

91A/0365

CERTIFICATE NO: 24589

PROPOSAL: 10-27 *Hawes's Grange 18 houses*
 LOCATION: *Hawes's Grange, Grange Road, Rufford*
 APPLICANT: *Charmuk Developments Ltd*

1	2	3	4	5	6	7
DWELLINGS/AREA LENGTH/STRUCT	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO.
Dwellings	EE32	<i>£144</i>	<i>£144</i>			
	EE16					

Columns 2, 3, 4, 5, 6 & 7 Certified Signed: *Ruth* Grade: *S.O* Date: *21/3/91*
 Columns 2, 3, 4, 5, 6 & 7 Endorsed Signed: _____ Grade: _____ Date: _____

REF. NO.: 91A/0365

CERTIFICATE NO.: 14289B

PROPOSAL: 18-27 Harold's Grange 18 houses


LOCATION: Harold's Grange, Grange Road, Rathfarnham

APPLICANT: Chestnut Developments Ltd

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	€ 555	247.50	247.50			
B	Domestic Ext. (Improvement/Amts.)	€ 230					
C	Building for office or other comm. purpose	€ 23.50 per M ² or € 70					
D	Building or other structure for purposes of agriculture	€ 21.00 per M ² in excess of 300 M ² Min. € 70					
E	Petrol Filling Station	€ 200					
F	Dev. of prop. not coming within any of the foregoing classes	€ 70 or 29 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed:  Grade: _____ Date: 5.02/3/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

Mr. A. Hinchy,
Senior Executive Draughtsman/Technician

RE: Site 10-27 Harveys Grange Grange Rd, Rathfriland

REG. REF.: 91A/p365

RE: LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) (FEES AND AMENDMENT)
REGULATIONS, 1983 - ARTICLE 6.1

A reduced fee (i.e. $\frac{1}{2}$) has been paid in respect of the above application.
Please confirm this is the correct fee under Article 6.1 of the Local
Government (Planning and Development) (Fees and Amendment) Regulations, 1983.
File Reg. Ref.: _____ on which a full fee was paid is attached.



Richard Whelan,
Staff Officer,
Registry Section.

No alteration to site layout.

Mr. R. Whelan,
Registry Section.

*J.G.
22/3/91*

A. Hinchy,
Senior Executive Draughtsman/Technician

Maj. O'Shea

SS only.

Register Reference : 91A/0365

Date : 4th April 1991

Development : Revised house type on sites 10-27 incl.

LOCATION : Harold's Grange, Grange Road, Rathfarnham.

Applicant : Chestnut Developments Ltd.,

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : M.O'SHEE

Date Recd. : 15th March 1991

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN Co. Council
11 APR 1991
SAN SERVICES

DUBLIN Co. Council
SANITARY SERVICES
PRINCIPAL OFFICER
17 MAY 1991
Returned *[Signature]*

Date received in sanitary services

FOUL SEWER

Available to approved system.

SURFACE WATER

Available in accordance with previous approvals.

[Signature]
15/5/91

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT
46/49 UPPER O'CONNELL STREET
DUBLIN 1.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 20.5.91
Time 2.10

[Signature]
16/5/91

JK

Register Reference : 91A/0365

Date : 4th April 1991

.....
ENDORSED _____

DATE _____

.....
WATER SUPPLY.....

No objection.

*V. Sulligan
17/4/91.*

.....
ENDORSED _____

DATE _____

J. M. M.

17/4/91

[Signature]

16/5/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT.
Date ..20.5.91.....
Time ..2.10.....

P/1875/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/0365

Date Received : 15th March 1991

Correspondence : Deegan & Associates,
Name and : 11 Main Street,
Address : Rathfarnham,
Dublin 14.

Development : Revised house type on sites 10-27 incl.

Location : Harold's Grange, Grange Road, Rathfarnham.

Applicant : Chestnut Developments Ltd.,

App. Type : Permission

Zoning :

E08253A
102.114564

CONTRIBUTIONS:	
Standard:	69600
Roads:	
S. Servs:	paid
Open Space:	agreed with D
Other:	SPS S
SECURITY:	
Bond / C.I.F.:	130000
Cash:	NO. 1111 10/00

MOS/BB

Report of Dublin Planning Officer dated 26th April, 1991.

This is an application for PERMISSION. The proposed development consists of revised house type on sites 10-27 inclusive.

The Planning History of the site is as follows:-

Reg. Ref. 89A/178 - permission granted by An Bord Pleanála for the construction of 83 houses and ancillary site development works on a larger site at this location, but which includes the site which is the subject of this application (Order PL 6/5/79545).

Reg. Ref. 90A/733 - permission granted by Dublin County Council for proposed revisions to approved house types on site 1 and 9-29 inclusive (decision order P/2242/90).

On site inspection I noted that a house has been built on site no. 10. The proposed house type is the same size as that approved under Reg. Ref. 90A/733.

It is proposed to alter the elevations of the house and to alter the roof design. These changes are considered acceptable.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (10) conditions:-

CONDITIONS / REASONS

1

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 91A/0365

Page No: 0002

Location: Harold's Grange, Grange Road, Rathfarnham.

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That each proposed house be used as a single dwelling unit.

REASON: To prevent unauthorised development.

04 That condition nos. 5-9, 11-20, (inclusive) of permission granted by *An Bord Pleanála* order PL 6/5/79545, dated 28th August, 1989, Reg. Ref. 89A/178, which relates to a larger site but which includes the subject site, shall be strictly adhered to.

04 REASON: In the interest of the proper planning and development of the area.

8 05 That arrangements made with regard to payment of financial contribution in the sum of ~~£69,000~~ ^{£59,000} required by Condition No. 3 of the planning permission granted under Register Reference 89A/178 be strictly adhered to.

05 REASON: In the interest of the proper planning and development of the area.

9 06 That the arrangements made with regard to the lodgement of security in the form of a bond or letter guarantee from an approved company in the sum of £130,000 or cash lodgement in the sum of ~~£80,000~~ ^{£80,000} is required by condition No. 4 of the planning permission granted under Register Reference 89A/178 be strictly adhered to.

06 REASON: In the interest of the proper planning and development of the area.

7 07 That the area indicated as 'conservatory (if required)' on the floor plans be excluded from the proposed development.

07 REASON: In the interest of the proper planning and development of the area.

11 08 THAT EACH dwelling shall have a minimum! rear garden length (measured from the ~~rear~~ ^{back} ~~side~~ ^{side} ~~of~~ ^{of} the dwelling) of 10.7 metres.

Reason - in the interest of residential amenity. (See condition 9)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 91A/0365


Page No: 0003

Location: Harold's Grange, Grange Road, Rathfarnham.

9. That a distance of 2.3 metres be maintained between the flank walls of each house.

Reason: in the interest of residential amenity

Endorsed: 
for Principal Officer

 SEP
for Dublin Planning Officer 9.5.91

Order: A decision pursuant to section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (10) conditions set out above is hereby made.

Dated: 13 May 1991 
ASSISTANT CITY AND COUNTY MANAGER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 26th April, 1991.

Seán Forrest

CIVIL ENGINEERING CONSULTANT

Fountain House,
55 Main Street,
Rathfarnham,
Dublin 14.
Telephone: 903136.
Fax: 905076

27, November, 1991

Building Control Section
Planning Department
Block 2
Irish Life Centre
Lower Abbey Street
Dublin 1



RE: CHESTNUT DEVELOPMENTS LTD
SITES 10-27 INC. HAROLD'S GRANGE, GRANGE ROAD, RATHFARNHAM
B.B.L. REG. NO. 91A/365

Dear Sir

We act on behalf of Chestnut Developments Ltd. in connection with this Development. We refer to their Building Bye Laws Approval Notice (Reg. No. 91A/365 Order No. BBL /1352/91. Dated 4th July 1991) and in particular to condition No. 7 therein.

We now enclose a copy of our Structural Calculations which refer to,

- a) The first floor lintol beam under the rere wall, between the Kitchen and the Breakfast area.
- b) The roof structure over the Kitchen area.

Please note that the Calculations include recommendations regarding some of the construction details. If you have any queries, please contact me.

Thanking you for your attention.

Yours faithfully


SEAN FORREST

C.C. Mr T Deegan
Mr V McGirl

Encl.

BBL Compliant

*1.0.2
9/11/91*

Seán Forrest

CIVIL ENGINEERING CONSULTANT

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55 Main Street,
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Yours faithfully


SEAN FORREST

C.C. Mr T Deegan
Mr V McGirl

Encl.

BBL Compliance
1-0-2
9/11/91

STRUCTURAL CALCULATIONS

FOR THE
KITCHEN AREA

TO

HOUSES NO. 10 TO 27 (INC.)

HAROLD'S GRANGE, GRANGE ROAD,

RATHFARNHAM

FOR

CHESTNUT DEVELOPMENTS LTD.

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED

28 NOV 1991

REG No. 91A/0365

SEAN FORREST, B.E.
Civil Engineering Consultant
"Fountain House"
55 Main Street
Rathfarnham
Dublin 14.

Tel. No. 903136
Fax. No. 905076

November, 1991

I N D E X

PAGE NUMBER:

LINTOL SUPPORT OVER THE KITCHEN :

- 1.

ROOF OF KITCHEN :

5.

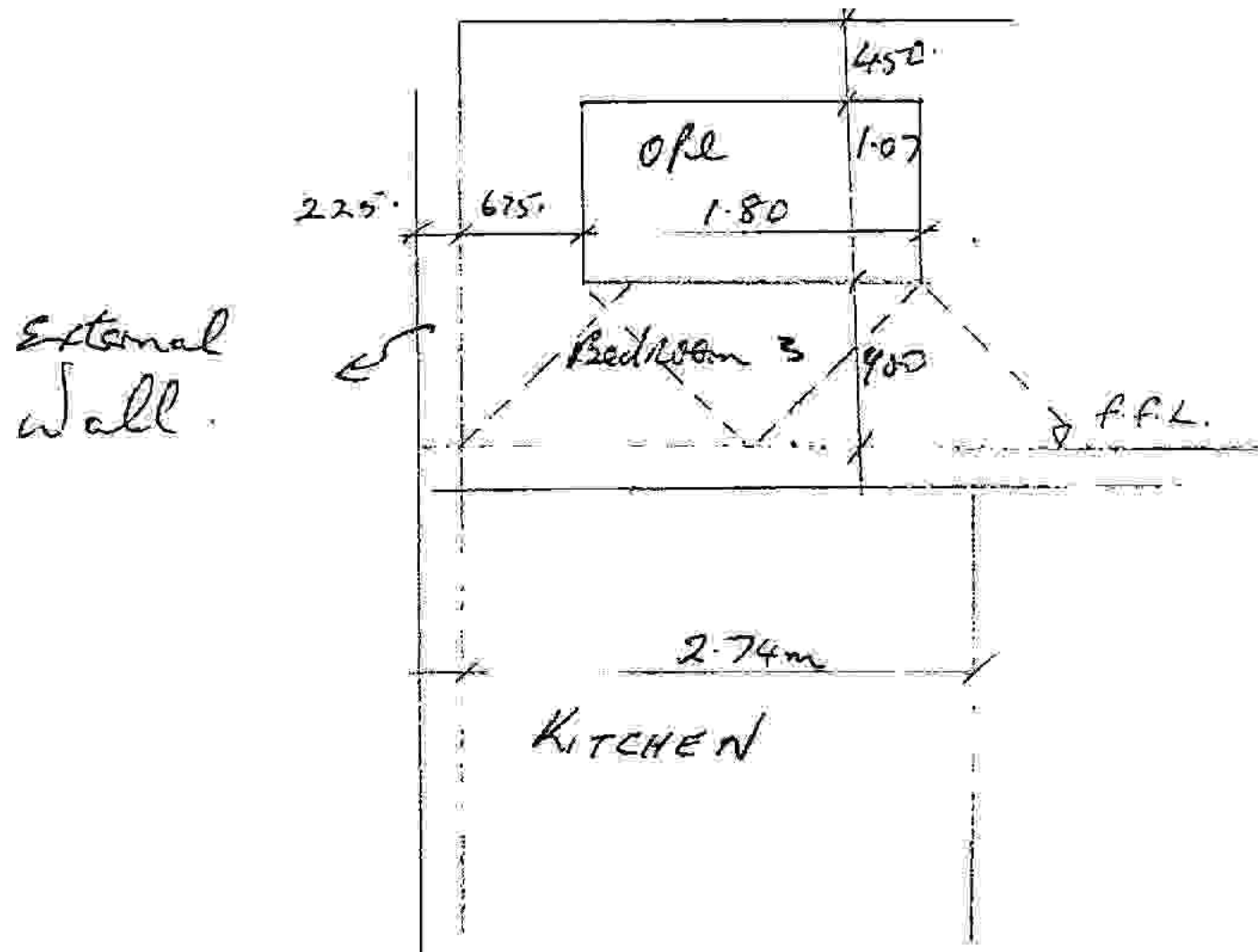
Sites 10 to 27 Harold's Grange
Grange Road,
Rathfarnham, D.14.

①

Design the lintel across the kitchen to support
wall overhead.

Clear Span = 9'-0"
 i.e. . 2.74m

Supports the Hollow block wall overhead.



Roof loadings

Tiles on	529.58	N/m ²
Battens on felt on	71.82	
Prefab Trusses with	215.46	
Insulation on	95.76	

• Ceiling Slabs

$$= 108.00$$

$$1020.62 \text{ N/m}^2$$

Proposed loading = 750.00

Total load = 1770.62 N/m²

Roof load transferred to rere wall. = $1770.62 \times (2.4 + 6)$
 (Carries the stone Pitch Trusses)
 plus the overhang = 1770.62×1.8
 = 3187.12 N/m

Wt. of rere wall =

Hollow blocks :	2690.0 N/m ²
+ Plaster :	<u>574.56</u>

$$3264.56 \text{ N/m}^2$$

$$\begin{aligned} \text{Area of Block Work} &= 2.74 \times 2.42 - 1.8 \times 1.07 \\ &= 6.63 - 1.93 = 4.70 \text{ m}^2 \end{aligned}$$

$$\times 3264.56 = 15356.49 \text{ N}$$

Spread over 2.74m = 5604.56 N/m

The load transferred to beam
 $= 3187.12 + 5604.56 \text{ N/m}$
 $= 8791.68 \text{ N/m}$

Using I.F.R.S. Span load tables.

Depth of Construction $= 395 \text{ mm}$.
 i.e. prestressed lintel
 with 3 NO. solid blocks or flat
 OR
 prestressed lintel
 with 2 NO solid blocks
 and 1 NO HOLLOW block.

Check supports.

Minimum bearing of lintels to be 200 mm

Supported on solid blocks

Load transferred to support $= 8791.68 \times (\frac{2.74}{2} + .225)$
 $= 8791.68 \times (1.37 + .225)$
 $= 8791.68 \times 1.595$
 $= 14022.73 \text{ N}$

$$\text{Eff. Bearing} = \frac{2}{3} \times 200 = 133 \text{ mm}$$

$$\text{Bearing Stress} = \frac{14022.73}{133 \times 225} = 47 \text{ N/mm}^2$$

Use solid block supports.
2 no. on the flat.

Roof Design of Old Kitchen Extension

5.

Roof load:-

Tiles on	=	529.58	
battens on felt on	=	71.82	
Rafters	=	107.73 N/m^2	$4\frac{1}{2} \times 1\frac{1}{2} @$
Slooting	=	<u>191.52</u>	115×35

$$\frac{4\frac{1}{2}}{12} \times \frac{1\frac{1}{2}}{12} \times 48$$

Exposed load

$$900.65 \text{ N/m}^2$$

$$750.00$$

$$= \frac{9}{12} \times \frac{7}{12} \times 84$$

Total = 1650.65 N/m^2

Clear Span = $\frac{2.74}{2} = 1.37 \text{ m}$

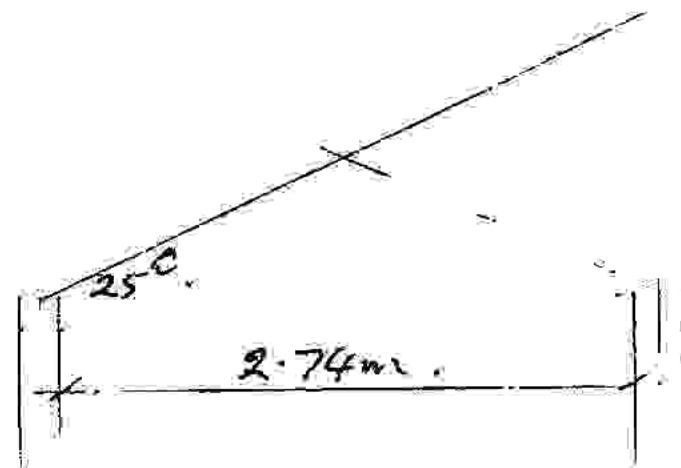
$$2.25 \text{ BS/A}$$

Eff. Span = 1.50 m

Loady per rafter

$$= 1650.65 \times 0.30$$

$$= 495.20 \text{ N/m}$$



$$B.M = \frac{w \cdot l^2}{8} = \frac{495.20 \times 1.5^2}{8} = 139.27 \text{ N-m}$$

$$f = \frac{139.27 \times 6 \times 10^3}{115^2 \times 35} = 1.81 \text{ N/mm}^2$$

low

Use 115×35 even @ 480 c/s.

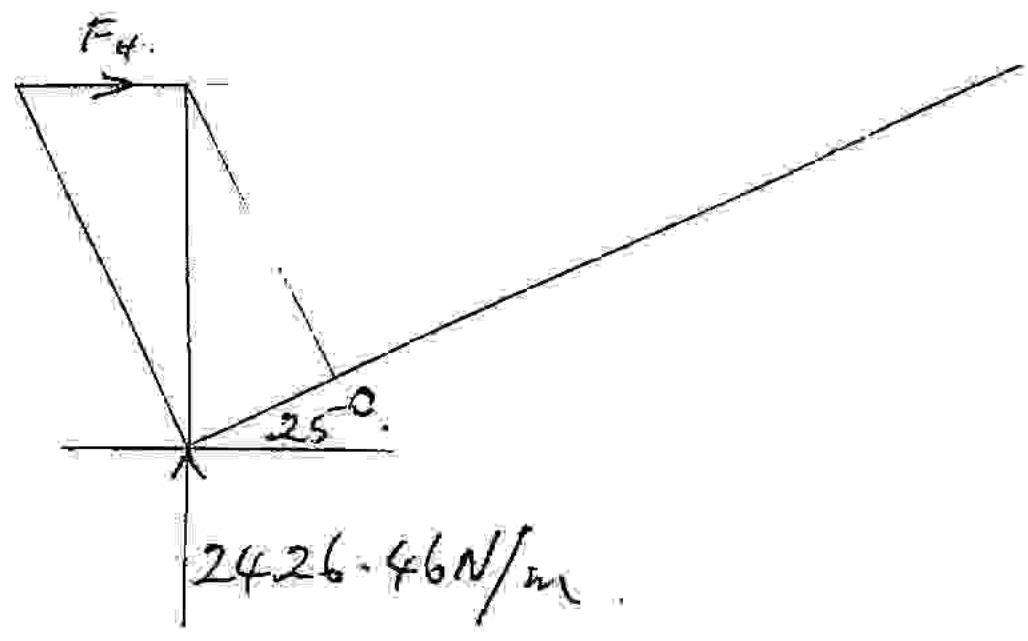
7e

Outward Thrust.

$$= \text{Reaction on wall} = 1650 \cdot 65 \times (2.74 + \dots)$$

$$= 1650 \cdot 65 \times 1.47 = 2426.46 \text{ N}$$

This is transferred into a force \perp to the rafter and \perp to the wall



\therefore The Horizontal Force is F_H .

$$\frac{F_H}{R} = \tan 25^\circ = .4663$$

$$F_H = 2426.46 \times .4663$$

$$= 1131.48 \text{ N/m}$$

Force per Rafter @ 400cms.

7.

$$= 1131.48 \times 4$$

$$= 425.59 \text{ N / Rafter}$$

This is held by the rafter secured to the wall plate.

Assume 2 nos. 4mm ϕ Nails.

\therefore The shear stress on the nails becomes

$$\frac{425.59}{2 \times \pi R^2} = \frac{425.59}{2 \times 3.1416 \times 2^2}$$

$$= \frac{425.59}{2 \times 4 \times 3.1416} = 16.93 \text{ N/mm}^2$$

low

The following recommendations are to be adopted on site.

- a) Use a double wall plate, overlapped at reer corners and secured to one another.
- b). End rafters at reer wall to be secured to the block work.
- c). Wall plates to be secured to the external walls with straps. At least two on each side.

Sen Jaisat B.E
Nov. 1991

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To Deegan & Associates,
11, Main Street,
Rathfarnham,
Dublin 14.

Decision Order p/1875/91 - 13.05.1991
Number and Date

Register Reference No. 91A-0365

Planning Control No.

Application Received on 15.03.1991

Applicant Chestnut Developments Ltd. Floor Area:

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/ for:-

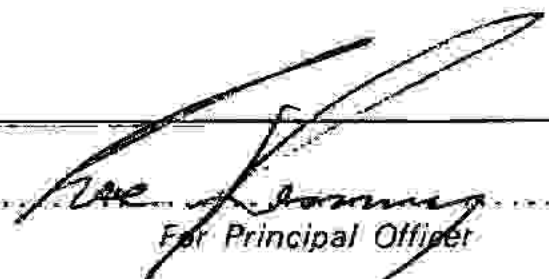
revised house type on sites 10-27 incl. at Harolds Grange, Grange Road, Rathfarnham.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
<p>1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.</p>	<p>1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.</p>
<p>2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.</p>	<p>2. In order to comply with the Sanitary Services Acts, 1878-1964.</p>
<p>3. That each proposed house be used as a single dwelling unit.</p>	<p>3. To prevent unauthorised development.</p>
<p>4. That condition nos. 5-9, 11-20 (inclusive) of permission granted by An Bord Pleanala Ref. PL 6/5/79545, dated 28th August, 1989, Reg. Ref. 89A-178, which relates to a larger site but which includes the subject site, shall be strictly adhered to.</p>	<p>4. In the interest of the proper planning and development of the area.</p>

(Continued)

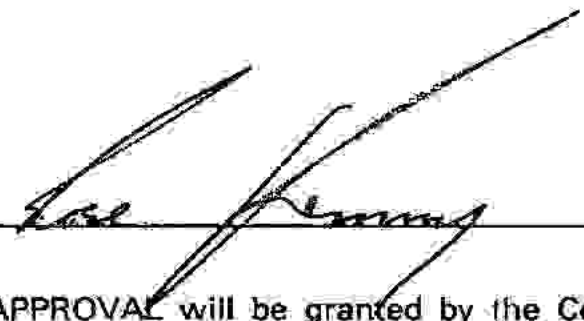
Signed on behalf of the Dublin County Council


For Principal Officer

Date 13th May, 1991.

IMPORTANT: Turn overleaf for further information

(Continued) CONDITIONS	REASONS FOR CONDITIONS
<p>5. That arrangements made with regard to the payment of financial contribution in the sum of £69,600 required by condition no. 3 of the planning permission granted by An Bord Pleanala Ref. PL 6/5/79545, Register Reference 89A-178 be strictly adhered to.</p>	<p>5. In the interest of the proper planning and development of the area.</p>
<p>6. That the arrangements made with regard to the lodgement of security in the form of a bond or letter of guarantee from an approved company in the sum of £130,000 or cash lodgement in the sum of £80,000 is required by condition no. 4 of the planning permission granted by An Bord Pleanala Ref. PL 6/5/79545 Register Reference 89A-178 be strictly adhered to.</p>	<p>6. In the interest of the proper planning and development of the area.</p>
<p>7. That the area indicated as 'conservatory (if required)' on the floor plans be excluded from the proposed development.</p>	<p>7. In the interest of the proper planning and development of the area.</p>
<p>8. That each dwelling shall have a minimum rear garden length (measured from the rear most wall of the dwelling) of 10.7 metres.</p>	<p>8. In the interest of residential amenity.</p>
<p>9. That a distance of 2.3 metres be maintained between the flank walls of each house.</p>	<p>9. In the interest of residential amenity.</p>



NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0365

Date : 19th March 1991

Dear Sir/Madam,

Development : Revised house type on sites 10-27 incl.

LOCATION : Harold's Grange, Grange Road, Rathfarnham.

Applicant : Chestnut Developments Ltd.,

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Date recd. : 15th March 1991

I refer to your planning application in connection with the above.
You have omitted to state your/your client's legal interest in this
property, (i.e. whether freehold, leasehold etc.).
This information is required to comply with Article 17 of the Local
Government (Planning and Development) Regulations 1977.

Please submit this information at your earliest convenience.

Yours faithfully,

.....
PRINCIPAL OFFICER

Deegan & Associates,
11 Main Street,
Rathfarnham,
Dublin 14.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066

Register Reference : 91A/0365

Date : 19th March 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Revised house type on sites 10-27 incl.

LOCATION : Harold's Grange, Grange Road, Rathfarnham.

APPLICANT : Chestnut Developments Ltd.,

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received on 15th March 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

Deegan & Associates,
11 Main Street,
Rathfarnham,
Dublin 14.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances or uses.

2. Postal address of site or building HAROLD'S GRANGE GRANGE ROAD
(If none, give description sufficient to identify) RATHFARNHAM DUBLIN 14

3. Name of applicant (Principal not Agent) CHESTNUT DEVELOPMENTS LTD
Address C/O 11 MAIN STREET RATHFARNHAM Tel. No. 247 50

4. Name and address of person or firm responsible for preparation of drawings DEEGAN & ASSOCS 11 MAIN STREET N 34228
RATHFARNHAM D 14 Tel. No. 90 7735

5. Name and address to which notifications should be sent DS 4

6. Brief description of proposed development REVISED HOUSE ON SITES 10 to 27 INCLUSIVE

7. Method of drainage TO MAINS 8. Source of Water Supply FROM MAINS

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when first used. N/A 7/144 5/3

(b) Proposed use of each floor N/A N 34228

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11. (a) Area of Site 2 ACRES APPROX Sq. m.

(b) Floor area of propo 23,940 sq ft Sq. m.

(c) Floor area of buildings proposed to be retained within site 35,910 sq ft approx Sq. m.

D. Pendergast
CO. DUBLIN Permission is being sought for revised house type on sites 10-27 inclusive at Harold's Grange, Grange road, Rathfarnham, Chestnut Developments Ltd.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.)

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place / in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
THE DRAFT REGULATIONS HAVE BEEN TAKEN INTO ACCOUNT WHERE APPLICABLE

15. List of documents enclosed with application. 4 COPIES OF DRAWINGS N° 90/2/01/02/03 SITE PLANS AND LOCATION MAPS PAGE OF IRISH PRESS 8/3/91
FOUR OUTLINE SPEC.

16. Gross floor space of proposed development (See back) 23,940 sq ft Sq. m.

No of dwellings proposed (if any) 18 Class(es) of Development 1

Fees Payable £ 391.50 Basis of Calculation 1/2 of full fee

If a reduced fee is tendered details of previous relevant payment should be given

LAST GRANT 90A/733 DATED 25 JULY 1990

Signature of Applicant (or his Agent) Athony F. Deegan Date 15/3/1991

Application Type P/081 FOR OFFICE USE ONLY

Register Reference 91A/035

Amount Received £ 65 22.11 1,20.4 15/3

Receipt No

Date

Irish Press 8/3/91

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1:2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 8:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 18.

SUMMARY OF CLASSES OF DEVELOPMENT/ FEES

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling - House/Flat.	£32.00 each.
2.	Domestic extensions/other improvements.	£16.00 each.
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum.
4.	Other buildings (i.e. office, commercial, etc.)	£ 1.75 per sq.metre (Min. £40.00).
5.	Use of land (Mining, deposit or waste).	£25.00 per 0.1 ha. (Min. £250.00).
6.	Use of land (Camping, parking, storage).	£25.00 per 0.1 ha. (Min. £40.00).
7.	Provision of plant/mechinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha. (Min. £100.00).
8.	Petrol filling station.	£100.00.
9.	Advertising structures.	£ 10.00 per sq. m. (Min. £40.00).
10.	Electricity transmission lines.	£ 25.00 per 1,000m. (Min. £40.00).
11.	Any other development.	£ 5.00 per 0.1ha. (Min. £40.00).

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA-GLIATH

RECEIPT CODE

PAID BY — DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

Issue of this receipt is not an
intentional receipt for the
purpose of the prescribed application
N 34228

C
C
M.D.
B.L.
L.T.

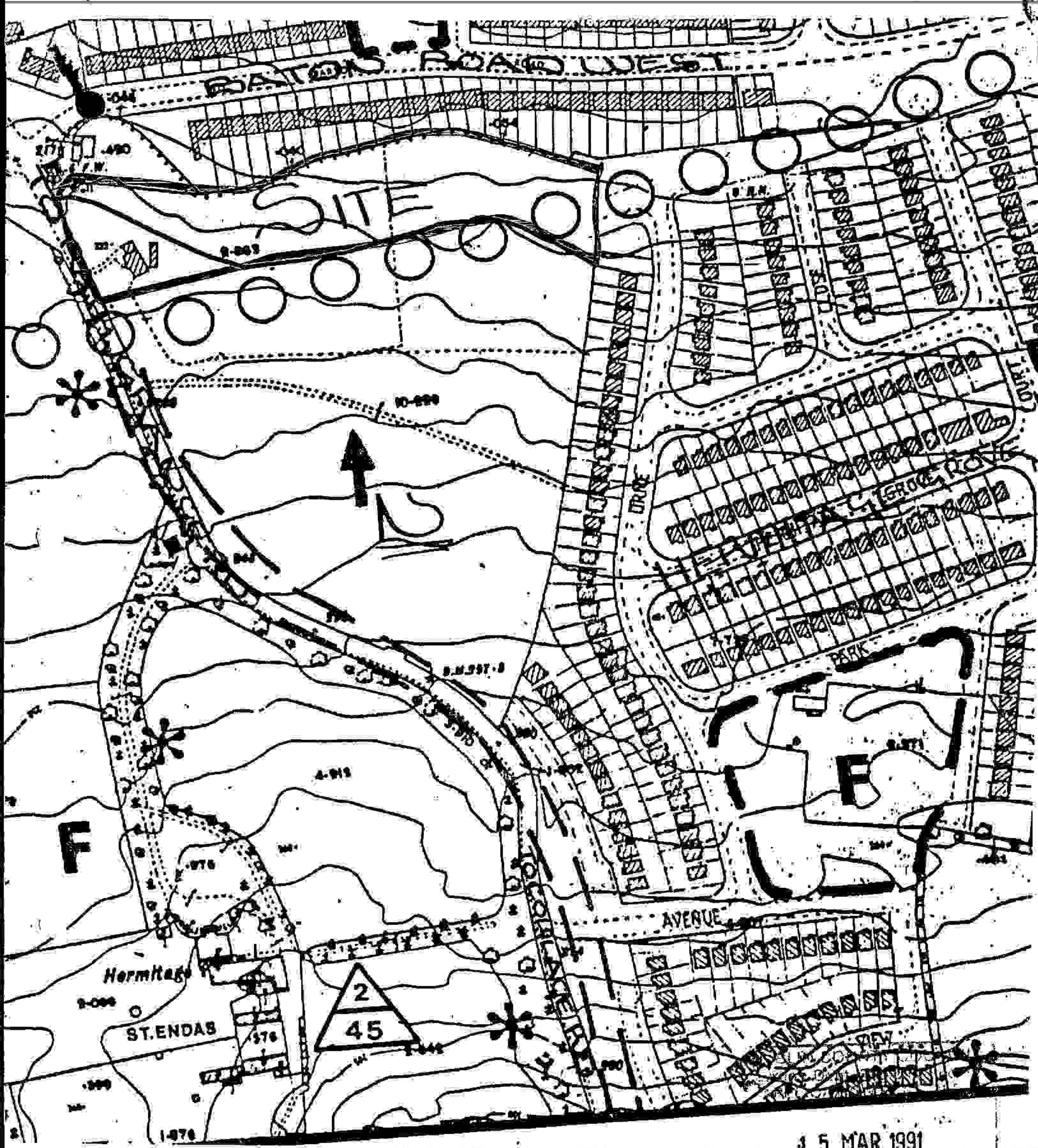
€ 144.00

Received this 15th day of March 1991
from Leate Ltd

the sum of one hundred and forty four Pounds
Pence, being 144.00
application at Harold's Grange, Grange road

Michael J Han Cashier

S. CAREY Principal Officer 18 hours



15 MAR 1991
 91110365

SITE LOCATION MAP FOR PARK AVENUE
 CHESTNUT DEVELOPMENTS LTD
 REG No.
 APPLICATION TYPE O/P/A/BBL
 No. L D S

NOT TO SCALE

ANTHONY F DEEGAN: 11 MAIN ST. RATHFARNHAM
 DUB 14 PH 907735, 907935

OUTLINE SPECIFICATION
FOR REVISED HOUSE TYPE
AT 10 -27. HAROLDS GRANGE
GRANGE ROAD
RATHFARNHAM
DUBLIN 14.
FOR CHESTNUT DEVELOPMENTS LTD.

DEEGAN ARCHITECTS
11, MAIN STREET
RATHFARNHAM
DUBLIN 14.
PH. 907735 907934 934675.

DUBLIN COUNTY COUNCIL
Planning Dept. Registered Architects
APPLICATION REF. 91A/0365
15 MAR 1991
REG No. 91A/0365
APPLICATION TYPE C/P/A/BBL
No. L D S.

GENERAL:

The whole of the works to comply with the rules and regulations of the Local Authority. Materials to be of Irish manufacture so far as it is possible, and workmanship to be of the best quality available.

FOUNDATION:

Excavate for foundations to depths and widths as shown or to such further depth as may be necessary to ensure a solid foundation.

Foundations to be of 1:2:4 concrete to the sizes shown. If considered necessary reinforced foundations with 6 lb. steel mesh fabric.

SITE CONCRETE:

The complete area beneath the house shall have 4" of site concrete (1:2:4) Mix on 6" min. hardcore. Hardcore if deeper to be laid in 6" layers.

WALLS:

External walls of the house to be 9" hollow concrete block as shown on drawings.

Internal walls to be to the thickness and dimensions as shown on the drawings built with solid concrete blocks where indicated on ground floor. External walls of garage to be built with 9" hollow concrete blocks. All blocks to be type A or B as appropriate in accordance with I.S.S. 20: 1971,

Rising walls to be bedded and jointed in cement mortar and over d.p.c. level walls to be bedded and jointed in gauged lime mortar.

External walls to be rendered in sand cement and painted. Internally walls to be generally finished with $\frac{1}{2}$ " plaster board dry lining.

D.P.C.

Damp-proof course shall be 3 ply heavy quality hessian with bitumen coating lapped min. of 6" at joints and corners and laid full width on wall.

Provide D.P.C. in rising walls at least 6" over finished ground level and under and behind all cills and vertically at all jambs in cavity walls. D.P.C. to be placed over all lintols in external walls and through all chimney stacks.

LINTOLS:

To be prestressed or precast concrete as indicated. Where precast the lintols shall be 9" deep by width of wall, and for opens up to 4'0" wide they shall be reinforced with $\frac{1}{2}$ " steel bars for every 4" of width; over 4" and up to 7'0" the bars shall be $\frac{3}{4}$ " for every 4" of width. Precast lintols shall be "Spanlite" or other equal or approved.

- FLUES: Flues shall be lined with clay flue liners minimum diameter 8" and surround in weak concrete.
- TIMBER: Timber for carpentry work to be white deal while timber for joinery work shall be red deal or selected pine as may be indicated. All timber shall be treated with preservative. All rough timber where built into or in concrete with the structure shall be treated with Cuprionol green preservative. Joinery work shall be treated with Sadolin PX 65 clear timber preservative in accordance with manufacture's instructions.
- FLOORS: Ground floor to be 6" concrete on polythene on 6" hardcore or otherwise indicated on drawings.
- Upper floors to 1" nominal t. & g. boarding on 7" x 2" joists at 16" centres with solid bridging at 6'0" maximum centres or otherwise indicated on drawings.
- ROOF: Pitched roofs shall be generally at 33° pitch or as otherwise indicated and consist of 4½" x 1½" rafters at 14" centres on 7" x 2" purlins and 3" x 2" wall plate with 4½" x 1½" collars to every third rafter. Ceiling rafters shall be 4½" x 1½" centres. Hip rafters and valley rafters shall be 7" x 1½" and the ridge piece shall be 7½" x ½". Roofing tiles shall be selected concrete tiles on 2" x 1" battens. Ridge tiles shall match or as per drawings.
- Flat roof to be covered with 3 layers roofing felt on 1" prefelted chipboard on furring with 1 in 80 fall on 7" x 1½". Solid bridging to be as for floors or otherwise indicated on drawings.
- CEILINGS: Ceiling to be slabbed with plasterboard and finished with aertex.
- PARTITIONS: Stud partitions to be 3" x 2" thick as indicated and formed with 2" studs at 16" centres on 2" cill piece and 2" head and having noggins at 3'0" intervals and staggered. Partitions to be slabbed with 3/8" plasterboard drylining.
- STAIRCASE: Staircase to be to detail.
- WINDOWS: To be timber framed G.W.I. type windows where indicated otherwise to be to detail.

DOORS

Main entrance door to be panelled door to detail. Other external doors to be glazed door or timber sheated as indicated.

Patio doors to be framed and glazed to detail.

Internal doors plus all locks and door furniture to be selected by Architect.

KITCHEN UNITS:

The kitchen layout and units to be to specialist's detail.

CUPBOARDS ETC.

All built-in-units - cupboards etc. shall be to detail.

INSULATION:

House shall be insulated to conform with Local Government requirements. Storage tank and pipe work in roof space shall be insulated with preformed expanded polystyrene.

D.P.Cs

All flashings to chimneys flat roofs etc. to be lead, sheet aluminium or copper as selected.

VENTS:

Wall vents to be 9" x 9" louvred aluminium with selected P.V.C. louvres internally. Floor vents to be 9" x 9" louvred aluminium.

DRAINAGE:

Drainpipes, gullies and fittings shall be heavy duty P.V.C.

Surface water to be disposed of to separate surface water drain on site.

Foul drains to be connected to common foul drain and thence to public sewer.

Manholes shall be constructed with 9" concrete slab bottom (1:4 conc.) and have 9" solid brickwork walls rendered internally with 3:1 sand cement plaster and have 1/2" round channel with appropriate branches and be haunched up in sand cement on each side. Covers shall be galvanised cast iron with single seal.

RAINWATER PIPES:

Gutters to be 5" half round P.V.C. gutters with 3" downpipes fixed clear of wall face.

PIPING

Generally cold water service pipes shall be Wavin while hot water service pipes shall be half hard light gauge copper tubing to BS 2871 Part 1 with compressions joints.

Take $\frac{1}{2}$ " connection from water main crossing site and connect to rising main.

Rising main to be $\frac{1}{2}$ " (with stopcock above ground floor level) connected to 100 gallon galvanised cistern in roof space and servicing kitchen sink with $\frac{1}{2}$ " branch to cold tap. From tank $\frac{3}{4}$ " cold water service pipe connects to bath, and 30 gal. copper cylinder with $\frac{1}{2}$ " branches to w.c. and w.h.b. The last 6'0" of the connection to the cylinder shall be in copper. From cylinder take 2" expansion pipe to discharge over storage cistern with $\frac{3}{4}$ " feed to bath and $\frac{1}{2}$ " branches to w.h.b. and sink. Cistern to be $\frac{3}{4}$ " overflow pipe and cylinder to be heated with dual electric immersion.

Stopcock to be placed on all pipes serving bathroom and kitchen to allow isolation of either group of fittings.

Soil and waste drainage to be a two pipe system as shown on drawings. Pipes and fittings to be P.V.C. jointed and fixed in accordance with manufacturers instructions.

SANITARY WARE:

Kitchen sink and drainer to be stainless steel with c.p. pillar cocks. W.C. suites and w.h.b.'s shall be vitreous china with c.p. fittings. Showers to be cabinet type with c.p. fittings. Baths to be vitreous enamel with c.p. fittings.

GLASS

Generally glass shall be clear sheet glass with selected obscure glass to bathrooms and toilets.

DECORATION:

External wall surfaces shall be painted with exterior grade emulsion paint.

Internally walls shall be wallpapered in living rooms and bedrooms with oil paint on walls of bathrooms and kitchens.

Doors and windows shall be painted inside and out with oil paint.

HEATING:

To be selected by Architect.

STRUCTURAL CALCULATIONS

FOR THE

KITCHEN AREA

TO

HOUSES NO. 10 TO 27 (INC.)

HAROLD'S GRANGE, GRANGE ROAD,

RATHFARNHAM

FOR

CHESTNUT DEVELOPMENTS LTD.

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED

28 NOV 1991

REG No. 91A/0365....

SEAN FORREST, B.E.
Civil Engineering Consultant
"Fountain House"
55 Main Street
Rathfarnham
Dublin 14.

Tel. No. 903136
Fax. No. 905076

November, 1991

I N D E X

PAGE NUMBER:

LINTOL SUPPORT OVER THE KITCHEN :

1.

ROOF OF KITCHEN :

5.

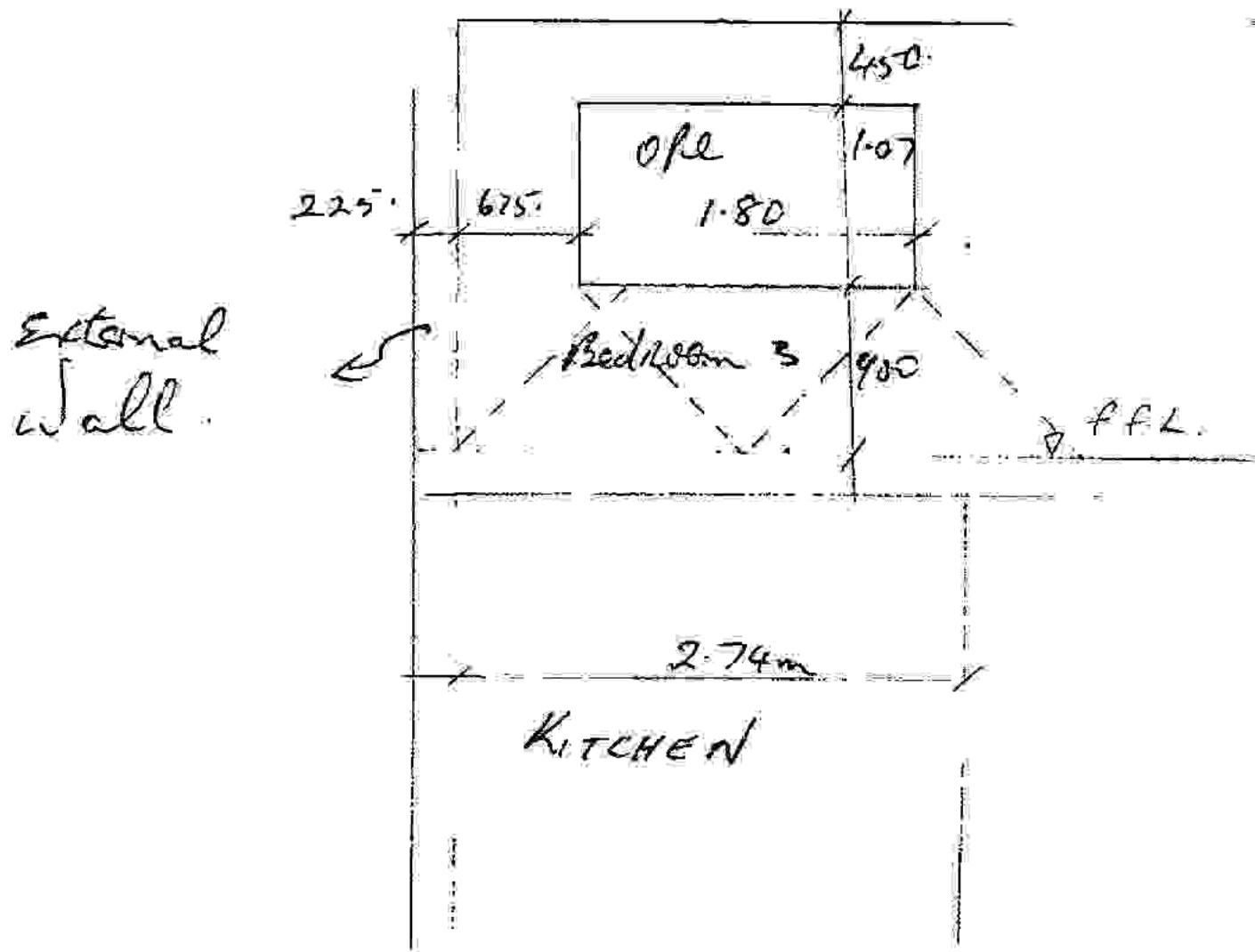
Sites 10 to 27 Harold's Grange
Grange Road,
Rathfarnham, D.14.

①

Design the lintel across the kitchen to support
wall overhead.

Clear span = 9'-0"
i.e. . 2.74m

Supports the Hollow block wall overhead.



Roof loadings

Tiles on	529.58 N/m^2
Battens or felt on	71.82
Prefab. Trusses with	215.46
Insulation on	95.76

Ceiling Slabs

$$= 108.00$$

$$1020.62 \text{ N/m}^2$$

Exposed Roofing

$$= 750.00$$

Total load

$$= 1770.62 \text{ N/m}^2$$

Roof load transferred to rere wall = $1770.62 \times (2.4 + 6)$
(Carries the stone Pitch Trusses)

plus the overhang

$$= 1770.62 \times 1.8$$

$$= 3187.12 \text{ N/m}$$

Wt. of rere wall =

Hollow Blocks :

$$2690.0 \text{ N/m}^2$$

+ Plaster :

$$574.56$$

$$3264.56 \text{ N/m}^2$$

$$\begin{aligned} \text{Area of Block Work} &= 2.74 \times 2.42 - 1.8 \times 1.07 \\ &= 6.63 - 1.93 = 4.70 \text{ m}^2 \end{aligned}$$

$$\times 3264.56 = 15356.49 \text{ N}$$

$$\text{Spread over } 2.74 \text{ m} = 5604.56 \text{ N/m}$$

3

The load transferred to beam
 $= 3187.12 + 5604.56 \text{ N/m}$
 $= 8791.68 \text{ N/m}$

Using I.F.R.S. Span load tables.

Depth of Construction = 395 mm.
 i.e. prestressed lintel
 with 3 no. solid blocks on flat
 OR
 prestressed lintel
 with 2 no. solid blocks
 and 1 no. hollow block.

Check supports.

Minimum bearing of lintels to be 200 mm.

Supported on solid blocks

Load transferred to support = $8791.68 \times \left(\frac{2.74}{2} + 0.225 \right)$
 $= 8791.68 \times (1.37 + 0.225)$
 $= 8791.68 \times 1.595$
 $= 14022.73 \text{ N}$

$$\text{Eff. Bearing} = \frac{2}{3} \times 200 = 133 \text{ mm}$$

$$\text{Bearing Stress} = \frac{14022.73}{133 \times 225} = .47 \text{ N/mm}^2$$

Use solid block supports
2 no. on the flat.

Roof Design of Old Kitchn Extension

Roof load:-

Tiles on	=	529.58	
battens on felt on	=	71.82	
Rafters	=	107.73 N/m^2	$4\frac{1}{2} \times 1\frac{1}{2} @$
Sheeting	=	<u>191.52</u>	115×35

$$\frac{4\frac{1}{2}}{12} \times \frac{1\frac{1}{2}}{12} \times 48$$

Exposed load

$$900.65 N/m^2$$

$$750.00$$

Total = $1650.65 N/m^2$

$$= \frac{9}{12} \times \frac{7}{12} \times \frac{48}{84}$$

Clear Span = $\frac{2.74}{2} = 1.37m$

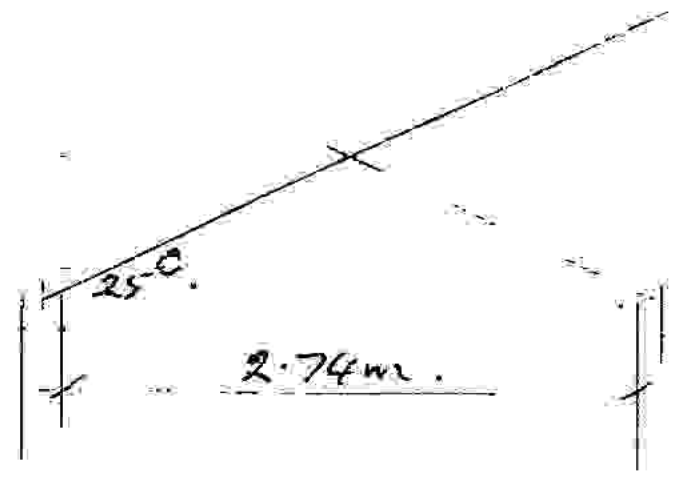
$$2.25 BS/A$$

Eff. Span = 1.50m

Loady per rafter

$$= 1650.65 \times 30$$

$$= 495.20 N/m$$



$$B.m = \frac{w \cdot l^2}{8} = \frac{495.20 \times 1.5^2}{8} = 139.27 N-m$$

$$f = \frac{139.27 \times 6 \times 10^3}{115^2 \times 35} = 1.81 N/mm^2$$

low

Use 115 x 35 even @ 480 C/S.

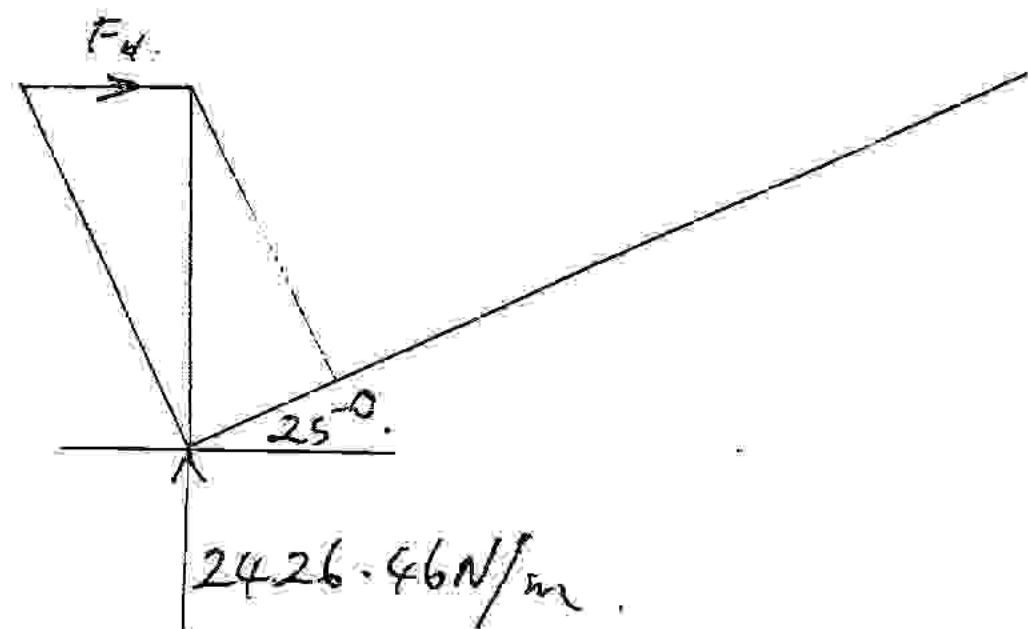
Ye

Outward Thrust.

$$= \text{Reaction on wall} = 1650 \cdot 65 \times \frac{(2 \cdot 74 + 1)}{2}$$

$$= 1650 \cdot 65 \times 1 \cdot 47 = 2426 \cdot 46 \text{ N}$$

This is transferred into a force \perp to the rafter and \perp to the wall



\therefore The horizontal force is F_H .

$$\frac{F_H}{R} = \tan 25^\circ = 0.4663$$

$$F_H = 2426.46 \times 0.4663$$

$$= 1131.48 \text{ N/m}$$

Force per Rafter @ 400 cms.

7.

$$= 1131.48 \times 4$$

$$= 425.59 \text{ N / Rafter.}$$

This is held by the rafter secured to the wall plate.

Assume 2 No. 4 mm ϕ Nails.

\therefore The shear stress on the nails become

$$\frac{425.59}{2 \times \pi R^2} = \frac{425.59}{2 \times 3.1416 \times 2^2}$$

$$= \frac{425.59}{2 \times 4 \times 3.1416} = 16.93 \text{ N/mm}^2$$

low

The following recommendations are to be adopted on site.

- a) Use a double wall plate, overlapped at reeve corners and secured to one another.
- b) End rafters at reeve wall to be secured to the block work.
- c) Wall plates to be secured to the external walls with stays. At least two on each side.

Sen Jaisat B.E
Nov. 1991