

Copies
of Register
map
2113

Please
retain
this map copy

91A-129

2 rooms
cottage
used as stable

157D
of 50

N.B. PROPOSED 6x5 PITCH

88A 1164
89B 682

Double garage
& porch
gates

outline
refused on appeal
42/82

CROCKAUNADREENAGH Td

es to Hectares multiply by .405

1 inch



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0129

Date : 15th February 1991

Our Ref.

Your Ref.

Date

Dear Sir/Madam,

Development : replacement dwelling and septic tank and retention of
existing house as outhouse with 6 new loose boxes and
hayshed

LOCATION : Redgap, Rathcoole

Applicant : B. Murphy,

App. Type : PERMISSION

Date Recd : 7th February 1991

Your application in relation to the above was submitted with a fee of
£32.00 .

On examination of the plans submitted it would appear that the
appropriate amount should be £235.00 .

I should be obliged if you would submit the balance of £203.00
as soon as possible as a decision cannot be made on this application
until the correct fee is received.

Yours faithfully,

A handwritten signature in dark ink, appearing to be 'R.J.', written over a dotted line.

PRINCIPAL OFFICER

Mr Paul Brazil,
Architects,
25 Dartmouth Square,
Ranelagh,
Dublin 6.

9/10/029

CERTIFICATE NO: 24219

PROPOSAL: House + Stables

LOCATION: Redgair Rathcoole

APPLICANT: B. Murphy

1	2	3	4	5	6	7
DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE RES.	AMOUNT LOGGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO
Dwellings	@€32	32	32			
	@€16					
	@€50 per 100 M ² in excess of 300M ² Min. 240					
metres ² 116.0m ²	@€1.75 per M ² or 240	203	NIL	203		Not collect.
x .1 hect.	@€25 per hect. or 240					
x .1 hect.	@€25 per hect. or 240					
x .1 hect.	@€25 per hect. or 240					
x metres ²	@€10 per M ² or 240					
x 1,000m ²	@€25 per 1,000m ² or 240					
x .1 hect.	@€5 per hect. or 240					

140 20/2/91
N/31359

Change of domestic rate - zero which was paid on 22/2/91.
Per N. O'Connell 26/3.

Column 1 Certified: Signed: *J. Young* DFE Date: 13/2/91

Column 1 Endorsed: Signed: *[Signature]* Grade: S.O Date: 13/2/91

Columns 2,3,4,5,6 & 7 Certified Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

DUBLIN COUNTY COUNCIL

PLANNING DEPARTMENT

Register Reference : 91A/0129

Date Received : 7th February 1991

Applicant : B. Murphy,

Appl.Type : PERMISSION

Development : replacement dwelling and septic tank and retention of
existing house as outhouse with 6 new loose boxes and
hayshed

LOCATION : Redgap, Rathcoole

O.S.REFS.

21-13			
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AREA REFERENCE

W	R	0	1	1	0
---	---	---	---	---	---

HISTORY

88A-1164	89A-682			

FEE CERTIFICATE NO. _____

FEE CLASS

--	--	--	--

MEASUREMENT FOR FEES

--	--	--	--

SIGNED DATE
SENIOR EXECUTIVE DRAUGHTSMAN

FEE PAID	FEE ASSESSED	BALANCE DUE

CERTIFIED _____ GRADE _____ DATE _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: *91A/129*

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL: *1249 sqm*

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ *1*
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

*J.Y.
13/2/91.*

4
Seol áon fhreagra chun
(Reply to)

AN RÚNAÍ
(The Secretary)

faoin uimhir seo:—
(Quoting)



AN ROINN COSANTA
(Department of Defence)

TEACH NA PÁIRCE
(Park House)

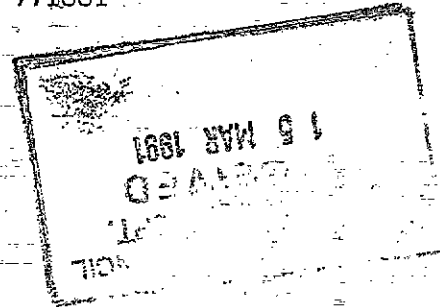
BAILE ÁTHA CLIATH, 7
(Dublin, 7)

2/50719

Teileafón 01/XXXXXX 771881

13 March, 1991.

Dear Sir,



Re: Planning Applications which might affect the use
of Casement Aerodrome, Baldonnel, Co. Dublin.

I am directed by the Minister for Defence to refer to applications:

91A/0129 - B. Murphy, Redgap, Rathcoole.

91A/0134 - S. Kelly, Athgoe North.

91A/0138 - T. & S. Taverns Ltd., The Red Cow Inn, Clondalkin.

91A/0142 - Larnwood Ltd., Ballymount Road Upper, Ballymount Little.

91B/0103 - Michael Smyth, Saggart Hill, Crooksling.

No objection is seen to these developments provided they are not of exceptional height.

Yours sincerely,

JOHN P. MORAN
EXECUTIVE OFFICER

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	15/3/91
Time	12:45

The Secretary,
Dublin County Council,
Planning Department,
Irish Life Mall,
Lower Abbey Street,
Dublin 1.

COMHAIRLE CHONTAE ATHA CLIATH

TO: G. Boothman,
Executive Planner.

REG. REF. 91A/0129

RE: Proposed replacement dwelling and septic tank and retention of
existing house as outhouse with 6 new loose boxes and hayshed at
Redgap, Rathcoole for B. Murphy.

I attach for your observations memo/letter dated 29th April, 1991 from An Bord Pleanala.

Please reply before: 14th August, 1991

Spence
for Principal Officer

DATED: 31 July 1991

OBSERVATIONS:

PLEASE NOTE COMMENTS OF MR. P. KENNY ON ATTACHED LETTER - DATED 5.6.91

No comment further
to planning officer's
report dated 21/3/91

Letter to A.B.P.
issued 9/10/91.

Signature of person
making observations: _____

Countersigned: *P. Cronin*
(S.E.D.C.)

DATE: _____

DATE: 25.9.91

AH
N.R. PRENDERGAST



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

An Bord Pleanála,
Floor 3,
Blocks 6 & 7,
Irish Life Centre,
Lower Abbey St.,
Dublin 1.

Our Ref: 91A/0129
Your Ref.: PL6/5/85635
5 June 1991

Re: Proposed replacement dwelling and septic tank and retention of existing house as outhouse with 6 new loose boxes and hayshed at Redgap, Rathcoole for B. Murphy.

Dear Sir/Madam,

I refer to your letter dated 29th April, 1991, enclosing correspondence with regard to the above appeal.

The Planning Authority's comments are as follows:-

Roads Department have no objection to the proposed relocation of entrances.

Yours faithfully,

for Principal Officer.

Why are we
reopening our case in
this way. If we originally
used traffic hazard as a
reason, we should not
overrule ourselves and say now it
is not just because ^{we} have changed their minds



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
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Telephone. (01)724755
Fax. (01)724896

An Bord Pleanála,
Floor 3,
Blocks 6 & 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Our Ref: 91A/129

Your Ref: PL6/5/85635

Date: 16 May 1991

RE: Proposed replacement dwelling and septic tank and retention of existing house as outhouse with 6 new loose boxes and hayshed at Redgap, Rathcoole for B. Murphy.

Dear Sir/Madam,

I refer to your letter dated 29th April, 1991, enclosing grounds of appeal from Paul Brazil Architect.

It is considered that the grounds of appeal do not raise any new matter which in the opinion of the Planning Authority would justify a change of attitude to the proposed development. The points raised have been dealt with in the Planning Authority's decision order dated 26th March, 1991.

Yours faithfully,

RE - TYPE.

for Principal Officer.

Ken Maden has indicated that Roads Dept have no objection to the proposed relocation of entrance
AM 30/5/91.

Mr. Jim Carson,
Building Control,
Liffey House,
Tara Street,
Dublin 2.

RW/GC RW/GC

1/7/91

Re; Dwelling and stables at Redgap, Rathcoole. Reg.Ref. 91A/129

Dear Jim,

I enclose a copy of correspondence from Paul Brazil Architect regarding the above application.

Yours faithfully,


STAFF OFFICER

PK

PAUL BRAZIL ARCHITECT

B. ARCH. MR IAI, RIBA

DUNION HOUSE, 25 DARTMOUTH SQUARE, DUBLIN 6.

TEL. 682947

Our Ref PB/SMC

15 March 1991

Dublin County Council
Planning Department
Irish Life Centre
Lower Abbey Street
Dublin 1

Re Dwelling and stables at Redgap, Rathcoole,
for Mr B. Murphy.
Reg. Ref. 91A/129.

Dear Sir

We are in receipt of your letter dated 14/03/91. We would like to confirm on behalf of our client Mr B. Murphy that the Bye Law Application submitted is for dwelling house only and does not include the stables at this stage.

We would further like to clarify that the proposed stables will be for private use only and will not be commercial development. We therefore assume that the fee of £55.00 lodged is the correct fee.

Yours faithfully



PAUL J. BRAZIL B. ARCH., RIBA.

19. MAR 91

R.C.

COMHAIRLE CHONTAE ATHA CLIATH

TO: N.R. Prendergast,
S.E.D.C.

REG. REF. 91A/0129

RE: Proposed replacement dwelling and septic tank and retention of existing house as outhouse with 6 new loose boxes and hayshed at Redgap, Rathcoole for B. Murphy.

I attach for your observations memo/letter dated 29th April, 1991 from An Bord Pleanala.

Please reply before: 10th May, 1991

S. McMillen
for Principal Officer

DATED: 3 May 1991

OBSERVATIONS:

No further Comment

15 MAY 1991

Signature of person making observations: _____

Countersigned: _____
(S.E.D.C.)

DATE: _____

DATE: _____

Appeals

PLANNING DEPARTMENT

BOOK FOLIO

(1) Date Lodged

16.2.91

LOCATION: ~~Rodgar, Rathcoole~~

REG. REF. 91A/0129

APPLICANT: ~~Mr. J. Murphy~~

PROPOSAL: ~~Replacement dwelling & septic tank & ret. of house as outhouses & 5 loose boxes~~

(2) Date referred

DUBLIN COUNTY

Chief Medical Officer, Eastern Health Board

ENVIRONMENTAL HEALTH OFFICER

(3) Rec'd San. Services

See previous report 14.3.91 -
Insufficient Information -

In addition to items 1-9 of report 14.3.91 clarification required re whether it is proposed to provide sanitary accommodation for any staff who may be working in the stable yard.

(4) Dispatched by San. Ser. to C.M.O.:

(5) Rec'd Planning:

Ames Donohoe
7-5-91.

(6) Date to Planner:

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 08/05/91
Time 4.00 P.M.

(7) D.P.O. Report to be submitted before:

(9) Decision due:

(8) DPO Report submitted to S.A.O.:

ENDORSED: Aa Devine
for John O'Leary FETO

DATE: 7-5-91

SS + cmo

SS + CMO

MD

PLANNING DEPARTMENT

BOOK FOLIO

(1) Date Lodged

16.2.91

LOCATION: Redgap, Rathcoole

REG. REF. 91A/0129

APPLICANT: Mr. B. Murphy

PROPOSAL: Replacement dwelling & septic tank & ret. of house as outhouses & 6 loose boxes

(2) Date referred:

15/4

FOUL SEWER

Sanitary Services of Co. report required

Soak pit proposed - refer to E. H. B.

It is noted that a reserve percolation has not been indicated

Rec'd San. Ser.

18 APR 1991

Dispatched by
SANITARY SERVICES

2 MAY 1991

Returned *GL*

SURFACE WATER

Soak pits proposed - refer to A.B.L. Dept

(5) Date to Planning

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date *26/05/91*
Time *2:30 P.M.*

(6) Date to Planner

(7) D.P.O. report to be submitted before:

(9) Decision due:

(8) D.P.O. report submitted to S.A.O.:

J. Rice
29/4/91

PK
15/4/91

ENDORSED

DATE

EMCP
12/4

PLANNING DEPARTMENT

BOOK FOLIO

(1) Date Lodged
16.2.91

LOCATION: Redgap, Rathcoole

REG. REF. 91A/0129

APPLICANT: Mr. B. Murphy

PROPOSAL: Replacement dwelling & septic tank & ~~ret. of house as outhouses & 6 loose boxes~~

WATER SUPPLY

No to to water mains in
this area - well proposed.

[Signature]
22/4/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 06/05/91
Time 2.30 p.m.

ENDORSED: *[Signature]* DATE 24/4/91
[Signature] 30/4/91

p | 1280/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/0129 Date Received : 7th February 1991

Correspondence : Mr Paul Brazil,
Name and : Architects,
Address : 25 Dartmouth Square,
Ranelagh,
Dublin 6.

Development : replacement dwelling and septic tank and retention of
existing house as outhouse with 6 new loose boxes and
hayshed

Location : Redgap, Rathcoole

Applicant : B. Murphy,

App. Type : Permission

Zoning : 'B' - agricultural

Report of the Dublin Planning Officer, dated 21st March, 1991.

This application is for permission for a replacement dwelling and septic tank and retention of an existing (derelict) house as an outhouse with six new loose boxes and a hayshed on a site at Redgap, Rathcoole.

ZONING AND PLANNING HISTORY:

The proposed site is located in an area zoned "to protect and provide for the development of agriculture" in the Development Plan.

There appears to have been no previous planning applications on the site.

DEPARTMENTAL REPORTS:

In a verbal report on 14/2/91, the Roads Department indicated that:

- (i) the existing road network in the vicinity of the site is substandard with respect to both vertical and horizontal alignments,
- (ii) the sightlines are inadequate at the proposed entrance,
- (iii) as such, turning movements would endanger public safety by reason of traffic hazard.

The Environmental Health Officers report was ~~not received~~.

REPRESENTATIONS:

There are no objections lodged.

PLANNING COMMENT:

The site of some 8 acres is zoned agricultural and, as the applicant has not indicated either his need to live there or his present address on the lodged

MF

insufficient information

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0129

Page No: 0002

Location: Redgap, Rathcoole

documents, any permission for a dwelling as proposed would represent a material contravention of the zoning for the area. In fact, the site is surrounded on three sides by lands which have high amenity zoning - 'G'.

The existing house is in a derelict state and has obviously not been habitable for some considerable time. It is currently in use as a stable and without doors, window glass or functioning plumbing. Any claim that the proposed house would be a "replacement house" cannot, therefore, be accepted.

The applicant has not demonstrated the suitability of the soil on the site for the proposed septic tank drainage and the location of the proposed percolation for same is shown in an area which is uphill and close by two existing houses to the north of the site.

An E.S.B. power line supported by pylons runs through the site and would pass within 30 metres of the proposed house while the registration map shows a "proposed gas pipeline running East-West through the site and within a similar distance of the proposed house.

The design of the proposed large two storey house (321sq. metres floorspace) is heavily massed in its scale and it incorporates several features and a brick finish which are not sympathetic to a rural area.

The comments of the Roads Department were noted and agreed with.

The proposed driveway was covered with flowing water at the time of the site visit.

I recommend that a decision to REFUSE PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990, for the following (6) reasons:-

REASONS FOR REFUSAL

- 01 The site is located in an area zoned in the County Development Plan 'B' - "to protect and provide for the development of agriculture. The proposed development would materially contravene that objective, and so be contrary to the proper planning and development of the area. *The development objective is not to be contravened and so the proposed development would be contrary to the proper planning and development of the area.*
- 02 The applicant has not demonstrated either his need to live in the area or any connection with the area in accordance with the requirements of Paragraph 2.3.9 of the County Development Plan. *the Co. Dublin Development Plan 1983 for the use primarily of the land for agricultural purposes and the purpose should be according to the proper planning and development of the area*

corrected

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0129

Page No: 0003

Location: Redgap, Rathcoole

MC

- 03 The applicant has not demonstrated the suitability of the soil for septic tank drainage. *The proposal would thus be prejudicial to public health*
- 04 The existing road network in the area is substandard and the additional turning movements generated by the proposed house would constitute a traffic hazard.
- 05 The sightlines at the proposed entrance are inadequate and, as such, turning movements at the entrance would endanger public safety by reason of traffic hazard.
- 06 The proposed house design, by virtue of its scale, the materials used and elements of its design, would be insensitive in a rural area which is surrounded by high amenity lands.

[Signature]
.....
for Dublin Planning Offices

Endorsed: - *[Signature]*
for Principal Officer

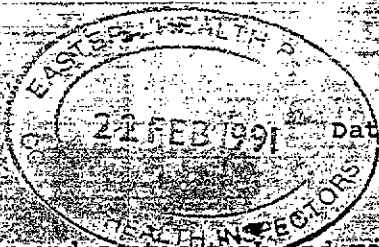
Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to REFUSE PERMISSION for the above proposal for the (6) reasons set out above is hereby made.

Dated : *26 March 1991* *[Signature]*
ASSISTANT CITY AND COUNTY MANAGER *Approved Officer*

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated ~~21st February 1991~~

15th March 1991

Register Reference : 91A/0129



Date : 14th February 1991

Development : replacement dwelling and septic tank and retention of existing house as outhouse with 6 new loose boxes and hayshed

LOCATION : Redgap, Rathcoole

Applicant : B. Murphy,

App. Type : PERMISSION

Planning Officer : M. DARLEY

Date Recd. : 7th February 1991

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Yours faithfully,

PRINCIPAL OFFICER

Specific information re

- ① Evidence of soil suitability for septic tank and septic filter & adequate site supply water available
- ② Proposed use of existing house
- ③ Reserve plot area not indicated
- ④ The area proposed plot area located in open
- ⑤ Drainage of existing house not indicated
- ⑥ Levels of site noted
- ⑦ Drainage of stable yard and stable area not indicated
- ⑧ Details noted to ensure adequate distance from boxed well to boxed well indicated on plan - proposed for serving both stables and domestic dwelling

John O'Reilly

SUPER-ENVIRON. HEALTH OFFICER,
33 GARDINER PLACE,
DUBLIN 1.

M. Darley
14-3-91

20/3/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date <i>21.3.91</i>
Time <i>2.45</i>

REF. NO.: 91A/129

CERTIFICATE NO.: 14231^S

PROPOSAL: Dwelling & stables

LOCATION: Redgap, Rathcoole

APPLICANT: B. Murphy

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling ^{X1} (Houses/Flats)	€ 255	£55	£55	—		
B	Domestic Ext. (Improvement/ Alts.)	€ 230					
C	Building for office or other comm. purpose <i>doc 24219 - 116 m²</i>	€ 23.50 per M ² or 270	£406	—	£406		
D	Building or other structure for purposes of agriculture	€ 21.00 per M ² in excess of 300 M ² Min. 270					
E	Petrol Filling Station	€ 200					
F	Dev. of prop. not coming within any of the forgoing classes	€ 70 or € 9 per .1 hectre whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: M. Dee Grade: III Date: 12/3/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

Our Ref: PL 6/5/85635
P.A. Ref: 91A/129

Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 17 OCT 1991

18. OCT 91

Appeal re: Construction of a dwellinghouse and septic tank and retention of existing house as outhouse with six loose boxes and hayshed on lands at Redgap, Rathcoole, County Dublin.

Dear Sir,

An order has been made by An Bord Pleanála determining the above-mentioned appeal under the Local Government (Planning and Development) Acts, 1963 to 1990. A copy of the order is enclosed.

Yours faithfully,


Miriam Baxter.

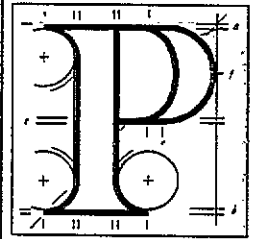
Encl.

BP 352

DEVELOPMENT
21 OCT 1991
CONTROL

PA

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

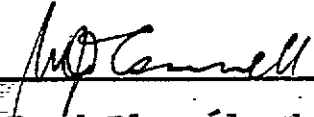
AN BORD PLEANÁLALOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990County DublinPlanning Register Reference Number: 91A/129

APPEAL by B. Murphy care of Paul Brazil of Dunton House, 25 Dartmouth Square, Dublin against the decision made on the 26th day of March, 1991 by the Council of the County of Dublin to refuse permission for development comprising the construction of a dwellinghouse and septic tank and the retention of an existing house for use as an outhouse with six loose boxes and hayshed on lands at Redgap, Rathcoole, County Dublin:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, permission is hereby refused for the said development for the reasons set out in the Schedule hereto.

SCHEDULE

1. The development would contravene materially a development objective indicated in the Dublin County Development Plan, 1983 to use the land of which the site forms part "to protect and provide for the development of agriculture". This objective is considered reasonable and the proposed development would, therefore, be contrary to the proper planning and development of the area.
2. The proposed development would endanger public safety by reason of traffic hazard because visibility at the proposed vehicular entrance is severely restricted and the turning movements generated by the development would interfere with the safety and free flow of traffic on the adjoining road network.
3. The proposed development, by reason of its design, size and location, would be inconsistent with its setting and seriously injurious to the rural character of the area and would, therefore, be contrary to the proper planning and development of the area.
4. Satisfactory proposals for the disposal of sewage have not been made. The proposed development would, therefore, be prejudicial to public health.



Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this 17th day of October 1991.

An Bord Pleanála,
Floor 3,
Blocks 6 & 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Our Ref: 91a/0129

Your Ref: p16/5/85635

Date: 27 September 1991

RE: Proposed replacement dwelling and septic tank and retention of existing house as outhouse with 6 new loose boxes and hayshed at Redgap, Rathcoole for B. Murphy.

Dear Sir/Madam,

I refer to your letter dated 29th April, 1991, enclosing correspondence regarding the above appeal.

It is considered that the grounds of appeal do not raise any new matter which in the opinion of the Planning Authority would justify a change of attitude to the proposed development. The points raised have been dealt with in the Planning Authority's decision order dated 26th March, 1991.

Yours faithfully,



for Principal Officer.

COMHAIRLE CHONTAE ATHA CLIATH

Tel.: 724755
Ext. 268/269

Planning Department,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

Your Ref.: PL6/5/85635
Our Ref.: 91A/0129

3 May 1991

An Bord Pleanala,
Blocks 6 and 7,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1983

Proposal: Proposed replacement dwelling and septic tank and retention of existing house as outhouse with 6 new loose boxes and hayshed at Redgap, Rathcoole
Applicant: B. Murphy.

Dear Sir,

With reference to your letter dated 29th April, 1991 I enclose herewith:-

- (1) & (2) A copy of the application which indicated the applicant's interest in the land or structure.
- (3) A copy of the public notice given, i.e. Irish Press, 26th January, 1991.
- (4) The plan(s) received from the applicant on 7th February, 1991.
- (6) & (7) A certified copy of Manager's Order P/1280/91, dated 26th March, 1991 together with technical reports in connection with the application.

Yours faithfully,


for Principal Officer.

Encls.

Our Ref: PL 6/5/85635
Your Ref: 91a/129

Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 29th April 1991

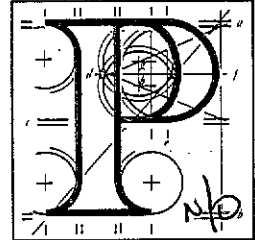
Planning authority decision re: Replacement dwelling and septic tank and retention of existing house as outhouse with 6 new loose boxes and hayshed at Redgap, Rathcoole, County Dublin.

Dear Sir/Madam,

Enclosed is a copy of an appeal under the Local Government (Planning and Development) Acts, 1963 to 1990, in relation to the above-mentioned decision. So that consideration of the appeal may proceed, you are requested to forward to the Board within two weeks:

- (1) The application made to the planning authority.
- (2) Particulars of the applicant's interest in the land or structure, as supplied to the planning authority.
- (3) A copy of the public notice, whether published in a newspaper or on the site.
- (4) Any drawings, maps, particulars, information, evidence or written study received or obtained from the applicant, including the ordnance survey number.
- (5) Copies of requests (if any) to the applicant for further information relating to the application under appeal and copies of reply and documents (if any) submitted in response to such requests.
- (6) A certified copy of the relevant Manager's Order.
- (7) Copies of any technical or other reports relevant to the decision on the application.
- (8) Particulars and relevant documents relating to previous decisions affecting the same site or relating to applications for similar development close by.

211
An Bord Pleanála



Floor 3 Blocks 6&7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

30 APR 91

DEVELOPMENT
- 2 MAY 1991
CONTROL

265

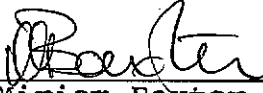
Please note that the other party/parties to the appeal are being notified that copies of the planning authority documents relevant to the decision which gave rise to the above-mentioned appeal will be available for inspection at your offices after the expiration of a period of fourteen days from the date of this letter. It would be appreciated if parties could be facilitated in this regard.

Copies of the representations or observations made to the planning authority in relation to the application should not be sent to the Board. It is assumed that the planning authority has notified observers of the decision made and of the right of appeal.

The planning authority may make to the Board, in writing, such observations on the appeal as it thinks fit. Where practicable, any such observations should be submitted with the documents listed above but the furnishing of the documents should not be held up until observations are available. In any event, to ensure that they will be taken into account in the determination of the appeal, any such observations should be furnished within one month of the date of this letter.

Please quote the above appeal reference number in any further correspondence.

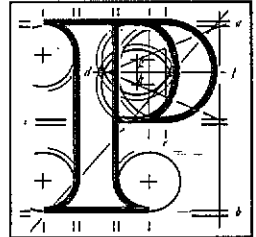
Yours faithfully,


Miriam Baxter.

Encl.

BP 005

An Bord Pleanála



Floor 3 Blocks 6&7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

PAUL BRAZIL ARCHITECT

B.ARCH. MR.IAI RIBA

DUNTON HOUSE, 25 DARTMOUTH SQUARE E. DUBLIN 6.

TEL 682947

22 April 1991

Our Ref PB/SMC

An Bord Pleanala
Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1

AN BORD PLEANALA
Received 24/4/91
Fees: fifty POUNDS
Receipt No. B 22264

Re Replacement dwelling and septic tank and retention of existing house as outhouse with 6 new loose boxes and hayshed at Redgap Rathcoole for Mr B. Murphy.
- Decision to refuse by Dublin County Council
- Reg. Ref. : 91A/0129

Dear Sir

We are Architects retained by Mr B. Murphy and we wish to appeal the above decision on their behalf.

The grounds of appeal are as follows :

1. The site is located in an area zoned in the County Development Plan 'B' - to protect and provide for the development of agriculture. The proposed development would not materially contravene a development objective indicated in the County Dublin Development Plan 1983 for the use primarily of the land for agricultural purposes as the development is for a replacement of the existing cottage with a new dwelling.

The 8½ acres belonging to the cottage will remain in agricultural use as the applicant proposes to keep stock on this land. We will forward the Applicants Department of Agriculture stock number in due course.

2. The Applicant requires the property for their main residence and for the keeping of livestock which will include cattle and horses.
3. We are arranging for the testing of the soil for its suitability for septic tank percolation. The results will be forwarded to you in due course.

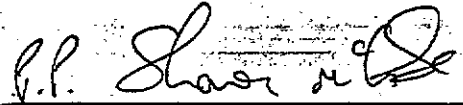
Contd/...

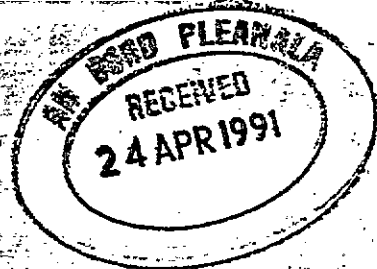
(2)

4. While the existing road network in the area is substandard, representations were made by ourselves to Dublin Co. Council Roads Planning Department with regard to the position of the proposed entrance. They expressed no objection to the development and suggested that the vehicular entrance be located as indicated in the planning application. We suggest that the notion that the additional turning movements generated by the proposed house would constitute a traffic hazard as nonsense as there is a cottage already in existence with an established entrance. The position of the entrance was changed for safety reasons.
5. The sight lines at the proposed entrance can be improved and thus not create a traffic hazard.
6. The Applicant and we as his Architects are willing to meet with the Dublin County Council Planners again and discuss and alter the house design so that the materials and elements of its design will not be insensitive to the rural character of the site. We have had pre planning meetings with the Dublin Co. Council Planners who did not express concern with regard to the design at that stage. Notwithstanding this we feel that elements of the design can be improved, thus creating a suitable solution to the problem.

We herewith enclose a Bye Law fee of £50.00 and we will be making further submissions to the Bord on inspection of the Planning File.

Yours faithfully


PAUL J. BRAZIL B.ARCH. RIBA.





Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

NOTIFICATION OF DECISION TO REFUSE PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 1280 /91 Date of Decision : ~~25th~~ ^{26th} March 1991 DB

Register Reference : 91A/0129 Date Received : 7th February 1991

Applicant : B. Murphy,

Development : replacement dwelling and septic tank and retention of
existing house as outhouse with 6 new loose boxes and
hayshed

Location : Redgap, Rathcoole

Time Extension(s) up to and including :

Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin
County Council, being the Planning Authority for the County Health
District of Dublin, did by order dated as above make a decision to
REFUSE PERMISSION in respect of the above proposal.

For the Reasons set out on the attached Numbered Pages.

NUMBER OF REASONS:- ⁶ ATTACHED.

Signed on behalf of the Dublin County Council..... *J. de Baetsel*.....
for Principal Officer

Date: *27/3/91*.....

Mr Paul Brazil,
Architects,
25 Dartmouth Square,
Ranelagh,
Dublin 6.

Reg.Ref. 91A/0129
Decision Order No. P/ 1280 /91
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

REASONS FOR REFUSAL

- 01 The site is located in an area zoned in the County Development Plan 'B' - "to protect and provide for the development of agriculture. The proposed development would materially contravene a development objective indicated in the County Dublin Development Plan 1983 for the use primarily of the land for agricultural purposes and the proposal would be contrary to the proper planning and development of the area. be contrary to the proper planning and development of the area.
- 02 The applicant has not demonstrated either his need to live in the area or any connection with the area in accordance with the requirements of Paragraph 2.3.9 of the County Development Plan.
- 03 The applicant has not demonstrated the suitability of the soil for septic tank drainage. The proposal would thus be prejudicial to public health.
- 04 The existing road network in the area is substandard and the additional turning movements generated by the proposed house would constitute a traffic hazard.
- 05 The sightlines at the proposed entrance are inadequate and, as such, turning movements at the entrance would endanger public safety by reason of traffic hazard.
- 06 The proposed house design, by virtue of its scale, the materials used and elements of its design, would be insensitive in a rural area which is surrounded by high amenity lands.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

INCORRECT FEE WITH BYE LAW APPLICATION

TELEPHONE: 724755

EXTENSION: 231/234

FAX.: 724896

PLANNING DEPARTMENT,

IRISH LIFE CENTRE,

LOWER ABBEY STREET,

DUBLIN 1.

Paul Brazil Architects,

25 Dartmouth Square.

Ranelagh.

Dublin 6.

19/7/91

REG. REF.: 91A/129

RE: Dwelling & stables at Redgap, Rathcoole, for S. Murphy.

Dear Sir/Madam,

I refer to your application for Bye Law approval in respect of the above proposal. I wish to inform you that the Planning Authority will not commence to consider the application until the appropriate fee is paid. If no fee or a fee less than the appropriate fee has been received by the County Council on the expiration of two months, commencing on the day the application is received, the application will be regarded as having been withdrawn.

The correct fee for the above mentioned application is £ 461.00.

Please quote the Register Reference No. stated above when submitting the fee.

AMOUNT LODGED = £ 55.00
AMOUNT DUE = £406.00

Yours faithfully,



for PRINCIPAL OFFICER

BYE-LAW APPLICATION

Dublin County Council
Comhairle Chontae Atha Cliath



Planning Application Form/
Bye - Law Application Form

PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building REDCAP RATHCOOLE CO. DUBLIN.
(If none, give description sufficient to identify)

3. Name of applicant (Principal not Agent) MR. B. MURPHY

Address C/O PAUL BRAZIL ARCHITECTS 25 DARTMOUTH SQ. Tel. No. 682947

4. Name and address of PAUL BRAZIL ARCHITECTS 25 DARTMOUTH SQ
person or firm responsible
for preparation of drawings RANELAGH DUBLIN 6 Tel. No. 682947

5. Name and address to which PAUL BRAZIL ARCHITECTS 25 DARTMOUTH SQ
notifications should be sent
RANELAGH DUBLIN 6.

6. Brief description of proposed development PROPOSED REPLACEMENT DWELLING AND SEPTIC TANK AND RETENTION OF EXISTING HOUSE AS OUTHOUSE AND 6 LOOSE BOXES AND HAYSHED.

7. Method of drainage SEPTIC TANK 8. Source of Water Supply BORED WELL

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used. RESIDENTIAL } EX COTTAGE
(b) Proposed use of each floor TACK ROOM }

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11.(a) Area of Site 8 ACRES Sq. m.

(b) Floor area of proposed development 321.36 SQM Sq. m.

(c) Floor area of buildings proposed to be retained within site EX COTTAGE 33.75 SQM Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD BYE LAW APPLICATION.

13.Are you now applying also for an approval under the Building Bye Laws?
Yes No Place in appropriate box. REC. No. N31664 55.00

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
THE DRAFT BUILDING REGS HAVE BEEN ADHERED TO WHERE APPLICABLE BUT THIS IS NOT A GAURANTEE OF COMPLIANCE.

15.List of documents enclosed with application. 2 COPIES Dwg NO'S 90/01/01 02 03 04 05 06, 07.
SITE LOCATION, OUTLINE SPECIFICATION, BYE-LAW FEE 55
ROOF TRUSS DESIGN PACKAGE.

16.Gross floor space of proposed development (See back) 321.36 SQM Sq. m.

No of dwellings proposed (if any) 1 Class(es) of Development A

Fee Payable £ 55 Basis of Calculation STANDARD BYE-LAW FEE FOR CLASS A DEVELOPMENT

If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Mal Mc Laughlin Date 20-2-91.

Application Type FOR OFFICE USE ONLY

Register Reference 91A/0129

Amount Received £.....

Receipt No 2-38.0.2

Date BBL

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.

4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:76.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/ Commercial Purposes	£3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

RECEIPT CODE

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY **DUBLIN COUNTY COUNCIL**
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

[RECEIPT CODE]

BYE LAW APPLICATION.

- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

REC. No. N 31664

£55.00

Received this 27th day of February 1991

from Paul Craig Arch.
25 Dartmouth Square,
Ranelagh, D.6

the sum of fifty five Pounds

Pence, being no for
bye-law application at Redgap Rathcoole

Michael Deane Cashier

S. CAREY Principal Officer Clas Ax!

COMHAIRLE CHONTAE ATHA CLIATH

PAID BY DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

BYE LAW APPLICATION.

- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

REC. No. N 31664

£55.00

Received this

27th

day of

February

19

from

Paul Brazil, Arch.
25 Dartmouth Square,
Ranelagh, D.6

the sum of

fifty five

Pounds

Pence, being

70 for

bye-law application at Redgap, Rathcoole

Noelce Deane

Cashier

S. CAREY
Principal Officer

Class Axi

PAUL BRAZIL ARCHITECT

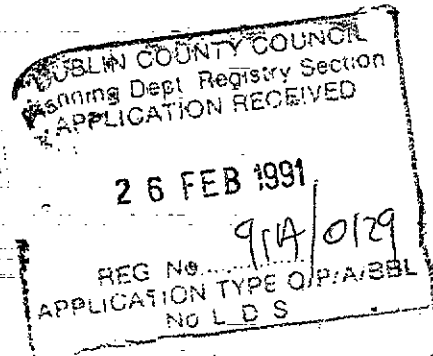
B.ARCH. MR.IA. RIBA

DUNTON HOUSE, 25 DARTMOUTH SQUARE E, DUBLIN 6.

TEL 682947

25 February 1991

Dublin Co Council
Building Control Section
Irish Life Centre
Lower Abbey Street
Dublin 1



Re : Replacement dwelling and septic tank at Redgap Rathcoole
Co. Dublin for Mr B. Murphy.
Plan Reg. No. 91A/0129.

Dear Sir

We are Architects for the above development and we now wish to apply for Building Bye Law Approval on behalf of our client Mr B. Murphy.

We herewith enclose 2 copies of the following information for your approval :

Drg. No. 91.01.01 Ground Floor Plans
Drg. No. 91.01.02 1st Floor Plans
Drg. No. 91.01.03 Elevations and Sections
Drg. No. 91.01.04 Elevations
Drg. No. 91.01.05 Site Layout
Drg. No. 91.01.06 Site Plan
Drg. No. 91.01.07 Site Sections

Site Location Map
Septic Tank Details

We also enclose a Building Bye Law Fee of £55.00.

Yours faithfully

PAUL J. BRAZIL B.ARCH. RIBA.

Location map only

1:1000

SAGGART

G 6-651

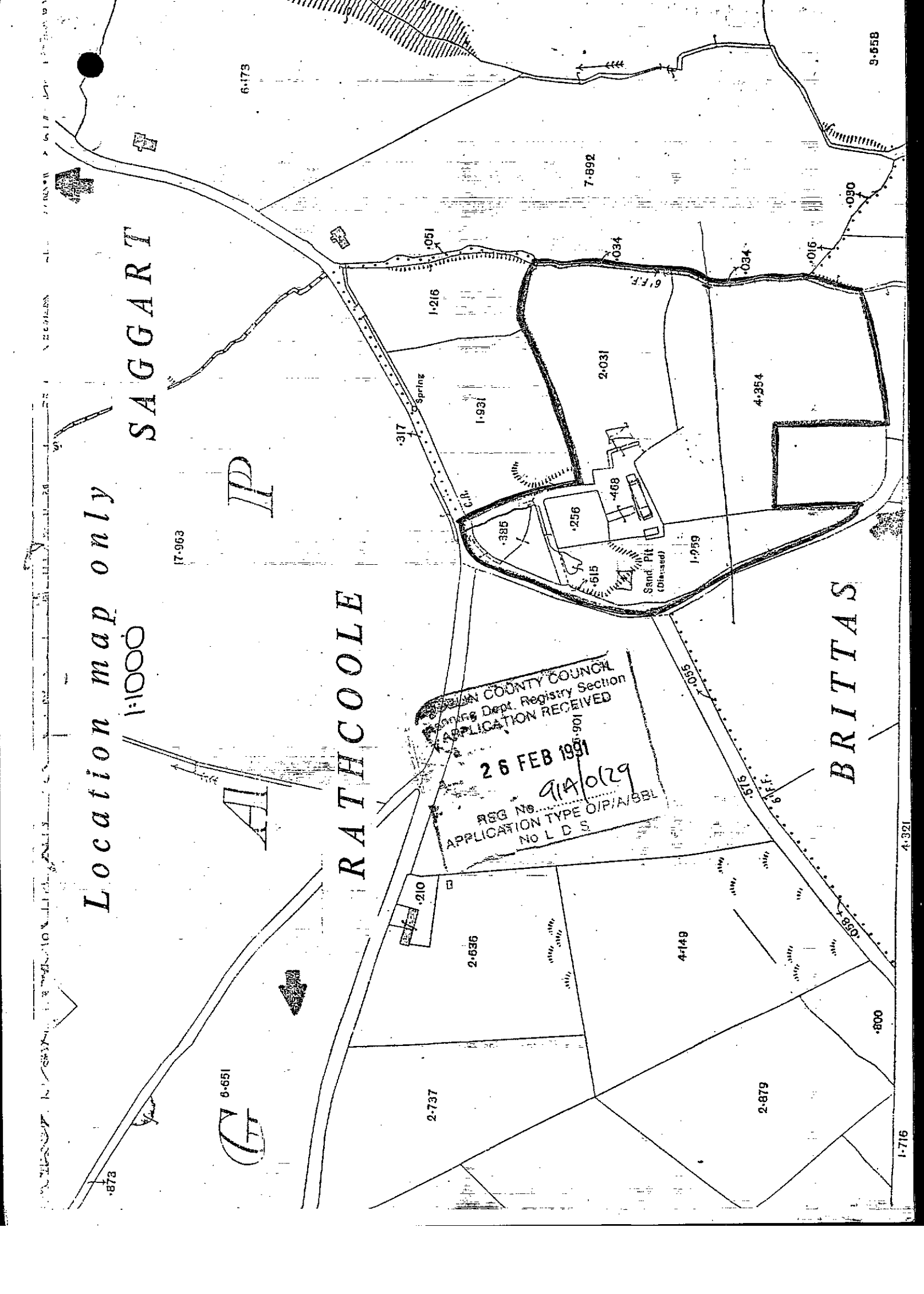
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P

RATHCOOLE

BRITTAS

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 26 FEB 1991
 REG No. 91A/029
 APPLICATION TYPE O/P/A/BBL
 NO L D S



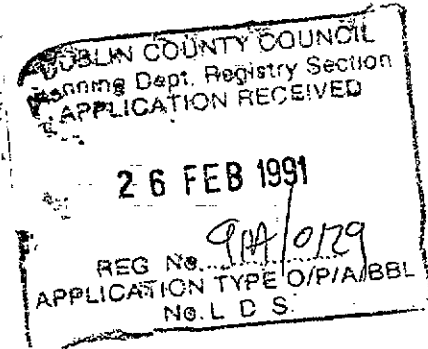
Date: February 1991

Outline Specification: - Where Applicable

Client: Mr B. Murphy

Job No: 91.01

Job Title: House at Redcap Rathcoole



- (19) Substructure: Reinforced concrete strip foundations. Solid 225mm concrete block rising walls to 300mm below DPC level. 150mm clean, sharp hardcore, blinding 1000g Polythene DPM lapped with wall DPC, 125mm oversite concrete. All in accordance with structural engineer's details.
- (21) External Walls: 215mm hollow concrete block rendered or 300mm cavity wall construction with 100mm conc. block leaf internally and 100mm clay facing brick or rendered conc. block externally. Wall ties at 450mm vertically and 900mm horizontally. Insulation: 50mm polystyrene cavity insulation.
- (22) Internal Walls & Partitions: Party walls --- 215mm solid concrete block with fire resistance greater than 1 hour. Partitions - 100mm Stud and slab, skimmed or patent partition system.
- (23) Floors: 150mm concrete ground slab.
- (27) Roofs: Conventional pitched, 115mm x 38mm common rafters at 400mm centres. 115mm x 38mm ceiling joists and collar ties. 100mm fibreglass quilt insulation laid between ceiling joists/roof joists/proprietary roof truss in

accordance with manufacturers spec.

(31) Windows:

Painted vac-vac treated s/w timber windows, double glazed with 20mm factory fitted sealed units/alternative P.V.C. double glazed windows/H/w double glazed windows. Soft wood panel doors, painted.

Bay Window:

Structure to structural engineer's detail.

(41) External Wall Finishes:

Block rendered with cement:lime:sand and finished with either 'Sandtex High Build' or other approved external paint. Alternative - pebble dash finish.

(42) Internal Wall Finishes:

Gypsum plaster or dry lining.

(43) Floor Finishes:

Power floated concrete slab to receive occupiers' own floor finishes.

(45) Ceiling Finishes:

Ceiling finishes: Gypsum plaster and/or plasterboard, where required. Decorative mouldings and centre pieces where necessary.

(47) Roof Finishes:

Interlocking concrete roof tiles or asbestos slating with terracotta ridge tiles.

(52) Sanitation:

PVC one pipe ventilated system designed in accordance with BS 5572:1978.

(53) Hot & Cold Water Services:

PVC and copper. Cold water storage at a minimum of 160 gallons.

(54) Space Heating:

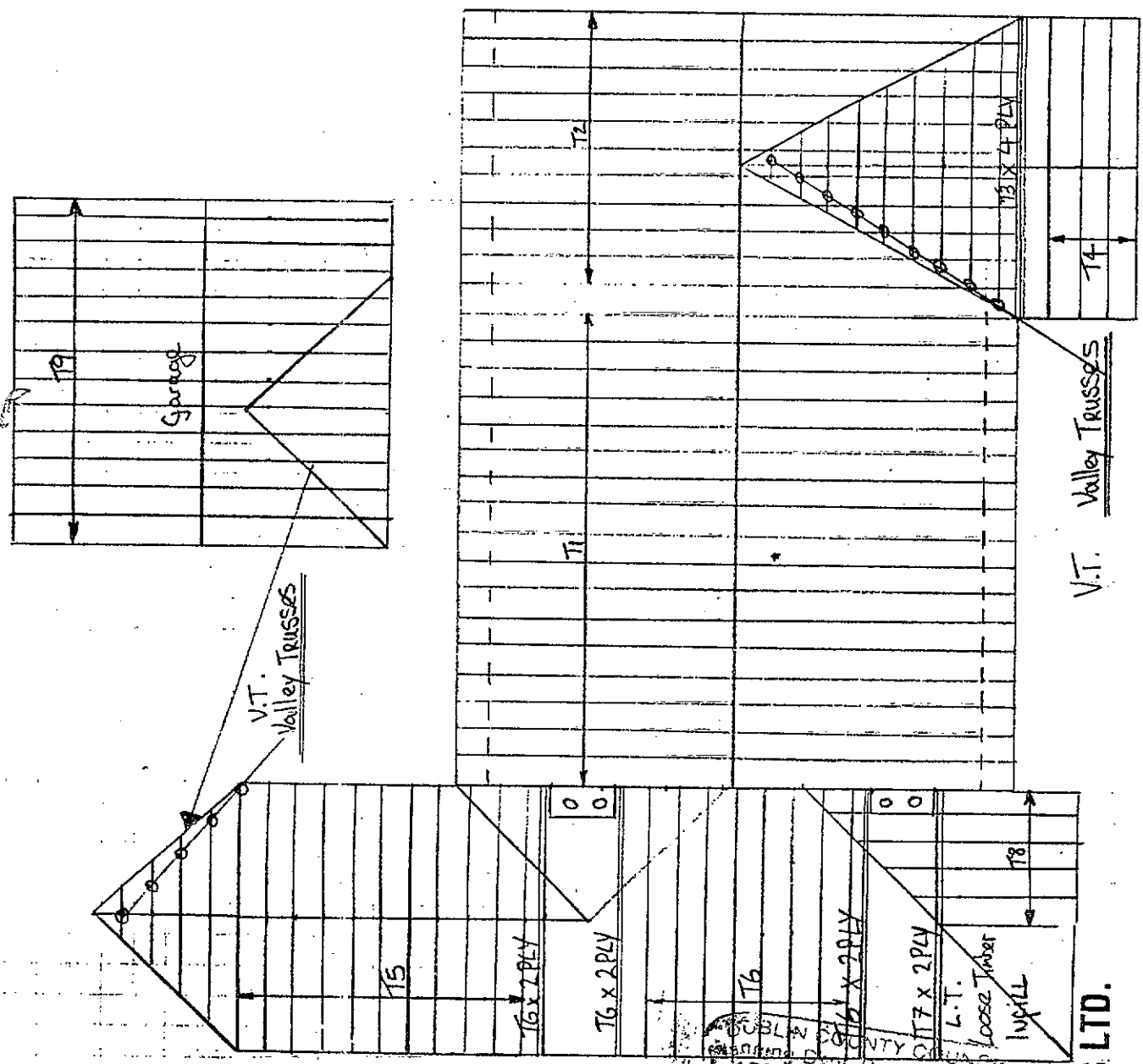
Oil fired boiler and low pressure HW radiators or thermostatically controlled electric heating.

(57) Ventilation:

Each habitable room is provided with one permanent ventilator.

(62/63) Electrical Installations:

To IEE and ESB standards.



V.T. Valley Trusses

V.T. Valley Trusses

LAYOUT SKETCH:

REF: Paul Brazil Architect
 RE: HOUSE AT REDCAP
 FOR MR. B. MURPHY D.S.

DUBLIN COUNTY COUNCIL
 Building Dept. Registry Section
 APPLICATION RECEIVED
 FEB 1991
 91A/029
 APPLICATION TYPE O/P/A/BBL
 D.S.

W. & S. TIMBER COMPONENTS LTD.

EAST ROAD INDUSTRIAL COMPLEX,
 EAST ROAD,
 DUBLIN 3.

TELEPHONE: (01) 746623 / 746540. FAX: (01) 365783

(73) Kitchens:

Fitted kitchen units to Architect's specification.

(74) Sanitary Fittings:

Coloured bathroom suite to Architect's specification.

(92) Site Works:

Tarmacadam vehicular circulation areas - 150mm blinded clean, sharp hardcore. 50mm base course and 25mm wearing course. Engineering brick and/or concrete edging derbs. CI or RCC road gullies. Individual pedestrian access paths tarmacadam or pressed concrete flats and/or brick paviments.

Dwarf walls, dustbin enclosures, general landscape features in solid clay bricks (3rds) or clay paviments.

External lighting to similar or better standard than surrounding public roads. All mains services run underground. Group VHF/UVF areals.

THE FOREGOING OUTLINE SPECIFICATION IS TABULATED IN ACCORDANCE WITH THE NATIONAL STANDARD BUILDING ELEMENT TABLE.

3.774

1.303

1.395

1.371

36

1.271

2523

2523

1.527

32.3

51.3

51.3

51.3

2.52

5

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4.13

51.3

51.3

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1.1

1.1

1.1

5.20

5.20

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5.20

2.272

2.134

2.272

3.575

3.739

3.575

3.693

3.693

3.575

701

3.774 1.303 1.395 1.371 36 1.271 2523 51.3 51.3 51.3 51.3 5.20 5.20 5.20 4.13 51.3 1.1 1.1 1.1 1.1 2.272 2.134 2.272 3.575 3.739 3.693 3.575

71

JAPANESE HOUSE KIT HOUSE KIT HOUSE KIT

© W. H. & M. P. CO. LTD.



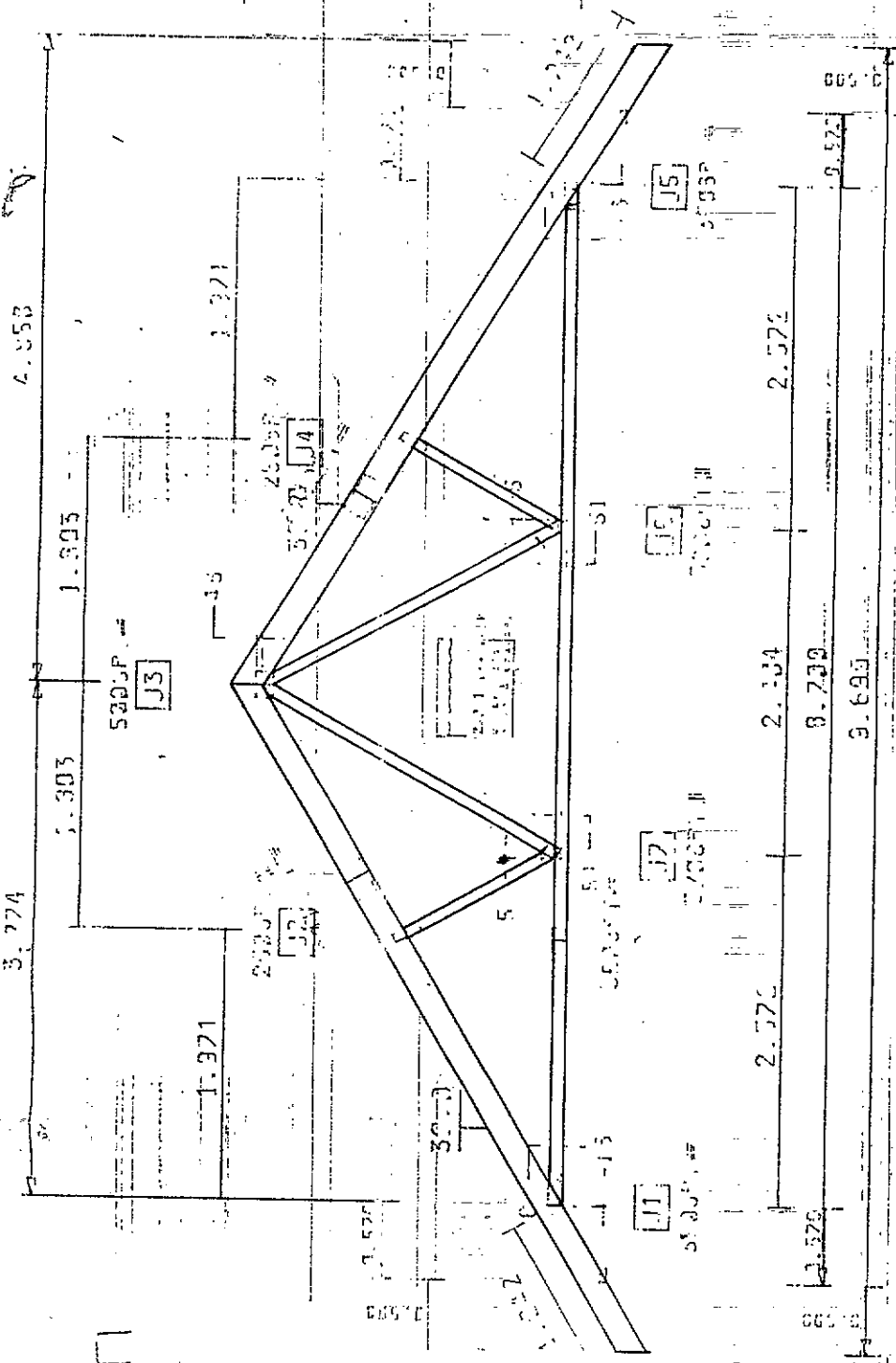
FOR DETAILS, PLEASE REFER TO THE DRAWING SHEETS 1/135 55

FOR DETAILS, PLEASE REFER TO THE DRAWING SHEETS 1/135 55

FOR DETAILS, PLEASE REFER TO THE DRAWING SHEETS 1/135 55

FOR DETAILS, PLEASE REFER TO THE DRAWING SHEETS 1/135 55

Ref: TI



701

ST. JULIEN, QUEBEC, CANADA

PRODUCTION DE J.B. COLLETT

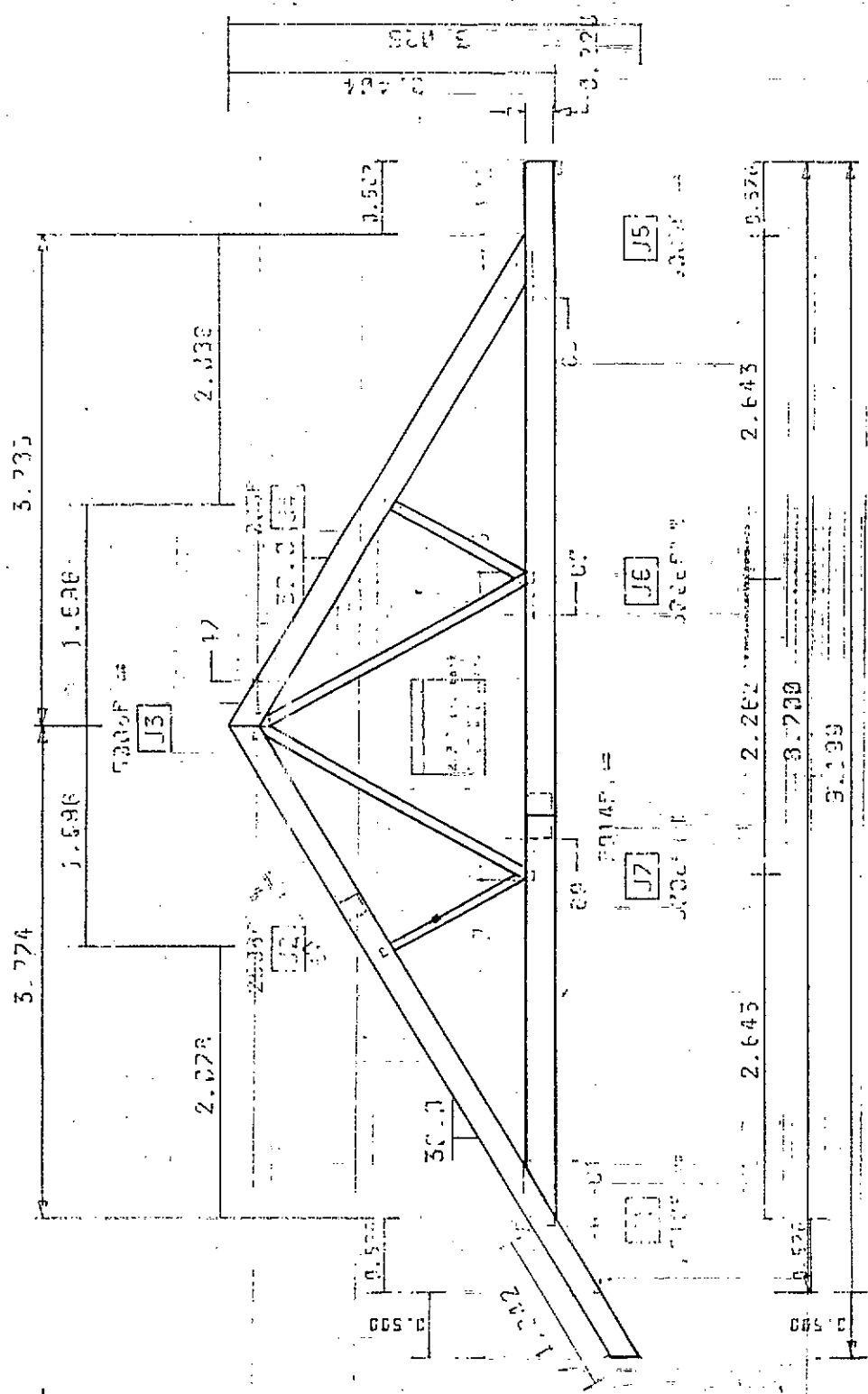
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J.B. COLLETT
PRODUCTION DE J.B. COLLETT



PRODUCTION DE J.B. COLLETT

Ref T2



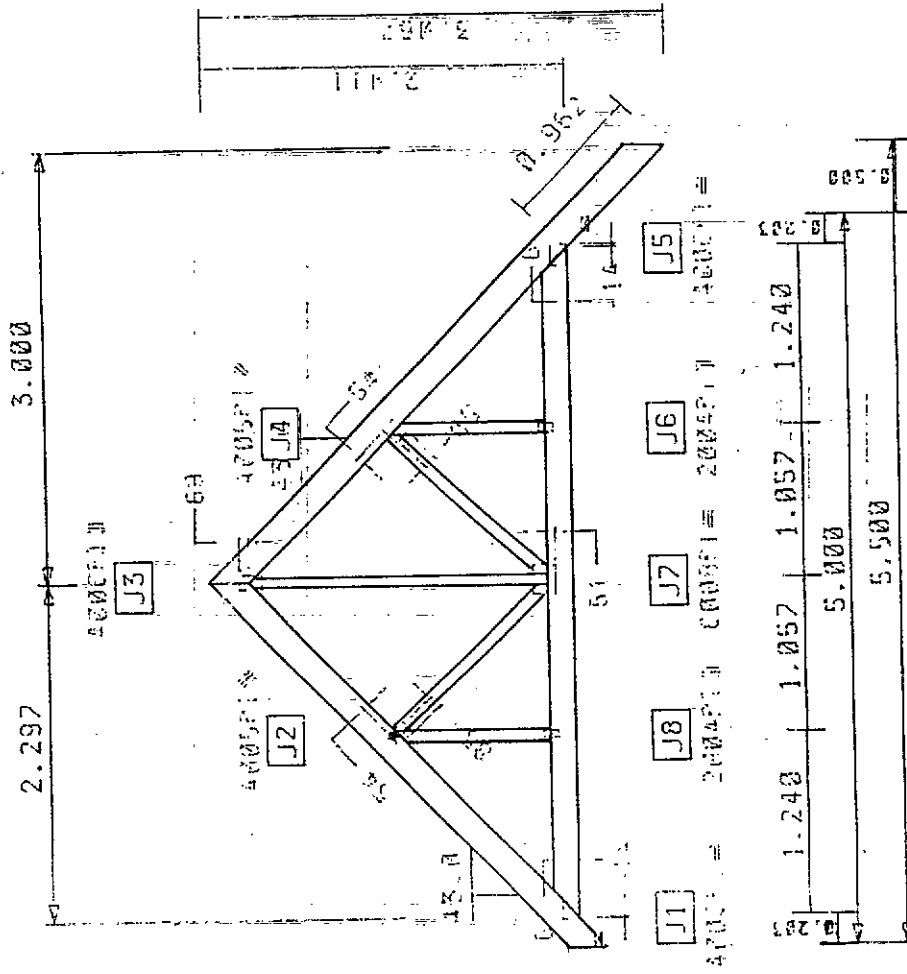
701

© 1995 LUKILU-1391
 2 3 P10
 12-1995
 HOUSE WOODWORKS LTD
 CUMBERSHIP COMPONENTS LTD



18195 55
 1920 23
 12X 2 23

Ref: T3



800

Hydro-Air International UK Ltd 1991
 Reference: 5 of 9 Plan 1
 NTRUSS V10200 14-FEB-1991 08:10 User: F1301
 Scale: 1:50
 Job name: HOUSE AT REDCAP, BATHCOOLE

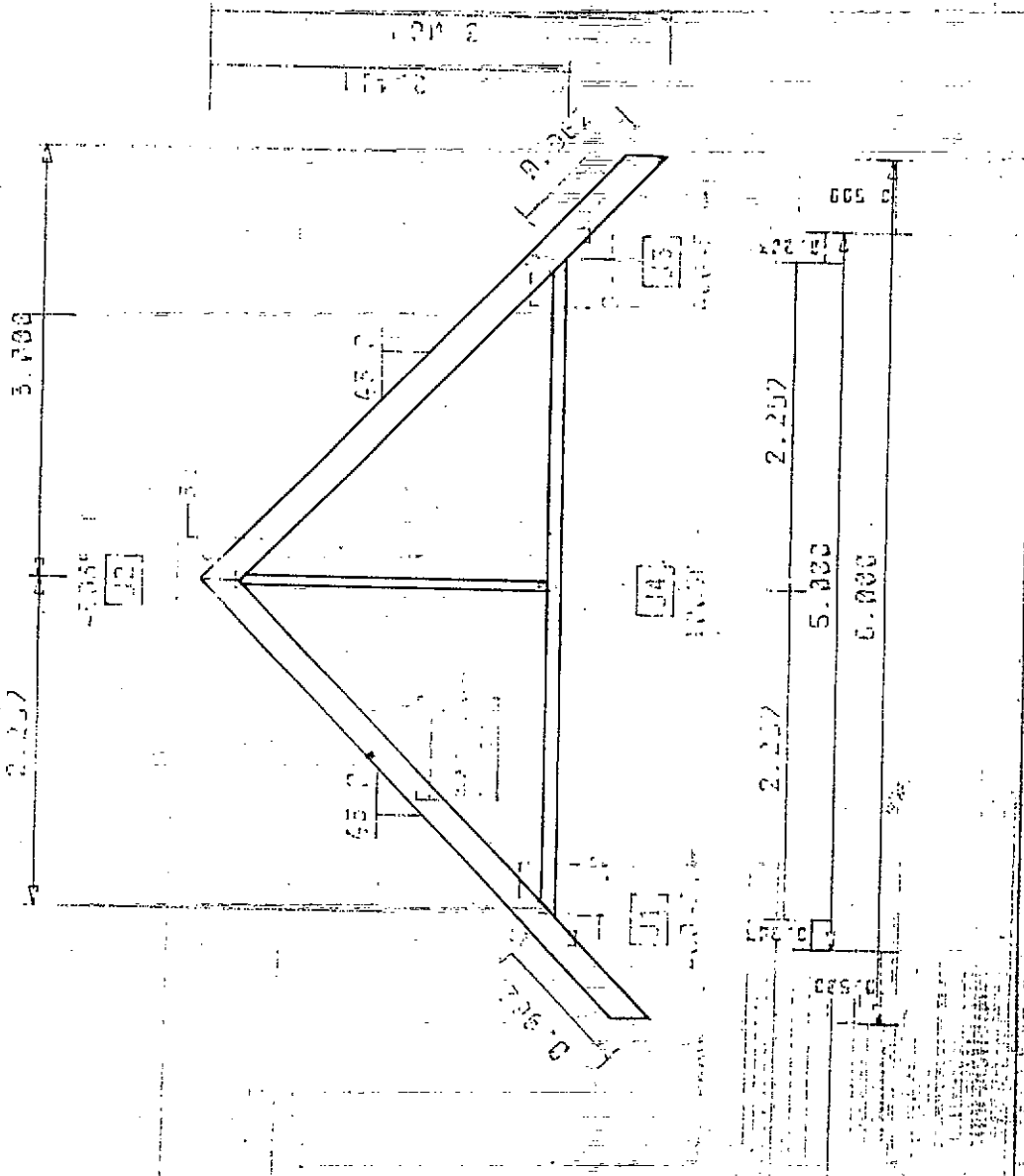
Top = chern 41X195 55
 Bottom chern 41X170 55
 Web = 41X 72 55
 Ply of floor = A



G & S TIMBER COMPONENTS LTD

Drawings to be read in conjunction with Master schedule.

REF: T4



400

© Ultra SI TRUSS SYSTEMS A (UK) LTD 1991

Scale: 1:50

Project: 14-TRUSS-1991/07/05

Drawn: P. 1301

Checked: P. 1301

Approved: P. 1301

Ref: 14-TRUSS-1991/07/05

Scale: 1:50

Project: 14-TRUSS-1991/07/05

Drawn: P. 1301

Checked: P. 1301

Approved: P. 1301

Ultralight Structures Ltd



Ultralight Structures Ltd

Ref: T5

2.700

1.875

400

J2

71

30.0

30.0

8

0.955

71

J1

400

1.875

4.400

5.399

1.875

0.325

0.500

0.955

71

J3

400

1.221

1.692

Top chord 34X120.55
Bottom chord 34X 72.55
Web 34X 72.55
Water tank to Bay 4

400 © Hydro-All International (UK) Ltd 1991
Reference: T5 Sequence 5 of 9 Plot 1
NTRUSS V1.25a 14-FEB-1991 08:10 User: F1331

Scale 1:25

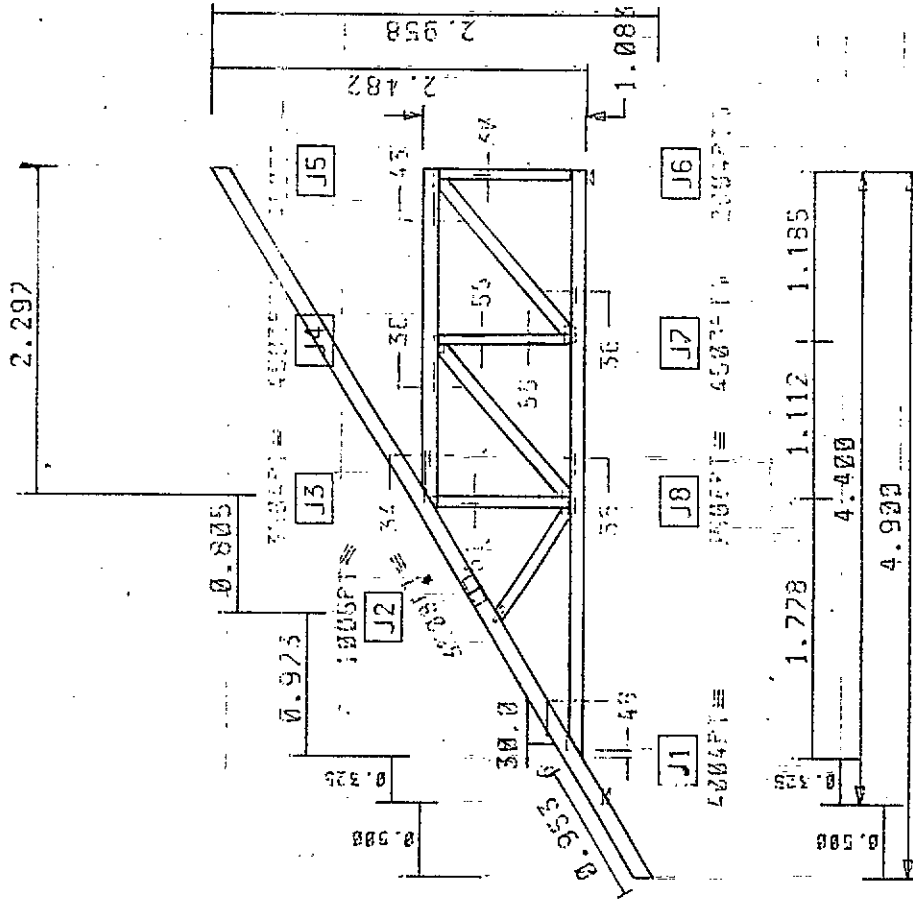
Job name: HOUSE AT REDCAR, NATHCOOLE

© W & S TIMBER COMPONENTS LTD



Drawings to be read in conjunction with design output

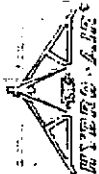
Ref T6



860A

Hydro-AL International, LUK Ltd, 1991
 Sequence 6 of 9, Plot 1
 NTRUSS 71, 220, 14-FEB-1991 08:43 User: F1591
 Scale 3/50

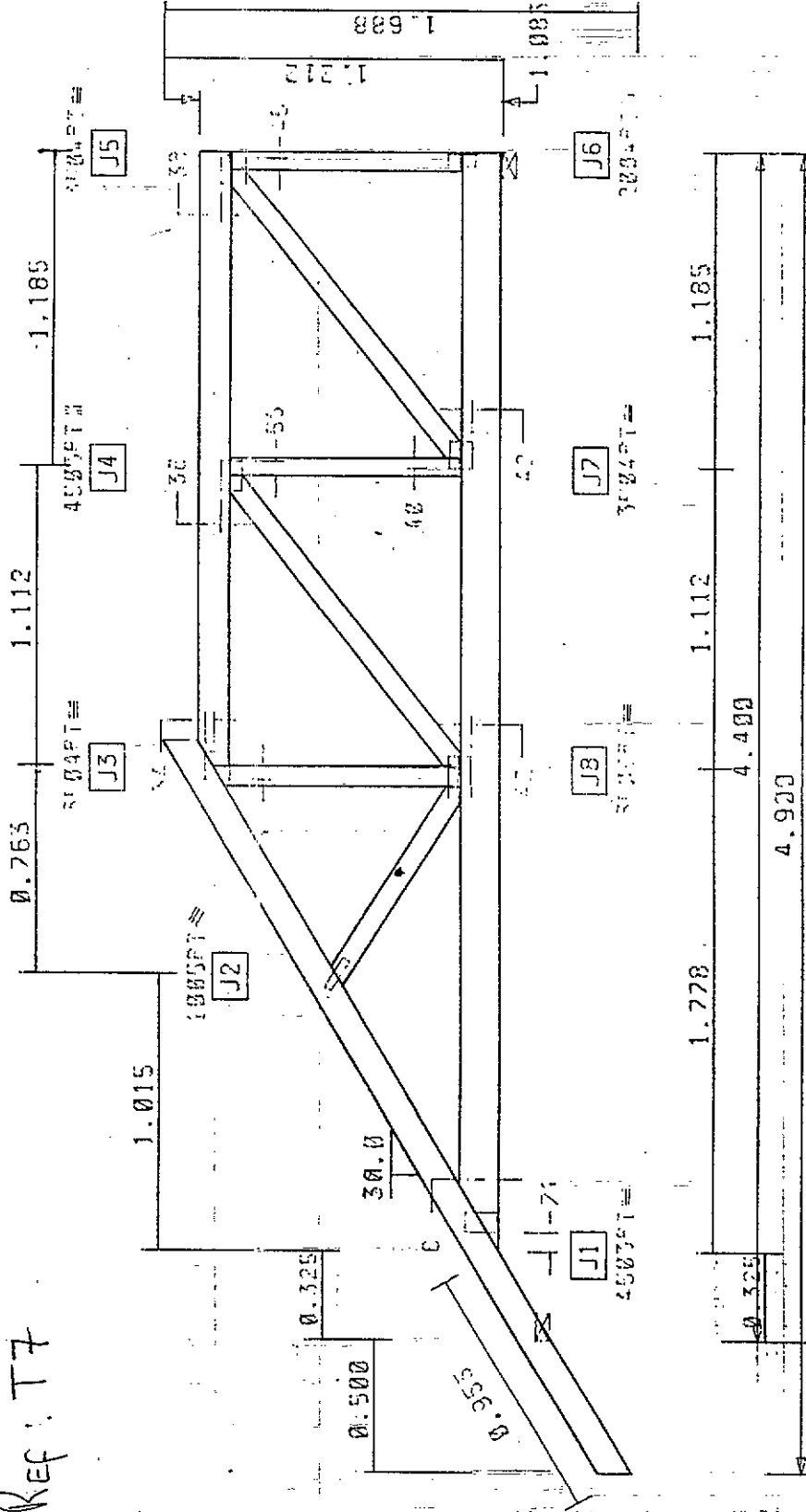
Top sheet 34X112 59
 Bottom sheet 34X 97 59
 Right sheet 34X 72 59
 Web 34X 72 59



HOUSE AT REDCAP, RATHCOOLE
 G.W. & S. TIMBER COMPONENTS LTD

Drawing to be read in conjunction with design contract.

Ref: T7



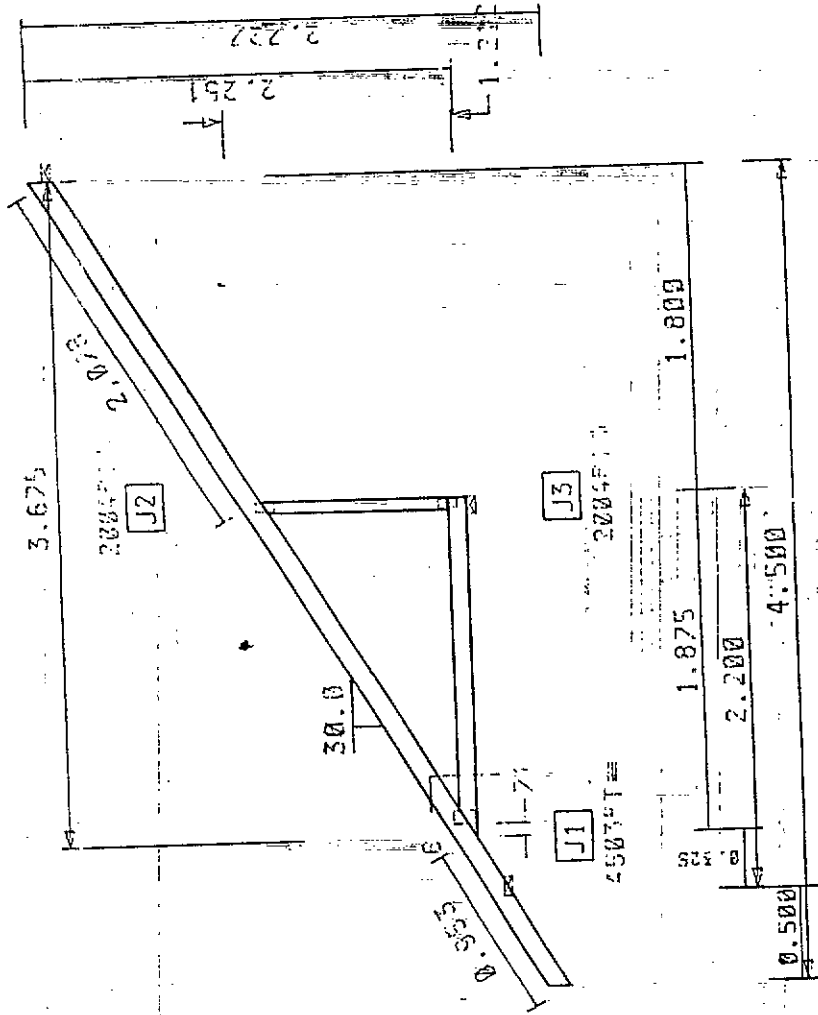
860A © Hydro-ALT International (UK) Ltd 1991
 Reference: T7 Sequence 7 of 9 Plot 1
 NTRUSS V1.20a 14-FEB-1991 08:43 User: F1301
 Scale 1:25

Job name: HOUSE AT REDCAP, RATHCOOLE
 © W & S TIMBER COMPONENTS LTD



Drawing to be read in conjunction with design output.

Ref T8



Top chord 34X112 SS
 Bottom chord 34X 97 SS
 Right vert. 34X 72 SS

320 © Hydro-Air International (UK) Ltd 1991

Reference: T8 Sequence 8 of 9 Plot 01

NTRUSS V1.20a 14-FEB-1991 08:43 User: F138J

Scale 1:48

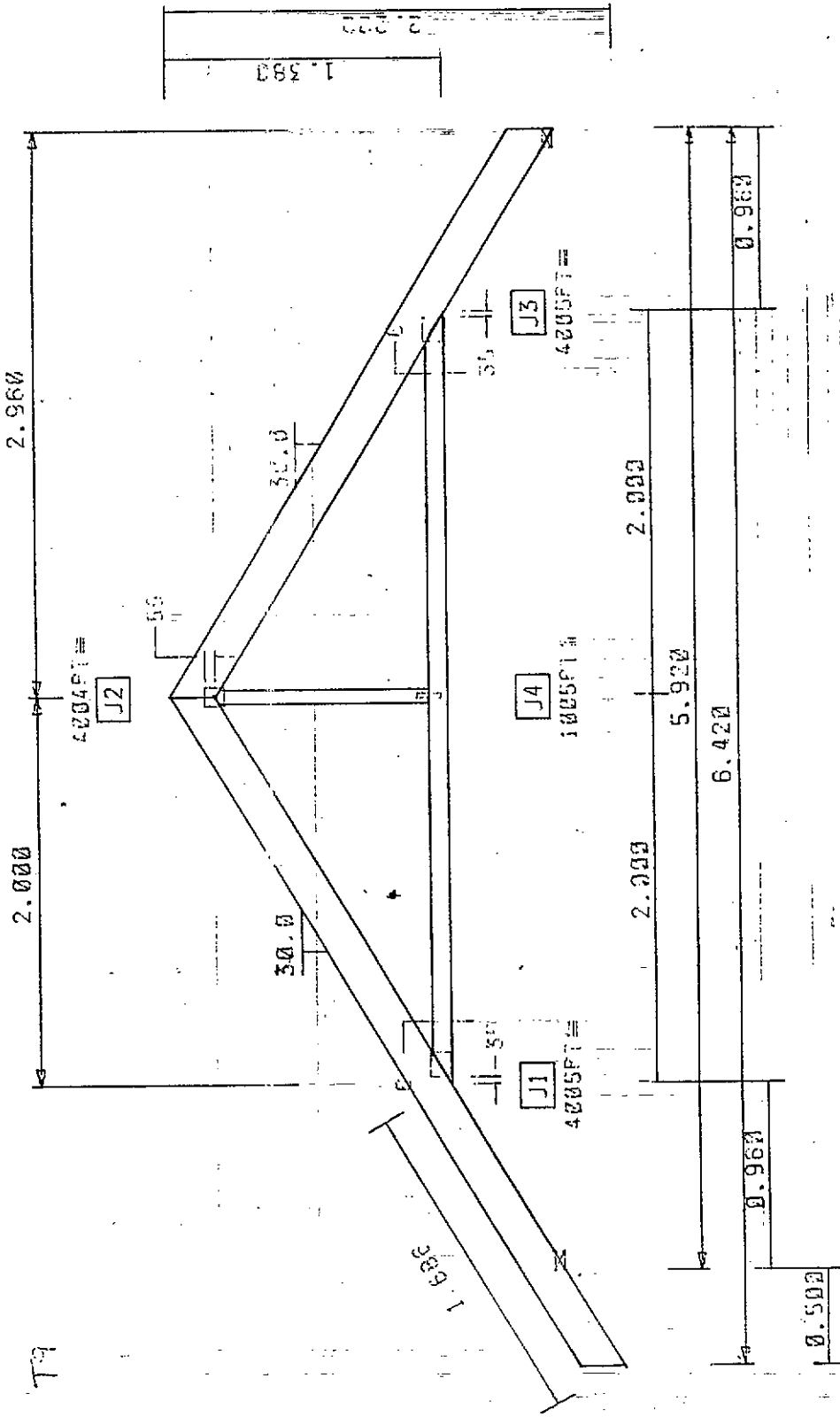
Job name: HOUSE AT REDCAP, RATHCOOLE

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Drawings to be read in conjunction with design output.

Ref T9



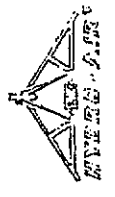
400

© Hydro-Air International, Uk Ltd 1991
 Reference: (19) Sequence 9 of 9 Plot 1
 NTRUSS VI.23a 14-FEB-1991 08:45 User: P1501

Scale 1:33.33

Job name: HOUSE AT REDCAP, RATHCOOLE

OW & S TIMBER COMPONENTS LTD



Top chord 41X195 SS
 Bottom chord 41X 97 SS
 Web: 41X 72 SS
 Water tank to bay 4

Drawing to be read in conjunction with design contract.

*** HYDRO-AIR INTERNATIONAL UK LTD ***

Reference: 07 07 11

job name: HOUSE AT REDLAKE, KATHJULLE

sequence: 1 OF 1

RUSS version: V1.2ed

14-FEB-1991 07:05 Page 81

run remotely by: Fiser

w & a: TIMBER COMPONENTS LTD

EAST ROAD INDUSTRIAL COMPLEX

DUBLIN 3

EIRE

Ph. 746623.746540. Ext 365783

Truss description

Truss input (Userfile --USERDATA.138 %Checksum 304712):

1:E.B.T1.1...HOUSE AT REDCAP,RATHCOOLE 2:7.548,30.450 3:701 4:15
 5:500,500,,,41 6:06,,,,,576,576 7:195 8:97,112 9:72 10:BD.WT,4,270
 Base exceptions: PB,BE,60,FF,FR,SM,AS,ED,112,3,220,5,ET,35,1,44,3,M3,195

Truss type : 701

Span = 8.700 m Spacing = 0.450 m
 Top left pitch = 30.000 deg Top right pitch = 30.000 deg
 Transport height = 3.025 m Transport length = 9.700 m
 Overall height = 2.404 m

End details:

Extended rafter = 0.576m (horizontal) on left
 Extended rafter = 0.576m (horizontal) on right
 Top chord left overhang (unsupported) = 0.500 m plumb cut.
 Top chord right overhang (unsupported) = 0.500 m plumb cut.

Joint coordinates Member layout

Jnt	lyde	X	Y	#	Mem	Length	Length	Pitch	%	Web	Length	Pitch
J 1	1	0.000	0.000	*	T 1	1.887	2.179	30.00	*	W 1	1.258	-60.00
J 2	4	1.887	1.069	*	T 2	1.887	2.179	30.00	*	W 2	2.516	60.00
J 3	3	3.774	2.179	*	T 3	1.887	2.179	-30.00	*	W 3	2.516	-60.00
J 4	4	5.661	1.069	*	T 4	1.887	2.179	-30.00	*	W 4	1.258	60.00
J 5	1	7.548	0.000	*	B 5	2.516	2.516	0.00				
J 6	9	5.032	0.000	*	B 6	2.516	2.516	0.00				
J 7	9	2.516	0.000	*	B 7	2.516	2.516	0.00				
J 8	40	-0.576	-0.333	*	X12	0.576	0.665	30.00				
J 9	40	8.124	-0.333	*	X13	0.576	0.665	-30.00				
J10	20	-1.076	-0.621	*	U14	0.500	0.577	30.00				
J11	20	8.624	-0.621	*	O15	0.500	0.577	-30.00				

Loading

Top chord:

Top dead [TD] = 0.685 kN/m2 (slope)
Snow [SL,SR] = 0.750 kN/m2 (plan)

Bottom chord:

Bottom dead [BD] = 0.250 kN/m2 (slope)
Imposed [BL] = 0.250 kN/m2 (slope)
Man load [ML] = 0.900 kN (vert)

Additional point loads:

J6,J7 [C1] = 0.396 kN (vert)

270 litre water tank over 4 trusses in bay 6.

Load cases considered:

- Case 1 : TD+BD+BL+C1 : Long term
- Case 2 : TD+BD+BL+SL+SR+C1 : Medium term
- Case 3 : TD+BD+BL+SL+SR+ML+C1 : Short term

Design results

Summary of analysis

Mem	Summ	Moment (kNm)	Force (kN)	Load Case	Mem	Summ	Moment (kNm)	Force (kN)	Load Case
T1	0.876	2.092	-8.616	2-MED	T2	0.284	0.487	-7.962	2-MED
T3	0.284	0.487	-7.962	2-MED	T4	0.876	2.092	-8.616	2-MED
B5	0.457	0.119	7.898	2-MED	B6	0.464	0.260	4.898	3-SHRT
B7	0.960	0.568	8.896	3-SHRT	X12	0.633	1.377	-1.434	1-LONG
X13	0.633	1.377	-1.434	1-LONG	D14	0.018	0.036	0.089	1-LONG
D15	0.018	0.036	0.089	1-LONG					

Jnt	Summ	Moment (kNm)	Force (kN)	Load Case	Jnt	Summ	Moment (kNm)	Force (kN)	Load Case
J1	0.916	2.275	-8.616	2-MED	J2	0.337	0.665	-7.962	2-MED
J4	0.337	0.665	-7.962	2-MED	J5	0.916	2.275	-8.616	2-MED
J6	0.480	0.133	5.269	1-LONG	J7	0.696	0.352	8.896	3-SHRT
J8	0.040	0.044	-1.434	1-LONG	J9	0.040	0.044	-1.434	1-LONG

Timber

Top	chord	41 x 195	48 Red/White Wood
Bottom	chord	41 x 195	48 Red/White Wood
	Joists	41 x 195	55 Red/White Wood

Maximum summations: Top (Bay 1 = 0.876, Node 1 = 0.916)
 Bot (Bay 7 = 0.960, Node 5 = 0.896)

Maximum reactions (kN); vertical:
 J8, LC 3 = -5.394, J9, LC 3 = -5.394

Reactions for all load cases (kN)
 LC 1 J 8 = -3.046, J 9 = -3.046
 LC 2 J 8 = -4.683, J 9 = -4.683
 LC 3 J 8 = -5.394, J 9 = -5.394

Minimum bearing lengths (mm)
 J 8 = 100, J 9 = 100

Deflection, load case 2 Bay 6 = 8.0 mm

Design notes:

1. It is the responsibility of the truss fabricator to ensure that the dimensions, pitch, loadings and other design considerations comply with customer requirements.
2. Stiffness matrix analysis has been used.
3. Load sharing factor of 1.1 used.
4. Top chords must be restrained by tiling battens or bracing at centres not exceeding 400 mm.

Special attention:

1. Bay 6 has a 270 litre tank over 4 trusses.

Warnings:

Transport height of 4.025m has exceeded the limit of 3.000m.

Plating

Joint No.	Connector Type	Location X (mm) Y	Member Ref.	Teeth		Angles (deg)	
				Req	Pro	LTN	LTG
J 1	1 3508PT Parallel to chord B 7	Central	T 1	70 (84)		30	0
			B 7	81 (84)		30	30
			Shear length (mm)		128 (172)	Angle = 30	
J 2	4 2508PT Parallel to web W 1	Central	T 1/2	24 (72)		0	90
			W 1	17 (64)		0	0
			Shear length (mm)		19 (64)	Angle = 90	
J 3	3 5008PT Horizontal Handling block	48	T 2	56 (74)		30	0
			T 3	56 (74)		30	0
			W 2	36 (36)		60	0
			W 3	36 (36)		60	0
			Tension length (mm)		78 (203)	Angle = 90	
J 4	4 2508PT Parallel to web W 4	Central	T 3/4	24 (72)		0	90
			W 4	17 (64)		0	0
			Shear length (mm)		19 (64)	Angle = 90	
J 5	1 3508PT Parallel to chord B 5	Central	T 4	70 (84)		30	0
			B 5	81 (84)		30	30
			Shear length (mm)		128 (172)	Angle = 30	
J 6	9 3006PT Perpendicular to chord B 5	5 51	B 5/6	32 (38)		65	25
			W 3 WB	31 (34)		30	0
			W 4 WT	19 (22)		30	0
			Shear length (mm)		66 (76)	Angle = 90	
J 7	9 3006PT Perpendicular to chord B 6	5 51	B 6/7	32 (38)		65	25
			W 2 WB	31 (34)		30	0
			W 1 WT	19 (22)		30	0
			Shear length (mm)		66 (76)	Angle = 90	

Plating

Joint No.	Joint Type	Connector Plate	Location X: (mm), Y	Member Ref.	Teeth		Angles (deg)	
					Req	Pro	LTN	LTG

SPLICES

C 2	30	6012PT	Central	J 2	60 (238)		0	0
			Width required (mm)		78 (152)	Angle =	0	

C 3	30	6012PT	Central	J 3	60 (238)		0	0
			Width required (mm)		78 (152)	Angle =	0	

C 7	30	3508PT	Central	B 7	60 (93)		0	0
			Width required (mm)		79 (89)	Angle =	0	

Plating notes:

1. Splices located between 10% and 25% of panel length from joint.
2. Plate location tolerance of 5 mm used.
3. The following 3 joints exceed the maximum press reach of 275 mm.
J2, J3, J4

*** Hydro-Air International (UK) Ltd ***

Reference:

T2

Job name: HOUSE AT REDCAP, RATHCOOLE

Sequence 2 of

RUSS version V1.28

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Run remotely by: F1311
W & S. TIMBER COMPONENTS LTD
EAST ROAD INDUSTRIAL COMPLEX
DUBLIN 3
EIRE
PH. 01-4523

Truss description

8
10 P

Truss input (Userfile = USERDATA.138 /Checksum 304712):-

R:R.B,T2.2,,HOUSE AT REDCAP,RATHCOOLE 2:7.548,30.450 3:701 4:15
 5:500,0,,,,41 6:IG,,,,,0.576,,,,.576 7:195 8: 9:72 10:BD,WT,4,270
 Base exceptions: PB,BE,60,FF,FR,SM,AS,ED,112,3,220,5,ET,35,1,44,3,MS,195

Truss type : 701

Span	=	8.700 m	Spacing	=	0.450 m
Top left pitch	=	30.000 deg	Top right pitch	=	30.000 deg
Transport height	=	3.025 m	Transport length	=	9.200 m
Overall height	=	2.404 m			

End details:

Extended rafter = 0.576m (horizontal) on left
 Extended tie = 0.576m (horizontal) on right
 Top chord left overhang (unsupported) = 0.500 m plumb cut.
 Right heel end height = 220 mm.

Joint coordinates Member layout

Jnt	Type	X	Y	%	Mem	Length	Length	Pitch	%	Web	Length	Pitch
J 1	1	0.000	0.000	*	T 1	1.887	2.179	30.00	*	W 1	1.258	-60.00
J 2	4	1.887	1.089	*	T 2	1.887	2.179	30.00	*	W 2	2.516	60.00
J 3	3	3.774	2.179	*	T 3	1.887	2.179	-30.00	*	W 3	2.516	-60.00
J 4	4	5.661	1.089	*	T 4	1.887	2.179	-30.00	*	W 4	1.258	60.00
J 5	21	7.548	0.000	*	B 5	2.516	2.516	0.00				
J 6	9	5.032	0.000	*	B 6	2.516	2.516	0.00				
J 7	9	2.516	0.000	*	B 7	2.516	2.516	0.00				
J 8	40	-0.576	-0.333	*	X12	0.576	0.665	30.00				
J 9	40	8.124	0.000	*	X13	0.576	0.576	0.00				
J10	20	-1.076	-0.621	*	014	0.500	0.577	30.00				

Loading

Top chord:

Top dead [TD] = 0.685 kN/m2 (slope)
 Snow [SL,SR] = 0.750 kN/m2 (plan)

Bottom chord:

Bottom dead [BD] = 0.250 kN/m2 (slope)
 Imposed [BL] = 0.250 kN/m2 (slope)
 Man load [ML] = 0.900 kN (vert)

Additional point loads:

J6,J7 [C1] = 0.396 kN (vert)

270 litre water tank over 4 trusses in bay 6.

Load cases considered:

- Case 1 : TD+BD+BL+C1 : Long term
- Case 2 : TD+BD+BL+SL+SR+C1 : Medium term
- Case 3 : TD+BD+BL+SI+SR+ML+C1 : Short term

Design results

Summary of analysis

Mem	Summ	Moment (kNm)	Force (kN)	Load Case	Mem	Summ	Moment (kNm)	Force (kN)	Load Case
T1	0.873	2.091	-8.482	2-MED	T2	0.300	0.535	-7.828	2-MED
T3	0.189	0.233	-8.001	2-MED	T4	0.200	0.233	-8.656	2-MED
B5	0.783	2.562	8.163	3-SHRT	B6	0.271	0.766	4.990	3-SHRT
B7	0.210	0.243	7.750	2-MED	X12	0.634	1.379	-1.436	1-LONG
X13	0.549	1.409	0.000	1-LONG	D14	0.018	0.036	0.089	1-LONG

Jnt	Summ	Moment (kNm)	Force (kN)	Load Case	Jnt	Summ	Moment (kNm)	Force (kN)	Load Case
J1	0.916	2.280	-8.482	2-MED	J2	0.354	0.717	-7.828	2-MED
J4	0.154	0.151	-8.001	2-MED	J5	0.857	2.345	7.247	2-MED
J6	0.363	0.943	8.163	3-SHRT	J7	0.172	0.120	7.750	2-MED
J8	0.040	0.044	-1.436	1-LONG					

Timber

Top	chord	41 x 195	SS Red/White Wood
Bottom	chord	41 x 220	SS Red/White Wood
	Webs	41 x 72	SS Red/White Wood

Maximum summations: Top (Bay 1 = 0.873, Node 1 = 0.916)
 Bot (Bay 5 = 0.783, Node 5 = 0.857)

Maximum reactions (kN); vertical:

J8, LC 3 = -5.402 J9, LC 3 = -5.001

Reactions for all load cases (kN)

LC 1 J 8 = -3.050, J 9 = -2.827
 LC 2 J 8 = -4.692, J 9 = -4.290
 LC 3 J 8 = -5.402, J 9 = -5.001

Minimum bearing lengths (mm)

J 8 = 100, J 9 = 100

Deflection, load case 2 Joint 7 = 6.2 mm

Design notes:

1. It is the responsibility of the truss fabricator to ensure that the dimensions, pitch, loadings and other design considerations comply with customer requirements.
2. Stiffness matrix analysis has been used.
3. Right heel span setting out point at intersection of bottom of rafter with bottom of tie.
4. Load sharing factor of 1.1 used.
5. Top chords must be restrained by piling battens or bracing at centres not exceeding 400 mm.

Special attention:

1. Bay 6 has a 270 litre tank over 4 trusses.

Warnings:

Transport height of 3.025m has exceeded the limit of 3.000m.

Plating

Joint No.	Type	Connector Plate	Location		Member Ref.	Teeth		Angles (deg)	
			X (mm)	Y		Req	Pro	LTN	LTG
J 1	1	2510PT	Central		T 1	69	(80)	30	0
					B 7	80	(80)	30	30
					Shear length (mm)		126	(127)	Angle = 30
J 2	4	2508PT	Central		T 1/2	24	(72)	0	90
					W 1	17	(64)	0	0
					Shear length (mm)		19	(64)	Angle = 90
J 3	3	5008PT	47		T 2	55	(73)	30	0
					T 3	55	(73)	30	0
					W 2	32	(37)	60	0
					W 3	37	(37)	60	0
					Tension length (mm)		76	(203)	Angle = 90
J 4	4	1005PT	Central		T 3/4	13	(17)	90	90
					W 4	13	(17)	90	90
					Shear length (mm)		19	(25)	Angle = 90
J 5	21	5005PT	122	63	T 4	59	(83)	30	0
					B 5	65	(83)	30	30
					Shear length (mm)		98	(122)	Angle = 0
J 6	4	3006PT	5	60	B 5/6	36	(47)	43	47
					W 3 WB	32	(33)	30	0
					W 4 WT	13	(19)	90	90
					Shear length (mm)		53	(76)	Angle = 90
J 7	9	3006PT	7	60	B 6/7	30	(47)	69	21
					W 2 WB	29	(31)	30	0
					W 1 WT	19	(21)	30	0
					Shear length (mm)		62	(76)	Angle = 90

2025

P

Plating

Joint No.	Connector Type	Location X (mm) Y	Members Ref.	Teeth Req	Angles (deg) LTN LTG
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SPLICES

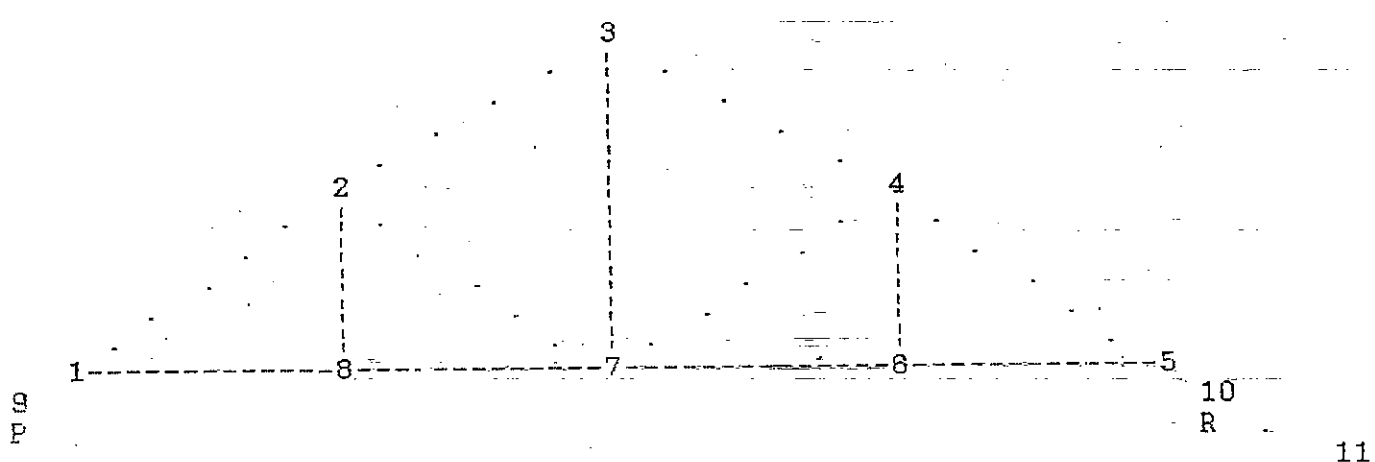
C 2	30	6012PT	Central	T 2	59 (268)	0	0
		Width required (mm)			77 (152)	Angle =	0
C 6	30	7014PT	Central	B 6	41 (368)	0	0
		Width required (mm)			54 (178)	Angle =	0

Plating notes:

1. Splices located between 10% and 25% of panel length from joint.
2. Plate location tolerance of 5 mm used.
3. The following 4 joints exceed the maximum press reach of 275 mm.
 J2, J3, J6, J7

Run remotely by: F138I
W & S TIMBER COMPONENTS LTD
EAST ROAD INDUSTRIAL COMPLEX
DUBLIN 3
EIRE
Ph. 746623,746540,Fax365783

Truss description



Truss input (Userfile - USERDATA.138 / Checksum 304712):

1:£,B,T3,3,9,,HOUSE AT REDCAP,RATHCOOLE 2:4.594,43.03,450
 3:800,,,,,,Y,2,4 4:15 5:0.500,,,41 6:IG,,,,,203,203 7:195 8:
 9:72 10:BD,MB,U1F,5,8,13.96,U2F,5,8,7.225
 Base exceptions: PB,BE,60,FF,FR,SM,AS,ED,112,3,220,5,ET,35,1,44,3,M3,195

Truss type : 800

Span = 5.000 m Spacing = 0.450 m
 Top left pitch = 43.030 deg Top right pitch = 43.030 deg
 Transport height = 3.067 m Transport length = 5.500 m
 Overall height = 2.411 m

End details:

Extended rafter = 0.203m (horizontal) on left
 Extended rafter = 0.203m (horizontal) on right
 Top chord right overhang (unsupported) = 0.500 m plumb cut.

Joint coordinates Member layout

Jnt	Type	X	Y	*	Mem	Panel Length	Memb Length	Pitch	*	Web Length	Pitch	
J 1	1	0.000	0.000	*	T 1	1.148	1.571	43.03	*	W 1	1.072	90.00
J 2	5	1.148	1.072	*	T 2	1.148	1.571	43.03	*	W 2	1.571	-46.01
J 3	6	2.297	2.144	*	T 3	1.148	1.571	-43.03	*	W 3	2.144	90.00
J 4	5	3.445	1.072	*	T 4	1.148	1.571	-43.03	*	W 4	1.571	46.01
J 5	1	4.594	0.000	*	B 5	1.148	1.148	0.00	*	W 5	1.072	90.00
J 6	4	3.445	0.000	*	B 6	1.148	1.148	0.00				
J 7	7	2.297	0.000	*	B 7	1.148	1.148	0.00				
J 8	4	1.148	0.000	*	B 8	1.148	1.148	0.00				
J 9	40	-0.203	-0.189	*	X14	0.203	0.278	43.03				
J10	40	4.797	-0.189	*	X15	0.203	0.278	-43.03				
J11	20	5.297	-0.656	*	O16	0.500	0.684	-43.03				

Loading
=====

Top chord:

Top dead [TD] = 0.685 kN/m² (slope)
Snow [SL,SR] = 0.750 kN/m² (plan)

Bottom chord:

Bottom dead [BD] = 0.250 kN/m² (slope)
Imposed [BL] = 0.250 kN/m² (slope)
Man load [ML] = 0.900 kN (vert)

Additional uniform loads:

B5,B6,B7,B8 [U1] = 13.960 kN/m² (vert)
B5,B6,B7,B8 [U2] = 7.225 kN/m² (vert)

Load cases considered:

- Case 1 : TD+BD+BL+U1 : Long term
- Case 2 : TD+BD+BL+SL+SR+U1+U2 : Medium term
- Case 3 : TD+BD+BL+SL+SR+ML+U1+U2 : Short term

Design results

Summary of analysis

Mem	Summ	Moment (kNm)	Force (kN)	Load Case	Mem	Summ	Moment (kNm)	Force (kN)	Load Case
T1	0.494	4.390	-30.928	2-MED	T2	0.123	0.059	-21.786	2-MED
T3	0.092	0.051	-21.775	2-MED	T4	0.488	4.324	-30.914	2-MED
B5	0.282	1.282	24.631	2-MED	B6	0.218	0.728	24.631	2-MED
B7	0.218	0.729	24.681	2-MED	B8	0.282	1.283	24.681	2-MED
X14	0.364	2.918	-10.933	1-LONG	X15	0.358	2.869	-10.947	1-LONG
O16	0.006	0.043	0.144	I-LONG					

Jnt	Summ	Moment (kNm)	Force (kN)	Load Case	Jnt	Summ	Moment (kNm)	Force (kN)	Load Case
J1	0.526	4.872	-30.928	2-MED	J2	0.123	0.337	-30.409	2-MED
J4	0.121	0.320	-30.396	2-MED	J5	0.519	4.796	-30.914	2-MED
J6	0.210	0.656	24.631	2-MED	J7	0.262	1.105	24.681	2-MED
J8	0.210	0.655	24.681	2-MED	J10	0.045	0.053	-10.947	1-LONG

Timber

Top	chord	41 x 195	SS Red/White Wood
Bottom	chord	41 x 170	SS Red/White Wood
	Webs	41 x 72	SS Red/White Wood

Maximum summations: Top (Bay 1 = 0.494, Node 1 = 0.526)
 Bot (Bay 8 = 0.282, Node 5 = 0.262)

 * 4 Trusses must be securely fastened together to act as one unit *
 * loadings must be distributed over each component truss *

Maximum reactions (kN): vertical:
 J9, LC 3 = -24.637 J10, LC 3 = -25.000

Reactions for all load cases (kN)
 LC 1 J 9 = -18.022, J10 = -18.253
 LC 2 J 9 = -24.083, J10 = -24.447
 LC 3 J 9 = -24.637, J10 = -25.000

Minimum bearing lengths (mm)
 J 9 = 100, J10 = 100

Deflection, load case 3 Bay 7 = 1.9 mm

Design notes:

1. It is the responsibility of the truss fabricator to ensure that the dimensions, pitch, loadings and other design considerations comply with customer requirements.
2. Stiffness matrix analysis has been used.
3. Load sharing factor of 1.1 used.
4. Top chords must be restrained by tiling battens or bracing at centres not exceeding 400 mm.
5. This is a girder truss.

Warnings:

Transport height of 3.067m has exceeded the limit of 3.000m.

Plating
 =====

Joint No.	Type	Connector Plate	Location		Member Ref.	Teeth		Angles (deg)	
			X (mm)	Y		Req	Pro	LTN	LTG
J 1	1	4006PT	Central		T 1	58	(72)	43	0
					B 8	68	(72)	43	43
					Shear length (mm)		100	(149)	Angle = 43

J 2	5	4005PT	85	54	T 1/2	18	(55)	63	27
					W 1 SC	20	(29)	43	0
					W 2 DC	19	(25)	1	0
		Shear length (mm)		34	(102)	Angle = 90			

J 3	6	4006PT		69	T 2	39	(40)	47	0
					T 3	39	(40)	47	0
					W 3	42	(42)	0	0
		Tension length (mm)		51	(102)	Angle = 90			

J 4	5	4005PT	85	54	T 3/4	18	(55)	63	27
					W 5 SC	20	(29)	43	0
					W 4 DC	18	(25)	1	0
		Shear length (mm)		34	(102)	Angle = 90			

J 5	1	4006PT	Central		T 4	58	(72)	43	0
					B 5	68	(72)	43	43
					Shear length (mm)		100	(149)	Angle = 43

J 6	4	2004PT	Central		B 5/6	24	(26)	0	90
					W 5	17	(25)	0	0
					Tension length (mm)		20	(51)	Angle = 0

J 7	7	6008PT	51		B 6/7	26	(101)	90	90
					W 2	23	(47)	46	0
					W 3	57	(68)	90	0
		Shear length (mm)		1	(203)	Angle = 0			

Plating

Joint No.	Type	Connector Plate	Location		Member Ref.	Teeth		Angles (deg)	
			X (mm)	Y		Req	Pro	LTN	LTG
J 8	4	2004PT	Central		B 7/8	24	(26)	0	90
		Parallel to web W 1			W 1	17	(25)	0	0
				Tension length (mm)		20	(51)	Angle =	0

Plating notes:

1. Plate location tolerance of 5 mm used.
2. The following 2 joints exceed the maximum press reach of 275 mm.
J3, J7

*** Hydro-Air International(UK)Ltd ***

Reference: T4

Job name: HOUSE AT REDCAP, RATHCOOLE

Sequence 4 of

NO. USS version V1.28d

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Run remotely by: F138L

W & S TIMBER COMPONENTS LTD

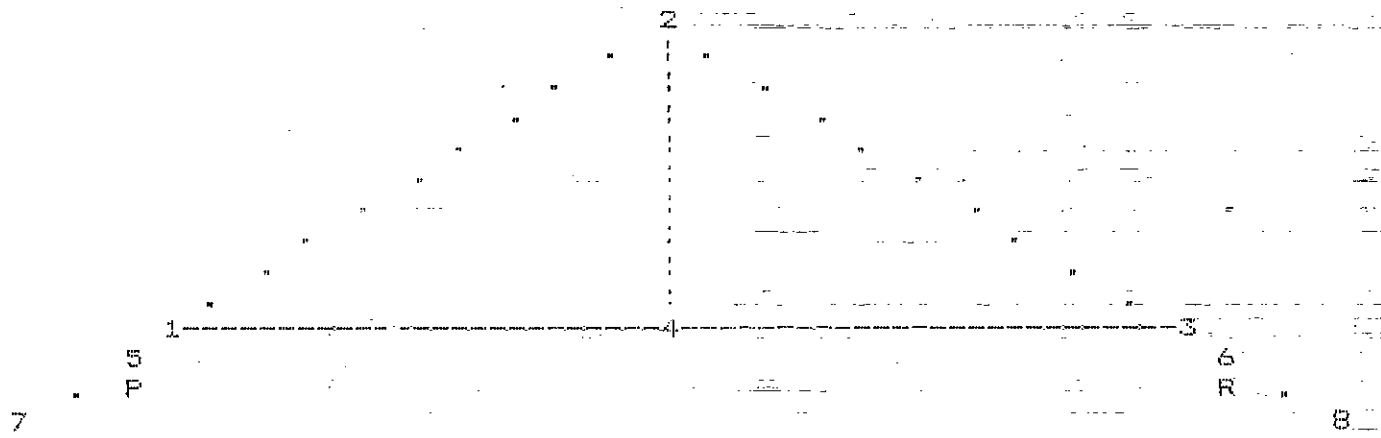
EAST ROAD INDUSTRIAL COMPLEX

DUBLIN 3

TELEPHONE

Ph. 746623,746540,Fax 365783

Truss description



Truss input (Userfile = USERDATA.138 / Checksum 304712):

1: E.B.T4.4,,,HOUSE AT REDCAP,RATHCOOLE 2: 4.594,43.03,450 3: 400 4: 15
 5: 500,500,,,,,41 6: IG,,,,,203,203 7: 195 8: 9: 72 10: BD,WT,4,270
 Base exceptions: PB,BE,60,FF,FR,SM,AS,ED,112,3,220,5,ET,35,1,44,3,M3,195

Truss type : 400

Span = 5.000 m Spacing = 0.450 m
 Top left pitch = 43.030 deg Top right pitch = 43.030 deg
 Transport height = 3.067 m Transport length = 6.000 m
 Overall height = 2.411 m

End details:

Extended rafter = 0.203m (horizontal) top left
 Extended rafter = 0.203m (horizontal) top right
 Top chord left overhang (unsupported) = 0.500 m plumb cut.
 Top chord right overhang (unsupported) = 0.500 m plumb cut.

Joint coordinates: Member layout

Joint	Type	X	Y	Panel	Mem.	Length	Pitch	Web Length	Pitch
J 1	1	0.000	0.000	T 1	2.297	3.142	43.03	W 1	2.144 90.00
J 2	6	2.297	2.144	T 2	2.297	3.142	-43.03		
J 3	1	4.594	0.000	B 3	2.297	2.297	0.00		
J 4	4	2.297	0.000	B 4	2.297	2.297	0.00		
J 5	40	-0.203	-0.189	X 6	0.203	0.278	43.03		
J 6	40	4.777	-0.189	X 7	0.203	0.278	-43.03		
J 7	20	-0.703	-0.656	D 8	0.500	0.684	43.03		
J 8	20	5.297	-0.656	D 9	0.500	0.684	-43.03		

ading
OTB Head
Sh

$$[SL, SR] = 8.985 \text{ kN/m}^2 \text{ (slopes)}$$

Bottom chord:
Bottom dead

$$[ED] = 0.250 \text{ kN/m}^2 \text{ (slope)}$$

Imposed

$$[BL] = 0.250 \text{ kN/m}^2 \text{ (slope)}$$

Man load

$$\text{Additional point load} [ML] = 0.900 \text{ kN (vert)}$$
$$270 \text{ litre water tank over } 4 \text{ trusses in bay } 4. [CI] = 0.396 \text{ kN (vert)}$$

Load cases considered:

- Case 1 : TD+BD+BL+CI : Long term
- Case 2 : TD+BD+BL+SL+SR+CI : Medium term
- Case 3 : TD+BD+BL+SL+SR+ML+CI : Short term

Summary of analysis

Mem	Summ	Moment (kNm)	Force (kN)	Load Case	Mem	Summ	Moment (kNm)	Force (kN)	Load Case
T1	0.283	0.669	-2.527	2-MED	T2	0.302	0.632	-2.549	2-MED
B3	0.362	0.249	1.942	3-SHRT	B4	0.666	0.497	1.942	3-SHRT
X6	0.170	0.336	-1.488	1-LONG	X7	0.137	0.270	-1.240	1-LONG
O8	0.022	0.043	0.144	1-LONG	O9	0.022	0.043	0.144	1-LONG

Jnt	Summ	Moment (kNm)	Force (kN)	Load Case	Jnt	Summ	Moment (kNm)	Force (kN)	Load Case
J1	0.208	0.598	-2.998	3-SHRT	J3	0.170	0.391	-2.549	2-MED
J4	0.468	0.336	1.942	3-SHRT	J5	0.058	0.053	0.144	1-LONG
J6	0.058	0.053	0.144	1-LONG					

Timber

Top	chord	41 x 195	SS Red/White Wood
Bottom	chord	41 x 97	SS Red/White Wood
	Webs	41 x 72	SS Red/White Wood

Maximum summations: Top (Bay 1 = 0.302, Node 2 = 0.208)
 Bot (Bay 4 = 0.362, Node 4 = 0.468)

Maximum reactions (kN); vertical:
 J5, LC 3 = -3.767, J6, LC 3 = -3.403

Reactions for all load cases (kN)
 LC 1 J 5 = -2.391, J 6 = -2.027
 LC 2 J 5 = -3.111, J 6 = -2.747
 LC 3 J 5 = -3.767, J 6 = -3.403

Minimum bearing lengths (mm)
 J 5 = 100, J 6 = 100

Deflection, load case 2 Bay 4 = 2.2 mm

Design notes:

1. It is the responsibility of the truss fabricator to ensure that the dimensions, pitch, loadings and other design considerations comply with customer requirements.
2. Stiffness matrix analysis has been used.
3. Load sharing factor of 1.1 used.
4. Top chords must be restrained by tilting battens or bracing at centres not exceeding 400 mm.

Special attention:

1. Bay 4 has a 270 litre tank over 4 trusses.

Warnings:

Transport height of 3.067m has exceeded the limit of 3.000m.

Plating
 =====

Joint No.	Connector Type	Location Plate	X (mm) Y	Member Ref.	Teeth		Angles (deg)	
					Req	Pro	LTN	LTG
J 1	1	4004PT	Central	T 1	30 (142)		43	0
				B 4	40 (42)		43	43
				Shear length (mm)		32 (122)	Angle = 43	
J 2	6	4503PT	32	T 1	18 (27)		47	0
				T 2	19 (27)		47	0
				W 1	13 (13)		90	90
				Tension length (mm)		13 (114)	Angle = 90	
J 3	1	4004PT	Central	T 2	30 (42)		43	0
				B 3	40 (42)		43	43
				Shear length (mm)		34 (122)	Angle = 43	
J 4	4	1005PT	Central	B 3/4	15 (17)		0	90
				W 1	13 (17)		90	90
				Shear length (mm)		19 (25)	Angle = 90	

Plating notes:

1. Plate location tolerance of 5 mm used.
2. Joint J2 exceeds the maximum press reach of 275 mm.

**** Hydro-Air International(UK)Ltd ****

Job name: HOUSE AT REDCAP, RATHCOOLE

NTRUSS version V1.28d

Reference:

T5

Sequence 5 of 9

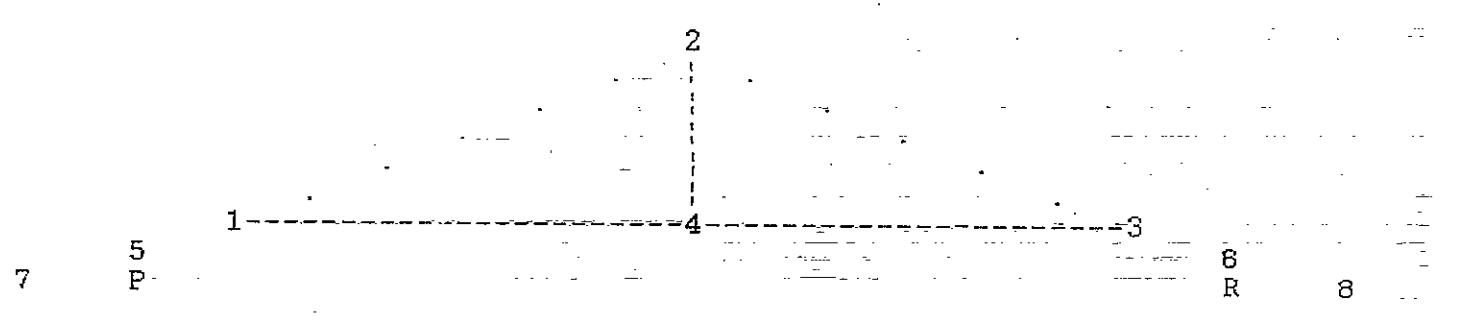
14-FEB-1991 08:10 Page S1

Run remotely by: F138I

W & S TIMBER COMPONENTS LTD
EAST ROAD INDUSTRIAL COMPLEX
DUBLIN 3
EIRE

Ph. 746623;746540,Fax365783

Truss description



Truss input (Userfile - USERDATA.138 / Checksum 304712):-

1:£,B,T5,5,9,,HOUSE AT REDCAP,RATHCOOLE 2:3.750,30.450 3:400 4:15
 5:500,500 6:IG,,,,,325,.325 7: 8: 9:72 10:BD,WT,4,270
 Base exceptions: PB,BE,60,FF,FR,SM,AS,ED,112,3,220,5,ET,35,1,44,3,M3,195

Truss type : 400

Span = 4.400 m Spacing = 0.450 m
 Top left pitch = 30.000 deg Top right pitch = 30.000 deg
 Transport height = 1.697 m Transport length = 5.400 m
 Overall height = 1.221 m

End details:

Extended rafter = 0.325m (horizontal) on left
 Extended rafter = 0.325m (horizontal) on right
 Top chord left overhang (unsupported) = 0.500 m plumb cut.
 Top chord right overhang (unsupported) = 0.500 m plumb cut.

Joint coordinates

Member layout

Jnt	Type	X	Y	*	Mem	Length	Length	Pitch	*	Web	Length	Pitch
J 1	1	0.000	0.000	*	T 1	1.875	2.165	30.00	*	W 1	1.083	90.00
J 2	6	1.875	1.083	*	T 2	1.875	2.165	-30.00				
J 3	1	3.750	0.000	*	B 3	1.875	1.875	0.00				
J 4	4	1.875	0.000	*	B 4	1.875	1.875	0.00				
J 5	40	-0.325	-0.188	*	X 6	0.325	0.375	30.00				
J 6	40	4.075	-0.188	*	X 7	0.325	0.375	-30.00				
J 7	20	-0.825	-0.476	*	O 8	0.500	0.577	30.00				
J 8	20	4.575	-0.476	*	O 9	0.500	0.577	-30.00				

Loading

Top chord:

Top dead [TD] = 0.685 kN/m2 (slope)
Snow [SL,SR] = 0.750 kN/m2 (plan)

Bottom chord:

Bottom dead [BD] = 0.250 kN/m2 (slope)
Imposed [BL] = 0.250 kN/m2 (slope)
Man load [ML] = 0.900 kN (vert)

Additional point loads:

J1,J4 [C1] = 0.396 kN (vert)

270 litre water tank over 4 trusses in bay 4.

Load cases considered:

- Case 1 : TD+BD+BL+C1 : Long term
- Case 2 : TD+BD+BL+SL+SR+C1 : Medium term
- Case 3 : TD+BD+BL+SL+SR+ML+C1 : Short term

Design results

Summary of analysis

Mem	Summ	Moment (kNm)	Force (kN)	Load Case	Mem	Summ	Moment (kNm)	Force (kN)	Load Case
T1	0.941	0.755	-3.044	2-MED	T2	0.854	0.669	-3.073	2-MED
B3	0.349	0.057	1.802	1-LONG	B4	0.349	0.057	1.802	1-LONG
X6	0.649	0.465	-0.906	1-LONG	X7	0.512	0.366	-0.737	1-LONG
O8	0.052	0.036	0.089	1-LONG	O9	0.052	0.036	0.089	1-LONG

Jnt	Summ	Moment (kNm)	Force (kN)	Load Case	Jnt	Summ	Moment (kNm)	Force (kN)	Load Case
J1	0.829	0.700	-3.044	2-MED	J3	0.711	0.590	-3.073	2-MED
J4	0.494	0.095	1.802	1-LONG	J5	0.172	0.045	0.089	1-LONG
J6	0.172	0.044	0.089	1-LONG					

Timber

Top	chord	34 x 120	SS Red/White Wood
Bottom	chord	34 x 72	SS Red/White Wood
	Webs	34 x 72	SS Red/White Wood

Maximum summations: Top (Bay 1 = 0.941, Node 1 = 0.829)
 Bot (Bay 4 = -0.349, Node 3 = 0.494)

Maximum reactions (kN); vertical:
 J5, LC 3 = -2.901 J6, LC 3 = -2.564

Reactions for all load cases (kN)
 LC 1 J 5 = -1.990, J 6 = -1.652
 LC 2 J 5 = -2.901, J 6 = -2.564
 LC 3 J 5 = -2.901, J 6 = -2.564

Minimum bearing lengths (mm)
 J 5 = 100, J 6 = 100

Deflection, load case 2 Bay 4 = 7.1 mm

Design notes:

1. It is the responsibility of the truss fabricator to ensure that the dimensions, pitch, loadings and other design considerations comply with customer requirements.
2. Stiffness matrix analysis has been used.
3. Load sharing factor of 1.1 used.
4. Top chords must be restrained by tiling battens or bracing at centres not exceeding 400 mm.

Special attention:

1. Bay 4 has a 270 litre tank over 4 trusses.

Warnings:

Water tank (0.71m by 0.65m total height) not plotted as it extended above top chord.

Plating

Joint No.	Connector Type	Plate	Location		Member Ref.	Teeth		Angles (deg)	
			X (mm)	Y		Req	Pro	LTN	LTG
J 1	1	4503PT	Central		T 1	32	(41)	30	0
					B 4	39	(40)	30	30
					Shear length (mm)		39	(56)	Angle = 30

J 2	6	4503PT	Horizontal	71	T 1	21	(24)	30	0
					T 2	21	(24)	30	0
					W 1	13	(17)	90	90
					Tension length (mm)		14	(76)	Angle = 0

J 3	1	4503PT	Central		T 2	32	(41)	30	0
					B 3	40	(40)	30	30
					Shear length (mm)		39	(56)	Angle = 30

J 4	4	1005PT	Central		B 3/4	13	(17)	90	90
					W 1	13	(17)	90	90
					Shear length (mm)		19	(25)	Angle = 90

Plating notes:

1. Plate location tolerance of 5 mm used.

**** Hydro-Air International (UK) Ltd ****

Job name: HDUSE AT REDCAP, RATHCOOLE

Reference: T6

Sequence 6 of 7

RUSS version V1.28d

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Run remotely by: FICSI

W & S TIMBER COMPONENTS LTD

EAST ROAD INDUSTRIAL COMPLEX

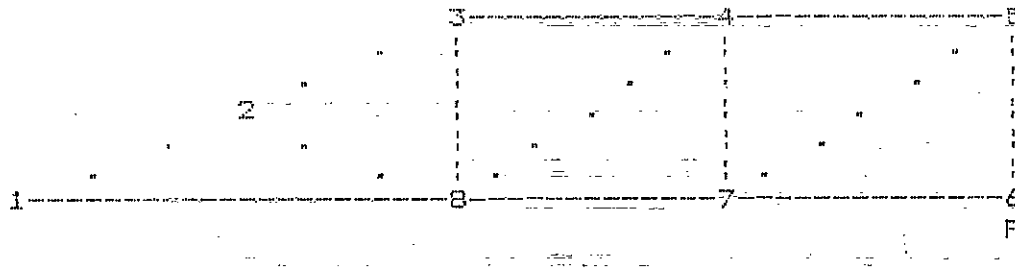
DUBLIN 3

EIRE

Ph. 746623, 746540, Fax 365783

Truss description

10



Truss input (Userfile - USERDATA.138 / Checksum 304712):

1:E,B,T6,6,9,,HOUSE AT REDCAP,RATHCOOLE 2:4.075,30,450
 3:860A,,,,,1.875 4:15 5:500,0 6:IG,,,,,325 7:112 8:97 9:72
 10:BD,FH,2.2
 Base exceptions: PB,BE,60,FF,FR,SM,AS,ED,112,3,220,5,ET,35,1,44,3,M3,195

Truss type : 860A

Span = 4.400 m Spacing = 0.450 m
 Top left pitch = 30.000 deg Top right pitch = 0.000 deg
 Transport height = 2.938 m Transport length = 4.900 m
 Overall height = 1.083 m
 Right overall end height = 1.083 m

End details:

Extended rafter = 0.325m (horizontal) on left
 Top chord left overhang (unsupported) = 0.500 m plumb cut.
 Flying rafter left overhang (propped) = 2.200 m plumb cut.

Criteria and modifications:

Length of sloping section = 1.875 m.

Joint coordinates Member layout

Jnt	Type	X	Y	Z	Mem	Panel Length	Mem. Length	Pitch	Web	Length	Pitch
J 1	1	0.000	0.000	*	T 1	0.889	1.027	30.00	* W 1	1.027	-32.38
J 2	4	0.889	0.513	*	T 2	0.889	1.027	30.00	* W 2	1.027	90.00
J 3	48	1.778	1.027	*	T 3	1.112	1.112	0.00	* W 3	1.513	39.07
J 4	5	2.890	1.027	*	T 4	1.185	1.185	0.00	* W 4	1.027	90.00
J 5	15	4.075	1.027	*	V 5	1.027	1.027	90.00	* W 5	1.568	39.04
J 6	14	4.075	0.000	*	B 6	1.185	1.185	0.00			
J 7	5	2.890	0.000	*	B 7	1.112	1.112	0.00			
J 8	7	1.778	0.000	*	B 8	1.778	1.778	0.00			
J 9	40	-0.325	-0.188	*	X14	0.325	0.375	30.00			
J10	20	3.978	2.257	*	E15	2.200	2.540	30.00			

Loading
=====

Top chord:

Top dead [TD] = 0.685 kN/m2 (slope)
Snow [SL,SR] = 0.750 kN/m2 (plan)

Bottom chord:

Bottom dead [BD] = 0.250 kN/m2 (slope)
Imposed [BL] = 0.250 kN/m2 (slope)
Man load [ML] = 0.900 kN (vert)

Load cases considered:

- Case 1 : TD+BD+BL : Long term
- Case 2 : TD+BD+BL+SL+SR : Medium term
- Case 3 : TD+BD+BL+SL+SR+ML : Short term

Design results

Summary of analysis

Mem	Summ	Moment (kNm)	Force (kN)	Load Case	Mem	Summ	Moment (kNm)	Force (kN)	Load Case
T1	0.701	0.48	-3.624	2-MED	T2	0.515	0.359	-2.887	2-MED
T3	0.080	0.004	-2.543	2-MED	T4	0.100	0.004	-1.445	2-MED
V5	0.063	0.003	-1.258	2-MED	B6	0.065	0.030	0.000	1-LONG
B7	0.136	0.038	0.952	1-LONG	B8	0.259	0.066	3.285	2-MED
X14	0.478	0.307	0.626	1-LONG	E15	0.188	0.121	-0.245	1-LONG
D16	0.059	0.035	0.089	1-LONG					

Jnt	Summ	Moment (kNm)	Force (kN)	Load Case	Jnt	Summ	Moment (kNm)	Force (kN)	Load Case
J1	0.728	0.51	-3.624	2-MED	J2	0.156	0.058	-3.315	2-MED
J3	0.587	0.42	-2.578	2-MED	J4	0.076	0.008	-2.543	2-MED
J7	0.100	0.02	1.445	2-MED	J8	0.232	0.054	2.065	1-LONG
J9	0.219	0.04	0.089	1-LONG					

Member

Top	chord	34 x 112	SS Red/White Wood
Bottom	chord	34 x 97	SS Red/White Wood
Right vertical		34 x 72	SS Red/White Wood
Webbs		34 x 72	SS Red/White Wood

Maximum summations: Top (Bay 1 = 0.701, Node 1 = 0.728)
 Bot (Bay 8 = 0.259, Node 8 = 0.232)

Maximum reactions (kN); vertical:
 J9, LC 3 = -2.344, J6, LC 3 = 1.374

Reactions for all load cases (kN)
 LC 1 J 9 = -1.430, J 6 = -0.945
 LC 2 J 9 = -2.344, J 6 = 1.374
 LC 3 J 9 = -2.344, J 6 = -1.374

Minimum bearing lengths (mm)
 J 9 = 100, J 6 = 100

Deflection, load case 2, Bay 8 = 2.8 mm

Design notes:

1. It is the responsibility of the truss fabricator to ensure that the dimensions, pitch, loadings and other design considerations comply with customer requirements.
2. Stiffness matrix analysis has been used.
3. Load sharing factor of 1.1 used.
4. Angle of supported load on flat top chords = 30.0 deg.
5. Top chords must be restrained by tiling battens or bracing at centres not exceeding 400 mm.

Plating

Joint No.	Connector Type	Plate	Location		Member Ref.	Teeth Req	Pro	Angles (deg)	
			X (mm)	Y				LTN	LTG
J 1	1	4004PT	Central		T 1	36 (46)		30	0
					B 8	44 (46)		30	30
					Shear length (mm)		46 (117)	Angle = 30	
J 2	4	1003PT	Central		T 1/2	13 (16)		90	90
					W 1	13 (16)		90	90
					Shear length (mm)		10 (29)	Angle = 62	
J 3	4B	3504PT	51	34	T 2	20 (26)		30	0
					T 3	15 (29)		0	0
					W 2	13 (14)		90	90
					Shear length (mm)		37 (92)	Angle = 30	
J 4	5	4503PT	55	36	T 3/4	13 (36)		90	90
					W 4 SC	13 (16)		90	90
					W 3 DC	13 (18)		90	90
					Shear length (mm)		24 (114)	Angle = 90	
J 5	15	4503PT	30	43	T 4	13 (27)		90	90
					V 5	13 (15)		90	90
					W 5	14 (23)		39	0
					Shear length (mm)		17 (76)	Angle = 0	
J 6	14	2004PT	Central		B 6	13 (26)		90	90
					V 5	13 (25)		90	90
					Shear length (mm)		19 (51)	Angle = 90	
J 7	5	4503PT	55	38	B 3/7	13 (36)		90	90
					W 4 SC	13 (16)		90	90
					W 5 DC	14 (18)		51	0
					Shear length (mm)		24 (114)	Angle = 90	

Plating

Joint No.	Type	Connector Place	Location		Member Ref.	Teeth		Angles (deg)	
			X(mm)	Y		Req	Pro	LTN	LTG
J 8	7	3506FT	35		B 778	13 (52)		90	90
Parallel to chord B 7									
					W 1	13 (15)		90	90
					W 2	13 (30)		90	90
					W 3	13 (15)		90	90
			Shear length (mm)			22 (152)		Angle = 0	

SPLICES

C 2	30	3508PT	Central	I 2	19 (100)		0	0
			Width required (mm)		22 (89)		Angle = 0	

Plating notes:

1. Splices located between 10% and 25% of panel length from joint.
2. Plate location tolerance of 5 mm used.

*** Hydro-Air International(UK)Ltd ***

Reference: T7

Job name: HOUSE AT BEDCAP, RATHCOOLE

Sequence 7 of 9

TRUSS version V1.28d

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Run remotely by: F1081

W & S TIMBER COMPONENTS LTD

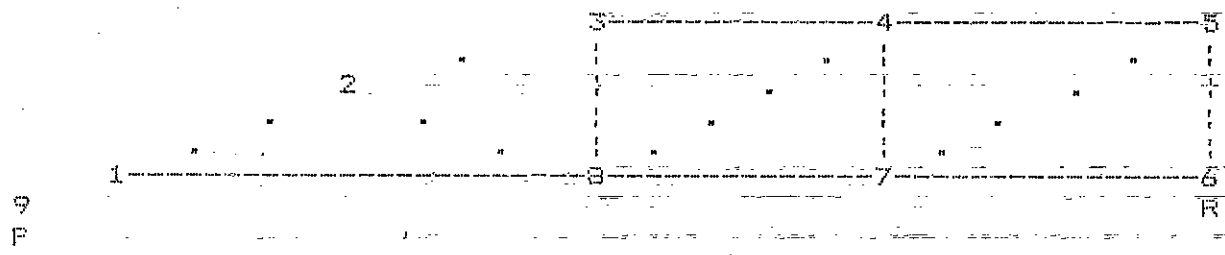
EAST ROAD INDUSTRIAL COMPLEX

DUBLIN 3

EIRE

Ph. 746623, 746540, Fax 365783

Truss description
 =====



Truss input (Userfile -- USERDATA.138 / Checksum 304712):

1: E, B, T7, 7, 9, HOUSE AT REDCAP, RATHCOOLE 2: 4.075, 30, 450
 3: 860A, ., ., ., 1.875, 2.2, ., 1, 2, 4 4: 15 5: 500, 0 6: IG, ., ., ., .325 7: 112 8: 145
 9: 72 10: BD, MB, FH, 0
 Base exceptions: PB, BE, 60, FF, FR, SM, AS, ED, 112, 3, 220, 5, ET, 35, 1, 44, 3, M3, 195

Truss type : 860A

Span = 4.400 m Spacing = 0.450 m
 Top left pitch = 30.000 deg Top right pitch = 0.000 deg
 Transport height = 1.688 m Transport length = 4.900 m
 Overall height = 1.083 m
 Right overall end height = 1.083 m

End details:

Extended rafter = 0.325m (horizontal) on left
 Top chord left overhang (unsupported) = 0.500 m plumb cut.

Criteria and modifications:

Length of sloping section = 1.875 m.

Joint coordinates Member layout

Jnt	Type	X	Y	* Mem	Panel Length	Memb. Length	Pitch	* Web	Length	Pitch
J 1	1	0.000	0.000	* T 1	0.889	1.027	30.00	* W 1	1.027	32.52
J 2	4	0.889	0.513	* T 2	0.889	1.027	30.00	* W 2	1.027	90.00
J 3	48	1.778	1.027	* T 3	1.112	1.112	0.00	* W 3	1.513	37.50
J 4	5	2.890	1.027	* T 4	1.185	1.185	0.00	* W 4	1.027	90.00
J 5	15	4.075	1.027	* V 5	1.027	1.027	90.00	* W 5	1.568	37.47
J 6	14	4.075	0.000	* B 6	1.185	1.185	0.00			
J 7	5	2.890	0.000	* B 7	1.112	1.112	0.00			
J 8	7	1.778	0.000	* B 8	1.778	1.778	0.00			
J 9	40	-0.325	-0.183	* X14	0.325	0.375	30.00			
J 10	20	-0.825	-0.475	* O15	0.500	0.577	30.00			

Loading

Top chord:

Top dead [TD] = 0.685 kN/m2 (slope)
 Snow [SL,SR] = 0.750 kN/m2 (plan)

Bottom chord:

Bottom dead [BD] = 0.250 kN/m2 (slope)
 Imposed [BL] = 0.250 kN/m2 (slope)
 Man load [ML] = 0.900 kN (vert)

Additional uniform loads:

T3,T4 [U1] = -0.791 kN/m2 (vert)
 B6,B7 [U1] = 4.040 kN/m2 (vert)
 B8 [U1] = 0.972 kN/m2 (vert)
 T3,T4 [U2] = -0.750 kN/m2 (vert)
 B6,B7 [U2] = 2.909 kN/m2 (vert)

Additional point loads:

J3 [C1] = 1.836 kN (vert)
 J3 [C2] = 1.741 kN (vert)

Load cases considered:

- Case 1 : TD+BD+BL+U1+C1 : Long term
- Case 2 : TD+BD+BL+BL+SR+U1+U2+C1+C2 : Medium term
- Case 3 : TD+BD+BL+BL+SR+ML+U1+U2+C1+C2 : Short term

Design results

Summary of analysis

Mem	Summ	Moment (kNm)	Force (kN)	Load Case	Mem	Summ	Moment (kNm)	Force (kN)	Load Case
T1	0.782	1.594	-13.442	2-MED	T2	0.240	0.330	-11.378	2-MED
T3	0.110	0.028	-9.527	2-MED	T4	0.090	0.028	-7.342	2-MED
V5	0.105	0.000	-6.408	2-MED	B6	0.101	0.404	0.000	2-MED
B7	0.140	0.265	-7.342	2-MED	B8	0.178	0.203	12.570	2-MED
X14	0.531	1.004	-1.828	1-LONG	O15	0.020	0.036	0.089	1-LONG

Jnt	Summ	Moment (kNm)	Force (kN)	Load Case	Jnt	Summ	Moment (kNm)	Force (kN)	Load Case
J1	0.844	1.787	-13.442	2-MED	J2	0.274	0.394	-13.133	2-MED
J4	0.106	0.056	-9.527	2-MED	J7	0.175	0.402	7.342	2-MED
J8	0.157	0.120	12.570	2-MED	J9	0.073	0.044	0.089	1-LONG

Timber

Top	chord	34 x 112	SS Red/White Wood
Bottom	chord	34 x 145	SS Red/White Wood
Right vertical		34 x 72	SS Red/White Wood
	Webs	34 x 72	SS Red/White Wood

Maximum summations: Top (Bay 1 = 0.782, Node 1 = 0.844)
 Bot (Bay 8 = 0.178, Node 7 = 0.175)

 * 3 Trusses must be securely fastened together to act as one unit *
 * loadings must be distributed over each component truss *

Maximum reactions (kN); vertical:

J9, LC 3 = -6.247 J6, LC 3 = -8.055

Reactions for all load cases (kN)

LC 1 J 9 = -3.835, J 6 = -4.841

LC 2 J 9 = -6.247, J 6 = -8.055

LC 3 J 9 = -6.247, J 6 = -8.055

Minimum bearing lengths (mm)

J 9 = 100, J 6 = 100

Deflection, load case 2, Bay 8 = 2.3 mm

Design notes:

1. It is the responsibility of the truss fabricator to ensure that the dimensions, pitch, loadings and other design considerations comply with customer requirements.
2. Stiffness matrix analysis has been used.
3. Load sharing factor of 1.1 used.
4. Angle of supported load on flat top chords = 30.0 deg.
5. Top chords must be restrained by tiling battens or bracing at centres not exceeding 400 mm.
6. This is a girder truss.
7. Maximum span of supported trusses = 2.200 m.

Plating

Joint No.	Connector Type	Plate	Location		Member Ref.	Teeth		Angles (deg)	
			X (mm)	Y		Req	Pro	LTN	LTG
J 1	1	4503PT	Central		T 1	34 (41)		30	0
					B 8	39 (41)		30	30
					Shear length (mm)		57 (88)	Angle = 30	
J 2	4	1005PT	Central		T 1/2	13 (16)		90	90
					W 1	13 (16)		90	90
					Shear length (mm)		10 (29)	Angle = 62	
J 3	48	3504PT	51	34	T 2	26 (26)		30	0
					T 3	19 (29)		0	0
					W 2	13 (14)		90	90
					Shear length (mm)		49 (92)	Angle = 30	
J 4	5	4503PT	55	36	T 3/4	13 (36)		90	90
					W 4 SC	13 (16)		90	90
					W 3 DC	13 (18)		90	90
					Shear length (mm)		24 (114)	Angle = 90	
J 5	15	3504PT	45	38	T 4	16 (31)		4	4
					V 5	17 (17)		90	0
					W 5	23 (23)		37	0
					Shear length (mm)		30 (102)	Angle = 0	
J 6	14	2004PT	Central		B 6	18 (26)		0	90
					V 5	13 (25)		90	90
					Shear length (mm)		19 (51)	Angle = 90	
J 7	5	3504PT	40	42	B 6/7	21 (40)		27	27
					W 4 SC	13 (13)		90	90
					W 5 DC	23 (23)		37	0
					Shear length (mm)		30 (102)	Angle = 0	

Plating

Joint No.	Connector Type	Plate	Location		Member Ref.	Teeth		Angles (deg)	
			X (mm)	Y		Req	Pro	LTN	LTG
J 8	7	3506RT	42		B 7/8	13	(.59)	20	20
		Parallel to chord B 7			W 1	13	(.13)	90	90
					W 2	13	(.27)	90	90
					W 3	13	(.13)	90	90
					Shear length (mm)	21	(.152)	Angle =	0

Plating notes:

1. Plate location tolerance of 5 mm used.

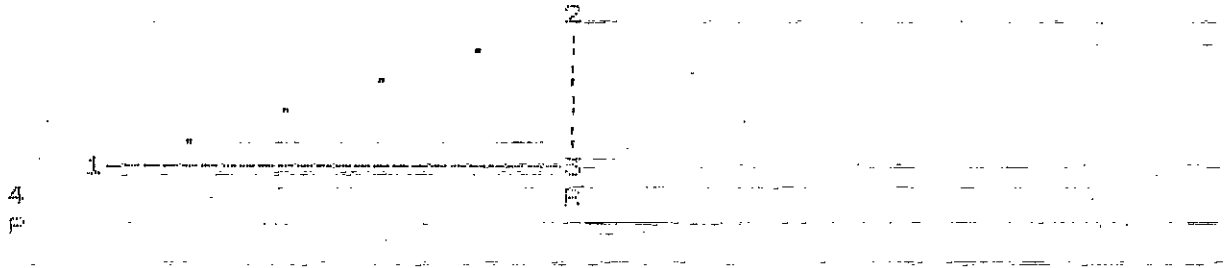
*** Hydro-Air International(UK)Ltd.***
Job name: HOUSE AT REDCAP,RATHCOOLE
TRUSS version V1.28d

Reference: TB
Sequence: 8 of 9
14-FEB-1991 08:43 Page 81

Run remotely by: F1381
W & S TIMBER COMPONENTS LTD
EAST ROAD INDUSTRIAL COMPLEX
DUBLIN 3
EIRE
Ph. 746623,746540,Fax365783

Truss description

S
R



Truss input (Userfile = USERDATA:138 / Checksum 304712):

1:R,B,T8,8,9,,HOUSE AT REDCAP,RATHCOOLE 2:1.875,30,450 3:320,420 4:15
 5:500,1.8P 6:10,,,,,325 7:112 8:97,112 9:72 10:BD
 Base exceptions: PB,BE,60,FF,FR,SM,AS,ED,112,3,220,5,ET,35,1,44,3,M3,195

Truss type : 320

Span = 2.200 m Spacing = 0.450 m
 Top chord pitch = 30.000 deg
 Transport height = 2.727 m Transport length = 4.500 m
 Overall height = 1.212 m
 Right overall end height = 1.212 m

End details:

Extended rafter = 0.325m (horizontal) on left.
 Top chord left overhang (unsupported) = 0.500 m plumb cut.
 Top chord right overhang (propped) = 1.800 m plumb cut.

Joint coordinates Member layout

Jnt	Type	X	Y	Mem	Panel Length	Member Length	Pitch
J 1	1	0.000	0.000	T 1	1.875	2.165	30.00
J 2	14	1.875	1.003	V 2	1.083	1.083	90.00
J 3	14	1.875	0.000	B 3	1.875	1.875	0.00
J 4	40	-0.325	-0.188	X 4	0.325	0.375	30.00
J 5	20	3.675	2.122	O 5	1.800	2.078	30.00
J 6	20	-0.825	-0.476	O 6	0.500	0.577	30.00

Loading

Top chord:

Top dead [TD] = 0.685 kN/m2 (slope)
Snow [SL,SR] = 0.750 kN/m2 (plan)

Bottom chord:

Bottom dead [BD] = 0.250 kN/m2 (slope)
Imposed [BL] = 0.250 kN/m2 (slope)
Man load [HL] = 0.700 kN (vert)

Load cases considered:

- Case 1 : TD+BD+BL : Long term
- Case 2 : TD+BD+BL+SL+SR : Medium term
- Case 3 : TD+BD+BL+SL+SR+ML : Short term

Design results

Summary of analysis

Mem	Summ	Moment (kNm)	Force (kN)	Load Case	Mem	Summ	Moment (kNm)	Force (kN)	Load Case
T1	0.313	0.255	-0.459	2-MED	V2	0.201	0.000	-1.737	3-SHRT
B3	0.218	0.095	0.000	1-LONG	X4	0.150	0.094	-0.272	1-LONG
O5	0.191	0.115	-0.213	1-LONG	O6	0.059	0.036	0.089	1-LONG

Jnt	Summ	Moment (kNm)	Force (kN)	Load Case	Jnt	Summ	Moment (kNm)	Force (kN)	Load Case
J1	0.191	0.150	-0.297	2-MED	J2	0.448	0.352	0.459	2-MED
J4	0.219	0.044	0.089	1-LONG					

Timber

Top	chord	34 x 112	SS Red/White Wood
Bottom	chord	34 x 97	SS Red/White Wood
Right	vertical	34 x 72	SS Red/White Wood

Maximum summations: Top (Bay 1 = 0.313, Node 2 = 0.448)
 Bot (Bay 3 = 0.218, Node 3 = 0.000)

Maximum reactions (kN); vertical:

J4, LC 3 = -1.208, J3, LC 3 = -1.948, J5, LC 3 = -0.429

Reactions for all load cases (kN)

LC 1 J 4 = -0.722, J 3 = -1.129, J 5 = -0.215
 LC 2 J 4 = -1.208, J 3 = -1.948, J 5 = -0.429
 LC 3 J 4 = -1.208, J 3 = -1.948, J 5 = -0.429

Minimum bearing lengths (mm)

J 4 = 100, J 3 = 100, J 5 = 100

Deflection, load case 2 - Bay 3 = -2.4 mm

Design notes:

1. It is the responsibility of the truss fabricator to ensure that the dimensions, pitch, loadings and other design considerations comply with customer requirements.
2. Stiffness matrix analysis has been used.
3. Load sharing factor of 1.1 used.
4. Top chords must be restrained by tiling battens or bracing at centres not exceeding 400 mm.

Plating

Joint No.	Connector Type	Plate	Location		Member Ref.	Teeth		Angles (deg)		
			X (mm)	Y		Req	Pro	LTN	LTG	
J 1	1	4503PT	Central		T 1	15	(41)	30	0	
			Parallel to chord B 3			B 3	21	(41)	30	30
			Shear length (mm)			19	(88)	Angle = 30		
J 2	14	2004PT	Central		V 1	14	(23)	0	60	
			Parallel to vertical chord V 2			V 2	13	(23)	90	90
			Shear length (mm)			10	(59)	Angle = 60		
J 3	14	2004PT	Central		B 3	15	(26)	0	90	
			Parallel to vertical chord V 2			V 2	13	(25)	90	90
			Shear length (mm)			19	(51)	Angle = 90		

Plating notes:

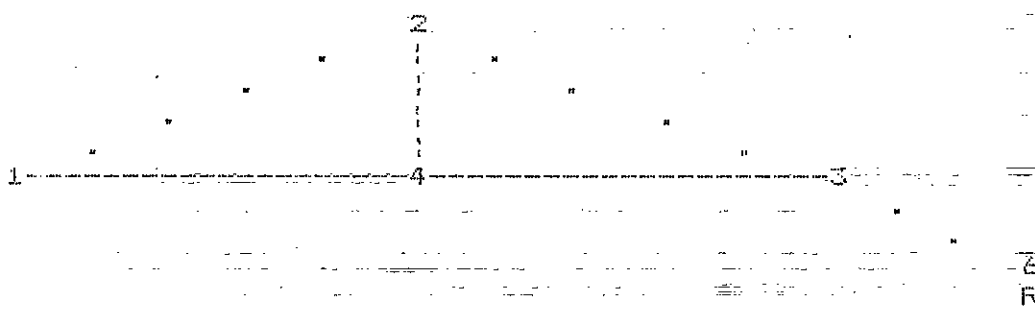
1. Plate location tolerance of 5 mm used.

*** Hydro-Air International(UK)Ltd ***
Job name: HOUSE AT REDCAP, RATHCOOLE
NTRUSS version_V1.28d

Reference: T9
Sequence 9 of 9
14-FEB-1991 08:43 Page 61

Run Remotely by: F1381
W & S TIMBER COMPONENTS LTD
EAST ROAD INDUSTRIAL COMPLEX
DUBLIN 3
EIRE
Ph. 746623,746540,Fax365783

Truss description



Truss input (Userfile = USERDATA.138 / Checksum 304712)

1: E.B.T9.9.9.,HOUSE AT REDCAP,RATHCOOLE 2:4.00,30,450 3:400 4:15
 5:500,0,,,,41 6:16,,,,,960,,960 7: 8:97 9:72 10:BD,WT,4,270
 Base exceptions: PE,BE,60,FF,FR,SM,AS,ED,112,3,220,5,ET,35,1,44,3,M3,195

Truss type : 400

Span = 5.920 m Spacing = 0.450 m
 Top left pitch = 30.000 deg Top right pitch = 30.000 deg
 Transport height = 2.223 m Transport length = 6.420 m
 Overall height = 1.380 m

End details:

Extended rafter = 0.960m (horizontal) on left
 Extended rafter = 0.960m (horizontal) on right
 Top chord left overhang (unsupported) = 0.500 m plumb cut.

Joint coordinates Member layout

Jnt	Type	X	Y	%	Mem	Length	Length	Pitch	%	Web	Length	Pitch
J 1	1	0.000	0.000	*	T 1	2.000	2.309	30.00	*	W 1	1.155	90.00
J 2	6	2.000	1.155	*	T 2	2.000	2.309	-30.00				
J 3	1	4.000	0.000	*	B 3	2.000	2.000	0.00				
J 4	4	2.000	0.000	*	B 4	2.000	2.000	0.00				
J 5	40	-0.960	-0.554	*	X 6	0.960	1.109	30.00				
J 6	40	4.960	-0.554	*	X 7	0.960	1.109	-30.00				
J 7	20	-1.460	-0.843	*	O 8	0.500	0.527	30.00				

Loading

Top chord:

Top dead [TD] = 0.685 kN/m2 (slope)
Snow [SL,SR] = 0.750 kN/m2 (plan)

Bottom chord:

Bottom dead [BD] = 0.250 kN/m2 (slope)
Imposed [BL] = 0.250 kN/m2 (slope)
Man load [ML] = 0.900 kN (vert)

Additional point loads:

J1, J4 [C1] = 0.396 kN (vert)

270 litre water tank over 4 trusses in bay 4.

Load cases considered:

- Case 1 : TD+BD+BL+C1 : Long term
- Case 2 : TD+BD+BL+SL+SR+C1 : Medium term
- Case 3 : TD+BD+BL+SL+SR+ML+C1 : Short term

Design results

Summary of analysis

Mem	Summ	Moment (kNm)	Force (kN)	Load Case	Mem	Summ	Moment (kNm)	Force (kN)	Load Case
T1	0.947	27.446	-4.512	2-MED	T2	0.887	2.267	-4.562	2-MED
B3	0.254	0.067	2.907	1-LONG	B4	0.254	0.067	2.907	1-LONG
X6	0.747	1.245	-1.083	1-LONG	X7	0.655	1.446	-0.942	1-LONG
DB	0.018	0.036	0.089	1-LONG					

Jnt	Summ	Moment (kNm)	Force (kN)	Load Case	Jnt	Summ	Moment (kNm)	Force (kN)	Load Case
J1	0.975	2.579	-4.512	2-MED	J3	0.905	2.381	-4.562	2-MED
J4	0.317	0.102	2.907	1-LONG	J5	0.037	0.044	0.089	1-LONG

Timber

Top	chord	41 x 195	SS Red/White Wood
Bottom	chord	41 x 97	SS Red/White Wood
	Webs	41 x 72	SS Red/White Wood

Maximum summations: Top (Bay 1 = 0.947, Node 1 = 0.975)
 Bot (Bay 4 = 0.254, Node 3 = 0.317)

Maximum reactions (kN); vertical:

J5, LC 3 = -3.519 J6, LC 3 = -2.875

Reactions for all load cases (kN)

LC 1 J 5 = -2.344, J 6 = -1.883
 LC 2 J 5 = -3.519, J 6 = -2.875
 LC 3 J 5 = -3.519, J 6 = -2.875

Minimum bearing lengths (mm)

J 5 = 100, J 6 = 100

Deflection, load case 2, Bay 4 = 12.8 mm

Design notes:

1. It is the responsibility of the truss fabricator to ensure that the dimensions, pitch, loadings and other design considerations comply with customer requirements.
2. Stiffness matrix analysis has been used.
3. Load sharing factor of 1.1 used.
4. Top chords must be restrained by piling battens or bracing at centres not exceeding 400 mm.

Special attention:

1. Bay 4 has a 270 litre tank over 4 trusses.

Warnings:

Water tank (0.71m by 0.85m total height not plotted as it extended above top chord.

Plating
 =====

Joint No.	Connector Type	Location	Member		Teeth Req	Angles (deg) LTN	LTG
			X(mm)	Y			
J 1	1 4005PT Parallel to chord B 4	Central	T 1		42 (57)	30	0
			B 4		50 (57)	30	30
			Shear length (mm)		58 (147)	Angle = 30	
J 2	6 4004PT Horizontal	59	T 1		30 (31)	30	0
			T 2		31 (31)	30	0
			W 1		13 (17)	90	90
			Tension length (mm)		14 (102)	Angle = 0	
J 3	1 4005PT Parallel to chord B 3	Central	T 2		42 (57)	30	0
			B 3		50 (57)	30	30
			Shear length (mm)		58 (147)	Angle = 30	
J 4	4 1005PT Parallel to web W 1	Central	B 3/4		13 (17)	90	90
			W 1		13 (17)	90	90
			Shear length (mm)		19 (25)	Angle = 90	

Plating notes:

1. Plate location tolerance of .5 mm used.

PAUL BRAZIL ARCHITECT

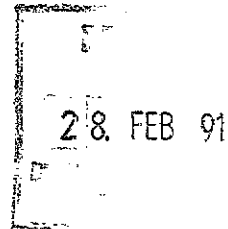
B.Arch. MR.IA. RIBA

DUNTON HOUSE, 25 DARTMOUTH SQUARE E. DUBLIN 6.

TEL. 682947

26 February 1991

Dublin Co Council
Planning Department
Block 2
Irish Life Centre
Lower Abbey Street
Dublin 1



Re : Replacement dwelling and septic tank and retention of existing house as outhouse with 6 new loose boxes and hayshed.
Pl. Reg. 91A/0129.

Dear Sir

We refer to the above current planning application and we now wish to submit for your approval the following unsolicited additional information ;

4 copies Drg. No. 91.01.07 Site Sections A/A, B/B.

Yours faithfully

Paul Brazil
PAUL J. BRAZIL B.Arch. RIBA.

91A/0129

1-4.0

Mr A.I.

RECEIPT CODE

COMHAIRLE CHONTAE ATHA CLIAITH

PAID BY: — DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

*note: this receipt is not an
acknowledgement that the fee
incurred is the prescribed application
fee.*

N 31359

- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

£40.00

Received this 21st day of February 1981

from Paul Brazil architect
Dunlea House
25 Dartmoor square

the sum of forty Pounds

Pence, being None of

fee on 91A/07A

Michael O'Donoghue Cashier



S. CAREY
Principal Officer

CLASS

11

PAUL BRAZIL ARCHITECT

B.Arch. MR.IA. RIBA

DUNTON HOUSE, 25 DARTMOUTH SQUARE, DUBLIN 6.

TEL 682947

19 February 1991

Dublin County Council
Planning Department
Block 2
Irish Life Centre
Dublin 1

20 FEB 91

Att : Registration Department

Re : Replacement dwelling and septic tank and retention of
existing house and outhouse with 6 new loose boxes
and hayshed for Mr B. Murphy.

Reg. Ref. 91A/0129

Dear Sir

We refer to your letter dated 15th February 1991 and we now
enclose an additional fee of £40.00 for the stables.

Mr Murphy and his family are involved in horses as a hobby and
the stables are for private use only. Our client intends
building a block of three first and then eventually building
the final three when necessary. The development of the stables
is non-commercial.

Should you have any queries on the above please contact us.

Yours faithfully

Paul Brazil

PAUL J. BRAZIL B.Arch. RIBA.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0129

Date : 15th February 1991

Our Ref.

Your Ref.

Date

Dear Sir/Madam,

Development : replacement dwelling and septic tank and retention of
existing house as outhouse with 6 new loose boxes and
hayshed

LOCATION : Redgap, Rathcoole

Applicant : B. Murphy,

App. Type : PERMISSION

Date Recd : 7th February 1991

Your application in relation to the above was submitted with a fee of
£32.00 .

On examination of the plans submitted it would appear that the
appropriate amount should be £235.00 .

I should be obliged if you would submit the balance of £203.00
as soon as possible as a decision cannot be made on this application
until the correct fee is received.

write in

Private use

only domestic

£40

Yours faithfully,

PRINCIPAL OFFICER

Mr Paul Brazil,
Architects,
25 Dartmouth Square,
Ranelagh,
Dublin 6.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0129

Date : 8th February 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : replacement dwelling and septic tank and retention of
existing house as outhouse with 6 new loose boxes and
hayshed

LOCATION : Redgap, Rathcoole

APPLICANT : B. Murphy,

APP. TYPE : PERMISSION

With reference to above, I acknowledge receipt of your application received
on 7th February 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

Mr Paul Brazil,
Architects,
25 Dartmouth Square,
Ranelagh,
Dublin 6.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
 Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building REDCAP RATHCOOLE CO. DUBLIN **BYE LAW APPLICATION**
 (If none, give description sufficient to identify) *REG. NO. 112*

3. Name of applicant (Principal not Agent) MR B MURPHY
 Address C/O PAUL BRAZIL ARCHITECTS 25 DARTMOUTH SQUARE Tel. No. 682947

4. Name and address of PAUL BRAZIL ARCHITECTS 25 DARTMOUTH SQUARE
 person or firm responsible for preparation of drawings RANELAGH DUBLIN 6 Tel. No. 682947

5. Name and address to which notifications should be sent
PAUL BRAZIL ARCHITECTS 25 DARTMOUTH SQUARE
RANELAGH DUBLIN 6

6. Brief description of proposed development PROPOSED REPLACEMENT DWELLING AND SEPTIC TANK AND RETENTION OF EXISTING HOUSE AS OUTHOUSE AND 6 LOOSE BOXES AND HAYSHED

7. Method of drainage SEPTIC TANK 8. Source of Water Supply BORED WELL

9. In the case of any building or buildings to be retained on site, please state:-
 (a) Present use of each floor or use when last used RESIDENTIAL } EX COTTAGE
 (b) Proposed use of each floor TACK ROOM

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11. (a) Area of Site 8 ACRES Sq. m.
 (b) Floor area of proposed development 321.36 SQ M Sq. m.
 (c) Floor area of buildings proposed to be retained within site EX COTTAGE 33.75 SQ M. Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD

13. Are you now applying also for an approval under the Building Bye Laws?
 Yes No Place / in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
THE DRAFT BUILDING REGS HAVE BEEN ADHERED TO WHERE APPLICABLE BUT THIS IS NOT A GUARANTEE OF COMPLIANCE

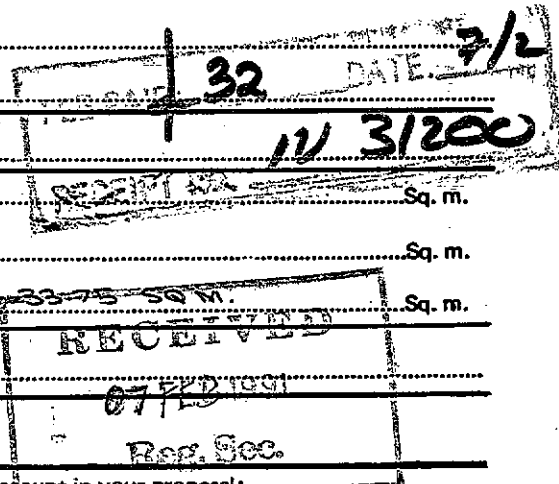
15. List of documents enclosed with application A CORPS Dwg nos 90.01.01 02.03.04.05.06 SITE LOCATION SPECIFICATION IRISH PRESS PLANNING ADD 26-1-91
PLANNING FEE £32

16. Gross floor space of proposed development (See back) 321.36 SQ M. Sq. m.

No of dwellings proposed (if any) 1 Class(es) of Development 1
 Fee Payable £ 32 Basis of Calculation FEE FOR CLASS 1 DEVELOPMENT
 If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Mal Mc Laughlin Date 7-2-91

Application Type P FOR OFFICE USE ONLY
 Register Reference 91A/0129
 Amount Received £ 2,28.4
 Receipt No 7/2
 Date



*Link
 Pres
 26/1/91*

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

This receipt is an acknowledgement that the fee is the prescribed application

- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

N 31200

£32.00

Received this

7th day of February 1991

from Paul Brazil
Dunton House, 25 Dednath square

the sum of

Thirty Two

Pence, being £32.00

application of Rodgap Rathcoole

Michael O'Hare Cashier

S. CAREY
Principal

PAUL BRAZIL ARCHITECT

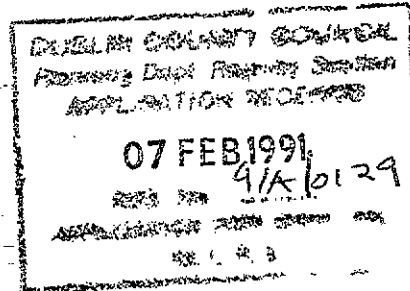
B. ARCH. MR. I. A. RIBA

DUNTON HOUSE, 25 DARTMOUTH SQUARE, DUBLIN 6.

TEL. 682947

6 February 1991

Dublin County Council
Planning Department
Blocks 3 & 4
Irish Life Centre
Lower Abbey Street
Dublin 1



Re : Proposed Replacement dwelling and loose boxes at Redcap,
Rathcoole for Mr B. Murphy.

Dear Sir

We are Architects retained by Mr B. Murphy and we have prepared all drawings and specifications enclosed herewith.

Mr B. Murphy purchased the property comprising 8 acres approx. last summer. At the moment there is a single storey cottage on the property which has fallen into a derelict condition. It is now intended to rebuild and relocate the dwelling house and convert the existing cottage into a tack room along side two blocks of 3 stables. Mr Murphy intends living in the new house and using the remaining 7.5 acres for his equestrian interests.

The new dwelling house has been located to take advantage of fine views north over the city and west over Rathcoole and further. It is intended that the proposed house will nestle neatly in the backdrop of the hills behind. the proposed roof colours will be turf brown or slate grey. The brick will be a mellow-over burnt brown/red brick with painted soffites and fascias and other timber details. The front garden area of the house will be lands coped to harmonise in with the backdrop.

Existing access to the property is to be changed around the corner to allow easier and safer access. These proposals have been discussed in full with Dublin Co. Council Roads Departments.

Contd/...

(2)

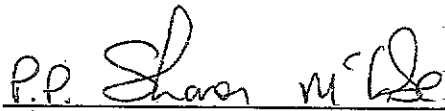
A new septic tank and percolation area is proposed to the front of the house - downhill from the proposed well location.

We enclose four copies of all documentation which includes :

91.01.01	Ground Floor Plan	1:50
91.01.02	First Floor Plan	1:50
91.01.03	Elevations and Sections	1:50
91.01.04	Elevations	1:50
91.01.05	Site Layout	1:2000
91.01.06	Site Plan	1:500
	Site Location Map	Outline Specification
	Irish Press Planning Notice	Saturday 25th January
	Planning Fee	£32.00

It is the practise of this office to take into account the proposed new Building Regulations but this is not a guarantee of compliance.

Yours faithfully


PAUL J. BRAZIL B.ARCH. RIBA.

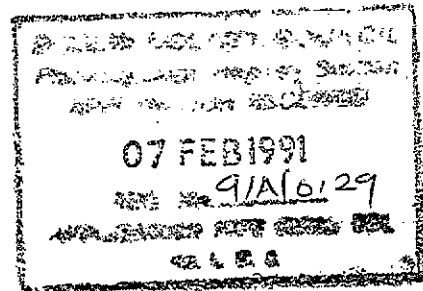
Date: February 1991

Outline Specification: - Where Applicable

Client: Mr B. Murphy

Job No: 91.01

Job Title: House at Redcap Rathcoole



- (19) Substructure: Reinforced concrete strip foundations. Solid 225mm concrete block rising walls to 300mm below DPC level. 150mm clean, sharp hardcore, blinding 1000g Polythene DPM lapped with wall DPC, 125mm oversite concrete. All in accordance with structural engineer's details.
- (21) External Walls: 215mm hollow concrete block rendered or 300mm cavity wall construction with 100mm conc. block leaf internally and 100mm clay facing brick or rendered conc. block externally. Wall ties at 450mm vertically and 900mm horizontally. Insulation: 50mm polystyrene cavity insulation.
- (22) Internal Walls & Partitions: Party walls - 215mm solid concrete block with fire resistance greater than 1 hour. Partitions - 100mm Stud and slab, skimmed or patent partition system.
- (23) Floors: 150mm concrete ground slab.
- (27) Roofs: Conventional pitched, 115mm x 38mm common rafters at 400mm centres. 115mm x 38mm ceiling joists and collar ties. 100mm fibreglass quilt insulation laid between ceiling joists/roof joists/proprietary roof truss in

accordance with manufacturers spec.

(31) Windows:

Painted vac-vac treated s/w timber windows, double glazed with 20mm factory fitted sealed units/alternative P.V.C. double glazed windows/H/w double glazed windows. Soft wood panel doors, painted.

Bay Window:

Structure to structural engineer's detail.

(41) External Wall Finishes:

Block rendered with cement:lime:sand and finished with either 'Sandtex High Build' or other approved external paint. Alternative - pebble dash finish.

(42) Internal Wall Finishes:

Gypsum plaster or dry lining.

(43) Floor Finishes:

Power floated concrete slab to receive occupiers' own floor finishes.

(45) Ceiling Finishes:

Ceiling finishes: Gypsum plaster and/or plasterboard, where required. Decorative mouldings and centre pieces where necessary.

(47) Roof Finishes:

Interlocking concrete roof tiles or asbestos slating with terracotta ridge tiles.

(52) Sanitation:

PVC one pipe ventilated system designed in accordance with BS 5572:1978.

(53) Hot & Cold Water Services:

PVC and copper. Cold water storage at a minimum of 160 gallons.

(54) Space Heating:

Oil fired boiler and low pressure HW radiators or thermostatically controlled electric heating.

(57) Ventilation:

Each habitable room is provided with one permanent ventilator.

(62/63) Electrical Installations: To IEE and ESB standards.

(73) Kitchens: Fitted kitchen units to Architect's specification.

(74) Sanitary Fittings: Coloured bathroom suite to Architect's specification.

(92) Site Works: Tarmacadam vehicular circulation areas - 150mm blinded clean, sharp hardcore. 50mm base course and 25mm wearing course. Engineering brick and/or concrete edging derbs. CI or RCC road gullies. Individual pedestrian access paths tarmacadam or pressed concrete flats and/or brick paviments.

Dwarf walls, dustbin enclosures, general landscape features in solid clay bricks (3rds) or clay paviments.

External lighting to similar or better standard than surrounding public roads. All mains services run underground. Group VHF/UVF areals.

THE FOREGOING OUTLINE SPECIFICATION IS TABULATED IN ACCORDANCE WITH THE NATIONAL STANDARD BUILDING ELEMENT TABLE.