

**BYE LAW APPLICATION FEES**

REF. NO.: 91A/0198      CERTIFICATE NO.: 14046B  
 PROPOSAL: House + Sепtіс tank  
 LOCATION: Main Street, Newcastle  
 APPLICANT: D. O Sullivan

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	£ 555	<u>£ 555</u>	<u>£ 555</u>	-		
B	Domestic Ext. (Improvement/Alts.)	£ 530					
C	Building for office or other comm. purpose	£ 23.50 per M <sup>2</sup> or 570					
D	Building or other structure for purposes of agriculture	£ 21.00 per M <sup>2</sup> by excess of 300 M <sup>2</sup> Min: 570					
E	Petrol Filling Station	£ 200					
F	Dev. of prop. not coming within any of the foregoing classes	£ 70 or £ 9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_  
 Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_  
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: \_\_\_\_\_ Date: 21/2/91  
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

91A/0198

CERTIFICATE NO: 24305

PROPOSAL: House + Septic Tank  
LOCATION: Main Street, Newcastle  
APPLICANT: D. O. Sullivan

1	2	3	4	5	6	7
DWELLINGS/AREA LENGTH/STRUCT	RATE	AMT. OF FEE RECT	AMOUNT LODGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO
Dwellings	\$52	16	16	/		
	\$16		⓪			
	\$300 per M <sup>2</sup> in excess of 300M <sup>2</sup> MIN 240					
metres <sup>2</sup>	\$21.75 per M <sup>2</sup> or 240					
x .1 hect.	\$225 per hect. or \$250					
x .1 hect.	\$125 per hect. or \$100					
x .1 hect.	\$125 per hect. or \$100					
x metres <sup>2</sup>	\$100					
x metres <sup>2</sup>	\$100 per hect. or \$100					
x 1,000m <sup>2</sup>	\$15 per hect. or \$100					
x .1 hect.	\$25 per hect. or \$25					

Column 1 Certified: Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
 Column 1 Endorsed: Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
 Columns 2,3,4,5,6 & 7 Certified Signed: RSB Grade: S.O Date: 21/2/91  
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Mr. A. Hinchy,  
Senior Executive Draughtsman/Technician

RE: House at Main Street Newcastle

REG. REF.: 91A/0198

RE: LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) (FEES AND AMENDMENT)  
REGULATIONS, 1983 --ARTICLE 6.1

A reduced fee (i.e.  $\frac{1}{2}$ ) has been paid in respect of the above application.

Please confirm this is the correct fee under Article 6.1 of the Local  
Government (Planning and Development) (Fees and Amendment) Regulations, 1983.

File Reg. Ref.: 87A/1453 on which a full fee was paid is attached.



Richard Whelan,  
Staff Officer,  
Registry Section.

Mr. R. Whelan,  
Registry Section.

*No alteration to site layout.*

*J.Y.  
22/2/91.*

A. Hinchy,  
Senior Executive Draughtsman/Technician

EASTERN HEALTH BOARD

P.C. \_\_\_\_\_ Reg. Ref: 91A/0198.

Proposed: Dwelling House + septic tank.

At: Newcastle, Co. Dublin.

For: D. O. Sullivan.

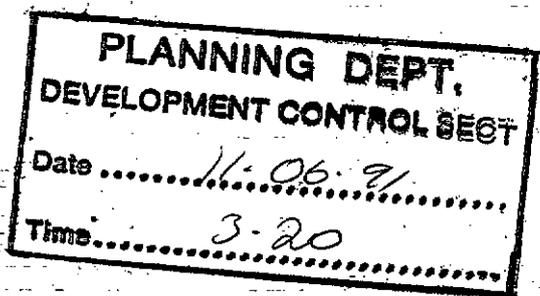
Plans lodged: \_\_\_\_\_

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

This proposal is acceptable to this office.  
Please see previous report dated 17/5/91,  
from Mrs. Ita Devine S.E.H.O.

Jackie Kelly  
6/6/91.



Ita Devine  
for John O'Reilly S.E.H.O.  
6/6/91

DUBLIN COUNTY COUNCIL

PLANNING DEPARTMENT

Register Reference : 91A/0198

Date Received : 19th February 1991

Applicant : D. O'Sullivan,

Appl.Type : PERMISSION/BUILDING B

Development : Dwelling house and septic tank

LOCATION : Newcastle, Co. Dublin

O.S.REFS.

20/8

AREA REFERENCE

W T 0 9 3 4

HISTORY

87A/1453	SA 1041	85A/1694		

FEES CERTIFICATE NO. \_\_\_\_\_

FEE CLASS

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MEASUREMENT FOR FEES

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SIGNED .....

DATE .....

SENIOR EXECUTIVE DRAUGHTSMAN

FEE PAID

FEE ASSESSED

BALANCE DUE

--	--	--

CERTIFIED \_\_\_\_\_

GRADE \_\_\_\_\_

DATE \_\_\_\_\_

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ - /  
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

STO 2575 Water only

(~~2575~~ a further 2575 to be paid in connection made to public foul sewer)

WJ 8/7/91

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Dwelling House and Septic Tank at Newcastle, Co. Dublin, for D. O'Sullivan.

Mr. Don O'Sullivan,  
3 Woodville Walk,  
Lucan,  
Co. Dublin.

Reg. Ref. - 91A/0198  
Compl. rec. 17/7/91

Report of the Dublin Planning Officer, dated 2nd October, 1991

This is a submission in compliance with Condition No. 11 and 12 of decision to Grant Permission by Order No. P/3139/91, dated 11th July, 1991, for the above proposal.

Condition No. 11 states:

That details of the colour and texture of the proposed external finishes be submitted for the written agreement of the Planning Authority prior to the commencement of development on the site.

A compliance submission was submitted on 17th July, 1991. This noted that external finishes were to include an Ormonde Autumn Brindle brick finish and black concrete roof tiles. Samples of these finishes were subsequently submitted and are considered acceptable.

Condition No. 12 states:

That the developer shall facilitate the Office of Public Works in the safeguarding of any items of archaeological significance which the site may possess. In this regard, the developer shall notify the National Monuments Branch of the Office of Public Works in writing in advance of commencement of works on site, i.e. 4 weeks before work commences to facilitate archaeological appraisal of the site during the digging of foundations and the laying of utility services on the site.

In compliance with this condition, an Archaeologist was present when the soil clearance and foundation trenching took place on site on 30th August, 1991. A report has been submitted in this regard. *By letter dated 24/9/91 the Office of Public Works informed the Planning Department that condition 12 had been complied with to its satisfaction.*

*recommended to the applicant by the OPH*

I recommend that the applicant be informed that the submission is satisfactory and complies with Condition Nos. 11 and 12 of decision to grant permission by Order No. P/3139/91, dated 11th July, 1991.

Contd/....

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Dwelling House and Septic Tank at Newcastle, Co. Dublin, for D. O'Sullivan.

10

(MG/CM)

*[Signature]*  
Endorsed: *[Signature]*  
for Principal Officer.

*[Signature]*  
for Dublin Planning Officer.

Order: Applicant to be informed as set out in the above report.

Dated: 11 October, 1991. *[Signature]*

~~Assistant County Manager~~  
APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager, dated 14/10/91

P/3139/91

CONTRIBUTION:	
Standard:	£ 375
Roads:	Water only
S-Sers:	+ £375 m
Open-Space:	the work
Other:	1 connection
SECURITY:	to public
Bond/Grat:	Jan 1991
Cash:	

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Register Reference : 91A/0198

Date Received : 17th May 1991

Correspondence : Don O'Sullivan,  
 Name and : 3 Woodville Walk,  
 Address : Lucan,  
 Co. Dublin

Development : Dwelling house and septic tank

Location : Newcastle, Co. Dublin

Applicant : D. O'Sullivan,

App. Type : Permission

Zoning : B

(MG/DK)

Report of the Dublin Planning Officer dated 4th July, 1991.

This is an application for PERMISSION for a dwelling house and septic tank at Newcastle, Co. Dublin for D. O'Sullivan.

The proposed site has an area of 4,047 sq. m. (i.e. c. 1 acre) and is located at the western end of Newcastle Village close to a bend in the road at the junction of the Newcastle and Hazelhatch Roads. It is a flat site which is defined by a mature hedgerow and a broken stone wall along much of the road frontage. The remaining boundaries are defined in part by wire fencing. The site is currently in use for grazing purposes.

This site forms part of a larger site for which planning permission was granted on appeal to An Bord Pleanala (following a refusal by Dublin County Council) for 5 no. detached houses under Reg. Ref. No. SA 1041.

Reg. Ref. No. 85A-1494 refers to a 1986 grant of permission on appeal to An Bord Pleanala (following a refusal of permission by the county Council) for a two storey detached house on the site of the current application. The applicant in this instance was K. Murray.

Reg. Ref. No. 87A-1453 refers to a 1988 grant of permission for a revised house and septic tank at this site for Christopher Landy. Lodged plans provided for a dormer bungalow with a pitched roof and gable to front. Condition no 10 of this grant of permission required that a building line setback not exceed 10.40 metres be provided.

Subsequent grants of permission have been made in respect of nearby sites to the east, also the subject of Reg. Ref. No. SA 1401 referred to above.

Reg. Ref. No. 88A-0729 refers to a grant of permission for a two storey dwelling (of vernacular rural cottage idiom) on a nearby site to the east.

This permission provided for a building line setback of 10 metres. This house

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg. Ref: 91A/0198

Page No: 0002

Location: Newcastle, Co. Dublin

has since been constructed.

Reg. Ref. No. 89A-1134 refers to a 1990 grant of permission for a bungalow and septic tank on the adjoining site for Eugene Pidgeon. Plans lodged originally with this application identified a pitched roof bungalow with a brick gable. The applicant was requested by additional information to submit revised proposals providing for strong townscape definition. Revised plans provided for an improved village infill development comprising a dormer bungalow with strong vertical emphasis to fenestration and a reduced building set back of 17 metres. This house has since been constructed.

Reg. Ref. No. 90A-1715 refers to a grant of planning permission for the demolition of the existing cottage and its replacement with a dormer dwelling on the adjoining site to the west for M. Murphy. Lodged plans provided for a building line setback of c. 29 metres at this site.

The original grant of outline permission under Reg. Ref. No. SA 1401 included a condition requiring the provision of a service road to serve the proposed dwellings. This condition was repeated in some form in subsequent grants of permission under Reg. Refs. 85A-1454 and 87A-1453 but was subsequently omitted from Reg. Ref. No. 89A-1134.

The proposed site is located to the west of Newcastle Village opposite St. Finians Church and a public house. It is located in an area zoned 'B' - "to protect and provide for the development of agriculture". An existing cottage adjoins the site to the west. The aforementioned dwellings have been constructed further to the east under Reg. Refs. 88A-729 and 89A-1134. There is no footpath along the 37.5 metre frontage to the site.

The current application provides for a large (193 sq. m.) detached two storey house with a detached garage to the side. Lodged plans provide for a part brick finish with a tudor style facade to all elevations (although lodged plans provide for an optional full brick front to the front facade). No details are included regarding the colour/texture of brick/roofing materials. Fenestration comprises large window opens with little vertical emphasis. Side and front elevations are to have leaded windows.

The applicants were requested to submit additional information on 17th April, 1991 as follows:

1. Two new houses have recently been constructed with building lines relatively close to the Newcastle Road. The applicant is asked to submit a layout plan showing the relationship between the building line of the existing houses and the building line of the proposed house. It is the opinion of the Planning Authority that the building line of the houses should be compatible.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0198

Page No: 0003

Location: Newcastle, Co. Dublin

2. Evidence is required of the suitability of the site for septic tank drainage. A trial hole shall be dug to comply with requirements of the "Recommendations for Septic Tank Drainage Systems suitable for single houses"; published by the Department of the Environment (IIRS SR6, 1975). The applicant shall arrange to have the trial hole inspected by the Supervising Environmental Health Officer.

3. Relationship between the existing houses and septic tanks and percolation areas and the proposed house and septic tank and percolation area is requested to be shown by means of a layout plan.

Additional information was submitted by the applicants on 17th May, 1991. This included a drawing identifying the relationship between the building line of the proposed house and the existing and proposed houses on neighbouring sites. The applicant makes the case for a stepped building line, in correspondence lodged and points out that the second house (constructed under Reg. Ref. No. 89A-1134) is set back an additional 7 metres from the front house (the subject of Reg. Ref. No. 88A-0739). The drawing submitted also identifies the proposed building line at the adjoining site to the west (the subject of Reg. Ref. No. 90A-1715) as 29 metres.

Given the fact that the site adjoins a bend in the road at this location a stepped building line as suggested by the applicant is considered to be acceptable. With regard to the suitability of the soil for septic tank drainage the applicant notes that tests have been carried out by the Supervising Environmental Health Officer. Supervising Environmental Health Officer's report (received 11th June, 1991) notes that the proposed development is acceptable. A previous report received 22nd May, 1991, also noted that proposal was acceptable.

Drawings lodged identify the location of the nearest septic tank which is a distance of 73 metres from the eastern boundary of the applicants site. Correspondence submitted states that the proposed development to the west (the subject of Reg. Ref. No. 90A-1715) is served by a mains drainage and mains water supply.

It is noted from the O.P.W.'s Sites and Monuments Record that the proposed site is located within an area of archaeological interest in the Newcastle Village area.

The proposed development is considered acceptable.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following conditions:-

(1)

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0198

Page No: 0004

Location: Newcastle, Co. Dublin

### CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 17.05.1991 save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye- Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That the proposed house be used as a single dwelling unit.

REASON: To prevent unauthorised development.

04 That a financial contribution in the sum of £ 375-00 be paid by the proposer to Dublin County Council towards the provision of public water supply in the area of the development and which will facilitate the proposed development. This contribution to be paid prior to the commencement of development on site.

REASON: In the interest of the proper planning and development of the area.

05 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON: To protect the amenities of the area.

06 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

07 That the septic tank, and drainage arrangements be in accordance with the requirements of the Supervising Environmental Health Officer, Eastern Health Board, Gardiner Place, Dublin 1. Tel. 727777. In this regard the length of distribution piping in the proposed percolation area is to be a minimum of 78 metres.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0198

Page No: 0005

Location: Newcastle, Co. Dublin

809 The house shall be connected at the applicants expense to a public sewer if one becomes available to serve it.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

910 In the event of a connection to the public sewer a financial contribution in the sum of £ 275.00 to be paid by the proposer to the Dublin County Council towards the cost of provision of public foul sewerage in the area of the proposed development and which facilitate the development.

10 REASON: In the interest of the proper planning and development of the area.

1011 The entrance shall be located beside the east boundary of the site and it shall be recessed at least 16 ft. from the inside of the front boundary. The wing walls shall be splayed at an angle of 45 degrees and shall not exceed a height of 3 feet 6 inches. The existing front boundary shall also be reduced to and maintained at a height not exceeding 3 feet 6 inches in height. An area of length 25 feet west of the entrance and between the front boundary and the carriageway shall be excavated, filled and surfaced with a durable material to the satisfaction of the Planning Authority.

11 REASON: In the interest of the proper planning and development of the area.

1112 That details of the colour and texture of the proposed external finishes be submitted for the written agreement of the Planning Authority prior to the commencement of development on site.

112 REASON: In the interest of the proper planning and development of the area.

1123 That the developer shall facilitate the Office of Public Works in the safeguarding of any items of archaeological significance which the site may possess. In this regard, the developer shall notify the National Monuments Branch of the Office of Public Works in writing in advance of commencement of works on site, i.e. 4 weeks before work commences to facilitate archaeological appraisal of the site during the digging of foundations and the laying of utility services on the site.

REASON: To facilitate the recording and protection of any items of archaeological significance which the site may possess.

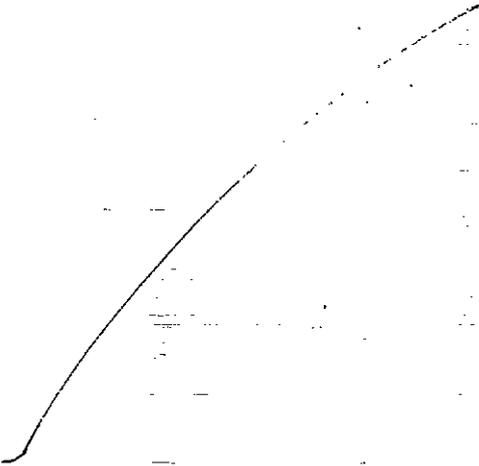
COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0198

Page No: 0006

Location: Newcastle, Co. Dublin



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Endorsed: ..... *[Signature]* .....  
for Principal Officer  
..... *[Signature]* .....  
for Dublin Planning officer

Order: A decision pursuant to section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (12) conditions set out above is hereby made.

Dated : ..... 11 July 1991 ..... *K.O. Sullivan*  
APPROVED OFFICER *Dist. City & County Manager*

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 19 June 1991.  
8<sup>th</sup> July 1991.

Mary G

EASTERN HEALTH BOARD

P.C. \_\_\_\_\_ Reg. Ref: 91A/0198

Proposed: Dwelling House + septic tank.

At: Newcastle, Co. Dublin

For: D. O. Sullivan

Plans lodged: \_\_\_\_\_

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

This proposal is acceptable to this office.  
Please see previous report dated 17/5/91,  
from Mrs. Ita Devine S.E.H.O.

Jackie Kelly  
6/6/91.

**PLANNING DEPT.**  
**DEVELOPMENT CONTROL SECT**  
Date ..... 11.06.91 .....  
Time ..... 3.20 .....

Ita Devine  
for John O'Reilly S.E.H.O.  
6/6/91

M.G.

EASTERN HEALTH BOARD

P.C. \_\_\_\_\_ Reg. Ref: 91A/0192  
Proposed: Dwelling house and septic tank  
At: Newcastle Co. Dublin  
For: Don O'Sullivan  
Plans lodged: 19<sup>th</sup> February  
Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

Percolation tests carried out on the 8<sup>th</sup> and 9<sup>th</sup> May indicated a T value of 30.

The proposal is acceptable provided that the length of distribution piping in the percolation areas is a minimum of 78 Metres.

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ...22.05.91...  
Time ...11.10...

For a Devine  
for John O'Reilly SEHO  
17/5/91

## COMHAIRLE CHONTAE ÁTHA CLIATH

### Record of Executive Business and Manager's Orders

Proposed dwelling house and septic tank at Newcastle,  
Co. Dublin for D. O'Sullivan.

Mr. Don O'Sullivan,  
3, Woodville Walk,  
Lucan,  
Co. Dublin.

Reg. Ref. 91A-0198  
Appl. Rec'd: 19.02.1991  
Floor Area: 193.68 sq. m.  
Site Area: 4,047 sq. m.

Report of the Dublin Planning Officer, dated 12 April 1991

This is an application for PERMISSION for a dwelling house and septic tank at Newcastle, Co. Dublin for D. O'Sullivan.

The proposed site has an area of 4,047 sq. m. (i.e. c. 1 acre) and is located at the western end of Newcastle Village close to a bend in the road at the junction of the Newcastle and Hazelhatch Roads. It is a flat site which is defined by a mature hedgerow along much of the road frontage. The remaining boundaries are defined in part by wire fencing. The site is currently in use for grazing purposes.

This site forms part of a larger site for which planning permission was granted on appeal to An Bord Pleanála (following a refusal by Dublin County Council) for 5 no. detached houses under Reg. Ref. No. SA 1041.

Reg. Ref. No. 88A-1494 refers to a 1986 grant of permission on appeal to An Bord Pleanála (following a refusal of permission by the County Council) for a two storey detached house on the site of the current application. The applicant in this instance was K. Murray.

Reg. Ref. No. 87A-1453 refers to a 1988 grant of permission for a revised house and septic tank at this site for Christopher Lindy. Lodged plans provided for a dormer bungalow with a pitched roof and gable to front.

Subsequent grants of permission have been made in respect of nearby sites to the east, also the subject of Reg. Ref. No. SA 1401 referred to above.

Reg. Ref. No. 88A-739 refers to a grant of permission for a two storey dwelling (of vernacular rural cottage idiom) on a nearby site to the east. This permission provided for a building line setback of 10 metres. This house has since been constructed.

Reg. Ref. No. 89A-1134 refers to a 1990 grant of permission for a bungalow and septic tank on the adjoining site for Eugene Pidgeon. Plans lodged originally with this application identified a pitched roof bungalow with a brick gable. The applicant was requested by additional information to submit revised proposals providing for strong townscape definition. Revised plans provided for an improved village infill development comprising a dormer bungalow with strong vertical emphasis to fenestration and a reduced building set back of 17 metres. This house has since been constructed.

(Continued)

## COMHAIRLE CHONTAE ÁTHA CLIATH

### Record of Executive Business and Manager's Orders

Proposed dwelling house and septic tank at Newcastle, Co. Dublin for D. O'Sullivan.

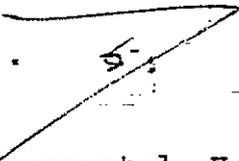
(Continued)

The original grant of outline permission under Reg. Ref. No. SA 1401 included a condition requiring the provision of a service road to serve the proposed dwellings. This condition was repeated in some form in subsequent grants of permission under Reg. Refs. 85A-1454 and 87A-1453 but was subsequently omitted from Reg. Ref. No. 89A-1134.

The proposed site is located to the west of Newcastle Village opposite St. Finians Church and a public house. It is located in an area zoned B - 'to protect and provide for the development of agriculture'. An existing cottage adjoins the site to the west. The aforementioned dwellings have been constructed further to the east under Reg. Refs. 88A-729 and 89A-1134. There is no footpath along the 37.5 metre frontage to the site.

The current application provides for a large (193 sq. m.) detached two storey house with a detached garage to the side. Lodged plans provide for a part brick finish with a tudor style facade to all elevations (although lodged plans provide for an optional full brick front to the front facade). No details are included regarding the colour/texture of bricks/roofing materials. Fenestration comprises large window opes with little vertical emphasis. Side and front elevations are to have leaded windows.

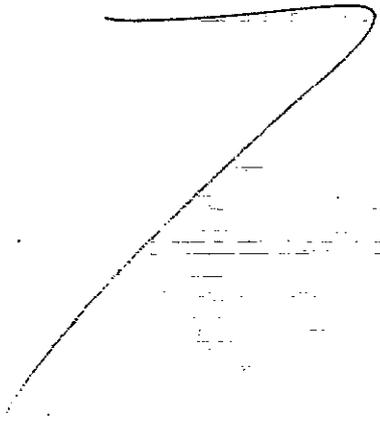
Roads Department report



Supervising Environmental Health Officer's report noted. This requests additional information regarding soil suitability for septic tank drainage. The Supervising Environmental Health Officer was contacted. As previous grants of permission were granted for houses with septic tanks (no evidence of soil suitability on file), this matter can be conditioned.

I recommend that **ADDITIONAL INFORMATION** be requested from the applicant with regard to the following:-

(Continued)



# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

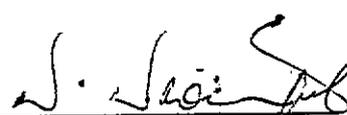
Proposed dwelling house and septic tank at Newcastle, Co. Dublin for D. O'Sullivan.

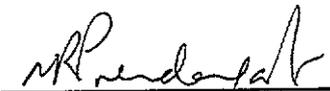
(Continued)

1. Two new houses have recently been constructed with building lines relatively close to the Newcastle Road. The applicant is asked to submit a layout plan showing the relationship between the building line of the existing houses and the building line of the proposed house. It is the opinion of the Planning Authority that the building line of the houses should be compatible.
2. Evidence is required of the suitability of the site for septic tank drainage. A trial hole shall be dug to comply with requirements of the "Recommendations for Septic Tank Drainage Systems suitable for single houses"; published by the Department of the Environment (IIRS SR6, 1975). The applicant shall arrange to have the trial hole inspected by the Supervising Environmental Health Officer.
3. Relationship between the existing houses and septic tanks and percolation areas and the proposed house and septic tank and percolation area is requested to be shown by means of a layout plan.

(NP/DK)

Endorsed:-

  
for Principal Officer

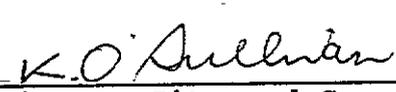
  
For Dublin Planning Officer

Order:-

I direct that ADDITIONAL INFORMATION be requested from the applicant for planning permission as set out in the above report and that notice thereof be served on the applicant.

Dated:

14 April, 1991.

  
Assistant City and County Manager

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 8th April, 1991.

DUBLIN COUNTY COUNCIL

REG. REF: 91/A/198  
LOCATION: Newcastle, Co. Dublin.  
APPLICANT: D. O'Sullivan.  
PROPOSAL: Dwelling house and septic tank.  
DATE LODGED: 19th February, 1991.

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Previous Roads reports of 27/7/1979 (Reg. Ref. SA 1041) and 15/7/1986 (Reg. Ref. 85/A/1494) refer. Copies are attached for your reference.

Notwithstanding An Bord Pleanála decision in the interim, the current application does not show any changes or improvements in respect of road safety implications. As such Roads Department's comments remain as before.

TB/MM 28/3/91

SIGNED: \_\_\_\_\_

*4. B. [Signature]*

ENDORSED: \_\_\_\_\_

DATE: \_\_\_\_\_

*28/3/91*

DATE: \_\_\_\_\_

File

MG.

DUBLIN COUNTY COUNCIL

REG. REF: 91/A/198

LOCATION: Newcastle, Co. Dublin.

APPLICANT: D. O'Sullivan.

PROPOSAL: Dwelling house and septic tank.

DATE LODGED: 19th February, 1991.

Previous Roads reports of 27/7/1979 (Reg. Ref. SA 1041) and 15/7/1986 (Reg. Ref. 85/A/1494) refer. Copies are attached for your reference.

Notwithstanding An Bord Pleanala decision in the interim, the current application does not show any changes or improvements in respect of road safety implications. As such Roads Department's comments remain as before.

**PLANNING DEPT.**

**DEVELOPMENT CONTROL SEC:**

Date 28 / MARCH / 91

Time .....

TB/MM 28/3/91

SIGNED: 4. B. [Signature]

ENDORSED: \_\_\_\_\_

DATE: 28/3/91

DATE: \_\_\_\_\_

SS / CMO

Register Reference : 91A/0198

Date : 22nd February 1991

MG

Development : Dwelling house and septic tank

LOCATION : Newcastle, Co. Dublin

Applicant : D. O'Sullivan,

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	6/ Mar / 91
Time	11:00

Date Recd. : 19th February 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

DUBLIN CO. COUNCIL  
 27 FEB 1991  
 SAN SERVICES

Yours faithfully,

Date received in Sanitary Services .....

DUBLIN CO. OFFICER  
 SANITARY SERVICES  
 - 5 MAR 1991  
 Returned *EG*

FOUL SEWER

*Septic tank proposed - refer to E.H.S.*

SURFACE WATER

*Soak pits proposed - refer to B.B.L. Dept*

SENIOR ENGINEER,  
 SANITARY SERVICES DEPARTMENT,  
 46/49 UPPER O'CONNELL STREET,  
 DUBLIN 1

*J. Rice*  
 1/3/91

Register Reference : 91A/0198

Date : 22nd February 1991

.....  
ENDORSED \_\_\_\_\_ DATE \_\_\_\_\_

WATER SUPPLY. *available for road use 24 hour storage  
to be provided note drain is on opposite side of road.*

*[Signature]*  
27/2/91  
27/2/91

.....  
ENDORSED *[Signature]* DATE *9/2/91*

Mr. Don O'Sullivan,  
3 Woodville Walk,  
Lucan,  
Co. Dublin.

Reg. Ref.: 91A/0198

16 October 1991

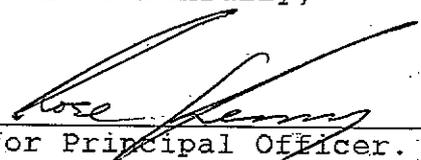
Re: Dwelling house and septic tank at Newcastle, Co.  
Dublin for D. O'Sullivan.

Dear Sir,

I refer to your submission received on 17th July, 1991, to comply with Condition Nos. 11 and 12, of decision to grant permission by Order No. P/3139, dated, 11th July, 1991, in connection with the above.

In this regard, I wish to inform you that the submission is satisfactory and complies with Condition Nos. 11 and 12 of decision to grant permission by Order No. P/3139/91, dated 11th July, 1991.

Yours faithfully,

  
for Principal Officer.

OIFIG NA nOIBREACHA POIBLÍ

ST. STEPHEN'S GREEN, BAILE ÁTHA CLIATH, 2.

OFFICE OF PUBLIC WORKS, 51 ST. STEPHEN'S GREEN, DUBLIN, 2.

TEILEAFÓN: 01 - 613111  
FAX: 01 - 610747

TAG:

EH  
u PK  
MK  


M.R.

Dublin Co. Council,  
Planning Department,  
Block 2,  
Irish Life Centre,  
Lr. Abbey St.,  
Dublin 1.

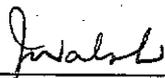
30 SEP 1991

Re: Ref. 91A/0198 at Newcastle, Co. Dublin.

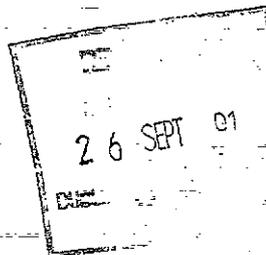
Dear Sir,

I refer to your letter of 18th September, 1991 in connection with the above development and wish to advise that Condition No. 12 of the permission has been complied with to our satisfaction.

Yours faithfully,



Josephine Walsh,  
National Monuments.

26 SEPT 01  


26<sup>th</sup> September, 1991.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.

Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

Telephone: 773066

Telephone: 724755  
Extension: 231/234

12 September 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: Newcastle  
PROPOSED DEVELOPMENT: Dwelling House and septic tank  
APPLICANT: D. O'Sullivan  
PLANNING REG. REF.: 91A/0198  
DATE OF RECEIPT  
OF SUBMISSION: 10 September 1991

A Chara,

With reference to above, I acknowledge receipt of application for:

**Compliance with Conditions.**

Mise, le meas

A. Smith

PRINCIPAL OFFICER

Claire Walsh,

C/o Mr Don O'Sullivan,

3 Woodville Walk,

Lucan,

Co. Dublin.

**Ms Mary Galvin  
Planning Officer  
Dublin Co. Council**

9/9/1991

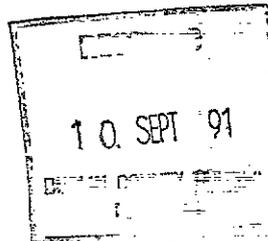
Dear Ms Galvin

I enclose the report on archaeological supervision of construction in accordance with planning permission at Newcastle, Co. Dublin .

Yours sincerely

*Claire Walsh*  
Claire Walsh.

91A/0198  
2.0.0  
Lomp



**REPORT ON ARCHAEOLOGICAL SUPERVISION OF CONSTRUCTION,  
NEWCASTLE, CO. DUBLIN.**

**Planning reference 91A/ 0198**

Soil clearance and foundation trenching for a dwelling in Newcastle, Co. Dublin took place on the 30th of August, 1991. In accordance with planning permission, these works were supervised by an archaeologist.

The site is located on the opposite side of the main road to the medieval church and motte in Newcastle (formerly Newcastle Lyons). A survey of this area by Dr. Annagret Simms of U.C.D. has defined burgage plots of probable medieval date. No topographical features could be discerned on the construction site, apart from a small quarry pit on the roadward side of the proposed dwelling.

Topsoil was stripped to a depth of c. 0.20m over the ground area of the house, exposing shattered shale - like rock beneath. Several sherds of late 17th - early 18th century pottery - Blackware and North Devon Gravel -tempered ware- were recovered from the topsoil. These probably derived from manure spreading of the plot at this period. No features were noted in the rock stratum beneath.

Machine trenching for the septic tank, and for a driveway to the front of the house was also monitored. No features were noted.

Claire Walsh.  
September 1991.

DUBLIN COUNTY COUNCIL

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.

Planning Department,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

Telephone: 773066

Telephone: 724755  
Extension: 231/234

19th July, 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: Newcastle, Co. Dublin  
PROPOSED DEVELOPMENT: Dwelling house & septic tank  
APPLICANT: D. O'Sullivan  
PLANNING REG. REF.: 91A/0198  
DATE OF RECEIPT OF SUBMISSION: 17th July, 1991

A Chara,

With reference to above, I acknowledge receipt of application for:

**Compliance with Conditions**

Mise, le meas

A. Smith

PRINCIPAL OFFICER

Mr. Don O'Sullivan,

3, Woodville Walk,

Lucan,

Co. Dublin

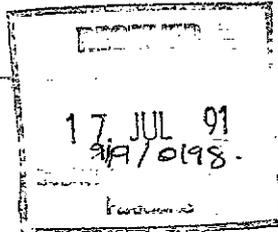
91A/0198

1.0.0

Comp

3, Woodville Walk  
Lucan  
Co. Dublin

17th July 1991



Dear Sir, *START*

In reference to condition No.11 of your Grant of Permission (REg. REF. 91A/0198 - Decision order No. P/3139/910. I submit the following details for your agreement.

ROOF COVERING: Redland Concrete Tiles, colour Stonewold Black.

CLAY BRICKS: Ormonde Autumn Brindle

WINDOWS: White U.P.V.C.

EXTERNAL PLASTER: To be painted, Colour White

RAISED PLASTER "TIMBERING": To be painted, Colour Black.

Yours sincerely,

DON O'SULLIVAN



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION  
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 3139 /91      Date of Decision : 11th July 1991

Register Reference : 91A/0198      Date Received : 17th May 1991

Applicant : D. O'Sullivan,

Development : Dwelling house and septic tank

Location : Newcastle, Co. Dublin

Time Extension(s) up to and including :

Additional Information Requested/Received : 170491//170591

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

subject to the conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- 12 ATTACHED.

Signed on behalf of the Dublin County Council..... *J de Baatveel*.....  
for Principal Officer

Date:..... 12/7/91.....

Don O'Sullivan,  
3 Woodville Walk,  
Lucan,  
Co. Dublin

## NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,  
Blocks 6 and 7  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Reg.Ref. 91A/0198  
Decision Order No. P/ 3139 /91  
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach lacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

### CONDITIONS / REASONS

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 17.05.1991 save as may be required by the other conditions attached hereto.  
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye- Laws be obtained and all conditions of that approval be observed in the development.  
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That the proposed house be used as a single dwelling unit.  
REASON: To prevent unauthorised development.
- 04 That a financial contribution in the sum of £375.00 be paid by the proposer to Dublin County Council towards the provision of public water supply in the area of the development and which will facilitate the proposed development. This contribution to be paid prior to the commencement of development on site.  
REASON: In the interest of the proper planning and development of the area.
- 05 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.  
REASON: To protect the amenities of the area.
- 06 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.  
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 07 That the septic tank and percolation areas shall accord with the standards set out in "Recommendations for Septic Tank Drainage Systems SR6, 1975" available from Eolas. In this regard the length of distribution piping in the proposed area is to be a minimum of 78 metres.
- 07 REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 08 The house shall be connected at the applicants expense to a public sewer if one becomes available to serve it.
- 08 REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 09 In the event of a connection to the public sewer a further financial

## NOTES

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Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
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Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Reg.Ref. 91A/0198

Decision Order No. P/ 3139 /91

Page No: 0003

contribution in the sum of £375.00 to be paid by the proposer to the Dublin County Council towards the cost of provision of public foul sewerage in the area of the proposed development and which facilitate the development.

- 09 REASON: In the interest of the proper planning and development of the area.
- 10 The entrance shall be located beside the east boundary of the site and it shall be recessed at least 16 ft. from the inside of the front boundary. The wing walls shall be splayed at an angle of 45 degrees and shall not exceed a height of 3 feet 6 inches. The existing front boundary shall also be reduced to and maintained at a height not exceeding 3 feet 6 inches in height. An area of length 25 feet west of the entrance and between the front boundary and the carriageway shall be excavated, filled and surfaced with a durable material to the satisfaction of the Planning Authority.
- 10 REASON: In the interest of the proper planning and development of the area.
- 11 That details of the colour and texture of the proposed external finishes be submitted for the written agreement of the Planning Authority prior to the commencement of development on site.
- 11 REASON: In the interest of the proper planning and development of the area.
- 12 That the developer shall facilitate the Office of Public Works in the safeguarding of any items of archaeological significance which the site may possess. In this regard, the developer shall notify the National Monuments Branch of the office of Public Works in writing in advance of commencement of works on site, i.e. 4 weeks before work commences to facilitate archaeological appraisal of the site during the digging of foundations and the laying of utility services on the site.
- REASON: To facilitate the recording and protection of any items of archaeological significance which the site may possess.

## NOTES

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Blocks 6 and 7  
Irish Life Centre,  
Lower Abbey Street,  
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4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

7th June 1991

3 Woodville Walk  
Woodville Downs  
Lucan  
Co. Dublin.

*A.I. for BBL*

*2 0-2.  
91A/198*

Re: Additional Information for B.B.L.  
Reg. Ref 91A/198  
Proposal: Revised House Type and Septic Tank @ Newcastle, Co. Dublin  
Lodgement Date; 19/2/1991.

Dear Sir/Madam,

I enclose a copy of the Engineer's Specification for the Universal Beam over the family room as required.

I hope this information will be sufficient to enable a speedy conclusion to my application.

Yours faithfully,

-----  
DON O'SULLIVAN

13 JUN 91

# Architectural and Building Services

Architects • Engineers • Interior Designers • Planners  
No. 20, Parnell Street, Ennis, Co. Clare, Ireland.  
Tel. (065) 29686 Fax (065) 29694  
Architect. Michael P. Lucey, B. Arch. Engineer.  
D.A. Feeney, C. Eng.

Mr Don O'Sullivan,  
3, Woodville Walk,  
Woodville Downs,  
Lucan,  
Co. Dublin.

Your Ref

Our Ref

ML/pg

Date

31st May '91.

Re: Size and Calculations for U.B. for proposed new house.

Dear Don,

I have now received the required information from our engineer,  
Mr. Aidan Feeney C.Eng.

I attach the required specifications.

Yours sincerely,

*Michael Lucey*  
Michael Lucey  
for  
A.B.S.

# Architectural and Building Services

PROJECT : U.B. Size / Calculations.

CLIENT : Mr. Don O'Sullivan.

(BS449) (4950) (CP3)

O/A Length of Beam = 3.7000 M.

Clear Span = 3.5000 M.

Loadings.

Wall + Roof + Lean to (Family Room) + Floor + Snow + Wind.  
20Lb/Sq.Ft/

Total Load = 68 KN.

.....  
USE A 305 x 102 x 25Kg per Metre. Grade 43.  
.....

With at least 100mm bearing on each wall support.

$$BM = WL = 68 \times 3.7 = 31.45 \text{ KN M}$$

$$\frac{8}{8}$$

$$Z = \frac{M}{f} = \frac{31.45 \times 10^6}{165} = 191 \text{ cm}$$

$$\frac{f}{165}$$

$$305 \times 102 \text{ 25Kg. } Z = 287.5$$

$$r_y = 1.92$$

$$l = 3700 = 193$$

$$M = 31.45 \times 10^6$$

$$r_y = 19.2$$

$$Z = 287500$$

$$= 109.39$$

$$D = 44.8$$

145 Permitted

F

OKg

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/0198

Date : 17th May 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Dwelling house and septic tank

LOCATION : Newcastle, Co. Dublin

APPLICANT : D. O'Sullivan,

APP. TYPE : Additional Information

With reference to above, I acknowledge receipt of your application received on 17th May 1991.

Yours faithfully,

.....  
PRINCIPAL OFFICER

Don O'Sullivan,  
3 Woodville Walk,  
Lucan,  
Co. Dublin

3 Woodville Walk  
Woodville Downs  
Lucan  
Co. Dublin

15 May 1991

Principal Officer  
Planning Department  
Dublin County Council  
Block 2, Irish Life Centre  
Lower Abbey Street  
Dublin 1.

91A/0198  
1.4.0  
A.1



Dear Sir/Madam

Re: ADDITIONAL INFORMATION  
Reg. Ref 91A 0198

With reference to your letter requesting additional information in relation to my application for a revised house type and septic tank on a previously approved site at Main Street, Newcastle, Co. Dublin. I enclose herewith four copies of a site layout plan.

Point 1 of your letter asks that I show the relationship between the building line of the existing houses and my proposed development. As the second house is stepped back an additional seven metres from the first house I would submit there is a case for a stepped building line along that section of the road.

Point 2 of your letter asks for evidence of suitability for septic tank drainage. These tests have been carried out by the Supervising Environmental Health Officer (Mrs Devine) and were found to be satisfactory.

Point 3 of your letter asks for a layout plan showing the relationship of existing houses and septic tanks/percolation areas and my proposed development. This is included on the site layout enclosed. There is a distance of 73 metres between the east boundary of my site and the nearest house to the east with septic tank drainage. The proposed development (by others) to the west of my site has mains drainage and mains water supply.

I hope you find the plan enclosed satisfactory and that it will help towards your speedy consideration of my application.

Yours faithfully

DON O'SULLIVAN

Encs.



Mr. Don O'Sullivan,  
3, Woodville Walk,  
Lucan,  
Co. Dublin.

Reg. Ref. 91A-0198

17 April 1991

Re: Proposed dwelling house and septic tank at Newcastle,  
Co. Dublin for D. O'Sullivan.

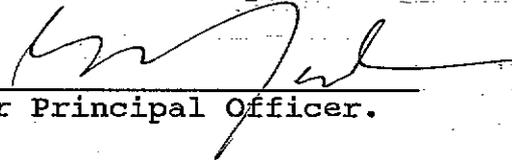
Dear Sir,

With reference to your planning application, received here on 19th February, 1991, in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts, 1963-1983, the following additional information must be submitted in quadruplicate:-

1. Two new houses have recently been constructed with building lines relatively close to the Newcastle Road. The applicant is asked to submit a layout plan showing the relationship between the building line of the existing houses and the building line of the proposed house. It is the opinion of the Planning Authority that the building line of the houses should be compatible.
2. Evidence is required of the suitability of the site for septic tank drainage. A trial hole shall be dug to comply with requirements of the "Recommendations for Septic Tank Drainage Systems suitable for single houses"; published by the Department of the Environment (IIRS SR6, 1975). The applicant shall arrange to have the trial hole inspected by the Supervising Environmental Health Officer.
3. Relationship between the existing houses and septic tanks and percolation areas and the proposed house and septic tank and percolation area is requested to be shown by means of a layout plan.

Please mark your reply "ADDITIONAL INFORMATION" and quote the Reg. Ref. No. given above.

Yours faithfully,

  
for Principal Officer.

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/0198

Date : 20th February 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Dwelling house and septic tank  
LOCATION : Newcastle, Co. Dublin  
APPLICANT : D. O'Sullivan,  
APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received on 19th February 1991.

Yours faithfully,

.....  
PRINCIPAL OFFICER

Don O'Sullivan,  
3 Woodville Walk,  
Lucan,  
Co. Dublin



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place / in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building MAIN STREET, NEWCASTLE CO DUBLIN FEB 91  
(If none, give description sufficient to identify)

3. Name of applicant (Principal not Agent) DON O SULLIVAN

Address 3 WOODVILLE WALK, LUCAN CO DUBLIN Tel. No. 6240692

4. Name and address of ARCHITECTURAL AND BUILDING SERVICES, NO 20  
person or firm responsible for preparation of drawings PARNELL STREET, ENNIS, CO CLARE Tel. No. (065) 29686

5. Name and address to which notifications should be sent 3 WOODVILLE WALK, LUCAN CO DUBLIN

6. Brief description of proposed development 2 STORY HOUSE WITH DETACHED GARAGE ON HYPOSITE

7. Method of drainage SEPTIC TANK 8. Source of Water Supply MAINS

9. In the case of any building or buildings to be retained on site, please state:-  
(a) Present use of each floor or use when last used  
(b) Proposed use of each floor

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11.(a) Area of Site 4047 Sq. m.  
(b) Floor area of proposed development 193.680 Sq. m.  
(c) Floor area of buildings proposed to be retained within site N/A Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD

13.Are you now applying also for an approval under the Building Bye Laws?  
Yes  No  Place / in appropriate box. N 31323

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:  
THE DRAFT BUILDING REGULATIONS HAVE BEEN TAKEN INTO ACCOUNT

15.List of documents enclosed with application.  
CHEQUE £71.00. 4 SETS OF DRAWINGS SITE LAYOUT, SPECIFICATIONS. IRBH TIMES DATE 8/2/91

16.Gross floor space of proposed development (See back) ..... Sq. m.

No of dwellings proposed (if any) 1 Class(es) of Development CHANGE OF HOUSE TYPE

Fee Payable £ 71.00 Basis of Calculation PLANNING £16.00, BYE-LAWS £55.00

If a reduced fee is tendered details of previous relevant payment should be given PREVIOUS APPROVAL

Signature of Applicant (or his Agent) Don O'Sullivan Date 18/2/91

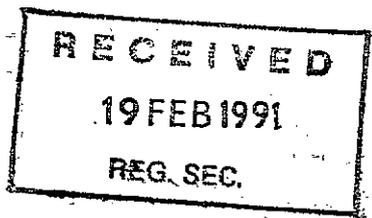
Application Type P16BL FOR OFFICE USE ONLY

Register Reference 91A/0198

Amount Received £ 1.66.4

Receipt No .....

Date .....



Shirley Jones  
8/2/91

15 N31331  
N31330

716 912  
N 31323

CO. DUBLIN - Permission sought from Dublin County Council to erect dwelling house and septic tank at Newcastle, Co Dublin. Signed: D. O'Sullivan.

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Act 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
  - (a) The address of the structure or the location of the land.
  - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
  - (c) The name of the applicant.

**NB. Applications must be received within 2 weeks from date of publication of the notice.**

4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
  - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
  - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
    - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
  - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/ Commercial Purposes	£3.50 per m <sup>2</sup> (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

# COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY — DUBLIN COUNTY COUNCIL  
CAS  46/49 UPPER O'CONNELL STREET,  
CHEQUE ✓ DUBLIN 1.

BYE LAW APPLICATION.

REC. No. N 31581

M.O.  
B.L.  
I.T.

£ 25 00

Received this 19th day of February 1991

from D. & C. O'Sullivan  
3 Woodville Walk,  
Lucan

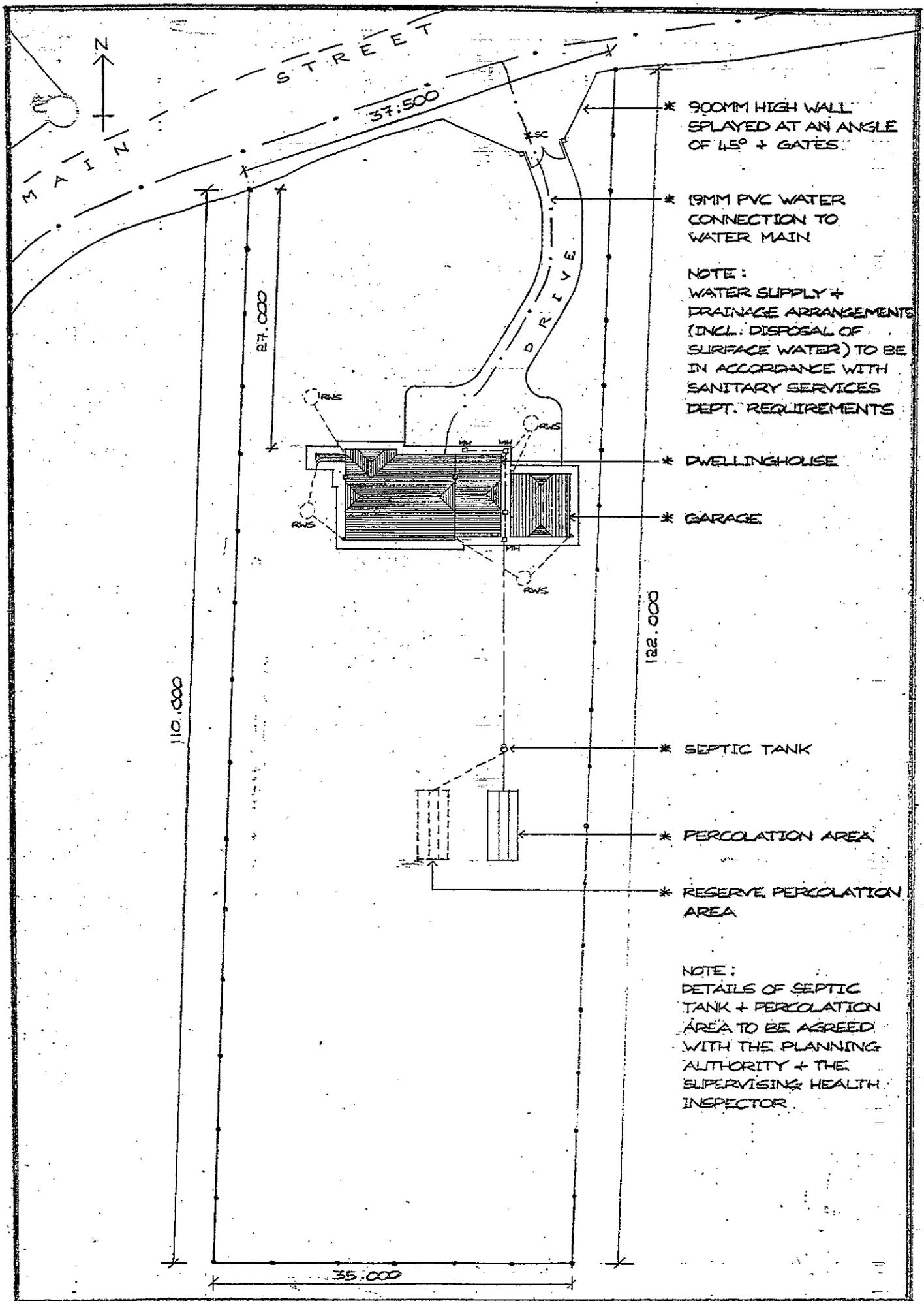
the sum of twenty five Pounds

Pence, being fee for

st bye-law application at Mar St,  
Newcastle  
Moelven De

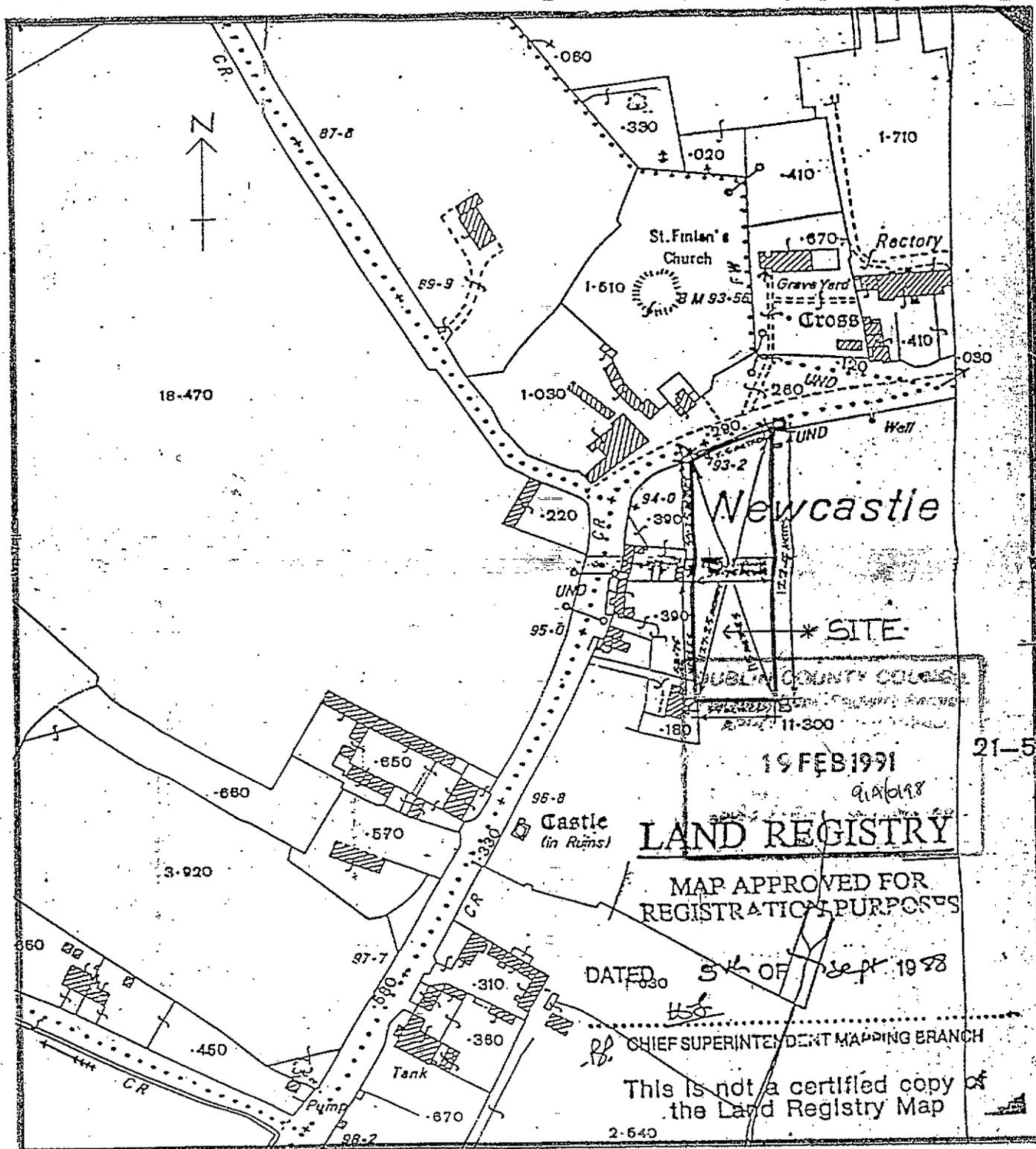
Cashier

S. CAREY Class A  
Principal Officer



SITE LAYOUT PLAN

SCALE 1:500



# SITE LOCATION MAP

NEWCASTLE, CO. DUBLIN  
O.S. SHEET 20-8.

SCALE 1:2500

MR. D. O'SULLIVAN

**SPECIFICATION.**

SPECIFICATION FOR PROPOSED

TO BE ERECTED AT

FOR

OF

**SPECIFICATION INDEX.**

ITEM No.	PAGE No.	DESCRIPTION
1.	1.	PRELIMINARIES.
2.	2.	EXCAVATOR.
3.	3.	CONCRETOR.
4.	4.	WALLER.
5.	5.	ROOF COVERING.
6.	6.	CARPENTER and JOINER.
7.	7.	PLASTERER.
8.	8.	GLAZIER.
9.	9.	ELECTRICAL.
10.	10.	FLUMBING INTERIOR.
11.	11.	HEATING INTERIOR.
12.	12.	DRAINAGE.

DUBLIN COUNTY COUNCIL  
Planning Dept.  
19 FEB 1991  
QA/0198

NOTE \* THIS SPECIFICATION SHOULD FORM PART OF THE CONTRACT AGREEMENT.

Prepared by:

ARCHITECTURAL AND BUILDING SERVICES,  
20, Parnell Street,  
Ennis,  
Co. Clare. Telephone: (065) 29686.

This document is copyright and may NOT be reproduced without written consent from ARCHITECTURAL AND BUILDING SERVICES.

## PRELIMINARIES.

- 1.1 **SPECIFICATION.**  
The specification is to be used as a guide for the works. The construction shall include all works inferred as necessary, though they may not necessarily be described in the drawings or specifications.
- 1.2 **MATERIAL.**  
All materials shall conform to the relevant Irish or British Standard Specification.
- 1.3 **WORKMANSHIP.**  
All tradesmen operations shall be carried out by fully qualified tradesmen, each to his own trade.
- 1.4 **INSURANCE.**  
The contractor shall indemnify the employer against any claims which might arise in the course of construction.
- 1.5 **STRUCTURAL GUARANTEE.**  
The contractor shall furnish the employer with Certificate of Structural Guarantee as set out by the N.H.B.G.S.
- 1.6 **WATER.**  
The contractor shall be responsible for provision of a clean water supply.
- 1.7 **ATTENDANCE.**  
The contractor shall attend upon all trades.
- 1.8 **WRITTEN MEASUREMENTS.**  
Written measurements to be taken in preference to scale all dimensions to be checked on site.
- 1.9 **PAYMENT.**  
Payments will be made in instalments as set out in the Contract Agreement.
- 1.10 **COMPLETION.**  
The contractor shall commence the work within the specified time as set out in the Contract Agreement.
- 1.11 **PROTECTION.**  
Protect all works from inclement weather. Make good all damage caused by inclement weather or frost.

2. EXCAVATOR

2.1 TOP SOIL.

Excavate over entire area of building, driveway, paving, carpark etc. as necessary but in any case to a minimum depth of 150mm and to such further depth as may be required to remove all vegetable matter. All topsoil to be reused.

2.2 TEMPORARY RETAINING BOARDS.

Supply all temporary retaining boards for hardcore and other fillings.

2.3 FOUNDATIONS AND TRENCHES.

Excavate for foundations to walls, piers, columns etc. to such depths as may be required to attain sound natural hard bearing for foundation concrete. Level and consolidate bottoms of all foundations trenches and any necessary backfill shall consist of 1:10 cement/aggregate mix. Trenches for footings shall be continuous under opes and should be slightly undercut. Where steps occur the higher footing shall overlap the lower by a minimum of 600mm.

2.4 DRAINS.

Excavate for all drains to depths and widths as required along the lines indicated on the drawings as far as junction with main drains, include for excavation for septic tank and/or surface water soakaways as specified on drawings. Excavate for water supply pipe as directed.

2.5 PLANKING AND STRUTTING.

The contractor is to provide, erect and maintain as necessary planking, strutting, shoring etc. to ensure stability of excavations. Also all excavations to be kept free from water.

2.6 HARDCORE.

Hardcore filling to be composed of stone, brick or concrete and shall pass a 75mm ring. The filling to be laid to the minimum depths and levels shown on drawings. All filling to be well roll and consolidate and blinding to achieve a surface suitable to receive concrete.

3. CONCRETE.

3.1 CEMENT.

All cement shall conform to I.I.S(1970). The contractor is to ensure that only fresh cement is to be used in the works.

3.2 SAND.

Sand is to be clean, sharp river or pit sand, free from loam, clay or other harmful impurities.

3.4 CONCRETE. (By volume).

Mix A. Foundation. (1:3:6)

Being 1 part cement to 3 parts sand to 6 parts coarse aggregate. Agg. 6--19mm.

3.5 MIXING OF CONCRETE.

All concrete must be mixed in an approved manner and with a mechanical mixer.

3.6 WEATHER AND CONCRETE.

No concrete to be laid under 37deg F. Temperature.

3.7 PLACING CONCRETE.

All concrete shall be vibrated, tampered or otherwise worked into place.

3.8 CONCRETE STEPS.

External steps to be in concrete mix A. Nosing to be rounded and weathered.

3.9 LINTELS (Precast).

Lintels shall be precast, prestressed concrete class A, obtained from an approved manufacturer.

3.10 SILLS (Precast)

Sills shall be reinforced precast concrete class A, twice rebated, weathered, throated and are to have raised jambs. All sills are to be 125mm thick and are to be the full width of the cavity plus the outer leaf and project 75mm. Sills are to be hollow bedded with bed joints filled in and pointed prior to plastering.

4. WALLER.
- 4.1. CONCRETE BLOCKS.  
Concrete blocks shall be obtained from an approved manufacturer, proven and shall conform to the latest I.S.S. relating to same.
- 4.2. CONCRETE BRICKS AND CLAY BRICKS.  
As specified in paragraph 1.
- 4.3. SAND AND CEMENT.  
As specified in section 3.
- 4.4. LIME.  
Lime for mortar is to be hydrated lime of approved manufacture.
- 4.5. GAUGED MOTOR.  
Mix(1:2:7) being 1 part cement, 2 parts lime and 7 parts sand.
- 4.6. CEMENT MORTOR.  
Mix(1:3) being 1 part cement to 3 parts sand.
- 4.7. FLASHINGS.  
Rake out and enlarge joints for turn-in lead where required.
- 4.8. CAVITY WALLS.  
Cavity walls to consist of 100mm inner leaf, 75mm cavity (insulated) and 100mm outer leaf. Wall ties to be P.V.C type 900mm hor and 450 ver.
- 4.9. CLOSING CAVITIES.  
Cavities to be closed with jamb blocks and vertical D.F.C.
- 4.10. PARTITIONS.  
Partition walls to be bonded in to outer walls.
- 4.11. DAMP PROOF COURSES.  
Damp proof courses are to conform to B.S.S. 743 in all respects for walls, windows opes, sills, lintels, chimney stacks, abutments and expansion joints.

5. ROOF COVERING.

5.1 ROOF COVERING.

To be selected colour concrete tiles, slates, asbestos slates, asphalt layer or felt layer as specified on drawings. Covering to be laid in accordance with manufacturers instructions and recommendation.

5.2 ROOF FELT.

Shall be bitumin based, untearable roof felt laid over rafters, lapped 150mm hor. and 300mm ver, and carried into gutters and nailed.

5.3 BATTENS.

Shall consist of 50x50 S.W. battens spaced to suit roof coverings.

5.4 EAVES.

Shall be formed with standard tiles/slates with eaves filler units supplied by relevant manufacturers.

5.5 VERGE.

Dry verge to be fixed in accordance with manufacturers instructions.

5.6 RIDGE.

The ridge shall be covered with standard ridge tiles, edge bedded on the tiles/slates with solid bedding at but joint. Coloured mortar to be used.

5.7 VALLEY.

Valley to be formed with patent trough or lead lining on valley board.

5.8 ABUTMENT.

Tiles/slates to be cut closely to abutments and flashings, stepped intercourses are to be dressed down over nearest roll of the tile.

5.9 LEADWORK.

Flashings to be used at all junctions of chimney stack etc. and roofing. Soakers and cover flashing shall be 4lbs. lead. Aprons, gutter to leadwork to chimney shafts shall be 5lbs. lead.

5.10 BITUMENOUS D.P.C.

Bitumenous D.P.C. to chimney shaft shall laid be over the lead flashing and shall have holes cut out for flues and be turned up 12mm at same.

5.11 APRONS.

Aprons shall be carried up as necessary on face of shaft and dressed about corners and carried down 225mm on slates/tiles.

6. CARPENTER AND JOINER.

6.1 GENERAL WORKMANSHIP.

All work to be carried out by skilled tradesmen. All governing dimensions to be obtained before fabrication commences.

6.2 FASTENINGS.

Fastening to be steel nails into plastic plugs.

6.3 TIMBER.

All timber to be best quality, stress graded where necessary.

6.4 CARCASSING SOFTWOODS.

Softwood shall be Douglas, Euro, R.W., Euro W.W.

6.5 HARDWOODS.

Hardwoods shall be Iroko Teak, West African Mahogany, Abura or Dark Red Martini.

6.6 PRESERVATION.

All fixing battens, plugs and all other timber are to be treated with "Protim" in accordance with manufacturers instructions.

6(A) ROOF.

6(A)1. MAIN ROOF.

The main roof shall be constructed with standard prefabricated roof trusses of guaranteed design and manufacture, spaced @ 600mm ctrs fixed in accordance with manufacturers instructions.

6(A)2. FASCIAS AND BARGES.

Provide and fix ex 275x25mm quality R.D, wrought fascias and barge bd.

6(A)3. SOFFITE

Provide and fix 19mm marine-ply soffite.

6(A)4. TRAP DOOR.

Form trap door in ceiling in position as shown in drawings or as directed.

6(A)5. INSULATION.

Provide and fix 75mm fibre glass insulation quilt over ceiling joists over entire area of building.

6(B). GROUND FLOOR.

6(B)1. TIMBER GROUND FLOORS.

Form timber ground floors consisting of 19mm W.B.P. Douglas Fir Plywood sheeting laid on 50x25mm softwood crosoted battens fixed to concrete screed with bulldog clips. Lay 25mm thick aeroboard insulation between joists.

- 6(B)2. **SKIRTING.**  
Fix 100x25mm wrot and rounded R.D. skirting.
- 6(C). **DOORS.**
- 6(C)1. **INTERNAL DOORS.**  
To be parana pine/mahogany veneer flush doors, 50mm thick. Fixing to frames shall consist of 1.5 pairs of 100mm brass butt hinges.
- 6(C)2. **EXTERNAL DOORS.**  
All external doors to be in Iroko Teak constructed to profile as indicated on drawings. Fix with 1.5 pairs brass butt hinges.
- 6(C)3. **DOOR FRAMING.**  
Internal to be ex. 150x50mm R.D. rebated, wrought framing finished the full thickness of the partition.  
External to be ex. 150x75mm Iroko Teak.
- 6(C)4. **ARCHITRAVES.**  
Provide and fix 75x25mm R.D. wrought rounded architraves.
- 6(C)5. **LOCKS AND FURNITURE.**  
Provide and fit locks and furniture as selected by employer.
- 6(D) **WINDOWS.**
- 6(D)1. **WINDOWS.**  
All windows to be in Iroko Teak ex. 87x63mm framing with 63x50mm sash framing, profiles as shown on drawings.
- 6(D)2. **WINDOW BOARDS.**  
To be 32mm thick Iroko Teak rounded window boards projecting 25mm.
- 6(D)3. **IRONMONGERY.**  
Provide and fix all ironmongery as selected by employer.
- 6(E). **MISCELLANEOUS FITTINGS.**
- 6(E)1. **HOT PRESS.**  
Hot press to have 100x50mm W.D. rebated frames. Doors shall be carried across between upper and lower sections of press. Doors shall be formed with 19mm selected faced and edged blockboard and shall be hung with 1 pair of 75mm hinges to each door. Provide spar shelves as required.
- 6(E)2. **KITCHEN UNITS.**  
Provide fitted units as required by employer.
- 6(E)2. **BUILT-IN W.R AND VANITY UNITS.**  
Provide fitted built-in W.R units and vanity units as required by employer.

7. **PLASTERER.**
- 7.1 **CEMENT, SAND AND LIME.**  
As specified in sections 3 and 4.
- 7.2 **PLASTER SLABS.**  
To be Gypsum core 9mm thick or 12mm thick secured to joists, bearers or studs as specified by manufacturer.
- 7.3 **SCRIM.**  
Scrim to be first quality jute in 100mm widths.
- 7.4 **SCUDDING COAT.**  
Scudding coat of plaster to be cement/sand in proportions 1:3.
- 7.5 **RENDERING COAT.**  
Rendering coat of plaster to be cement/sand in proportions 1:3.
- 7.6 **FLOATING COAT.**  
Floating coat to be as for gauged lime mortar 1:1:6 cement/lime/aggregate. Part size 1mm
- 7.7 **INTERNAL PLASTERING.**  
All internal plastering surfaces to be scudded and plastered with rendering and floating coats and finished with hardwall plaster.
- 7.8 **CEILING AND STUD PARTITIONS.**  
All ceilings to be covered with 9mm plaster slabs fixed in accordance with manufacturers instructions and skimmed with Gyplite or Gyptex stipple.
- 7.9 **GLAZED WALL TILES:**  
Supply and fix wall tiles as selected by employer.
8. **GLAZIER.**
- 8.1 **GLAZING.**  
All glazing shall conform to B.S. 952(1964) and shall be the best of its kind.  
Clear sheet glass.  
(a) For areas up to .56 Sq. M. 3mm  
(b) For areas up to 1.12 Sq. M. 4mm  
(c) For areas up to 4.00 Sq. M. 6mm
- 8.2 **FIXING.**  
Glass shall be well bedded in Teak linseed putty and secured in place with patent Teak glazing slips.

9. ELECTRICAL INSTALLATION.

9.1 ELECTRICAL INSTALLATION.

The employer shall nominate the electrical contractor.

9.2 SCHEDULE.

Mains, wiring routes and all electrical outlets shall be ascertained by the employer. The employer shall select all types of fittings to be installed.

9.3 ELECTRICAL INSTALLATION GENERAL.

All electrical work shall comply with the latest edition of I.E.E. "Regulations for the Electrical Equipment of Buildings" and all standards as set out by the E.S.B.

10 PLUMBING INTERNAL.

10.1 GENERAL.

The work shall be carried out in a first class manner and shall comply with the local authority regulations and accepted standards of practice. Only the best materials shall be used and none but competent plumbers shall be employed.

10.2 TESTING.

All plumbing shall be tested before work is covered over.

11. HEATING INSTALLATION.

11.1 INSTALLATION.

The employer shall nominate the Heating Contractor.

11.2 GENERAL.

The scope of this work shall include supply and installation of boiler, radiators, piping, lagging, storage tank and other materials that will be required by the employer to complete the work in accordance with his requirements.

11.3 MAINTENANCE CONTRACT.

The Heating Contractor or if applicable the Contractor shall make available to the employer a suitable maintenance contract.

11.4 OIL TANK SUPPORTS.

The Contractor shall allow for the forming of oil tank supports of 225mm solid concrete walls to a height of 900mm.

12. DRAINAGE.

12.1 GENERAL.

(a) All drainage shall comply with Local Government Requirements and Standards. (b) Trenches for drains shall be excavated to necessary depths, widths and falls to ensure that the drains be properly laid. (c) Main and branch drains shall be 100mm diameter, laid to continuous falls of not less than 1:60 and not more than 1:30. (d) Pipes shall be P.V.C. with bends and junctions laid in direction of flow.

12.2 MANHOLES, A. J.'s, GULLY TRAPS ETC.

Shall be of P.V.C. and laid in accordance with manufacturers instructions.

12.3 SOAK PITS.

Soak pits shall be 10M from any building and shall be a minimum of 6Cu. M. in volume and filled with broken stones and covered with 225mm of top soil.

12.4 SEPTIC TANKS.

Septic tanks shall be constructed in accordance with the approved plan (To local Government Standards) and shall be sited as shown on drawings.

12.5 VENT SHAFTS.

Provide and fit 100mm diam. P.V.C. soil and vent pipe with required cowl or cage. Carry soil and vent pipe a minimum of 600mm above eaves level.

12.6 TESTING.

Test plumbing and drainage on completion to ensure watertightness and efficient working of system before work is made inaccessible.