

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF:

91A/⁰~~84~~115

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
Belgard 24/9/91	Clerk J Hannon NOTED		



Bosca 174,
P. O. Box 174,
Bloc 2, Ionad Bheatha na hEireann
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath,
Dublin 1.
Telephone: (01) 724755
Fax: (01) 724896

Mr David Herman,
An Taisce,
41 Meadow Grove,
Dublin 16.

Our Ref.

Your Ref.

Date 2nd April 1991

REG.REF. 91A/115

RE: Development at Kilakee, Rathfarnham

Dear Sir,

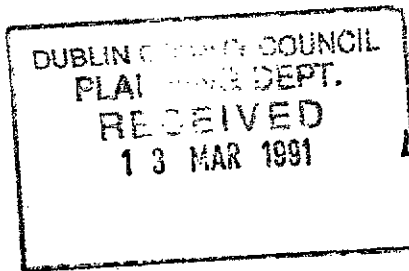
I refer to your letter received in this Department on 13th March 1991 regarding the above and wish to inform you that a Decision to REFUSE Permission was made on this application on 20th March 1991. An Appeal against this Decision may be made within 21 days beginning on the date of the Decision. An Appeal should be in writing and should state the subject matter and grounds of the appeal. It should be addressed to An Bord Pleanála, Block 6 & 7, Irish Life Centre, Lower Abbey Street, Dublin 1. An Appeal must be accompanied by a fee of £50.00.

Yours faithfully

for PRINCIPAL OFFICER

91A/115

119



PK
An Taisce

The National Trust for Ireland

41 Meadow Grove

Dublin 16

12 March 91

OB.

Yr ref: Application 91A/115 for
Patrick Gallagher at Crough Road, Kibkee

Dear Sir/Madam,

On behalf of An Taisce I wish to object to the above application on the following grounds:

1. The area is one of high amenity and the views from Crough Road down into the city and over neighbouring hillsides would be severely impaired by this development.
2. There is no indication that the applicant intends to farm in the area.
3. The application also refers to the upgrading of the laneway into the house which might indicate further applications on this site were this one successful.

Yours faithfully

David Herman

DAVID HERMAN

For South County Association

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 91A 115

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
BELGARD H + P 26 TH FEB 1991	Noted by Cllr. Ormonde		
=			

EYE LAW APPLICATION FEES

REF. NO.: 91A/0115 CERTIFICATE NO.: 1388^B
 PROPOSAL: Dwelling
 LOCATION: Kilaree Rathenlan D16
 APPLICANT: Patrick Gallagher

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	755	755	—		
B	Domestic Etc. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M ² or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the foregoing classes	£70 or £9 per .1 hect. whichever is the greater					

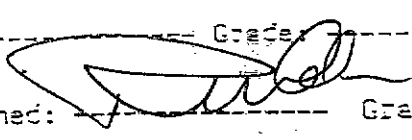
Column 1 Certified: Signed: _____ Grade: _____ Date: _____
 Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: 5.0 Date: 7/2/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

91A/0115

CERTIFICATE NO: 24166

PROPOSAL: Dwellings
LOCATION: Kilakee Rathfarnham D16
APPLICANT: Patricia Gallagher

1	2	3	4	5	6	7
DWELLINGS/AREA LENGTH/STRUCT	RATE	AMT. OF FEE REQ.	AMOUNT LOGGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO
Dwellings	€532	32	32	—		
	€216					
	€500 per M ² in excess of 300M ² Min. 240					
metres ²	€21.75 per M ² or 240					
x .1 hect.	€225 per .1 hect. or 2250					
x .1 hect.	€225 per .1 hect. or 240					
x .1 hect.	€225 per .1 hect. or 2100					
	€2100					
x metres ²	€210 per m ² or 240					
x 1,000m ²	€225 per 1,000m ² or 240					
x .1 hect.	€225 per .1 hect. or 240					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____
 Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____
 Columns 2,3,4,5,6 & 7 Certified Signed:  Grade: S.O Date: 7/2/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

M.O'S.

EASTERN HEALTH BOARD

P.C. _____ Reg. Ref: 91A/0115

Proposed: House

At: Kilakee Rathfarnham

For: Patrick Gallagher

Plans lodged: 4th Feb. 1991

Architect: T O'Malley Sons Ltd.

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

Date of inspection 11th June '91

This proposal is acceptable subject to evidence of potability of water supply from proposed well being supplied.

Reemay Bauer

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 19.06.91
Time 2.15

*7a Deriney
for John O'Reilly SBHO
17/6/91*

SS + cms. File

②

Register Reference : 91A/0115

Date : 19th February 1991

Development : House

LOCATION : Kilakee, Rathfarnham

Applicant : Patrick Gallagher,

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 4th February 1991

Attached is a copy of the application for the above development .your report would be appreciated within the next 28 days.

DUBLIN Co. C.
21 FEB 1991

DUBLIN CO. COUNCIL
SANITARY SERVICES
.....27-MAR-1991.....
PRINCIPAL OFFICER
Returned. *[Signature]*

Date received in Sanitary services

FOUL SEWER

B Septic Tank proposal - refer to E.H.B.

SURFACE WATER

Sept proposal refer to S.B.L.s dept.

[Signature]
23.3.91

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

*Reservoir
Catchment*

File

Register Reference : 91A/0115

Date : 19th February 1991

.....
ENDORSED _____ DATE _____

WATER SUPPLY.....

Well supply - no water seen in
vicinity of Sullawa
4/3/91.

.....
ENDORSED 29 C/S J DATE 25/3/91



Postca 174,
P. O. Box 174,
5 Rae Gardnar,
5 Gardiner Row,
Baile Atha Cliath 1,
Dublin 1.
Telephone: (01) 727777
Fax: (01) 725782

Mr. D. Drumgoole,
Senior Administrative Officer,
Planning Department,
Dublin County Council

Our Ref. P.P. 7/6

Your Ref.

Date 20.03.1991

RE: Application for house at Kilakee, Rathfarnham, Dublin 16.
Reg. Ref. 91A/0115.

With regard to this application, the Parks Department's comments are;

The applicant is applying for planning permission to develop a private dwelling on land zoned "G" according to the 1983 County Development Plan. The objectives of this zone are to protect and improve high amenity areas. The proposed development is, therefore, incompatible with the objectives of the County Development Plan and should be refused.

However, in the event of it being decided to grant planning permission, the following matters should be included:

- 1) The applicant should submit and agree boundary treatment of the proposed site with the Parks Department, prior to the commencement of development.
- 2) The applicant has not provided any public open space in accordance with the 1983 Development Plan Standards. The applicant should, therefore, be requested to pay a financial contribution of £1,000 towards the cost of provision and development of public open spaces in the area.

PLANNING DEPT.
DEVELOPMENT CONTROL SEC
Date 26/3/91
Time 1:00

James Bennett
SENIOR PARKS SUPERINTENDENT

Register Reference : 91A/0115

Date : 19th February 1991

Development : House

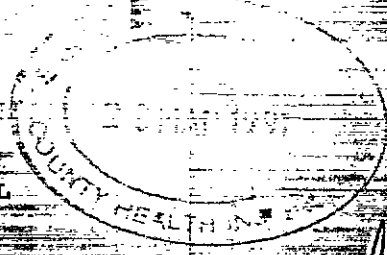
LOCATION : Kilakee, Rathfarnham

Applicant : Patrick Gallagher,

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 4th February 1991



Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Yours faithfully,

PRINCIPAL OFFICER

Date of inspection 5/4/91

The proposal is unacceptable for the following reasons

1. The exact location of the proposed well must be indicated on the plan with no part of the percolation area within 150m
2. No evidence of a potable and adequate water supply given
3. The proposed drainage is not in accordance with S.R. 6 i.e. there are no distribution boxes indicated in the plan of percolation and reserve percolation areas, no details of septic tank design and specifications.

Note: Trial hole inspected on the 5/4/91 complies with requirements of S.R. 6 1975 indicated soil suitability for the disposal of septic tank effluent.

Signature of John O'Leary
SUPER. ENVIRON. HEALTH OFFICER,
33 GARDINER PLACE,
DUBLIN 1.

8/1/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 11/4/91
Time 9.00

P/1182/91
~~1182~~

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/0115

Date Received : 4th February 1991

Correspondence : T. O'Malley & Sons Ltd,
Name and : 7 Baldoyle Road,
Address : Sutton,
Dublin 13.

Development : House

Location : Kilakee, Rathfarnham

Applicant : Patrick Gallagher,

App. Type : Permission

zoning : G

Report of the Dublin Planning Officer dated 12th March, 1991.

This application is for permission. The proposed development consists of a house at Kilakee, Rathfarnham for Patrick Gallagher of Kilakee, Rathfarnham.

The applicant is stated to have a freehold interest in the site. The site is stated to be located on his farm, although no map has been submitted showing the applicant's landholding in the area.

The site is zoned 'G' in the County Development Plan where it is the objective "to protect and improve high amenity areas". Paragraph 2.26.4 states the Councils policy in relation to development in high amenity areas. It is stated that "... it is the policy of the Council that any development not related directly to the areas amenity potential or its use for agriculture, mountain or hill farming shall be prohibited. Applicants who are natives of the area who have shown a genuine need for housing in the area may be considered subject to the development being of such a character that in the opinion of the Planning Authority it does not obtrude on the amenity of the area". There is a specific objective to preserve views and prospects from both Cruagh and Kilakee Roads.

The area of the site is stated to be 4,392 sq. m. Proposed access is off a right of way off Cruagh Road. The site is lowlying.

While there is no record of any previous planning applications on this site, on two occasions permission has been refused to a different applicant for revised house types on a site to the south of this site off Cruagh Road (I refer specifically to applications lodged under Reg. Refs. 88A-840 and 90A-1880).

The proposed house is single storey. The floor area is c. 189 sq. m. which is slightly more than the stated floor area (167 sq. m.) No site survey showing contour lines or sections through the site showing the position of the

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 91A/0115

Page No: 0002

Location: Kilakee, Rathfarnham

house on the site have been submitted.

The roads report dated 8th March, 1991, notes that the site location map does not show the actual location of the entrance to the site from Cruagh Road. It states that the roads department would be opposed to the creation of any further entrances onto Cruagh Road which has a tortourous vertical and horizontal alignment and a continuous white line along the centre for most of its length. It is stated that the applicant should be requested to submit details of his proposed access to the public road indicating sight lines and vertical alignments at his proposed driveway entrance over the first 50 metres from the public road.

There is no report available from the supervising Environmental Health Officer or the Sanitary Services Department at the time of writing.

The applicant has not indicated how the proposed development conforms with the Councils policy in relation to housing in high amenity zones.

The proposed access to the site onto Cruagh Road is considered unacceptable.

A permission is to be considered for a driveway on the site. Access would need to be exercised, preferably from the site to Cruagh Road.
I recommend that a Decision to REFUSE PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 for the following (3) reasons:-

REASONS FOR REFUSAL

01 The proposed vehicular access point onto Cruagh Road has substandard vision splays. ^{and alignment} Cruagh Road has a tortourous vertical and horizontal alignment. There is a continuous white line along the centre of Cruagh Road outside the proposed entrance. The proposed development would generate traffic turning movements onto a substandard Road and would endanger public safety by reason of traffic hazard.

02 The site is zoned 'G' in the 1983 County Development Plan where it is the objective of the Planning Authority "to protect and/or improve high amenity areas". The applicant has not demonstrated how his need for a house in this area conforms with the Councils policy for housing in high amenity zones as outlined in para. 2.26.4 of the Written statement of the 1983 County Development Plan. The proposed development would be contrary to the proper planning and development of the area. *The development would*

Contravene with the development objective indicated in the Development Plan for the use solely or primarily of the site "to protect and/or improve high amenity areas."

03 The applicant has not submitted evidence showing the suitability of the

7

COMHAIRLE CHONTAE ÁTHA CLIATH

Reg. Ref: ~~91A76H15~~ **Record of Executive Business and Manager's Orders**

Page No: 0003

Location: Kilakee, Rathfarnham

site for septic tank drainage. The proposed development ~~could be~~ ^{would, therefore, be} prejudicial to public health. 5

Richard Cermine SEP

for Dublin Planning officer 19-3-91

Endorsed: *[Signature]* for Principal Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to REFUSE PERMISSION for the above proposal for the (3) reasons set out above is hereby made.

Dated : *20/3/91*

~~ASSISTANT CITY AND COUNTY MANAGER~~

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated ~~21st February 1991~~ *5/3/91*

Approved Officer

DUBLIN COUNTY COUNCIL

REG. REF: 91A/115.
LOCATION: Kilakee, Rathfarnham.
APPLICANT: Patrick Gallagher.
PROPOSAL: House.
DATE LODGED: 4.2.91.

MOS

The map attached to the file does not extend sufficiently to indicate the location of the entrance to the site. The lands to the north of Cruagh Road form a virtual precipice, implying any entrance will be difficult and extremely blind. A continuous white line runs along the centre of almost the entire length of Cruagh Road which has a tortourous vertical and horizontal alignment.

Roads Department would be opposed to the creation of any further entrance onto this road.

The applicant should be requested to submit details of his proposed access to the public road indicating sight lines and vertical alignments at his proposed driveway entrance over the first 50 metres from the public road.

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	<i>12/3/91</i>
Time	<i>4.30</i>

TB/BMcC
8.3.91.

SIGNED: *C. B. k*

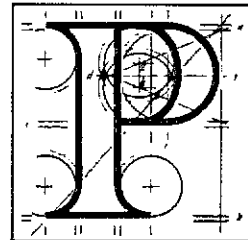
ENDORSED: *E. Wadden*

DATE: *8/3/91*

DATE: *8th March 91*

Our Ref: PL 6/5/85570
P.A. Reg. Ref: 91A/115

An Bord Pleanála



Floor 3 Blocks 6&7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Handwritten initials and date: R/L 21/6

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 17th June 1991.

Appeal re: Erection of a house at Kilakee,
Rathfarnham, County Dublin.

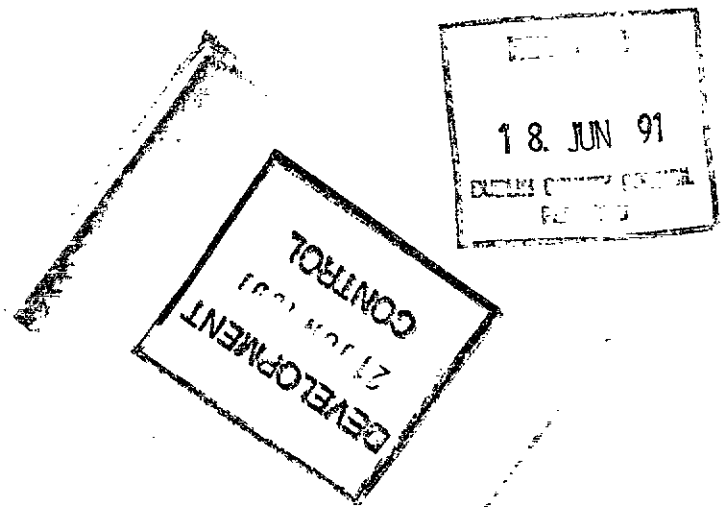
Dear Sir/Madam,

The above-mentioned appeal under the Local
Government (Planning and Development) Acts, 1963 to
1990, has been withdrawn.

Yours faithfully,

Suzanne Lacey
Suzanne Lacey

BP 302



T. O'MALLEY SONS LTD.

Building Contractors
Contract Management
Project Planners
Computer Aided Design

7 Baldoyle Road
Sutton
Dublin 13

Tel 392835

DATE 10/6/91
TO
MS MARY KELLY
AN BORD PLEANALA
FLOOR 3 BLOCK 6 & 7
IRISH LIFE CENTRE
DUBLIN 1



RE: DUBLIN COUNTY COUNCIL DECISION TO REFUSE PLANNING PERMISSION FOR A HOUSE FOR
MR PATRICK GALLAGHER AT KILAKEE RATHFARNHAM DUBLIN 16

REG REF 91A/0115 - PL 6/5/85570

DEAR MS KELLY

We refer to your letter dated 31st may 1991. We will not be submitting further information in relation to the above appeal as we now intend to submit a new application to Dublin County Council.

X On behalf of our client Mr Patrick Gallagher we wish to unconditionally withdraw our appeal in relation to the above decision by Dublin County Council

Yours faithfully


Patrick O'Malley

DESIGN SERVICES/PLANNING/NETWORK ANALYSIS/PROPERTY SURVEYS/REPORTS

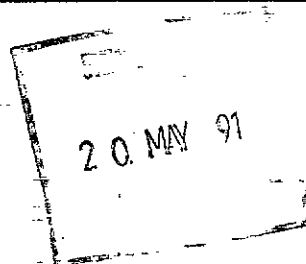
Patrick O'Malley Architect

T. O' MALLEY SONS LTD.

Building Contractors
Contract Management
Project Planners
Computer Aided Design

7 Baldoyle Road
Sutton
Dublin 13
Tel 392835

DATE 16/5/91
TO
MS PAULINE CORRY PRINCIPAL OFFICER
DUBLIN CO COUNCIL
BUILDING CONTROL SECTION
BLOCK 2 IRISH LIFE CENTRE
LR ABBEY STREEY
DUBLIN 1



91A/0115
3.8.0
A1 fa BBL

RE TIME EXTENSION / ADDITIONAL INFORMATION FOR B B L REG REF 91A/115
PROPOSAL: HOUSE AND SEPTIC TANK AT KILAKEE RATHFARNHAM.

DEAR MS CORRY

We refer to your letter of 17/4/91 re the above and submit the following 2 copies.

DETAILS 11907 BBL 10 DETAIL OF SEPTIC TANK
11907 BBL 11 DETAIL OF PRECAST COVERS TO SEPTIC TANK
11907 BBL 12 SCHEMATIC DETAIL
11907 BBL 2A SITE PLAN

We made contact with Ms Rosemary Bower in Environmental Health who informed us that she had inspected a trial hole on the 5/4/91 and subsequently reported that the site was suitable for septic tank drainage. She also informed us that a percolation test, although necessary prior to constructing the percolation areas would not be required at this time. We intend to carry out a percolation test to confirm our design; if an officer from Environmental Health needs to be present please contact the writer and we will be happy to arrange this.

Ms Bower also pointed out that she had not been circulated with copies of our drawings 11907 BBL 10, 11 and 12 which we submitted with our original application.

We have revised our site plan to indicate the position of the well in accordance with S R 6 1975. We have also re-positioned 2 rainwater sumps from their original location in the private garden area south of the house to new positions to the North East and North West to avoid any possible contamination of the well. We would also point out that the site falls from South to North in consequence the natural drainage of the site will be away from the well position.

c.c. MS ROSEMARY BOWER

Yours faithfully

Michael O'Malley
Patrick O'Malley

DESIGN SERVICES/PLANNING/NETWORK ANALYSIS/PROPERTY SURVEYS/REPORTS

Patrick O'Malley Architect

T. O'MALLEY SONS LTD.

Building Contractors
Contract Management
Project Planners
Computer Aided Design

7 Baldoyle Road
Sutton
Dublin 13

Tel 392835

DATE 16/5/91

TO

MS PAULINE CORRY PRINCIPAL OFFICER
DUBLIN CO COUNCIL
BUILDING CONTROL SECTION
BLOCK 2 IRISH LIFE CENTRE
LR ABBEY STREEY
DUBLIN 1

RE TIME EXTENSION / ADDITIONAL INFORMATION FOR B B L REG REF 91A/115
PROPOSAL: HOUSE AND SEPTIC TANK AT KILAKEE RATHFARNHAM.

DEAR MS CORRY

Thank you for your letter dated 17/4/91 (copy enclosed). We have been unable to properly assemble the structural data required ahead of the closing date for submission to you of this information. We request you to extend the period for submitting the information by a further calendar month to 18/6/91 to allow us to complete this process.

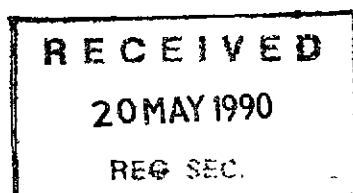
We enclose data in respect of Item 2 of your letter for your consideration.

Yours faithfully


Patrick O' Malley

DESIGN SERVICES/PLANNING/NETWORK ANALYSIS/PROPERTY SURVEYS/REPORTS

Patrick O'Malley Architect



Dublin County Council Comhairle Chontae Atha Cliath

Planning Department

Enquiries/Personal Callers:
Liffey House
24/28 Tara Street, Dublin 2
Telephone (01) 773066



Correspondence:
Building Control Section
Block 2, Irish Life Centre
Lr. Abbey Street, Dublin 1

T. O'Malley & Sons Ltd.,
7 Baldoyle Road,
Sutton,
DUBLIN 13.

Our Ref. PC/CO'B

Your Ref.

Date 17/4/1991

RE: "Time Extension/Additional Information for B.B.L. Reg. Ref: 91A/115 "

Proposal: House & Septic Tank @ Kilakee, Rathfarnham.

Lodgement Date: 4/2/1991

Dear Sir/Madam,

I refer to your application for Building Bye Law Approval in respect of the above proposal. To enable full consideration to be given to the proposal, you should submit the following information in duplicate:

- (1) Full details of the structural beams and roof construction accompanied by design calculations.
- (2) Full details, location & specification of septic tank, percolation areas and wall etc. for consideration of the Chief Medical Officer, Eastern Health Board.

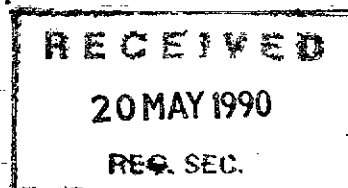
NOTE: The applicant should consult with the Chief Medical Officer, Eastern Health Board.

To facilitate your submission of the information required, the Council is prepared to extend the time for considering the application for a period of two months commencing on receipt of the above information. If the additional information, as specified, is not submitted within one calendar month from the date of this letter, the application will be determined on the basis of the documentation submitted to the Council.

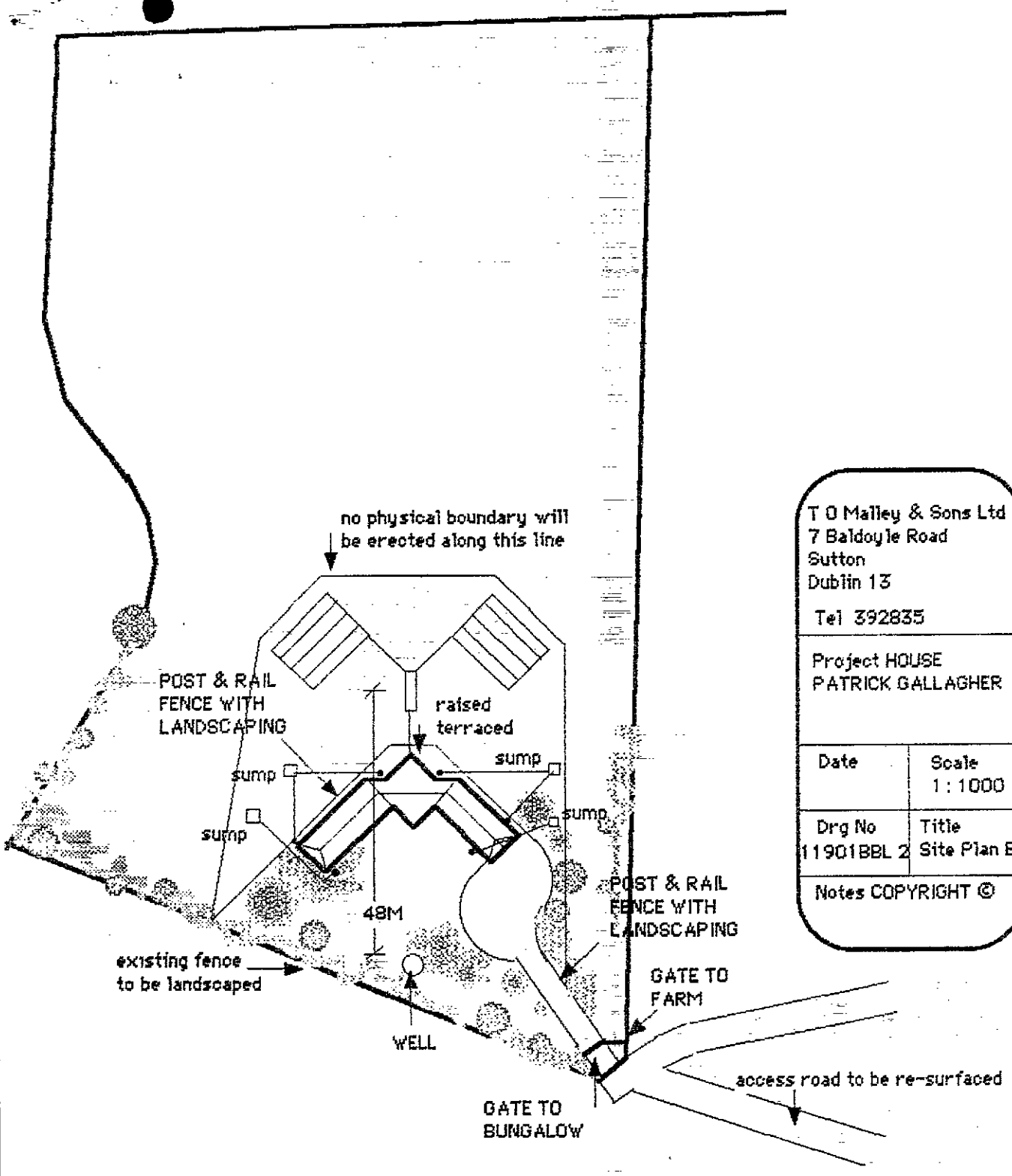
You should signify in writing your agreement to the terms, as set out above, for extending the period for considering your application. In this regard please return the attached Agreement Notice.

Yours faithfully,

Paulie Power
PRINCIPAL OFFICER.



NOTE: Further correspondence should be clearly marked "Time Extension/Additional Information for B.B.L. Reg. Ref. No.: 91A/115 "



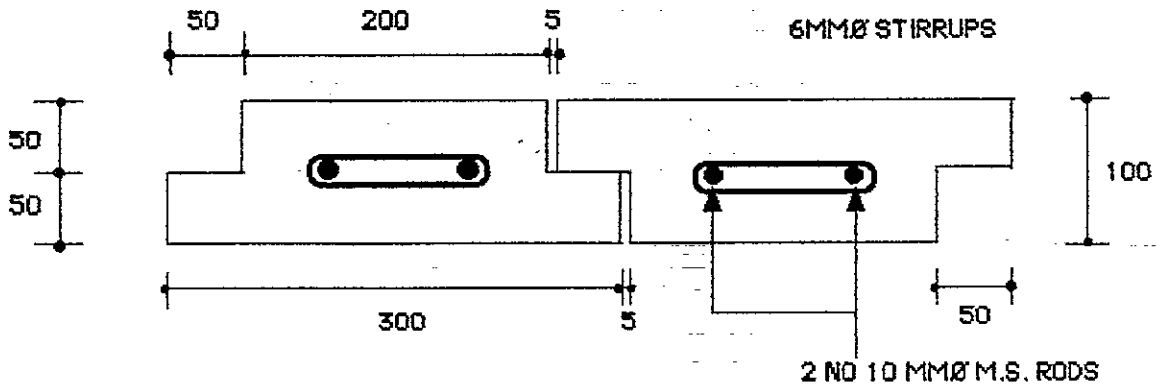
T O Malley & Sons Ltd
 7 Baldoyle Road
 Sutton
 Dublin 13
 Tel 392835

Project HOUSE
 PATRICK GALLAGHER

Date	Scale 1:1000
Drg No 11901BBL 2	Title Site Plan B

Notes COPYRIGHT ©

91A/0113
 RECEIVED
 20 MAY 1990



DETAILS OF REINFORCED CONCRETE ROOF SLAB (PEDESTRIAN TRAFFIC ONLY)

T O Malley & Sons Ltd
 7 Baidoyle Road
 Sutton
 Dublin 13

Tel 392835

Project HOUSE

PATRICK GALLAGHER

Date

Scale

1:5

Drg No

Title

11907BBL-1

Det. Section

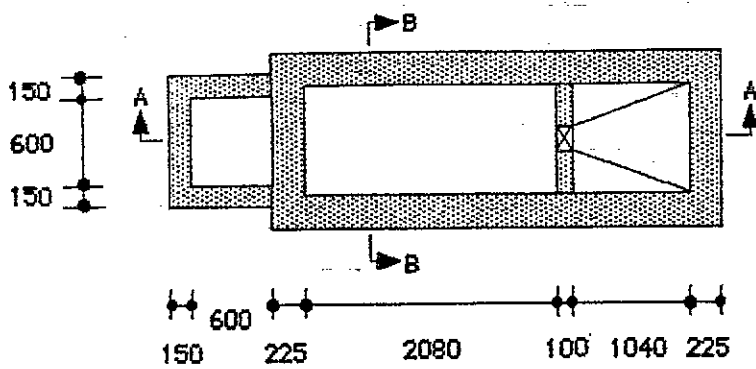
Notes. Copyright ©

9/11/015
 RECEIVED

20 MAY 1990

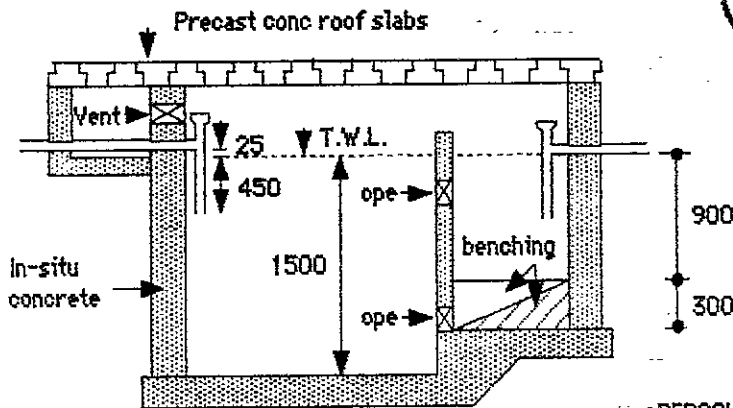
REG. SEC.

ALL DIMENSIONS IN (mm)



PLAN

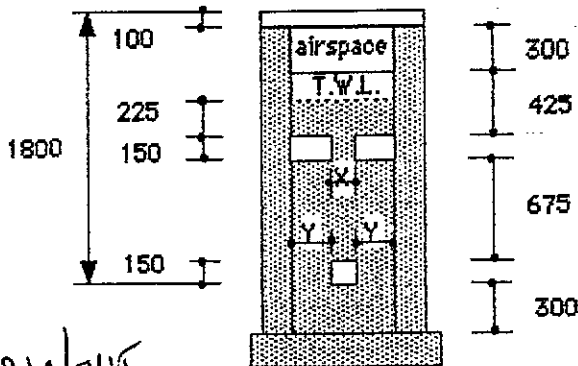
T O'Malley & Sons Ltd
 7 Baldoyle Road
 Sutton
 Dublin 15
 Tel: 392835
 Project: HOUSELOW
 PATRICK GALLAGHER
 Date: _____ Scale: 1:50
 Dwg No: 1907BBL100 Title: Det Section
 Notes: Copyright ©



75 SECTION A - A

PERCOLATION CALCULATIONS
 Assume T value = 20
 Therefore length of distribution pipe = 78 Metres. in accordance with SR 6 1975

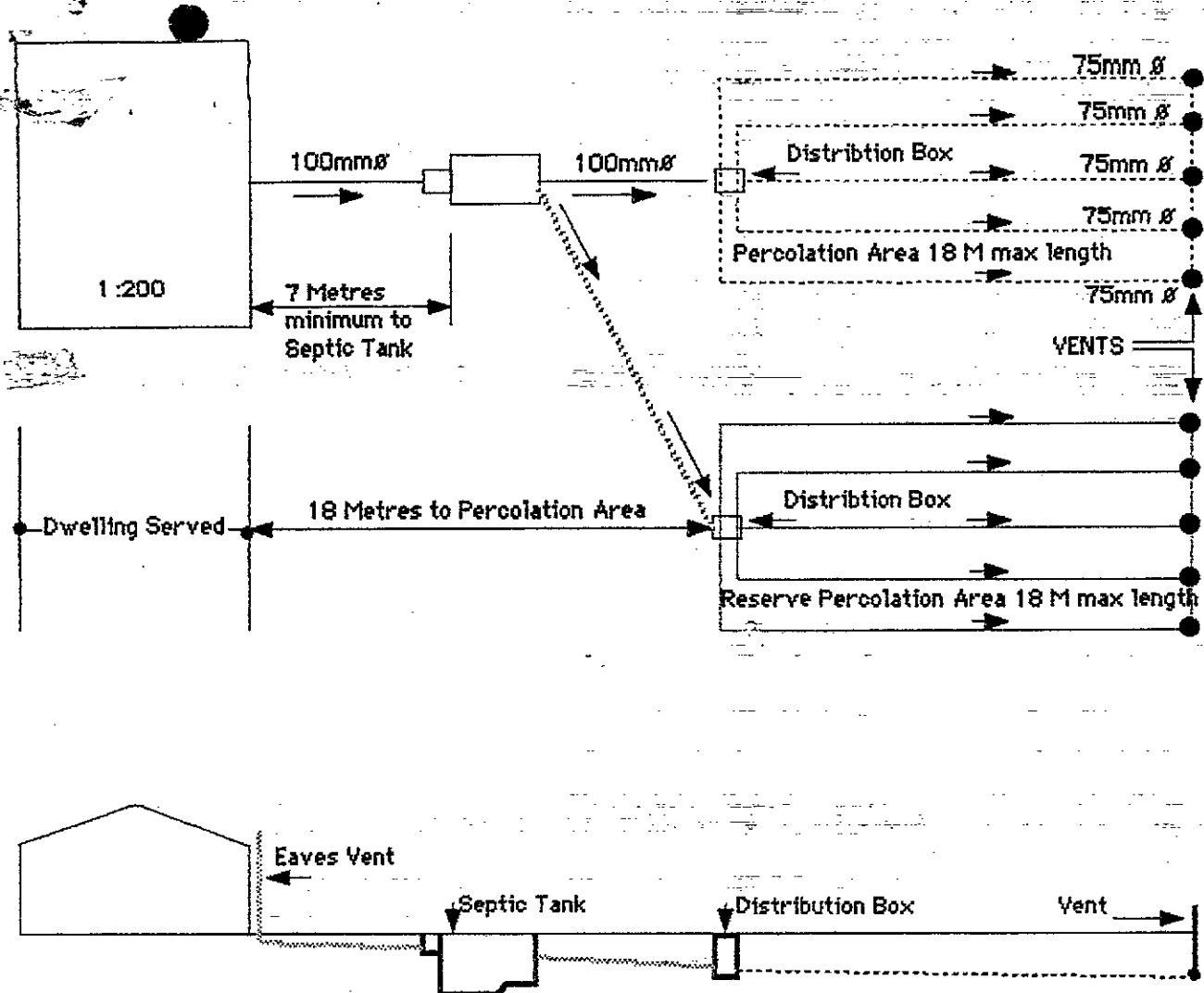
225 VARIES TO SUIT WIDTH 225



300 300 150 SECTION B - B

TANK CAPACITY:
 $C = (180P + 2000)$ litres
 5 bed bungalow - design population = 8
 $C = (180 * 8 + 2000)$ litres
 $= 1440 + 2000$
 $= 3440$ litres = 3.44 CU M.
 Therefore L = 3.1 Metres

9/10/90
RECEIVED
 20 MAY 1990
 REG. SECT.



TYPICAL PLAN & SECTION OF SEPTIC TANK, DISTRIBUTION BOX & PERCOLATION AREAS

T.O Malley & Sons Ltd
 7 Baldoyle Road
 Sutton
 Dublin 13
 Tel 392835

Project HOUSE NO 7
 PATRICK GALLAGHER

Date	Scale 1:200
Drg No 11907BBL12	Title Det Section

Notes Copyright ©

710/115
RECEIVED
 20 MAY 1990
 REG SEC

COMHAIRLE CHONTAE ATHA CLIATH

Tel.: 724755
Ext. 268/269

Planning Department,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

Your Ref.: PL6/5/85570
Our Ref.: 91A/115

6 May 1991

An Bord Pleanala,
Blocks 6 and 7,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1983

Proposal: House at Kilakee, Rathfarnham

Applicant: Patrick Gallagher.

Dear Sir,

With reference to your letter dated 22nd April, 1991 I enclose herewith:-

- (1) & (2) A copy of the application which indicated the applicant's interest in the land or structure.
- (3) A copy of the public notice given, i.e. Irish Independent 22nd January, 1991.
- (4) The plan(s) received from the applicant on 4th February, 1991.
- (6) & (7) A certified copy of Manager's Order P/1182/91, dated 20th March, 1991 together with technical reports in connection with the application.
- (8) Histories: 88A-840 see PL6/5/78980. 90A/1880 enclosed.

Yours faithfully,

M. Murtagh
for Principal Officer.

Encls.

Our Ref: PL 6/5/85570
Your Ref: 91a/115

Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 22nd April 1991

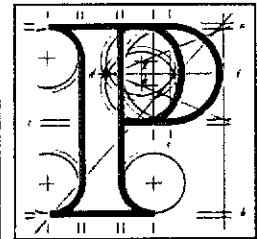
Planning authority decision re: Erection of a house
at Kilakee, Rathfarnham, County Dublin.

Dear Sir/Madam,

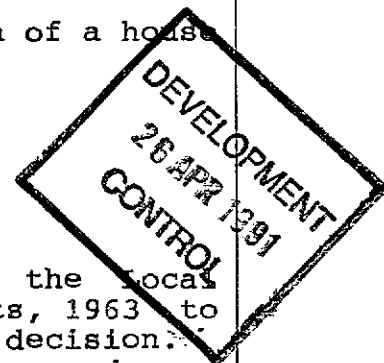
Enclosed is a copy of an appeal under the Local
Government (Planning and Development) Acts, 1963 to
1990, in relation to the above-mentioned decision.
So that consideration of the appeal may proceed, you
are requested to forward to the Board within two
weeks:

- (1) The application made to the planning authority.
- (2) Particulars of the applicant's interest in the land or structure, as supplied to the planning authority.
- (3) A copy of the public notice, whether published in a newspaper or on the site.
- (4) Any drawings, maps, particulars, information, evidence or written study received or obtained from the applicant, including the ordnance survey number.
- (5) Copies of requests (if any) to the applicant for further information relating to the application under appeal and copies of reply and documents (if any) submitted in response to such requests.
- (6) A certified copy of the relevant Manager's Order.
- (7) Copies of any technical or other reports relevant to the decision on the application.
- (8) Particulars and relevant documents relating to previous decisions affecting the same site or relating to applications for similar development close by.

210
pyl
K
25/4
An Bord Pleanála



Floor 3 Blocks 6&7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011
fax (01) 728007



Please note that the other party/parties to the appeal are being notified that copies of the planning authority documents relevant to the decision which gave rise to the above-mentioned appeal will be available for inspection at your offices after the expiration of a period of fourteen days from the date of this letter. It would be appreciated if parties could be facilitated in this regard.

Copies of the representations or observations made to the planning authority in relation to the application should not be sent to the Board. It is assumed that the planning authority has notified observers of the decision made and of the right of appeal.

The planning authority may make to the Board, in writing, such observations on the appeal as it thinks fit. Where practicable, any such observations should be submitted with the documents listed above but the furnishing of the documents should not be held up until observations are available. In any event, to ensure that they will be taken into account in the determination of the appeal, any such observations should be furnished within one month of the date of this letter.

Please quote the above appeal reference number in any further correspondence.

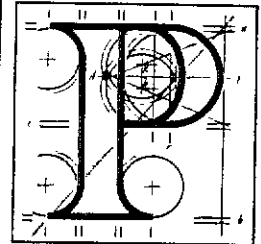
Yours faithfully,


Miriam Baxter.

Encl.

BP 005

An Bord Pleanála



Floor 3 Blocks 6&7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011
fax (01) 728907

T. O' MALLEY SONS LTD.

Building Contractors
Contract Management
Project Planners
Computer Aided Design

7 Baldoyle Road
Sutton
Dublin 13

Tel 392835

DATE 10/4/91

TO
THE PRINCIPAL OFFICER
BLOCK 6 & 7
IRISH LIFE CENTRE
LOWER ABBEY STREET
DUBLIN 1

RE DUBLIN CO COUNCIL DECISION TO REFUSE PLANNING PERMISSION FOR A HOUSE FOR MR PATRICK GALLAGHER AT KILAKEE RATHFARNHAM DUBLIN 16

REG REF 91A/0115

DEAR SIRS

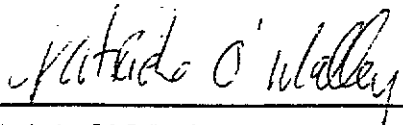
We have been instructed by our client Mr Patrick Gallagher to appeal the above decision by Dublin Co Council. The subject matter and grounds of appeal are the following:

- 1 It is our opinion that the proposed development will not generate additional traffic movement at the junction between the access road and the Cruagh Road.
- 2 We are in a position to demonstrate our client's need for a house in this area in conformity with the guidelines set out in paragraph 2.26.4 of the written statement of the 1983 County Development Plan.
- 3 Our client is presently in contact with the Environmental Health Department with a view to having the appropriate soil tests done to demonstrate the suitability of the site for septic tank drainage.

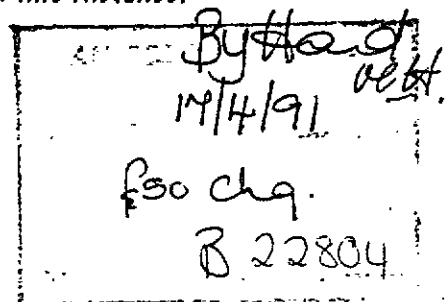
We will submit detailed information in the coming weeks to support the above items.

We enclose a cheque for £ 50.00 being the appropriate fee in this instance.

Yours faithfully



Patrick O' Malley



DESIGN SERVICES/PLANNING/NETWORK ANALYSIS/PROPERTY SURVEYS/REPORTS

Patrick O'Malley Architect

T. O' MALLEY SONS LTD.

Building Contractors
Contract Management
Project Planners
Computer Aided Design

7 Baldoyle Road
Sutton
Dublin 13
Tel 392835

1-0-0
unsubscribed A.I.

DATE 14/3/91

TO
MS MARGERY O'SHEA
DUBLIN CO COUNCIL PLANNING DEPARTMENT
BLOCK 2
IRISH LIFE CENTRE
LOWER ABBEY STREET
DUBLIN 1

DUBLIN COUNTY COUNCIL
PLANNING DEPT.
RECEIVED
20 MAR 1991

RE HOUSE FOR MR PATRICK GALLAGHER, KILAKEE, RATHEARNHAM, DUBLIN 16

REG REF 91A / 0115

DEAR MS O'SHEA

We would like to take this opportunity to acquaint you of some of the reasons which gave rise to the above application and to stress some of the environmentally friendly attributes of our design.

Our client Mr Gallagher who is a bachelor depends on his nephew Mr Frank Harrington to successfully work his farm. It is Mr Gallagher's wish upon his retirement that Frank Harrington take over the management and working of the farm. Mr Harrington who has recently married desires a family home of his own on the farm and Mr Gallagher has responded by providing a site for his nephew upon which he can build a home at his own expense.

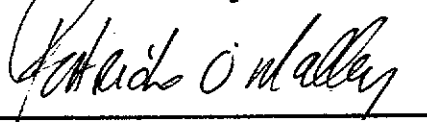
The proposed house is strategically placed at the opposite end of the elongated farm to that of Mr Gallagher's own house; so that the newly married couple can have privacy in the formative years of their marriage and that increased security can be afforded to the farm and stock; it has been the experience in recent years that because of the proximity of the Dublin urban area its citizens naturally tend to use the surrounding countryside for recreational purposes and although not objecting to this in principal, unfortunately a very small minority of individuals from time to time have vandalised the property and or caused excessive nuisance. The worrying of farm animals by dogs has also occurred.

As designers of buildings we are ever mindful of the environmental impact of our proposals particularly in the countryside. To this effect we have located and designed the house in such a way as to provide an organic solution; in particular we have designed a generous roof overhang combined with a shortened dimension (2250mm) from eaves level to the finished pavement level; the roof will therefore architecturally dominate the house. We have located the house in such a way as to obscure it from public view from the Cruagh Road. Because the access road to the site is from the elevated Cruagh Road and as one approaches near to the proposed house much of what will be visible will be roofscape. Maturing landscaping will eventually conceal the house altogether. We are proposing the use of "ANDORRA GREY" natural slates which exhibit a green hue in colour as an acceptable match to the surrounding landscape. We intend to construct the external walls of the house in a selected brick, another natural material which when carefully chosen will be in sympathy with the countryside. It would be our desire to include the planning department in the choice of all external materials.

We have also located the house and terracing on the site taking account of the natural contours of the land. The terraces will also be landscaped. Although the septic tank and percolation areas will occur in the front of the house and the enclosing site will be delineated by measurements on a site map attached to the title deed for mortgage purposes no fence will be erected along that line; it is our view that such a boundary physically defined on the site would be inappropriate on the landscape. We have used the shape of the house and the natural ditch at the rear to enclose a private open space. Mr Gallagher will re-surface the existing access road from the proposed house to the Cruagh Road with gravel properly rolled. It is not our intention to provide a 'tarmac' surface as again we feel it is inappropriate in respect of the organic solution we are trying to create.

As all our efforts are directed towards a positive result to our planning application we would be grateful if you could possibly contact us should any of the departments reporting to you raise a matter which you might find difficult to condition and therefore might give rise to a disapproval. We would like the opportunity to address and resolve any matter arising with that particular department. We would of course seek an extension of time to deal with it.

Yours faithfully



Patrick O' Malley

DESIGN SERVICES/PLANNING/NETWORK ANALYSIS/PROPERTY SURVEYS/REPORTS

Patrick O'Malley Architect



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

NOTIFICATION OF DECISION TO REFUSE PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 1182 /91 Date of Decision : 20th March 1991
Register Reference : 91A/0115 Date Received : 4th February 1991
Applicant : Patrick Gallagher,
Development : House
Location : Kilakee, Rathfarnham
Time Extension(s) up to and including :
Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to REFUSE PERMISSION in respect of the above proposal.

For the Reasons set out on the attached Numbered Pages.

NUMBER OF REASONS:- 3.....ATTACHED.

Signed on behalf of the Dublin County Council.....*Rose Kennedy*.....
for Principal Officer

Date: ...21/3/91.....

T. O'Malley & Sons Ltd,
7 Baldoyle Road,
Sutton,
Dublin 13.

NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,
Blocks 6 and 7
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Reg.Ref. 91A/0115
Decision Order No. P/ 1182 /91
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

REASONS FOR REFUSAL

- 01 The proposed vehicular access point onto Cruagh Road has substandard vision splays and alignment. Cruagh Road has a tortourous vertical and horizontal alignment. There is a continuous white line along the centre of Cruagh Road outside the proposed entrance. The proposed development would generate traffic turning movements onto a substandard Road and would endanger public safety by reason of traffic hazard.
- 02 The site is zoned 'G' in the 1983 County Development Plan where it is the objective of the Planning Authority "to protect and/or improve high amenity areas". The applicant has not demonstrated how his need for a house in this area conforms with the Councils policy for housing in high amenity zones as outlined in para. 2.26.4 of the Written Statement of the 1983 County Development Plan. The proposed development would be contrary to the proper planning and development of the area. The development would contravene materially a development objective indicated in the Development Plan for the use solely or primarily of the lands "to protect and/or improve high amenity areas".
- 03 The applicant has not submitted evidence showing the suitability of the site for septic tank drainage. The proposed development would therefore be prejudicial to public health.

NOTES

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5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0115

Date : 6th February 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : House

LOCATION : Kilakee, Rathfarnham

APPLICANT : Patrick Gallagher,

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received on 4th February 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

T. O'Malley & Sons Ltd,
7 Baldoyle Road,
Sutton,
Dublin 13.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building KILAKEE RATHFARNHAM DUBLIN 16.
(If none, give description sufficient to identify) REFER ENCLOSED LOCATION MAP (REFER ORDNANCE SURVEY DUBLIN SHEET 26-6) DUBLIN SHEET 26-2

3. Name of applicant (Principal not Agent) PATRICK GALLAGHER
Address KILAKEE RATHFARNHAM DUBLIN 16. Tel. No. 933123

4. Name and address of person or firm responsible for preparation of drawings T O'MALLEY & SONS LTD 7 BALDOYLE RD WYNNON DUBLIN 13. Tel. No. 932881

5. Name and address to which notifications should be sent T O'MALLEY & SONS LTD 7 BALDOYLE RD WYNNON DUBLIN 13

6. Brief description of proposed development SINGLE STOREY DWELLING

7. Method of drainage SEPTIC TANK 8. Source of Water Supply WELL

9. In the case of any building or buildings to be retained on site, please state:
(a) Present use of each floor or use when last used.
(b) Proposed use of each floor

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

Irish Indr 22/1/91

11.(a) Area of Site 4392 Sq. m.
(b) Floor area of proposed development 167 Sq. m.
(c) Floor area of buildings proposed to be retained within site _____ Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREE HOLD

13.Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
FULLY TAKEN INTO CONSIDERATION

15.List of documents enclosed with (1) NEWSPAPER AD (2) SPECIFICATION (3) LOCATION MAP 11907/1 (4) SITE PLAN 11907/BBL2 (5) PLAN 11907/3 (6) ELEVATIONS 11907/4 (7) ELEVATION 11907/5 (8) SECTION 11907/BBL1 (9) DETAILS 11907/BBL3 TO BBL12

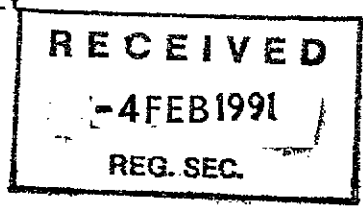
DUBLIN 16 - T. O'Malley & Sons Ltd intend to apply for planning permission on behalf of Mr. Patrick Gallagher for a house on his farm at Kilakee, Rathfarnham, Dublin 16.

16.Gross floor space of proposed development (See back) _____ Sq. m.

No of dwellings proposed (if any) ONE Class(es) of Development CLASS 1
Fee Payable £ 87-00 Basis of Calculation PLANNING 732.00 + BYE LAW 156.00 = 888.00
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Patrick O'Malley Date 31 JAN 1991

Application Type P/BBL FOR OFFICE USE ONLY
Register Reference 91A/0115
Amount Received £ 1.64.0
Receipt No _____
Date _____



LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

RECEIPT CODE

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY **DUBLIN COUNTY COUNCIL**
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

Issue of this receipt is not an
acknowledgement that the fee
tendered is the prescribed application
fee. N 31167

CASH
CHEQUE
M.O.
B.L.
I.T.

£ 32.00
4th

Received this 4th day of February 1991
from Francis Harrington

the sum of thirty two Pounds
Pence, being for for

the application of Kilakee Rathbarney

Malcolm Deane

Cashier

S. CAREY
Principal Officer

Class 1x1

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET, DUBLIN 1. **BYE LAW APPLICATION.**

CASH
CHEQUE
M.O.
B.L.
L.T.

REC. No. N 31440

£ 55.00

Received this 24th day of February 1991

from Francis Harrington

the sum of fifty five Pounds

Pence, being tee for bye-law application at kilkee Rathfarham

Maureen Deane Cashier

S. CAREY Class Ax1
Principal Officer

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY — DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET
DUBLIN 1.

Issue of this receipt is not an
acknowledgement that the fee
tendered is the prescribed application
fee. N-31167

CASH
CHEQUE ✓
M.O.
B.L.
I.T.

£ 32.00

Received this 4th day of February 1991
from Francis Harrington

the sum of thirty two Pounds
pence, being fee for
plp application at Kilakeen Rathfarham

Msileen Deane Cashier

S. CAREY Principal Officer Class 1x1

T O Malley & Sons Ltd
 7 Baldoyle Road
 Sutton
 Dublin 13

Tel 392835

Project HOUSE NO. 10
 PATRICK GALLAGHER

Date	Scale
	1:10

Dwg No	Title
1907BBL 7	Det Section

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Dry mix of mortar and cement around flue liners

225 mm thick conc block

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 Planning & Building Section
 4000

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91A/0115

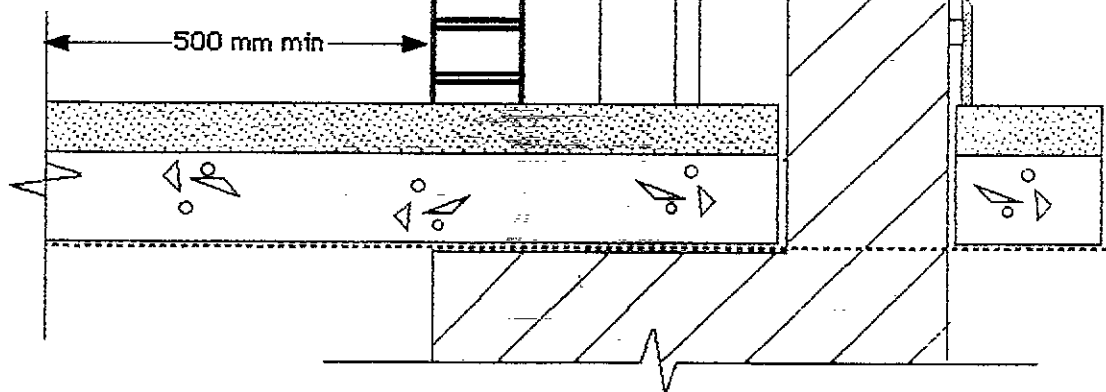
100 mm solid conc block stack

175 mm min internal ϕ socket & spigot clay flue liners with sockets uppermost

Precast conc fire lintel

125 mm thick reinforced conc constructional hearth projecting min 500 mm beyond face of chimney breast and min 150 mm beyond inner face of recess jamb

500 mm min



Constructional hearth Detail

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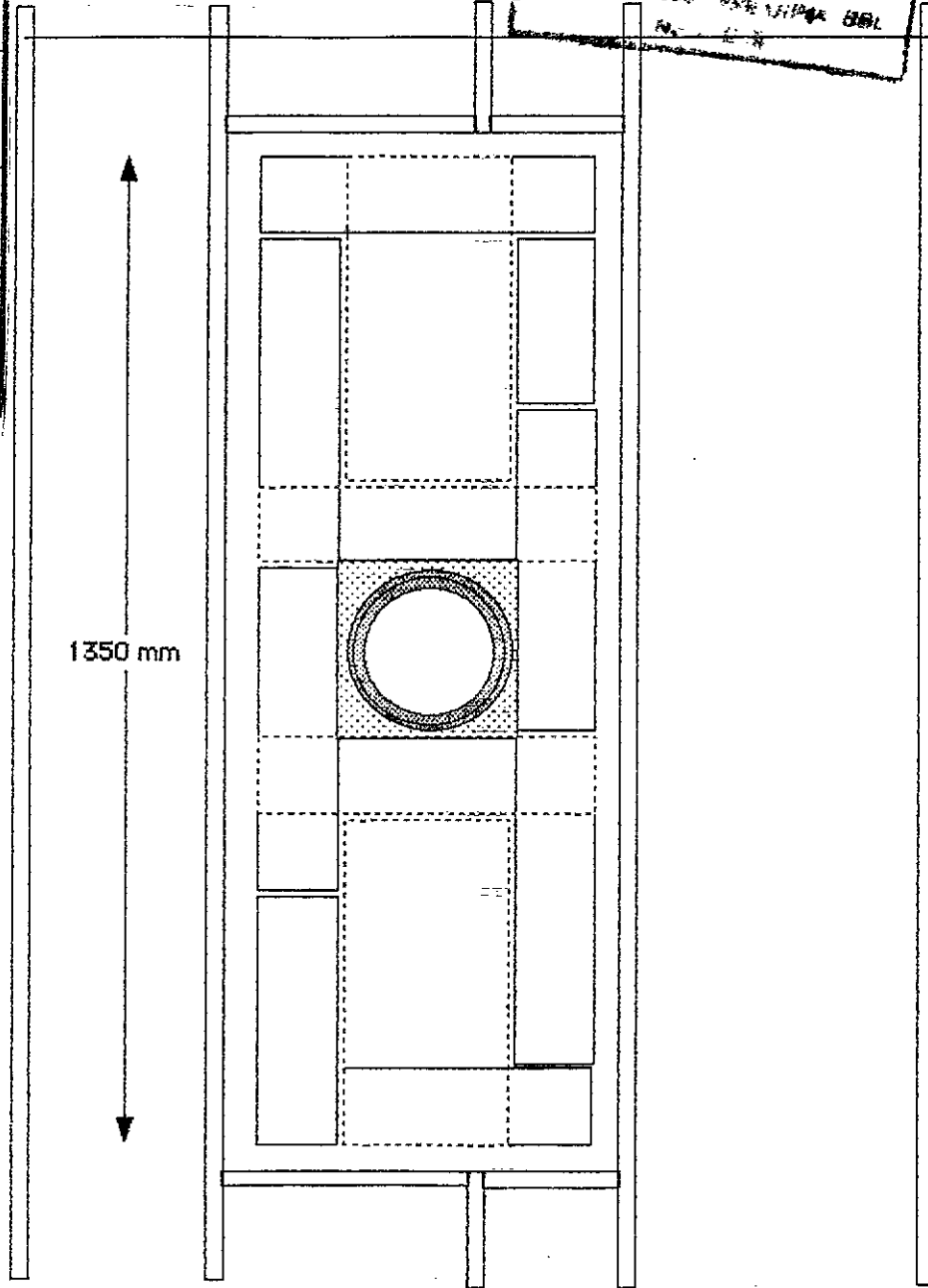
Drg No	Title
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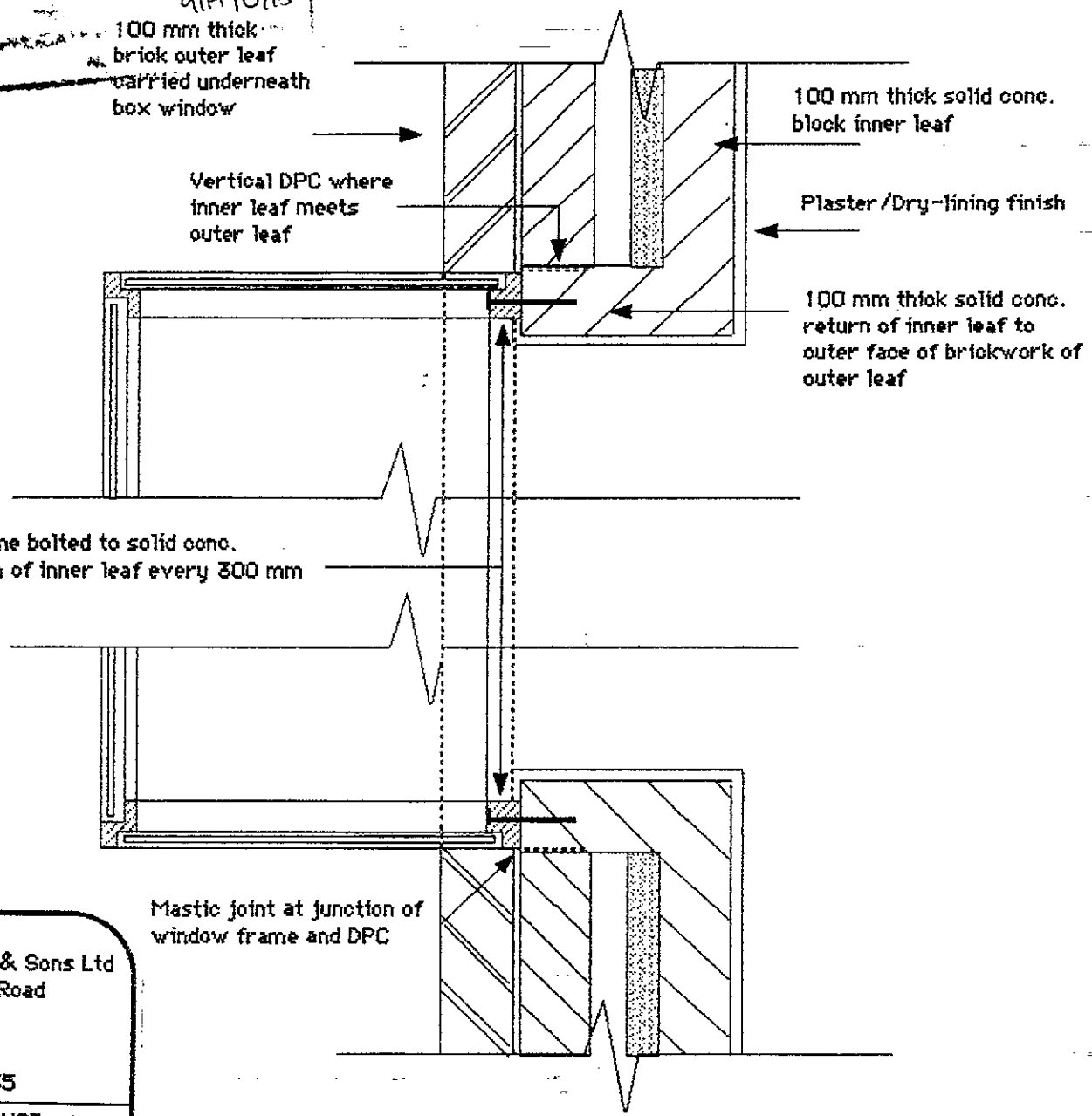
450 mm

1350 mm



Chimney detail through roof

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 100 mm thick
 brick outer leaf
 carried underneath
 box window



Timber frame bolted to solid conc. block return of inner leaf every 300 mm

Mastic joint at junction of window frame and DPC

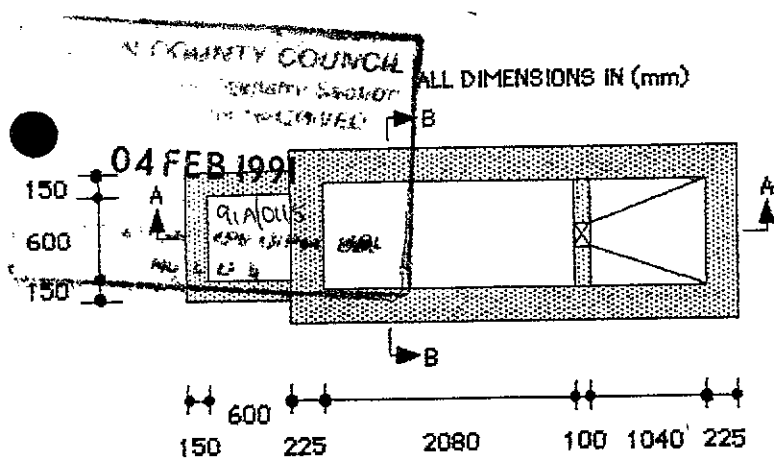
Plan at Box Window jamb

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Project HOUSE
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11907BBL 9	Det Section

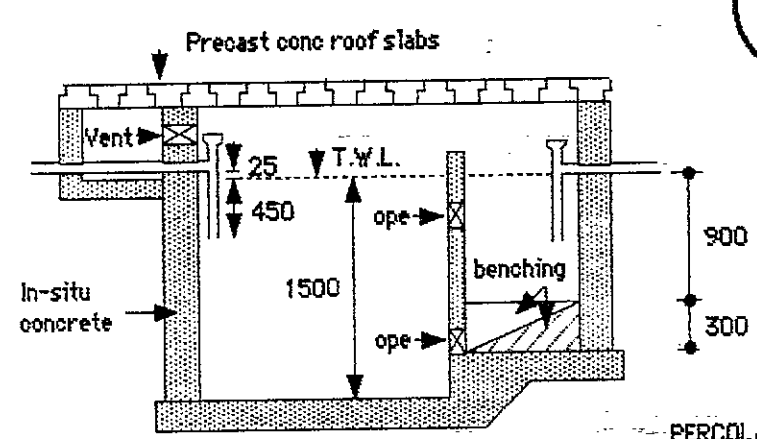
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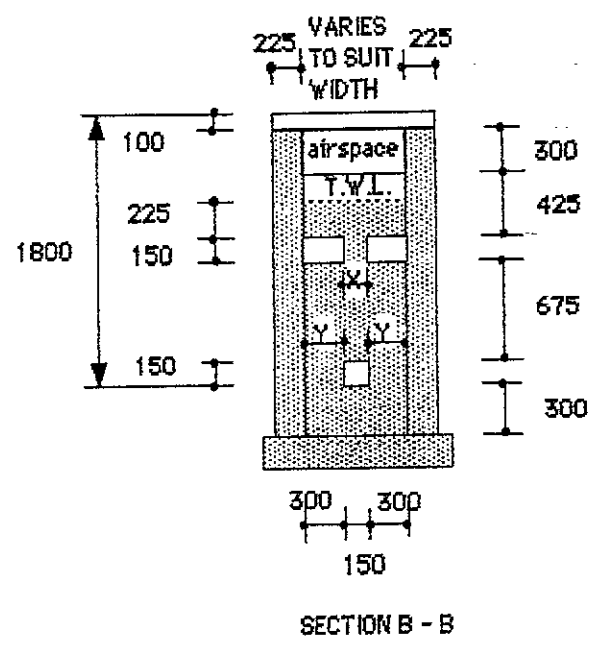
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Dwg No 11907BBL10	Title Det Section
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PERCOLATION CALCULATIONS
 Assume T value = 20
 Therefore length of distribution pipe
 = 78 Metres. in accordance with SR 6 1975

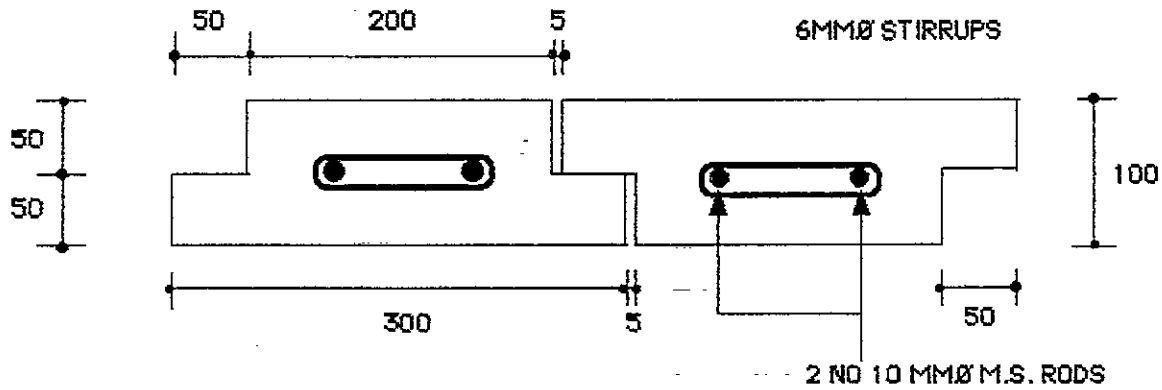


TANK CAPACITY:
 $C = (180P + 2000)$ litres
 5 bed bungalow - design population = 8
 $C = (180 * 8 + 2000)$ litres
 $= 1440 + 2000$
 $= 3440$ litres = 3.44 CU M.
 Therefore L = 3.1 Metres

DETAILS OF CONCRETE SEPTIC TANK CAST IN-SITU SCALE 1 / 50

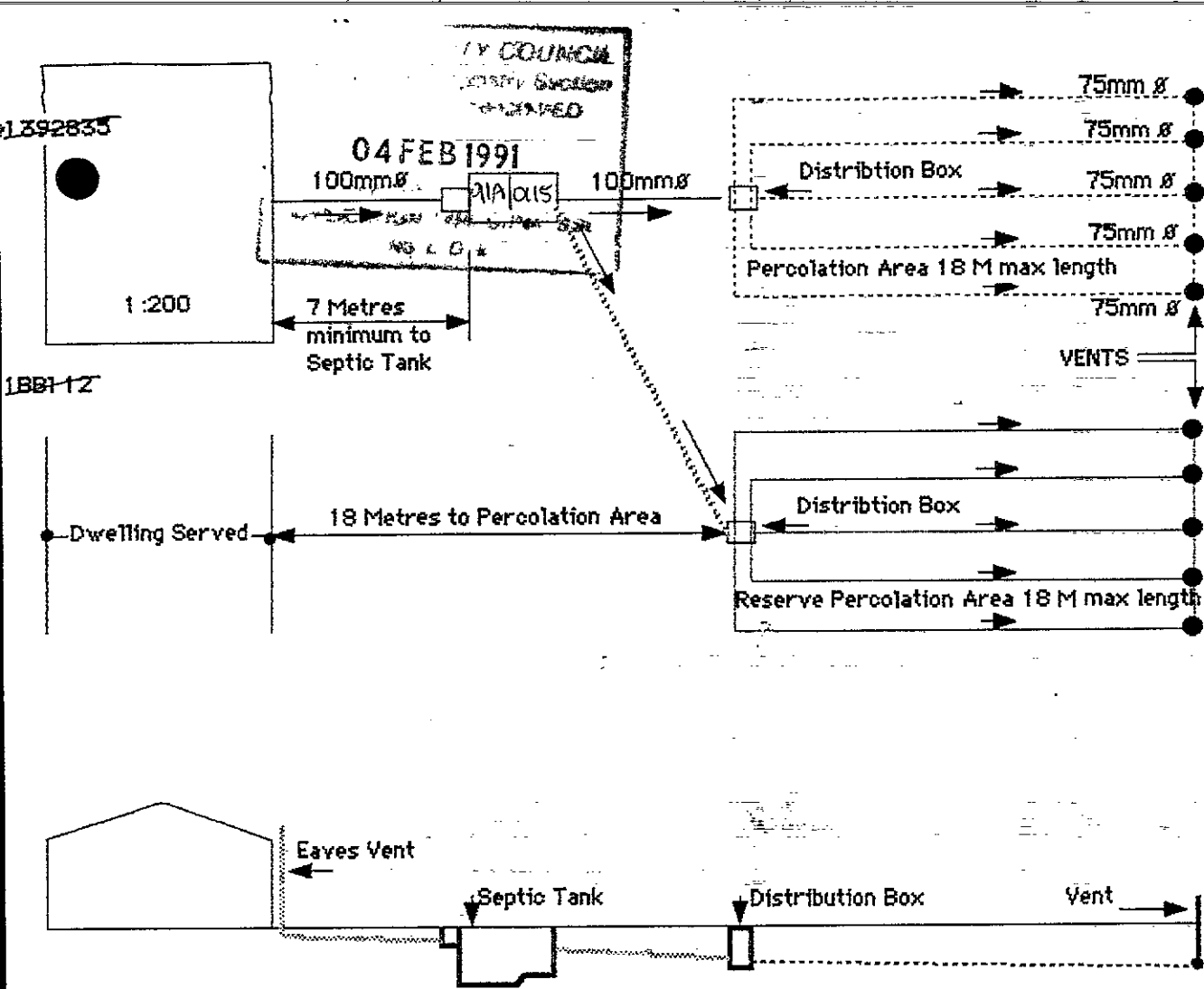
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 NO 2 D 2



DETAILS OF REINFORCED CONCRETE ROOF SLAB (PEDESTRIAN TRAFFIC ONLY)

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Project HOUSE PATRICK GALLAGHER	
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Drg No 1907BBL 1	Title Det. Section
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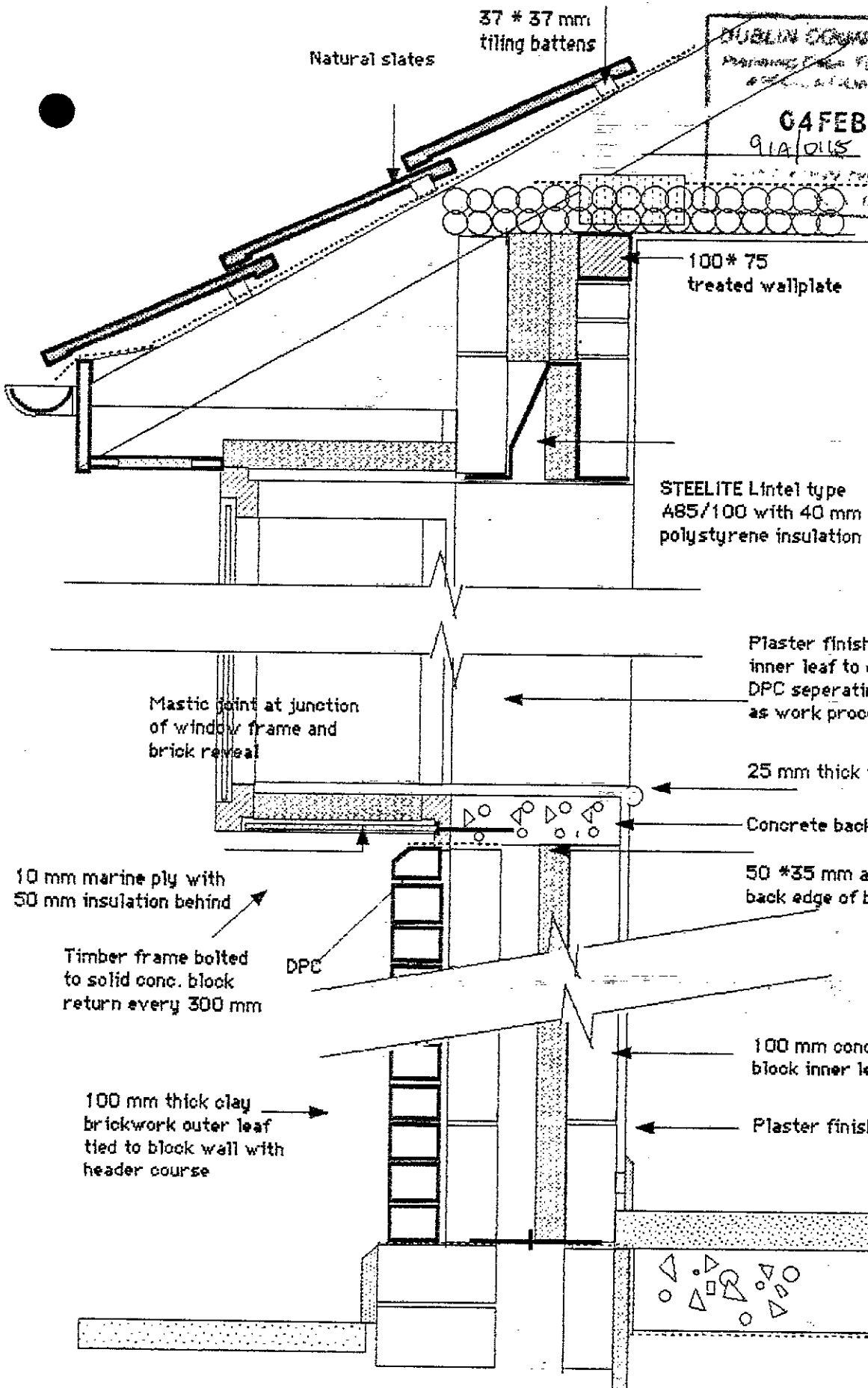
TYPICAL PLAN & SECTION OF SEPTIC TANK, DISTRIBUTION BOX & PERCOLATION AREAS

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 Tel 392835

Project HOUSE
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37 * 37 mm
tiling battens

Natural slates

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100 * 75
treated wallplate

STEELITE Lintel type
A85/100 with 40 mm
polystyrene insulation

Mastic joint at junction
of window frame and
brick reveal

Plaster finish to block return of
inner leaf to outer leaf with vertical
DPC separating inner from outer leaf
as work proceeds

25 mm thick window board

Concrete backing to cill

10 mm marine ply with
50 mm insulation behind

50 * 35 mm angle iron to support
back edge of brick cill

Timber frame bolted
to solid conc. block
return every 300 mm

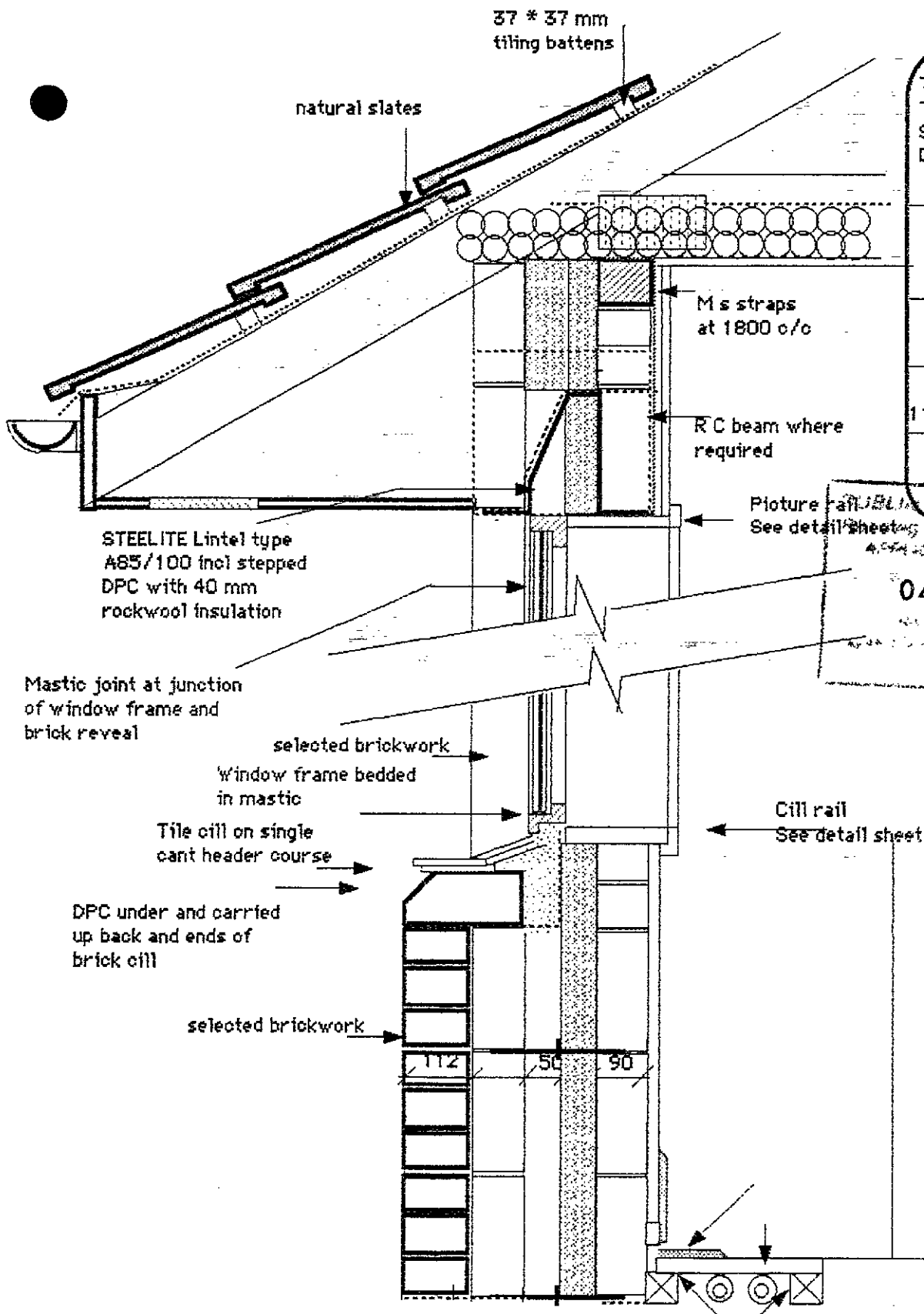
DPC

100 mm conc
block inner leaf

100 mm thick clay
brickwork outer leaf
tied to block wall with
header course

Plaster finish

External Wall - Ground floor to 1st floor



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External Wall - Ground floor to roof

● Wall ties of stainless steel or other equally suitable material spaced every 900 mm horizontally and 450 mm vertically

Ex 150 *12 mm skirting board fixed to 38 * 20 treated ground secured to wall by masonry nails

50 mm thick rockwool insulation
100 mm conc block inner leaf

Ex 112*25 skirting reveal with air vent

100 mm thick clay brickwork outer leaf tied to block leaf with brick header course
D P C

20 mm MDF board

Sand and cement screed

FINISHED GROUND LEVEL
TURNING CIRCLE 150 mm min.

FINISHED PAVEMENT LEVEL

112

50 50 90

75

50*150 treated (timber battens

150 mm in-situ conc slab

D P M

Precast slabs & paving bricks bedded on dry-mix of sand and cement on compacted hardcore

400 mm cavity wall with 100 mm inner leaf and 200 mm outer leaf with sand / cement infill within 225 mm of lowest DPC, sloped to external leaf

50 mm approved non-hygrostatic rigid type insulation

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91A 015

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Date Scale
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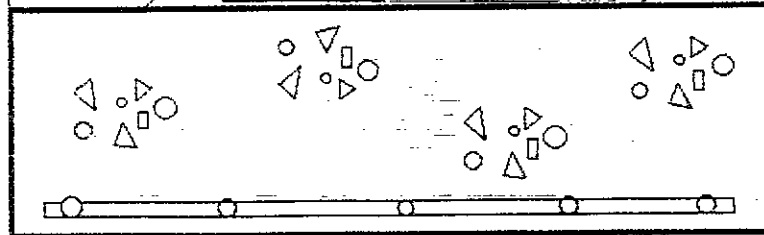
Drq No Title
11907 BBL4 Det Section

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450 mm thick conc block rising wall in sand/cement mortar

Clean broken stone hardcore

Foundation to consist of 20 N 20 concrete reinforced at the bottom with a square mesh (ref A 252 - 3.95 Kg/sqm) having a min. cover of 50mm and min. laps of 300 mm



1.000 M

0.300 M

External Wall foundation to Ground Floor Slab

Depth mBGL

0.00

0.25

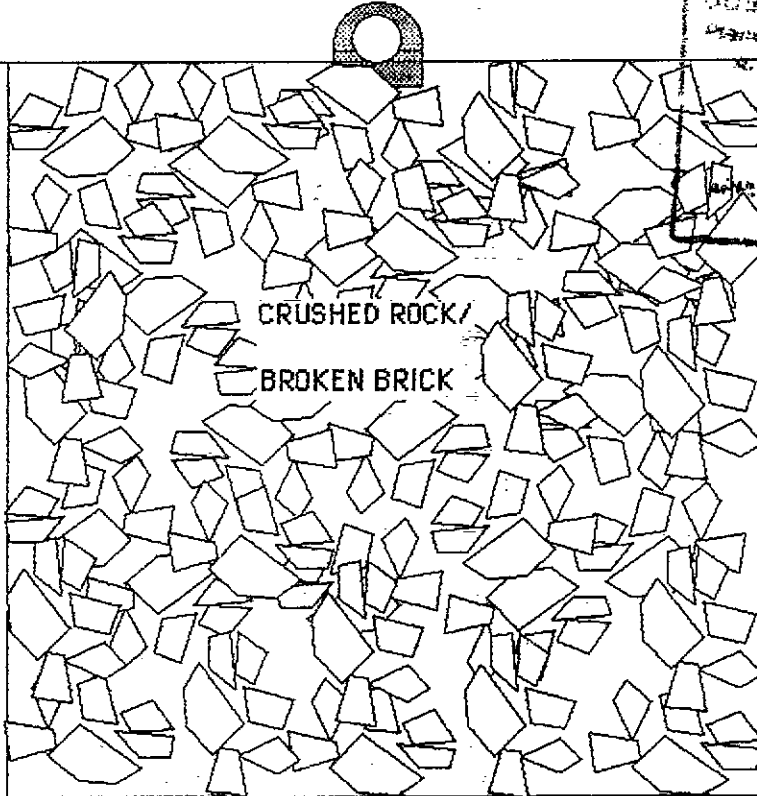
0.80

Black
Topsoil

Dark brown
silty clayey
Subsoil

100 mm Ø PVC pipe bedded and
haunched in concrete

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9.12/016
2.2.1991
2.2. BSL



CRUSHED ROCK

BROKEN BRICK

2.0m

2.0m

TYPICAL SOAKAWAY DETAIL

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7 Baldoyle Road
Sutton
Dublin 13

Tel 392835

Project HOUSE
PATRICK GALLAGHER

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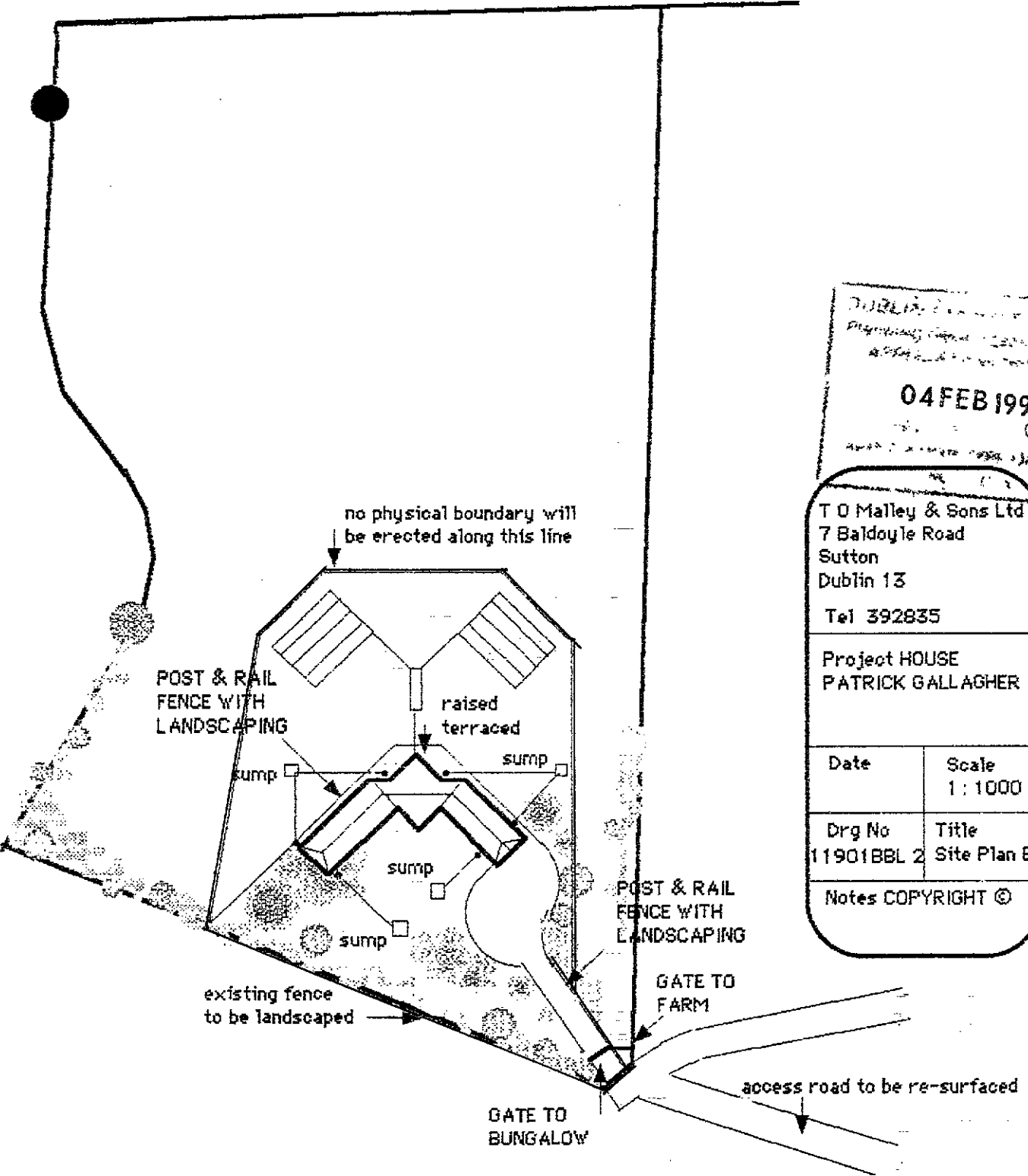
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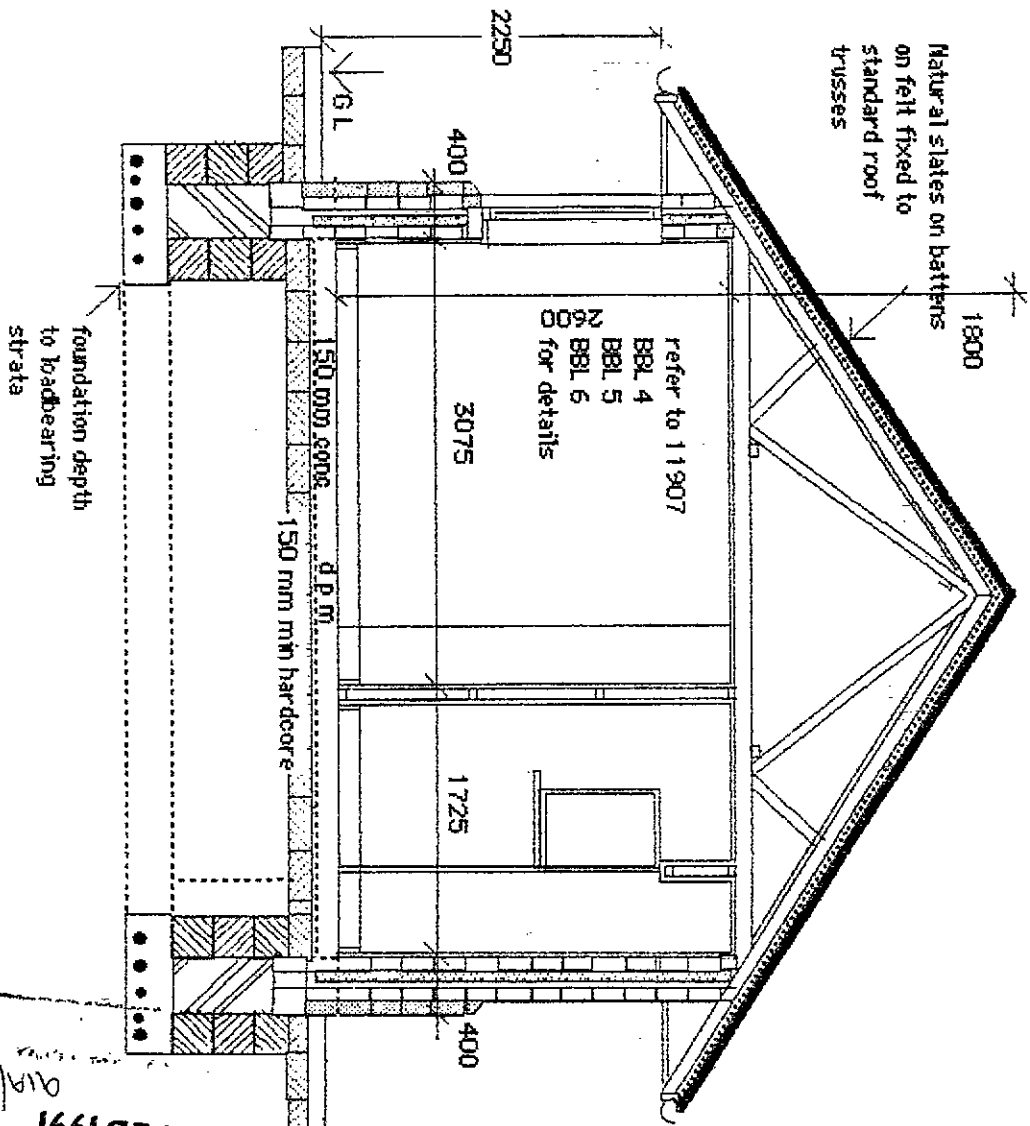
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Date	Scale
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Dwg No	Title
11901BBL 2	Site Plan B

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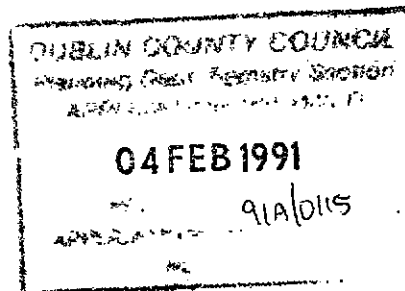


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T O Malley & Sons Ltd 7 Baldylee Road Sutton Dublin 13 Tel 392835	
Project HOUSE PATRICK GALLAGHER	
Date	Scale 1:50
Dwg No 11901BBL1	Title Section
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SPECIFICATION

PROPOSED HOUSE AT
KILAKEE
BATHFARNHAM
DUBLIN 16
FOR PATRICK CALLAGHER



T. O'MALLEY SONS LTD.

Building Contractors
Contract Management
Project Planners
Computer Aided Design

7 Baldoyle Road
Sutton
Dublin 13
Tel 392835

Index

Introduction

- | | |
|-------------------|---|
| Section 1 | General |
| Section 2 | Excavation, Earthworks, Hardfill |
| Section 3 | Concrete Work |
| Section 4 | Blockwork, Brickwork |
| Section 5 | Carpentry |
| Section 6 | Joinery |
| Section 7 | Roof Covering, Flashings |
| Section 8 | Drainage |
| Section 9 | Ironmongery |
| Section 10 | Plasterwork |
| Section 11 | Painting and Decorating |
| Section 12 | Glazing |
| Section 13 | Electrical |
| Section 14 | Mechanical |
| Section 15 | Cleaning |

Introduction:

The scheme proposes the construction of 1 No single storey dwelling

Section 1 General:

1.1 General:

The work described hereafter consists in the supplying of all labour and materials etc., necessary in the erection of the dwelling. Construction of this dwelling is to be in strict accordance with this specification and the accompanying plans. The material throughout shall be the best quality of their respective and various kinds as more particularly specified hereafter, and are to be of Irish manufacture wherever possible. Where a relevant I.S.S or B.S.S or B.S.C.P. exists for a material or workmanship, these must be consulted and complied with.

1.2 Insurances:

The contractor is to insure fully his men under current insurance legislation. He is also to take full responsibility for prevention of, and to insure against accidents or damages to persons, animals and property by reason of the works.

1.3 Service of Notices:

The contractor is to serve all notices on adjoining owners etc., and pay all fees in connection with the work or otherwise due. He is to notify the Local Authority in time to have mandatory inspections carried out

1.4 Setting Out:

The contractor is to take full responsibility for setting out according to measurements on the plans. Scaled measurements must not be used.

1.5 Water:

All works in connection with water supply must comply in every particular with Local and Health Authority Regulations and Requirements

Section 2 Excavation, Earthworks and Hardfill:

2.1 General:

Any excavation carried out by machine shall stop not less than 75 mm from the proposed finished excavation level, to avoid damage to the proposed formation. The remainder shall be taken out by hand.

2.2 Antiquities:

Any ancient carvings, relics of antiquity, coins or other curiosities which may be discovered or excavated during the progress of the work are to remain the property of the Employer and are to be handed over to the Architect.

2.3 Obstructing of Traffic:

The Contractor must place his plant in position, arrange his operations and store materials so as not to cause obstruction or nuisance to traffic either pedestrian or vehicular in the street or thoroughfares. He shall provide safe crossings where required over any openings. He shall if ordered by the Architect, erect his plant and stores in position to be indicated. He shall remove temporarily as ordered by the Architect any materials which are causing a nuisance or obstruction until their immediate use is required.

2.4 Vegetable:

The site of the dwelling, surrounding footpaths and driveway are to be excavated to a depth of 300 mm. minimum below their ultimate finished concrete level, or to such depth as to remove all vegetable soil. Surplus soil to be spread and deposited as directed by the Architect.

2.5 Site Development:

In cases where site development is in operation and where footpaths have not yet been constructed, the contractor must conform in all respects with current requirements of Local Authority paving department regarding levels, cross falls, boning etc., and must make himself familiar with these before constructing driveway.

2.6 Foundations:

SEE SECTION 3 CONCRETE WORK

2.7 Drains:

Excavate to the required depth all necessary cuttings for drains, manholes, Armstrong Junctions etc., to position as shown on plan or as may be directed by the Architect or Local Authority Inspector.

2.8 Hardfill:

Provide a bed of not less than 150 mm. thick of well consolidated clean broken stone over area where building operations are to be carried out.

Section 3 Concrete Work:

3.1 General:

The materials, labour and workmanship in and connected with the execution of the concrete work shall be the best of their kind without regard to any trade terms and the contractor shall employ a duly qualified person experienced in reinforced concrete construction to supervise work. The quality of materials and the standard of workmanship for the reinforced concrete shall comply with the relevant clauses of C.P. 110: Part 1 and B.S. Code of Practice 2007 in regard to all requirements not otherwise described in this specification.

The amount of water shall be measured by volume or by weight. Any solid admixtures to be added shall be measured by weight only, but liquid or paste admixtures shall be measured by volume or by weight.

The batch weights of aggregates shall be adjusted for the moisture content of the aggregates being used. The quantity of water contained in the aggregates shall be determined by the contractor in accordance with a method approved by the Architect, and the quantity of water contained in the aggregates being used.

The accuracy of all measuring equipment shall be within 3% of the quantity of cement, water or total aggregates being measured within 5% of the quantity of any admixture being used. All measured equipment shall be maintained by the contractor in a clean serviceable condition. The mixer shall comply with the requirements of B.S. 1305 or B.S. 4251 where applicable. The mixing time shall not be less than two minutes or the time necessary to ensure compliance with the required strength. When the mixer complies with B.S. 4251 no water shall be added at the batching plant or in transit to site.

3.2 Transporting and Pumping Concrete:

The concrete shall be transported from the mixer to the formwork or place of deposit as rapidly as practical by a method which shall prevent the segregation or loss of any of the ingredients and shall maintain the required workability.

3.3 Placing and Compaction of Concrete:

The concrete shall be evenly placed in its final position and shall not be worked or allowed to flow in a horizontal direction. The concrete shall be deposited in layers to a compacted depth not exceeding 450 mm. where internal vibrators are used or 300 mm. in all other cases. The concrete required for one construction unit shall be placed in one continuous operation. The concrete shall not be dropped from a height exceeding 1800 mm. unless approved by the Architect.

3.4 Formwork:

All formwork whether of wood, metal or glass reinforced plastic shall in every respect be adapted to the structure and to the surface finish of the concrete. All formwork shall be fixed in perfect alignment and be securely braced to withstand without displacement, deflection or movement of any kind, the weight of forces exerted by the wet concrete, the movement of persons, material or plant and the effects of mechanical vibrators. Notwithstanding approval by the Architect the strength and adequacy of the shuttering shall remain the responsibility of the Contractor.

Formwork defined as wrought shall be lined with an approved smooth non-absorbent lining, or rendered non-absorbent by means of polyurethane based paint or varnish.

All joints shall be sufficiently close and tight to prevent the leakage of grout. Where steel or glass reinforced plastic formwork is used all joints and holes in the formwork shall be sealed with tape and approved adhesive.

3.1 Continued;

3.5 Reinforcement:

Reinforcement shall comply with the requirements of B.S. 4449, B.S. 4461, B.S. 4432 and B.S. 4483. Tying wire shall be 16 gauge soft annealed iron wire.

3.6 Placing, Bending Reinforcement:

All bar reinforcement shall be bent and cut in accordance with B.S. 4466. Particular care shall be taken to ensure that the radius of bend of reinforcement projects from concrete is not less than that specified in B.S. 4466.

Reinforcement shall be accurately placed as shown on the drawings and secured against displacement by tying wire and shall be supported on an adequate number of small precast concrete blocks with tying wire cast in, or metal spacers, or plastic spacers, or metal hangers

All joints in round mild bar reinforcement shall have overlaps of at least 50 diameters of the smallest of the overlapping bars and in deformed high tensile bar reinforcement overlaps of at least 40 diameters of the smaller of the overlapping bars.

Laps in fabric reinforcement shall be as follows:

Oblong mesh: 450 mm. along longitudinal wires and 75 mm. long transverse wire.

Square mesh: 300 mm. both ways.

Reinforcement shall not be surrounded by concrete unless it is free from mud, oil, paint, retarders, loose rust, loose mill scale, snow, ice, grease or any other substance which will affect adversely the steel or concrete chemically, or reduce the bond between steel and concrete.

All reinforcement shall be bent cold and no heating or welding will be permitted. When the temperature of the steel is less than 5 degrees, the speed of bending shall be reduced.

3.7 Concrete Cover Reinforcement:

The nominal cover is that dimension used in design and reinforcement shall be placed to provide the cover shown on the drawings.

3.8 Precast Concrete:

All precast elements to be manufactured and supplied by competent suppliers and must comply with the relevant I.S.S. or B.S.S. standards and Codes of Practice.

3.9 Strength of Concrete:

The grades of concrete shall be as follows:

Grade	Characteristic Strength N/mm sq.	Compliance Strength in N/mm sq. assuming a current margin of 15 N/mm sq.	
		7 days	28 days
10 lean mix	10	11.5	17.5
20	20	18.0	27.5
25	25	21.5	32.5
30	30	25.0	37.0

3.10 Damp Proof Membrane:

Provide 1000 gauge 'Visqueen' d.p.m. to be laid on 50 mm. sand base underneath all ground floors, with 150 mm. end laps and full laps at angles. Ground floor D.P.M. to be lapped over d.p.c. in all superstructure walling

3.11 Paved Areas:

To be a combination of precast concrete and or clay pavers to be set out in accordance with the Architect's Landscape layout

3.12 Concrete Kerb:

Concrete kerb shall be 250 mm. by 125 mm. precast concrete complying with I.S. 146 and shall be laid on a 100 mm. thick by 225 mm. wide bed and haunch. The concrete kerbs shall show 100 mm. above the road level.

Section 4 Blockwork, Brickwork:

All materials and workmanship shall be as already described in Section 3. Cement shall comply with relevant I.S.S. or B.S.S. Water shall be clean and uncontaminated. If water is not available from the public supply, it shall be tested in accordance with B.S. 3148. Aggregates shall be stored on hard and self draining paved areas with different aggregates kept separated by means of solid walls. Cement shall be stored in a raised waterproof structure

4.1 Lime:

Lime shall be hydrated lime from an approved manufacture and shall comply with I.S. 8

4.2 Mortar:

Gauged mortar shall be composed of 2 parts fresh lime to 3 parts washed sand gauged with 10% cement. Cement mortar shall be composed of 1 part cement to 3 parts washed sand, mixed in small quantities and used immediately. Ready-mixed mortar may be used provided it conforms with this specification.

4.3 Concrete Blocks:

Concrete blocks shall be solid and hollow in all standard sizes. They shall be sound, free from cracks, flaws, true in shape and uniform in size. Arrises shall be square, straight and sharply defined.

4.4 Cavity Walls:

Walls shall be formed of two solid 100 mm. nominal leaves of blocks or bricks with 100 mm. cavity between. Outer and inner leaves to be tied together by stainless steel wall ties, not less than 4 per sq. metre with extra ties at opes. Outer and inner leaves to be taken up simultaneously and care to be taken that mortar droppings be cleaned out of the cavity through openings left for that purpose. All window, door and other opes in cavities to be sealed and vertical d.p.c. to be inserted where the inner leaf returns to meet outer leaf to prevent the passage of moisture. The cavity is to extend at least 150 mm. below the level of the d.p.c. and shall carry moisture to the outside at all points at the base. Insulation of a rigid nature, 50 mm. thick shall be fixed in the cavity as the work proceeds. The roof insulation is to extend down to meet the cavity insulation at door and window head level.

It is intended to construct the outer leaf entirely in brickwork using one colour up to window cill level and another colour co-ordinated with the first from window cill level to the eaves. The bricks will be selected by the Architect with the approval of the Local Authority planning officer.

4.5 Chimney Breasts and Stacks:

Chimney breasts shall be built of solid concrete blocks, finished brick or facing stone, minimum thickness 112 mm. bedded in gauged mortar with precast splayed lintol and flue gathering over fire ope. Each fireplace recess shall have 200 mm. solid incombustible material to sides and back excluding any fireback, carried up to the full height of the recess. Each fireplace shall have an independant flue, seperated by a minimum of 112 mm. concrete blockwork from any other flue. Each flue shall be lined with interlocking fireclay liners to I.S. 51 with minimum 200 mm. diameter surrounded with weak mortar. Chimney pot to be carried 150 mm. above capping. Bends shall be formed to flues by using interlocking splayed flueliners.

Top of chimney stack to extend 600 mm. over highest ridge. All finished work to be protected from inclement weather and subsequent building work

4.6 D.P.C.:

The damproof course shall be bitumen based in accordance with B.S. 743, laid to prevent the passage of moisture and lapped adequately at joints.

D.P.C.s shall be provided to tops of all rising walls not less than 150 mm. above finished ground level. D.P.C. to be provided also for chimney stacks at lower level of junction of stack with roof slope, under chimney copings, at ends, back and under all window cills, to jambs in cavity walls. Continuity of d.p.m.s under solid ground floors must be ensured by stepping, turning up and lapping as necessary with horizontal d.p.c. in walls.

4.8 Vent Opes:

Ventilation in rooms without fireplaces shall have proprietry vent mechanisms incorporated in window frames.

Section 5 Carpentry:

5.1 General:

Timber shall be of first quality softwood and shall be graded in accordance with B.S. 4978. All timber shall be taken as having a sawn finish unless otherwise stated. Timber shall be free from major defects, and other such defects as are likely to impair its intended use. The maximum moisture content of timber at time of installation shall be 18%. Structural timbers are to be stored on raised bearers on hard dry surfaces allowing for free air circulation around them.

All timber should be treated with an approved preservative. Notches in structural timbers shall be made in approved locations and to approved methods and dimensions.

5.2 Studding:

Stud partitions are to be constructed in positions indicated on the plans, with 75 mm. by 50 mm. verticals at 350 mm. c/c, with two rows of equally spaced nogging pieces, 75 mm. by 50 mm. head and sole pieces well spiked to flooring.

5.3 Roof Superstructures:

To be constructed using Hydro Air truss Systems, designed, stress graded, braced and spaced in accordance with CP 112 and BS 4978; connector plated joints to conform to Agreement Certificates 80/720 and 81/902.

WALLPLATES shall be 100 mm. by 75 mm., one on each leaf of the external wall, installed with joints halved and lapped. They shall be set in a full bed of cement mortar over masonry or concrete lintels. Wall plates shall be secured with 12 mm. diameter holding down bolts fixed at not more than 900 mm c/c. Ensure full contact of surfaces bearing on each other. Notches in structural timbers shall be made in approved locations only and to approved methods and dimensions.

5.5 Insulation:

Roof insulation to be 100 mm. fibre glass quilt placed between roof members and tucked into the cavity as previously described.

Floor insulation to be 50 mm. rigid non hydroscopic type fixed according to manufacturer's instructions, located along the inside of the rising wall

Section 6 Joinery:

6.1 General:

Joinery shall conform to relevant I.S.S. and B.S.S. clauses for quality of timber and quality of workmanship. All joinery shall be taken as wrought on each surface unless otherwise stated. Where nails or pins are used they are to be punched and holes puttied. All timber for carpentry work and for joinery in contact with wall shall be pressure tanalised in accordance with the manufacturer's instructions. The timber shall be purchased in a treated condition and all cut and tenoned ends, mortices etc., subsequently formed must be re-treated before the timber is fixed or assembled. Items described as being "secretly fixed" must be counter sunk and neatly pelleted.

6.2 Internal Flush Door and Stop:

To be manufactured in accordance with relevant I.S.S. or B.S.S. clauses for flushwood doors. All to be 50 mm. nominal thickness solid core with selected plywood face and hardwood edges. Door frames to be ex 125 mm. by ex 63 mm rebated in selected timber.

6.3 Architraves:

To be ex. 44 * 25 mm head and ex 44 * 44 m styles in selected timber

6.4 Skirtings:

To be ex. 175 mm by 25 mm in selected timber.

6.5 External Windows and Doors and Screens:

To be Western red cedar and supplied by an approved manufacturer, details to be approved by the Architect

6.6 Window Boards and Linings:

To be ex. 150 mm. by 32 mm. Western red cedar

6.7 Kitchen and Wardrobe Fittings:

All to be manufactured under factory conditions. They will be selected from standard product lines in regard to colour, finish and quality etc. A detailed design for approval will be prepared by the supplier prior to manufacture.

Section 7 Roof Covering and Flashings:

7.1 Roof Covering:

To be natural slates colour as selected by the Architect and approved by the Local Authority planning officer and conforming to relevant I.S.S. and B.S.S. clauses. These are to be laid strictly in accordance with manufacturer's instructions, nailed or clipped to 50 mm. by 44 mm. tiling battens on untearable sarking felt of approved quality, laid over rafters, lapped 150 mm. horizontally and 300 mm. vertically and carried into gutters.

Clay ridge tile to be bedded in 3:1 sand and cement with an approved dye added to match the tile colour.

7.2 Flashings:

Lead to conform to relevant I.S.S. or B.S.S. clauses. At exit of chimney stacks through roof slope provide complete lead flashing assembly, to include lead aprons, stepped aprons and saddle pieces, all tucked into brickwork joints at least 25 mm. Provide lead soakers one to each course of tiles. Provide similar lead flashings at all locations where brickwork projects above the roofline.

Section 8 Drainage:

8.1 General:

P.V.C. pipes to comply with relevant I.S.S. and B.S.S. clauses and shall be assembled and laid strictly in accordance with the manufacturer's instructions. Drains generally shall be carried out in accordance with the document "Recommendations for Site Development Works for Housing Areas" as issued by An Foras Forbartha. Drains shall be laid to true and even gradients to falls approved by the Architect and excavations shall not be filled in until drainage system has been tested and approved by the Architect and Local Authority.

8.2 Site Drainage:

The contractor is to lay the complete drainage system as shown on plans, all in P.V.C. to relevant ISS and BSS clauses. Manholes to be constructed in 225 mm. thick concrete blockwork with chamber sizes conforming to relevant I.S.S. and B.S.S. clauses, built off 150 mm. thick 8:1 concrete slabs. External face of manholes to be rendered in waterproof coat of sand and cement. Pipes to be laid on a 150 mm. bed of concrete and haunched with leanmix concrete.

Where pipes are less than 900 mm. from the finished ground level or under buildings they are to be surrounded in 150 mm. of leanmix concrete.

8.3 Septic Tank:

Construct septic tank and percolation areas in accordance with Architect's plans and details, all work to be carried out in accordance with the Recommendations for Septic Tank Drainage Systems suitable for single houses SR 6 : 1975 published by EOLAS and in accordance with all other Irish Standards related to materials used in construction.

8.4 Rainwater Pipework:

Provide 100 mm. diameter preformed aluminium gutters discharging into 75 mm. downpipes as illustrated on plans, profile and colour to be selected by the Architect. Rainwater to discharge into soakpits

8.5 Sanitary Pipework:

To be constructed and installed as outlined and conforming with relevant I.S.S. and B.S.S. clauses. Wastes to be 38 mm. and trapped at fittings incorporating anti-syphon devices. 100 mm. soil pipes from W.C.s to discharge into main soil pipe which will have a cleaning eye over, and vented to the outside via a 100 mm. diameter soil vent pipe carried to above roof level.

Section 9 Ironmongery:

9.1 Hinges:

Internal Doors:- one pair of 100 mm. brass butt hinges.

9.2 Locks:

All internal doors to have a mortice lock with 2 plates and lever handles. Door screens to be provided with a 3 point locking system. Window locks to be incorporated in all window handles

Section 10 Plasterwork:

10.1 General:

Cement and lime to be as already described in concrete work.

Gypsum plaster shall be from an approved manufacturer and shall comply with I.S.S. 27.

Sand for all plastering shall be clean, sharp and washed free from loam and other impurities. Sand shall be riddled through 6 mm. mesh, but it must not pass a 3 mm. sieve. It is the intention to include the larger grains which pass the 6 mm. mesh but which would be excluded by the 3 mm. sieve. If the sand is initially deficient in these coarse grains the deficiency shall be made up with fine stuff to pass 6 mm. mesh from coarser silicious aggregate.

Plastering shall be executed in such a manner as to avoid any irregularity occurring at the point or place where one section is joined to another. The whole plastering shall finish to a perfectly true and level surface and be of a uniform quality throughout.

All walls to be plastered shall be scudded with material composed of small pebbles cement gauged in four to one, before any plastering is done.

Cement rendering base for dry dash shall be composed of one part cement to three parts sand.

Plasterboard shall be from an approved manufacturer and shall comply with I.S. 41.

Plasterboard shall be fixed butt jointed and nailed with 30 mm. aluminium nails at 100 mm. c/c. Ceiling shall be skimmed and returned down the walls to door and window head level to a plaster stop in two coat work bonding and finish. Plasterboard to internal concrete block walls shall be stuck to wall with plaster dabs, or fixed to treated battens.

10.2 Floor Finishes:

Floor finishes shall be laid in strict accordance with the manufacturer's instructions by an approved specialist sub-contractor.

10.3 External Walls:

N. A.

10.4 Reveals:

Reveals to be formed as per Architect's detailed instructions.

Section 11 Painting and Decorating:

11.1 General:

Painting may not proceed externally during damp or foggy weather, nor during frost or in weather in which frost is liable. Internally all surfaces to receive paint must be dry. Before any painting proceeds, all dust shall be eliminated. Any surfaces on which paint is to be applied must be perfectly clean. Each coat of paint must be thoroughly dry before a subsequent coat is applied, and rubbed down with fine waterproof abrasive where necessary. Woodwork shall be filled as necessary to present a smooth surface to receive paint.

The painting materials (whether undercoating or otherwise) to be best quality of approved manufacture and used according to manufacturer's directions and without adulteration. All paint to be delivered in sealed drums.

11.2 Joinery to be Painted:

All exposed joinery to be painted to be properly knotted, stopped and primed. All to receive 2 undercoats and one finishing coat of hard gloss oil paint.

11.3 Joinery with Polyurethane Finish:

All exposed joinery with a polyurethane finish must be well sanded down to remove all blemishes. Provide 2 coats, sanding down after each, with one final coat with satin finish.

All internal ceilings to be brushed with a proprietary sealer and 3 coats of matt emulsion applied. All dry-lining boards not skimmed are to be painted with PVC compound.

11.4 Ceramic Wall Tiles:

Provide glazed ceramic tiles to all walls in bathroom up to 1200 mm. from floor; also provide for tiling inside of shower cubicle from floor to ceiling and wall between work top and high level presses in kitchen. Tiles to selection.

11.5 Mirrors:

Provide mirrors, to sizes on drawings to bathrooms and washrooms fixed to wall with chromium dome head screws.

Section 12 Glazing:

12.1 General:

Glass shall conform to relevant I.S.S. and B.S.S. clauses. Glazing to screens shall be carried out in accordance with B.S.C.P. 152. Provide for selected obscure panes as directed by the Architect.

Section 13 Electrical:

13.1 General:

The installation shall comply with all E.S.B. regulations. The electrical contractor shall provide an A.E.C.I. domestic and small commercial installations completion certificate in accordance with their national rules for electrical installations.

13.2 Holes for Pipes etc.:

The contractor shall leave or form all holes in floors, roof and walls for pipes, electrical conduits, etc as required.

Holes, chases and other openings in concrete, required for the passage of pipes, conduits etc., shall be provided by inserting suitable sleeves, cores and sinkings before placing the concrete. It is the intention to minimise the cutting of holes as much as possible on the job. The position and size of all holes and chases and the position of bolts, clips and other fastenings shall be in accordance with the drawings.

13.3 Cutting Holes:

The cutting of chases, holes and other openings in the finished work shall not be permitted without the sanction of the Architect. All holes and chases shall be made in approved locations and shall be cut with approved tools.

13.4 Lights:

It is intended to provide a combination of 3 types of lighting

1. indirect which will be 2 way switched between door and fitting position via 5 amp sockets
2. indirect lighting on wall or at ceiling level switched from door position
3. Centre light in ceiling switched from door position

13.5 Power Sockets:

Provide power points to positions indicated on the drawings. These shall comply at least with the minimum requirements of the proposed building regulations

13.6 Fixed Appliances:

Provide for pump on Back-boiler; front doorbell; split level cooker; extract fan and dishwasher and fridge in the kitchen; washing machine tumble dryer and freezer in utility; a combination light and shaving point in all bathrooms; and a dual immersion group in the cylinder. Provide a "consumer unit" trip switch fuseboard. Provide for E.S.B. metre box in external wall.

13.7

Provide for Telecom Eireann box in external wall and telephone points in master bedroom, study and kitchen/family area.

13.8

T.V.; provide for T.V. points in master bedroom, study, family room and kitchen.

NOTE: Items 13.4 to 13.8 inc. will be more specifically set out on the electrical layout.

Section 14 Mechanical:

14.1 General:

Pipes of all types must be concealed and the mechanical contractor shall provide drawings for Architects approval prior to start on site. All hot water and heating pipes shall be lagged with approved insulation 25 mm. thick.

14.2 Hot and Cold Water Distribution:

Provide 12 mm. diameter hot and cold water supply to W.H.B.s and showers, provide 12 mm. diameter cold water supply to W.C.s and 18 mm. diameter hot and cold water supply to baths.

14.3 Fittings:

To positions indicated on plan provide and install complete fittings with usual accessories. Types and colours to be approved by the Architect.

14.4 Central Heating:

An oil fired heating system is to be installed with all necessary fixtures and fittings, valves and stop-cocks etc. Pipe and radiator sizes to be ascertained from heat loss charts. All the foregoing information is to be provided by the mechanical subcontractor prior to including samples for Architect's approval prior to work start.

Oil fired boiler shall be located in the internal boiler house, and all pipes within the site area shall be capable of withstanding a pressure test of 7 bar. without loss for 2 hours.

Section 15 Cleaning:

15.1 General:

On completion of works, all floors to be scrubbed, glass properly cleaned, mortar and cement scales removed from concrete floors, driveway, paths, etc., and all rubbish removed from site. All timber off-cuts, shavings and paper etc. to be removed from concrete sub-floor before flooring is laid, and everything that is usual and necessary done to the entire satisfaction of the Architect, Local Authority and everybody concerned. All rubbish is to be removed from site and disposed of in accordance with Local Authority bye-laws.