

BYE LAW APPLICATION FEES

REF. NO.: 91A/177 CERTIFICATE NO.: 1698 ⁵

PROPOSAL: Ext.

LOCATION: Newlands Cross, Clondalkin

APPLICANT: Michael Tyrone

	1	2	3	4	5	6	7
CLASS	DWELLING/AREA LENG. I/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55					
B	Domestic Ext. (Improvement/ Alts.)	@ £30					
C	Building for office or other comm. purpose <u>73.0m²</u>	@ £3.50 per M ² or £70	<u>£255.50</u>	<u>£199.50</u>	<u>£56</u>	<u>£56.00</u>	<u>9/1</u> <u>N 54516</u>
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: [Signature] Grade: D/TE Date: 12/12/91

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: A. De Grade: III Date: 10/12/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

INCORRECT FEE WITH BYE LAW APPLICATION

TELEPHONE: 724755

EXTENSION: 231/234

FAX.: 724896

J. Fitzpatrick,

Architect,

25 Tonlegee Road,

Dublin 5.

PLANNING DEPARTMENT,
IRISH LIFE CENTRE,
LOWER ABBEY ST.,
DUBLIN 1.

12/12/91

REG. REF.: 91A/177

RE: Extension at Newlands Cross, Clondalkin. for Micheal Iynan.

Dear Sir/Madam,

I refer to your application for Bye Law approval in respect of the above proposal. I wish to inform you that the Planning Authority will not commence to consider the application until the appropriate fee is paid. If no fee or a fee less than the appropriate fee has been received by the County Council on the expiration of two months, commencing on the day the application is received, the application will be regarded as having been withdrawn.

The correct fee for the above mentioned application is £ 255.50.

Please quote the Register Reference No. stated above when submitting the fee.

AMOUNT LODGED = £199.50

AMOUNT DUE = £ 56.00

Yours faithfully,



for PRINCIPAL OFFICER

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1962

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF: _____

CONT. REG: _____

SERVICES INVOLVED: WATER/FOOD/SEWER/SURFACE WATER _____

AREA OF SITE: _____

FLOOR AREA OF PRESENT PROPOSAL: _____

MEASURED BY: _____

CHECKED BY: _____

METHOD OF ASSESSMENT: _____

TOTAL ASSESSMENT: _____

MANAGER'S ORDER NO: _____
DATED: _____

ENTERED IN CONTRIBUTIONS REGISTER: _____

DEVELOPMENT CONTROL ASSISTANT GRAB

COMHAIRLE CHONTAE AITHA CLIATH

DUBLIN COUNTY COUNCIL

INCORRECT FEE WITH BYE LAW APPLICATION

TELEPHONE: 724755

EXTENSION: 231/234

FAX.: 724896

PLANNING DEPARTMENT,

IRISH LIFE CENTRE,

LOWER ABBEY STREET,

DUBLIN 1.

J. Fitzpatrick Architect,

25 Tonleage Road,

Dublin 5.

5/9/91

REG. REF.: 91A/177

RE: Extension at Newlands Cross, Clondalkin, for Michael Tynan Motors.

Dear Sir/Madam,

I refer to your application for Bye Law approval in respect of the above proposal. I wish to inform you that the Planning Authority will not commence to consider the application until the appropriate fee is paid. If no fee or a fee less than the appropriate fee has been received by the County Council on the expiration of two months, commencing on the day the application is received, the application will be regarded as having been withdrawn.

The correct fee for the above mentioned application is £ 1,137.50.

Please quote the Register Reference No. stated above when submitting the fee.

AMOUNT LODGED = £ 871.50

AMOUNT DUE = £ 266.00

Yours faithfully,


for PRINCIPAL OFFICER



Bloc 2, Ionad Bheatha na hÉireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0177

Date : 22nd February 1991

Dear Sir/Madam,

Development : Replacement & extension of car storage, service &
spare parts

LOCATION : Michael Tynan Motors, Newlands Cross, Clondalkin,

Applicant : Michael Tynan Motors,

App. Type : PERMISSION

Date Recd : 15th February 1991

Your application in relation to the above was submitted with a fee of
£435.75 .

On examination of the plans submitted it would appear that the
appropriate amount should be £568.75 .

I should be obliged if you would submit the balance of £133.00
as soon as possible as a decision cannot be made on this application
until the correct fee is received.

Yours faithfully,


.....
PRINCIPAL OFFICER

J. Fitzpatrick, A.I. Architects,
25 Tonlegee Road,
Dublin 5.

9/19/01

CERTIFICATE NO: 24275

PROPOSAL: Extension of Car Storage George & Steve Laeta

LOCATION: Newlands Cross Clondalkin

APPLICANT: Michael Ryan

1	2	3	4	5	6	7
DWELLINGS/AREA LENGTH/STRUCT	RATE	AMT. OF FEE REQ.	AMOUNT LOGGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO
Dwellings	€232					
	€216					
	€500 per M ² in excess of 300M ² Min. €450					
341.0 ^{m²} metres ² 325.0 ^{m²} x .1 hect.	€21.75 per M ² of 240		568.75	435.75		
x .1 hect.	€25 per hect. of 240					
x .1 hect.	€25 per hect. of 240					
x .1 hect.	€25 per hect. of 240					
x metres ²	€210 per M ² of 240					
x 1,000m ²	€225 per 1,000m ² of 240					
x .1 hect.	€25 per hect. of 240					

133 21/3/91
N 34286

Column 1 Certified: Signed: *[Signature]* Date: 21/2/91
 Column 1 Endorsed: Signed: _____ Date: _____
 Columns 2,3,4,5,6 & 7 Certified Signed: *[Signature]* Grade: S.O Date: 20/2/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Date: _____

DUBLIN COUNTY COUNCIL

PLANNING DEPARTMENT

Register Reference : 91A/0177

Date Received : 15th February 1991

Applicant : Michael Tynan Motors,

Appl.Type : PERMISSION

Development : Replacement & extension of car storage, service & spare parts

LOCATION : Michael Tynan Motors, Newlands Cross, Clondalkin,

O.S.REFS.

21/4			
------	--	--	--

AREA REFERENCE

LC	2	1	1	2
----	---	---	---	---

HISTORY

89A/260	87A/1519			

FEE CERTIFICATE NO. _____

FEE CLASS

--	--	--	--

MEASUREMENT FOR FEES

--	--	--	--

SIGNED DATE
SENIOR EXECUTIVE DRAUGHTSMAN

FEE PAID	FEE ASSESSED	BALANCE DUE

CERTIFIED _____ GRADE _____ DATE _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1962

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: 91A-177

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

Area = 160 m² / 1722 sqft.

MEASURED BY:

CHECKED BY:

MB

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

~~1600~~

MANAGER'S ORDERED NO: P/ /
DATED

add
floor area

1722 @ 710

ENTERED IN CONTRIBUTIONS REGISTER:

= 1292

J 11/2/91

DEVELOPMENT CONTROL ASSISTANT GRADE

Register Reference : 91A/0177

Date : 21st February 1991

Development : Replacement & extension of car storage, service & spare parts

PB

LOCATION : Michael Tynan Motors, Newlands Cross, Clondalkin,

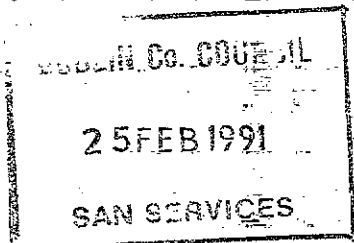
Applicant : Michael Tynan Motors,

App. Type : PERMISSION

Planning Officer : P.BYRNE

Date Recd. : 15th February 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.



Yours faithfully,

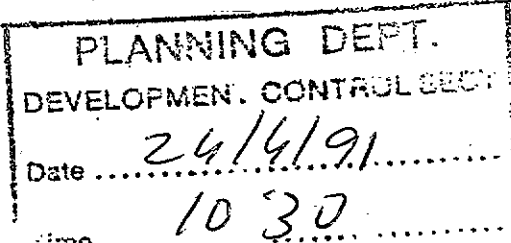
Paul Yobin

PRINCIPAL OFFICER

Date received in Sanitary Services

FOUL SEWER

Available: Any car washing facility must be drained to the foul sewer.



SURFACE WATER

Insufficient information;

1 The applicants must indicate that the surface water run off from the existing service area is to be directed through a petrol/oil interceptor.

2 The applicants must demonstrate that

SENIOR ENGINEER, SANITARY SERVICES DEPARTMENT, 46/49 UPPER O'CONNELL STREET, DUBLIN 1

the runoff surface water run off to the existing drain has not substantially increased and must indicate the diameter and gradient of the drain.

Handwritten signature and date 9.4.91

Not for BSL

Register Reference : 91A/0177

Date : 21st February 1991

.....
ENDORSED _____

DATE _____

WATER SUPPLY.....

Exhibits Suppl. - no objection.....

*Note:- a fire hydrant will have to be fitted on
the existing 6" water main fronting the premises, by the
LW water Dept at the applicant's expense
This Fire hydrant is not reqd*

[Signature]
5/3/91

.....
ENDORSED _____

DATE _____

[Signature]

8/3/91

[Signature]

12/4/91

mary galvin.

PLANNING DEPARTMENT

BOOK FOLIO

(1) Date Lodged

LOCATION: ~~Howlands Cross, Clonsilla~~

REG. REF.

912/07

2 Sept 1991

APPLICANT: ~~Michael Ryan Motors~~

PROPOSAL: ~~Extension of car storage, service and spare parts~~

Date referred

Chief Medical Officer, Eastern Health Board

COUNTY COUNCIL

Insufficient information

- details of sanitary accommodations, including hand washing facilities not shown
- details of catering facilities including drinking water not shown.

If the car repair service is to include spray painting, an oil extraction booth must be provided.

Jackie Kelly
ENO 23/9/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 2.10.91
Time 10.00

(9) Decision due:

(3) Rec'd San. Services

(4) Dispatched by San. Ser. to C.M.O.:

(5) Rec'd Planning:

(6) Date to Planner:

(7) D.P.O. Report to be submitted before:

(8) DPO Report submitted to S.A.O.:

ENDORSED: Aa Devine

DATE: 24-9-91

for John O Reilly SMO

DUBLIN COUNTY COUNCIL

REG. REF: 91/A/177

LOCATION: Michael Tynan Motors, Newlands Cross, Clonsilla.

APPLICANT: Michael Tynan Motors.

PROPOSAL: Replacement
Replacement and extension of car storage, service and spare parts.

DATE LODGED: 15.2.91. PB

As the applicant indicates no further intensification of use is intended, Roads Department have no objection in principle. However, attention is drawn to the previous Roads Report of 6/4/89 (copy attached) in respect of Application Reg. Ref. 89/A/240.

It is recommended that Conditions 6 and 7 of Decision No. P/1270/89 of 13/4/89 (89/A/240) be repeated in respect of this application.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
 25/3/91
 10:00

TE/MM 22/3/91

SIGNED: _____

[Handwritten Signature]

ENDORSED: _____

DATE: _____

25/3/91

DATE: _____

pB

Register Reference : 91A/0177

Date : 21st February 1991

Development : Replacement & extension of car storage, service & spare parts

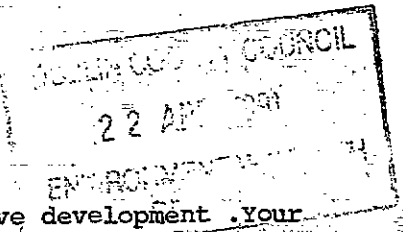
LOCATION : Michael Tynan Motors, Newlands Cross, Clondalkin,

Applicant : Michael Tynan Motors,

App. Type : PERMISSION

Planning Officer : P. BYRNE

Date Recd. : 15th February 1991



Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Yours faithfully,

Paul Yoh

PRINCIPAL OFFICER

Insufficient information to deal with this application -

Details of proposed layout including sanitary accommodation, hand-washing facilities, canteen facilities ventilation details, drainage layout etc required.

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	26-4-91
Time	2.45

Heeran J Carberry BHO
23/4/91

97a Devine for
John O'Reilly
SUPER. ENVIRON. HEALTH OFFICER,
33 GARDINER PLACE,
DUBLIN 1.
24/4/91

P/1526/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/0177

Date Received : 15th February 1991

Correspondence : J. Fitzpatrick, A.I. Architects,
Name and : 25 Tonleage Road,
Address : Dublin 5.

Development : Replacement & extension of car storage, service & spare parts

Location : Michael Tynan Motors, Newlands Cross, Clondalkin

Applicant : Michael Tynan Motors,

App. Type : Permission

Zoning :

<u>CONTRIBUTION</u>	
Standard:	1292
Roads:	
S. Sers:	
Open Space:	
Other:	
<u>SECURITY:</u>	
Bond / C.I.F.:	
Cash:	

(MG/AC)

Report of Dublin Planning Officer 9 April, 1991.

This is an application for PERMISSION for replacement and extension of car storage service and spare parts business at Michael Tynan Motors, Newlands Cross, Clondalkin for Michael Tynan.

The proposed site is located on a slip road which runs parallel to the Naas Dual Carriageway at its junction with Newlands Road. It is an irregular, almost triangular shaped site which has an area of 1029 sq.m. (stated). It is located in an area zoned 'A' the objective of which is "to protect and/or improve residential amenity". Adjoining land uses include a building contractors yard in the north and a number of derelict buildings to the west. Planning permission was granted in 1990 for office development at the site to the west (under Reg. Ref. No. 90A/1503). Newlands Estate, an established housing area, is located to the north and east.

Reg. Ref. No. 89A/240 refers to a 1989 grant of permission for a single-storey office ~~site~~ extension and alterations to the front of Michael Tynan Motors.

The subject site was inspected on 3 April, 1991.

There is a petrol filling station to the front of the site. Nearby buildings are used as offices/showrooms. There is an existing lean-to workshop along the western boundary of the site. The yard to the rear is used for maintenance, storage of cars etc. It is surrounded along the north-east by a c. 3.5 metre high brick wall. The forecourt area adjacent to the slip road is used for the storage and display of cars. Some are located on the grass verge. The planning officer's report on the previous application (Reg. Ref. 89A/240), noted that the garage/petrol station has been operating at this location for a

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

number of years and could be regarded as a non-conforming use within a residential area.

The current proposal provides for the removal of the existing workshop/shed (stated floor area 190 sq.m.) and the construction of a new 249 sq.m. (stated) building to the rear of the existing offices.

The applicants note that they require the new building for security reasons i.e. to avoid vandalism to cars stores on site. A letter submitted with the application stated that they will not be increasing the number of cars stored. This letter states that the existing premises has been operating as a garage since 1948.

Measurements for the existing and proposed buildings have been checked to establish the level of site coverage proposed at the site. The existing building (office, showrooms etc.) has a floor area of 123 sq.m. approx. The proposed store to the rear will cover 336.9 sq.m. approx. (the above mentioned 249 sq.m. relates presumably to internal floor area). The site area behind the existing building line is 575.14 sq.m.

The proposed development will cover the rear portion of the site almost entirely (the proposed development involves building to the party wall along the north-eastern boundary and close to the outer boundary wall), and would if permitted result in a site coverage level in excess of the 45% maximum site coverage normally permitted in areas zoned 'A'. It is noted that the existing site coverage is of the order of 54%. There is a planning gain in that the area of the existing shed to the front is to be removed and the proposed development is visually far superior to the existing elevation. In the particular location there is no planning loss or gain whether or not the yard at the rear is enclosed provided the development does not result in an intensification of use which would result in more cars etc. overflowing onto the adjoining road. It is noted that the applicant uses existing lay-by for display purposes.

Roads Department report notes that as no intensification of use is proposed they have no objection in principle. Roads report refers to comments made in previous report on Reg. Ref. 89A/240 and recommends conditions imposed on that grant of permission be repeated in the event of permission issuing.

Sanitary Services Department report not received.

Supervising Environmental Health Officer's report not received.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following () conditions:-

(SEE CONDITIONS OVER)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.	2. In order to comply with the Sanitary Services Acts, 1878-1964.
3. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.	3. In the interest of safety and the avoidance of fire hazard.
4. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.	4. In the interest of health.
5. That the water supply and drainage arrangement be in accordance with the requirements of the Sanitary Services Department.	5. In order to comply with the Sanitary Services Acts, 1878-1964.
6. That a financial contribution in the sum of £1292 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.	6. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
7. That the parking of any cars, vans or trucks shall be contained solely within the site area of the existing garage. No parking or erection of temporary moveable objects shall take place at any time on adjoining roads or roadside grass margins.	7. In the interest of the proper planning and development of the area.
8. That no advertising sign or structure be erected, except those which are exempted development, without prior approval of the Planning Authority.	8. In the interest of the proper planning and development of the area.

(Over)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

CONDITIONS

REASONS FOR CONDITIONS

9. That the proposed cast iron gates and railings to the front be omitted from the development and the area between these gates and the new structure be available as part of the forecourt.

9. In the interest of the proper planning and development of the area.

10. The use of the adjoining Council property for displaying and storage of cars to cease immediately.

10. In the interest of the proper planning and development of the area.

11. That a minimum of 50% of the proposed structure be used for storage or display purposes only. No maintenance or repairs or other services to take place in this area. This area to be identified and agreed with the Planning Authority prior to occupation of the new building.

11. In the interest of the proper planning and development of the area.

NOTE: Works necessary to meet the requirements of the foregoing conditions may involve development as defined in the Planning Acts 1963-1983 and in respect of which a further planning application may be required.

(MG/AC)

Endorsed: - [Signature] for Principal Officer

[Signature] For Dublin Planning Officer

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to GRANT PERMISSION for the above proposal subject to the (//) conditions set out above is hereby made.

Dated: // April, 1991.

[Signature] ASSISTANT CITY & COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 8 April, 1991.

DUBLIN COUNTY COUNCIL

REG. REF: 91/A/177
LOCATION: Michael Tynan Motors, Newlands Cross, Clondalkin.
APPLICANT: Michael Tynan Motors.
PROPOSAL: Replacement and extension of car storage, service and spare parts.
DATE LODGED: 15.2.91. *PB*

As the applicant indicates no further intensification of use is intended, Roads Department have no objection in principle. However, attention is drawn to the previous Roads Report of 6/4/89 (copy attached) in respect of Application Reg. Ref. 89/A/240.

It is recommended that Conditions 6 and 7 of Decision No. P/1270/89 of 13/4/89 (89/A/240) be repeated in respect of this application.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date .. 26/3/91 ..
Time .. 10:30 ..

TB/MM 22/3/91.

SIGNED: *4.9.91*

ENDORSED: _____

DATE: 25/3/91

DATE: _____

DUBLIN COUNTY COUNCIL

REG. REF: 89A/240.

LOCATION: Michael Tynan Motors, Newlands Cross, Clondalkin.

APPLICANT: Michael Tynan.

PROPOSAL: Extension and Alterations to front.

DATE LODGED: 16.2.89.

There is no letter of explanation with this application but it would appear that the existing offices are to be turned into a reception area and new offices built to the side of the existing building.

Roads have been concerned for some time by the expansion of this firm. It is located at a very critical location on a service road close to the very heavily traffic Newlands Cross junction on the Naas Road N7. The owner has been parking cars for sale on the road verge separating the service road and the Naas Road. This is causing a traffic hazard. He also has his entire frontage lined with cars for sale which further increases this hazard. Up to a few years ago when this developer bought this site, it was a small filling station. No car sales were taking place to the knowledge of Roads Section. Roads object to the nature of the business taking place on the site now and to its intensity. Developer should be asked to produce proof that a car sales outlet existed on this site prior to his purchasing it. If it did, Roads would wish to know the volume of business.

JP/BMcC
6.4.89.

SIGNED: 

DATE: 6/4/89

ENDORSED: 

DATE: 6/4/89

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

PAID BY
CASH
CHEQUE
M.O.
B.L.
I.T.

BYE LAW *Balane*
REC. NO. N 54516

£ 56.00

Received this *9th* day of *Jan* 19*92*

from *Thorn Motors*

the sum of *hilly six* Pounds
Pence, being *Balance of ac*

on *9/1/77*

Michael O'Leary

[Signature]
Cashier

Balane
S. CAREY
Principal Officer *Class*

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.

Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Telephone: 773066

Telephone: 724755
Extension: 231/234

9th January, 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: Michael Tynan Motors, Newlands Cross,
Glondalkin

PROPOSED DEVELOPMENT: Extension to already approved extension

APPLICANT: Michael Tynan

PLANNING REG. REF.: 91A/0177

DATE OF RECEIPT
OF SUBMISSION: 29th November, 1991

A Chara,

With reference to above, I acknowledge receipt of application for:

Building Bye-Law Approval

Mise, le neas

A. Smith

PRINCIPAL OFFICER

Joe Fitzpatrick, Architect,

25 Tonlees Road,

Dublin 5



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building MICHAEL TYNAN MOTORS.
(If none, give description
sufficient to identify) NEWLANDS CROSS CLONDRACKIN, Co. Dublin.

3. Name of applicant (Principal not Agent) MICHAEL TYNAN.
Address M. TYNAN MOTORS, NEWLANDS CROSS CLONDRACKIN, Co. Dublin.

4. Name and address of J.E. FITZPATRICK, ARCH.
person or firm responsible 25, TONGEE RD. DUBLIN 5. Tel. No. 480482
for preparation of drawings

5. Name and address to which J. FITZPATRICK.
notifications should be sent 25 TONGEE RD. DUBLIN 5.

6. Brief description of EXTENSION TO ALREADY APPROVED EXTENSION
proposed development REF 91A/177

7. Method of drainage STD. CASTING 8. Source of Water Supply WATERBORN

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor CAR SALES, AND STORAGE OF SAME
or use when last used.
(b) Proposed use of each floor

10. Does the proposal involve demolition, partial demolition
or change of use of any habitable house or part thereof? NO.

11. (a) Area of Site 1029 Sq. m.
(b) Floor area of proposed development BYE LAW APPLICATION 57 Sq. m.
(c) Floor area of buildings proposed to be retained within site REC. NO. N51842 546.8 Sq. m.

12. State applicant's legal interest or estate in site
(i.e. freehold, leasehold, etc.) FREEHOLD. £199.50

13. Are you now applying also for an approval under the Building Bye Laws?
Yes No Place in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
..... IN ALL RELEVANT RESPECTS.

15. List of documents enclosed with TWO COPIES OF PLANS SHOWING ADDITION
application. TO APPROVED EXTENSION, ENGINEER'S CALCULATIONS
..... SITE + BLOCK PLANS.

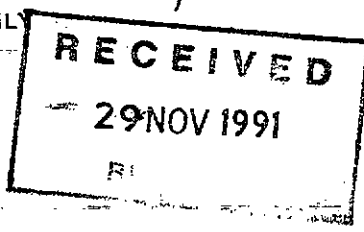
16. Gross floor space of proposed development (See back) 57 Sq. m.

No of dwellings proposed (if any) Class(es) of Development C.
Fee Payable £ 199.50 Basis of Calculation CLASS C.
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) J.E. FitzPatrick. Date 29/11/91

Application Type BBL
Register Reference 91A/177
Amount Received £
Receipt No
Date

FOR OFFICE USE ONLY



2-8-2

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
 2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
 3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.
- NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
 5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
 6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

PAID BY

CASH

CHEQUE

M.O.

B.L.

I.T.

BYE LAW APPLICATION

N 51842

REC. No.

£ 199.50

29th

day of

November

19 91

Received this

from *Thorn Motors*

the sum of *one hundred and ninety nine* Pounds

fifty Pence, being *fee for*
eye-law application at Rowlands Cross

Stephen Deane

Cashier

S. CAREY *Class C*
Principal Officer

RECEIPT CODE

COMHAIRLE CHONTAE ATHA CLIATH

PAID BY DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

BYE LAW APPLICATION

N 51842

CASH
CHECKUE

Received this £ 199.50
29th day of November 19 91

from Thom Motors

the sum of one hundred and ninety nine Pounds
Pence, being 00/00

for the bye-law application at Newlands Cross

Michael Deane

Cashier

S. CAREY
Principal Officer

Dublin Co. Council.
Building bye-laws.
Irish Life.
Block 2. Abbey St.

Michael Tynan Motors.
Newlands Cross.
Clondalkin. Co. Dublin.

Your ref:- 91A/177.
additional information.

Dear Sir.

In reply to your letter of 13-11-91, I enclose two copies of Engineer's calculations, plans and site plans, with the relevant points shown as requested.

I am also applying for building bye-law approval for an addition to the garage extension already approved.

I have applied for planning permission for the addition to same. (your ref. 91A/171L)

The proposed additional floor area has been found to be 57sq.m. and the plans submitted for bye-law shows the additional floor area coloured yellow. on 1/8th scale. I enclose cheque for bye-law fee of £199-50 together with form.

Yours faithfully.

Joe Fitzpatrick.
25, Tontegee Rd. Dublin 5.



SITE PLAN
C.S. 21-4
SCALE 1/2500

COURT
Dept. Re.
APPLICATION

29 NOV 1991

REG 91A/177
APPLICATION

Church

Presentation
Convent

School

School

School

Clermont

St. Cecilia's

Newlands Farm

Kevin's Villa

NEW ROAD

599

429

742

879

465

B.M. 240.6

028

251

24

252

251

252

251

252

251

252

251

252

251

252

251

252

251

252

251

252

251

252

251

252

251

252

251

252

251

252

251

252

251

252

251

160

038

012

6 FF

039

2-242

2-771

2-568

186

439

1-014

270

B.L. 270.9

269

267

28-991

3-71

INSTITUTE OF STRUCTURAL ENGINEERS
REGISTRY SECTION
NOTIFICATION RECEIVED

29 NOV 1991

91A/37
VOL 0/P/A/BBL

NEW CAR STORAGE & REPAIR WORKSHOP
AT MICHAEL TYNAN MOTORS, NAAS ROAD,

PORTAL FRAME DESIGN.

EAMONN J. DOYLE
DIP. ENG. BSc(ENG), M.I.E.I.
STRUCTURAL ENGINEER.
19 FOXFIELD ROAD
RAHENY, DUBLIN 5.
PH 311838, 319035.
NOVEMBER 1991.

Contract: Michael Tyrone Mills
Naas Rd, Dublin

Job No:

Sheet No:

0.0

Part of Structure:

By:

Date:

Member
Ref:

CALCULATIONS

OUTPUT

Being Description:

The proposed building consists of metal deck roofing with pressed steel purlins supported on steel portal frames at approximately 4.5m centres. Because of the uneven dimensions of the site the structure basically consists of a single bay portal frame with side 'annexes' taking up the skew lines of the existing boundary.

The design has been carried out on a single span portal with dead & imposed, and dead & wind load cases in accordance with BS 5950.

Considering the results of the design analysis, I feel that the section size could be reduced to 254 x 146 x 31 U.B.

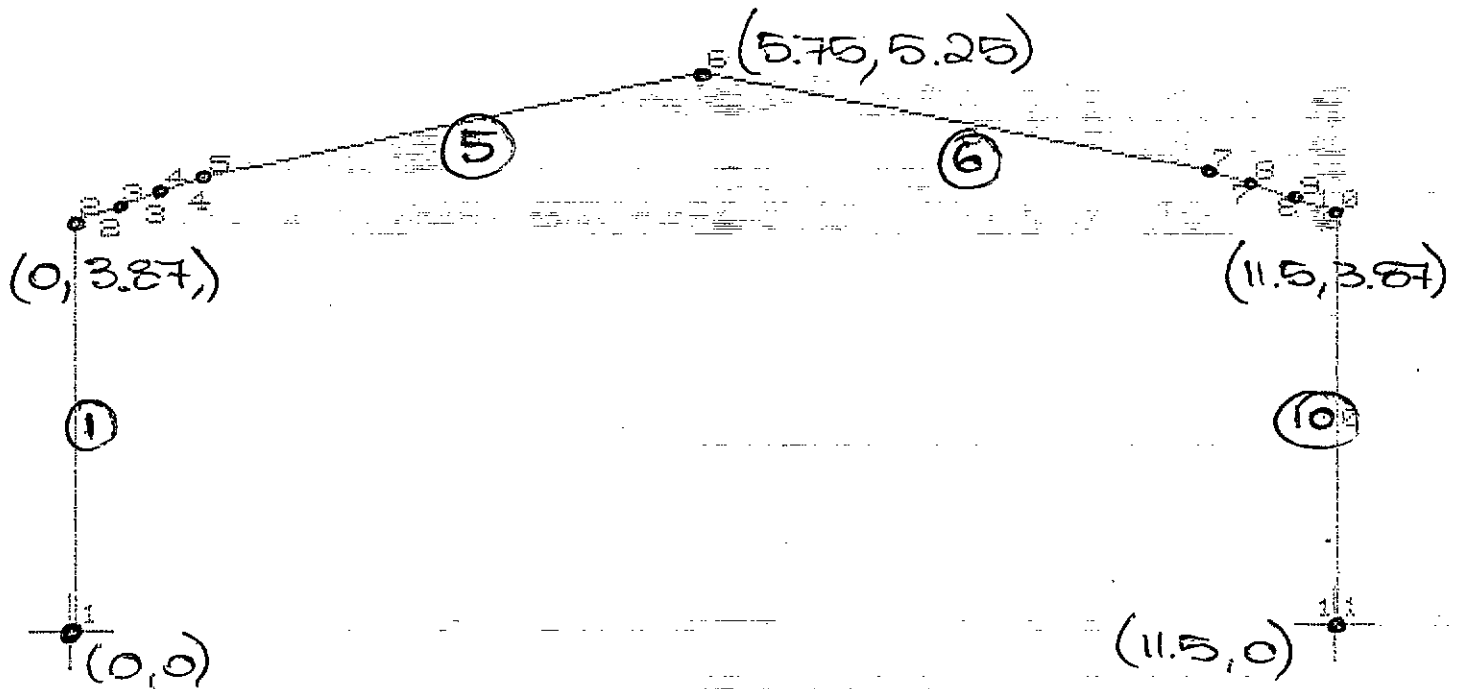
TYNAN MOTORS NAAS ROAD
PORTAL FRAME DESIGN

PAGE 1
JOB NO. 91/001
RUN NO. 001
AUTHOR ED
DATE 8/11/91

EN102: PLANE FRAME ANALYSIS V3.3
Units: S.I. METRIC (Steel)

(c) ENCAD SYSTEMS LTD. 1987
Data File: tynan1

FRAME GEOMETRY



Joint Co-ordinates

JOINT	X (m)	Z (m)
1	0.000	0.000
2	0.000	3.872
3	0.400	4.002
4	0.800	4.131
5	1.200	4.250
6	1.600	4.250
7	2.000	4.131
8	2.400	4.002
9	11.500	3.872
10	11.500	0.000

TYNAN MOTORS NAAS ROAD
PORTAL FRAME DESIGN

PAGE 2
JCS NO. 001
RUN NO. ED
AUTHOR ED
DATE 8/11/79

EN5950: STEELWORK DESIGN PROGRAM V1.3
Units: S.I. METRIC (Steel)

(c) ENCAD SYSTEMS LTD. 1989
Data File : tynan1

Design Limitation
 INCLUDE MEMBERS 1-10
 DESIGN LOADCASES C1, C2
 STEEL GRADE 43
 LOCAL CAPACITY CALCULATION METHOD (S/H) 3
 OVERALL BUCKLING CALCULATION METHOD (S/H) Simplified Approach
 STRETCHED SECTION CLASSIFICATION (I/A) Simplified Approach
 1
 In-active (!)

DESIGN LOADCASES

Basic Case Identifiers

ENTRY	CASE NO.	TITLE
1	B1	DEAD
2	B2	LIVE
3	B3	WIND

Design Loadcases

ENTRY	CASE NO.	ULTIMATE LIMIT STATE COMBINATION	TITLE
1	C1	1.4*B1+1.6*B2	
2	C2	1.0*B1+1.4*B3	

Steel Strengths

ENTRY NO.	GRAD REF.	T<= (mm)	Py (N/mm2)	T<= (mm)	Py (N/mm2)	T<= (mm)	Py (N/mm2)	T<= (mm)	Py (N/mm2)
1	43	16	275	40	245	63	235	100	245

Member Constraints

In the following table an Le value with an 'L' indicates that an additional check for $.7(L/F) + 30$ is needed as required by Cl.4.7.10. Blank m and n fields indicate a request for automatic calculation of m and n.

MBR. NO.	SECTION GROUP NO	Lex FOR pcx (m)	Ley FOR pcy (m)	Lev FOR pcv (m)	Leb FOR Mb (m)	Ae TENSILE AREA (cm2)	EFFECTIVE SLENDERNESS LIMIT	m	n
1	1	.65L	1.0L	0.0L	1.0L	1.0Ag	180		
2	4	.65L	1.0L	0.0L	1.0L	1.0Ag	180	1.00	1.00
3	3	.65L	1.0L	0.0L	1.0L	1.0Ag	180	1.00	1.00
4	2	.65L	1.0L	0.0L	1.0L	1.0Ag	180	1.00	1.00
5	1	.65L	1.0L	0.0L	1.0L	1.0Ag	180		
6	1	.65L	1.0L	0.0L	1.0L	1.0Ag	180		
7	2	.65L	1.0L	0.0L	1.0L	1.0Ag	180	1.00	1.00
8	3	.65L	1.0L	0.0L	1.0L	1.0Ag	180	1.00	1.00
9	4	.65L	1.0L	0.0L	1.0L	1.0Ag	180	1.00	1.00
10	1	.65L	1.0L	0.0L	1.0L	1.0Ag	180		

Section Properties SECTION PROPERTIES
N.B. If a Shear Area value field is null (empty),
shear distortions are ignored in the analysis.

SECTION NO.	REFERENCE	AREA AX (cm ²)	IY (cm ⁴)	ZMAX (mm)	Az SHEAR AREA (cm ²)
DESCRIPTION					
1	UB/61 254*146*37 UB	4.750E+01	5.560E+03	1.280E+02	1.495E+01
2	M117*61	5.029E+01	7.900E+03	1.498E+02	
3	M150*61	5.7569E+01	1.383E+04	1.920E+02	
4	M183*61	6.110E+01	2.174E+04	2.342E+02	

Member Details MEMBER DETAILS

MEMBER NO.	Y AXIS FLEXURE TYPE NO.	SECTION GROUP	MATERIAL GROUP
1	1	1	1
2	1	1	1
3	1	1	1
4	1	1	1

Support Stiffnesses SUPPORT DETAILS

N.B. If the specified support settlements and stiffnesses conflict, then the settlements override the stiffnesses.

JOINT	KLX (kN/mm)	KLZ (kN/mm)	KRY (kNm/rad)
1 R	R	0	0
11 R	R	0	0

SUMMARY OF DESIGN RESULTS.

TYNAN MOTORS NAAS ROAD
PORTAL FRAME DESIGN

PAGE 4
JOB NO. 91/001
RUN NO. 001
AUTHOR ED
DATE 8/11/91

EN5950: STEELWORK DESIGN PROGRAM V1.3 (c) ENCAD SYSTEMS LTD. 198
Units: S.I. METRIC (Steel) Date File : tynan1

Performance Summary

The table below shows the critical (load/capacity) ratios for each member and design loadcase calculated from a consideration of local capacity overall buckling and slenderness (if in compression). A ratio ≤ 1.00 shows sufficient capacity. An * marks the critical loadcase. An ! indicates a stretched section classified on the unstretched dimensions. A 63e? note indicates that a shear buckling check may be required as (d/t) exceeds 63e.

ENTRY NO.	MBR NO.	GRP NO.	SELECTED SECTION (GRADE 43 STEEL)	TEST (Le/r) RSLT /LIMIT	LOADCASE CAPACITY RATIOS	
					C1	C2
1	1	1	UB/61 254*146*37 UB	PASS .62	.66	.87
2	2	4	M183*61/61 (!)254*146*37 UB	PASS .08 63e?	.25	.27
3	3	3	M150*61/61 (!)254*146*37 UB	PASS .07	.25	.27
4	4	2	M117*61/61 (!)254*146*37 UB	PASS .07	.25	.27
5	5	1	UB/61 254*146*37 UB	PASS .75	.75	.41
6	6	1	UB/61 254*146*37 UB	PASS .75	.75	.35
7	7	2	M117*61/61 (!)254*146*37 UB	PASS .07	.25	.07
8	8	3	M150*61/61 (!)254*146*37 UB	PASS .07	.25	.08
9	9	4	M183*61/61 (!)254*146*37 UB	PASS .08 63e?	.25	.08
10	10	1	UB/61 254*146*37 UB	PASS .62	.66	.21

* ALL SECTIONS OF FRAME PASS WITH EXCESS CAPACITY.

Contract: Tynan Motors
Naas Road

Job No:
9/010

Sheet No:
4(i)

Part of Structure:

By:
E. Doyle

Date:
Nov '91

Member
Ref:

CALCULATIONS

OUTPUT

Calculation of applied loads
and design of steel portal
frame.

Dead Loading	KN/m^2
Metal decking/purlins	0.25
S.W. frame	0.10
services	0.15

Total dead = 0.50 KN/m^2

Frames @ 4.5 m c/c

⇒ Design dead loading = 0.25 KN/m

Imposed loading KN/m^2
= 0.75

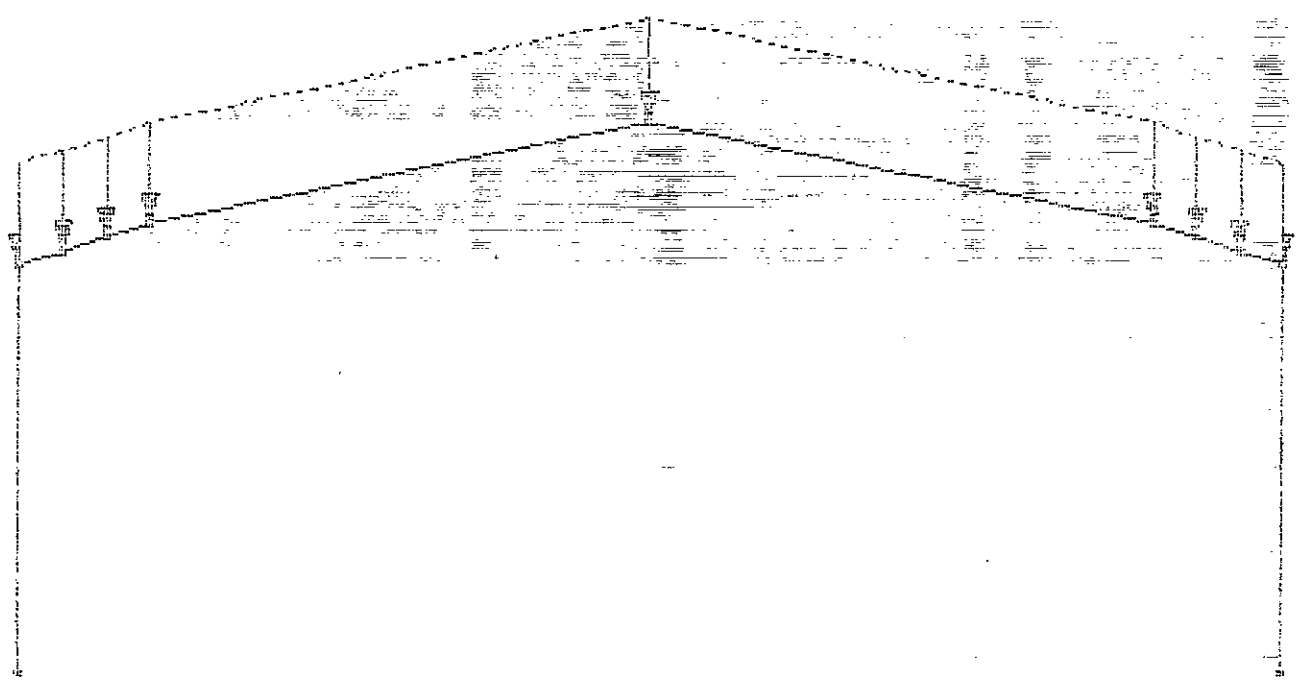
⇒ Design imposed loading
= $0.75 \times 4.5 = 3.40 \text{ KN/m}$

PAGE 5
JOB NO. 91/001
RUN NO. 001
AUTHOR ED
DATE 8/11/91

TYNAN MOTORS, NAAS ROAD
PORTAL FRAME DESIGN

EN102: PLANE FRAME ANALYSIS V3.3 (c) ENCAD SYSTEMS LTD. 1987
Units: S.I. METRIC (Steel) Data File : tynan1

LOADCASE C:1
DEAD & IMPOSED LOADING.

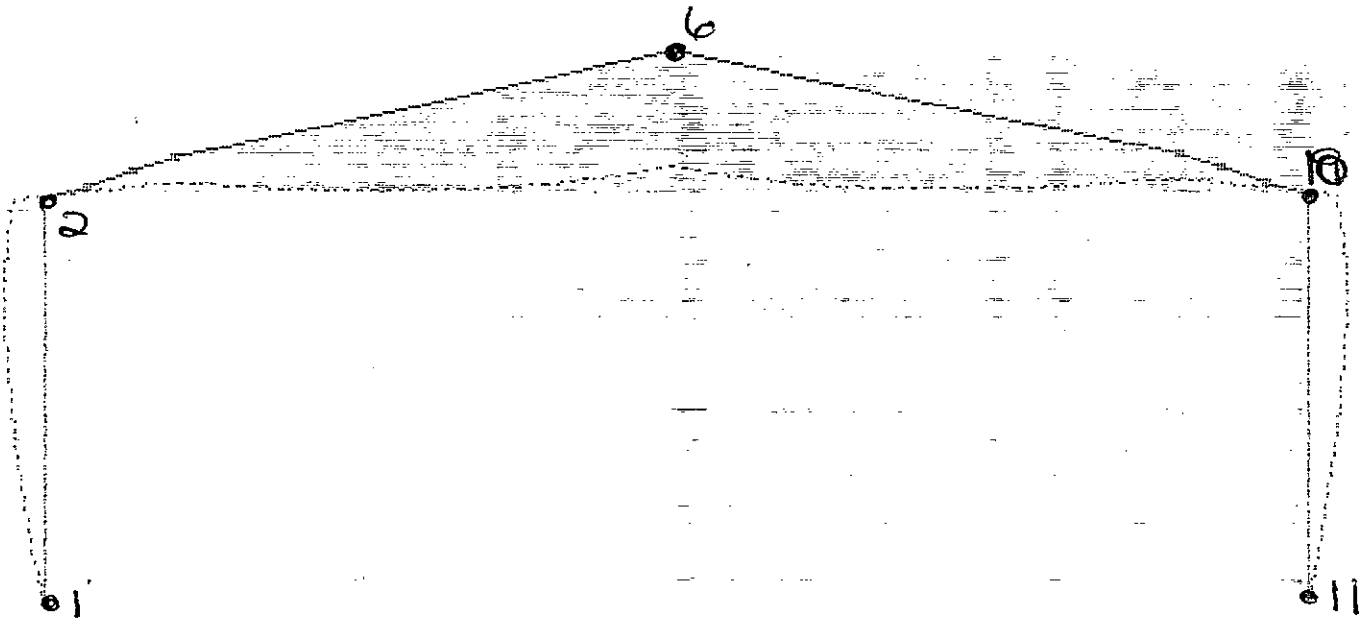


C1 : 1.4*B1+1.6*B2
D=1XZL 16 kN/m
X=1XZL 5M
TYNAN MOTORS, NAAS ROAD

TYNAN MOTORS NAAS ROAD
 PORTAL FRAME DESIGN

EN102: PLANE FRAME ANALYSIS V3.3 (c) ENCAD SYSTEMS LTD. 1987
 Units: S.I. METRIC (Steel) Data File: tynan1

LOADCASE C.1
 DEFLECTED SHAPE



Case C1 : 1.4*B1+1.6*B2
 DefXZL = 40 mm
 XStrXZL = 15 m
 TYNAN MOTORS NAAS ROAD

Combination Case C1 : 1.4*B1+1.6*B2
 Joint Displacements

* MAX DEFLECTION OF 40MM @ JOINT 6.

JOINT	X LINEAR (mm)	Z LINEAR (mm)	Y ROTATION (rad)
1	.00000	.00000	.00664
2	-9.58619	-20213	.00635
3	-8.73120	-2.87744	.00699
4	-7.78518	-5.83589	.00775
5	-6.72748	-9.14171	.00870
6	.00000	-40.61793	.00000
7	6.72748	-9.14170	.00870
8	7.78518	-5.83589	.00775
9	8.73120	-2.87744	.00699
10	9.58619	-20213	.00635

TYNAN MOTORS NAAS ROAD
PORTAL FRAME DESIGN

7
RUN NO. 001
AUTHOR [REDACTED]
DATE 5/11/91

EN102: PLANE FRAME ANALYSIS V3.3
Units: S.I. METRIC (Steel)

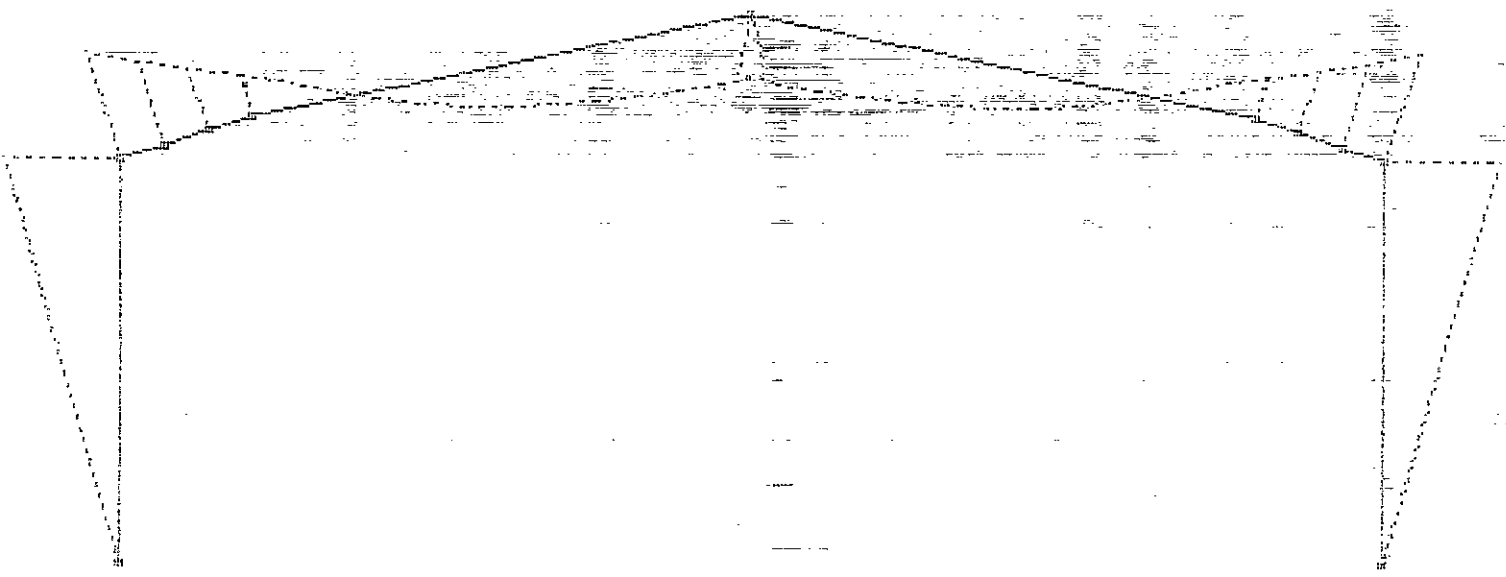
(c) ENCAD SYSTEMS LTD. 1987
Data File: tynan

Combination Case C1 : 1.4*81+1.3*82

Joint Displacements

JOINT	X LINEAR (mm)	Z LINEAR (mm)	Y ROTATION (rad)
11	.00000	.00000	.00664

LOADCASE C.1 BENDING MOMENT DIAGRAM.



C1 : 1.4*81+1.3*82

M_y XZ [diagram] 88 kNm

XZ [diagram] 5m

TYNAN MOTORS NAAS ROAD

LOADCASE C.1 DESIGN RESULTS

TYNAN MOTORS NAAS ROAD
PORTAL FRAME DESIGN

PAGE
JOB NO.
RUN NO.
AUTHOR
DATE

8.
91/001
001
ED
8/11/91

EN102: PLANE FRAME ANALYSIS V3.3
Units: S.I. METRIC (Steel)

(c) ENCAD SYSTEMS LTD. 1987
Data File : tynan1

Combination Case C1 : 1.4*B1+1.6*B2
Member End Forces

MBR	JOINT	AXIAL Nx (kN)	SHEAR Sz (kN)	MOMENT My (kNm)
1	1	50.8331	-19.7390	.0000
1	2	50.8331	-19.7390	-76.4296
2	2	34.4483	42.2723	-76.4296
2	3	33.3348	38.8363	-59.3774
2	4	33.3349	38.8363	-59.3774
3	4	32.2214	35.4003	-43.7699
3	4	32.2214	35.4004	-43.7699
4	5	31.1079	31.9644	-29.6072
4	5	27.7852	34.8913	-29.6072
5	6	19.2885	4.1932	41.8624
5	6	19.2885	4.1932	41.8624
6	7	27.7852	-4.8913	-29.6072
6	7	31.1079	-31.9643	-29.6072
7	8	32.2214	-35.4003	-43.7699
7	8	32.2214	-35.4003	-43.7699
8	9	33.3349	-38.8363	-59.3773
8	9	33.3348	-38.8363	-59.3773
9	10	34.4483	-42.2724	-76.4296
10	10	50.8331	19.7390	-76.4296
10	11	50.8331	19.7390	.0000

Combination Case C1 : 1.4*B1+1.6*B2
Member end stresses

MBR	JOINT	Ax AXIAL (N/mm ²)	By BENDING (N/mm ²)	Ax +ABS. By (N/mm ²)	Ax -ABS. By (N/mm ²)
1	1	10.7017	.0000	10.7017	10.7017
1	2	10.7017	-175.9530	186.6547	-165.2513
2	2	5.6381	-82.3567	87.9949	-76.7186
2	3	5.4559	-63.9821	69.4380	-58.5262
2	3	5.9856	-82.4599	88.4455	-76.4743
3	4	5.7856	-60.7852	66.5708	-54.9995
3	4	6.4077	-82.9742	89.3819	-76.5564
4	5	6.1863	-56.1261	62.3123	-49.9398
4	5	5.8495	-68.1605	74.0100	-62.3110
5	6	4.0607	96.3738	100.4345	-92.3130
5	6	4.0607	96.3738	100.4345	-92.3130
6	7	5.8495	-68.1605	74.0100	-62.3110
6	7	6.1863	-56.1261	62.3124	-49.9398
7	8	6.4077	-82.9741	89.3819	-76.5564
7	8	5.7856	-60.7852	66.5708	-54.9995
8	9	5.9856	-82.4599	88.4455	-76.4743
8	9	5.4559	-63.9821	69.4380	-58.5262
9	10	5.6381	-82.3567	87.9948	-76.7186
10	10	10.7017	-175.9530	186.6547	-165.2513
10	11	10.7017	.0000	10.7017	10.7017

$< 275 \text{ N/mm}^2$
→ O.K.

ALLOWABLE STRESS, $P_y = 275 \text{ N/mm}^2$

Contract: Tyrann Motors
Rao's Road

Job No:
91/010

Sheet No:
8(i)

Part of Structure:

By:

Date:

Member
Ref:

CALCULATIONS

OUTPUT

Wind loading.

Basic wind speed = 46 m/s

Dynamic wind pressure

$$= 0.613(46)^2 / 1000$$

$$= 1.30 \text{ kN/m}^2$$

* Topography Factor, $S_1 = 1.0$

* Ground Roughness, building
size & height above ground,
factor $S_2 = 0.65$ — section 3
class B

(H approximated to 5 m).

* Statistical Factor, $S_3 = 1.0$

⇒ Design wind pressure

$$= 0.65 \times 1.30 = 0.85 \text{ kN/m}^2$$

Frames @ 4.5 m c/c

$$\Rightarrow 0.85 \text{ kN/m}^2 \times 4.5$$

$$= 3.82 \text{ kN/m}$$

Contract: Tyrann Motors
Rao's Road.

Job No:
9/1010

Sheet No:
8(ii)

Part of Structure:

By:

Date:

Member
Ref:

CALCULATIONS

OUTPUT

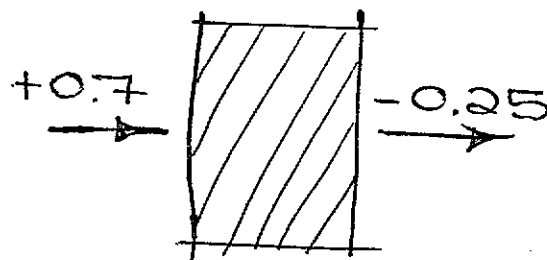
Pressure Coefficients:

1. External Pressure Coeff, C_{pe}

C_{pe} for walls.

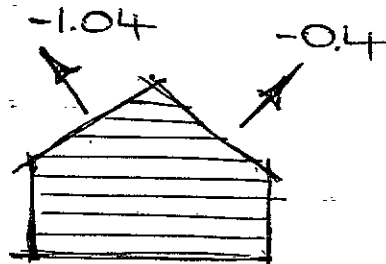
$$b/w = 5/11.5 = 0.43 < 0.5$$

$$l/w = 22.5/11.5 = 1.95 > 1.5 < 4.0$$



C_{pe} for Roof.

Roof Pitch = 12°



2. Internal Pressure Coeff, C_{pi}

$$C_{pi} = +0.2 \text{ or } -0.3$$

$C_{pi} = +0.2$ gives a more
oneros condition on
inspection.

Contract: Tynan Motors
Near Road

Job No:
91/010

Sheet No:
8(iii)

Part of Structure:

By:

Date:

Member
Ref:

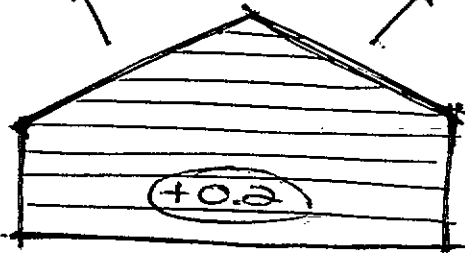
CALCULATIONS

OUTPUT

$$\begin{aligned} & -1.04 + 0.2 \\ & = -1.24 \end{aligned}$$

$$\begin{aligned} & -0.4 - 0.2 \\ & = -0.60 \end{aligned}$$

$$\begin{aligned} & +0.7 - 0.2 \\ & = 0.5 \end{aligned}$$



$$\begin{aligned} & -0.25 - 0.2 \\ & = -0.45 \end{aligned}$$

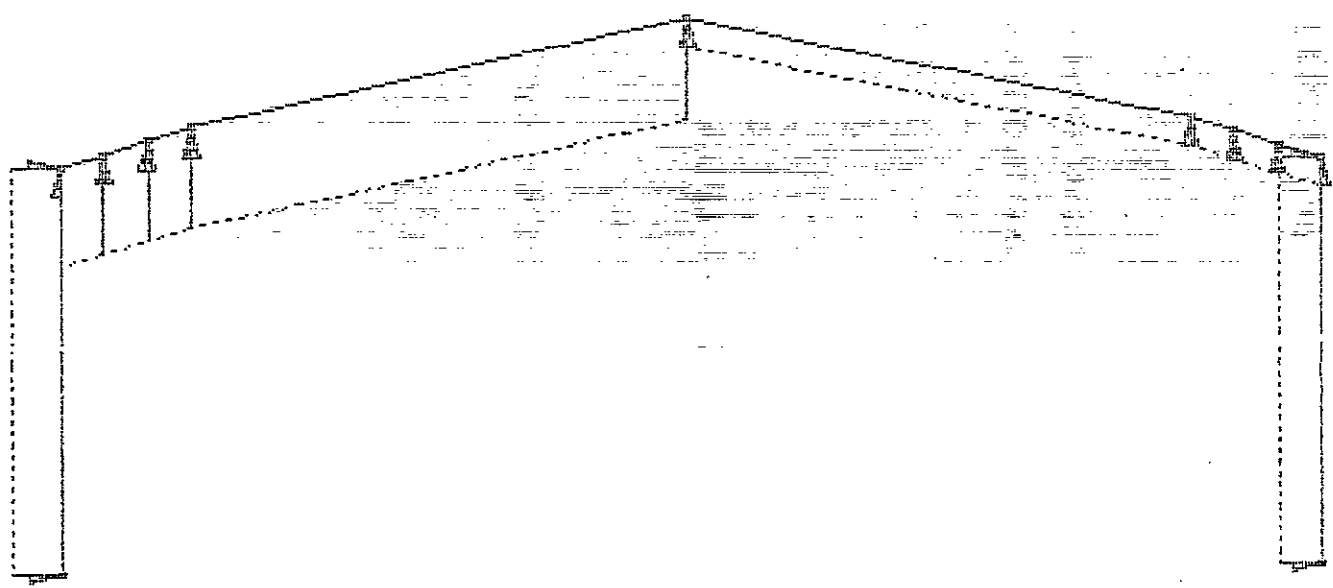
PAGE 29.
JOB NO. 91/001
RUN NO. 001
AUTHOR ED
DATE 8/11/91

TYNAN MOTORS NAAS-ROAD
PORTAL FRAME DESIGN

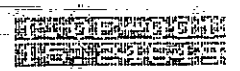
EN102: PLANE FRAME ANALYSIS V3.3
Units: S.I. METRIC (Steel)

(c) ENCAD SYSTEMS LTD. 1987
Data File : tynan1

LOADCASE C.2
DEAD & WIND LOADING.



Z
C2 : 1.0*B1+1.4*B3
DstrXZL 20 kN/m
XstrXZL 5m
TYNAN MOTORS NAAS ROAD



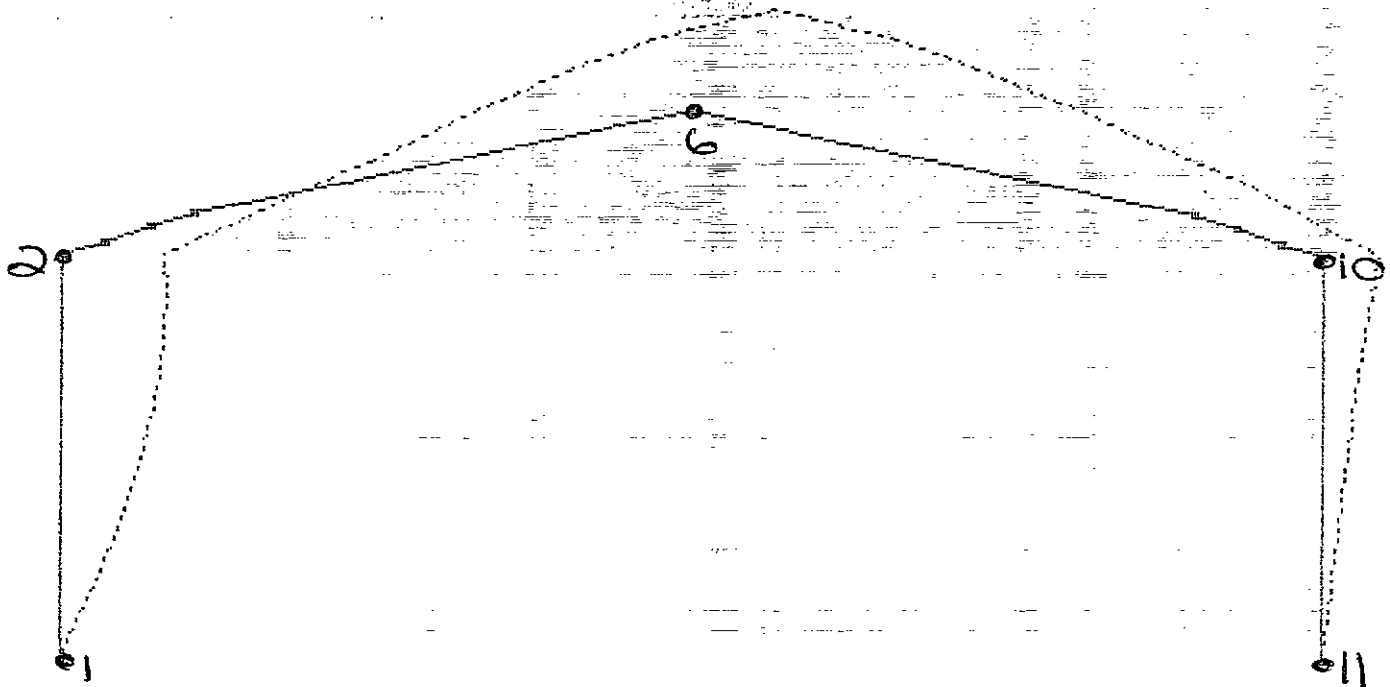
TYNAN MOTORS NAAS ROAD
PORTAL FRAME DESIGN

PAGE 10.
JOB NO. 91/001
RUN NO. 001
AUTHOR ED
DATE 8/11/91

EN102: PLANE FRAME ANALYSIS V3.3
Units: S.I. METRIC (Steel)

(c) ENCAD SYSTEMS LTD. 1987
Data File : tynan1

LOADCASE C.2
DEFLECTED SHAPE.



Z C2 : 1.0*B1+1.4*B3

Def XZ 40 mm
X Str XZ 6m

TYNAN MOTORS NAAS ROAD

Combination Case C2 : 1.0*B1+1.4*B3
Joint Displacements

JOINT	X LINEAR (mm)	Z LINEAR (mm)	Y ROTATION (Rad)
1	.00000	.00000	-.01266
2	28.38659	.19881	-.00301
3	27.95910	1.54793	-.00370
4	27.43217	3.20540	-.00454
5	26.78039	5.24874	-.00561
6	21.84207	23.34055	.00000

MAX. HORIZONTAL
DISPLACEMENT OF 28mm
@ JOINT 2.

7	17.39098	7.52051	.00653
8	16.56542	4.94897	.00629
9	15.77008	2.47253	.00607
10	15.00172	.08107	.00587

TYNAN MOTORS NAAS ROAD
PORTAL FRAME DESIGN

PAGE 11.
JOB NO. 91/001
RUN NO. 001
AUTHOR ED
DATE 8/11/91

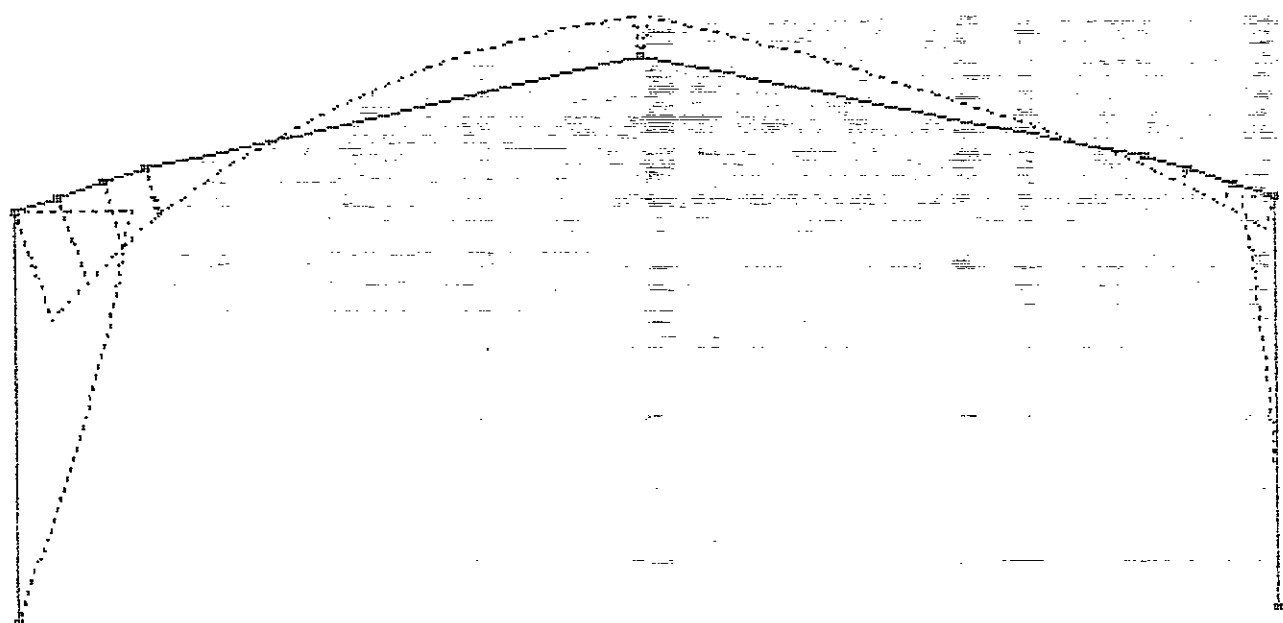
EN102: PLANE FRAME ANALYSIS V3.3
Units: S.I. METRIC (Steel)

(c) ENCAD SYSTEMS LTD. 1987
Data File : tynan1

Combination Case C2 : 1.0*B1+1.4*B3
Joint Displacements

JOINT	X LINEAR (mm)	Z LINEAR (mm)	Y ROTATION (rad)
11	.00000	.00000	.00335

LOADCASE C.2
BENDING MOMENT DIAGRAM.



CE : 1.0*B1+1.4*B3
Mg XZ 90kNm
XStrXL 1.5m
TYNAN MOTORS NAAS ROAD

LOAD CASE C.2 DESIGN RESULTS.

PAGE 12
JOB NO. 91/001
RUN NO. 001
AUTHOR ED
DATE 8/11/91

TYNAN MOTORS NAAS ROAD
PORTAL FRAME DESIGN

EN102: PLANE FRAME ANALYSIS V3.3
Units: S.I. METRIC (Steel)

(c) ENCAD SYSTEMS LTD. 1987
Data File : tyran1

Combination Case C2 : 1.0*B1+1.4*B3
Member End forces

MBR	JOINT	AXIAL Nx (kN)	SHEAR Sz (kN)	MOMENT My (kNm)
1	1	-49.9965	29.0627	.0000
1	2	-49.9965	13.3424	82.0964
2	2	-28.1053	-43.4484	82.0964
2	3	-26.9089	-39.7564	64.6034
2	4	-26.9089	-39.7564	64.6034
3	4	-25.7125	-36.0644	48.6629
3	5	-25.7124	-36.0644	48.6629
4	5	-24.5160	-32.3724	34.2748
4	6	-21.1853	-34.6438	34.2748
5	6	-12.0556	7.3527	-29.2624
5	7	-14.0202	1.6841	-29.2624
6	7	-16.6552	13.8053	6.7991
6	8	-17.9420	12.0858	6.7991
7	8	-18.2873	13.1514	12.1049
7	9	-18.2873	13.1514	12.1049
8	9	-18.6326	14.2170	17.8588
8	10	-18.6326	14.2170	17.8588
9	10	-18.9779	15.2826	24.0608
10	10	-20.3887	-13.3424	24.0608
10	11	-20.3887	.9143	.0000

Combination Case C2 : 1.0*B1+1.4*B3
Member end stresses

MBR	JOINT	AXIAL (N/mm ²)	By y AXIS BENDING (N/mm ²)	Ax +ABS.By (N/mm ²)	Ax -ABS.By (N/mm ²)
1	1	-10.5256	.0000	-10.5256	-10.5256
1	2	-10.5256	188.9988	178.4732	-199.5244
2	2	-4.6000	88.4629	83.8629	-93.0629
2	3	-4.4042	69.6134	65.2093	-74.0176
2	4	-4.8317	89.7176	84.8859	-94.5493
3	4	-4.6169	67.5803	62.9634	-72.1972
3	5	-5.1133	92.2498	87.1365	-97.3631
4	5	-4.8754	64.9745	60.0991	-69.8498
4	6	-4.4601	78.9061	74.4461	-83.3662
5	6	-2.5390	-67.3666	64.8285	-69.9046
5	7	-2.9516	-67.3666	64.4150	-70.3182
6	7	-3.5064	15.6526	12.1462	-19.1589
6	8	-3.5680	12.8890	9.3209	-16.4570
7	8	-3.6367	22.9472	19.3105	-26.5839
7	9	-3.2837	16.8107	13.5270	-20.0943
8	9	-3.3457	24.8014	21.4557	-28.1470
8	10	-3.0496	19.2438	16.1942	-22.2934
9	10	-3.1061	25.9268	22.8206	-29.0329
10	10	-4.2924	55.3918	51.0995	-59.6842
10	11	-4.2924	.0000	-4.2924	-4.2924

ALLOWABLE STRESS, $P_y = 275 \text{ N/mm}^2$

SAMPLE MEMBER DESIGN

PAGE 13
 RUN NO. 001
 AUTHOR ED
 DATE 8/11/91

TYNAN MOTORS NAAS ROAD
 PORTAL FRAME DESIGN

EN5950: STEELWORK DESIGN PROGRAM V1.3
 Units: S.I. METRIC (Steel)

(c) ENCAD SYSTEMS LTD. 1989
 Data File : tynan1

INDIVIDUAL MEMBER CAPACITY CHECK (MEMBER No. 1)

Member Details	Section Details	Effective Lengths
Member = 1	Section Grp. = 1	Lex = 85L
Length L = 3.872 m	Group Title =	Ley = 1.0L
END1 = 1	Table Ref. = UB	Ley = 0.0L
END2 = 2	Section No. = 61	Leb = 1.0L
	Section Ref. = 254*146*37 UB	
	Orientation = 0 degs	

Other Details		Effective Tensile Area Ae = 1.0Ag
Table 13 m =) blank for		Compression Slenderness Limit = 180
Table 13 n =) auto-select		
Steel Grade = 43		

Loadcase
 Mode (A/M) = Auto
 No. = C2
 Details = 1.0*B1+1.4*B3

CRITICAL LOADCASE, C2

*** SECTION OK 0.87 *** → **SECTION PASSES.**

Design Loads Mbr 1 Ldcs C2 254*146*37 UB Grd 43

POSITION m	SIGNIFICANT MAXIMA	AXIAL F kN	BENDING Mx kNm	BENDING My kNm	SHEAR Fvy kN	SHEAR Fvx kN
.000	-F; Fvy;	-50.0	.00	.00	29.1	.0
3.872	-Mx; -F;	-50.0	-82.21	.00	13.4	.0

Section Properties Mbr 1 Ldcs C2 254*146*37 UB Grd 43

Ag = 47.50 cm ²	D = 256.0 mm	Design Strength	py = 275 N/mm ²
Ix = 5560.00 cm ⁴	B = 146.4 mm		
Iy = 485.00 cm ⁴	d = 218.9 mm	Section Classification	
Ixy = -571.00 cm ⁴	b = 73.2 mm	PURE MODE	CLASS
Sy = 120.00 cm ³	T = 10.9 mm	Compression	Plastic
Ux = 15.50 cm ⁴	t = 6.4 mm	Mx Bending	Plastic
Uy = .085800 cm ⁶	u = .889	My Bending	Plastic
	x = 24.30		

(Le/r)/180 = .62 = OK FOR COMPRESSION
 (d/t)/(63e) = .54 SHEAR BUCKLING NOT CRITICAL

Local Capacities Mbr 1 Ldcs C2 254*146*37 UB Grd 43

(a) Simplified Approach Cl.4.8.2 or Cl.4.8.3.2(a)
 Tension Aepy = 1306.3 kN Compression Aggyr = 1306.3 kN
 Shear Pvy = 270.3 kN Shear Fvx = 237.0 kN
 Mcx (low shear) = 133.38 kNm Mcy (low shear) = 25.74 kNm

POSITION (m)	y SHEAR Fvy/Pvy	x SHEAR Fvx/Pvx	AXIAL F/Fcy	x BENDING Mx/Mcx	y BENDING My/Mcy	COMBINED A+xB+yB	OVERALL RESULT
.000	.11	.00	.04	.00	.00	.04	PASS
3.872	.05	.00	.04	.62	.00	.65	PASS

(b) Reduced Moment Approach Cl.4.8.2 & Cl.4.8.3.2(b)
 Z1 = 2.00 Z2 = 1.00

POSITION (m)	Mrx (kNm)	Mry (kNm)	(Mx/Mrx)^Z1	(My/Mry)^Z2	LOAD/CAPACITY	OVERALL RESULT
.000	133.02	32.99	.00	.00	.00	PASS
3.872	133.02	32.99	.38	.00	.38	PASS

TYNAN MOTORS NAAS ROAD
PORTAL FRAME DESIGN

PAGE 14
JOB NO. 91/001
RUN NO. 001
AUTHOR ED
DATE 8/11/91

ENS950: STEELWORK DESIGN PROGRAM V1.3
Units: S.I. METRIC (Steel)

(c) ENCAD SYSTEMS LTD. 1989
Data File : tynan1

Overall Buckling Mbr 1 Ldcs C2 254*146*37 UB Grd 43
Pcx = 1267.9 kN Pcy = 572.0 kN Agpc = 572.0 kN pyZy = 21.45 kNm

DESIGN CONDITION	F (kN)	Mx (kNm)	My (kNm)	m	n	Mb (kNm)
1/2	.0	-82.21	.00	1.00	.81	94.85

(a) Simplified Approach C1.4.8.3.3.1

CONDITION	F/Agpc	mMx/Mb	mMy/pyZy	LOAD/CAPACITY	RESULT
1/2	.00	.87	.00	.87	PASS

(b) More Exact Method C1.4.8.3.3.2

CONDITION	Max (kNm)	May (kNm)	mMx/Max	mMy/May	LOAD/CAPACITY	RESULT
1/2	94.85	33.00	.87	.00	.87	PASS

HAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

BY *[Signature]*

REC No 47299

CASH
CHECK
M.D.
E.L.
E.T.

£260.00

13th day of September 1991

Received this
from *Thorn Motors Ltd*

the sum of *two hundred and sixty six* Pounds
Pence being *balance of acc*

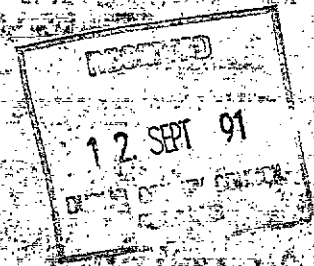
[Signature]
Michael O'K...
Cashier

[Signature]
S. CAREY
Principal Officer

[Signature]
Balade
Cass

Your ref:- 91A/177.

re:- Michael Tynan Motors
Newlands Cross
Clonsilla



Dear Sir,

Please find enclosed additional bye-law fee of
£266 as requested from J. FitzPatrick (architects.)

Yours faithfully,

J. FitzPatrick

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

Building Control Department,
Liffe House,
Tara Street,
Dublin 1.

Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Telephone: 773066

Telephone: 724755
Extension: 231/234

10 September 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

LOCATION: Newlands Cross, Clondalkin

PROPOSED DEVELOPMENT: Extension of car storage, service and spare parts

APPLICANT: Michael Tynan Motors

PLANNING REG. REF.: 91A/0177

DATE OF RECEIPT
OF SUBMISSION: 2 September 1991

A Chara,

With reference to above, I acknowledge receipt of application for:

Building Bye Law Approval.

Mise, le meas

A. Smith

PRINCIPAL OFFICER

Mr J. Fitzpatrick,

25 Tonlegee Rd,

Dublin 5.



EASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

REG. REF. NO. 91A/0177

2. Postal address of site or building MICHAEL TYNAN MOTORS
(If none, give description sufficient to identify)..... NEWLANDS CROSS, CLONDALKIN CO. DUBLIN.

3. Name of applicant (Principal not Agent)..... MICHAEL TYNAN MOTORS.
Address..... M. TYNAN MOTORS, NEWLANDS CROSS, CLONDALKIN. Tel. No.....

4. Name and address of J. FITZPATRICK ARCH.
person or firm responsible for preparation of drawings 25, TONLEEGEE RD., DUBLIN 5. Tel. No. 480482.

5. Name and address to which J. FITZPATRICK, ARCH.
notifications should be sent 25, TONLEEGEE RD., DUBLIN 5.

6. Brief description of EXTENSION OF CAR STORAGE, SERVICE &
proposed development SPARE PARTS.

7. Method of drainage TO EXISTING 8. Source of Water Supply WATER MAIN.

9. In the case of any building or buildings to be retained on site, please state:
(a) Present use of each floor or use when last used CAR SALES.
(b) Proposed use of each floor STORAGE.

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11.(a) Area of Site 1029 ~~249~~ Sq. m.
(b) Floor area of proposed development 249 Sq. m.
(c) Floor area of buildings proposed to be retained within site Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD. BYE LAW APPLICATION.

13.Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box. REC. NO. N 47197

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal: IN ALL RELEVANT RESPECTS £871.50

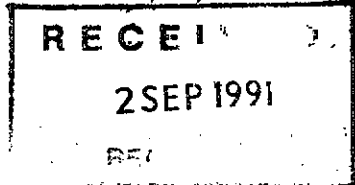
15.List of documents enclosed with application. TWO COPIES OF PLANS, SPECIFICATION

16.Gross floor space of proposed development (See back) 249 Sq. m.

No of dwellings proposed (if any) Class(es) of Development
Fee Payable £. 871.50 Basis of Calculation
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Date 28/8/91

Application Type FOR OFFICE USE ONLY
Register Reference 91A/0177
Amount Received £ 1.8.2
Receipt No BBZ
Date



LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
 2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
 3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.
- NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
 5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
 6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/ Commercial Purposes	£3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)	E	Petrol Filling Station Development or	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

GOMHAIRLE CHONTAE ATHA CLIATH

RECEIPT CODE

PAID BY DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET
DUBLIN 1

BYE EIGHT
REC. NO. N 47197

CASH
CHEQUE
M.O.
B.L.
I.T.

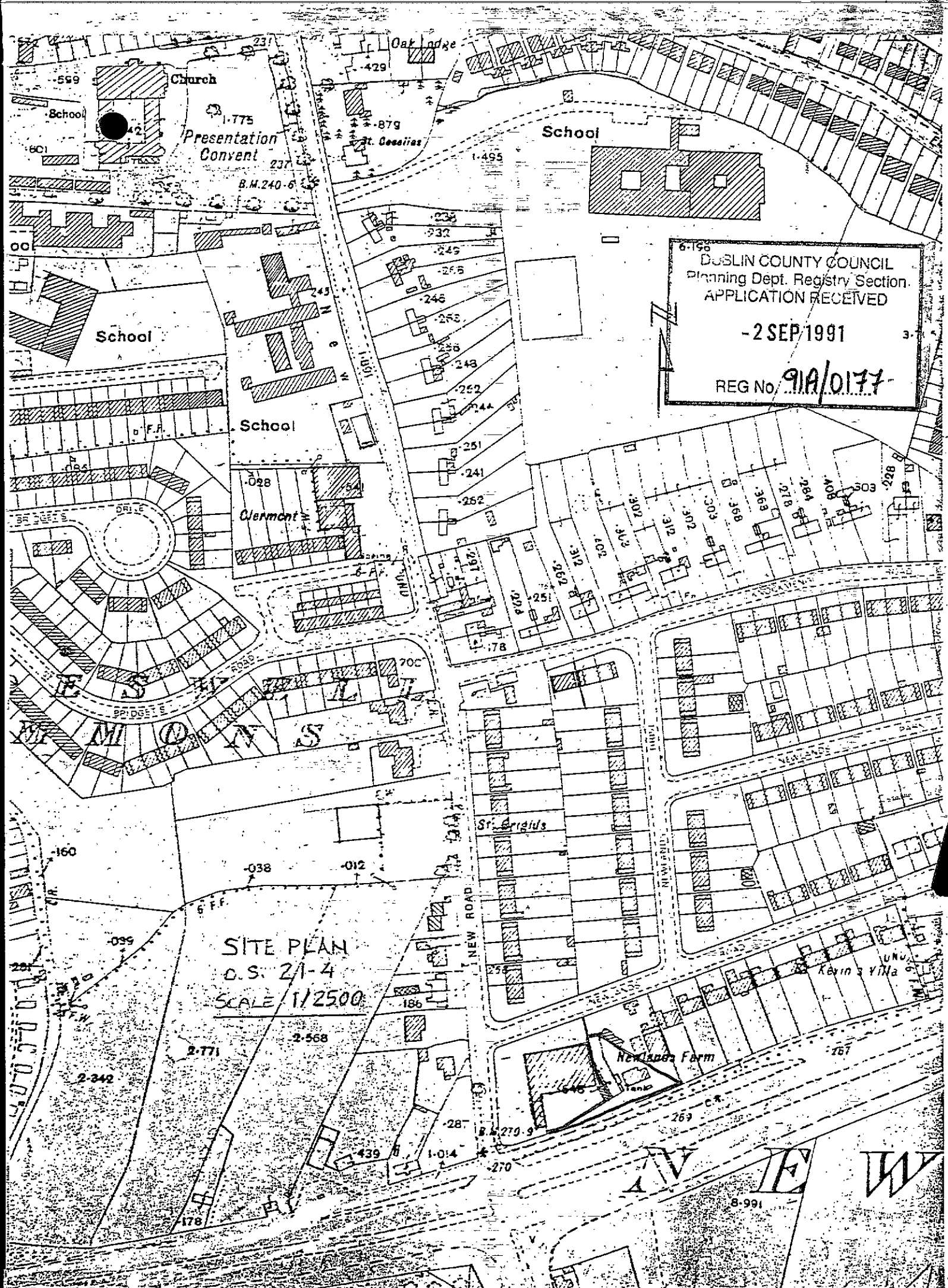
Received this 2nd day of September 1991

from Thera Motors Ltd
Newlands Cross
Clonsilla

the sum of eight hundred and seventy one Pounds

fifty Pence being fifty pence

for application of the said
Mollie O'Connell
Cashier
Principal Officer



6-196
DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
-2 SEP 1991
REG No. 91A/0177

SITE PLAN
D.S. 21-4
SCALE 1/2500



MATERIALS contd :

Cement mortar shall be in the ratio of 3 parts of clean sand to 1 part cement.

Cement lime mortar shall be in the following proportions - One volume of cement to not less than 1 nor more than 5 volumes of lime. The proportions of the cement lime mixture to the sand shall be of one volume of cement / lime mixture to not less than 2 nor more than 4 volumes of sand.

BRICKWORK AND BLOCKWORK :

Bricks, if clay, shall be in accordance with I.S. 91. Cavity wall ties shall be stainless steel and shall be laid 900 mm apart horizontally and 450 mm vertically. Concrete blocks shall be in accordance with I.S. 20. All blockwork shall be properly coursed and bonded.

New walls shall be tied to existing walls with galvanised or stainless steel ties at 215 mm vertically. Seal the joint externally between new and existing walls with a silicone sealant.

All rising walls shall be 215 mm solid blockwork bedded in sand / cement mortar, up to dpc level. Blockwork above dpc level shall be bedded in lime / cement mortar.

All party walls shall be in solid blockwork, min. 215 mm thick.

INSULATION :

Wall insulation shall be by one of the following specifications and shall only be provided, where shown on the drawing :-

- (a) Cavity insulation shall be 40 mm polystyrene laid fixed to the outer face of the inner leaf. Insulation shall be tongued and grooved and laid strictly in accordance with the manufacturer's recommendations. Wall ties, in stainless steel, with proprietary spacer, shall be at 450 mm horizontally and 450 mm vertically. Cavity closures to door and window openings must be insulated at the closure. All cills must be insulated at the rere.
- (b) Alternatively, walls may be insulated with 60 mm fibreglass, laid between 50 x 44 treated timber battens, and faced with 500 g polythene, with 12 mm plasterboard and skim

.2.

DUBLIN COUNTY COUNCIL Planning Dept. Registry Section APPLICATION RECEIVED -2 SEP 1991 REG No.

DAMP PROOF COURSES :

These shall be in polythene in accordance with BS 743 or bitumen sheathing on hessian base or canvas, in accordance with IS 57. Horizontal wall dpc's shall be minimum 150 mm above the adjoining ground level and shall be well lapped, min. 450 mm. Provide all dpc's as shown on the drawing. Provide dpc's under, behind and turned up at the ends of all cills. Provide dpc's under all copings, above the flashing level. All new wall dpc's shall be turned up or down, as required to meet existing house dpc's.

LINTOLS :

Precast Prestressed concrete lintols shall comply with BS 1239 and laid strictly in accordance with the Manufacturer's instructions, with the correct side up. Lintols shall be propped while they are setting, strictly in accordance with the Manufacturer's recommendations.

Provide min 215 mm solid blockwork over all precast concrete lintols. Provide the minimum amount of solid blockwork specified by the Manufacturer of the lintol for the particular span. All lintols shall have a min. bearing of 225 mm on each side of the ope. No holes are to be inserted in the composite section of the lintol.

CILLS :

Precast concrete cills shall comply with IS 89, properly weathered and throated, with dpc under, behind, and up at the ends.

WINDOWS :

All windows must be obtained from a reputable manufacturer. Softwood windows shall be obtained in a reputable joinery works, and shall be treated and primed before being set into the opening. Hardwood windows shall be primed all over with a primer compatible with the type of finish being applied in the decoration stages. Aluminium windows shall be obtained from a recognised source. All windows shall have their cills set in non-setting mastic. Windows shall be sealed all around with a silicone mastic against the patent reveals.

DOORS :

All internal doors shall be to IS 48 or 52. Frames shall be primed before being placed in position. External doors shall be of external type and as shown on the drawing, provide an adequate water seal at the bottom of all external doors.

EXTERNAL PLASTERING :

The is to be finished to match the existing House.
Scud walls in 3:1 sharp sand and cement, apply 2 coats of plaster [1 cement : 1 lime : 6 sand], to a total min. thickness of 20mm. The second coat to be finished knap or smooth, or combed to receive roughcast or tyrolean, as required. Include an appropriate waterproofer in the sand/cement mix, applied strictly in accordance with the manufacturer's recommendations. Plaster reveals shall be 20 mm thick to all openings, and neatly cut off or weathered at the top edge. The head reveal shall be scored to form a drip. Plinths shall be finished smooth, of minimum thickness 20 mm.

INTERNAL PLASTERING :

All internal walls shall be finished with 2 coats of gypsum plaster, laid strictly in accordance with the recommendations of M/s Gypsum Industries Limited. Walls to be dry-lined shall be battened with treated timber battens with fibreglass insulation laid between them, and covered with 12 mm foil backed plasterboard.

Make good to all damaged plasterwork in the House.

The ceilings are to be finished with 9.5 mm plasterboard and skimmed. Ceilings directly under insulated roofs shall be finished with 9.5 mm foil backed plasterboards and skim.

Alternatively, if required, the ceilings shall be finished with an Artex stippled finish, as manufactured by M/s Gypsum Industries Limited. Stippling is to be applied strictly in accordance with their recommendations, with all joints properly taped and sealed.

DRAINAGE :

Provide all drainage as shown on the drawing. All drains shall be laid in the direction of flow. New drainage shall be 100 mm p.v.c. laid to fall on a 300 x 100 concrete bed and haunched. Drains passing under a building shall be encased with minimum 150 mm concrete all round.

Bridge over any drains passing through a rising wall by inserting a precast lintol over it. Provide 75 mm of compressible material between the top of the encased pipe and the underside of the lintol. Make good to any damaged drains, and where any AJ's are removed insert a new section of pipe, of the same material.

FLOORS :

Timber floors are to be finished with 25 mm T.G. Boarding on 115 x 44 timber joists at 400 mm centres, on 100 x 75 treated timber wallplates, on dpc, on honeycombed tassel walls.

FLOOR: contd.

The sub-floor shall be 150 mm concrete on minimum 150 well compacted hardcore. The slab to the sub-floor shall be laid no lower than the external ground level.

The underside of all timber floors shall be ventilated using galvanised louvred ventilators. Maintain the ventilation to the existing house floors.

Concrete floors shall be 150 mm thick, on Visqueen 1000g dpm, on minimum 150 mm hardcore, blinded on top with sand. The visqueen shall be turned up at the edges to meet the wall dpc. The top of the concrete floor shall finish at least 150 mm above the external ground level.

All hardcore shall be compacted with a vibrating roller in layers not exceeding 225 mm deep.

Where specified on the drawing, underfloor insulation for concrete floor shall be polystyrene of minimum density 25 kg/M³, laid under the whole floor, over the damp proof membrane.

Insulation, where specified, to timber floors shall be 40 mm fibreglass laid over a netting.

ROOFS : - Flat

Flat roofs shall be laid to fall as shown on the drawing. Felted roofs shall be finished with 25 mm thickness of 12 mm round stone chippings, bedded in cold mastic, on a top layer of mineralised felt, on an underlayer of 2 ply felt, on a bottom layer of 1 ply felt, nailed all over with galvanised clout nails, on an 18 mm W.B.P. plywood deck.

The finish to an asphalt roof shall be in 2 layers of 12 mm asphalt laid with the joints broken.

The asphalt roof shall be finished with a silver reflective finish. The decking to all flat roofs shall be 18 mm plywood, laid to fall on furring pieces, on timber joists at 400 mm centres, all to the sizes shown on the drawing.

ROOFS : - Pitched

Pitched roofs shall be finished with concrete roof tiles or slates. Low pitch concrete roof tiles shall be laid strictly in accordance with the manufacturer's recommendations, with minimum 100 mm laps, with the roof double battened and felted. Minimum roof pitch 17½°. Pitched roofs finished with standard roof tiles shall be laid to a minimum pitch of 22° in accordance with the manufacturers recommendations.

ROOFS : -- Pitched contd.

Asbestos cement slates shall be laid to a minimum pitch of 25° in accordance with the Manufacturer's recommendations. All roofs shall be battened with 50 x 25 battens on good quality sarking felt, supplied by a reputable manufacturer. All rafters and ceiling joists, ridge boards and hangers shall be to the sizes shown on the drawing.

INSULATION :

All roofs shall be insulated with minimum 100 mm fibreglass, with either a polythene vapour barrier under, or foil backed plasterboard.

EAVES VENTILATION :

Provide cross ventilation to the eaves of all roofs by means of the equivalent of a 15 mm gap, continuous along the perimeter of the soffit, covered with an insect mesh. Alternatively use a patented eaves ventilation strip.

Flat roofs should have their furring pieces honeycombed to all cross ventilation.

FASCIAS & SOFFITES :

Fascias shall be ex 225 x 25 white deal, treated with an approved preservative, before being set in position. Soffites shall be 9 mm W.B.P. plywood fixed to timber bearers.

TIMBER :

All timber shall be sound, free from disease and infestation, with a moisture content within the limits set out in IS 90.

FLASHINGS :

All flashings shall be either No. 5 lead to BS 1178 or 20 gauge super purity aluminium, as indicated on the drawings. Flashings to pitched roofs at wall abutments shall have soakers under each tile, turned up and flashed over, with a cover flashing.

Cover flashings shall be set into walls, their joints sealed with a silicone mastic sealer. Plaster shall be bellcasted above flashings.

Alternative flashing materials shall not be mixed with each other.

VENTILATORS :

Provide 215 mm square galvanised ventilators to all habitable rooms, toilets and toilet lobbies, and in all places indicated on the drawings.

Timber floors shall be ventilated on the underside with 215 x 100 galvanised ventilators. Maintain the ventilation to the underside of the existing house floors.

ELECTRICAL :

All sockets and lighting outlets shall be as required by the Client. All work shall be carried out by a qualified electrician in accordance with the National Rules for Electrical Installations, as published by the Electro-Technical Council of Ireland, and with local E.S.B. requirements.

SKIRTINGS :

All new skirtings shall match the ones in the existing House. They shall be primed before being fixed in position.

PAINTING :

All painting and decoration shall be as required by the Client. All external woodwork and joinery should be primed with an aluminium primer, before being set in position, and covered with 3 coats of oil paint as soon as possible afterwards. This painting to be undertaken by the Builder.

YARD :

The existing yard shall be extended with 100 mm concrete, on minimum 150 mm hardcore, to a minimum area of 15 m² and laid to fall to the nearest surface water gully trap.

STUD PARTITIONS :

All internal stud partitions shall be 75 x 44 timber studs at 400 mm centres, with noggings mid way. Head pieces shall be 75 x 44 and sole pieces shall be 75 x 75.

Partitions shall be finished with 12 mm plasterboard and skimmed.

PLUMBING :

All plumbing shall be carried out in accordance with the requirements of the Local Authority.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/~~Approval~~

Local Government (Planning and Development) Acts, 1963-1983

To J. Fitzpatrick, Arch., Decision Order P/1526/91 11.04.91
25 Tonlegee Road, Number and Date
Dublin 5. Register Reference No. 91A/0177
15.02.91 Planning Control No.
Application Received on

Applicant Michael Tynan Motors.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/~~Approval~~ for:-

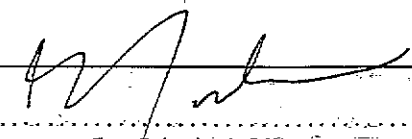
Replacement and extension of car storage, service and spare parts
at Michael Tynan Motors, Newlands Corss, Clondalkin.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.	2. In order to comply with the Sanitary Services Acts, 1878-1964.
3. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.	3. In the interest of safety and the avoidance of fire hazard.
4. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.	4. In the interest of health.
5. That the water supply and drainage arrangement be in accordance with the requirements of the Sanitary Services Department.	5. In order to comply with the Sanitary Services Acts, 1878-1964.

Over

Signed on behalf of the Dublin County Council


For Principal Officer

Date 11 April 1991

IMPORTANT: Turn overleaf for further information

CONDITIONS

REASONS FOR CONDITIONS

6. That a financial contribution in the sum of £1,292. be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

7. That the parking of any cars, vans or trucks shall be contained solely within the site area of the existing garage. No parking or erection of temporary moveable objects shall take place at any time on adjoining roads or roadside grass margins.

8. That no advertising sign or structure be erected, except those which are exempted development, without prior approval of the Planning Authority.

9. That the proposed cast iron gates and railings to the front be omitted from the development and the area between these gates and the new structure be available as part of the forecourt.

10. The use of the adjoining Council property for displaying and storage of cars to cease immediately.

11. That a minimum of 50% of the proposed structure be used for storage or display purposes only. No maintenance or repairs or other services to take place in this area. This area to be identified and agreed with the Planning Authority prior to occupation of the new building.

Over

6. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

7. In the interest of the proper planning and development of the area.

8. In the interest of the proper planning and development of the area.

9. In the interest of the proper planning and development of the area.

10. In the interest of the proper planning and development of the area.

11. In the interest of the proper planning and development of the area.

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:— An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/

Local Government (Planning and Development) Acts, 1963-1983

To J. Fitzpatrick, Arch., Decision Order P/1526/91 11.04.91
Number and Date
25 Tonlegee Road, Register Reference No. 91A/0177
Dublin 5. Planning Control No.
15.02.91 Application Received on

Applicant Michael Tynan Motors.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above, make a decision to grant Permission/~~Application~~ for:-

Replacement and extension of car storage, service and spare parts
at Michael Tynan Motors, Newlands Corss, Clondalkin.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
<p>NOTE: Works necessary to meet the requirements of the foregoing conditions may involve development as defined in the Planning Acts 1963-1983 and in respect of which a further planning application may be required.</p>	

Signed on behalf of the Dublin County Council


For Principal Officer

Date 11 April 1991

IMPORTANT: Turn overleaf for further information

CONDITIONS

REASONS FOR CONDITIONS

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

COMAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY
DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET
DUBLIN 1.

Issue of this receipt is not an
acknowledgement that the fee
tendered is the prescribed application
fee.

N 34286

Balance

£133.00

Received this 21st day of March 19 91

from Thom Motors Ltd.
Newlands Cross,
Clondalkin

the sum of one hundred and thirty three Pounds
of planning fee on 91A/177 Pence, being balance

Madan Deane
Cashier

S. CAREY
Principal Officer
Bal.
Class 4

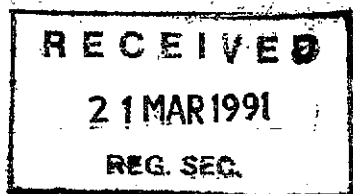
Ref: 91A/177

Dear Sir

Please find enclosed additional
fee as requested.

cheque for £133.00.

cc Medical Type.



Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0177

Date : 19th February 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Replacement & extension of car storage, service &
spare parts

LOCATION : Michael Tynan Motors, Newlands Cross, Clondalkin,

APPLICANT : Michael Tynan Motors,

APP. TYPE : PERMISSION

With reference to above, I acknowledge receipt of your application received
on 15th February 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

J. Fitzpatrick, A.I. Architects,
25 Tonlegee Road,
Dublin 5.



21/4

PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
 Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building MICHAEL TYNAN MOTORS.
 (If none, give description sufficient to identify) NEWLANDS CROSS CLONDALKIN. CO. DUBLIN.

3. Name of applicant (Principal not Agent) MICHAEL TYNAN. **BYE LAW APPLICATION**
 Address NEWLANDS CROSS CLONDALKIN. Tel. No. NIL

4. Name and address of person or firm responsible for preparation of drawings J. FITZPATRICK. A.I. ARCH. S.
25, TONLEEGEE RD. D.S. Tel. No.

5. Name and address to which notifications should be sent J. FITZPATRICK. A.I. ARCH. S.
25, TONLEEGEE RD. DUBLIN 5.

6. Brief description of proposed development CAR STORAGE AND REPAIR, WITH
CAR PARTS STORAGE. **435.75 - 15/2**

7. Method of drainage EXISTING. 8. Source of Water Supply WATERMAIN.

9. In the case of any building or buildings to be retained on site, please state:-
 (a) Present use of each floor or use when last used CAR, SHOWROOMS, STORAGE, & REPAIR. OFFICES.
 (b) Proposed use of each floor CAR STORAGE & REPAIR. CAR PARTS STORE.

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No.

11.(a) Area of Site		1,029 Sq. m.
(b) Floor area of proposed development		249 Sq. m.
(c) Floor area of buildings proposed to be retained within site		369.8 Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD.

13.Are you now applying also for an approval under the Building Bye Laws?
 Yes No Place in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
IN ALL RELEVANT RESPECTS.

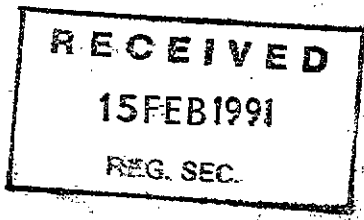
15.List of documents enclosed with application. 4 COPIES OF PLANS AND SITE PLAN. COPY OF
ADVERT IN NATIONAL NEWSPAPER, COVER LETTER.
APPLICATION FEE.

16.Gross floor space of proposed development (See back) 249 Sq. m.

No of dwellings proposed (if any) Class(es) of Development CLASS 4
 Fee Payable £ 435.75p. Basis of Calculation 249 m² @ £1.75
 If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) [Signature] Date 14/2/91.

Application Type FOR OFFICE USE ONLY
 Register Reference 91A 0177
 Amount Received £ 2.16.0
 Receipt No
 Date



Irish
 bus
 15/2/91

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.

4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS			BUILDING BYE-LAW APPLICATIONS		
CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension	
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum		(improvement/alteration)	£30.00 each
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	C	Building — Office/ Commercial Purposes	£3.50 per m ² (min. £70.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	E	Petrol Filling Station	£200.00
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
8.	Petrol Filling Station.	£100.00			Min. Fee £30.00
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			Max. Fee £20,000
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ATHA CLIATH

PAID BY — DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

Issue of this receipt is not an
acknowledgement that the fee
tendered is the prescribed application
fee. N. 31288

CASH
CHECK
M.O.
B.L.
L.T.

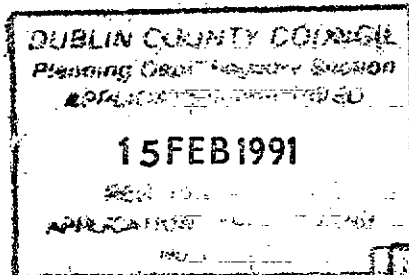
£ 435.75

Received this 15th day of February 1991
from Thorn Motors Ltd.

the sum of four hundred and thirty-five Pounds
seventy five Pence, being fee for
pleg application at Newlands Cross,
Wondalkin

Maureen Beane Cashier

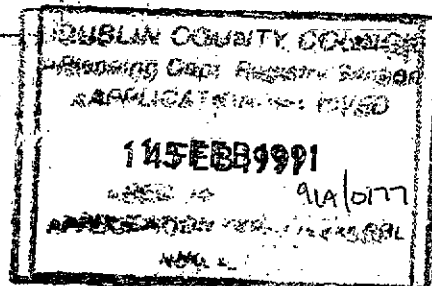
S. CAREY
Principal Officer (Clk) 4



Michael Tymon Motors,
Newlands Cross,
Clondalkin.

12th February, 1991.

Planning Department,
Dublin County Council,
Irish Life Centre,
Dublin 1.



Dear Sir,

I wish to apply for planning permission to erect a single storey structure to the rear of my premises.

The nature of the proposal is replacement and extension of car storage and maintenance, together with a small area for spare car parts. We are committed to undertake this extension (these works) due primarily to the need to store our customer's cars in secure lock up and to radically improve working conditions for the men employed.

At present we are using the shed to the side of our premises for spare parts, car maintenance and storage of cars. The remainder of our cars are stored in the open yard. Despite the fact that there is a ten foot high wall, topped with barbed wire at the rear, we have been persecuted by vandals who climb over the wall and wreck havoc to our stock. For the past 8 to 10 months, we have had to remove the car radio, stereos etc. and re-fit them before the cars are ready for collection. Though very necessary, the fruit-less nature of this extra work cannot be overstressed.

As we are trying to operate under a serious shortfall in secure car storage space, our only option is to cover in the yard at the rear to prevent further damage. By moderately increasing our maintenance and car storage area, we would have to employ one, or possibly two, additional mechanics, so that the development would be a viable one. Failure to cover the rear yard area would inevitably leave the situation open to further vandalism as all our damage is to cars parked in the yard.

We will not be increasing the number of cars stored, merely providing a secure lock-up together with more necessary space for the men to work in.

We have engaged the services of a security firm, but despite this, we are still suffering from the constant attention of vandals. I have enclosed a report from the security firm showing the number of times they and I, have been called out to the garage.

/...

Contd.

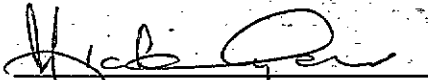
The proposed two storey office block of 1,420 sqm adjacent to our garage is to be of a high standard. We would add further to improving the general appearance by developing our site. The existing premises has been operating as a garage since 1948.

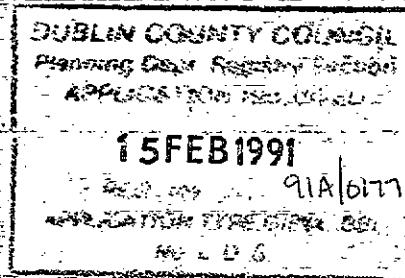
We will be applying for building bye law approval as soon as the additional structural drawings are available.

We earnestly request that this application be granted planning permission to allow us to improve the security and appearance of our premises and indeed continue trading since taking over the garage in 1980.

I enclose four copies of plans, advertisement in newspaper together with application fee of £435.75.

Yours faithfully,


Michael Tynan.





MODERN ALARMS LTD. - DUBLIN OFFICE

FAX SHEET

FAX NO. 6794791

DUBLIN COUNTY COUNCIL
Planning Dept. Property Section
APPLICANT: M. TYNAN

15 FEB 1991

91A/077

TO:

Anne Tynan

FROM:

T. Carroll

DATE:

13-02-91

RE:

Activation

MESSAGE

EVENT HISTORY BY INSTALLATION - ENQUIRY

13.02.91

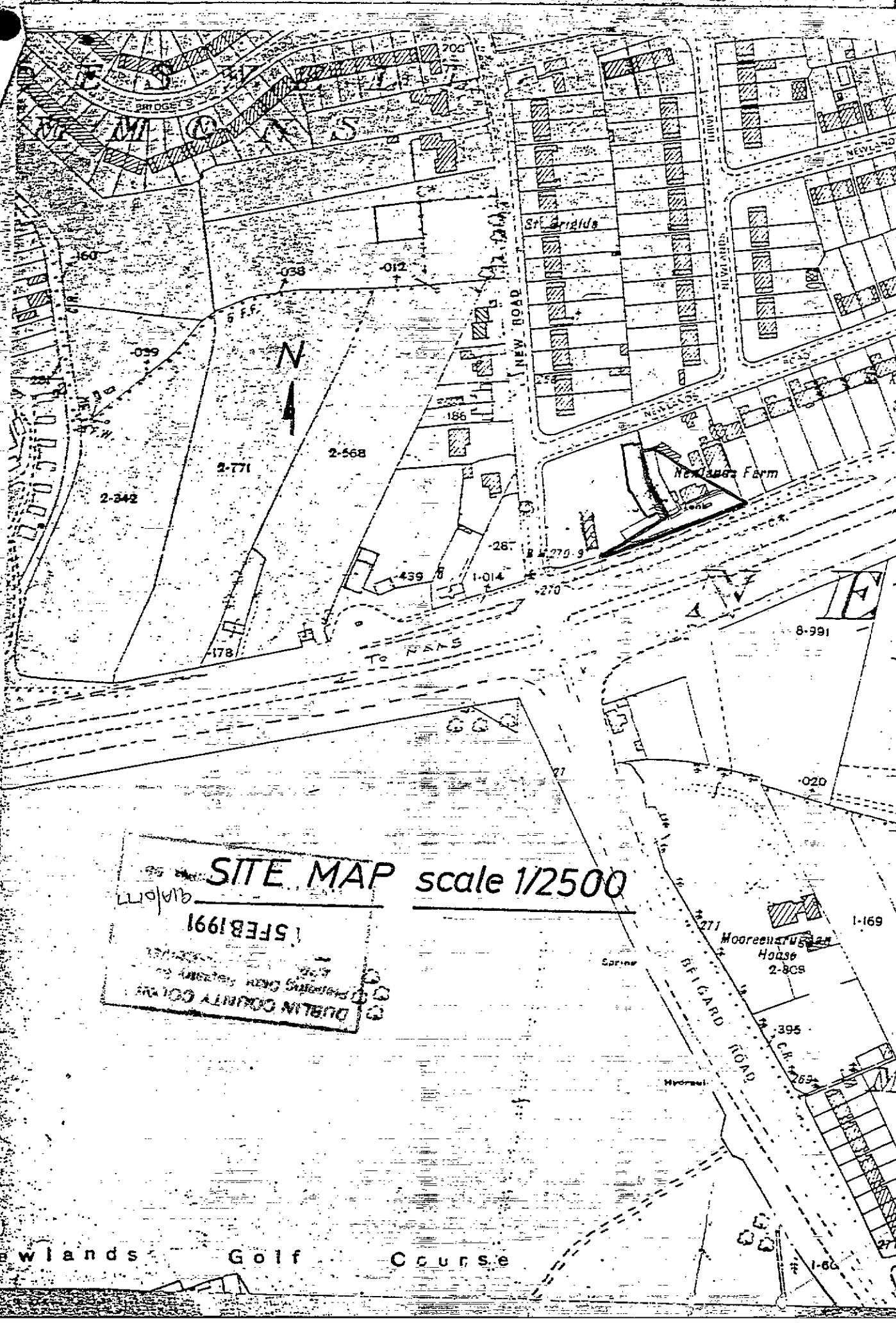
Contract no. A06150 MICHAEL TYNAN MOTORS,

Sl. No.	Time / Date	Sts	Notes	Operator
1.	16:39/01.01.91	com		BILL
2.	16:38/01.01.91	com		dan
3.	15:09/01.01.91	com	K1. H/DAYS K2 ADV.	BILL
4.	17:38/25.12.90	com		tony
5.	17:38/25.12.90	com		louise
6.	16:45/25.12.90	com	K1NR K2 ADV.	louise
7.	14:50/25.12.90	com		tony
8.	14:50/25.12.90	com		louise
9.	14:07/25.12.90	com	K1 P/ENGAGED K2 ADVISED	louise
10.	08:21/17.11.90	com		dan
11.	08:21/17.11.90	com		dan
12.	01:57/17.11.90	com	AA	dan
13.	08:15/06.11.90	com		paul
14.	08:14/06.11.90	com		dan
15.	08:33/06.11.90	com		cathryn
16.	06:30/06.11.90	com		cathryn

Alerts now waiting: 7 suspended alerts: Highest waiting priority
Detail of previous alert or Enquiry

No. of pages including this sheet

Should you not receive all the pages, please. Telephone 6791 888 and ask for



DUBLIN COUNTY COUNCIL
 DUBLIN COUNTY ENGINEERING DEPARTMENT
 15 FEB 1991
 SITE MAP scale 1/2500

Newlands Golf Course