

Councillor S. Laing,  
86, Templeville Road,  
Terenure,  
Dublin 6W.

Our Ref: MH/TFC

Date: 12/4/91

Dear Councillor Laing,

I refer to your enquiry regarding an application for permission for a single storey dwelling at rear 8 Wellington Cottages with access via Wellington Green, Templeogue by F. Carroll and B. Buckley.

I wish to inform you that this application, Reg. Ref. 91A/114, was received in this Department on the 4th February, 1991 and by order dated 22nd March, 1991 a decision to grant permission was made.

A copy of this decision is enclosed for your information.

Yours faithfully,

  
-----  
for Principal Officer.

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 91A 114

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
BELGARD H + P <u>26<sup>TH</sup> MAR 1991</u> =	All signs in favour of this applic.  Noted by <u>Col M Lynch</u>		

# Financial Contribution Assessment

① Standard £750

Water / Sewerage

Single Property unit

②

boards: leads report  
dated 8/3/91 does not  
request a boards contribution

8/3/91

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 91A-114

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
BELGARD H + P 26 <sup>TH</sup> FEB 1991	All Laying Rec. Permission be Granted		
=			

EYE LAW APPLICATION FEES

REF. NO.: 91A/0114 CERTIFICATE NO.: 13885B  
 PROPOSAL: Bungalow  
 LOCATION: Plot 8 Wellington Cottages, Wellington Green  
 APPLICANT: F. Carroll & B. Buckley

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	£55	£55	—		
B	Domestic Exa. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M <sup>2</sup> or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M <sup>2</sup> in excess of 300 M <sup>2</sup> Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the foregoing classes	£70 or £8 per .1 ha. whichever is the greater					

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_  
 Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_  
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S/O Date: 2/2/91  
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

91A/0114

CERTIFICATE NO:

24167



Bungalow

near of 8 F. Carrou


Wellington Cottages, Wellington Area P. B. Buckley

PROPOSAL:  
LOCATION:  
APPLICANT:

1	2	3	4	5	6	7
Dwellings/Area Length/Struct	RATE	AMT. OF FEE REQ.	AMOUNT LODGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO
Dwellings	£252	£32	£32	—		
	£216					
	£300 per M <sup>2</sup> in excess of 3000 <sup>2</sup> MIN. £40					
metres <sup>2</sup>	£21.75 per M <sup>2</sup> up to £40					
x .1 hect.	£225 per .1 hect. up to £250					
x .1 hect.	£225 per .1 hect. up to £250					
x .1 hect.	£225 per .1 hect. up to £250					
x metres <sup>2</sup>	£21.75 per M <sup>2</sup> up to £40					
x .0005 <sup>2</sup>	£225 per .0005 <sup>2</sup> up to £40					
x .1 hect.	£225 per .1 hect. up to £250					

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Columns 2,3,4,5,6 & 7 Certified Signed:  Grade:  Date: 7/2/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

11/85/91

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Register Reference : 91A/0114

Date Received : 4th February 1991

Correspondence : Ballymore Homes Ltd,  
Name and : C/o A.M. Gallagher,  
Address : Ballymore Eustace,  
Co. Kildare.

Development : Single storey dwelling at rear

Location : Rear 8 Wellington Cottages with access via Wellington  
Green, Templeogue

Applicant : F. Carroll and B. Buckley,

App. Type : Permission

zoning :

(2)

CONTRIBUTION:	
Standard:	450
Roads:	
S. Servs:	
Open Space:	
Other:	
SECURITY:	
Bond / C.I.F.:	
Cash:	

Report of the Dublin Planning officer dated 12th March, 1991.

This application is for permission. The proposed development consists of a single storey dwelling to the rear of no. 8, Wellington Cottages with access via Wellington Green. The applicants F. Carroll and B. Buckley have a contract to purchase the site.

There is no record of any previous planning applications on this site.

Under Reg. Ref. YA 1356, outline planning permission was granted for a bungalow at the rear of 9, Wellington Green (Decision Order PA/2140/83 dated 28th September, 1983). This permission has since expired.

Two single storey bungalows have been built on nominee sites to the rear of nos. 4 and 5, Wellington Cottages.

The site is zoned 'A' in the 1983 County Development Plan where it is the objective of the Local Authority "to protect and/or improve residential amenity". The northern part of the site is affected by a specific objective for a proposed busway.

The proposed house has a hipped roof and brick finish on the front elevation. It maintains the building line which has been set by the houses constructed by the County Council to the rear of nos. 4 and 5.

With the exception of the hipped roof, it is similar in terms of design to the other nominee houses. A pitched roof would be more in keeping with adjoining development.

The roads report dated 8th March, 1991, states that adequate site lines are available at the access for this proposed development. It notes the

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Req.Ref: 91A/0114

Page No: 0002

Location: Rear 8 Wellington Cottages with access via Wellington Green,  
Templeogue

conditions that should be attached to any grant.

The Sanitary Services report dated 11th March, 1991, states that water is available. It recommends refusal because the applicant proposes to discharge surface water to the foul sewer system which is unacceptable to the Sanitary Services Department.

The proposed development is considered acceptable from a planning point of view.

I recommend that a decision to grant permission be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (3) conditions:-

### CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That the proposed house be used as a single dwelling unit.

REASON: To prevent unauthorised development.

04 That a pitched gable ended roof be constructed on the house in place of the proposed hipped roof.

REASON: In the interest of visual amenity.

05 That a vehicular access point be provided off the proposed driveway to serve no. 8 Wellington Cottages.

05 REASON: In the interest of the proper planning and development of the area.

06 Details of boundary treatment along the western and eastern boundaries of the site are to be agreed in writing with the Planning Authority prior to the commencement of development.



# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0114

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Location: Rear 8 Wellington Cottages with access via Wellington Green,  
Templeogue

06 REASON: In the interest of the proper planning and development of the area.

07 That the water supply arrangements and drainage arrangements including the disposal of surface water be strictly in accordance with the requirements of the Sanitary Services Department. Prior to the commencement of development a satisfactory proposal for the disposal of surface water is to be submitted by means of a compliance agreed in writing with the Planning Authority.

07 REASON: In the interest of the proper planning and development of the area.

08 The kerb and footpath at the access to be dished to the satisfaction of the area engineer (Roads Maintenance).

08 REASON: In the interest of the proper planning and development of the area.

09 The concrete drainage channel Block fronting the kerb must be protected during development works.

09 REASON: In the interest of the proper planning and development of the area.

10 The turning bay in front of the house is to be extended to allow cars to turn on site.

10 REASON: In the interest of the proper planning and development of the area.

11 That a financial contribution in the sum of £750.00 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

12 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

Reason: In the interest of reducing air pollution.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0114

Page No: 0004

Location: Rear 8 Wellington Cottages with access via Wellington Green, Templeogue

*[Handwritten signature]*  
.....  
for Principal Officer

*Richard Cremmins* SEP  
.....  
for Dublin Planning Officer 15.3.91

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (1,2) conditions set out above is hereby made.

Dated : ..... 22/1/91 .....

*[Handwritten signature]*  
.....  
~~ASSISTANT CITY AND COUNTY MANAGER~~ *Approved Officer*  
to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated ~~21st February 1991~~ 15/3/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

File

talcan

CIR. mtey

26/379

OK  
Putth

Register Reference : 91A/0114

Date : 15th February 1991

*MOS*

Development : Single storey dwelling at rear

LOCATION : Rear 3 Wellington Cottages with access via Wellington Green, Templeogue

Applicant : F. Carroll and B. Buckley,

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 4th February 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN Co. C
21 FEB 1991
SAN SERVIC.

.....  
PRINCIPAL OFFICER

Date received in sanitary services .....

.....  
FOUL SEWER

*Refusal Recommended*

*Applicant proposes discharging surface water to the foul sewer system. This is not acceptable.*

.....  
SURFACE WATER

*See above.*

PLANNING DEPT.
DEVELOPMENT CONTROL SEC.
Date 12 / 3 / 91
Time 9.30

SENIOR ENGINEER,  
SANITARY SERVICES DEPARTMENT,  
46/49 UPPER O'CONNELL STREET,  
DUBLIN 1

*J. Rice*  
*11/3/91*

Register Reference : 91A/0114

Date : 15th February 1991

.....  
ENDORSED \_\_\_\_\_ DATE \_\_\_\_\_

WATER SUPPLY *available for condense 24 hour  
storage to be provided!*  
*[Signature]*  
22/2/91

.....  
ENDORSED *[Signature]* DATE 22/2/91.

*[Signature]* 11/2/91

PLANNING DE  
DEVELOPMENT CONTROL  
Date 12/3rd/91  
9 30

DUBLIN COUNTY COUNCIL

REG. REF: 91A/114.

LOCATION: Rear 8 Wellington Cottages with access via Wellington Green, Templeogue.

APPLICANT: F. Carroll & B. Buckley.

PROPOSAL: Single storey dwelling at rear.

DATE LODGED: 4.2.91.

adequate sight lines are available at the access for this proposed backlands development.

The following conditions should apply:-

1. High kerb and footpath fronting access to be ditched to the satisfaction of the Area Engineer (Road Maintenance).
2. The concrete drainage channel block fronting the kerb must not be damaged nor its free flow interfered with during development works.
3. Turning bay to be extended to allow cars to turn on site rather than back set from driveway.

**PLANNING DEPT.**  
**DEVELOPMENT CONTROL SECT**  
 Date ... 8/3rd/91 ...  
 Time ... 4.00 ...

TB/BMcC  
8.3.91.

SIGNED: *[Signature]*  
 DATE: 8/3/91

ENDORSED: *[Signature]*  
 DATE: 8th March '91



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1,  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION  
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 1185 /91      Date of Decision : 22nd March 1991  
Register Reference : 91A/0114              Date Received : 4th February 1991  
Applicant : F. Carroll and B. Buckley,  
Development : Single storey dwelling at rear  
Location : Rear 8 Wellington Cottages with access via Wellington  
Green, Templeogue

Time Extension(s) up to and including :

Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- 12 ATTACHED.

signed on behalf of the Dublin county Council..... *J. de Bortolero*.....  
for Principal Officer

Date: 26/3/91.....

Ballymore Homes Ltd,  
C/o A.M. Gallagher,  
Ballymore Eustace,  
Co. Kildare.

## NOTES

1. An appeal against the decision may be made to An Bord Pleanála. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.

2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanála,  
Blocks 6 and 7  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanála will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanála for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanála a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanála when making submissions or observations to An Bord Pleanála in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanála against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.



Reg.Ref. 91A/0114  
Decision Order No. P/ 1185 /91  
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,  
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Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

C O N D I T I O N S / R E A S O N S

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- 05 That a vehicular access point be provided off the proposed driveway to serve no. 8 Wellington Cottages.
- 05 REASON: In the interest of the proper planning and development of the area.
- 06 Details of boundary treatment along the western and eastern boundaries of the site are to be agreed in writing with the Planning Authority prior to the commencement of development.
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Telephone. (01)724755  
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Reg.Ref. 91A/0114

Decision Order No. P/ 1185 /91

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09 The concrete drainage Channel Block fronting the kerb must be protected during development works.

09 REASON: In the interest of the proper planning and development of the area.

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11 That a financial contribution in the sum of £750.00 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

12 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

REASON: In the interest of reducing air pollution.

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5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place / in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building REAR #8 WELLINGTON COTTAGES  
(If none, give description sufficient to identify) WELLINGTON GREEN, TEMPLEDUKE, DUBLING.

3. Name of applicant (Principal not Agent) FRANCES CARROLL & BRIAN BUCKLEY.

Address AS AT #2 Tel. No. 551567.

4. Name and address of person or firm responsible for preparation of drawings A.M. GALLAGHER - FOR - BALLYMORE HOMES LTD., BALLYMORE EUSTACE, CO. KILDARE. Tel. No. 045-64164.

5. Name and address to which notifications should be sent AS AT #4

**RECEIPT NO. N 31101**  
**FEE PAID: £32 DATE 4/2**  
**BYE LAW APPLICATION**  
**£55 N 3430**

6. Brief description of proposed development BUNGALOW - 1014 SQ. FT.

7. Method of drainage SEWER. 8. Source of Water Supply MAINS.

9. In the case of any building or buildings to be retained on site, please state:  
(a) Present use of each floor or use when last used. PRIVATE RESIDENCE  
(b) Proposed use of each floor PRIVATE RESIDENCE.

04 FEB 91

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO.

11. (a) Area of Site 1813 SQ YDS. (TOTAL SITE AREA = 465ACRE) 1515 Sq. m.  
(b) Floor area of proposed development 95 Sq. m.  
(c) Floor area of buildings proposed to be retained within site ~80 Sq. m.

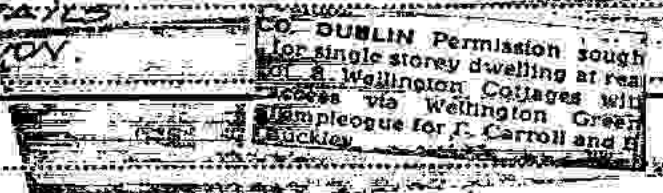
Irish  
Cres  
1/2/91

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) CONTRACT TO PURCHASE FREEHOLD - SEE LETTER.

13. Are you now applying also for an approval under the Building Bye Laws?  
Yes  No  Place / in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal;  
IN SUBSTANTIAL COMPLIANCE WITH D.B.R.

15. List of documents enclosed with application. NEWSPAPER NOTICE.  
1/4 X P.001 (LOCATION MAP, SITE PLAN, FLOOR PLAN, SECTION RELATIONS)  
1/4 X 1/2 FIB DETAILS  
1/4 X SPECIFICATION.



16. Gross floor space of proposed development (See back) 95 Sq. m.

No of dwellings proposed (if any) ONE Class(es) of Development 1

Fee Payable £ 87. Basis of Calculation £32 + 55.  
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Genny Whelan Date 30.1.1991.

Application Type P/BBL FOR OFFICE USE ONLY

Register Reference 91N/0114

Amount Received £ 244

Receipt No

Date

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1,  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/0114

Date : 6th February 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

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Dear Sir/Madam,

DEVELOPMENT : Single storey dwelling at rear

LOCATION : Rear 8 Wellington Cottages with access via Wellington  
Green, Templeogue

APPLICANT : F. Carroll and B. Buckley,

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received  
on 4th February 1991.

Yours faithfully,

.....  
PRINCIPAL OFFICER

Ballymore Homes Ltd,  
C/o A.M. Gallagher,  
Ballymore Eustace,  
Co. Kildare.

Frances Canoll  
8 Wellington Cotts.



Templeogue,  
D. 6W.

Dear Mr Whelan.

I am enclosing a short letter which is signed by my mother & aunt. It may lead to the planning application.

It merely says that they are allowing application & eventual building.

Thank you for your time.

*Frances Canoll*  
DUBLIN COUNTY COUNCIL  
04 FEB 1991  
91A/D114

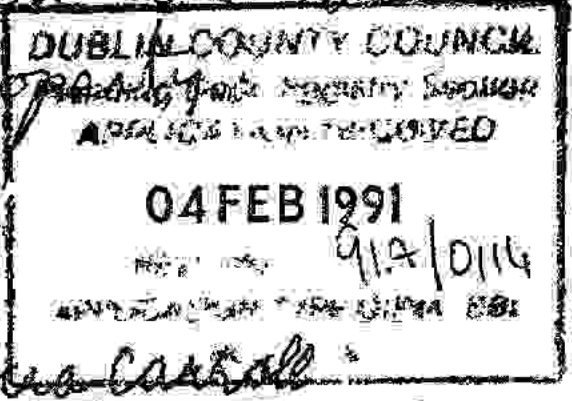
8 Wellington Cottis,  
Templeogue,  
Dublin 6.

We the owners of the above  
property hereby give permission  
to Frances Canoll and Brian Buckley  
to carry out the steps to  
build a dwelling on the garden  
of the same property.

Signed.

Frances Canoll

May Corral





BALLYMORE HOMES LTD. ,  
BALLYMORE EUSTACE,  
Co. , KILDARE.

SPECIFICATION  
OF WORK TO BE EXECUTED  
AND MATERIALS TO BE USED:- Bungalow at rear of  
#8, Wellington Cottages,  
Wellington Green,  
Templeogue,  
Dublin 6W.

DUBLIN COUNTY COUNCIL  
Planning Dept. Planning Section  
APPROVED  
04 FEB 1991  
91A/014  
DUBLIN COUNTY COUNCIL

## CONTENTS

- 1.0 Excavation & Substructure
- 2.0 Blocklaying & Concreting
- 3.0 Carpentry & Joinery
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- 6.0 Plastering
- 7.0 Plumbing
- 8.0 Drainage
- 9.0 Electrical Installation
- 10.0 Protective Painting.

1.0 Excavation & Substructure  
=====

1.1 Site  
-----

The site shall be adequately drained and have no features likely to render the house unstable or uninhabitable.

1.2 Preparing Site  
-----

Clear and grade site for new building and remove or divert existing drains as required. The entire site of buildings and paved areas shall be cleared of all vegetable matter to a depth of at least 6".

1.3 Excavations  
-----

The trenches shall be excavated to the depths and widths as may be necessary to ensure the stability of the structure. Trench bottoms and foundations shall be levelled off in horizontal benches. The bottom of trenches shall be not less than 3'0" below finished ground level and kept clear of water before concreting.

Where other excavations close to or under the foundations are unavoidable care shall be taken to ensure the stability of the structure.

1.4 Foundations  
-----

Foundations shall be concrete mix A, to widths and depths indicated on drawings and reinforced as necessary. Where foundations are stepped they shall overlap at least 24".

1.5 Rising Walls  
-----

Rising walls shall be of solid blockwork bedded in cement mortar, or of mass concrete (mix A) to heights and widths shown on drawings.

1.6 Cement  
-----

Cement shall be normal Portland Cement in accordance with I.S 1 and stored under dry conditions.

1.7 Lime  
-----

Hydrated Lime to be to I.S. 8.

1.8 Water  
-----

Water to be clean and free from harmful impurities.

### 1.9 Sand & Aggregates

Fine aggregates shall be clean, sharp pit or river sand free from all impurities and in accordance with I.S 5. Coarse aggregates shall be suitably graded hard clean pit gravel or crushed stone in accordance with I.S 5 and to sizes set out below:-

Concrete Mix	Aggregates Maximum size	Nominal Mix Cement	Nominal Mix Fine Aggreg.	Nominal Mix Graded Coarse Aggreg.	28 Day Strength Newt./sq mm
A	1.5"	1	2	5	14
B	.5"	1	2	4	21
C	.87"	1	2	5	-

The water / cement ratio shall be kept to the minimum needed to ensure reasonable workability but should not exceed 35 litres per 50kg of cement.

### 1.10 Cement Mortar

Shall be 1 part cement to 3 parts sand.

### 1.11 Lime mortar

Shall be 1 part hydrated lime to 6 parts sand

### 1.12 Gauged mortar

Shall be 10 parts lime mortar mixed with 1 part cement just before use.

### 1.13 Strong Gauged Mortar

Shall be 5 parts lime mortar with 1 part cement immediately before use.

### 1.14 Additives

Plasticisers, waterproofers, sealers and bonding agents shall only be used in accordance with the manufacturer's instructions.

## 2.0 Blocklaying & Concreting

### 2.1 Blockwork

Concrete blocks shall be in accordance with I.S 20 and bricks, if clay, in accordance with I.S 91. All blockwork and brickwork shall be properly coursed and

bonded and bedded in gauged mortar. All walls shall be carried up regularly not leaving any part 3' lower than another.

## 2.2 Cavity Walls.

Walls shall be formed with two solid leaves of 4.5" brick or block with a 3.5" cavity between. Outer and inner leaves to be tied together with approved galvanised or stainless steel ties at 36" centres horizontally and 18" centres vertically in a staggered fashion; 40mm aerobord cavity insulation to be installed using proprietary restraining clips. Care to be taken that mortar dropping in to the cavity or lying on ties is cleaned out through openings left for the purpose. The head of cavities to be closed in the solid. All window, door and other opes in cavities to be sealed and so arranged as to prevent the passage of moisture. The cavity is to extend not more than 4.5" below the d.p.c and shall provide for drainage of moisture to the outside at the base.

## 2.3 Hollow block walls

9" hollow block shall be plastered externally. Bedding mortar shall be confined to abutting surfaces and shall not enter the cavities of the block.

## 2.4 Opes in external walls

Where any duct, pipe, etc., is required to penetrate through an external wall it shall be so arranged as to prevent the ingress of moisture.

## 2.5 Pointing

All wall finishes finished without plastering shall be pointed in the building mortar as the work proceeds or the joints may be raked out 20mm deep and pointed in cement mortar.

## 2.6 D.P.C.

The damp proof courses shall be polythene in accordance with B.S 743 or bitumen sheeting on hessian or canvas base in accordance with I.S 57, laid to prevent the passage of moisture and lapped adequately at joints all as described below:-

In all ground floor walls and chimney breasts to full width and stepped as necessary, in cavity walls in both inner and outer leaves separately and shall be laid not less than 6" over finished ground level or paved area or highest ground within 3' of the house.

At sides of opes in cavity walls and over all opes 10" longer than opes and stepped down and outward to

prevent ingress of moisture from outer to inner leaf. Under and turned up at ends and back of all cills and external room ventilators and recessed edges of all concrete roof slabs.

In all chimney stacks immediately above the level of the roof flashing and under all cappings and copings. Where the water proofing membrane in a concrete floor is not level with the wall D.P.C care shall be taken to ensure continuity of damp proofing by stepping, turning up and lapping as necessary.

## 2.7 Lintels

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Accepted patent or proprietary lintels with current Agreement certificate to be used in accordance with manufacturer's instructions.

## 2.8 Window Cills

-----

Concrete window cills to I.S 89, adequately reinforced, seated, rebated, weathered and throated and set in gauged mortar on D.P.C as previously specified, turned up at back and ends. The edge of the cill to project 3" from the finished external face of the wall.

## 2.9 Chimney Breasts and Stack.

-----

Chimney breasts shall be built of solid concrete blocks or decorative blocks or bricks or stone, all to a thickness of not less than 4.5" bedded in gauged mortar with splayed r.c lintel over the fire ope. Each fireplace recess shall have 9" solid incombustible material to sides and back excluding any fireback, carried up the full height of the recess. Each fireplace shall have an independent flue, separated by not less than 4.5" of solid incombustible material [excluding the thickness of any flue liner] from any other flue. Each flue shall be lined with fireclay liners to I.S 51 not less than 8" internal diameter, backed with weak mortar and carried 6" above the capping. Splayed liners will be used in forming bends to flues. Chimney stacks over roof shall be built of 4.5" solid concrete blocks bedded in gauged mortar and plastered or, where special precautions are taken, of decorative blocks, bricks or natural stone. Due to the exceptional exposure of stacks, the use of decorative blocks, bricks or natural stone may cause dampness - special care in construction and in the placing of the D.P.C is necessary.

Capping to stack shall be of reinforced concrete [mix C] weathered and throated, not less than 3" thick at ridge and haunched up around pots. Top of stack excluding chimney pots to be 24" over ridge level.

The construction of the Chimney to conform in all respects to Dublin County Council Building Bye-Laws #34-#39, both inclusive.

2.10 Fireplaces, Heating Units, Cookers.  
-----

Fireplaces to have a fireclay back and incombustible surround and to be properly gathered into the flue. Enclosed cookers and heating units to be fitted in accordance with manufacturer's instructions, with incombustible flue, ventilated as necessary and shall stand on a concrete hearth projecting 18" from the face of the appliance all round.

2.11 Hearths  
-----

Ground floor hearths shall be 6" finished fine on hardcore as necessary. All hearths to be 6" wider than the fire ope on each side and to project 18" from face of the breast.

2.12 Paved Yard  
-----

Provide 150 sq ft of impervious yard laid to falls on suitably prepared base and immediately adjacent to the rear door.

2.13 Concrete Floors  
-----

All concrete ground floor shall be laid on a bed of clean hardcore not less than 6" thick and well consolidated. Soft material shall not be used in making up levels under floors. Concrete ground floor shall be laid 6" thick [mix B] finished fine and laid on a continuous damp proof membrane on a layer of fine sand and turned up at edge of slab as necessary to meet and seal with wall D.P.C. Polythene sheeting where used shall be not less than 1000 gauge. Provide 39" x 1" perimeter insulation beneath concrete slab.

2.14 Screen & Garden Walls  
-----

Screen or garden walls shall not abut main walls of the house.

3.0 Carpentry & Joinery  
-----

3.1 Timber  
-----

Timber shall be sound, free from disease and insect infestation and large loose knots or waney edges, with a moisture content within the limits set out in I.S 96. Timber for carpentry to be white deal; timber for

joinery to be red deal, hard wood or other timber suitable for the purpose and free from all defects.

### 3.2 Preservative

Soft wood used externally to be pressure impregnated with coloured preservative. Softwoods in contact with concrete to be treated with coloured preservative. Frames, barge boards and fascias to be primed before fixing.

### 3.3 Roof Timbers.

Wall plates 3"x4" fully treated with preservative, halved and spiked at headings and angles, set level and secured by proprietary galvanised metal straps at 36" intervals.

Valley and gutter boards 1" x 9" wrought, treated with preservative and secured to rafters.

Soffit 8"x.75" WBP plywood.

Fascia 1"x7" wrought deal well secured to rafters and pressure treated with preservative.

### 3.4 Roof Trusses

Roof trusses to IS 193(P) braced adequately diagonally as recommended by Eolas and Manufacturer and spaced not more than 24" apart.

Trimmers and trimming joists 3" thick and depth of joist to open and chimney breasts and kept 2" clear of breasts. Trimming and trimmed joists to be supported by approved fittings or to be checked on to battens spiked to supporting joist.

### 3.5 Grounds

Pretreated timber grounds shall be securely built in to provide means of fixing frames and trimmings.

### 3.6 Stud Partitions

Studs, head and sole pieces and bridging 3"x2" at 16" centres. Sole pieces to be well spiked to floor; provide 2 rows of horizontal noggins.

### 3.7 Windows

Timber sashes and frames to be made from standard machine prepared sections pressure impregnated with preservative. Wood casement windows to IS 63.

The glazed area shall not be less than 10% of the floor area of the room

Opening area to be not less than 5% of the floor area of the room.

Window boards to be 1.5" wrought, moulded on edges and



corners and secured to grounds.

### 3.8 External Door Frames

-----

External door frames shall be machine prepared 3"x4.5" wrought deal, rebated in the solid, secured to grounds and dowed at foot to heel blocks; the feet of external door frames should not, under any circumstances, rest on external paving or step.

### 3.9 Internal Door Frames

-----

1.5" thick wrought deal with .5" planted stops, secured to grounds.

### 3.10 External Door

-----

To IS 48 or IS 52, hung on 1.5 pairs of 5" steel butt hinges.

### 3.11 Internal Doors

-----

Internal doors to habitable rooms to IS 48 or IS 52 hung on 1 pair of 4" steel butt hinges.

### 3.12 Trap Door

-----

Form trap door 20" square of half hour fire resisting board suitably located to give access to roof space.

### 3.13 Hot Press

-----

Hot press to have not less than 2 sq yds of spar shelving, 1"x1.5" wrought at 3" centres supported on 1"x1.5" battens.

### 3.14 Fitments

-----

All fitments and built in units shall be of such design, material and workmanship as to satisfy completely the demands of normal usage.

### 3.15 Trimmings

-----

Skirtings .75"x4" wrought deal to all floors well fixed to grounds.

Architraves may be .75" wrought deal to form neat joint mitred at angles and securely fixed to grounds.

## 4.0 Ironmongery & General

=====

### 4.1 Eaves Gutters and Rain water pipes.

-----

Rainwater goods to be of seamless aluminium, ogee

profile or other approved section supported on suitable brackets at not more than 6' centres in the case of downpipes and not more than 36" centres in the case of gutters and jointed in accordance with the manufacturers instructions. Provide and fit all stop ends, angles and drop nozzles, swannecks, hopper heads and shoes. Rainwater pipes to discharge 2" over gully grating.

#### 4.2 Sash Fittings

-----  
All sash openings to be fitted with strong metal fasteners.

#### 4.3 Door Fittings

-----  
Internal doors shall be hung on one pair 4" steel butt hinges and fitted with suitable morticed lock complete with furniture. Provide bolt or locking device to bathroom and toilet doors.

External doors shall be hung on 1.5 pairs 5" steel butt hinges. Entrance door to be fitted with cylinder night latch and external pull handle. Provide and fit letter plate on or near door. Other external doors to be fitted with bolt or mortice lock suitable for external use.

#### 4.4 Ventilation Grids

-----  
External openings to 9"x9" ventilators shall be fitted with galvanised cast iron, aluminium, concrete or upvc louvred grids.

#### 5.0 Roofing

=====

#### 5.1 Sarking Felt

-----  
Untearable sarking felt to IS 36 shall be laid under all slates and tiles and carried down into eaves; felt to be carried fully over ridge and lapped in accordance with manufacturer's instructions.

#### 5.2 Laths or Battens

-----  
Battens to be 2" x 1.5". Tilting fillet to be provided at eaves.

#### 5.3 Concrete roof tiles

-----  
Concrete roof tiles to be laid strictly in accordance with the manufacturer's instructions.  
Tiles to be neatly trimmed where necessary. Part tiles to be adequately secured.  
Drip overhangs to be provided at eaves and valley

gutters.

At verges, tiles to oversail face of barge by 2" and to be neatly pointed in suitable coloured sand/cement mortar.

Ridge tiles and hip tiles to be bedded in gauged mortar and pointed in cement mortar suitably coloured; bedding and pointing to be done in one operation.

Provide and fit suitable hip hooks screwed to ends of rafters with non ferrous screws.

#### 5.4 Flashings

Valley gutters, cover flashings and flashings to chimney shall be 20 gauge super purity aluminium (16 gauge to valleys and parapet walls) -or- Code 5 lead -or- accepted proprietary systems.

To chimneys, flashings to consist of aprons, soakers and cover flashings. The latter shall be secured in a chase in concrete block chimneys, wedged and pointed in with cement fillet formed over. To brick chimneys cover flashings will be stepped, wedged and pointed into brick joints corresponding to location of DPC. Saddle pieces shall be provided at all ridges and roof intersections. Valley gutters shall be laid on felt on 1"x9" wrought boarding treated with wood preservative and turned up at edges or under roof felt.

#### 6.0 Plastering

##### 6.1 External Plastering

9" hollow block walls:- scud walls in 3:1 sharp sand and cement. Apply 2 coats of plaster (1 cement; 1 lime; 6 sand). The total thickness of plaster to be .75". The second coat to be finished nap or smooth or combed for rough cast or pebbledash or prepared for proprietary finish.

12" cavity walling to be scudded and finished with one coat plaster as above, .5" thicknes overall.

##### 6.2 Roughcast

Roughcast to consist of 5-6 parts washed sand and pebbles; 1 part lime; 1 part cement.

##### 6.3 Reveals

Plaster reveals to opes shall be .75" thick and finished smooth with scored drip groove to soffit of head. All arrises shall be neatly finished.

##### 6.4 Plinths

Plaster plinths to be finished smooth and neatly struck at top edge.  
Plaster to extend below finished ground level.

#### 6.5 Internal Plastering

Scud walls and plaster one coat .5" thick in 1 cement; 1 lime; 6 sand. Finish with neat Gypsum plaster skim or a grey coat of gauged mortar applied with wood float. Alternatively, proprietary finishes may be used to manufacturers instructions.

#### 6.6 Stud Partitions & Ceilings

Stud partitions and ceilings to be covered with patent plaster sheets all erected jointed and finished to manufacturers instructions.  
All wall plastering should be carried behind skirtings and architraves. All internal wall and ceiling finishes, including decorative finishes, shall comply with Chief Fire Officers requirements.

#### 6.7 General

Precautions shall be taken to protect floors and surrounding work during plastering. Make good to holes for pipework etc. Plasticisers, water proofers, sealers and bonding agents to be used only in accordance with the manufacturers instructions.

#### 7.0 Plumbing

##### 7.1 Service Pipe

The incoming service pipe to be .75" diameter laid in trench 24" deep and connected to internal stopcock.

##### 7.2 Cold water supply

From stopcock take .5" cold supply direct to sink with branch to high pressure ball valve in service tank, capacity 120 gallons. Tank to be covered and adequately supported over partitions and at such a height as to ensure the proper working of the system. Provide 1" overflow from tank to discharge externally. Connect to service tank 2" over bottom of tank and take 1" feed to 40 gallon hot water cylinder to IS 161 with .75" branch over top of cylinder to bath and .5" connections to wash hand basin and w.c.

##### 7.3 Hot Water Supply

An adequate water heating apparatus must be provided

and fitted in accordance with manufacturers instructions. Flow and return pipes where appropriate shall be as recommended by the manufacturer of the heating apparatus. A .75" copper or stainless steel expansion pipe to be taken from top of cylinder to discharge over service tank with a .75" connection to bath and .5" connections to sink and wash hand basin.

#### 7.4 General

-----  
Fit full way stopcock on cold feeds from service tank and fit draw off cock at lowest convenient point of system. On no account is a stop cock to be fitted on an expansion pipe.

Copper piping to be not less than 18 gauge hard drawn. Plastic pipes to IS 123, 134, or 135 where used shall be fixed at least 3" clear of hot pipe runs. Pipes shall be fixed in straight lines as far as possible, properly jointed with patent fittings and adequately supported and secured with proper pipe clips.

Storage tanks and pipes to be insulated against frost where necessary.

#### 7.5 Sink

-----  
Provide and fit in kitchen stainless steel sink and drainer to IS 132, suitably supported. Sink to be provided with adequate overflow. Top of sink to be not less than 30" over floor level. Form enclosed press with raised floor and recessed plinth under sink and drainer.

#### 7.6 Bath and Wash hand basin

-----  
Fit where indicated a bath in vitreous enamelled cast iron or other approved material, minimum length 5'6" nominal and panelled as necessary and vitreous china wash hand basin suitably supported and secured. Both to be provided with adequate overflow.

#### 7.7 Plugs, Taps, Wastes & Taps

-----  
.5" hot and cold chrome plated brass taps to be fitted to sink and wash hand basin and .75" do. to bath, complete with cleaning eye and copper, lead or approved plastic waste pipe adequately secured and fitted with cleaning eyes as necessary and discharging into gully trap.

#### 7.8 W.C Suite

-----  
Provide and fit where indicated on drawings wc suite and cistern to IS 70 all fully supported and secured. Connect to soil pipe with proprietary flexible coupling or other acceptable joint. Cistern to be provided with

adequate overflow. Pipes shall not be jointed within the thickness of the walls.

## 8.0 Drainage

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### 8.1 Trenches

-----

Trenches shall be excavated to the necessary depths, widths and falls to allow the drains to be properly laid. The water service shall be in a separate trench from the drain.

### 8.2 Drain

-----

The main and branch drains shall be 4" diameter laid to continuous falls of not less than 1:60 and not more than 1:30, with bends and junctions, splayed in the direction of flow where required and in straight lines from access chamber to access chamber. The drain shall be PVC with flexible joints all laid on continuous bed in concrete mix B 4" thick and 12" wide for full length of each pipe and haunched halfway up the pipe after testing and clean pipe internally as necessary after each joint is made.

### 8.3 Backfilling

-----

Immediately over pipe back fill in fine material and fill remainder of trench in selected excavated material, well rammed and remove surplus spoil.

### 8.4 Drains under Buildings

-----

Drains shall not be taken under any buildings unnecessarily but where this is unavoidable, pipes shall be cast iron or encased in 6" of concrete [mix B] or otherwise to Local Authority Requirements and laid in straight lines. Form ducts through rising walls or foundations as necessary to avoid damage to drain.

### 8.5 A.J.S., Manholes, Drop Manholes.

-----

Armstrong junctions or manholes as appropriate shall be provided at each change in direction or gradient of drain and of such dimensions and spacing to permit easy cleaning of the system. Manholes shall be built in 9" solid concrete blockwork on 6" thick concrete [mix B] base with glazed channels, bends and branches suitably benched. Benching and internal walls to be finished smooth in cement mortar. Fit cast iron or hot dipped galvanised steel frame and cover. Covers to have provision for lifting. Where required by Local Authority, outfall manholes will be formed with

interceptor trap complete with stoppered cleaning eye and air inlet.

#### 8.6 Gullies & AJ's

Gullies and Armstrong junctions to be set level, supported on 6" bed of concrete [mix B] and connected to drain as previously described. AJ's shall have frame and cover of UPVC, or hot dipped galvanised steel.

#### 8.7 Gully Traps

Gully traps shall be set in dished concrete surround to take wastes from bath, sink, whb and discharge from rain water pipes and shall be fitted with cast iron, aluminium or other suitable grid.

#### 8.8 Vent shaft

At head of drain carry up 4" internal diameter vent pipe over eaves to a height of 36" over window head secured with proper brackets and fitted with cowl.

#### 8.9 Testing

Test plumbing installation and drainage system on completion to ensure efficient working of systems and as may be required by the Local Authority.

#### 9.0 Electrical Installation

##### 9.1 Installation

The electrical installation is described in the drawings and is to conform to "The National Rules for Electrical Installations" as published by the Electro Technical Council of Ireland. Conduit shall be used where cable is buried in plaster. Joists shall not be notched - where necessary the cable to be taken through holes bored in the centre of the joist.

#### 10.0 Protective Painting

##### 10.1 Preparation

All surfaces to be painted or otherwise protectively coated shall be cleaned down and prepared by wire brushing, sanding, planing or as necessary to obtain the best possible finish.

##### 10.2 Paints

-----  
Thinners, sealers, primers, colour washes, paints, varnishes or other brush, roller or spray applied finishes shall be of suitable manufacture for the surface and material to be covered and shall be applied strictly in accordance with the manufacturers instructions.

### 10.3 Woodwork

-----

All woodwork usually painted shall be knotted, stopped, primed and painted with two undercoats and one finishing coat. Alternatively, may be stained or dyed and knotted, primed and finished with two coats varnish.

Decorative hardwoods can be treated traditionally internally and shall be oiled or treated with suitable preservatives externally or may be painted or varnished as previously specified.



CONCRETE RIDGE TILE  
SET IN GAUGED MORTAR  
AND POINTED IN CEMENT MORTAR

INTERLOCKING  
CONCRETE TILES  
ON 50X38 BATTENS  
ON SARKING FEET

FEET CARRIED  
OVER RIDGE  
WITHOUT JOINTS

SECTION THROUGH RIDGE



INTERLOCKING CONCRETE TILES  
ON 50X38 PRESSURE IMPREGNATED  
SOFTWOOD BATTENS TO  
RECOMMENDED GAUGE ON  
SARKING FELT.

50MM

100MM GLASSFIBRE  
INSULATION OVER  
FOIL BACKED PLASTERBOARD  
(2.7MM THICK) WITH ARTES FINISH

NOTE SLATE OVER  
FULL WIDTH  
OF WALL

100X75 WALL PLATE  
SECURED WITH  
PROPRIETARY  
GAULANISED STEEL  
STRAPS AT 600MM  
CENTRES

NOTE JUTE SCUM  
TAPE

STEELITE GAULANISED  
STEEL LINTEL TYPE  
A.05/100 WITH INSULATION

INTERNAL WALL  
FINISH

175X25 SW  
FASCIA

200X18MM  
WBP PLY SOFFIT  
FIX TO 50X25  
GROUNDS.

SOFFIT VENT  
TYPE 54 120  
BY 'NEOFLEX'  
AT 1200 CENTRES

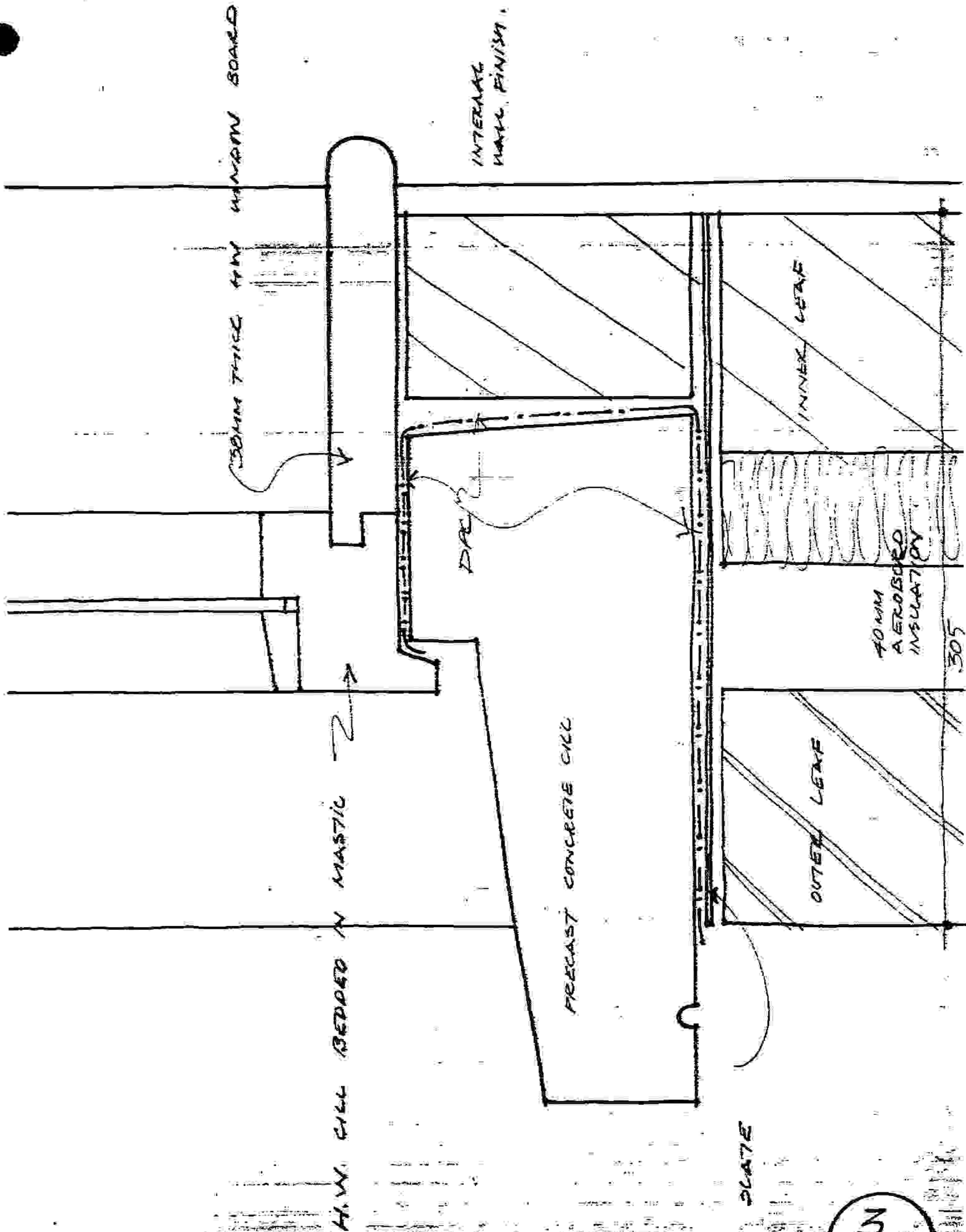
SOLDIER COURSE OF  
BRICK: WEEP HOLES  
@ 900MM SPACING

STEPPED  
DPC

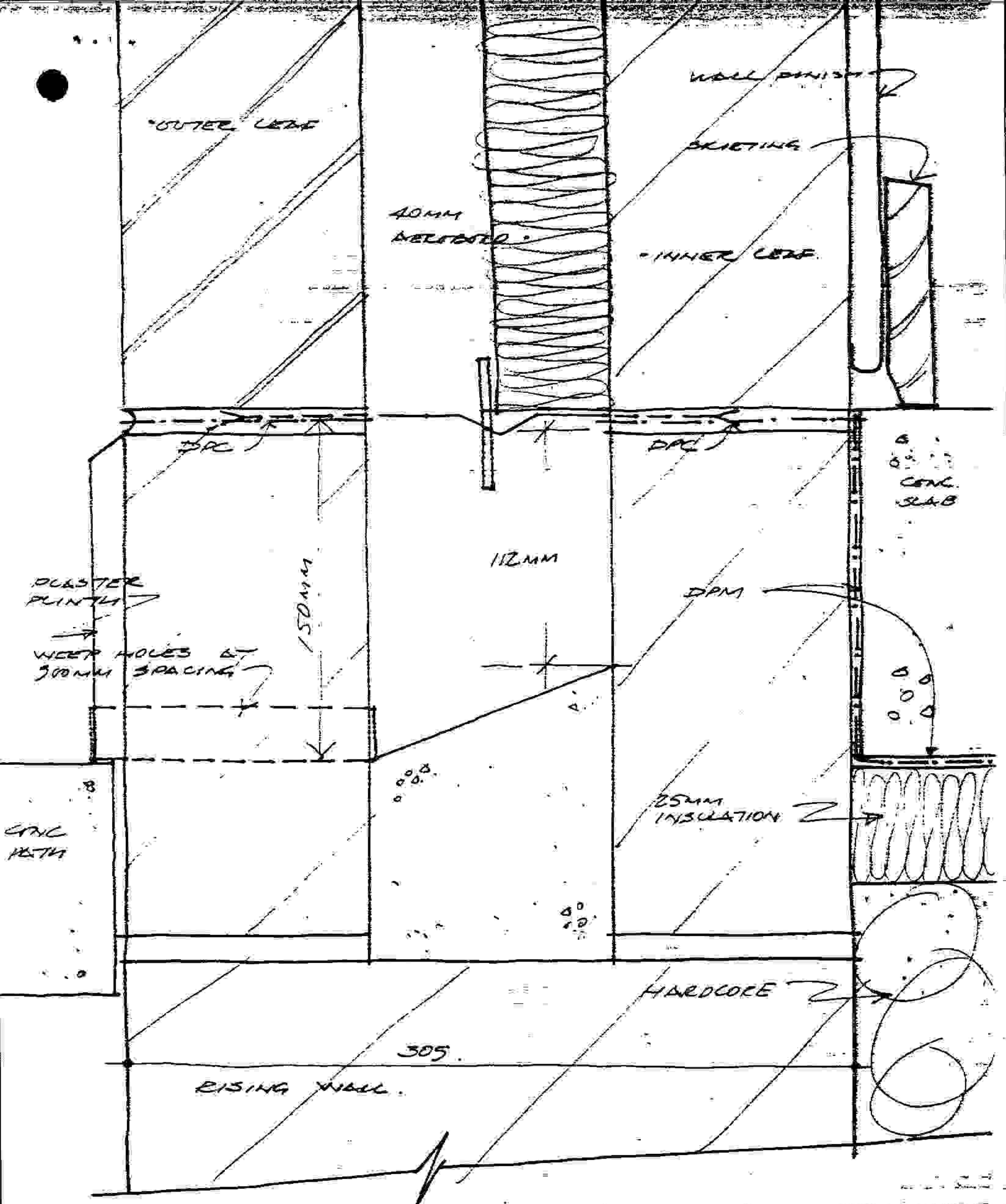
MASTIC  
POINTING

SECTION DETAIL AT  
EAVES.

2  
15



3  
 1/2RS



SECTION DETAIL AT  
BASE OF WALL

4  
KRS

DUBLIN COUNTY COUNCIL

PLANNING AND BUILDING CONTROL DEPARTMENTS

Register Reference : 91A/0114

Date Received : 4th February 1991

Applicant : F. Carroll and B. Buckley,

Appl.Type : PERMISSIO

Development : single storey dwelling at rear

LOCATION : Rear 8 Wellington Cottages with access via Wellington Green, Templeogue

PLEASE INDICATE THE DEPARTMENTS/PUBLIC BODIES TO WHICH THIS APPLICATION SHOULD BE REFERRED.

SANITARY SERVICES DEPT.	<input checked="" type="checkbox"/>	WATER [ ]	
		FOUL SEWER [ ]	
		SURFACE WATER [ ]	
ROADS DEPT.	<input checked="" type="checkbox"/>	ENVIRONMENTAL HEALTH OFFICER	<input type="checkbox"/>
PARKS DEPT.	<input type="checkbox"/>	DEVELOPMENT PLAN TEAM	<input type="checkbox"/>
FIRE OFFICER	<input type="checkbox"/>	DEVELOPMENT DEPT.	<input type="checkbox"/>
AN TAISCE	<input type="checkbox"/>	BORD FAILTE	<input type="checkbox"/>
AN COMHAIRLE EALAOIN	<input type="checkbox"/>	OFFICE OF PUBLIC WORKS	<input type="checkbox"/>
DEPARTMENT OF DEFENCE	<input type="checkbox"/>	DUBLIN CORP.WATERWORKS DEPT.	<input type="checkbox"/>
FORWARD PLANNING	<input type="checkbox"/>	OTHER [SPECIFY]	<input type="checkbox"/>
-----			
ZONING	<input type="checkbox"/>	HISTORY REQUIRED	<input type="checkbox"/>

*Handwritten initials*

REFER TO ..... EXECUTIVE PLANNER. REFER TO ..... EXECUTIVE ENGINEER

NOTES.....  
.....  
.....

SIGNED ..... SIGNED .....  
S.E.D.C. DATE..... S.E.E.

11 FEB 1991

*Handwritten signature*