

91A/0366

CERTIFICATE NO. 24590

PROPOSAL: Trade Reception Entrance
 LOCATION: Unit 15 Western Parkway Business Centre, Ridgmont, MD
 APPLICANT: J.M.C. Pneumatics

1	2	3	4	5	6	7
Dwellings/Area Length/Struct	RATE	AMT. OF FEE REC.	AMOUNT LOGGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO
Dwellings	8232					
	8216					
	530 ⁰⁰	140	140			
X of Area						
X of Area						
X of Area						
X of Area						
X of Area						
X of Area						
X of Area						
X of Area						
X of Area						

Ann 1 Certified: Signed: *J. Gino* Date: *22/3/91*
 Ann 7 Endorsed: Signed: _____ Date: _____
 Ann 2,3,4,5,6 & 7 Certified Signed: *RWD* Grade: *S.O* Date: *21/3/91*
 Ann 2,3,4,5,6 & 7 Endorsed: Signed: _____ Date: _____

REF. NO.: 91A/0366

CERTIFICATE NO.: 4285^B

PROPOSAL: Trade Reception Entrance

LOCATION: Unit 15 Western Parkway Business Centre, Ballymore Rd, Lower

APPLICANT: S.M.C Pneumatics

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	€ 55					
B	Domestic Em. (Improvement/Alts.)	€ 50					
C	Building for office or other comm. purpose <u>5.30m</u>	€ 53.50 per M ² or 50		<u>70</u>	<u>70</u>		
D	Building or other structure for purposes of agriculture	€ 50.00 per M ² plus excess of 500 M ² Min. 5000					
E	Petrol Filling Station	€ 200					
F	Dev. of prop. not coming within any of the forgoing classes	€ 70 or € 9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: [Signature] Grade: DTE Date: 24/8/91

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 21/3/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: *91A/366*

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

57FT²

MEASURED BY:

J. Y. 22/3/91.

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: F/ /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

COMHAIRLE CHONTAE ÁTHA CLIATH

Order No. P/2032/91

Record of Executive Business and Manager's Orders

Open Space:
Other:
SECURITY:
Bond/C.I.E.:
Cash:

Trade reception entrance at unit 15 Western Parkway Business Centre, Ballymount Road Lower, Walkinstown for SMC Pneumatics Ltd.

Delany MacVeigh & Pike, Archs.,
Ownestown House,
Fosters Ave.,
Blackrock,
Co. Dublin.

Reg. Ref.	91A/0366
App. Recd:	15.3.1991
Floor Area:	5.3 sq. m.
Site Area:	5.3 acres
Zoning:	

Report of the Dublin Planning Officer, dated 7 May 1991

This is an application for PERMISSION for a Trade Reception entrance at SMC Pneumatics, Unit 14⁵ Western Parkway Business Centre Ballymount Road Lower, Walkinstown.

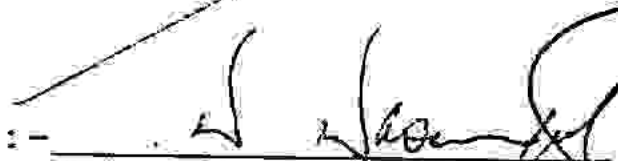
The Unit is at the end of a line of units within the Western Parkway Business Centre. It is proposed to put a new Trade Reception entrance door into the gable wall of the building. There is no planning objection to this proposal.

It is proposed to use an area of 5.3 sq. m. for a Trade Reception area.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (4) conditions:-

(CONDITIONS ATTACHED)

MO
(MD/BB)

Endorsed:- 
for Principal Officer


For Dublin Planning Officer

10.5.91

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to GRANT PERMISSION for the above proposal subject to the (4) conditions set out above is hereby made.

Dated: 13 May, 1991.


ASSISTANT CITY & COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 26th April, 1991.

COMHAIRLE CHONTAE ÁTHA CLIATH


Order No. P/2032/91

Record of Executive Business and Manager's Orders

Trade reception entrance at unit 15 Western Parkway Business Centre, Ballymount Road Lower, Walkinstown for SMC Pneumatics Ltd.

CONDITIONS

REASONS FOR CONDITIONS

- | | |
|---|---|
| <p>1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.</p> <p>2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.</p> <p>3. That no advertising sign or structure be erected, except those which are exempted development, without prior approval of Planning Authority.</p> <p>4. That all external finishes shall match the existing in colour and texture.</p> | <p>1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.</p> <p>2. In order to comply with the Sanitary Services Acts, 1878-1964.</p> <p>3. In the interest of the proper planning and development of the area.</p> <p>4. In the interest of visual amenity.</p> |
|---|---|
- 

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/~~Approval~~

Local Government (Planning and Development) Acts, 1963-1983

To Delany MacVeigh & Pike Archs., Decision Order P/2032/91 - 13.05.1991
Dwenstown House, Number and Date
Fosters Ave, Register Reference No. 91A/0366
Blackrock, Planning Control No.
 Applicant SMC Pneumatics Ltd, Application Received on 15.03.1991
 Floor Area: 5.3 sq. m.

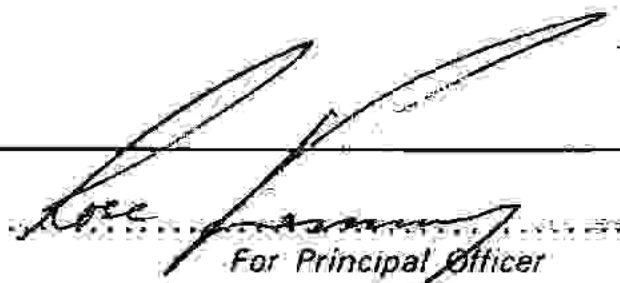
In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/~~Approval~~ for:-

Trade reception entrance at Unit 15 Western Parkway Business Centre, Ballymount Road Lower, Walkinstown.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto. 2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development. 3. That no advertising sign or structure be erected, except those which are exempted development, without prior approval of Planning Authority. 4. That all external finishes shall match the existing in colour and texture.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained. 2. In order to comply with the Sanitary Services Acts, 1878-1964. 3. In the interest of the proper planning and development of the area. 4. In the interest of visual amenity.

Signed on behalf of the Dublin County Council


For Principal Officer

Date 13th May, 1991.

IMPORTANT: Turn overleaf for further information

CONDITIONS	REASONS FOR CONDITIONS

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066

Register Reference : 91A/0366

Date : 19th March 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Trade Reception entrance

LOCATION : Unit 15 Western Parkway Business Centre, Ballymount
Rd. Lower, Walkinstown.

APPLICANT : SMC Pneumatics

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received
on 15th March 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

Delaney MacVeigh & Pike, Arch.,
Owenstown House,
Fosters Avenue,
Blackrock,
Co. Dublin.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building UNIT 15, WESTERN PARKWAY BUSINESS CENTRE
(If none, give description sufficient to identify) BALLYMOUNT ROAD/LOWER, WALKINSTOWN

3. Name of applicant (Principal not Agent) SMC PNEUMATICS
Address AS 2 ABOVE Tel. No. 470 N 84545

4. Name and address of DELANY MACVEIGH & PIKE, ARCHITECTS,
person or firm responsible OWENSTOWN HOUSE, FOSTERS AVE.,
for preparation of drawings BLACKROCK, CO. PUBLIN Tel. No. 832571

5. Name and address to which AS 4 ABOVE
notifications should be sent 470 15/3

6. Brief description of proposed development TRADE RECEPTION ENTRANCE N 34226

7. Method of drainage MAINS B. Source of Water Supply MAINS

8. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used WAREHOUSE / ANCILLARY OFFICES
(b) Proposed use of each floor WAREHOUSE / ANCILLARY OFFICES

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11. (a) Area of Site 5.3 acres Sq. m.
(b) Floor area of proposed development TRADE RECEPTION 5.3 Sq. m.
(c) Floor area of buildings proposed to be retained within site 9,800 Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) OWNERS

13. Are you now applying also for an approval under the Building Bye Laws?
Yes No Place in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
AS FAR AS POSSIBLE

15. List of documents enclosed with 4 COPIES OF DRGS, SPD2^A; OB^C; B07; B03
SITE LOCATION MAP, NEWSPAPER NOTICE; CHEQUE #110.

16. Gross floor space of proposed development (See back) Sq. m.

No of dwellings proposed (if any) Class(es) of Development CLASSES 4 AND C
Fee Payable € 110 Basis of Calculation MIN. FEES APPLICABLE
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Michael Crimin Date 15/3/91

Application Type P/BBL FOR OFFICE USE ONLY

Register Reference 91A/0366

Amount Received € €5 22 - / 2,120 15/3

Receipt No

Date

Irish
Pres
2/3/91

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lt. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs)	£40.00 minimum	C	Building — Office/ Commercial Purposes	£3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls
For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY — DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET, DUBLIN 1. BYE LAW APPLICATION.

CASH
CHEQUE
M.O.
B.L.
I.T.

REC. No. N 34545

£70.00

Received this 15th day of March 1994

from S.M.C. Pneumatics (Ireland) Ltd
Unit 15 Western Parkway, Business Centre
Ballymont road, Co.

the sum of seventy Pounds
Pence, being 60 60 60

application of above

Michael O'Han Cashier

S. CAREY
Principal Officer

Clare

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY — DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

BYE LAW APPLICATION.

REC. No. N 34545

- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

£70.00

Received this 15th day of March 1991

from S.M.C. Pneumatics (Ireland) Ltd
Unit 15 Western Parkway, Business Centre
Ballymont road, LC

the sum of seventy Pounds

application at above

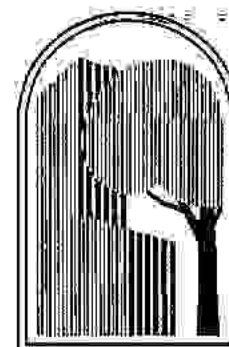
Michael J Han Cashier

S. CAREY Principal Officer
Class 2

MC/PH/H073

15 March 1991

Planning Department,
Dublin County Council,
Block 2,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.



**DELANY
MAC VEIGH
& PIKE**

Architects
Interior Designers
Planning Consultants
Owenstown House
Foster's Avenue
Blackrock, Co. Dublin
Tel: 832571. Fax: 833126

**Re: Trade Reception Entrance at Unit 15,
Western Parkway Business Centre.**

Dear Sir,

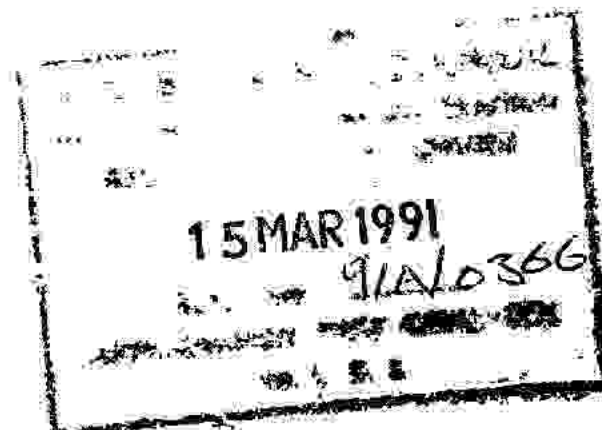
On behalf of our client SMC Pneumatics we wish to apply for Planning Permission and Building Bye-Law Approval for a trade reception entrance to the above.

Please find enclosed 4 copies of the following documentation.

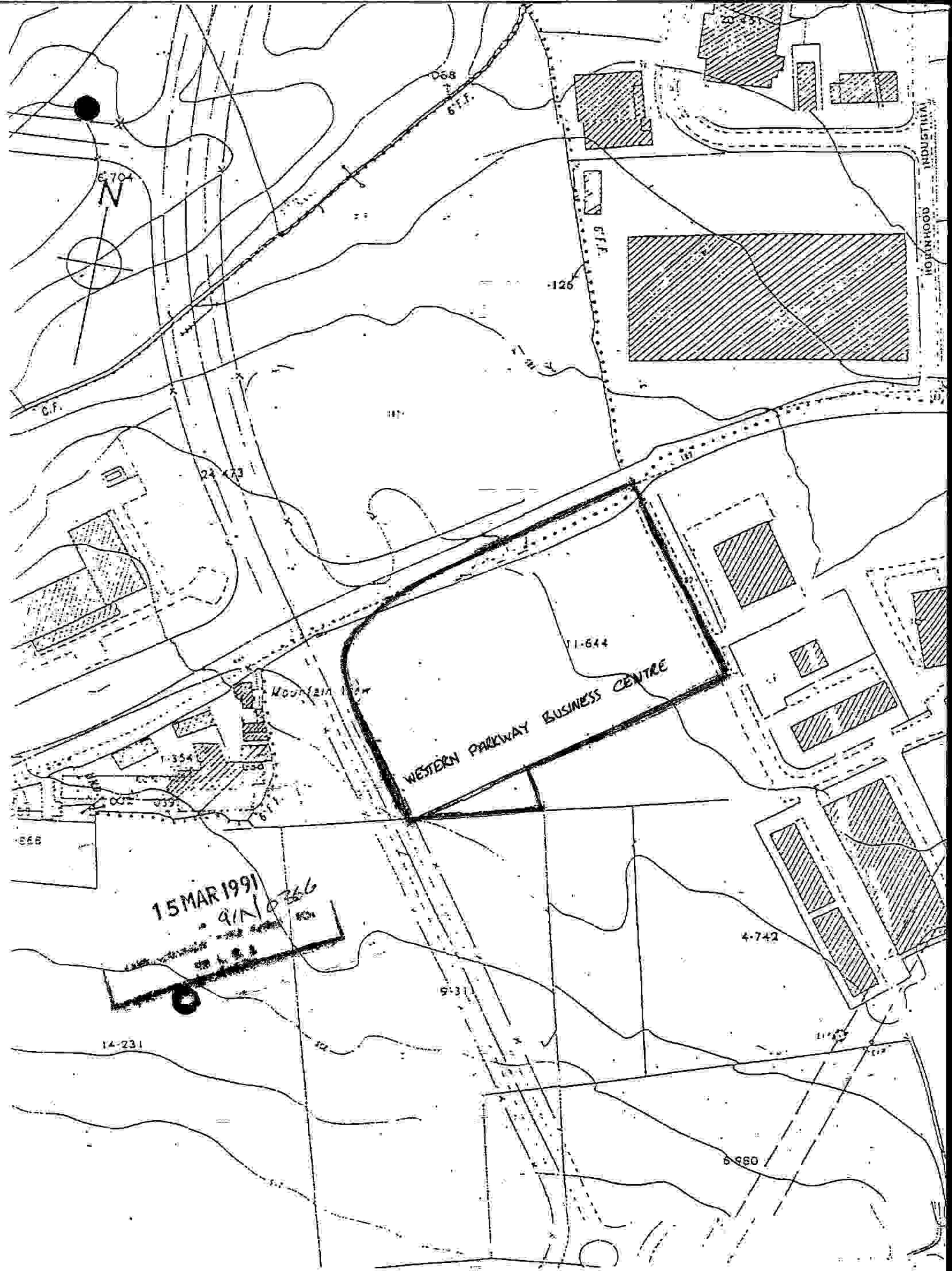
1. Site location map
2. Site plan
3. Drawings O8C; B02; B03
4. Newspaper notice
5. Completed application form
6. Fee cheque £110

Yours faithfully,

Michael Crimin.
Michael Crimin for
DELANY MACVEIGH & PIKE



Eoin MacVeigh, Dip. Arch., M.R.I.A.I., R.I.B.A.
James Pike, Dip. Arch., F.R.I.A.I., R.I.B.A.
John O'Mahony, Dip. Arch., M.R.I.A.I.
Planning Consultants
Patrick M. Delany, B.Arch., F.R.I.A.I., M.I.P.L., R.T.P.I.



6704
N

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677

INDUSTRIAL
HOBINHOOD

126

24-473

11-644

WESTERN PARKWAY BUSINESS CENTRE

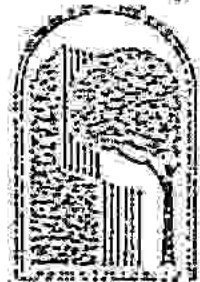
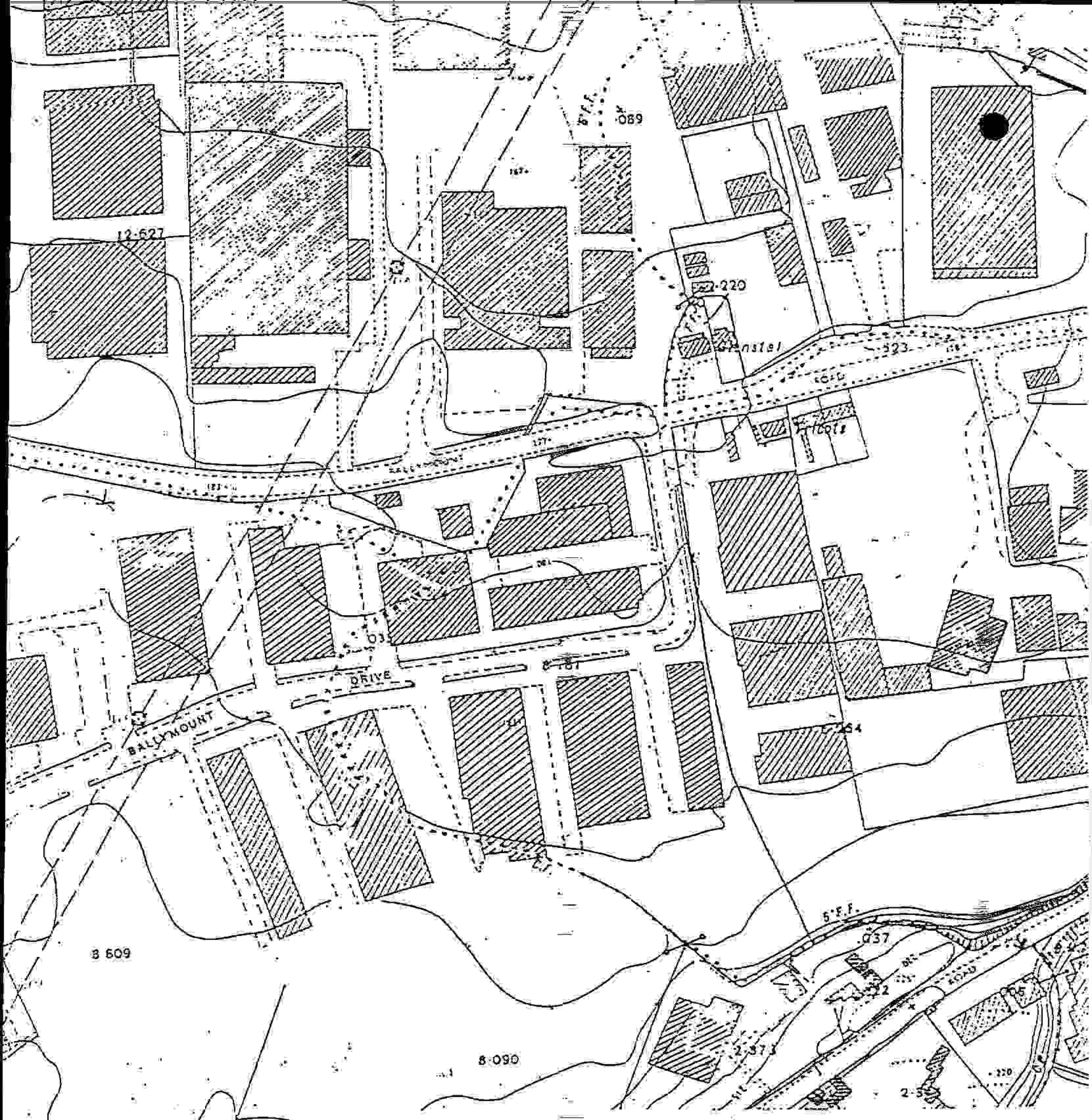
Mountain View

15 MAR 1991
9/1/0366

4-742

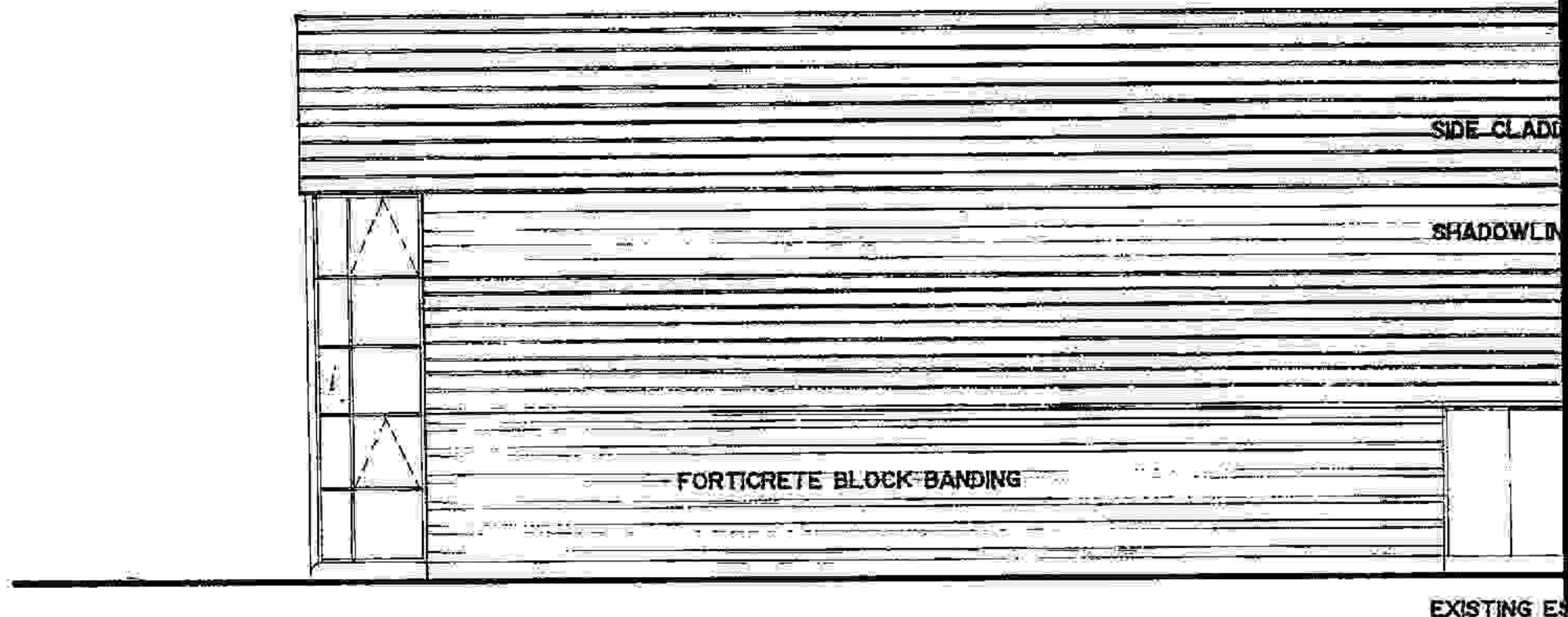
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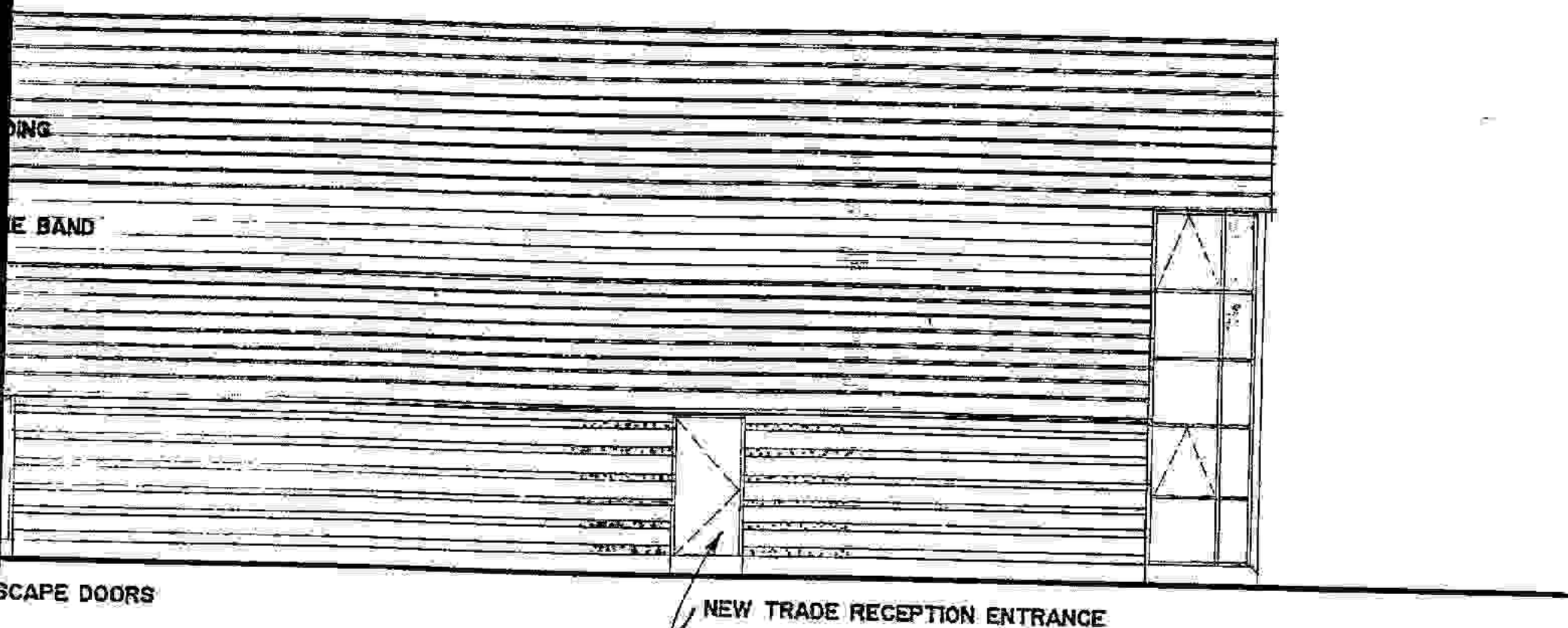


**DELANY
MAC VEIGH
& PIKE**
Architects
Civil Engineers
Planning Consultants
Owensown House
Foster's Avenue
Blackrock, Co. Dublin
Tel: 01-271. Fax: 3 53 126

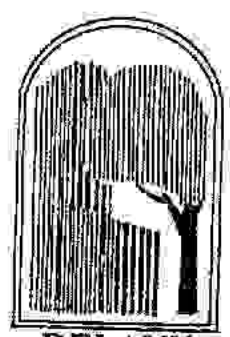
JOB INDUSTRIAL UNITS AT BALLYMOUNT ROAD LOWER	SCALES 1:2500	DATE JUNE 89
	DWN.	
Figured dimensions only to be used		© This drawing is copyright
DWG. SITE LOCATION MAP	JOB No. H073	
	DWG. No. SP03	



SIDE ELEVATION



15 MAR 1991
 2/1/0366
 ARCHITECTS



**DELANY
 MAC VEIGH
 & PIKE**
 Architects
 Civil Engineers
 Planning Consultants
 Owenstown House
 Foster's Avenue
 Blackrock Co. Dublin
 Tel: 832571
 Fax: 833126

Job TRADE RECEPTION AREA AT UNIT 15 WESTERN PARKWAY BUSINESS CENTRE FOR SMC PNEUMATICS LTD.	Scales 1/100	
	Dwn.	Date MAR. '91

Figured dimensions only to be used

© This drawing is copyright.

Dwg. SIDE ELEVATION	Job No.
	Dwg. No. B03