Waldemar Terrace,  
Main Street,  
Dundrum,  
Dublin 14.



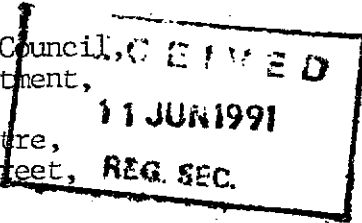
ADDITIONAL INFORMATION

date 11/6/91

your ref :

our ref : ME

Dublin County Council,  
Planning Department,  
Block 2,  
Irish Life Centre,  
Lower Abbey Street,  
DUBLIN, 1.



Reg. Ref. 91A-0370

91A/0370  
2.20.4.4  
A.1

RE: Proposed 24 No. houses (10 No. 3 bed./14 no. 4 bed.)  
on previously approved site (Reg. 89A-0033) at "Hermitage Lawns",  
Hermitage Court, Grange Road, Rathfarnham for S. and A. Deane Bros.  
Limited.

Dear Sir,

Further to your request for additional information, we wish to comment as follows:

1. Enclosed please find 4 No. copies of detached and semi-detached 4 bed house plans. The block plan now shows the kitchen extn on the inside party wall of the end of terrace 4 bed houses as shown on the floor plans.
2. All houses will have a minimum rear garden depth of 10.7m, and a minimum driveway length of 7.5m.
3. Enclosed please find 4 x copies specification for landscape works and 4 x copies tree survey and report proposed by J.M. McConville and Assoc., Consultant Arborists. As pointed out on page 2 of this tree survey, the trees along the southern boundary of the site are in fact in the adjoining property.
4. As outlined in the enclosed letter from Margetson & Greene Solicitors, our Client Deane Bros., are not required by their contract to provide vehicular access gate to the Church grounds. Accordingly it is not our clients intention to provide a vehicular access gate.
5. Please find enclosed 4 copies of revised layout showing a 6.5m wide carriageway.
6. The proposed access way to the school will be finished to the same standard as the access road, and will be bought to the existing entrance.

...../

11/6

Cont.

7. The new roadway to the existing vehicular access to the school will be 4.8m in width. Any widening of the existing school entrance is beyond the scope of works required by Deane Bros., as outlined in the accompanying letter from Margetson and Greene.

I trust the above is in order, and is sufficient to allow you to issue a decision to grant at your earliest convenience. However, should you require any further information, please do not hesitate to contact this office.

Yours sincerely,



Frank Elmes & Co.



# MARGETSON & GREENE

SOLICITORS, 35 LR. BAGGOT ST., DUBLIN 2

F. R. HENDERSON  
FINTAN P. CLANCY  
HILLEN J. CULLEN  
BRIAN P. REDDEN  
BARBARA DOWLING  
FRANK McIVER

767863  
764445  
761916  
FAX (01) 766549  
D.D.F. Box 64

Frank Elmes,  
Architects,  
2 Waldemar Terrace,  
Main Street,  
Dundrum,  
Dublin 14.

DUBLIN COUNTY COUNCIL  
Planning & Building Section

17 JUN 1991

REC. NO. 91A/0370  
APPLICATION TYPE 1/2 & 3  
NO L D 3

Our Ref:  
Your Ref:

JC/ER  
7th June, 1991.

Re: Deane Brothers  
Development at Hermitage Lawns

Dear Sirs,

We refer to the letter received from the Dublin County Council dated the 13th of May, 1991 requesting further information. At the request of Mr. Deane we would comment as follows on points number 4 and 7 therein.

- 4. Whether or not there is a vehicular access gate to the Church site at the top of the proposed road is surely a matter for the Church authorities not for Deane Brothers. The gate will be situated on the Church lands. Under the terms of the Contract entered into between the Saint Laurence O'Toole Diocesan Trust and Deane Brothers, Deane Brothers are obliged to provide the roadway in the development beyond their sites to the two sites retained by the Church Authorities and grant a right-of-way over this land to the Church authorities. Deane Brothers are not required by the Church authorities in the Contract to provide any access to a gate or provide a gate.
- 7. The existing vehicular access is already provided for in the Contract in that Deane Brothers are obliged to bring the new roadway to the existing entrance.

If we can be of any further assistance please do not hesitate to contact us.

Yours faithfully,

MARGETSON & GREENE

V.A.T. No. F0052205 L  
Reg. No. 25511

AGENTS FOR NON-LIFE INSURANCE: N.F.M. INSURANCE LTD., ROYAL INSURANCE LTD., GENERAL ACCIDENT, HIBERNIAN FIRE INSURANCE LTD.  
AGENTS FOR LIFE ASSURANCE: HIBERNIAN LIFE ASSOCIATION, ROYAL LIFE IRELAND, IRISH LIFE ASSURANCE PLC

050 P01

MARGETSON & GREENE 766549

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**TREE SURVEY**

at

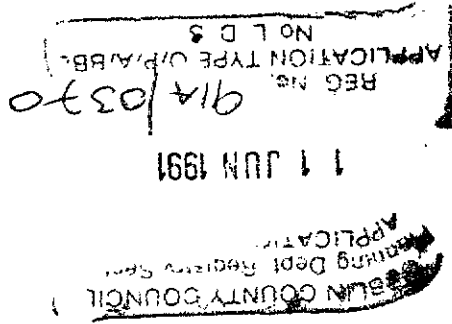
**HERMITAGE LAWNS**

**RATHFARNHAM**

**DUBLIN 16**

for

**DEANE BROS LTD.**



**JM McConville & Associates  
Consultant Arborists**

**Grange, Dunboyne, Co. Meath  
Telephone & Fax: (01) 251718**

The purpose of this report is to survey the trees at Hermitage Lawns, Rathfarnham, and set out their condition and any recommendations for any necessary remedial tree surgery.

The reference numbers refer to metal tags attached to the trees (numbers are from 0114 to 0121). The numbers in brackets are tags existing on the trees at the time of the survey.

Reference to age is as follows;

Young ( trees under 5m ) (Y)  
Semi-Mature ( young trees over 5m ) (SM)  
Mature ( trees over 40 years ) (M)

Reference to Codes;

- A. Trees worthy of retention.
- B. Trees worthy of retention, requiring remedial tree surgery.
- C. Trees in poor condition with only a limited life span, or not suitable for retention.

Reference to conditions;

- Good Full healthy canopy; but possibly including some suppressed branches or physical damage.
- Fair Slightly reduced leaf cover; minor deadwood or isolated major deadwood.
- Poor Overall sparse leafing or extensive deadwood.

The term overhaul refers to cleaning out of dead, dying or diseased wood, removal of unwanted epicormic growth and climbing plants and other objects such as wires, clamps and boards.

JOSEPH M MCCONVILLE

MAY 1991

page 1

Tree no	Species	Girth (M)	Spread (M)	Height (M)	Condition	Age Code	Remarks
114	Sycamore	1.1/1.2	6.0	15.0	Poor	SM C	This tree has an extensive basal decay and is in hazardous condition, plan for its removal.
115	Sycamore	1.1	6.0	12.0	Poor	SM C	This tree has a basal decay and root decay and is unsuitable for retention.
121	Beech	2.9	12.0	17.0	Poor	M C	This large mature tree is heavily infected with Ganoderma and Honey fungus. In this condition it represent a serious hazard.
116	Ash/ Sycamore	0.7-0.9	10.0	12.0	Fair	SM B	This tree requires an overhaul.
117 (790)	Sycamore	1.1	7.0	12.0	Fair	SM B	This tree requires a overhaul.
118 (633)	Horse Chestnut	2.4	7.0	13.0	Fair	M B	This tree requires an overhaul.
119	Sycamore	2.5	6.0	8.0	Poor	M C	This tree has an extensive basal decay, it has shed the upper part of its crown and should be removed.
120 (787)	Lime	1.3	8.0	13.0	Fair	SM B	This tree requires a general overhaul.

To west of this trees the boundary is clearly defined by the remnants of a low wall and the trees are clearly in the adjoining property. The are mainly semi mature Ash and Sycamore with some Holly and a mature Horse Chestnut. All this are in fair condition. They would benefit from an overhaul and are suitable to be retained at the rear of the proposed houses.

Having inspected the site, I found no mature trees within the site boundaries as defined. There is a old boundary hedge along part of the eastern boundary with the school. This is in two sections marked A and B on the accompanying drawing 2590/1.

Section A: This is a predominantly Hawthorn Hedge with some Blackthorn, Ash and Sycamore with a few dead Elms. This Hedge row is worthy of retention as it provides a screen between the proposed houses and the School and a back drop to the open space for the houses. It requires all dead material to be removed and the under growth cleared. It has a 4m gap which should be replanted.

Section B: This is a similar hedge with more Blackthorn than section A. Part of the Blackthorn extends 10m west of the line of the hedge row. This should be removed back to the hedge line as it would unsuitable for retention in the narrow section of open space.

Group 1: This is a thicket of Hawthorn and an Ash. They are not significant trees and have no real amenity value. In order to facilitate the construction of the proposed houses nos 1 and 2, they will have to be removed.

Group 2. This is a grove of young and semi mature trees of mixed species, Ash, Sycamore, Lime and Alder. There location on the site for proposed house no. 20 makes their retention impractical.

Along the southern boundary there is a line of mature and semi mature trees. While they appear to be outside the site, their age, condition and location in relation to the proposed houses merits them being individually surveyed. As they are boundary trees any action recommend would have to be in consultation with the adjoining land owner.

In the south west corner of the site there are some self seeded young Sycamores of no significance.

DUBLIN COUNTY COUNCIL  
Planning Dept. Request for quotation  
APPLICA

11 JUN 1991

REG No 91A | 0370  
APPLICATION TYPE  
No L D S

**SPECIFICATION FOR LANDSCAPE WORKS  
AND MAINTENANCE**

AT

**HERMITAGE LAWNS, RATHFARNHAM**

FOR

**DEANE BROS LTD.**

**MAY 1991**



## SPECIFICATION

### SCOPE OF CONTRACT WORKS

The Contract Works are to be carried out on the site defined in.

The site shall be prepared, cultivated, trees and shrubs supplied and planted, topsoil supplied and grass sown, and maintained until taken in charge by the Local Authority.

The contract price shall be held to include for leaving the site clean and tidy on completion.

The Contractor shall be responsible for the true and proper setting out of the contract works and for the correctness of the position levels, dimensions and alignment of all parts of the contract works, and for the provision of all necessary instruments, appliances and labour in connection therein. The Contractor shall obtain the approval of the Landscape horticulturist to the line and position of planting areas and individual trees, before commencing planting. The Contractor at his own expense shall rectify any errors that arise, in position, levels, dimensions or alignment, to the Contract Works. Unless such an error is based on incorrect data supplied by the Landscape horticulturist. The checking of setting by the Landscape horticulturist shall not in any way relieve correctness thereof.

The Contractor shall have inspected the site and be clear about any site restrictions prior to the commencement of Contract Works.

A provisional sum for contingencies is included in Bill of Quantities, in the sum of £                      to cover unforeseen problems, ( additional planting, increased specification, prolonged watering in drought conditions etc. ).

PART ONE GENERAL

Site Clearance

Before commencing operations on Site, the Contractor shall confirm with the Landscape horticulturist the starting date and the extent of the work to be executed.

The Contractor shall take all necessary precautions to protect existing services when carrying out any Site clearance works. The Contractor shall be responsible for any repair to the existing services.

Ground Preparation

+ waterproof.

Soil mix shall be as follows ; ( Topsoil supplied by the Main Contractor ).

The Contractor shall be responsible for maintaining the pH level of the topsoil.

The level of topsoil shall be at least 50mm above all finished levels to allow for settlement.

All peat used in the topsoil shall be coarse textured horticultural peat and shall conform to BS 4156.

## PART TWO PLANT MATERIAL AND PLANTING

### Quality and Supply of Plant Material

The Contractor shall be responsible for the supply, planting and satisfactory establishment of all plant material, maintenance of planting up to the issuance of the Certificate(s). Making good defects and reinstatement of losses due to natural causes.

All plant material must comply in all respects with the current edition of BS 3936 Parts 1, 2 and 4. Any plant material supplied which does not meet this standard will be rejected and replaced with suitable plant material with additional costs to the Contractor. Extra Heavy standards shall be in accordance with BS 5236

No plant substitution shall be allowed without written approval from the Landscape horticulturist.

### Setting Out Planting

All Trees and shrubs are to be planted in the positions and in the number as shown on the drawing. All plants shall be planted in individual pits (excavated by the Contractor).

Shrubs are to be planted in a random manner ( unless otherwise stated ) at equal spacings as shown on the drawing.

## Preparation For Planting

All shrub bed preparations shall be as specified and the Landscape horticulturist reserves the right to inspect all shrubs before planting commences. Any work falling below this specification will require to be redone before any planting is allowed to be carried out.

Shrub beds shall be prepared to a minimum depth of 125mm to form a fine tilth. When a reasonably fine tilth has been produced the areas shall be graded to form a uniform and even grade. Any vegetable matter, rubbish, deleterious matter and all stones having one dimension of 20mm or more shall be removed off site.

## General Planting

Maximum care shall be taken at all stages when handling plants to ensure as little disturbance as possible to the root ball of the plants.

## Planting

All plants are to be planted in separate pits. The minimum size of planting pit shall be 20% bigger than the root ball, or container size.

## Shrubs

Position of shrubs to be planted shall be marked out in accordance with the planting plan. Polythene and other non-perishable containers shall be deposited off site and any badly damaged roots carefully pruned. The shrubs shall then be set in holes so that topsoil level, after settlement will be at the previous soil level mark of the stem of the shrub.

All container grown plants shall be thoroughly watered before planting. All spiralling roots and potential girdle roots shall be removed or straightened before planting.

On completion of the planting operation, prune any broken or damaged branches back to sound wood. All material produced by pruning shall be deposited off site.

#### Post Planting Operations

As soon as planting operations have been completed in the shrub beds the surface of the soil shall be raked over and levelled out. Any weeds exposed shall be removed off site.

After completion of all planting operations apply Simazine residual herbicide, to all planted areas.

After applying herbicide the Contractor shall apply a 50mm thick layer of mulch under and around the plants of all shrub planted areas. The mulch shall be raked after spreading to leave an even surface. Any excess mulch falling from planters shall be swept up and spread evenly over the surface of the mulch areas.

#### Tree Planting

Excavate a tree pit and allow at least 250mm clear space around and below the overall rootball.

Place the tree between the stakes in the centre of the hole taking care to avoid damaging the roots and/or rootball, to a depth of the nursery soil mark on the stem. Backfill with well mixed topsoil, compost and slow release fertilizer and firm as filling proceeds, taking care to avoid damaging the roots and ensuring that the tree is positioned upright. Slow release fertilizer at a rate of 100gms per pit.

#### Tree Staking

Tree stakes shall be cylindrical and pointed at one end, peeled and pressure treated. Tree stakes shall be at least 750mm longer than the clear stem plus rootball with a minimum diameter of 60mm.

Trees shall be secured to the tree stakes using nail-on type tree ties with space pads, as approved by the Landscape horticulturist.

Secure the tree to the stake using four tree ties per tree.

## PART THREE GRASSING

### General

Cultivations must only be carried out in dry weather and when ground conditions are not waterlogged or sticky, unless authorised to the contrary by the Landscape horticulturist.

After cultivation the area cultivated shall not be traversed by vehicles.

Any surplus vegetable matter, rubbish, deleterious matter and all stones having one dimension of 50mm or more brought to the surface by cultivation preparations shall be raked up and removed off site.

### Cultivation

Cultivation shall be by rotovation to produce an even bed free from weeds and surplus vegetable matter and stones greater than 50mm. The area shall then be levelled and consolidated.

### Broadcasting

All grass seed shall be broadcast. The total quantities of seed required shall be divided in half, each half being sown evenly by approved means in transverse directions to provide a total rate of sowing as specified.

### Fertilizer and Post Seeding Operations

Prior to seeding the area shall be fertilized using PBI growmore fertilizer, (or similar approved), at a rate of 50gms/sq.m.

In the spring following sowing a top dressing of NPK (10:10:20) at a rate of 40g/sq.m. shall be applied

When the grass is 100mm long and conditions are suitable the grass is to be lightly topped, removing not more than 25mm.

## PART FOUR MAINTENANCE

### Scope of work

The maintenance of grass, trees and shrubs, for the period of each contract.

During this period the Contractor shall keep all roads and pavements clear of weeds, grass mowings, mulch and rubbish, and shall remove all debris and rubbish from site at the conclusion of each days work.

### Trees and shrubs

Tree stakes and ties shall be checked at least once a month to make sure they are still performing their function correctly. Any loosened tree stakes shall be re-firmed and any damaged or broken stakes shall be replaced immediately and the ties adjusted so that the tree is held firm.

Shrubs and trees loosened by wind, frost or any maintenance operations shall be firmed up. (check at least four [4] times a year). If any plants have been completely lifted out of the ground, they shall be not be replanted but replaced.

### Weed control

Any weed growth occurring during the maintenance period in the shrub areas shall be spot treated with a translocated herbicide 'Round up' or similar approved or removed by hand. An application of pre germination herbicide, 'Simazine' or similar approved shall be applied in the spring each year. All Herbicides shall be applied accordingly to their manufacturers instructions using a directional spray to prevent spraying of adjacent shrubs. Spraying shall be done only in calm conditions to prevent drift damage.

## PART FIVE MATERIALS

### Mulch

A 50mm layer of spent mushroom compost or similar mulch approved by the Landscape horticulturist shall be spread evenly as described herein.

### Protective fence

Protective fencing shall be provided for to enclose all shrub beds and shall consist of the following components.

Posts 1.6m min length, 75mm min top diameter, peeled, pointed and tanalised

Single strand plain wire minimum 4mm dia. (no.8 guage, galvanised mild steel.

Sheep wire min height of 1.2m held in place on 3 strands of plain wire.

Maximum spacing for posts shall be 2m.

All protective fencing shall be maintained and repaired or tightened as required.



#### Plant deaths

All tree and shrub losses due to natural causes after planting shall be replaced within the following planting season with plants equal in size and shape to those first planted.

#### Pest and Diseases

All plants shall be inspected by experienced personnel at least twice[2] a year for the presence of pests and diseases. If either or both are present, the Contractor shall report the conditions and implement the appropriate control measure immediately.

All chemicals to be used for the control of pests and diseases shall be approved, and applied in accordance with the manufacturers written instructions.

If any plants are so heavily infested that even after control measures have been taken death is likely, they shall be removed from site and replaced with new healthy stock.

#### Litter removal

The contractor shall clean up all litter and rubbish in the planted areas and grass areas at least once a month and remove it off site.

#### Grass

The contractor shall be responsible for the maintenance and treatment of grass areas throughout the maintenance period.

Grass areas are to be mown at suitable intervals during the maintenance period to maintain the grass sward at a height no greater than 100mm. Access for mowing shall be by arrangement with the client.

Grass should not on any occasion be allowed to form seed heads irrespective of whether or not the required cutting height has been reached.

Mowing shall be carried out with machines in good repair, sharp and evenly set avoiding laying or pulling of the grass. Mowing shall be carried out in dry conditions, leaving grass cuttings evenly spread, sweeping up mowings on hard surfaces.

In the spring the contractor shall apply a top dressing of fertiliser N:P:K (19:10:20) at a rate of 40g/sq.m

Frank Elmes & Co.,  
2, Waldemar Terrace,  
Main Street,  
Dundrum,  
Dublin 14.

Reg. Ref. 91A-0370

13 May 1991

Re: Proposed 24 no. houses (10 no. 3 bed./14 no. 4 bed.)  
on previously approved site (Reg. Ref. 89A-0033) at  
"Hermitage Lawns", Hermitage Court, Grange Road,  
Rathfarnham for S. and A. Deane Bros. Ltd.

Dear Sir/Madam,

With reference to your planning application, received here on 15th March, 1991, in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts, 1963-1983, the following additional information must be submitted in quadruplicate:-

1. The applicant is requested to submit floor plans for the detached and semi-detached houses. The applicant is also requested to clarify the discrepancy noted between the floor plans of the terraced house and the block plan of the site with regard to the location of the proposed kitchen.
2. The applicant is requested to demonstrate that minimum Development Plan Standards with regard to space about dwellings can be provided (10.7 m. minimum of rear garden and 7.5 metre minimum long driveway). It should be noted that some of the proposed houses have rear gardens which are less than the required length and that some of the proposed houses may have to be reduced in depth.
3. The applicant is requested to submit a tree survey showing the location, spread, condition of trees along the southern boundary of the site. The applicant should indicate what trees it is proposed to retain as part of the development and what trees it is proposed to remove.

(Continued)

(Continued)

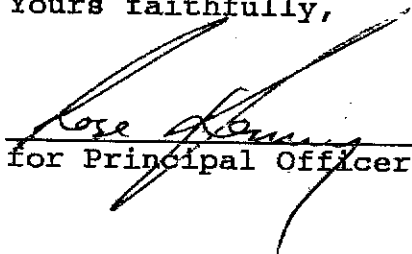
4. The applicant is requested to indicate if he is willing to provide a vehicular access gate to the church site at the top of the proposed road and if so to (i) submit details of the proposed vehicular access point, (ii) submit a letter from the parish priest indicating his consent to the proposed vehicular access point and stating that the church would control this access point, (iii) submit details showing a hard surfaced area over which cars could traverse between the proposed vehicular access point and the church car park and indicate whether the applicant would be willing to provide this, (iv) to submit a revised advertisement in the following form:

"County Dublin - permission sought for 24 no. houses (10. no. 3 bed/14 no. 4 bed.) on previously approved site (Reg. Ref. 89A-0033) and for vehicular access gate to serve the church at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham. S. & A. Deane Bros. Ltd."

5. The applicant is requested to indicate if he is prepared to modify the proposed layout to incorporate a carriageway 6.5 metres in width and if he is so prepared to submit a revised layout indicating the same.
6. The applicant is requested to submit details of proposed treatment of the area of land along the proposed road and to submit details of proposed access way to the school.
7. The existing vehicular entrance to the school from the site should measure at least 4.8 metres in width. The applicant is requested to demonstrate that this can be provided.

Please mark your reply "ADDITIONAL INFORMATION" and quote the Reg. Ref. No. given above.

Yours faithfully,

  
for Principal Officer.

# FRANK ELMES & Co.

ARCHITECTS  
PLANNING CONSULTANTS

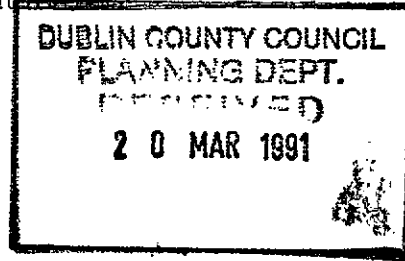
No. 2 WALDEMAR TERRACE,  
MAIN STREET, DUNDRUM,  
DUBLIN 14.  
TELEPHONE : 951514 / 5  
FAX No. : 951703

Mr. Michael O'Hara,  
Dublin County Council,  
Planning Dept. (Registration)  
Irish Life Centre,  
Lower Abbey St.  
DUBLIN 1.

date : 19/3/91

your ref :

our ref :



RE: 24 Houses at Hermitage Lawn, Hermitage Court, Rathfarnham  
Reg. Ref. 9aA/370

Dear Michael,

Further to our telephone conversation this morning, please find enclosed 4 no copies of Engineers' Surface Water Run Off calculations and development spec. for the above project.

I would be obliged if you would add these to the information as submitted on Friday last.

Thank you for your help and attention.

Yours sincerely,

Wm. Plunkett  
FRANK ELMES & CO.

1.0.4-4

unscheduled A.I

copy to Buddy Girdel

Rw.  
27/3/91

SURFACE WATER RUNOFF CALCULATIONS

FOR

PROPOSED DEVELOPMENT

AT

HERMITAGE LAWNS, RATHFARNHAM.

Sean Forrest, B.E.,  
Civil Engineering Consultant,  
"Fountain House",  
55 Main Street,  
Rathfarnham,  
Dublin 14.

Date : March 1991.

Tel. No. 903136.  
Fax. No. 905076.

AREA OF HOUSE UNIT :

6.3 x 11.5m (includes Conservatory)

= 72.45 sq.m.

= 86.65 sq. yds.

= 0.0179 acres

say 0.018 acs.

IMPERMEABLE FACTOR = 0.95

IMPERMEABLE AREA = 0.017 acs

ROADWAY :

IMPERMEABLE AREA PER 100m

100 x 6.0 wide = 600 sq.m.

Impermeable Factor = 0.9

Impermeable Area = 600 x .9

= 540 sq.m.

= 645.84 sq. yds.

= 0.13344 Acres per 100m.

SURFACE WATER RUNOFF CALCULATIONS

HERMITAGE LAWNS RATHERDENHAM

Mh-Mh	Pipe size mm	dist m.	diff in level m.	gradt I in	velo m/s	time of flow secs.	time of conc. min	capacity lits/sec	No. of houses	Length of road m	Impermeable area acres	Total imp. area acres	Rainfall intens. ins/HR	Runoff cusecs lits/Sec	Remarks
55-54	225	39	.25	111.5	1.25	31.2	4.52	57.30	6	50	$6 \times .017 +$ $.5 \times .13344$ $= .102 +$ $.06672$ $= .16872$	.16872	2.24	$.381$ $\frac{\quad}{10.79}$	TIME OF ENTRY. 4 MINS
54-53	225	60.5	1.8	33.5	2.3	26.30	4.95	94.20	9	55	$9 \times .017 +$ $.55 \times .13344$ $= .153 + .0734$ $= .2264$	0.39572	2.13	$0.8486$ $\frac{\quad}{24.03}$	
53-52	225	37	1.65	22.50	2.78	13.31	5.17	114.0	6	70	$6 \times .017 +$ $.7 \times .13344$ $= .102 +$ $.0934 =$ $.1954$	.5905	2.07	$1.2326$ $\frac{\quad}{34.90}$	FENCE. ENTRANCE TO SCHOOL
52-51	225	36	.50	72	1.55	23.23	5.56	63.8	5	40	$5 \times .017 +$ $.4 \times .13344$ $= .085 +$ $.053376$ $= .138376$	.728876	2.00	$1.47$ $\frac{\quad}{41.63}$	

SIGNED: Loe Baird B.E DATE: 8<sup>th</sup> March 1991



DEVELOPMENT SPECIFICATION  
FOR  
HOUSING DEVELOPMENT  
AT  
HERMITAGE LAWNS, RATHFARNHAM.

Sean Forrest, B.E.,  
Civil Engineering Consultant,  
"Fountain House",  
55 Main Street,  
Rathfarnham,  
Dublin 14.

Tel. No. 903136.  
Fax. No. 905076.

Date : March, 1991.

I N D E X

PAGE NUMBER:

1.0	SITE CLEARANCE, ACCESS AND GENERAL :	1.
2.0	MATERIALS :	2.
3.0	EARTHWORKS :	4.
4.0	CONCRETE WORK :	5.
5.0	SEWERS & PIPE LAYING :	8.
6.0	WATERMAINS :	15.
7.0	CONSTRUCTION OF ROADS :	19.
8.0	KERBS, FOOTPATHS ETC.	23.
TABLE 1 :		26.
TABLE 2 :		27.
TABLE 3 :		28.
TABLE 4 :		29.
TABLE 5 :		30.
TABLE 6 :		31.
APPENDIX 1 - List of Drawings :		32.

1.0 SITE CLEARANCE, ACCESS & GENERAL.

1.1 Nature of Works:

The work comprises the site clearance, the laying of the foul and surface water sewers, watermain, the construction of the road, the access to Hermitage Court and Park, together with all ancillary works.

1.2 Drawings:

The Drawings to be read with this Specification are listed in Appendix 1, Page 32 and are prefaced 218/

1.3 Road Opening Licences:

To be secured from the Local Authority. The Developer shall construct temporary diversion ways wherever the Works shall interfere with existing public or private roads or other ways which there is a public or private right of way for any traffic.

1.4 Protection of Work:

The Developer, shall take all necessary precautions to protect existing and new works at the site and immediate approaches thereto from damage by traffic, weather or other causes and shall make good, any works so damaged.

1.5 Site Clearance:

All kerbs, fences etc in the way or otherwise affected by the works shall be removed with the appropriate care.

Trees, bushes, small trees etc in proposed open space, together with those specified for retention are to be protected.

1.6 Cleaning of Roads:

Roads, lanes and public property adjacent to the site, or which form part of the site if littered with mud, clay or any material which has been deposited there as a result of the Developers operations shall be thoroughly cleansed by him immediately.

1.7 Existing Services:

If any privately owned service for water, electricity, drainage etc. passing through the site will be affected by the Works, the Developer shall provide a satisfactory alternative service in full working order to the satisfaction of the owner of the service before cutting the existing service. Before commencing any work in proximity to a known public utility service the Developer shall contact the public utility company and with their assistance establish the precise location of the service.

1.8 Existing Boundaries:

The existing boundary walls, fences, hedges etc. are to be carefully protected.

## 2.0 Material

### 2.1 Materials

As far as practicable, materials and equipment required for the works shall be of Irish origin and manufacture and shall comply with the standards quoted. All materials which the Developer proposes to use in the construction of the work shall comply with the requirements of the Irish Standard Specification for such materials, if one has been published, or with the appropriate British Standard Specification of most recent edition. If no appropriate Standard Specification has been published the material shall be the best of its kind available and to the satisfaction of the Engineer.

### 2.2 Aggregates for Concrete

Aggregates for concrete shall consist of naturally occurring material complying with the requirements of I.S.5. Flakiness index when determined by the sieve method described in B.S. 812 shall not exceed 35 for any size of coarse aggregate.

### 2.3 Cement Grout

Cement grout shall consist of one part by volume Portland Cement mixed one and a half parts by volume of water. The grout shall be used within one hour of mixing.

### 2.4 Cement Mortar

Cement mortar shall consist of :

1 part Portland cement

2 parts sand

accurately gauged and mixed in an approved manner in small quantities.

### 2.5 Cement Lime Mortar

Cement lime mortar shall consist of :

1 part Portland cement

1 part hydrated lime

6 parts natural sand

accurately gauged and mixed in an approved manner in small quantities. Any mortar which has begun to set or which has been mixed for a period of more than two hours shall be rejected.

### 2.6 Concrete Classification

Concrete mixes shall be in accordance with the schedule of concrete mixes provided in Table 1 page 27 showing maximum size of aggregate, cement quantity per m<sup>3</sup> of finished concrete, and minimum cube strength.

Class of concrete is denoted by cement content in kg per m<sup>3</sup> / maximum size of aggregate. Thus 370/40 stands for 370 kg of cement per m<sup>3</sup> and maximum size of aggregate 40mm.

### 2.7 Ready-Mixed Concrete

Ready-mixed concrete shall comply with the requirements of the Contract and B.S. 1926.

2.8 Water

Only water taken directly from the Local Authority's watermains shall be used for mixing concrete, mortar, grout etc.

2.9 Concrete Blocks

Concrete blocks shall be made to comply with requirements of I.S. 20.

616

### 3.0 Earthworks

#### 3.1 Support

Excavations shall be timbered, sheeted and piled or otherwise supported to the extent necessary to support the surrounding ground and to ensure the safety of the Works and adjacent structures.

#### 3.2 Excavations to be kept free from water

The Developer shall provide and maintain and operate the pumping plant, and shall construct such grips, drains, sumps and catchwaters as may be necessary to remove water from the excavations or to prevent its entrance thereto. Water in the excavations shall be dealt with in such manner as will prevent the surfaces on or against which foundations or other work will be constructed from any deterioration of their natural condition.

#### 3.3 Embankments or Other Areas of Fill

The areas on which embankments or other areas of fill are to be constructed shall be stripped of top soil unless otherwise directed.

Embankments and other areas of fill shall be formed of suitable material.

#### 3.4 Watercourses

Excavations carried out in the diversion, enlargement, deepening or straightening of watercourses shall include the operations of any necessary trimming of slopes, grading of beds, disposal of excavated materials and pumping, timbering works and materials necessary for dealing with the flow of water.

The beds and sloping sides of watercourses shall be protected against the action of water.

Where watercourses have to be diverted from the sites of embankments or other works, the original channels shall be cleared of all vegetable growths and soft deposits and shall be connected to a Surface Water Sewer where directed.

#### 3.5 Existing Ditches

Existing ditches shall be cleared by removing vegetable growths and deposits. The sides shall be trimmed throughout and the bottoms uniformly graded and the ditches kept clean and maintained for the period of execution of the Works. Material removed from existing ditches shall be disposed of. Ditches which cross under carriageways shall be treated in accordance with the Engineer's instructions.

#### 3.6 Rock.

Rock shall be removed by excavating machine or rock breaker where possible.

#### 4.0 Concrete Work

##### 4.1 Formwork

Forms shall be constructed that the concrete can be properly placed and thoroughly compacted and that the hardened concrete while still supported by the forms shall conform accurately to the required shape, position and level, and to the finishes specified. Care shall be taken to maintain the stability of the formwork and the tightness of the joints during vibrating operations.

##### 4.2 Ties in Concrete

The whole or part of the ties shall be capable of being removed so that no part remaining embedded in the concrete shall be nearer to the surface of the concrete than the specified thickness of cover to the reinforcement. Holes left after the removal of ties shall be filled with concrete or mortar of approved composition.

##### 4.3 Preparation of Formwork

The inside surfaces of forms shall, except for permanent formwork or unless otherwise agreed, be coated with an approved material to prevent adhesion to the concrete. Such materials shall be applied strictly in accordance with the manufacturer's instructions and shall not come into contact with the reinforcement or pre-stressing tendons and anchorages.

##### 4.4 Bending of Reinforcement

Reinforcement shall be bent to the dimensions given and in a manner that will not injure the material.

Cold worked and hot rolled bars shall not be straightened or bent again one having been bent.

##### 4.5 Placing of Reinforcement

Reinforcement shall be placed and maintained in the position shown in the Drawings. Unless otherwise approved, all intersecting bars shall be tied together with the wire described in the Drawings and the ends of the wire shall be turned into the main body of the concrete.

No splices shall be made in the reinforcement except where described in the Drawings or where approved.

##### 4.6 Concrete Mixes

Unless otherwise directed in the Contract or approved ordinary Portland cement shall be used. The quantity of water shall not exceed that required to produce a concrete with sufficient workability to be placed and compacted where required.

The concrete from each mix shall be tested in accordance with Clause 909 and must satisfy the strength requirements of Table page 27.

#### 4.6 Concrete Mixes .../Contd.

Concrete mixes shall be carried out by the Developer in accordance with C.P. 114 part 2 and Tables 1 & 2, Pages 27 & 28.

The mix shall be proportioned by weight. The concrete shall be mixed by machine to a uniform colour and consistency before placing.

Aggregates for lean-mix concrete shall consist of gravel of 40mm nominal size aggregate, washed where necessary and complying with I.S.S.5.

#### 4.7 Cement

Cement shall be stored in a dry, weather-proof shed with a raised wooden floor or in a silo and shall be delivered in quantities sufficient to ensure that there is no suspension or interruption of the work of concreting at any time. If stored in sheds, each consignment shall be kept separate and distinct.

#### 4.8 Ready Mixed Concrete

Approval of the use of ready-mixed concrete as defined in B.S. 1926, batched off the Site is acceptable.

The concrete shall be carried in purpose-made agitators, operating continuously, or truck mixers. The concrete shall be compacted and in its final position within 2 hours of the introduction of cement to the aggregates.

When truck-mixed concrete is used, water shall be added under supervision either at the Site or at the central batching plant as directed but, in no circumstances, shall water be added in transit.

#### 4.9 Sampling Concrete

Sampling shall be carried out in accordance with the requirements of B.S. 1881 ; Part 1.

#### 4.10 Transport and Placing

Concrete when deposited shall have a temperature of not less than 5°C and not more than 32°C. It shall be compacted in its final position within 30 minutes of discharge from the mixer unless carried in purpose-made agitators, operating continuously, when the time shall be within 2 hours of the introduction of cement to the mix and within 30 minutes of discharge from the agitator.

Concrete shall be deposited in horizontal layers to a compacted depth not exceeding 450 millimetres where internal vibrators are used, or 300 millimetres in all other cases.

Concrete shall not be dropped into place from a height exceeding 2 metres. When trunking or chutes are used they shall be kept clean and used in such a way as to avoid segregation.

#### 4.11 Compaction of Concrete

All concrete shall be compacted to produce a dense homogeneous mass. It shall be compacted with the assistance of vibrators. Leanmix concrete must be compacted by mechanical vibration.



#### 4.12 Curing of Concrete

Immediately after compaction and for 7 days thereafter concrete shall be protected against harmful effects of weather, including rain, rapid temperature changes, frost, and from drying out.

#### 4.13 Early Loading

Concrete shall at no time be subjected to loading, including its own weight, which will include a compressive stress in it exceeding 0.33 of its compressive strength at the time of loading or of the specified 28 day strength.

#### 4.14 Testing of Concrete

150mm cubes shall be made, cured and tested all in accordance with B.S. 1881. All cubes made in compliance with this Clause shall be cast in the presence of the Engineer's representative and their reference numbers shall be submitted to the Engineer in a daily report.

The complete set of cubes taken from each mix of concrete shall be sent in time for the 7 day test. The Laboratory will retain and cure the cubes required for the 28 day test.

A minimum of 3 cubes shall be made from each batch to be tested. One cube shall be tested at 7 days and if the appropriate strength according to Table 1 page 27. is obtained the remaining 2 cubes shall be retained for the 28 day test. If the appropriate strength is not obtained a second cube shall be tested immediately.

Where the concrete to be tested has been supplied by a ready-mix company 3 No. cubes shall be tested by the supplier and 3 No. by the developer's agent.

The appropriate strength requirements for each set of 3 cubes shall be satisfied if none of the strengths of the three cubes tested, 1 at 7 days and 2 at 28 days is below the cube strength specified in Table 1 or, if the average strength of two cubes tested at 7 days is not less than the specified cube strength and the difference between the greater and lesser strength is not more than 20 per cent of the average and the third cube to be tested at 28 days is not less than the specified strength, or, if the strength of one cube tested at 7 days is satisfactory and the average strength of 2 cubes tested at 28 days is not less than the specified cube strength and the difference between the greater and the lesser strength is not more than 20 per cent of the average.

#### 4.15 Workability

Where a batch has been sampled for the purpose of determining the workability of the concrete, 1 test shall be made on each sample by compacting factor apparatus in accordance with B.S. 1881, or other approved method.

The slump requirements to be as set out in Table 2. Page 28.

## 5.0 Sewers and pipe laying

### 5.1 Concrete Cylindrical Pipes

Concrete cylindrical pipes and specials shall be of approved manufacture and shall comply with the requirements of I.S.S. 6:1974. "Concrete Sewer Pipes" and B.S.S. 556: 1972, "Concrete Cylindrical Pipes and Fittings", and I.S. 166:1972, "Concrete Surface Water Pipes".

### 5.2 Concrete Saddles

Concrete saddles shall be of special castings and shall comprise a section of pipe socket with concrete flanges. They shall be cast as one piece. The flanges shall be placed so as to ensure that the end of the saddles does not project into the sewer.

### 5.3 Glazed Ware Pipes

Glazed ware pipes shall comply with the requirements of the I.S.S. 106:1970 for Glazed Ware Pipes or B.S. 65 and 540 and clay ware fittings complying with B.S. 539.

### 5.4 Hard P.V.C. Sewer Pipes

P.V.C. sewer pipes shall comply with the requirements outlines in Test Specifications KOMO, October, 1963 and S.R. 3 1973 for sewage waste pipes and fittings made of hard polyvinylchloride. They shall be free from imperfections. Pipes shall be examined on delivery to the site and any pipes or specials found defective shall be immediately removed from the site.

### 5.5 Asbestos Pipes

Asbestos cement sewerage pipes and fittings shall comply with the requirements of B.S. 3656 with asbestos cement sleeve joints rubber rings complying with the requirements of B.S. 2994 Class C. Depths of trench and corresponding beddings applicable to asbestos cement pipes for sewerage and drainage should comply with data given in National Building Studies special report no. 32 or any subsequent revision of this publication.

### 5.6 Ogee Concrete Pipes

Ogee pipes complying with I.S. 6 or B.S. 556 may be used for surface water sewers and drains only.

### 5.7 Bedding to Pipes

Pipes shall be laid on a bed of concrete, Class C, of the width and thickness shown in schedule of "Bedding and Surrounds for Sewer Pipes" in Table 5. The bed shall be laid true to line and level to an even surface ready for laying of pipes. Concrete in beds and surrounds shall be placed within one hour from the time of mixing. Under no circumstances shall reconstituted concrete be permitted.

### 5.8 House Drains

The maximum number of houses to be served by a single drain shall be six unless otherwise approved. Notwithstanding any approval given during the course of construction, the entire house drainage system shall be subject to final inspection and approval on completion.

### 5.9 Access to sewers and drains

Access to sewers and drains shall be provided at maximum intervals of 90m and in the following positions :

1. At all changes of directions.
2. At all changes of gradients.
3. At the head of all sewer and drain lengths.
4. At all sewer junctions and all changes in pipe diameter.
5. At a point immediately inside the curtilage of the site adjoining the main sewer on all foul sewer drains.

### 5.10 Laying and Jointing of Pipes

Spigot and socket pipes for unplasticised P.V.C. pipes shall be flexibly jointed and sealed with a rubber ring or flexible gasket and approved by the Engineer and shall withstand the various tests specified herein for pipelines. The joints shall be capable of standing a deflection of not less than one and a half degrees in any direction and a "draw" of half an inch without failure of the test. The gap between the spigot and the shoulder of the socket when laid in the pipeline shall not be less than 6mm for pipes up to 675mm diameter and 12mm for pipes over 675mm diameter.

### 5.11 Testing of Sewers

All sewers, manholes, chambers and other work shall be absolutely watertight. In order to make sure of this, the sewers shall be subjected to a water or air test. No sewer shall be covered up until it has satisfactorily passed the test. When a water test is carried out the pipes shall be tested in sections (e.g. between manholes). Each section shall be tested by filling with water under a head of 1m. The head shall be maintained for 30 minutes. Any pipes or joints which show signs of leakage shall be taken out and replaced or re-jointed at the Developers expense until completely watertight.

Sewers and drains shall be tested by one or other of the following methods:

1. Water Test : Foul sewers and drains shall be tested for a minimum of 30 minutes under a head of not less than 1m of water over the crown at the high point and not more than 2.5m of water over the crown at low points of the line under test. The maximum allowable loss of water per house per 100 l lineal metres of pipe shall be given in Table 1.

TABLE 1 Maximum allowable water loss in litres per hour per 100 lineal metres of pipe.

PIPE DIAMETER (mm)	MAXIMUM ALLOWABLE LOSS (l/h)
100	6
150	9
225	13.5
300	18
375	45
450	54
525	63
600	72

2. Air Test : Air shall be pumped into the section of sewer or drain under test until a pressure of 100mm of water is indicated on a U-tube connected to the system. The air pressure shall not fall to less than 75mm head of water during a period of 5 minutes without further pumping after a period of requisite stabilisation.

Failure to pass this test is not conclusive and when failure does occur a water test as specified in (1) shall be carried out. Acceptable or rejection of the line under test shall be based on the results of this water test.

Infiltration Test: Manholes greater than 1m deep shall be tested for infiltration of ground water. Infiltration to manholes shall not exceed 5 litres per hour per manhole.

Infiltration tests shall be carried out when the water table in the ground adjacent to the manhole is at its highest level or at some other approved time.

#### 5.12 Cover to Sewers

All pipelines shall be laid with a minimum cover of 1.2m in roads, footpaths and grass margins and 0.9m in open spaces and fields. Where it is not possible to obtain these minimum covers, pipes shall be bedded and encased in 150mm concrete.

#### 5.13 Surround and Haunch to Pipes

Where shown on the drawings, or directed by the Engineer pipelines shall be haunched, cradled or surrounded with concrete, Class C, in the manner indicated in the schedule of "Bedding and Surrounds for S. & S." In carrying out this work, the Developer shall take care to pack the concrete under and around the pipes to ensure contact to with the previously laid concrete, bedding and solidity in the concrete. In no instance, shall the concrete be thrown directly onto the pipes and during the placing of the concrete the pipelines shall be adequately supported so that they are not disturbed in any way. The upper surface of the concrete shall be struck off with a wooden screen or otherwise and neatly finished off.

#### 5.14 Backfilling of Pipes

Type A granular material shall be provided to a minimum of 150mm over the crown of the pipe for Asbestos Cement and S & S flexible concrete pipes. Backfilling shall continue for further 300mm which shall be free from stones greater than 25mm in size, builders rubbish, vegetable matter and lumps of clay greater than 75mm in size and shall be compacted in 150mm layers to the satisfaction of Building Control Department. Thereafter, back-filling shall continue in 300mm layers. In the case where a rigid pipeline is provided only with a concrete bed and haunched selected fill shall be provided to a depth of 300mm over the pipe as prescribed above.

5.15 Excavation below necessary depths

Where the Developer excavates in trenches below the depths necessary for the work, the excess excavation shall be made good with concrete, Class D.

5.16 Connections to Sewers

Where shown on the drawings or directed by the Engineer existing sewers and drains shall be properly extended, connected and jointed to new sewers and drains. All such connections shall be made during the construction of new sewers and drains and a record of their positions kept for future use and reference. The connections shall be well and tightly made to the new sewers and drains by means of junction pipes and saddle so placed as to discharge in the direction of flow of the main sewer or drain. Where feasible, the connections shall be made at manholes.

5.17 Sealed Gullies and Connections

Gullies which are to be connected to surface water sewers shall be seal type as specified and indicated on the drawings. Outlet from bottom or rodding chamber to sewer shall be laid in such a way as to facilitate rodding and connected to sewers to splay junction pipes or splay saddles. The pipelines shall be surrounded with the gully chambers adequately supported by concrete, Class D.

5.18 Cement

Normal Portland Cement shall comply with I.S. 1:

5.19 Aggregates

Aggregates shall comply with the requirements of I.S.S. 5: "Coarse and Fine Aggregates from Natural Sources for concrete" except that other aggregates may be used if approved.

5.20 Cement Mortar

Cement mortar shall consist of one part of Portland Cement and two parts of sand. The materials shall be accurately gauged and mixed in an approved manner.

5.21 Concrete Mixes

Concrete for use in various locations shall be as given in Table below. All concrete shall be tested in accordance with B.S. 1881 and the acceptance criteria shall be in accordance with C.P. 110.

Schedule of designed concrete mixes.

Concrete Mix No.	A	B	C	D
Cube strength at 28 day min (n/mm)	30	30	20	7
Nominal maximum	40	20	40	40

Class A : In all structural concrete used in buildings, service reservoirs etc.

Class B : In valve chambers, precast posts, concrete aprons in streams, paths, manholes.

Class C : In pipe casings, bedding and surrounds cut off walls, anchor blocks etc.

Class D : Lean concrete for blinding and filling soft spots.

#### 5.22 Manhole and inspection chambers

Manholes shall comprise a rectangular chamber built of 225mm thick concrete walls of 20mm Class B mass concrete, fair faced internally, free from honey-combing and of a high standard of surface finish 150mm or 225mm thick Class B concrete foundations slab as shown on drawings. The concrete shall be laid on 75mm thick Class D concrete. Concrete shall be vibrated to the satisfaction of Building Control Department. Subject to the prior agreement of the Engineer, precast concrete manholes may be used and shall comply with B.S. 556. All pipes shall be neatly built in, cut to form channels. At manholes where there is a change in pipe size between the main pipe entering and that leaving the manhole, the connecting channel shall consist of an approved proprietary tape. Where a suitable taper or channel is not available, the channel shall be formed in in-situ concrete finished in 1:2 cement sand mortar.

Benching shall rise vertically from the top of the channel to a height not less than that of the soffit of the outlet, be sloped upward thence to the wall at a gradient of 1 in 6 finished in 1:2 cement mortar.

In the case of branch drains the benching shall be so shaped as to guide the flow of sewerage in the direction of flow.

Blockwork will only be allowed in surface water manholes situated in high ground where there is no probability of ground water pressure.

If allowed, walls shall be at least 225mm thick with joints fully packed with mortar to within 6mm of surface. A coat of water proofed plaster minimum 10mm thick shall be applied outside and inside to the wall surfaces. A single arched ring of brick shall be formed around each pipe.

#### 5.23 Manhole Dimensions

Fixed dimensions for manholes are not applicable. The dimensions will depend on the size and angle of the main sewer and on the position and number of the branch sewers entering. Suitable minimum dimensions for straight through manholes are given in Drawings. Manholes with curved channels require special consideration and must be agreed with Building Control prior to commencing development works.

NOTE : The minimum internal dimensions of manholes with a curved channel on a 225mm sewer to be 1200mm by 1200mm.

5.24 Manhole covers and frames

Manhole covers and frames shall be standard pattern cast-iron circular and square covers and frames complying with B.S.S. 497 "Cast Manhole covers, Road Gully Gratings and Frame for Drainage Purposes".

B.S 497	Location	Minimum weight of cover and frame.
Grade A	Carriageway	250 kilograms.
Grade B	Foothpaths, verges, pedestrian way	125 kilograms.
Grade C	House Drains	50 kilograms.

On main sewers which are to be taken in charge, square covers are not permitted.

5.25 Manhole rungs and step irons

Manhole rungs and step irons shall be manufactured from mild steel. They shall be hot dip galvanised by the process described in B.S. 1247 : 1975 and shall receive one coat of antigalvanic solution and two coats of red oxide or be subject to other such protective process as may be approved by the Engineer. Step irons are allowable only in manholes less than 1.5m in depth.

5.26 Ladders

Where the depths of manholes are greater than 4.5m galvanised ladders of the approve type shall be used.

5.27 Precast Concrete Manholes

These manholes may be used for surface water manholes for 225-375mm diameter pipes only and depths of 3.0m. They may not be used on carriageways. Using precast concrete components set in recess 125mm by 50mm deep formed in cast in-situ base and filled, before placing of precast unit, with approved bituminous material. The remaining faces of the joints of chamber rings, shall be liberally coated with approved material of trowelling grade prior to being fixed in position, any approved materials shall be neatly struck off. The precast concrete cover slab shall be bedded on the top-most ring on cement mortar. The precast chamber rings shall be surrounded with a thickness of 150mm Class concrete and back filling around the manhole shall be carefully placed to ensure that the rings are not displaced out of the vertical position. Approved shuttering to the requirement of the Council must be provided when placing the concrete surround to all precast manhole chambers. The precast manhole roof must have a minimum ope diameter of 600mm.

5.28 Cleaning of Sewers

At the time of completion of the development works, the developer shall ensure to the satisfaction of Building Control that all sewers and drains within the site are clean and free from obstruction.

5.29 Records

The developer shall submit 2 No. copies of "as constructed" drawings of the main sewer systems on the completion of the main drainage works for the development. The "as constructed" drawing should indicate the following information:

- (a) Ground and invert levels of main sewer manholes.
- (b) Pipe diameter.
- (c) Gradient between manholes.
- (d) Branch from junction from house drains.



6.0 Watermains

6.1 Specification

- 1. Asbestos Cement pressure pipes complying with - B.S. 486.
- 2. Ductile iron pipes cast and spun complying with - B.S. 4772.
- 3. Grey iron pipes cast and spun complying with - B.S. 4622.
- 4. Polyethylene pipes type 50 complying with - I.S. 135.
- 5. Unplasticised P.V.C. pipes complying with - I.S. 123.

6.2 Pipe Classes

U/P.V.C./ASBESTOS CEMENT	TEST PRESSURE.
Class B/15                    "	130 P.S.I. or 9 Bar.
Class C/20                   "	195 P.S.I. or 13 Bar.
Class D/25                   "	200 P.S.I. or 17 Bar.

NOTE : All pipes are to be Class C/20 except where special permission is obtained. These pipes shall be subject to a minimum hydraulic test pressure of 150 lbs. per square inch before being back filled.

6.3 Sluice Valves

Sluice valves shall comply with B.S. 1218 or other approved standards. They shall close by turning anti-clockwise.

6.4 Location of sluice valves

Sluice valves shall be provided so that houses can be isolated in groups of not more than 40 houses and shall comply with B.S. 1218. The depth of the sluice valve spindle below finished ground level shall not exceed 600mm. For depths greater than 600mm an extension spindle (with guides built into chamber @ 450mm c/c) shall be securely fixed to sluice valve spindles.

6.5 Hydrants

Hydrants shall comply with B.S. 750 and shall be bayonet-lug type with bronze fitting and shall comply with standard pattern. They shall bear the marking B.S. 750: 1977.

6.6 Location of Hydrants

Hydrants shall be provided so that no house is more than 46m from a hydrant. The hydrant outlet point shall be 325mm below finished ground level. A tolerance of 100mm is acceptable.

### 6.7 Design of Watermains

Watermain pipe size and layout shall be in accordance with the requirements of  
However, the following criteria shall apply :-

1. The minimum pipe size shall be 100mm in housing developments or a minimum of 150mm elsewhere unless otherwise specified.
2. House connections shall not be taken across roads.
3. Watermains shall be looped except where the Council permits the use of dead ends, a duck foot hydrant shall be provided at the dead end.
4. No P.V.C. pipe size greater than 200mm shall be used.

### 6.8 Laying of Watermains

Watermains shall be laid where possible in footpaths or grass margins. Pipes shall be laid on a 50mm bed of fine grained material consisting of sand passing a 10mm sieve. Similar material, thoroughly compacted shall be placed around and over the pipe for a cover of 100mm, (150mm where stones are in excv. material).

The remainder of the back-filling shall consist of a select material approved by the  
The minimum cover to a watermain pipe shall be 900mm.

### 6.9 Pipes under roads

Pipes shall be laid on a 50mm bed of fine material consisting of sand passing a 10mm sieve. Similar material shall be placed around and over the pipe for a cover of 150mm. The remainder of the back-fill material up to road formation level, shall consist of hard core or gravel material.

### 6.10 Pipe Anchorage

Concrete anchor blocks shall be provided at :-

1. Dead Ends (duct foot hydrants)
2. Tees.
3. Bends.
4. At both sides of a sluice valve chamber.

Anchor blocks shall encase the pipe in concrete to a minimum thickness of 150mm all around and shall be a minimum length of 600mm. For large size pipes greater than 200mm diameter, the developer shall submit his anchor block details.

### 6.11 Stopcocks

Stopcocks complying with BS 1010 shall be provided on each service pipe. The stopcock should be located in the driveway to the house at a distance not greater than 0.5 metres from the back of the footpath. The top of the stopcock shall be a minimum depth of 450mm below the finished ground level. In the case of dead ends the developer shall locate the duct foot hydrant a distance of 5m from the last house services of that line.

#### 6.12 Stopcock covers

Details of approved type stopcock covers together with specification for same are shown on the attached drawing.

#### 6.13 Service Pipes

All service pipes shall have a minimum cover of 600mm. The pipes shall have a minimum of 12mm internal diameters and shall be one of the following types :

- a) Annealed copper complying with B.S. 2871 Part 1, Table Y.
- b) Polyethylene pipe 50 type complying with I.S. 134, heavy gauge.
- c) Service pipes other than (a) and (b) must have prior approval of

Fittings and specials shall be of approved type.

#### 6.14 Chambers

Chambers for sluice valves, air valves, hydrants and stopcocks shall be as shown on drawings. Chambers for stopcocks shall comply with B.S. 1185. Precast concrete or in-situ concrete chambers may also be used subject to approval.

#### 6.15 Surface Boxes

Hydrants, sluice valves, air valves chambers shall be provided with cast iron surface boxes complying with B.S. 1426 and B.S. 3461. The grade of surface box shall be in accordance with the British Standard. Heavy Grade (H) to be used in carriageways and medium grade (M) to be used in footpaths and grass verges.

#### 6.16 Indicator Plates

Hydrants, air valves and sluice valves shall be located by indicator plates positioned to the approval of the County Council and shall comply with B.S. 3251. Hydrant plates shall indicate the diameter of the watermain in millimetres on the upper part of the plate and the distance from the hydrant in metres on the lower part of the plate. All characters shall be black and the remainder of the front face shall conform to colour reference no. 309 (canary yellow) in B.S. 381C. Sluice valves and air valves shall have the appropriate letters and shall be 200mm x 200mm square. These plates shall be cast iron with the appropriate letters in relief. The plates shall be painted with black bitumastic paint and the letters with white enamel paint.

#### 6.17 Marker Posts

Where marker posts are used, they shall be concrete complying with I.S. 162 as per drawing and shall be located as an inset to the rear of the footpath (indicator plates may be fixed to solid boundary walls).

#### 6.18 Chlorination of Mains

Before any house connections are made to the watermain, the watermain shall be thoroughly swabbed and chlorinated.

6.19 Storage

Twenty four (24) hour storage is to be provided. Suggested storage for domestic purposed is as follows :-

Dwelling house with 3 bedrooms/ or less	-	80 gallons.	-	364 litres
Dwelling house with 4 bedrooms/ or over	-	100 gallons.	-	455 litres.

## 7.0 Construction of Roads

### 7.1 Strength of Subgrade

Subgrade strength shall be established by means of the California Bearing Ratio (C.B.R.) Test in accordance with B.S. 1377. Samples shall be taken at the rate of 1 per 100m. of road and where significant variations in soil types are anticipated.

### 7.2 Strip to formation

The areas to be excavated shall be stripped of top soil.

Excavation over the full width of formation for carriageways and footpaths shall be carried out in one operation. In this operation the excavation for carriageways shall be carried down to formation level and the excavation for footpaths down to the finished level of the footpath. Under no circumstances shall the carriageway width only be excavated and the paths excavated to finished level subsequent to carriageway construction. Excavation for the path from finished level to formation level should be done after all sewers, services, etc. have been laid. All excavated material shall immediately be removed from the lines of roads, pipes, etc., or the sites of works of any description and shall be deposited at approved locations.

### 7.3 Road crossings

All sub-grade drainage, gully and house connections, service crossings and ducts for services within the formation area shall be completed before preparation and treatment of the formation commences.

A record of the position of all connections, crossings, and duct, measured from the nearest manhole, along with their description shall be kept by the Developer. The concrete channels on each side of carriageway marked to show the position and description of the connection, crossing or duct. Trenches shall be backfilled in accordance with the requirements of Clause 517 and S.D. No. 9. Backfilling around gully pits, manholes etc shall be M.O.T. graded stone compacted by power rammer or vibratory roller in accordance with the requirements of Clause 309.

### 7.4 Preparation of Formation

All surfaces below roads and hardstandings shall, after reinstatement of any soft areas, be well cleaned and freed from mud and slurry.

The surface shall be compacted by 4 passes of a smoothwheeled roller of 8-10 tonnes or equivalent.

The formation shall be regulated and trimmed.

The trimmed formation shall be rolled by 1 pass of a 2.5 tonnes smooth-wheeled roller or equivalent.

Construction of the sub-base or road base shall follow immediately the completion of the formation.

7.5 Sub-base

Sub-base material shall be granular, frost resistant and comprise crushed rock or graded gravel. The material shall be well-graded and lie within the following limits :

B.S. Sieve Size	Range of Grading : Percentage by Weight Passing
75 millimetres	100
37.5 millimetres	85-100
10 millimetres	40-70
5 millimetres	25-45
600 microns	8-22
75 microns	0-10

The particle shall be determined in accordance with the requirements of B.S. 1377.

The material passing 425 micron sieve, when tested in accordance with B.S. 1377, shall be non-plastic.

It shall be laid in layer or layers to have the total compacted thickness.

The minimum compacted thickness of layer shall be 75mm and the maximum compacted thickness shall be 150mm.

All materials shall be placed and spread evenly. Spreading shall be undertaken either concurrently with placing or without delay.

As soon as possible after the material has been spread compaction shall be completed. Special care shall be taken to obtain full compaction in the vicinity of both longitudinal and transverse joints. The surface of any layer of material on completion of compaction be well closed, free from movement under compaction plant and from compaction planes, ridges, cracks or loose material. All loose, segregated or otherwise defective areas shall be made good to the full thickness of layer and re-compacted.

The sub-base must be fully prepared and inspected by the Engineer before road base construction or concrete commences.

7.6 Depth of Sub-base

To be specified as per Road Note 29. for the appropriate road classification.

7.7 Access Road :

The access road shall be an unreinforced concrete pavement and shall be constructed as follows.

Access Road - Road base and surfacing

Road base type	Thickness required (mm)	
Rolled Asphalt	Road base	70
	Surfacing	60
	Total	130
Dense Bitumen Macadam	Road base	75
	Surfacing	60
	Total	135
Lean Mix Concrete	Road base	130
	Surfacing	60
	Total	190

(b) Concrete Pavement

Un-reinforced concrete pavements shall be in accordance with the following :

\* \* \* Access Road - Sub Base.

C.B.R. Sub-grade %	2 or less	2 to 4	Over 4
Thickness of sub-base (mm)	300	230	200

Access Road - Unreinforced concrete slab

Slab thickness (min)	175mm
Contraction joint spacing (max)	6m
Expansion joint spacing (max)	36m

(c) Specification for un-reinforced concrete road slabs

Mix :- Graded aggregate 40mm maximum size- minimum cement content 310 kg/cu.m minimum 28 days strength 30N/mm<sup>2</sup>.

Expansion joints shall have approved dowel bars, parallel to the finished slab surface at approximately mid depth. Such joints shall have an approved joint filler which completely separates the adjacent slabs.

Contraction joints shall have a groove sawn into the top one third of the slab.

Longitudinal joints shall be spanned by tie bars as approved by the Chief Engineer.

Concrete road slabs must be laid in one course.

7.8 Road Gullies

1. Surface water gullies shall comprise a rectangular chamber to dimensions and detail shown on drawings.
2. Built of 225mm concrete block in compliance with I.S. 20, in cement mortar on Class 250/40 concrete bed.
3. Built in Class 320/20 mass concrete 225mm thick on Class 250/40 concrete bed.
4. Alternatively precast chambers may be used if approved by the Engineer.

The outlet pipe from the chamber shall be as high as possible above sump level to facilitate rodding and shall be trimmed to the inside face of the wall of the chamber into which it is built.  
The gully grating and frame shall be set flush with the level of the channel and the transverse bars of the grating shall be at right angles to the line with the hinged end of the grating on the side of approaching traffic.



## 8.0 Kerbs, Footpaths etc.

### 8.1 Kerbs

Kerbs shall be either precast concrete to B.S. 340 or in-situ concrete and shall comply with the requirements of Clauses 1101 and 1103 respectively of "Specification for Road and Bridge Works". Kerbs shall show between 100 and 150mm above the channel except at vehicular accesses where they shall be reduced to 40mm. In-situ concrete kerbs shall be to the dimensions and outline shown on drawings and in the case of a concrete carriageway, shall sit 50mm minimum on to the finished carriageway surface.

Where kerbs in precast or in situ concrete are laid on concrete carriageways, transverse joints shall be formed at 3m centres so that a kerb joint will coincide with a transverse joint in the carriageway and in an in-situ concrete footpath.

At vehicular accesses, a bellmouth shall be formed for easy turning of vehicles at the kerb line. The bellmouth shall be so shaped that the width of the apron at the kerblines is at least 2m wider than at the mouth of the opening at the back of the footpath. Extruded kerbs shall be in accordance with Clause 1103 of Specification for Road Works.

### 8.2 Footpaths and Pedestrian Ways

Pavement for footpaths and pedestrian ways shall be either un-reinforced concrete, precast concrete or flexible. The minimum thickness of non-frost susceptible sub-base material shall be 100mm. At vehicular accesses, the sub base thickness shall be increased to 150mm minimum. The minimum footpath width shall be 1.5m.

#### Un-reinforced Concrete Slabs

Concrete shall be laid in one course, 100mm thick. At vehicular accesses, the minimum thickness shall be 150mm.

Mix - 20mm aggregate, minimum cement content 280 kg/cu.m, 28 day strength (min) 20N/mm<sup>2</sup>. The surface shall be brushed lightly with a brass broom.

Transverse expansion/contraction joints shall be formed at 3m centres for the full depth of the concrete and shall comprise a double thickness of bituminous roofing felt or other approved material.

#### Flexible Surface

The flexible surfacing shall be coated macadam in accordance with B.S. 4987 - 1973. It shall be laid in two courses consisting of 40mm thickness of 20mm nominal size open textured base course macadam and 25mm thickness of 10mm nominal size dense wearing course macadam.

Where flexible construction is used, satisfactory support shall be provided to both sides of the footpath or pedestrian way by concrete kerbs, edgings or other approved means. The minimum footpath width shall be 1.5m, pedestrian ways shall have a minimum width of 2.4m.

### 8.3 Electrical Supply

The Electricity and Public Lighting Department of Dublin Corporation Marrowbone Lane, Dublin 8 is the competent Lighting Authority for Dublin County. All electrical work on Public Lighting must conform to the requirements of that Department. Copies of drawings and correspondence shall be sent to the Public Lighting and Electrical Supply Section.

### 8.4 Public Lighting

Public Lighting layout must comply with the requirements of the Electricity and Public Lighting Department.

The Electricity and Public Lighting Department will design the public lighting scheme and return it with their recommendations.

### 8.5 Lighting Standards

The general standard required is 125W mercury vapour fluorescent Lanterns at 6 metres mounting height 1m outreach and with a spacing of 34 metres  $\pm$  3 metres. For pedestrian pathways a "raising and lowering" Abacus 6m x 1m is required.

In the case of larger schemes where through traffic routes may be expected to carry traffic above the average residential density or in special centres, a mounting height of 8 metres having a lantern incorporating either a 250W mercury fluorescent lamp or a 90W sodium lamp may be required.

### 8.6 Cover to mains

The minimum depth of cover to underground mains located under paths and roads shall be 500mm. Plastic insulated wire armoured sheathed cables as recommended for underground use shall normally be used. The preferred method of cable laying in pathways is to place it in a 50mm duct, rather than directly into the ground in order to facilitate easier fault finding of defective circuits, if necessary, later.

The cables should be protected by bricks or tiles or similar approved materials in pathways and laid in sand where ducts are not laid.

The cables should be protected by ducts at road crossings and gateway entrances.

### 8.7 Lanterns

All lanterns of the 125W MBF/U type must be side entry enclosed type with vandal resistant refractors, clear visor and use aluminum reflectors for light control. Control gear to be integrally mounted in the lantern compartment but remote from the lantern enclosure. Lamps to have type E.S. Cap.

All lanterns shall comply with the requirements of B.S. 1788 - specifications for street lighting lanterns.

6 metre columns to be wired with 1.5 sq. m. PVC/PVC cables.

Control of street lighting shall be by photo-electrical switches, each light individually controlled.

A 5 amp tumbler switch shall be provided in the lighting columns at the photo cell positions for day time circuit testing by short circuiting the photo electric switch.

Post top lanterns shall not be accepted.

TABLE 1.

Class		Minimum Compressive Strength		Type of construction in which mix is to be used.
Minimum cement content in concrete kg/m <sup>3</sup> .	Max. Aggr. Size mm.	7 days N/mm <sup>2</sup>	28 days N/mm <sup>2</sup>	
370	40	24	36	Single course concrete road slabs.
370	20	21	32	Top 50mm conc. of R.C. road slabs, kerbs and channel blocks.
320	20	20	30	Manhole roofs and walls.
250	40	13	20	Base course in footpaths, gully and manhole floors, manhole benching.
210	40	8	12	Bedding, haunching and surround to sewers, pipes and ducts.
370	sand	-	-	Top course in two course conc. footpath.
101	40	7	10	Leanmix roads, filling and making up to formation level.

X 1N/mm<sup>2</sup> = 150 p.s.i.

Workability shall be in accordance with the following Table

Table 2 Workability

Workability	Maximum Aggregate size mm	Slump millimetres	Compacting Factor
Low	40	25-50	0.82-0.88
Medium	20	12-25	0.82-0.88
Medium	40	50-100	0.88-0.94
	20	25-50	0.88-0.94
High	40	100-175	0.94-0.97
	20	50-125	0.94-0.97

TABLE 3.

GRAVEL BEDDING ----- FOR ASBESTOS CEMENT SEWER PIPES ALSO APPLICABLE TO A.C. WATER MAINS.

Pipe Diam M.M.	BC Outside Diam.	BW Bed Width	Y Bed Thickness	C.M. Per M. Run.	Y Bed Thickness	C.M. Per M. Run.
			1/8 BC or 100mm.		1/4 BC or 200mm.	
100	122	450	100	.067	200	.112
125	150	475	100	.074	200	.122
150	178	500	100	.082	200	.132
175	203	525	100	.090	200	.143
200	228	550	100	.097	200	.152
225	255	600	100	.111	200	.171
250	282	650	100	.125	200	.190
300	340	700	100	.144	200	.214
375	427	950	100	.226	200	.321
450	511	1050	100	.271	200	.376

NOTE : IN UNIFORM SOIL USE COLUMNS SHOWING Y = 1/6 BC or 100.  
IN ROCK USE COLUMNS SHOWING Y = 1/4 BC or 200.

TABLE 4.

CONCRETE BED AND HAUNCH FOR S & S CONCRETE SEWER PIPES.

Pipe diam MM	BC Outside diam.	BW Bed Width	Y Bed Thickness	C.M. Per M. Run
100	152	350	100	.045
150	209	410	100	.056
225	297	500	100	.073
300	400	600	100	.095
375	560	760	100	.134
450	635	835	110	.164
525	711	910	130	.204
600	800	1000	150	.252
675	848	1060	170	.293
750	952	1190	190	.367
825	994	1240	210	.413
900	1156	1445	225	.538
1050	1321	1650	260	.710
1200	1473	1840	300	.897
1350	1690	2110	340	1.168
1500	1744	2180	375	1.301

## CONCRETE BED &amp; SURROUND FOR S &amp; S CONCRETE SEWER PIPES.

Pipe diam. M.M.	BC Outside diam.	BW Bed Width	Y Bed Thickness	C.M. Per M. Run.
100	152	350	100	.093
150	209	410	100	.115
225	297	500	100	.152
300	400	600	100	.196
375	560	760	100	.270
450	635	835	110	.316
525	711	910	130	.373
600	800	1000	150	.440
675	848	1060	170	.505
750	952	1190	190	.633
825	994	1240	210	.703
900	1156	1445	225	.931
1050	1321	1650	260	1.223
1200	1473	1840	300	1.535
1350	1690	2110	340	2.005
1500	1744	2180	375	2.196



TABLE 6.

GRAVEL BED & SURROUND FOR HARD P.V.C. WATER MAIN PIPES.

Pipe Diam. M.M.	BC Outside Diam.	BW Bed Width	Y Bed Thickness	D Cover	C.M. Per M. Run
100	110	450	100	150	.152
150	160	500	100	150	.185
175	194	525	100	150	.204
200	219	550	100	150	.220
225	243	600	100	150	.249
250	274	650	100	150	.282
300	324	700	100	150	.319

APPENDIX 1 - List of Drawings.

- 218/1 : DRAINAGE LAYOUT.
- 218/2 : WATERMAIN LAYOUT.
- 218/3 : LONGITUDINAL SECTION.

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone:773066

Register Reference : 91A/0370

Date : 19th March 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : 24 no houses (10 no. 3 bed/14 no. 4 bed) on previously  
approved site (Reg.Ref. 89A/33)

LOCATION : "Hermitage Lawns", Hermitage Court, Grange Road,  
Rathfarnham.

APPLICANT : S & A Deane Bros. Ltd

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received  
on 15th March 1991.

Yours faithfully,

.....  
PRINCIPAL OFFICER

Frank Elmes & Co.,  
2 Waldemar Terrace,  
Main Street,  
Dundrum,  
Dublin 14.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place / in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building HERMITAGE LAWNS HERMITAGE COURT  
(If none, give description) OFF GRANGE ROAD

3. Name of applicant (Principal not Agent) S & A DEANE BROTHERS LTD. BYE LAW APPLICATION  
Address 4/A NO 4 BELOW Tel. No. 1820

4. Name and address of FRANK ELDES + CO. 2 WALDEMAR TCE. MAIN ST.  
person or firm responsible DUNDEEM DUBLIN 14 Tel. No. 951514/15  
N 34552

5. Name and address to which AS AT NO 4 ABOVE  
notifications should be sent

6. Brief description of 24 NO HOUSES (10 x 3BED + 14 x 4 BED)  
proposed development

7. Method of drainage EXISTING 8. Source of Water Supply EXISTING

9. In the case of any building or buildings to be retained on site, please state:-  
(a) Present use of each floor N/A  
or use when last used.  
(b) Proposed use of each floor N/A

10 Does the proposal involve demolition, partial demolition  
or change of use of any habitable house or part thereof? NO

11.(a) Area of Site 2.9 AC. GROSS Sq. m.  
(b) Floor area of proposed development HOUSES 2578 SQM / OPT. CONSERVATORY'S 168 Sq. m.  
(c) Floor area of buildings proposed to be retained within site N/A Sq. m.

12.State applicant's legal interest or estate in site FREEHOLD / CONTRACT TO PURCHASE FREEHOLD  
(i.e. freehold, leasehold, etc.) SEE DRG. NO. 03-21-03

13.Are you now applying also for an approval under the Building Bye Laws?  
Yes  No  Place / in appropriate box. YES

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:  
WHERE APPLICABLE

RECEIVED  
15 MAR 1991  
Reg. Sec.

15.List of documents enclosed with CHEQUE / NEWSPAPER NOTICE

CO. DUBLIN - Permission sought for 24 no. houses (10 no. 3 bed./14 no. 4 bed.) on previously approved site (Reg. Ref. 89A/33) at "Hermitage Lawns", Hermitage Court, Grange Road, Rathfarnham. S. & A. Deane Bros. Ltd.

4 X OUTLINE SPEC. 4 X ENGR. CALCUL + SPECIFICATION  
4 X DRG. NOS DB/01/03-04 ENGR. DRG. 210/1-2-3

development (See back) 2578 SQM SEE ABOVE Sq. m.

No of dwellings proposed (if any) 24 NO Classes of Development CLASS 1

Fee Payable £ 2088.00 Basis of Calculation (£32.00 PL 155.00 BBL) X 24  
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Frank Eldes Date 15-03-91

Application Type P/BBL FOR OFFICE USE ONLY

Register Reference 91N/0370

Amount Received £ 4522.77 1.20.4 15/3

Receipt No

Date

Ev  
Herald  
15/3/91

7768  
15/3  
N 34234

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
  - (a) The address of the structure or the location of the land.
  - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
  - (c) The name of the applicant.

**NB. Applications must be received within 2 weeks from date of publication of the notice.**

4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
  - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
  - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
    - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
  - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension	
C	Building — Office/ Commercial Purposes	£30.00 each (min. £70.00)
D	Agricultural Buildings/Structures	£3.50 per m <sup>2</sup> £1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY — DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

EYE LAW APPLICATION

- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

REC. NO. N 34552

£1320.00

Received this 15th day of March 1991

from Frank Elmes  
2 Waldemar Terrace

the sum of one thousand three hundred and twenty Pounds

Pence, being 00 6 11  
application at Hermitage Lewis, Hermitage road

Michael O'Han Cashier

S. CAREY  
Principal Officer

Class A  
24 hours

# COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

[RECEIPT CODE BOX]

PAID BY

DUBLIN COUNTY COUNCIL

45/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

EYE LAW APPLICATION

REC. NO. 34552

CASH  
CHECK

M.O.

B.L.

I.T.

£1370.00

Received this

15th day of March 1991

from

Frank Elmes  
2 Waldemar Terrace

the sum of

one thousand three hundred and twenty Pounds

Pence, being 00

application at Hermitage Lawn, Hermitage rd

Class A

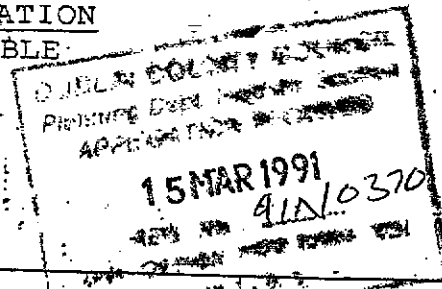
Michael O'Hara

Cashier

[Signature]

S. CAREY  
Principal Officer

[Signature]

OUTLINE SPECIFICATIONWHERE APPLICABLE  
for

## FOUNDATIONS

Excavate to depth and width as shown on section or to the requirement of the Local Authority, Engineer, concrete to be not leaner than 1:7.

## RISING WALLS

To be in solid blockwork to D.P.C. level, min 150mm over finished ground level.

Cavities of half brick front walling to be drained min 225mm below D.P.C. level.

## GROUND FLOOR

Remove 225mm vegetation layer.

Slab to be 150mm deep sanded 6:1 clean pit gravel and cement on 25mm aeroboard insulation on 1000 gauge (300mm *4p 17m*) visqueen on 50mm sand blinding on 150mm well compacted hardcore.

Visqueen brought vertical and lapped over D.P.C. in walls.

## FIRST FLOOR:

SEE SECTION.

## BLOCKWORK

225mm hollow conc blocks to external walls as shown laid on 225mm wide D.P.C. min 150mm above finished ground level. 225mm solid blockwork in all party walls.  $\frac{1}{2}$  brick front to be 275mm cavity (100mm outer leaf, 50mm cavity, 25mm insulation, 100mm inner leaf). With ties every 450mm vertical and 750mm horizontally with D.P.C. 150mm above F.G.L. in inner and outer leaf. D.P.C. to be carried around jambs of opes in cavity walling.

Permanent Ventilation 225 x 225mm to all habitable rooms without fireplaces.

Cover of flues to fireplaces to be at least 112.5mm on flanks and 225mm on ends, Min 50mm cavity, min 225mm separation to be provided between flues of adjoining properties.

Cement mortar to be not leaner than 1:4 and gauged mortar to be not leaner than 1 cement/lime to 4 sand.

## RAINWATER

To be 100mm  $\emptyset$ , half round black p.v.c. gutters, swan necks, down pipes and fittings to G.T.'s to A.J.'s to surface water sewer.

## FOUL DRAINS

Drains to be laid on concrete beds haunched to pipes and encased in min 150mm conc. under buildings and bridged over at intersections with walls.

Vent pipe to head of drain where branch may exceed 10m.

Toilets to be perm. ventilated to the outside air.



FOUL DRAINS contd.

Ground floor waste pipes to deliver to gully trap to A.J. to foul drain.  
Soil and waste pipes to be accessible throughout entire length.

W.C.'s to single stack soil vent pipe (to B.S. 5572-1978) to A.J. to M.H. to foul sewer. W.H.B.'s & baths to single stack S.V.P. to A.J. foul drain.

Rodding facilities to be provided at all intersection of drains.

JOINERY

All joinery to standard specification treated against rot, primed undercoated and gloss finished.

Hardwood to be varnished or oiled.

External windows and doors as above or "Sadolins" to all external timber work.

FINISHES

External plaster - Skud, scratch and float with sand and cement, tyrolean and nap finish.

Reveals to all opes.

Internal plaster - Gypsum undercoat and skim to internal walls only. 9.5 gypsum foil backed plasterboard on 50 x 25mm battens at 600 c/c with 50mm fiberglass to inside face of all external walls.

Ceilings to be slabbed and skimmed.

PITCHED  
ROOF

Selected concrete roof tiles on 50 x 50mm roofing battens on untearable roofing felt on approved pre-fabricated roof trusses to I.S. 193 (1986) @ 600mm c/c, with 100 x 25 windbracing at rafter and ceiling level galvanised straps to trusses at 1.2M centres at gable walls to be fixed across 2 No trusses over blocking pieces fixed between trusses.

Trusses to be laid and braced strictly in accordance with I.S. 193 (1986), 175 x 25mm soffit & fascia.

FIRST FLOOR Chipboard on Joists.

- NOTE: (1) Where any discrepancy occurs between spec. and dwg., Architect is to be consulted and his decision is final.
- (2) All levels, dimensions and sizes to be checked and verified by Contractor prior to the commencement of any work.
- (3) The Developer reserves the right to alter the above spec.