

PREPARED BY
 ENGINEER
 ARCHITECT
 1000
 2000



NO.	REF. NO.	COVER LEVEL	INVERT LEVEL
1	1.00	50.00	50.00
2	1.00	50.00	50.00
3	1.00	50.00	50.00
4	1.00	50.00	50.00
5	1.00	50.00	50.00
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35	1.00	50.00	50.00
36	1.00	50.00	50.00
37	1.00	50.00	50.00
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39	1.00	50.00	50.00
40	1.00	50.00	50.00
41	1.00	50.00	50.00
42	1.00	50.00	50.00
43	1.00	50.00	50.00
44	1.00	50.00	50.00
45	1.00	50.00	50.00
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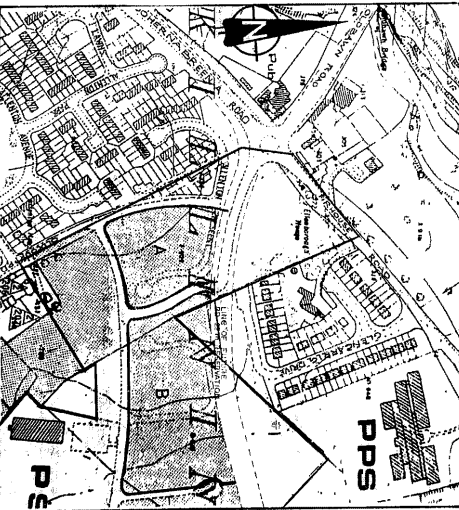
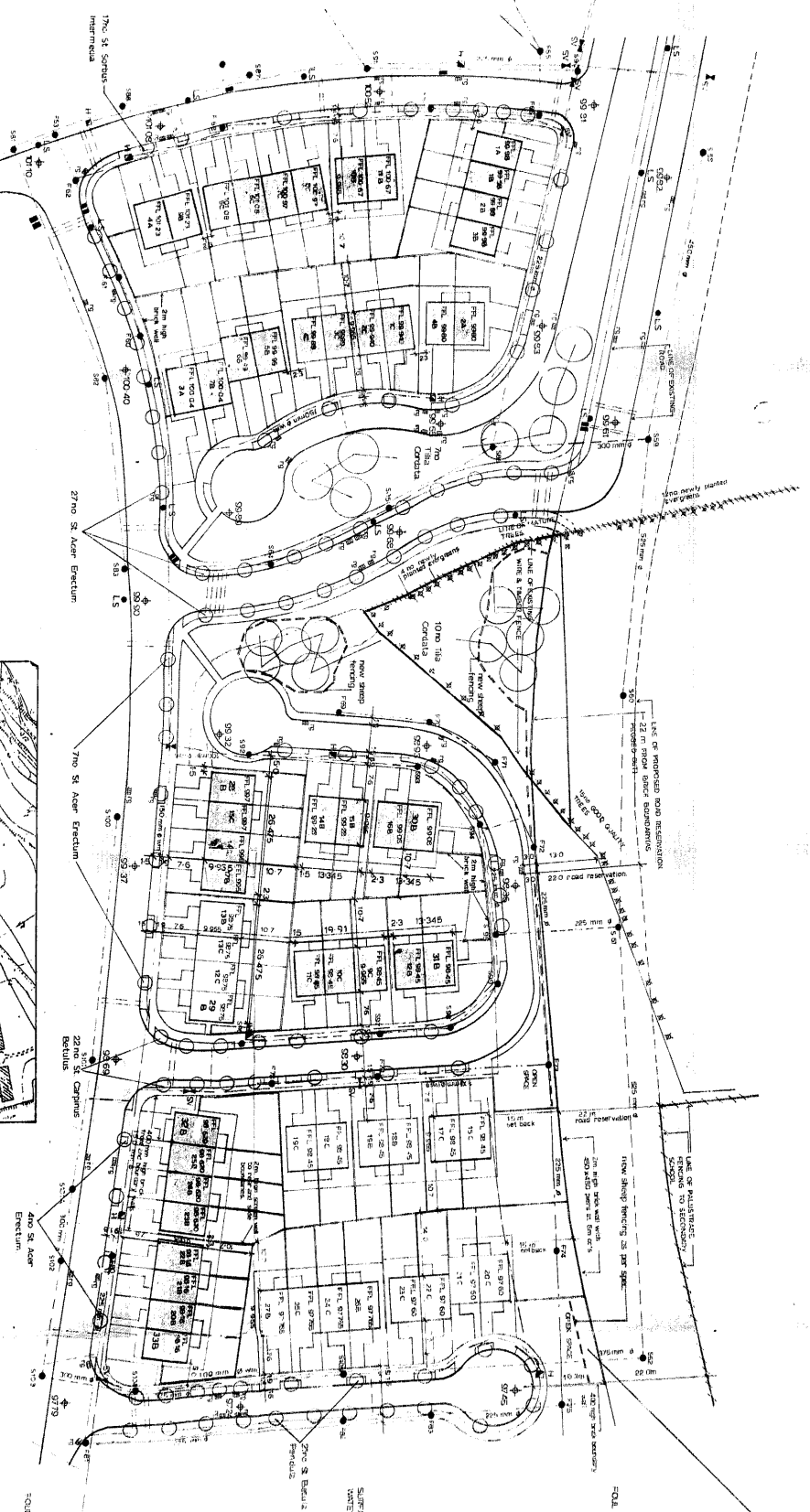
CONTRACT NO. 1000
 PROJECT NO. 1000
 SHEET NO. 1000
 DATE 10/10/00

Patrick Hooney & Associates
 50 Merrion Square Dublin 2
 30 Green Lane, Cashel Hill
 London SE8 8ST
 03-07-257-1848

WHIP PLANTING ALONG FENCE
 10000 BETULA PEROLA 3/4" high
 10000 SCORBUS ALCAPARIA
 10000 ALNUS CERATIA

SHARP PLANTING ALONG FENCE
 10000 CORNUS
 10000 LIGUSTRUM PORTUNIFOLIA
 10000 PRUNUS SPERCA
 10000 BERBERIS THUNBERGII

3/4" dia
 at 5.0' high



LOCATION PLAN
 SCALE 1:2500
 SITE A 2 Acres
 SITE B 4 Acres

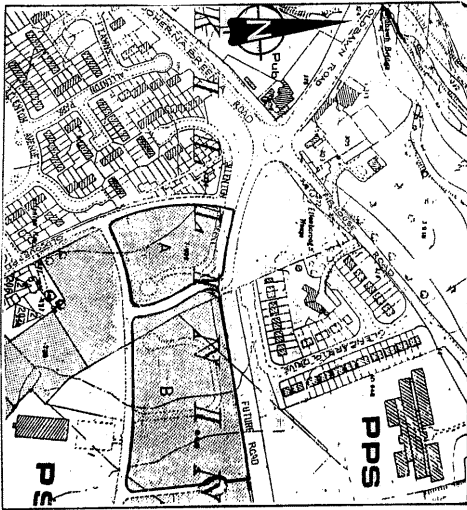
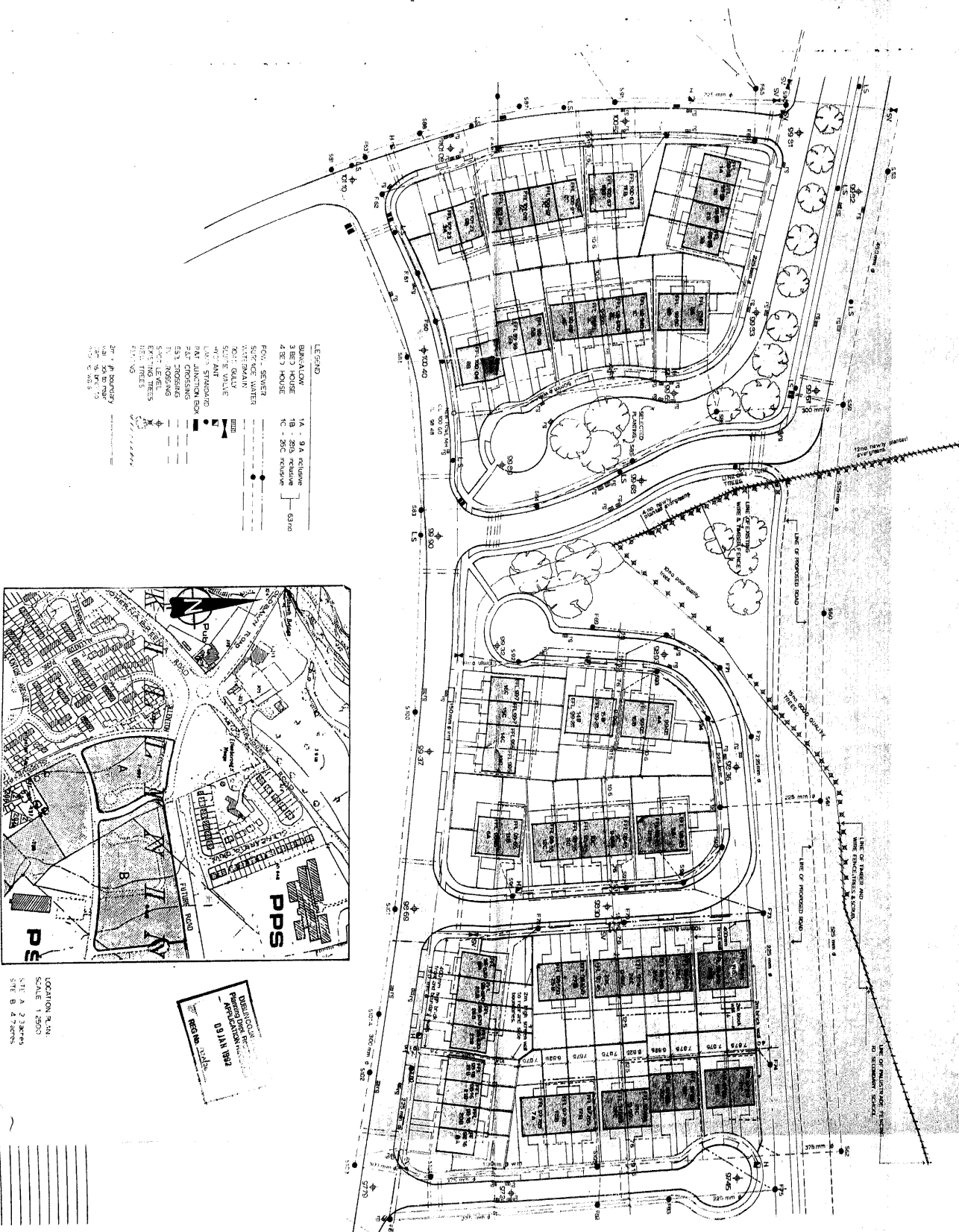
DATE NOW 8/1
 DRAWN BY
 CHECKED BY
 APPROVED BY

9827
1991
 FINISHES TALLIGHT

PAV. REF. NO.	CURB LEVEL	FINISH LEVEL
F 60	80.60	80.14
F 61	80.70	80.14
F 62	80.54	80.01
F 63	80.20	80.24
F 64	80.20	80.24
F 65	80.00	80.24
F 66	80.00	80.24
F 67	80.00	80.24
F 68	80.00	80.24
F 69	80.00	80.24
F 70	80.00	80.24
F 71	80.00	80.24
F 72	80.00	80.24
F 73	80.00	80.24
F 74	80.00	80.24
F 75	80.00	80.24
F 76	80.00	80.24
F 77	80.00	80.24
F 78	80.00	80.24
F 79	80.00	80.24
F 80	80.00	80.24
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F 82	80.00	80.24
F 83	80.00	80.24
F 84	80.00	80.24
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F 86	80.00	80.24
F 87	80.00	80.24
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F 89	80.00	80.24
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F 92	80.00	80.24
F 93	80.00	80.24
F 94	80.00	80.24
F 95	80.00	80.24
F 96	80.00	80.24
F 97	80.00	80.24
F 98	80.00	80.24
F 99	80.00	80.24
F 100	80.00	80.24

DISCLAIMER
 THIS DOCUMENT IS FOR INFORMATION ONLY
 AND DOES NOT CONSTITUTE AN OFFER
 OF ANY FINANCIAL PRODUCT OR SERVICE
 WITHOUT THE ASSISTANCE OF A
 FINANCIAL ADVISOR.

X



Delineation
 Planning District
 03/11/1982
 REG. NO. 10016

LOCATION PLAN
 SCALE 1:2500
 SHEET A 2 3/4" x 9"
 SHEET B 4 7/8" x 9"

DRAWN: [Signature]
 CHECKED: [Signature]
 DATE: NOV 91
 SCALE: 1:500
 PROJECT: FIREHOUSE TALLAHT

FOUL

F 76	98.64	93.84
F 77	96.34	93.15
F 78	96.41	92.53
F 79	92.51	96.7

FOUL

F 60	100.60	98.29
F 61	100.60	98.04
F 62	100.94	98.04
F 63	97.50	97.94
F 64	97.21	97.74
F 65	100.50	98.29
F 66	100.96	98.29
F 67	98.25	97.85
F 68	98.25	97.85
F 69	98.25	97.85
F 70	98.25	97.85
F 71	98.25	97.85
F 72	98.25	97.85
F 73	98.25	97.85
F 74	98.25	97.85
F 75	98.25	97.85
F 76	98.25	97.85
F 77	98.25	97.85
F 78	98.25	97.85
F 79	98.25	97.85
F 80	98.25	97.85
F 81	98.25	97.85
F 82	98.25	97.85
F 83	98.25	97.85

Patrick Rooney & Associates
 50 Flinn Street
 1st Floor
 Cambridge, MA 02142
 (617) 552-1448

APPEALS DECISIONS

APPEALS CHECK LIST

REG. REF. NO. 92A 26

1	ENTERED IN OBJECTORS BOOK	✓
2	ENTERED IN BLUE FOLDER	✓
3	ENTERED IN APPEALS BOOK	✓
4	ENTERED IN PLANAPS: I.E.:	✓
	APPEALS DECISION WA	✓
	CHANGE STATUS 54	✓
	APPEALS DATE 8/9/92	✓
5	COPY OF DECISION FOR WEEKLY LIST (MARY/LAURA)	✓
6	DECISION CIRCULATED TO LISTED PERSONS	✓
7	TO BONDS & CONTRIBUTIONS FOR FINANCIAL ASSESSMENT	
8	TO L. DOYLE FOR NOTING	
9		
10		

CHANGE STATUS IN PLANAPS:

REFUSAL.....55
 GRANT.....62
 WITHDRAWN.....54
 CONDITIONS.....53

NEW APPEALS

APPEALS CHECK LIST

2573

REG. REF. NO. 92A 26 A.P. 8/6/92

1	ENTERED IN OBJECTORS BOOK	✓
2	ENTERED IN BLUE FOLDER	✓
3	ENTERED IN APPEALS BOOK	✓
4	ENTERED IN APPEALS INDEX	✓
5	PAGE NUMBER OF APPEALS BOOK IN OBJECTORS BOOK	✓
6	ENTERED IN PLANAPS	✓
	Appeal Notified: 26/6/92	✓
	Appeal Type/Appellant Type:	✓
	Bord Pleanala Ref: 89039	✓
	DOCS SENT TO AN BORD: (CHANGE STATUS TO 52)	A.I.
7	WEEKLY LIST (MARY/LAURA)	✓
8	OBJECTORS NOTIFIED OF APPEAL	✓
9	BREAKDOWN OF CALCULATIONS REQUIRED - YES /NO	X
10	OBSERVATIONS REQUIRED - YES /NO	X
11		

Register Reference : 92A/0026

Date : 7th July 1992

Development : Development of 63 2 storey terraced, semi-detached
houses and bungalows

LOCATION : off Old Court Road, Firhouse, Tallaght

Applicant : Cunningham Group

App. Type : Permission

Dear Sir/Madam,

I wish to inform you that an appeal has been lodged with An Bord Pleanala against the Council's decision to GRANT PERMISSION .

All further correspondence in relation to this appeal should be addressed to The Secretary, An Bord Pleanala, Blocks 6 & 7 Irish Life Centre, Lower Abbey Street, Dublin 1. (Tel.728011).

Please note that submissions or observations made to An Bord Pleanala by or on behalf of a person (other than the applicant) with regard to an appeal made by another person must be accompanied by a fee of £30.

Yours faithfully,

.....L.D.....

for PRINCIPAL OFFICER

Tom Hurley,
Tallaght Comm. Council,
Oldcourt Road,
Firhouse, Dublin 24.

Dublin County Council Comhairle Chontae Atha Cliath Planning Department



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Bob Barry,
30 Huntsgrove,
Ashbourne,
Co. Meath.

REG. REF: 92A/0026

9 June 1992

Re: Development of 63 2 storey terraced, semi-detached houses and bungalows off Old Court Road, Firhouse, Tallaght for Cunningham Group.

I, the undersigned, hereby acknowledge receipt of letter dated 9 June 1992, in connection with the above.

Signed:

On behalf of: (Name) _____
(Address) _____

I hereby certify that the above letter dated 9 June 1992, was handed by me to the above signed today.

SIGNED:
DATED:

9/6/92

Dublin County Council Comhairle Chontae Atha Cliath Planning Department



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Damien Biddulph,
39 Huntsgrove,
Ashbourne,
Co. Meath.

REG. REF: 92A/0026

9 June 1992

Re: Development of 63 2 storey terraced, semi-detached houses and bungalows off Old Court Road, Firhouse, Tallaght for Cunningham Group.

I, the undersigned, hereby acknowledge receipt of letter dated 9 June 1992, in connection with the above.

Signed: _____

*No one home,
delivered in letter box*

On behalf of: (Name) _____
(Address) _____

I hereby certify that the above letter dated 9 June 1992, was handed by me to the above signed today.

SIGNED: *[Signature]*
DATED: 9/6/92

Register Reference : 92A/0026

Date : 9th June 1992

Dear Sir/Madam,

Development : Development of 63 2 storey terraced, semi-detached
houses and bungalows

LOCATION : off old court Road, Firhouse, Tallaght

Applicant : Cunningham Group

App. Type : Permission

I wish to inform you that by Order dated 08.06.92 it was decided to GRANT PERMISSION for the above proposal.

This decision, together with the conditions/reasons attached to the decision, is recorded in the Planning Register kept at this office in accordance with Section 8 of the Local Government (Planning and Development) Act 1963.

This Register may be inspected during office hours [9.00a.m.- 12.30p.m. 2.15p.m. - 4.30p.m.] and interested party may obtain a certified copy of an entry therein on payment of a fee of £5 in respect of each entry.

It should be noted that the proposer may appeal to An Bord Pleanala against the decision or any conditions attached to the Council's decision within one month beginning on the day of receipt by him of the Council's decision. Any other person may appeal to An Bord Pleanala within three weeks beginning on the date of decision. Interested parties are advised to consult the Planning Authority or An Bord Pleanala to ascertain if an appeal has been lodged by the applicant.

All appeals against decisions of the Planning Authority and all correspondence in relation to new and existing appeals should be addressed to The Secretary, An Bord Pleanala, Blocks 6 & 7 Irish Life Centre, Lower Abbey Street, Dublin 1. (Tel. 728011). Any appeal made to An Bord Pleanala will be invalid unless the correct fee is received by An Bord Pleanala within the statutory appeal period. The fee in respect of an appeal by an applicant for permission relating to commercial development is £200; any other appeal is £100.

Submissions or observations made to An Bord Pleanala by or on behalf of a person (other than the applicant) as regards an appeal made by another person must be accompanied by a fee of £30.

Tom Hurley,
Tallaght Comm. Council,
oldcourt Road,
Firhouse, Dublin 24.

512126

Notified OK.

Register Reference : 92A/0026

Date : 9th June 1992

Yours faithfully,



.....

for PRINCIPAL OFFICER

Register Reference : 92A/0026

Date : 9th June 1992

Dear Sir/Madam,

Development : Development of 63 2 storey terraced, semi-detached
houses and bungalows

LOCATION : Off Old Court Road, Firhouse, Tallaght

Applicant : Cunningham Group

App. Type : Permission

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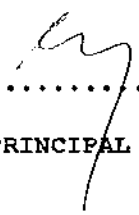
Bob Barry
31 Huntsgrove
Ashbourne
Co. Meath.

35 0465

Register Reference : 92A/0026

Date : 9th June 1992

Yours faithfully,


.....
for PRINCIPAL OFFICER

Register Reference : 92A/0026

Date : 9th June 1992

Dear Sir/Madam,

Development : Development of 63 2 storey terraced, semi-detached
houses and bungalows

LOCATION : Off Old Court Road, Firhouse, Tallaght

Applicant : Cunningham Group

App. Type : Permission

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Damien Biddulph
30 Huntsgrove
Ashbourne
Co. Meath.

no phone:

*Hand delivery
10/6/92*

Register Reference : 92A/0026

Date : 9th June 1992

Yours faithfully,

A handwritten signature in black ink, appearing to be 'Ry', written over a dotted line.

.....
for PRINCIPAL OFFICER

Bob

31 Huntsgrove,
Ashbourne,
County Meath.

2nd April, 1992

178

TO: The Chairman, Dublin County Council
=====

**RE.: Planning application for 65 dwellings at Old Court
Road, Firhouse, Tallaght**

Folio Nos. 92A / 0026

By Brian Cunningham and The Cunningham Group

I understand that the above application is under consideration by Dublin County Council. It is my intention to lodge an objection to this permission should it be granted so in accordance with my statutory rights I wish to be registered as an interested party and receive ample notification of any permission granted to enable me to lodge an objection.

Yours faithfully,

OBJECTOR

Bob Barry

BOB BARRY

EDH

30 Huntsgrove,
Ashbourne,
County Meath.

2nd April, 1992

1992

TO: The Chairman, Dublin County Council
=====

**RE.: Planning application for 65 dwellings at Old Court
Road, Firhouse, Tallaght**

Folio Nos. 92A / 0026

By Brian Cunningham and The Cunningham Group

I understand that the above application is under consideration by Dublin County Council. It is my intention to lodge an objection to this permission should it be granted so in accordance with my statutory rights I wish to be registered as an interested party and receive ample notification of any permission granted to enable me to lodge an objection.

Yours faithfully,

Damian Biddulph

DAMIAN BIDDULPH

OBJECTOR

Mr. Tom Hurley,
Tallaght Community Council,
Old Court Road,
Firhouse,
Dublin 24.

Our Ref: 92A/0026

24 March 1992

Re: Proposed development of 63 2 storey terraced, semi-detached houses and bungalows off Old Court Road, Firhouse, Tallaght for Cunningham Group.

Dear Sir/Madam,

I enclose, herewith, correspondence dated 4th March, 1992 which was sent to you by Registered Post on 6th March, 1992 and which was returned by the Postal Authority marked "NOT KNOWN AT THIS ADDRESS"

I trust you will now receive same safely.

Yours faithfully,

for Principal Officer.

EOA

9-20/0026



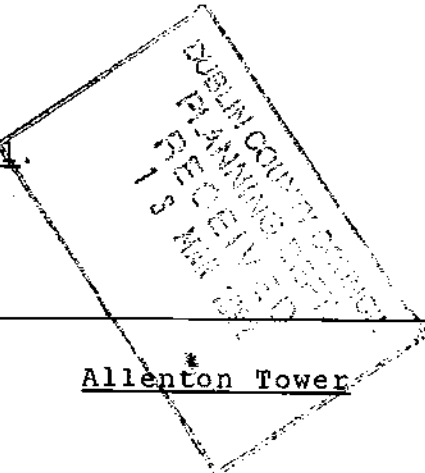
Bosca 174,
P.O. Box 174,
2/3 Cearnog Parnell,
2/3 Parnell Square,
Baile Atha Cliath 1.
Dublin 1.
Telephone: (01) 727777
Fax: (01) 727247

Mr. A. Smith,
Principal Officer,
Planning Department,
Dublin County Council.

Our Ref.

Your Ref.

Date 11 March 92



Re: \

Allenton Tower

129

Attached for your attention is copy of letter received on 2/3/1992 from Mr. Tom Hurley, P.R.O., Tallaght Community Council, regarding his fears for access to Allenton Tower, vis-a-vis the Planning Application from the Cunningham Group.

D O Sullivan

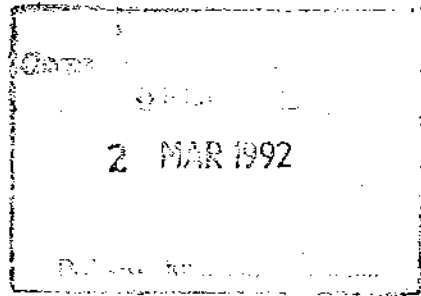
D. O'Sullivan,
Principal Officer.

Tallaght Community Council

Complain. OBJECTOR

Public Relations Officer
Tom Hurley

OLD COURT ROAD
FIRHOUSE
D. 24.



Harlem Road
Old Court Road
Firhouse
D. 24.

Dear Mr O'Sullivan,

I received a copy of your letter sent to Minister of State Chris Hood recently re. Albuton House, dated the 4th October 1991.

A recent planning application by the Birmingham group for the area either side of the Snake Road near Albuton House is going to, if granted block the entrance to a gateway to the Dublin Mountains.

Can you imagine having to drive through 2 estates in order to get onto the main road to see Borlows Castle, Columbkilles Well, Orlagh College or the Hell Fire Club.

If this application is not altered or thrown out, tourists all over the world will be laughing at our stupid architects & planners

P.T.O.

If you are concerned about this application and the effect it would have on the tourist potential for this area, please object to it & help protect our Heritage.

This planning application does not make sense as it continues mistakes that were made in the recent past.

It will be a distinct danger to the school-children of the area as this road is used as a rat-run every morning and evening.

Please use your influence to have these plans altered so as to attract people to attractions like Abboton Tower when it is restored.

Yours sincerely

Tom Hurdy.

Sunday's Gospel

When Jesus returned in the power of the Spirit in to Galilee, and a report concerning him went out through all the surrounding country. And he taught in their synagogues, being glorified by all. And he came to Nazareth, where he had been brought up; and he went to the synagogue, as his custom was, on the Sabbath day. And he stood up to read; and there was given to him the book of the prophet Isaiah. He opened the book and found the place where it was written, "The Spirit of the Lord is upon me, because he has anointed me to preach good news to the poor. He has sent me to proclaim release to the captives and recovering the sight to the blind, to set at liberty those who are oppressed, to proclaim the acceptable year of the Lord". And he closed the book, and gave it back to the attendant, and sat down; and the eyes of all in the synagogue were fixed on him. And he began to say to them, "Today this scripture has been fulfilled in your hearing".

CEADIUNTAIS PLEANALA NUA

RECENT PLANNING APPLICATIONS

19/12/91/a/0903 6 Killinenny Cottages, Firhouse/two semi-detached houses to rene with access from Killakee Court/V. O'Brien
20/12/91/a/2024 The Firhouse Inn, Firhouse Rd/extension and alterations consisting of (a) new restaurant/lounge, (b) new toilets, (c) conversion of stores to kitchen incorporating new pitched roof, (d) new fire escape and fire doors, (e) new signage/Mr & Mrs H. Morton
20/12/91/a/2034 Dodder Lawn (Road 4) Dodder Valley Park, Firhouse Rd., Old Bawn, Tallaght/change of house type from previously approved house at 1-20 inclusive, 22 and additional house no. 24/Lark Developments Ltd
20/12/91/a/2040 Turnpike Lane, Ballymount Rd./nine light industrial units/Lydbury Ltd
23/12/91/a/2060 sites nos. 26 & 27 Oldcourt Manor, Oldcourt Rd., Tallaght/change of house type/J. Heery Joinery Ltd.
23/12/91/a/2062 Ballymount Industrial Estate, Ballymount Cross, Ballymount/Warehouse containing five no. factory units on part-approved site/Sandell Ltd.
23/12/91/a/2066 Super Valu Supermarket, Tallaght Rd, Tallaght, Dublin 24/Retention of illuminated sign/James McCaul.
24/12/91/a/2080 Shires Ireland Ltd, Broomhill Rd/Retention for change of use of part front offices to showrooms and also adjoining showrooms to office use and retention of new entrance porch/Shires Ireland Ltd.
24/12/91/a/2086 64 Forrest Close, Kingswood Heights/Three detached 2-storey houses/Mondale Construction Ltd.
2/1/92/a/0008 Unit 317B The Square Town Centre, Tallaght/Fitting out as an indoor adventure playground/Growneyville Ltd.
2/1/92/a/0008 34A Sycamore Ave, Kingswood/Change of house type/G. Doherty
3/1/92/a/0018 Monastery Rd, Clondalkin/Alteration to condition of planning permission for shop/E. McNamara
9/1/92/a/0026 Off Old Court Rd, Firhouse, Tallaght/Devel. of 63 two-storey terraced, semi-detd houses & bungalows/Cunningham Group
16/1/92/a/1472 on Firhouse Rd near junction with Ballycullen Rd (inbound)/Bus shelter/Dublin Bus
16/1/92/a/0044 2 Main St, Clondalkin/Installation of a waste dish/P. Power Ltd.
15/1/92/a/0047 Unit 3, Broomhill Terrace, Tallaght Ind. Est. Co. Ltd

side of existing house/ S. Moynihan

17/12/91/b/1494 Kiltipper Rd., Tallaght/Retention of alterations to elevations of already approved scheme and installation of new windows to house/Mr. Paul Kennedy
24/12/91/b/1539 9 Birchview Ave, Kilnamanagh/First floor bedroom extension with bathroom en suite/J. Crowe
13/1/92/b/0017 9 Old Bawn Rd, Tallaght/alterations to already approved for two storey extn. to rear/A. Adderley
14/1/92/b/00234 Tymon North Park, Tallaght/retention of alterations to approved extension to front/D. Canning
14/1/92/b/0024 346 Glenview Park, Tallaght/garage conversion & first floor extn. over garage/Mrs. Doolay
15/1/92/b/0029 85 Birchwood Heights, Tallaght/porch/P. McCann
17/1/92/b/0035 100 Cherrywood Park, Clondalkin/porch extn. to front of dwelling/T. Goucher

APPEALS NOTIFIED TO AN BORD PLEANALA

Belgard Rd, Main St, Tallaght/Erection of town centre, High St, dev in 1, 2 & and 3-storeys/Docfield Ltd/Appeal against grant.
Belgard Rd, Tallaght/ret. of 5 adv. signs & 9 flagpoles/Anika Ltd (V a/ Atlantic Homecare)/against refusal of permission

RECENT DECISIONS TO GRANT APPROVAL

Cloverhill Ind. Est, Clondalkin/(a) office ext. (b) warehouse ext. incor. laboratories and toilets (c) plant rooms ext. (d) employee entrance (e) addit. car parking/I.D.A.
J. McGreevy, 2 Castle Crescent, Clondalkin/change of first floor use from res to office use.
Michael Tynan Motors, Newlands Cross, Clondalkin/Garage ext, already approved ref.91A/177.
Units 317,318 & 318A Level 3 The Square Towncentre, Tallaght/Rearrangement of app. health/fitness & retail areas incl. change of use to medical centre & assoc. mezzanines.
The ESB, Tymon Park, Townland of Tymon North/Install a 38 Kilovolt to 10 Kilovolt transformer in existing transformer station.
Nos. 2,4,6,8,10,12, Castlefield Way, Castlefield Manor, Ballycullen Road/Replace four semi-det. 3 bedroom houses with 6 ter. 2 bed roomed houses on site nos 5-8 incl., Castlefield Way & replace 6 semi-det dormer bungalows/Hampton Constr. Ltd.

Register Reference : 92A/0026

Date : 4th March 1992

Dear Sir/Madam,

Development : Development of 63 2 storey terraced, semi-detached
houses and bungalows

LOCATION : Off Old Court Road, Firhouse, Tallaght

Applicant : Cunningham Group

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, additional information was requested in relation to this application on 04.03.92 and particulars of this request have been entered in the Planning Register. The Register is available for inspection at the Planning Department, Irish Life Centre, Dublin 1, during office hours (9 a.m.-12.30 p.m. and 2.15 p.m.-4.30 p.m.)

A certified copy of an entry in the Register may be purchased on request at the public counter at a cost of £5 per entry.

Yours faithfully,

..... L. D.

for PRINCIPAL OFFICER

Tallaght Comm. Council,
Oldcourt Road,
Firhouse,
Dublin 24.

Tallaght Community Council

Comhairle Phobail Thambhaeta

Public Relations Officer
Tom Hurley

OLD COURT ROAD

FIRHOUSE

D. 24

OBJECTOR

1/2/92.

02 MAR 92

4/1/92/A/0026.

EC14

I khorag,

I would like to object once again to the fresh application for planning permission for 63 houses on the "Snake Road" joining Old Court Road. As a member of the T.C.C. Town Planning sub-committee I feel that it would be a major mistake to grant permission for this development as planned. No planning should be granted inside the "Snake Road" as it will obscure the mountains even further & leave no provision for a proper road system at the main junction at Brigids Pub. How can visitors & tourists discover Ireland & its heritage if you allow development on the original road area. We on the T.C.C. demand an immediate meeting with the local

planners & engineers to point out the dangers inherent in this planning application & to suggest a more sensible approach to the long-term interests of all concerned

Tom Hurley

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 92 A 26

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
BELGARD H + P <u>28/1/92</u>	Noted by all Cass / Muldoon Hearn Snake Road not able for extra traffic Tervod 2 story house is Density OK How will it interface with existing devts Doesn't want houses looking into back gardens		

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1962

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/POUL SEWER, SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: B/ /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

*Set out
land in full
value of CN6034*

DEVELOPMENT CONTROL ASSISTANT GRADE

120

*So total 249000
25 all 96000
69000*

[Signature]

8/8/72

PLANNING APPLICATION FEES

Reg. Ref... 92A/0026

Cert. No. 27646

PROPOSAL... 63 hares

LOCATION... Old Court Road, Sites A+B Firlona, Tollymore

APPLICANT... Cennanaghams Grow

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REQ.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32	2016	2016	/	
2	Domestic	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres	@£1.75 per m2 or £40				
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: Grade: Date:

Column 1 Endorsed: Signed: Grade: Date:

Columns 2,3,4,5,6 & 7 Certified: Signed: *Rud* Grade: S=0 Date: 13/1/92

Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade: Date:

DUB/S P/0141/93

COMHAIRLE CHONTAE ÁTHA CLIATH

FINANCIAL CONTRIBUTION :-
AMOUNT €

F Rm: 29/500

Record of Executive Business and Manager's Orders

BAND 296000
CASH 260,000

Proposed development of 63 2 storey terraced, semi-detached houses and bungalows off Old Court Road, firhouse, Tallaght for Cunningham Group.
By order P/3593/92 dated 8th June, 1992 the Council made a decision to grant permission for this proposal. On Appeal, An Bord Pleanála made the following order on 8th September, 1992:-

PL6/5/89039

CN 6034 (A)

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963 TO 1990

County Dublin

Planning Register Reference Number: 92A/0026

WHEREAS Damian Biddulph and others of 30 Huntsgrove, Racehill, Ashbourne, County Meath appealed to An Bord Pleanála against the decision made on the 8th day of June, 1992, by the Council of the County of Dublin to grant subject to conditions a permission to the Cunningham Group care of Patrick Rooney & Associates of 55 Merrion Square, Dublin for the erection of 63 two-storey terraced, semi-detached houses and bungalows off Old Court Road, Firhouse, Tallaght, County Dublin:

AND WHEREAS the grounds of the said appeal were not stated in writing:

AND WHEREAS the Board on the 21st day of August, 1992, served notice on the said Damian Biddulph and others pursuant to the powers conferred on it by subsection (1) of section 17 of the Local Government (Planning and Development) Act, 1983:

AND WHEREAS no submission was made to the Board by the said Damian Biddulph and others within the period specified in the said notice:

NOW THEREFORE An Bord Pleanála, in exercise of the powers conferred on it by the said section 17, hereby declares that the said appeal shall be regarded as having been withdrawn.

Member of An Bord Pleanála
authorised to authenticate the
seal of the Board.

Dated this 8th day of September 1992.

P / 0 1 4 1 / 9 3

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

- 2 -

PL6/5/89039

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963 TO 1990

County Dublin

Planning Register Reference Number: 92A/0026

I recommend that the GRANT OF PERMISSION be issued in accordance with this direction.

L.D.

for Principal Officer.

Order: Direction of An Bord Pleanála noted. Grant of Permission to be issued in accordance with An Bord Pleanála's direction dated 8th September, 1992 Ref: PL6/5/89039

Dated: 13th JAN 1993
~~September 1992~~



ASSISTANT COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager dated: 25th SEPTEMBER 1992

P/2593/92

New file

Br new file
CN/6034(A)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

CONTRIBUTION:	
Standard:	nil
Roads:	91500
S. Sers:	
Open Space:	
Other:	
SECURITY:	
Bond / C.I.F.:	96,000
Cash:	60,000

SOUTH COUNTY

Register Reference : 92A/0026

Date Received : 10th April 1992

Correspondence : Patrick Rooney & Associates,
Name and : 55 Merrion Square,
Address : Dublin 2.

Development : Development of 63 2 storey terraced, semi-detached houses and bungalows

Location : Off Old Court Road, Firhouse, Tallaght

Applicant : Cunningham Group

App. Type : Permission

Zoning : To provide for new residential communities *in accordance with* approved action plans.

Floor Area : Sq.metres

MOS
(MOS/DK)

Report of Dublin Planning Officer dated 8th June, 1992.

This application is for PERMISSION. The proposed development consists of the development of 63 two storey terraced, semi-detached houses and bungalows off Old Court Road, Firhouse, Tallaght for the Cunningham Group.

The applicant is stated to have a contract to purchase subject to planning permission.

PLANNING HISTORY OF THE SITE

Reg. Ref. ZA. 800: Dublin County Council granted planning permission for proposed 295 houses and 2 shop and to do main development works for 62 private sites at Ballycragh. (Decision Order P/2510/84 dated 3.8.84).

The site of the current application formed part of the larger site affected by Reg. Ref. ZA 800, and on which permission was granted to do the main development works for 62 private sites.

Reg. Ref. 91A/1425 refers to an application received by Dublin County Council

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 92A/0026

Page No: 0002

Location: off Old Court Road, Firhouse, Tallaght

for permission for the development of 80 two storey terraced, semi-detached houses and bungalows as well as a shop and creche for this site. The application was withdrawn prior to its determination by the Planning Authority.

THE SITE

The site is zoned A1 in the 1983 County Development Plan with the objective "to provide for new residential communities in accordance with approved action area plans. The site is affected by a specific objective contained in the 1983 Plan for the proposed Southern Cross Motorway Extension.

The site is zoned F in the 1991 Draft Development Plan with the objective "to preserve and provide for open space and recreational amenities". It is also affected by a specific long term roads objective.

Ballycragh National School and the Catholic Church (Reg. Ref. 87A 1208 and 88A 1476 respectively refer) are located on Allenton Road to the south. A Housing development granted permission under Reg. Ref. 90A/1421 is currently under construction on the site adjoining the national school (i.e. to the east) and directly opposite the site of the current application. Glencarrig Housing Estate is located to the north of the site while Allenton Housing Estate adjoins the site to the west.

The area of the site is stated to be 7 acres. The road layout has been constructed for some time on the site. The site is overgrown and unkept. Telephone poles cross the site.

PROPOSAL

The application is for 63 no. 2 storey terraced, semi-detached houses and bungalows off Old Court Road, Tallaght, resulting in a density of 9 houses per acre.

Three house types are proposed:-

- (a) 2 bed bungalows.
- (b) 3 bed two storey houses.
- (c) 4 bed two storey houses.

The proposed 2 storey houses have a semi-brick, semi-rendered finish on the front elevation. The proposed bungalows which are located at the end of terraces have a plaster finish on all elevations.

There are no houses fronting onto the newly constructed local distributor road which links the roundabout on Oldbawn Road to Oldcourt Road.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 92A/0026

Page No: 0003

Location: Off Old Court Road, Firhouse, Tallaght

REPORTS

The roads report states that conditions which should be attached in the event of permission being granted (report dated 6/2/92). The Roads Department recommend that a financial contribution of £50,400. be levied on the developer towards the cost of road improvements and traffic management proposals in the area serving the site.

The Roads Engineer has confirmed by phone that the proposed road to the north of the proposed housing is a district distributor road, with a 22 metre wide reservation. The required setback of 15 metres in relation to this road will result in the necessary omission of house nos. 17C, 18C, 19B and 28B.

The Parks Department has made the following comments in its report dated 13.2.92:-

(1) It notes that part of the site was conditioned as public open space in the permission granted for Glenvara Estate which is taken in charge.

(2) As virtually no public open space is provided for as part of this development, it recommends that a financial contribution of £1000 per house should be levied towards the development of the Dodder Linear Park nearby.

The Sanitary Services report dated 28.02.92 stated that insufficient information has been submitted.

The following additional information was requested of the applicant in a letter dated 4th March, 1992.

1. The applicant is requested to submit a site location map, showing the site outlined in red. A discrepancy is noted between the position of the proposed road as shown on the site location map and its position as shown on the site layout. The applicant is requested to clarify this discrepancy, showing the correct position of the proposed road reservation which is 22 metres wide and to indicate if the road reservation forms part of the site curtilage of the application.

2. The application should note that the proposed road to the north of the houses is a district distributor road requiring a reservation of 22 metres and a building setback of 15 metres. The applicant is requested to indicate if he is prepared to modify the proposed development to show the omission of house nos. 19B, 28B, 17C and 18C and if he is so prepared to submit plans showing this.

3. The applicant is requested to submit a detailed landscaping scheme for the

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 92A/0026

Page No: 0004

Location: Off Old Court Road, Firhouse, Tallaght

2 areas of open space proposed indicating the trees which it is proposed to retain and planting proposals (e.g. species, numbers, timescale for implementations, etc). The applicant should note that there are a number of mature trees which appear to be in good condition and which should be retained if possible. These trees should be properly surveyed and details of proposals to retain trees should be submitted. The applicant is advised to consult with the Parks Department prior to lodging this information.

4. The applicant is requested to demonstrate that adequate space about each house can be provided in accordance with development plan standards. It is noted that some houses have driveways which appear to be less than the required 7.5 metres in length (i.e. 9C, 10C, 11C, 12C, 12B) and that some of the rear gardens appear to be less than the required 10.7 metres long (i.e. 1C, 3C, 4C, 8A, 9A, 20B and 21B). The applicant should note that a distance of 2.3 metres should be provided between the flank walls and semi-detached and terraced houses.

5. The applicant is requested to indicate the proposed boundary treatment along the road reservation line to the north of the site.

6. The applicant is requested to demonstrate that no building will be located closer than 5 metres from a public sewer. (The applicant is to note that house no. 8B appears to be located less than 5 metres away from a sewer, the size of which is not indicated).

7. The applicant is requested to submit proposed drainage details (i.e. foul and surface) to house nos. 2A-8B inclusive.

NOTE: The drainage systems between MH.S.83 and MB.S.100 appears to be shown incorrectly.

8. The applicant is requested to submit a revised watermain layout to include a 100 m.m. main to serve the 6 houses on the western extremity of the site. The applicant is advised to consult with the Area Engineer, Deansrath Depot, Clondalkin, prior to lodging this information.

In response to item 1 the applicant has submitted a site location map showing the site outlined in red and the proposed road reservation which lies outside the site.

The applicant has modified the proposed layout to provide for a building setback of 15 metres from the proposed district distributor road. The revised house layout, provided for the development of 61 houses, a reduction of 2 in the number originally proposed in this application.

The applicant has submitted a landscaping plan in response to item no. 3 in the

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 92A/0026

Page No: 0005

Location: Off Old Court Road, Firhouse, Tallaght

request for additional information.

The applicant has demonstrated that adequate space about dwellings in accordance with development plan standards can be provided.

It is proposed to construct a 2 metre high brick wall along the road reservation line in response to item no. 5.

The applicant has indicated that no house will be located within 5 metres of a public sewer.

The Roads Department reporting on the additional information which has been submitted states the conditions that should be attached in the event of a decision to grant permission (Report dated 12th May, 1992). The Roads Engineer recommends that a financial contribution of £48,800 (61 houses x £800) be levied on the developer towards the cost of road improvements and traffic management proposals in the area serving this site. A contribution of £1,500 per house was levied on the developer of the adjoining housing development which was granted permission under Reg. Ref. 90A-1421. The Roads Department has confirmed that a similar contribution (i.e. £1,500 x 61 houses) should be levied on this site. This contribution is considered acceptable and should be made a condition of permission on this site.

The Parks report dated 13th May, 1992, expresses serious concern about the lack of any class 1 public open space, and recommends that a financial contribution of £1,000 per site should be levied on the developer towards the further development of the class 1 public open space associated with the Dodder Valley Park. *This contribution is not considered reasonable, given that public open space was provided in association of the develop. permitted under*

The Senior Parks Superintendent states that the landscape plan submitted for ZA 800 the proposed public open space is unsatisfactory and not sufficiently detailed. Finally, he recommends that the incidental areas of public open space adjoining sites nos. 16C and 20C should be incorporated within the curtilage of these houses.

There is no report available from the Sanitary Services Department at the time of writing. The Sanitary Services Department has confirmed (meeting 5th June, 1992) that the proposed development is acceptable to the Sanitary Services Department.

A number of letters of objection to the proposed development have been received and their contents noted:

~~Approximately one acre of public open space has been provided as part of this development; most of this open space is not considered usable open space due to~~

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 92A/0026

Page No: 0006

Location: Off Old Court Road, Firhouse, Tallaght

~~its shape and location and is of visual amenity value only.~~

~~It is, therefore, considered reasonable to require the developer to pay a financial contribution of £1,000 per house towards the development of the Dodder Valley Park.~~ The development of this site for residential purposes was accepted as far back as 1984. The site is still considered suitable for housing.

The development as proposed is considered acceptable from a planning point of view.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963 - 1991, subject to the following (2) conditions :-

CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That each proposed house be used as a single dwelling unit.

REASON: To prevent unauthorised development.

03 ~~That a financial contribution in the sum of £_____ be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.~~

REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that ~~the developer~~ should contribute towards the cost of providing the ~~services.~~

04 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Water-mains and Drains, has been given by:-

A. Lodgement with the Council of an approved Insurance Company Bond in

*AD amended
by additional
inform. Sec 21
02:10 12/11
1992*

aw

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 92A/0026

Page No: 0007

Location: Off Old Court Road, Firhouse, Tallaght

the sum of €46,000 which shall be renewed by the developer from time to time as required during the course of the development and kept in force by him until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council. OR./..

B. Lodgement with the Council of a Cash Sum of €46,000 to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications. Or./...

C. Lodgement with the Planning Authority of a letter of guarantee by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

7 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON: To protect the amenities of the area.

8 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON: In the interest of amenity.

9 That public lighting be provided as each house is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by the Council.

REASON: In the interest of amenity and public safety.

10 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.

REASON: In the interest of the proper planning and development of the area.

11 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on the completion of their dwellings.

REASON: In the interest and proper planning and development of the area.

12 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

13 That all watermain tapings, branch connections, swabbing and

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 92A/0026

Page No: 0008

Location: Off Old Court Road, Firhouse, Tallaght

chlorination be carried out by the County Council, Sanitary Services Department and that the cost thereof be paid to the County Council before any development commences.

REASON: To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

11 That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

REASON: In the interest of the proper planning and development of the area.

12 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development, until taken in charge by the Council.

REASON: In the interest of the proper planning and development of the area.

13 That the areas shown and conditioned as open space be fenced off during construction work and shall not be used for the purpose of site compounds or the storage of plant, materials or spoil.

REASON: To protect the amenities of the area.

14 A landscape plan with full works specification and bill of quantities etc., shall be submitted to and agreed in writing with the Planning Authority before the commencement of the development. Such plan shall include regrading, drainage, topsoiling, seeding, tree and shrub planting, pedestrian paths and details of maintenance. Or... In lieu of the open space being developed by the applicants, a financial contribution of £300. per house shall be paid to the County Council to enable this work to be carried out. This cost to be paid on a phased basis as agreed with the Planning Authority.

REASON: In the interest of the proper planning and development of the area.

NOTE: The applicant should note that the landscaping plan submitted as part of this application is insufficiently detailed and is unsatisfactory to the Planning Authority.

15 That a financial contribution of £91,500 (i.e. 61 houses x £1,500) be paid by the developer to Dublin County Council towards the cost of road improvements and traffic management proposals in the area serving this site. This contribution is to be paid prior to commencement of development on the site.

2

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 92A/0026

Page No: 0009

Location: Off Old Court Road, Firhouse, Tallaght

- 15 REASON: In the interest of the proper planning and development of the area.
- 16 That a 2 metre (minimum) distance is to be maintained between the flank walls of houses nos. 1A, 3A and 8A and the side site boundary.
- 17 REASON: In the interest of the proper planning and development of the area.
- 18 Two no. off-street car parking spaces are to be provided side by side on site no. 2A.
- 18 REASON: In the interest of the proper planning and development of the area.
- 18 That a 1.15 metres (minimum) wide side passageway be provided at the side of house nos. 3B, 6A, 11C, 14B, 19C and 27B.
REASON: To facilitate easy access to the rear of the houses and to facilitate the maintenance of the flank walls.
- 19 20 That 2 metre high walls be provided to screen rear gardens from public view. These walls are to have a brick external finish where they abutt a public roadway.
- 19 20 REASON: In the interest of the proper planning and development of the area.
- 20 21 That the areas indicated as open space beside houses nos. 16C and 20C on Drawing No. 937.19 submitted to this Department on 10th April, 1992, shall be included within the curtilages of house nos. 16C and 20C.
REASON: In the interest of residential amenity.
- omit*
delete
Z.C. 22 That a financial contribution of £1,000 per house towards the further development of class 1 public open space associated with the Dodder Valley Park to be paid by developer on a phased basis with the payment of the development levy.
- ~~22 REASON: In the interest of the proper planning and development of the area.~~
- 21 23 Front boundary walls are to be 1 metre in height with a brick finish. These walls are to be provided along the front site boundaries and between front gardens.
- 21 23 REASON: In the interest of the proper planning and development of the

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 92A/0026

Page No: 0010

Location: Off Old Court Road, Firhouse, Tallaght

area.

~~24~~ That a 2 metre high brick wall is to be provided along the entire road reservation line to the north of the site. The road reservation line is to be confirmed on site with the Roads Department prior to the commencement of development.

~~24~~ REASON: In the interest of the proper planning and development of the area.

23 25 The roof tiles to be of a muted colour (e.g. blue/black grey or brown). Details to be agreed with the Planning Authority prior to the commencement of development.

REASON: In the interest of visual amenity.

NOTE: should the proposed development necessitate the relocation of any poles, etc. this is to be undertaken at the applicants expense.

24~~25~~. That a 2 metre high brick wall is to be provided along the northern side boundaries of sites nos. 16c. + 20c. on the road reservation line. note the applicant should note that he is not responsible for building a screen wall along the remainder of the road reservation line where it adjoins the site.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 92A/0026

Page No: 0011

Location: Off Old Court Road, Firhouse, Tallaght

Richard Cremins SEP
for Dublin Planning Officer
8/6/92

Endorsed: *[Signature]*
for Principal Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1991 to GRANT PERMISSION for the above proposal subject to the (2) conditions set out above is hereby made.

Dated : 8th June, 1992.

[Signature]
ASSISTANT COUNTY MANAGER/APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated

10th February 1992

PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Engineer,
Sanitary Services Dept.

Register Reference : 92A/0026

Date : 10th January 1992

Development : Development of 63 2 storey terraced, semi-detached
houses and bungalows

LOCATION : Off Old Court Road, Firhouse, Tallaght

Applicant : Cunningham Group

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 9th January 1992

Attached is a copy of the application for the above development. Your
report would be appreciated within the next 28 days.

Date received in Sanitary Services

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 28.02.92
..... 12.20
.....

DUBLIN Co. COUNCIL
20 JAN 1992
SAN SERVICES

FOUL SEWER

Available in principle, subject to the following :-
1. Applicant have not provided sufficient details of the drainage of
sites nos. 2A to 8B inclusive. A compliance drawing should be lodged
detailing this requirement.

SURFACE WATER

Point 1. As per 1 above.

Note :-

- Applicant has not indicated the drainage of the cul-de-sac fringing these
houses. This should also be lodged as a compliance matter.
- 2. Applicant appears to have misrepresented the drainage systems between 44583
and 445100.

J. L. Sullivan 28/2/92.

J. L.
28/2/92

Register Reference : 92A/0026

Date : 10th January 1992

ENDORSED _____ DATE _____

WATER SUPPLY. Available for zoned use, 24 hour storage to be provided. Applicant to revise watermain layout to include a 100mm main to serve the 8 houses on the western extremity of the development. At present they do not have a main on their side of the road. Applicant to discuss revision with Mr. L. Spain, Area Engineer Deansrath Depot, Clonsilla.

L. J. Spain
25/2/92

ENDORSED _____ DATE _____

[Signature]
25/2/92

PLANNING DEPT.
DEVELOPMENT CONTROL
Date 28.02.92
Time 12.20

P/925/92

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

BELGARD

Register Reference : 92A/0026

Date Received : 9th January 1992

Correspondence : Patrick Rooney & Associates,
Name and : 55 Merrion Square,
Address : Dublin 2.

Development : Development of 63 2 storey terraced, semi-detached
houses and bungalows

Location : Off Old Court Road, Firhouse, Tallaght

Applicant : Cunningham Group

App. Type : Permission

Zoning : To provide for new residential communities - approved action plans.

Floor Area : 6790.9 sq.metres

(MOS/BB)

Report of Dublin Planning Officer dated 27th February, 1992.

This application is for PERMISSION. The proposed development consists of the development of 63 two storey terraced, semi-detached houses and bungalows off Old Court Road, Firhouse, Tallaght for the Cunningham Group.

The applicant is stated to have a contract to purchase subject to planning permission.

PLANNING HISTORY OF THE SITE

Reg. Ref. ZA. 800; Dublin County Council granted planning permission for proposed 295 houses and 2 shop and to do main development works for 62 private sites at Ballycragh. (Decision Order P/2510/84 dated 3.8.84).

The site of the current application formed part of the larger site affected by Reg. Ref. ZA 800, and on which permission was granted to do the main development works for 62 private sites.

Reg. Ref. 91A/1425 refers to an application received by Dublin County Council for permission for the development of 80 two storey terraced, semi-detached houses and bungalows as well as a shop and creche for this site. The application was withdrawn prior to its determination by the Planning Authority.

DEVELOPMENT PLAN

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

The site is zoned A1 in the 1983 County Development Plan with the objective "to provide for new residential communities in accordance with approved action area plans. The site is affected by a specific objective contained in the 1983 Plan for the proposed Southern Cross Motorway Extension.

The site is zoned F in the 1991 Draft Development Plan with the objective "to preserve and provide for open space and recreational amenities". It is also affected by a specific long term roads objective.

Ballygragh National School and the Catholic Church (Reg. Ref. 87A 1208 and 88A 1476 respectively refer) are located on Allenton Road to the south. A Housing development granted permission under Reg. Ref. 90A/1421 is currently under construction on the site adjoining the national school (i.e. to the east) and directly opposite the site of the current application. Glencarrig Housing Estate is located to the north of the site while Allenton Housing Estate adjoins the site to the west.

The area of the site is stated to be 7 acres. The road layout has been constructed for some time on the site. The site is overgrown and unkept. Telephone poles cross the site.

It is noted that the site has not been outlined in red on any of the drawings submitted. Furthermore, there is a discrepancy noted between the position of the proposed road to the north as shown on the site location map and its position as shown on the site layout drawing. It is not clear whether or not the land over which the proposed road is located is within the site boundaries. Clarification of this matter is required.

PROPOSAL

The application is for 63 no. 2 storey terraced, semi-detached houses and bungalows off Old Court Road, Tallaght, resulting in a density of 9 houses per acre.

Three house types are proposed:-

- (a) 2 bed bungalows.
- (b) 3 bed two storey houses.
- (c) 4 bed two storey houses.

The proposed 2 storey houses have a semi-brick, semi-rendered finish on the front elevation. The proposed bungalows which are located at the end of terraces have a plaster finish on all elevations.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

The applicant does not appear to have complied in all cases with Development Plan Standards, with regard to the provision of space about dwellings, ~~in some cases~~. It is noted that some houses appear to have driveways which are less than 7.5 metres long. (i.e. 9C, 10C, 11C, 12C, 12B, 17C, 18C) and that some houses have gardens which appear to be less than the required 10.7 metres long (1C, 3C, 4C, 8A, 9A, 17C, 18C, 20B and 21B).

One acre of public open space is provided as part of the development, but much of this space is not regarded as usable open space, because of its position along side the local distributor road as well as its elongated space.

There are no houses fronting onto the newly constructed local distributor road which links the roundabout on Oldbawn Road to Oldcourt Road.

REPORTS

The roads report states that conditions which should be attached in the event of permission being granted (report dated 6/2/92). The Roads Department recommend that a financial contribution of £50,400. be levied on the developer towards the cost of road improvements and traffic management proposals in the area serving the site.

The Roads Engineer has confirmed by phone that the proposed road to the north of the proposed housing is a district distributor road, with a 22 metre wide reservation. The required setback of 15 metres in relation to this road will result in the necessary omission of house nos. 17C, 18C, 19B and 28B.

The Parks Department has made the following comments in its report dated 13.2.92:-

(1) It notes that part of the site was conditioned as public open space in the permission granted for Glenvara Estate which is taken in charge.

(2) As virtually no public open space is provided for as part of this development, it recommends that a financial contribution of £1000 per house should be levied towards the development of the Dodder Linear Park nearby.

The Sanitary Services report dated 28.02.92 stated that insufficient information has been submitted.

While the development of this site for residential purposes was accepted in principle as far back as 1984 and is still considered desirable from a planning point of view, before the decision is made on this application additional information should be requested from the applicant.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

I recommend that ADDITIONAL INFORMATION should be requested from the applicant with regard to the following:-

- 01 The applicant is requested to submit a site location map, showing the site outlined in red. A discrepancy is noted between the position of the proposed road as shown on the site location map and its position as shown on the site layout. The applicant is requested to clarify this discrepancy, showing the correct position of the proposed road reservation ~~and to indicate if the road reservation~~ which is 22 metres wide and to indicate if the road reservation forms part of the site *in the application*
- 02 The applicant should note that the proposed road to the north of the houses is a district distributor road requiring a reservation of 22 metres and a building setback of 15 metres. The applicant is requested to indicate if he is prepared to modify the proposed development to show the omission of house nos. 19B, 28B, 17C and 18C and if he is so prepared to submit plans showing this.
- 03 The applicant is requested to submit a detailed landscaping scheme for the 2 areas of open space proposed indicating the trees which it is proposed to retain and planting proposals (e.g. species, numbers, timescale for implementation etc.). The applicant should note that there are a number of mature trees which appear to be in good condition and which should be retained if possible. These trees should be properly surveyed and details of proposals to retain trees should be submitted. The applicant is advised to consult with the Parks Department prior to lodging this information.
- 04 The applicant is requested to demonstrate that adequate space about each house can be provided in accordance with development plan standards. It is noted that some houses have driveways which appear to be less than the required 7.5 metres in length (i.e. 9C, 10C, 11C, 12C, 12B) and that some of the rear gardens appear to be less than the required 10.7 metres long (i.e. 1C, 3C, 4C, 8A, 9A, 20B and 21B). The applicant should note that a distance of 2.3 metres should be provided between the ~~park~~ ^{front} walls of semi-detached and terraced houses.
- 05 The applicant is requested to indicate the proposed boundary treatment along the road reservation line ~~and~~ to the north of the site.
- 06 The applicant is requested to demonstrate that no building will be located closer than 5 metres from a public sewer. (The applicant is to

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

note that house no. 8B appears to be located less than 5 metres away from a sewer, the size of which is not indicated).

07 The applicant is requested to submit proposed drainage details (i.e. foul and surface) to houses nos. 2A-8B inclusive.

NOTE: The drainage systems between MH.S.83 and MH.S.100 appears to be shown incorrectly.

08 The applicant is requested to submit a revised watermain layout to include a 100mm. main to serve the 6 houses on the western extremity of the site. The applicant is advised to consult with the Area Engineer, Deansrath Depot, Clondalkin, prior to lodging this information.

Richard Cummins SEP
.....

for Dublin Planning Officer

28/2/92

Endorsed:-

[Signature]

.....
for Principal Officer

Order: I direct that ADDITIONAL INFORMATION be requested from the applicant for Permission as set out in the above report and that notice thereof be served on the applicant.

44
WVZEM
FEBRUARY 1992

Dated :

.....
ASSISTANT COUNTY MANAGER/~~APPROVED OFFICER~~

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated *10th febr* 1992.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
 Date 18. 02. 92
 Time 11.00



Bosca 174
 P. O. Box 174
 5 Rae Gardiner r,
 5 Gardiner Row,
 Baile Atha Cliath 1.
 Dublin 1.
 Telephone. (01)727777
 Fax. (01)727530

Mr. A. Smith,
 Principal Officer,
 Planning Department.

Our Ref. P.P. 597

Your Ref.

Date 13.02.1992

RE: Housing at Old Court Road, Tallaght. Reg. Ref. 92A/0026.

With reference to this application, the Parks Department's comments are;

1. It should be noted that the lodged drawing, included part of the conditioned public open space at Glenvara Estate, which are already under the control of Dublin County Council, and that in fact virtually no public open space according to the requirements of the 1983 County Development Plan has been provided in association with this application. The lodged drawings have shown some areas of environmental open space, incidental to the roads associated with this development, which do not comply with the criteria for public open space as per the County Development Plan. Accordingly, it will be necessary for the applicant to make a financial contribution of £1,000 per site, towards the further development of public open space in the area; as this site is within close proximity to the Dodder Valley Linear Park, this would be the location on which the expenditure would be carried out.
2. A landscape plan to be submitted with works specifications, including detail of maintenance in relation to the areas of environmental open space shown on the lodged drawings.
3. A scheme of street tree planting to be submitted and agreed with the County Council, prior to the commencement of development.
4. The area of open space should be fenced off and protected from site development works and not used for the storage of spoil, builders material, etc.
5. It is unclear according to the lodged drawings, what boundary treatment is proposed along the proposed road, and it will be necessary to make provision for the erection of a 1.8m high wall, capped and rendered along the boundary of the environmental open space.

SENIOR PARKS SUPERINTENDENT

DUBLIN COUNTY COUNCIL

REG. REF: 92A/26
DEVELOPMENT: Terraced houses and bungalows
LOCATION: Firhouse, Tallaght
APPLICANT: Cunningham Group
DATE LODGED: 9/1/92

The proposal is for 63 houses at Old Bawn, Tallaght with access onto Oldcourt Road. The site adjoins a road reservation. A previous application Reg. Ref. 91A/1425 for this site was withdrawn (see Roads report dated 10/9/91).

The matters outlined on the previous Roads report have now been resolved. If permission is being granted it should be subject to:

1. Road and cul-de-sac turning bay dimensions to conform to current County Council standards.
2. Set back from the distributor road reservation to be to the requirements of the Roads Department. This reservation to be set out on site and agreed with an engineer from the Roads Department.
3. Parking for two cars to be provided within the curtilage of each house site.
4. A financial contribution, in the sum of money equivalent to the value of £50,400 as on 1st January, 1991, updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 04.02.92
Time 10.30

GC/AW
5/2/92

SIGNED: G. Conroy

ENDORSED: G.P. Burt

DATE: 5/2/92

DATE: 6/2/92

Mr Mayone



Bosca 174
P. O. Box 174
5 Rae Gardinar,
5 Gardiner Row,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)727777
Fax. (01)727530

Mr. M. Walsh,
Senior Administrative Officer,
Planning Department,
Dublin County Council.

Our Ref.
Your Ref.
Date 13.05.1992

RE: Development at Old Court Road, Tallaght.
Reg. Ref. 92A/0026.

With reference to the Additional Information, the Parks Department's comments are:-

1. As outlined in the previous Parks Department report, serious concern must be expressed about the lack of any Class I public open space in association with this housing development of sixty three houses. According to the lodged drawings, only a limited amount of environmental type open space is being provided and in fact the lands provided consist, to a large extent, of noise set back areas which do not constitute open space in accordance with the 1983 County Development Plan. In these circumstances it is essential that a financial contribution of £1,000 per site is provided towards the further development of the Class I public open space associated with the Dodder Valley Park, as the nearest location for where a range of active and public recreation facilities are being provided. These monies to be made available on a phased basis with the payment of the development levy.
2. In relation to the revised layout as per drawing No. 937.19, it is considered that the areas of open space shown by sites 16C and 20C should be incorporated within the private curtilage of the adjoining houses, as this type of open space would have very limited utility.

cont/d.

PLANNING DEPT.
DEVELOPMENT CONTROL SECTION
Date 01.06.92
Time 11.00
.....

3. As outlined in the written submission, some discussions took place with the Parks Department in relation to the landscaping of the open space. However, what has been submitted is not acceptable as a proper landscape plan, and is totally lacking in works specifications, detail of maintenance, etc., and is totally inadequate. At the meeting with the Parks Department, the consultants acting on behalf of Patrick Rooney and Associates were advised in details of what information was required to be submitted with a landscape plan. Any grant of permission should require the applicants to submit a detailed landscape plan, with full works specifications, including details of maintenance and programme for carrying out the works in accordance with the requirements of the Parks Department.



SENIOR PARKS SUPERINTENDENT



R
Baile Átha Cliath
(DN) 169
No. 888

303

DUBLIN
12 MAR 1992
RETURNED LETTER SECTION

E 3 92

101, 129
Tom Murphy

POST
EF 65119
THA

NOT KNOWN
at this address

PTO



Just copy this
from the center
Date (26)



Reg file

Patrick Rooney & Associates,
55 Merrion Square,
Dublin 2.

92A-0026-C1

23 March 1993

Re: Development of 63 2-storey terraced, semi-detached houses and bungalows off Old Court Road, Firhouse, Tallaght for Cunningham Group.

Dear Sir,

I refer to your submission received on 8th February, 1993, to comply with Condition No. 1, of decision to grant permission by Order No. P/2593/92, dated, 8th June, 1992, in connection with the above.

In this regard, I wish to inform you that the development as carried out is not in accordance with the approved development on this site and you are advised to submit a revised planning application in respect of these sites.

Yours faithfully,



for Principal Officer.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

P/0937/93

SOUTH DUBLIN

Register Reference : 92A/0026/C1

Date Received : ~~14th October 1992~~ 8th FEBRUARY 1993

Correspondence : Patrick Rooney & Associates,
Name and : 55 Merrion Square,
Address : Dublin 2.

Development : ~~compliance with conditions.~~ DEVELOPMENT OF 63 2 STOREY TERRACE, SEMI-DETACHED HOUSES AND BUNGALOWS

Location : Off Old Court Road, Firhouse, Tallaght

Applicant : Cunningham Group

App. Type : Compliance with Conditions

Zoning :

Floor Area : Sq.metres

(MOS/SM)

Report of the Dublin Planning Officer dated 11th March, 1993.

This is a submission for COMPLIANCE with condition No. 1 of decision to grant permission by Order No. P/2593/92, dated 8th June, 1992 in connection with the above.

Condition No. 1 states:-

"The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 10th April 1992 save as may be required by the other conditions attached hereto."

Planning Department is requested to confirm that change carried out to the approved house types on sites no. 1A, 2A, 3A and 4A are in accordance with the permission granted. The changes include the provision of a first floor in the approved single storey bungalows and changes in external finishes among other things.

The applicant should be informed that the development as carried out is not in accordance with the approved development on this site and that the applicant should submit a revised planning application in respect of these sites.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

92A/0026/C1

I recommend that the applicant be informed accordingly.

G. Boothman S.E.P.
For Dublin Planning Officer

W.K.
Endorsed: [Signature]
For Principal Officer

ORDER:- Applicant to be informed as set out in the above report.

Dated: 18.3.1993

[Signature]
SOUTH DUBLIN AREA MANAGER

to whom the appropriate powers have been delegated by order of the
Dublin City and County Manager, dated 12/2/93
&&

Patrick Rooney & Assocs.,
55 Merrion Square,
Dublin 2.


92A/0026
13th January, 1993.

Re: Houses off Old Court Road, Tallaght.
Reg. Ref. 92A/0026.

Dear Sir/Madam,

I wish to acknowledge receipt of your letter dated 13th October,
1992, the contents of which are noted.

Yours faithfully,



for Principal Officer.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Register Reference : 92A/0026/C2

Date : 26th February 1993

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1992

Dear Sir/Madam,

DEVELOPMENT : Compliance with conditions
LOCATION : off Old Court Road, Firhouse, Tallaght
APPLICANT : Cunningham Group
APP. TYPE : Compliance with Conditions

With reference to the above, I acknowledge receipt of your submission to
comply with conditions received on 8th February 1993.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Patrick Rooney & Associates,
55 Merrion Square,
Dublin 2

Architects

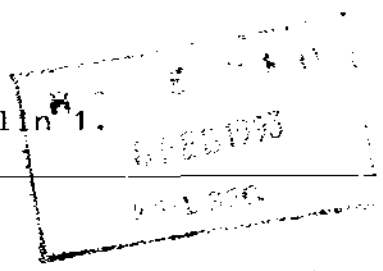
* 55 Merrion Square / Dublin 2 / Telephone 618662, 618600 / Fax 610615.
Flynn's Terrace / Sligo / Telephone (071) 62090 / Fax 61409.

our ref PR/987/DM

Attention of,
Mr Eamon O'Heihir,
Dublin County Council,
Planning Department,
Irish Life Centre,
Lower Abbey Street, Dublin 1.

your ref

8th February 93
date



Carv
1-36-0-

RE: Development of 61 2 Storey Terraced, Semi-Detached Houses
and Bungalows , Off Old Court Road, Firhouse, Tallaght.
Reg Ref: 92A/0026

Dear Sir,

Our client the Cunningham Group has instructed us to
notify you of variations internally introduced in the Bungalow
house type no 1A/2A/3A/4A and they wish agreement to be confirmed
that such variations will be acceptable within the existing Planning
Permission issued. The variations introduced are:-

House 2A: (See drawing nos 987/43/44/45/46/47).

- Introduction of circular staircase to attic space.
- Provision of additional bedroom/bathroom in attic space.
- Rooflight to bedroom.

House 1A/3A/4A: (See drawing no's 987/38/39/40/41/42).

- Internal ground floor plan altered, providing Kitchen at rear with door in bay window to garden.
- New circular stairway to attic space.
- Development of attic space to provide no 2 bedrooms, one with roof light, one with circular window over entrance porch.

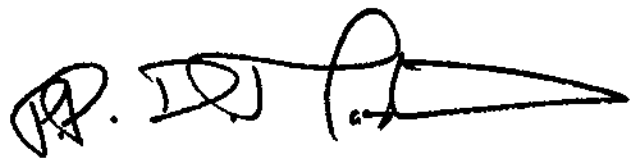
All bungalows are finished in brick work, to front and side elevations.

/.....

Patrick Rooney
& Associates

We consider the variations are of a minor nature and do not effect the Planning and Building Control regulations in any detrimental manner and would appreciate confirmation of their acceptance as such.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'P. Rooney', written over a horizontal line.

PATRICK ROONEY
PATRICK ROONEY & ASSOCIATES.

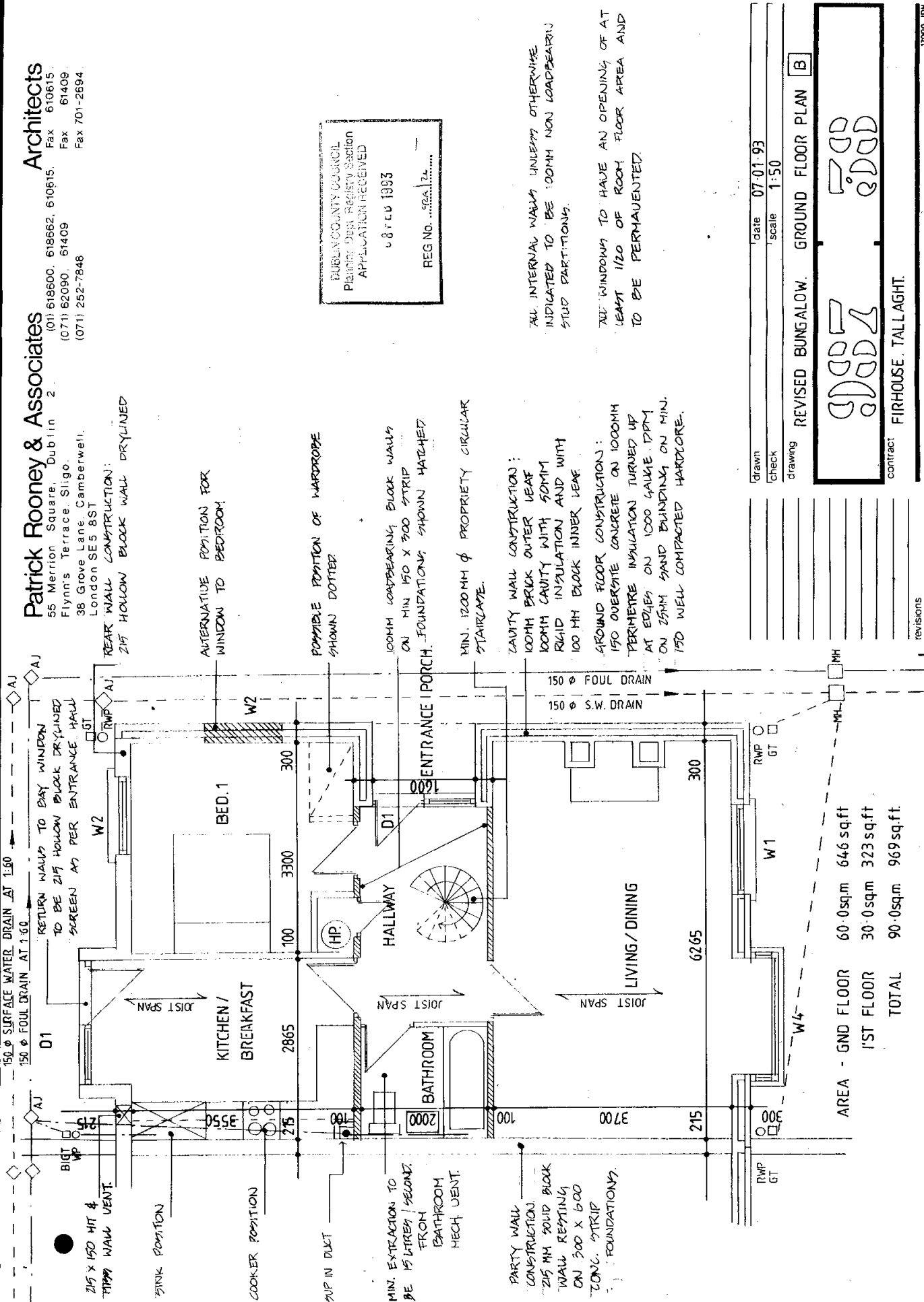
Enc/..... Drawings as listed above.

Patrick Rooney & Associates

55 Merrion Square, Dublin 2
 Flynn's Terrace, Sligo
 38 Grove Lane, Camberwell,
 London SE5 8ST

Architects
 (01) 618600, 618662, 610615, 610615
 Fax 61409
 (071) 62090, 61409
 (071) 252-7848

DUBLIN COUNTY COUNCIL
 Planning & Registry Section
 APPLICATION RECEIVED
 08 FEB 1993
 REG NO. 586A/24



AREA - GND FLOOR	60.0sqm	646 sqft
1 ST FLOOR	30.0sqm	323 sqft
TOTAL	90.0sqm	969 sq.ft.

ALL INTERNAL WALLS UNLESS OTHERWISE INDICATED TO BE 100MM NON LOADBEARING STUD PARTITIONS.
 ALL WINDOWS TO HAVE AN OPENING OF AT LEAST 1/20 OF ROOF FLOOR AREA AND TO BE PERMAUENTED

CAVITY WALL CONSTRUCTION:
 100MM BRICK OUTER LEAF
 100MM CAVITY WITH 50MM RIGID INSULATION AND WITH 100 MM BLOCK INNER LEAF
 GROUND FLOOR CONSTRUCTION:
 150 OVERSITE CONCRETE ON 100MM PERIMETRE INSULATION TURNED UP AT EDGES ON 100 GAUGE DPM ON 25MM SAND BUILDING ON MIN. 150 WELL COMPACTED HARDPORE.

REAR WALL CONSTRUCTION:
 215 HOLLOW BLOCK WALL DRYLINED
 RETURN WALLS TO REAR WINDOW TO BE 215 HOLLOW BLOCK DRYLINED TO BE 215 HOLLOW BLOCK DRYLINED SCREEN AS PER ENTRANCE HALL
 150 Ø SURFACE WATER DRAIN AT 1:50
 150 Ø FOUL DRAIN AT 1:50
 150 Ø FOUL DRAIN
 150 Ø S.W. DRAIN
 MIN. 1200MM Ø PROPRIETY CIRCULAR STAIRCASE
 100MM LOADBEARING BLOCK WALLS ON MIN 150 X 300 STRIP FOUNDATIONS SHOWN HATCHED
 POSSIBLE POSITION OF WARDROBE SHOWN DOTTED
 ALTERNATIVE POSITION FOR WINDOW TO BEDROOM
 215 X 150 HIT & MISS WALL VENT.
 SINK POSITION
 COOKER POSITION
 RMP GT
 RWP GT
 HP
 D1
 W2
 W1
 W4
 JOIST SPAN
 PARTY WALL CONSTRUCTION:
 215 MM SOLID BLOCK WALL RESTING ON 300 X 600 CONC. STRIP FOUNDATIONS.
 MIN. EXTRACTION TO BE 15 LITRES / SECOND FROM BATHROOM HECH VENT.
 RMP GT
 ML
 MH

Drawn _____ date 07-01-93
 Check _____ scale 1:50
 Drawing _____
REVISED BUNGALOW. GROUND FLOOR PLAN [B]

 contract FIRHOUSE, TALLAGHT.
 REVISIONS

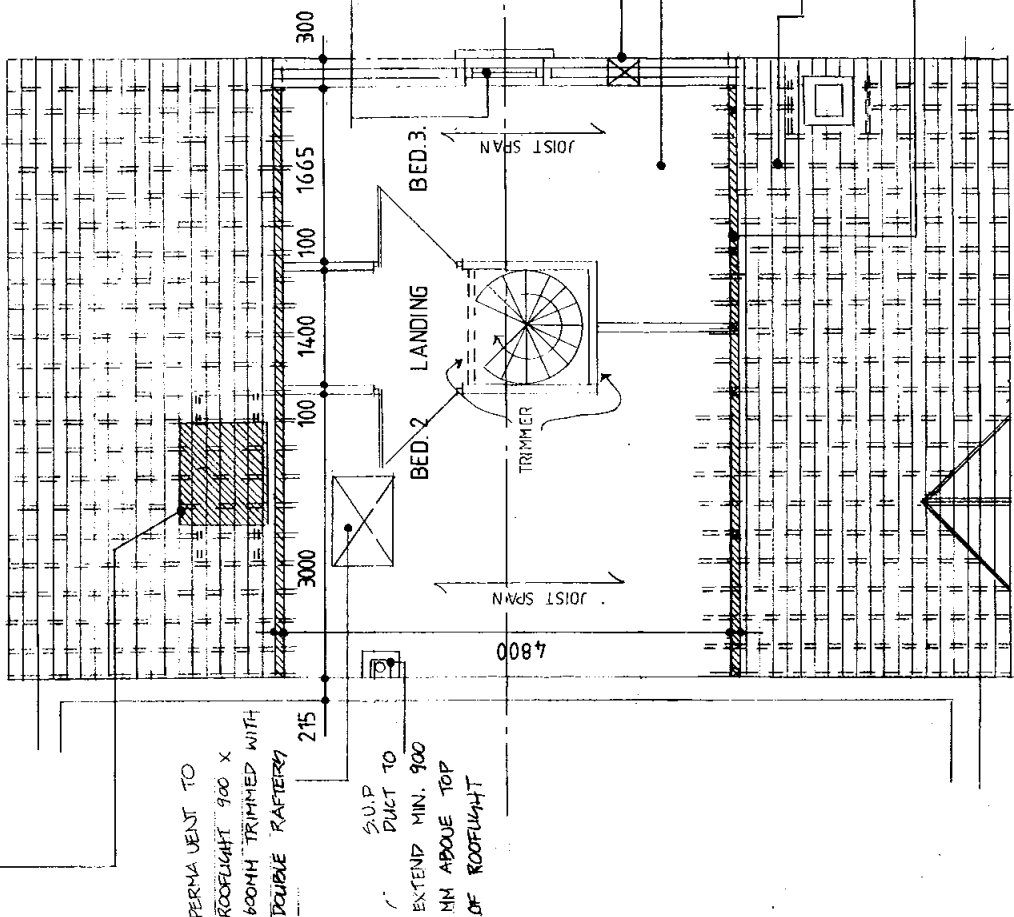
Patrick Rooney & Associates

55 Merrion Square, Dublin 2 (01) 618600, 618662, 610615, Fax 610615
 Flynn's Terrace, Sligo. (071) 62090, 61409, Fax 61409
 38 Grove Lane Camberwell, London SE5 8ST (071) 252-7848, Fax 701-2694

Architects

Fax 610615
 Fax 61409
 Fax 701-2694

POSITION OF 60 GALLON WATER TANK ON 175 X 75 BEARERS & RUNNERS PLACED CENTRALLY ON JOISTS



DOUBLE UP JOISTS UNDER STUD PARTITIONS RUNNING IN DIRECTION OF JOISTS.
 JOISTS: 44 X 175 @ 300 CC'S GRADE 9CB BRIDGED @ 1500 CC'S
 TRIMMERS: TO STAIRS AND CHIMNEY
 2 NO. 44 X 175 GRADE 9CB NAILED TOGETHER

NEW CIRCULAR 800MM Ø WINDOW

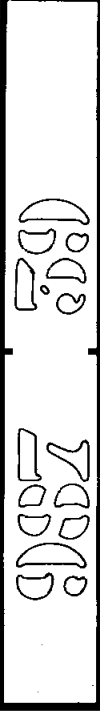
215 X 215 PROF. WALL VENT

RAFTERS SHOWN DOTTED UNDER ROOF COVERING
 RAFTERS: 44 X 175 @ 300 CC'S GRADE 9CB
 DOUBLE UP RAFTERS TO TRIM CHIMNEY
 4 ROOFLIGHT

PURLING: 75 X 150 @ 1500 CC'S GRADE 9CB
 CONCEAL WITH LINE OF STUD PARTITION SHOWN HATCHED

drawn _____ date 07-01-93
 check _____ scale 1:50
 drawing _____

REVISED BUNGALOW FIRST FLOOR PLAN **B**



contract FIRHOUSE, TALLAGHT.

revisions

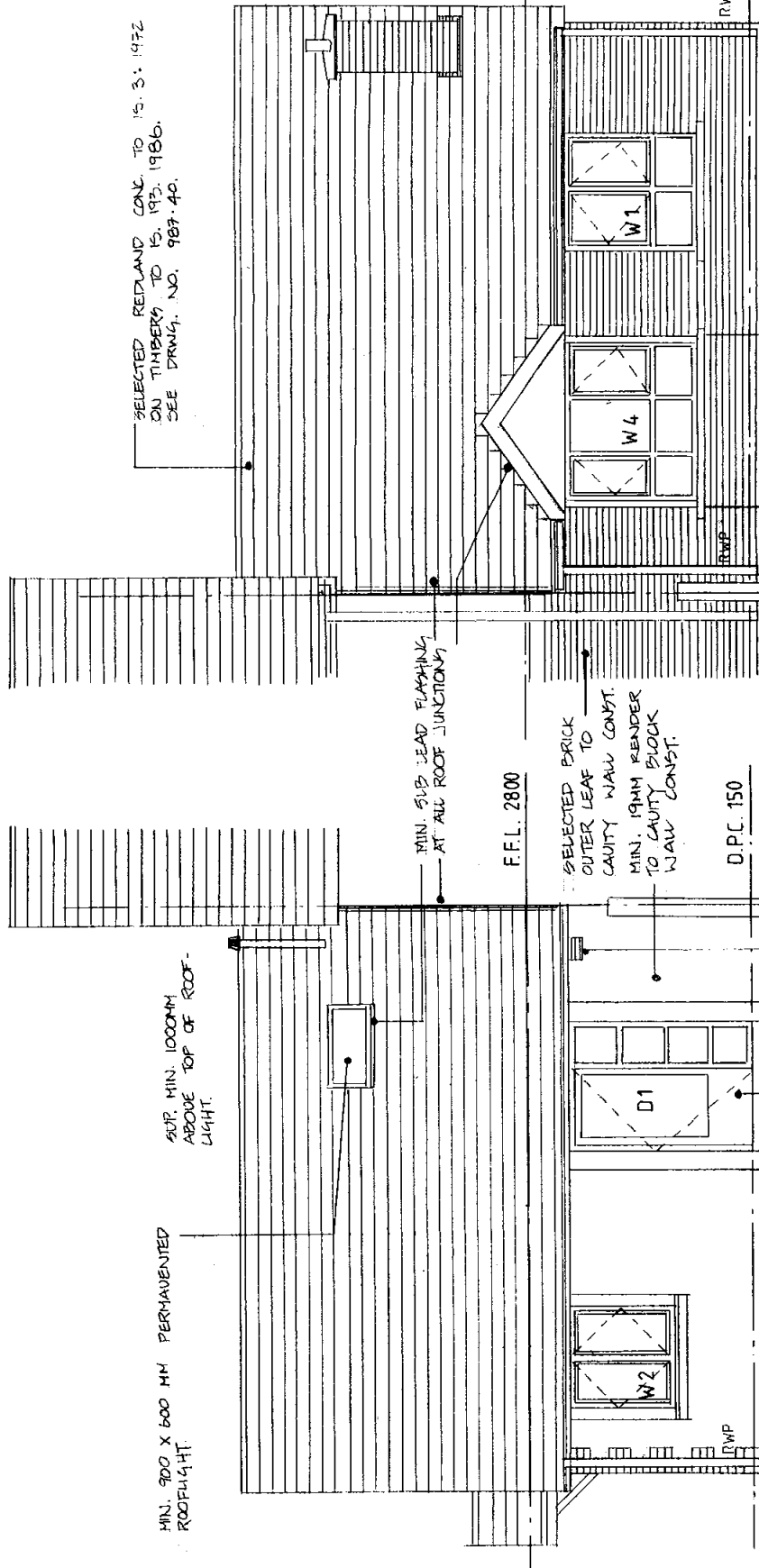
ROOF TO DAY WINDOWS:
 100 X 75 RAFTERS @ 300 CC'S TO 175 X 98 RIBBLE BOARD WITH VERTICAL BRACE EX 100 X 75

AREA = 30.0 sq.m. 323.6 sq.ft

Patrick Rooney & Associates Architects
 55 Merrion Square, Dublin 2
 Flynn's Terrace, Sligo
 38 Grove Lane, Camberwell,
 London SE5 8ST

(01) 618600, 618662, 610615, Fax 610615
 (071) 62090, 81409, Fax 61409
 (071) 252-7848, Fax 701-2694

SELECTED REDLAND CONC. TO 15.3.1972
 ON TIMBERS TO 15.193.1986.
 SEE DRAWG. NO. 987.4D.



FRONT ELEVATION

REAR ELEVATION

Drawn: _____ date 18.01.93.
 Check: _____ scale 1:50
 drawing

REVISED BUNGALOW - ELEVATIONS. [B]



contract

FIRHOUSE, TALLAGHT

revisions

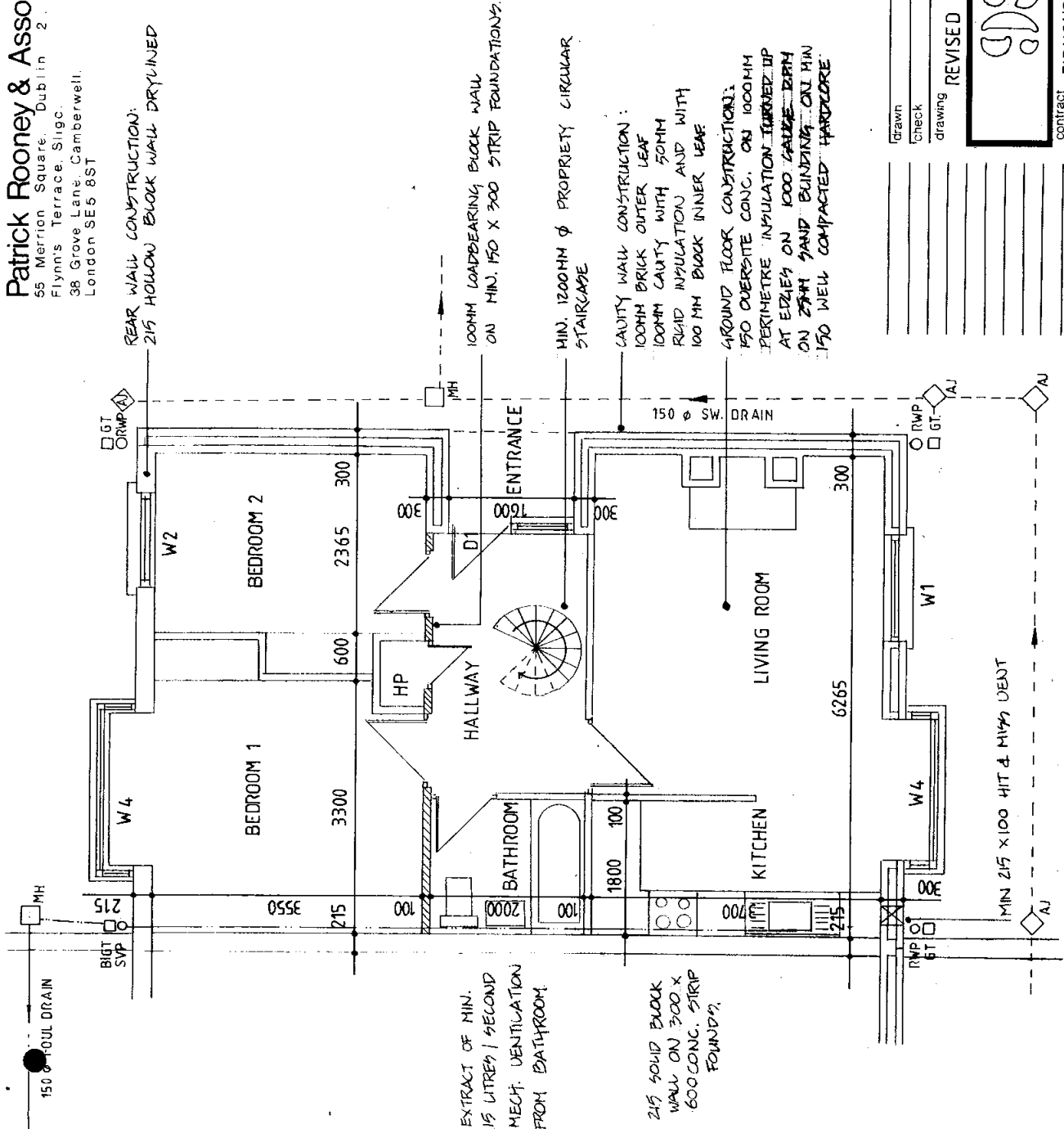
17000 JDR

Patrick Rooney & Associates

55 Merrion Square, Dublin 2
 Flynn's Terrace, Sligo
 38 Grove Lane, Camberwell,
 London SE5 8ST

Architects

(01) 618600, 618662, 610615, Fax 610615
 (071) 62090, 61409 Fax 61408
 (071) 252-7848



DUBLIN COUNTY COUNCIL
 FIRE & LIGHTING SECTION
 APPLICATION RECEIVED
 6 OF ED 1363
 P.F.O. No. 910436

ALL INTERNAL WALLS UNLESS OTHERWISE INDICATED TO BE 100MM NON-LOADBEARING STUCCO PARTITIONS

ALL WINDOWS TO HAVE AN OPENING OF 1/20TH THE FLOOR AREA, AND TO BE PERMAUENTED

FLOOR AREA: GND - 60.0 sq.m 646 sq.ft.
 1ST - 17.5 sq.m 188.8 sq.ft
 TOTAL - 77.5 sq.m 834.8 sq.ft

Drawn date 01.02.93
 Check scale 1:50
 drawing

REVISED BUNGALOW - GROUND FLOOR PLAN A

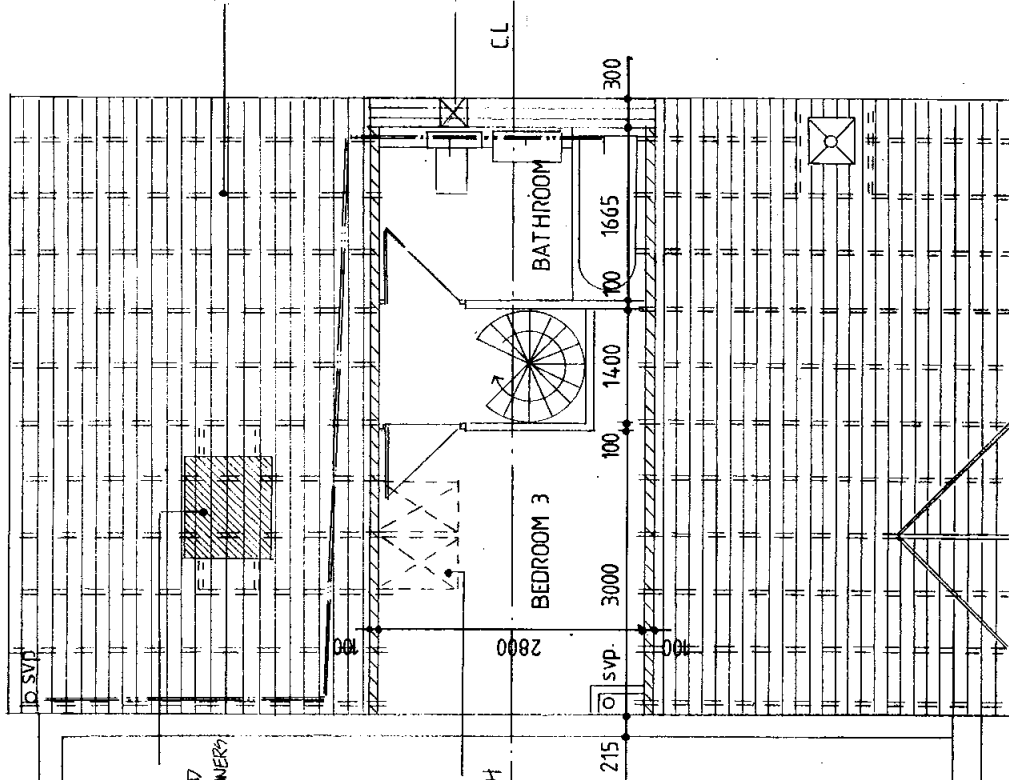


contract FIRHOUSE - TALLAGHT.

revisions

Patrick Rooney & Associates
 55 Merrion Square, Dublin 2
 Flynn's Terrace, Sligo
 38 Grove Lane, Camberwell
 London SE5 8ST

Architects
 (01) 618600, 618662, 610615, Fax 610615
 (071) 62090, 61409, Fax 61409
 (071) 252-7848, Fax 701-2694



MIN. 110 GALLON
 WATERTANK
 CENTRALLY PLACED
 ON 175 X 75 RUNNERS
 AND BEARERS.

2ND. 550 X 900
 ROOFLIGHTS WITH
 PERMAVENTS.

LINE OF TRUPPER AT 600 CC'S.

MIN. 215 X 100 HIT & MISS VENT.

EXTRACT OF MIN. 15 LITRES / SECOND
 MECH. VENTILATION TO BATHROOM.

ROOF TO BAY WINDOW,
 100 X 38 RAFTERS AT 300 CC'S TO 175 X 38
 RIDGE BOARD WITH VERTICAL BRACE EX. 100 X 38

FLOOR AREA - 17.5 sq.m 188.8 sq.ft.

drawn date 02-02-93
 check scale 1:50
 drawing

REVISED BUNGALOW - GROUND FLOOR PLAN A



contract FIRHOUSE TALLAGHT

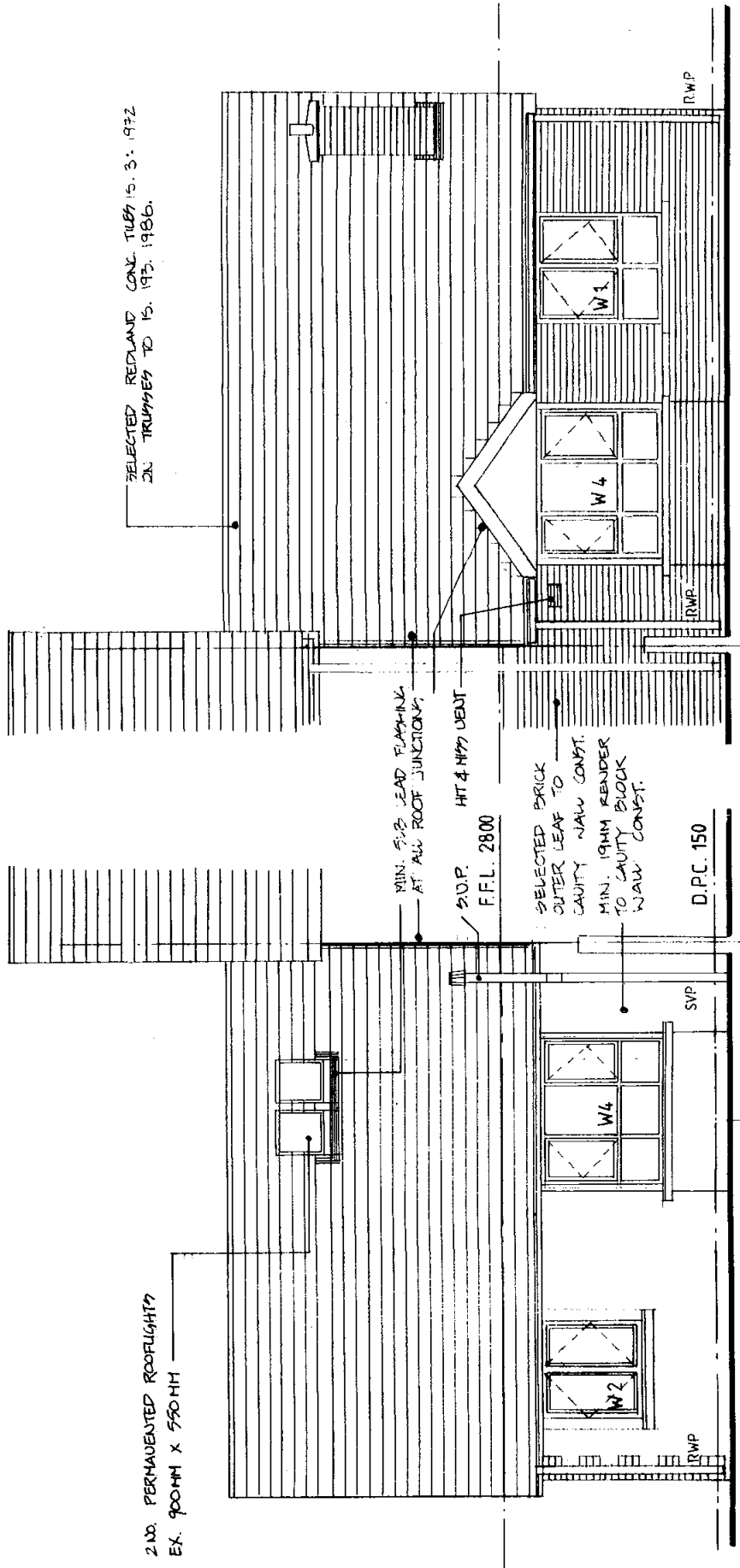
revisions

Patrick Rooney & Associates Architects
 55 Merrion Square, Dublin 2
 Flynn's Terrace, Sligo
 38 Grove Lane, Camberwell,
 London SE5 8ST

(01) 618600, 618662, 610615, Fax 610615
 (071) 62090, 61409 Fax 61409
 (071) 252-7848 Fax 701-2694

2 NO. PERMAUENTED ROOFLIGHTS
 EX. 900MM X 550MM

SELECTED REINLAND CONC. TILES 15.3.1972
 ON TRUSSES TO 15.193.1986.



FRONT ELEVATION

REAR ELEVATION

drawn date 02-02-93
 check scale 1:50
 drawing

REVISED BUNGALOW - ELEVATIONS. A

DRBZ **DRBZ**

contract FIRHOUSE, TALLAGHT

MIN. 1/20TH FLOOR
 AREA PERMAUENTED
 IN ALL DOORS/
 WINDOW

revisions

10000 JRM

Patrick Rooney & Associates Architects
 (01) 618600, 618662, 610615, Fax 610615.
 55 Merrion Square, Dublin 2, (071) 62090, 61409, Fax 61409.
 Flynn's Terrace, Sligo, (071) 252-7848
 38 Grove Lane, Camberwell, London SE5 8ST

MIN. 5MM CONTINUOUS VENTILATION STRIP ALONG RIDGE OR EQUIVALENT IE 215 X 100 HIT & MISS VENT TO ROOF SPACE AS SHOWN.
 ALONG ROOF SLOPE FIX UNDIMMED H.S. STRAP AT 2M C/C, SIZE 5MM X 30MM TO SPAN A MIN OF 2 TRUSSES AND ANCHORED TO UNICUT BLOCKS, TRUSSES TO BE PACKED AND NAGGED ALONG STRAP.

SELECTED REPLAND ROOFTILES TO 19.7:19.7, ON TRUSSES TO 19.7:19.7:1986 ROOFPITCH 7.5°

SELECTED BRICK OUTER LEAF TO LAUTY WALL CONSTRUCTION.

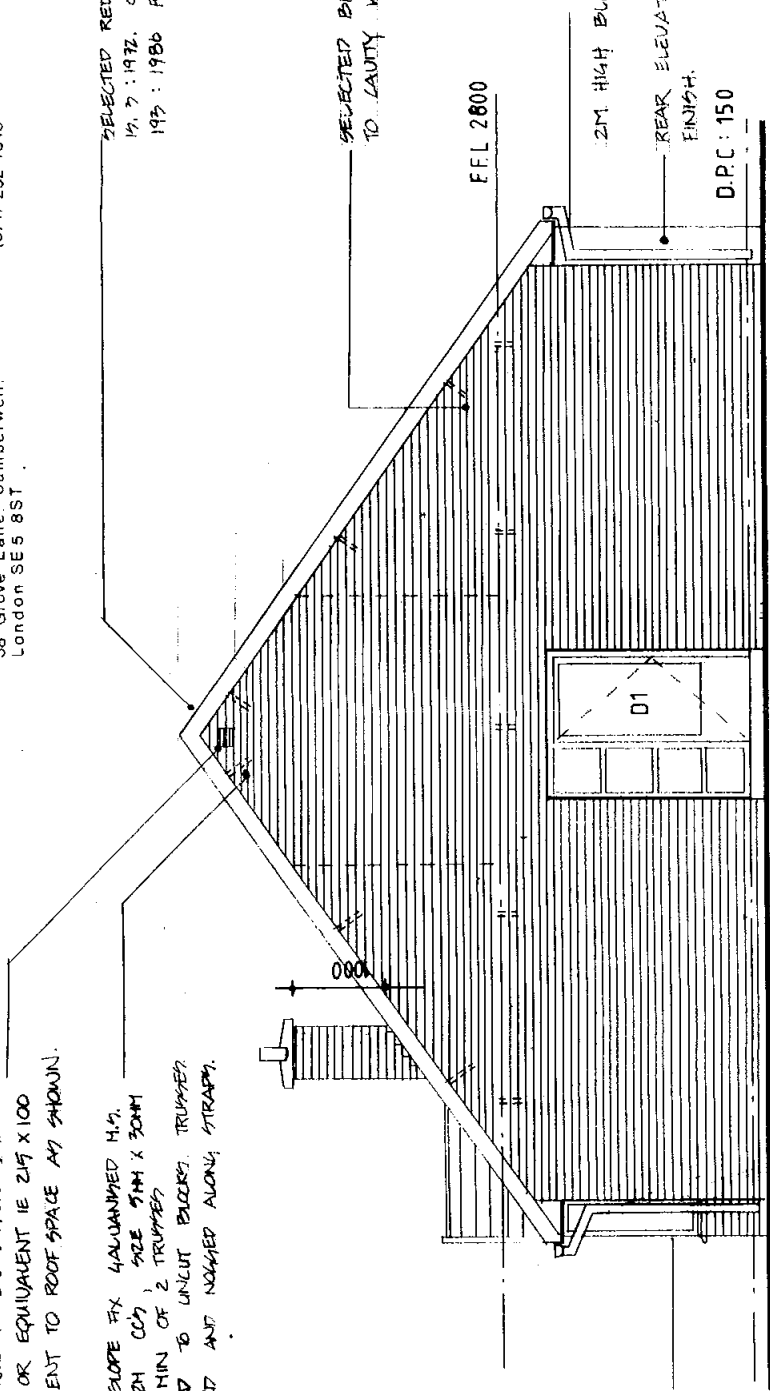
F.F.L 2800

2M HIGH BLOCK REAR BOUNDARY

REAR ELEVATION - 19MM RENDER FINISH.

D.P.C : 150

E.G.L : 000



Drawn date 02.02.93
 Check scale 1:50

drawing REVISED BUNGALOW - GABLE ELEVATION A



contract FIRHOUSE, TALLAGHT.

revisions

17000 JRM

MIN 5MM. CONTINUOUS VENTILATION STRIP ALONG RIDGE OR EQUIVALENT IE 215 X 100 MM HIT & MISS VENT IN ROOFSPACE AS SHOWN.

12.5MM VAPOUR BACKED PLASTERBOARD TO WALLS AND CEILING OF BATHROOM AND CEILING TO BEDROOMS AND LIVING/DINING. MIN. 15 LITRES / SECOND MECHANICAL VENTILATION.

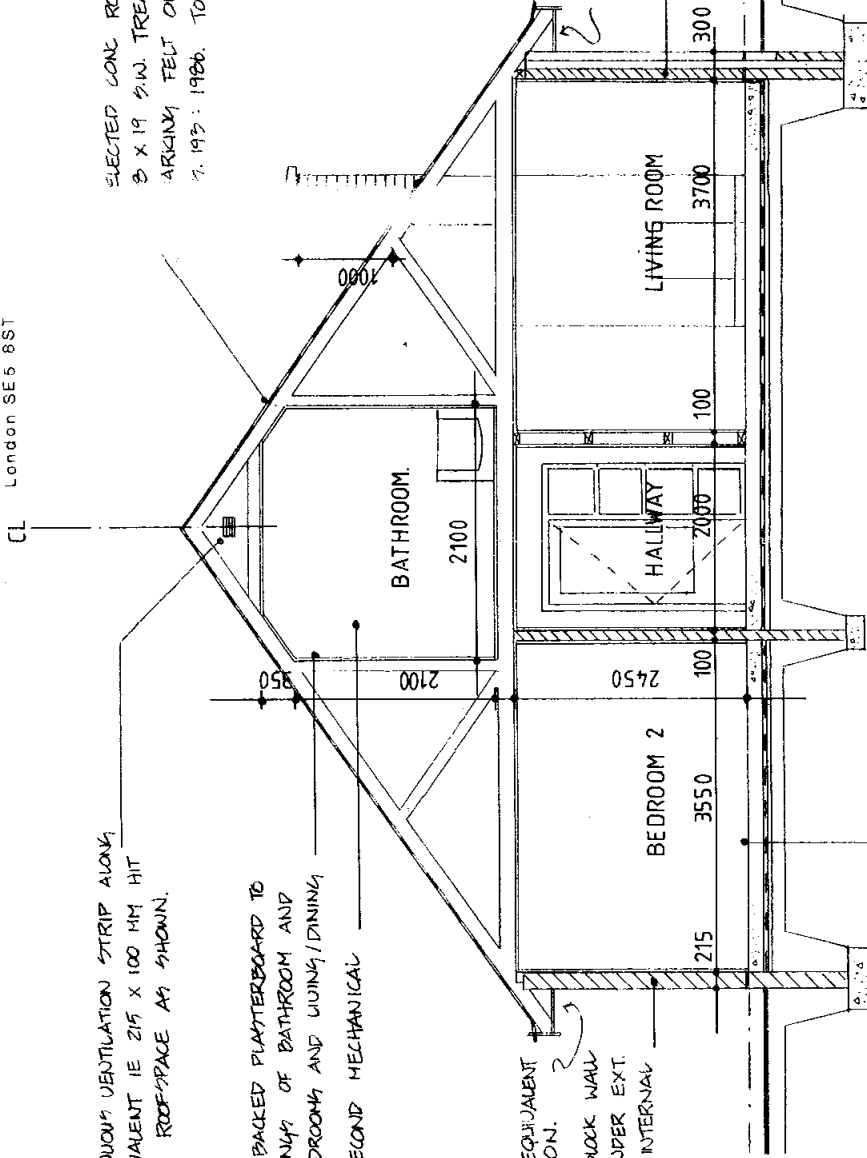
MIN. 25MM OR EQUIVALENT SOFFIT VENTILATION.
 25MM HOLLOW BLOCK WALL WITH 19MM RENDER EXT. AND DRY-LINED INTERNAL FACE.

150MM OVERBITE CONC. WITH 1000MM PERIMETRE INSULATION ON 1000 GAUGE DPM ON 25MM SAND BUILDING ON 150MM WELL COMPACTED HARDWARE.

SELECTED CONC ROOFTRUSS TO I.S. 3. 1972 ON 3 X 19 S.W. TREATED BATTENS ON UNTEARABLE ARKING FELT ON TRUSSES AT 500 CC'S TO 7. 1973: 1980. TO SPECIALIST DESIGN.

SELECTED INSULATION TO FOLLOW FORM OF ROOF. MIN 50MM. AIR GAP CONTINUOUS BETWEEN TOP OF INSULATION & UNDERSIDE OF MARKING FELT.

MIN. 25MM CONTINUOUS OR EQUIVALENT SOFFIT VENTS.
 100 BRICK OUTER LEAF WITH 50MM RIGID INSULATION IN 100 GAUITY WITH 100 BRICK INNER LEAF.



Drawn _____ date 02.02.93
 Check _____ scale 1:50
 drawing _____

REVISED BUNGALOW SECTION AA [A]



contract FIRHOUSE - TALLAGHT.

REVISIONS

12000 JDB

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Register Reference : 92A/0026/c1

Date : 9th November 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1991

Dear Sir/Madam,

DEVELOPMENT : Compliance with conditions.
LOCATION : Off Old Court Road, Firhouse, Tallaght
APPLICANT : Cunningham Group
APP. TYPE : Compliance with conditions

With reference to the above, I acknowledge receipt of your submission to
comply with conditions received on 14th October 1992.

Yours faithfully,

.....
for PRINCIPAL OFFICER

Patrick Rooney & Associates,
55 Merrion Square,
Dublin 2.

Architects

* 55 Merrion Square / Dublin 2 / Telephone 618662, 618600 / Fax 610615.
Flynn's Terrace / Sligo / Telephone (071) 62090 / Fax 61409.

our ref PR/987/DM

Attention of,
Mr Richard Cremmins/Margie O'Shea,
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

your ref

date 13th October 92

RE: 61 Houses off Old Court Road, Tallaght.
Ref: 92A/0026
Order No: P/0925/92

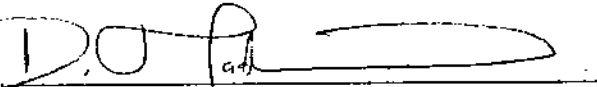
*per
inserted*
combr
1-0-0

Dear Sir/Madam,

With reference to the above, I would like to note that though the Planning Permission Application received by you on January 9th '92, was for 63 houses, the development will be for 61 houses. The omission of two no houses is due to the set back from the proposed 22m road reservation which was indicated on drawing 987/19 submitted to you on 6th April 92.

I had noted this to you in a previous letter which was returned to us, so you may include this in your records.

Yours sincerely,
FOR AND ON BEHALF OF
PATRICK ROONEY & ASSOCIATES

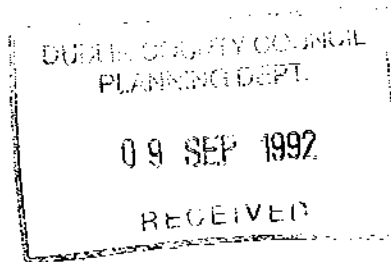


DERVILLA MASTERSON.

Cur Ref: PL 6/5/89039
P.A. Reg. Ref: 92A/0026

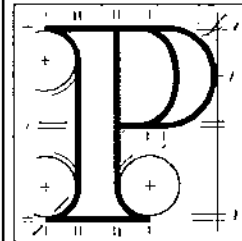
EO 44

The Secretary,
Planning Department,
Dublin County Council,
Block 2,
Irish Life Centre.



Date: 8 SEP 1992

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Appeal re: Erection of 63 two-storey terraced, semi-detached houses and bungalows off Old Court Road, Firhouse, Tallaght, Co Dublin.

Dear Sir/Madam,

An order has been made by An Bord Pleanála under section 17 of the Local Government (Planning and Development) Act, 1983 declaring that the above-mentioned appeal shall be regarded as having been withdrawn. A copy of the order is enclosed.

Yours faithfully,


Marie Kennedy

Encl.

BP 406



AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 92A/26

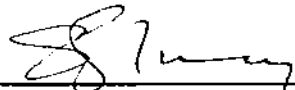
WHEREAS Damian Biddulph and others of 30 Huntsgrove, Racehill, Ashbourne, County Meath appealed to An Bord Pleanála against the decision made on the 8th day of June, 1992, by the Council of the County of Dublin to grant subject to conditions a permission to the Cunningham Group care of Patrick Rooney & Associates of 55 Merrion Square, Dublin for the erection of 63 two-storey terraced, semi-detached houses and bungalows off Old Court Road, Firhouse, Tallaght, County Dublin:

AND WHEREAS the grounds of the said appeal were not stated in writing:

AND WHEREAS the Board on the 21st day of August, 1992, served notice on the said Damian Biddulph and others pursuant to the powers conferred on it by subsection (1) of section 17 of the Local Government (Planning and Development) Act, 1983:

AND WHEREAS no submission was made to the Board by the said Damian Biddulph and others within the period specified in the said notice:

NOW THEREFORE An Bord Pleanála, in exercise of the powers conferred on it by the said section 17, hereby declares that the said appeal shall be regarded as having been withdrawn.



Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this 8th day of September 1992.

Our Ref: PL 6/5/89039
P.A. Reg. Ref: 92A/0026

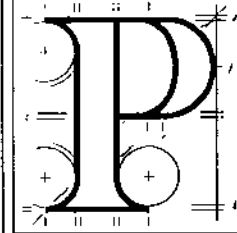
The Secretary,
Planning Department,
Dublin County Council,
Block 2,
Irish Life Centre.

DUBLIN COUNTY
PLANNING D.

22 JUL 1992

RECEIVED

EO/4
An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Date: 22nd July 1992

Appeal re: Erection of 63 2-storey terraced,
semi-detached houses and bungalows off Old Court
Road, Firhouse, Tallaght, Co Dublin.

Dear Sir/Madam,

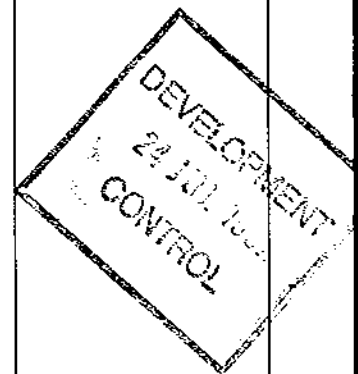
Enclosed for your information is a copy of a letter
issued in relation to the above-mentioned appeal.

Yours faithfully,


Marie Kennedy

Encl.

BP 554



Mr. Damian Biddulph,
30 Huntsgrove,
Racehill,
Ashbourne,
Co Meath.

Date: 22nd July 1992

Appeal re: Erection of 63 2 storey terraced,
semi-detached houses and bungalows off Old Court
Road, Firhouse, Tallaght, Co Dublin.


Dear Sir,

I have been directed by An Bord Pleanála to refer to the above-mentioned appeal lodged by you on 25th June 1992 and to the Board's letter of 26th June 1992. The Board notes that the grounds of appeal have not been stated in writing as required by article 36 of the Local Government (Planning and Development) Regulations, 1977.

Notice is hereby given, pursuant to section 17 of the Local Government (Planning and Development) Act, 1983, requiring you, within a period of **fourteen days** beginning on the date of service of this notice, to submit to the Board a written statement of your grounds of appeal. In default of compliance with the requirements of this notice, the Board will, after the said period and without further notice to you, pursuant to the said section 17 declare that the appeal shall be regarded as having been withdrawn. The last day by which your submission must be received by the Board is Tuesday, 4th August, 1992.

Furthermore, the Board, having considered your response (if any) to this notice submitted within the specified period of **fourteen days** may, at any time after the expiration of the said period and without further notice to you, if it so thinks fit declare that the appeal shall be regarded as having been withdrawn.

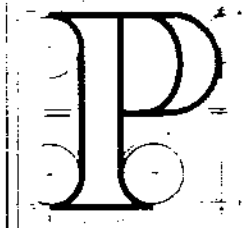
Yours faithfully,


Kevin Carleton
Executive Officer

Registered Post

BP 403

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
Tel: (01) 728011

COMHAIRLE CHONTAE ATHA CLIATH

Tel.: 724755
Ex. 268/269

Planning Department,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

Your Ref.: PL6/5/_____

Our Ref.: _____

An Bord Pleanala,
Blocks 6 and 7,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1983

Proposal: _____

Applicant: _____

Dear Sir,

With reference to your letter dated _____ I enclose
herewith:-

- (1) & (2) A copy of the application which indicated the applicant's
interest in the land or structure.
- (3) A copy of the public notice given, i.e.
_____.
- (4) The plan(s) received from the applicant on _____.
- (6) & (7) A certified copy of Manager's Order _____,
DATED, _____ together with technical reports in
connection with the application.
- (8) _____.

Yours faithfully,

for Principal Officer.
Encls.

• Our Ref: PL 6/5/89039
Your Ref: 92A/0026

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

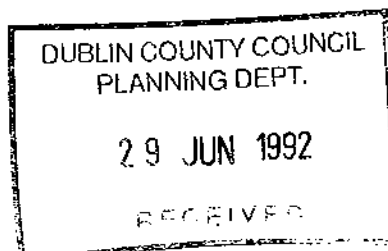
Date: 26th June 1992.

Planning authority decision re: Erection of 63 two-storey terraced semi-detached houses and bungalows off Old Court Road, Firhouse, Tallaght, County Dublin.

Dear Sir/Madam,

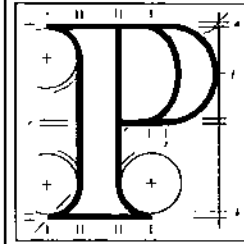
Enclosed is a copy of an appeal under the Local Government (Planning and Development) Acts, 1963 to 1990, in relation to the above-mentioned decision. So that consideration of the appeal may proceed, you are requested to forward to the Board within two weeks:

- (1) The application made to the planning authority.
- (2) Particulars of the applicant's interest in the land or structure, as supplied to the planning authority.
- (3) A copy of the public notice, whether published in a newspaper or on the site.
- (4) Any drawings, maps, particulars, information, evidence or written study received or obtained from the applicant, including the ordnance survey number.
- (5) Copies of requests (if any) to the applicant for further information relating to the application under appeal and copies of reply and documents (if any) submitted in response to such requests.
- (6) A certified copy of the relevant Manager's Order.
- (7) Copies of any technical or other reports relevant to the decision on the application.
- (8) Particulars and relevant documents relating to previous decisions affecting the same site or relating to applications for similar development close by.

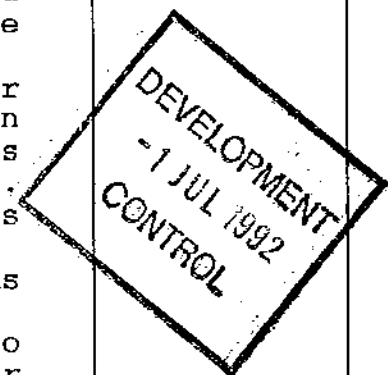


204

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011



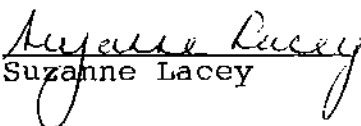
Please note that the other parties to the appeal are being notified that copies of the planning authority documents relevant to the decision which gave rise to the above-mentioned appeal will be available for inspection at your offices after the expiration of a period of fourteen days from the date of this letter. It would be appreciated if parties could be facilitated in this regard.

Copies of the representations or observations made to the planning authority in relation to the application should not be sent to the Board. It is assumed that the planning authority has notified observers of the decision made and of the right of appeal.

The planning authority may make to the Board, in writing, such observations on the appeal as it thinks fit. Where practicable, any such observations should be submitted with the documents listed above but the furnishing of the documents should not be held up until observations are available. In any event, to ensure that they will be taken into account in the determination of the appeal, any such observations should be furnished within one month of the date of this letter.

Please quote the above appeal reference number in any further correspondence.

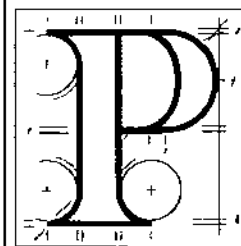
Yours faithfully,


Suzanne Lacey

Encl.

BP 005

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

30 Huntsgrove,
Racehill,
Ashbourne,
Co. Meath.

Dublin County Council,
Planning Department,
Bloc 2, Irish Life Centre,
Lower Abbey Street,
Dublin 1.

25th June 1992.

Decision To Grant Planning Permission.
Applicant : Cunningham Group.
Register Reference : 92A/0026
Dec Order No. : P/2593/92 - Dec Date : 8/6/92

Dear Sirs,

We the undersigned wish to confirm our objection to the decision to grant planning permission as referred to above and in your letter dated 9th June 1992.

The reasons for our objection will be forwarded to you within the next 21 days.


We enclose with this letter with the following :

- (1) Bank Draft IR100=
- (2) Photocopy of Notification of Decision To Grant Permission.
- (3) Photocopy of Your Letter of 9th June 1992.

We trust that everything is in order.

Yours faithfully,


DAMIAN BIDDULPH.


CLAIRE BRENNAN.


BOB BARRY.


STEVE GARRY.


DERMOT MAGUIRE.

By Hand M.D.
Received 25/6/92
100 DRAFT
828429



Bloc 2, Ionad Bheatha na hEireann
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1991.

Decision Order Number : P/ 2593 /92 Date of Decision : 8th June 1992

Register Reference : 92A/0026 Date Received : 10th April 1992

Applicant : Cunningham Group

Development : Development of 63 2 storey terraced, semi-detached
houses and bungalows

Location : Off Old Court Road, Firhouse, Tallaght

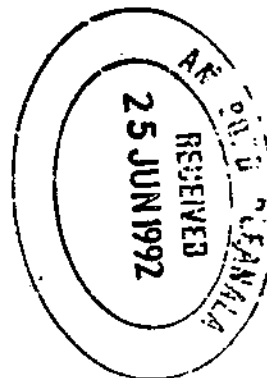
Floor Area : Sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received : 040392//100492

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

Patrick Rooney & Associates,
55 Merrion Square,
Dublin 2.





Bloc 2, Ionad Bheatha na hEireann
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Reg. Ref. 92A/0026
Decision Order No. P/ 2593 /92
Page No: 0002

Subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- *24* ATTACHED.

Signed on behalf of the Dublin County Council..... *J. de Baiterail*
for Principal Officer

Date:..... *8/6/92*.....

RECEIVED
25 JUN 1992

Reg.Ref. 92A/0026
Decision Order No. P/ 2593 /92
Page No: 0003



Bloc 2, Ionad Bheatha na hEireann
Bloc 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

C O N D I T I O N S / R E A S O N S

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 10th April 1992 save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That each proposed house be used as a single dwelling unit.

REASON: To prevent unauthorised development.

03 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Water-mains and Drains, has been given by:-

A. Lodgement with the Council of an approved Insurance Company Bond in the sum of £96,000. which shall be renewed by the developer from time to time as required during the course of the development and kept in force by him until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council. OR./..

B. Lodgement with the Council of a Cash sum of £50,000. to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications. Or./...

C. Lodgement with the Planning Authority of a letter of guarantee by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

04 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON: To protect the amenities of the area.

05 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON: In the interest of amenity.

06 That public lighting be provided as each house is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by the Council.

REASON: In the interest of amenity and public safety.

07 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.



Bloc 2, Ionad Bheatha na hEireann
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Reg.Ref. 92A/0026

Decision order No. P/ 2593 /92

Page No: 0004

REASON: In the interest of the proper planning and development of the area.

- 08 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on the completion of their dwellings.

REASON: In the interest and proper planning and development of the area.

- 09 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

- 10 That all watermain tapplings, branch connections, swabbing and chlorination be carried out by the County Council, Sanitary Services Department and that the cost thereof be paid to the County Council before any development commences.

REASON: To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 11 That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

REASON: In the interest of the proper planning and development of the area.

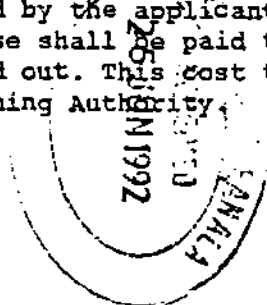
- 12 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development, until taken in charge by the Council.

REASON: In the interest of the proper planning and development of the area.

- 13 That the areas shown and conditioned as open space be fenced off during construction work and shall not be used for the purpose of site compounds or the storage of plant, materials or spoil.

REASON: To protect the amenities of the area.

- 14 A landscape plan with full works specification and bill of quantities etc., shall be submitted to and agreed in writing with the Planning Authority before the commencement of the development. Such plan shall include regrading, drainage, topsoiling, seeding, tree and shrub planting, pedestrian paths and details of maintenance. Or... In lieu of the open space being developed by the applicants, a financial contribution of £300. per house shall be paid to the county council to enable this work to be carried out. This cost to be paid on a phased basis as agreed with the Planning Authority.





Bloc 2, Ionad Sheatha na hEireann
Bloc 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Reg.Ref. 92A/0026
Decision Order No. P/ 2593 /92

Page No: 0005

REASON: In the interest of the proper planning and development of the area.

NOTE: The applicant should note that the landscaping plan submitted as part of this application is insufficiently detailed and is unsatisfactory to the Planning Authority.

15 That a financial contribution of £91,500 (i.e. 61 houses x £1,500) be paid by the developer to Dublin County Council towards the cost of road improvements (including boundary walls along proposed road to the north of the site) and traffic management proposals in the area serving this site. This contribution is to be paid prior to commencement of development on the site.

15 REASON: In the interest of the proper planning and development of the area.

16 That a 2 metre (minimum) distance is to be maintained between the flank walls of houses nos. 1A, 3A and 8A and the side site boundary.

16 REASON: In the interest of the proper planning and development of the area.

17 Two no. off-street car parking spaces are to be provided side by side on site no. 2A.

17 REASON: In the interest of the proper planning and development of the area.

18 That a 1.15 metres (minimum) wide side passageway be provided at the side of house nos. 3B, 6A, 11C, 14B, 19C and 27B.

REASON: To facilitate easy access to the rear of the houses and to facilitate the maintenance of the flank walls.

19 That 2 metre high walls be provided to screen rear gardens from public view. These walls are to have a brick external finish where they abutt a public roadway.

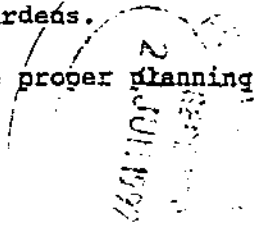
19 REASON: In the interest of the proper planning and development of the area.

20 That the areas indicated as open space beside houses nos. 16C and 20C on Drawing No. 937.19 submitted to this Department on 10th April, 1992, shall be included within the curtilages of house nos. 16C and 20C.

REASON: In the interest of residential amenity.

21 Front boundary walls are to be 1 metre in height with a brick finish. These walls are to be provided along the front site boundaries and between front gardens.

21 REASON: In the interest of the proper planning and development of the





Bloc 2, Ionad Bheatha na hEireann
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
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Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Reg. Ref. 92A/0026
Decision Order No. P/ 2593 /92

Page No: 0006
area.

22 The road reservation line is to be confirmed on site with the Roads Department prior to the commencement of development.

22 REASON: In the interest of the proper planning and development of the area.

23 The roof tiles to be of a muted colour (e.g. blue/black grey or brown). Details to be agreed with the Planning Authority prior to the commencement of development.

REASON: In the interest of visual amenity.

NOTE: Should the proposed development necessitate the relocation of any poles, etc. this is to be undertaken at the applicants expense.

24 That a 2 metre high brick wall is to be provided along the northern side boundaries of the sites nos. 16C and 20C on the road reservation line.

Reason in the interest of the proper planning and development of the area.

NOTE: The applicant should note that he is not responsible for building a screen wall along the remainder of the road reservation line where it adjoins the site.



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Dublin 1.
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Fax (01) 724896

Register Reference : 92A/0026

Date : 9th June 1992

Dear Sir/Madam,

Development : Development of 63.2 storey terraced, semi-detached
houses and bungalows

LOCATION : Off Old Court Road, Firhouse, Tallaght

Applicant : Cunningham Group

App. Type : Permission

I wish to inform you that by Order dated 08.06.92 it was decided to GRANT PERMISSION for the above proposal.

This decision, together with the conditions/reasons attached to the decision, is recorded in the Planning Register kept at this office in accordance with Section 8 of the Local Government (Planning and Development) Act 1963.

This Register may be inspected during office hours [9.00a.m. - 12.30p.m. 2.15p.m. - 4.30p.m.] and interested party may obtain a certified copy of an entry therein on payment of a fee of £5 in respect of each entry.

It should be noted that the proposer may appeal to An Bord Pleanála against the decision or any conditions attached to the Council's decision within one month beginning on the day of receipt by him of the Council's decision. Any other person may appeal to An Bord Pleanála within three weeks beginning on the date of decision. Interested parties are advised to consult the Planning Authority or An Bord Pleanála to ascertain if an appeal has been lodged by the applicant.

All appeals against decisions of the Planning Authority and all correspondence in relation to new and existing appeals should be addressed to The Secretary, An Bord Pleanála, Blocks 6 & 7 Irish Life Centre, Lower Abbey Street, Dublin 1. (Tel. 728011). Any appeal made to An Bord Pleanála will be invalid unless the correct fee is received by An Bord Pleanála within the statutory appeal period. The fee in respect of an appeal by an applicant for permission relating to commercial development is £200; any other appeal is £100.

Submissions or observations made to An Bord Pleanála by or on behalf of a person (other than the applicant) as regards an appeal made by another person must be accompanied by a fee of £30.

Damien Biddulph
30 Huntsgrove
Ashbourne
Co. Meath.



Bloc 2, Ionad Bheatha na hEireann
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Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Register Reference : 92A/0026

Date : 9th June 1992

Yours faithfully,

A handwritten signature in black ink, appearing to be 'C. J. ...', written over a dotted line.

for PRINCIPAL OFFICER



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
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Lower Abbey Street,
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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1991.

Decision Order Number : P/ 2593 /92 Date of Decision : 8th June 1992

Register Reference : 92A/0026 Date Received : 10th April 1992

Applicant : Cunningham Group

Development : Development of 63 2 storey terraced, semi-detached
houses and bungalows

Location : Off Old Court Road, Firhouse, Tallaght

Floor Area : Sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received :040392//100492

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

Patrick Rooney & Associates,
55 Merrion Square,
Dublin 2.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
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Fax (01) 724896

Reg.Ref. 92A/0026
Decision Order No. P/ 2593 /92
Page No: 0002

Subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- *24*..ATTACHED.

Signed on behalf of the Dublin County Council.....*J. de Baintseil*
for Principal Officer

Date:.....*8/6/92*.....

Reg.Ref. 92A/0026
Decision Order No. P/ 2593 /92
Page No: 0003



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C O N D I T I O N S / R E A S O N S

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 10th April 1992 save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That each proposed house be used as a single dwelling unit.
REASON: To prevent unauthorised development.
- 03 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Water-mains and Drains, has been given by:-
A. Lodgement with the Council of an approved Insurance Company Bond in the sum of £96,000. which shall be renewed by the developer from time to time as required during the course of the development and kept in force by him until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in Charge by the Council. OR./..
B. Lodgement with the Council of a Cash Sum of £60,000. to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications. Or./...
C. Lodgement with the Planning Authority of a letter of guarantee by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.
- 04 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON: To protect the amenities of the area.
- 05 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON: In the interest of amenity.
- 06 That public lighting be provided as each house is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by the Council.
REASON: In the interest of amenity and public safety.
- 07 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.



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Reg.Ref. 92A/0026

Decision Order No. P/ 2593 /92

Page No: 0004

REASON: In the interest of the proper planning and development of the area.

- 08 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on the completion of their dwellings.

REASON: In the interest and proper planning and development of the area.

- 09 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

- 10 That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council, Sanitary Services Department and that the cost thereof be paid to the County Council before any development commences.

REASON: To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 11 That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

REASON: In the interest of the proper planning and development of the area.

- 12 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development, until taken in charge by the Council.

REASON: In the interest of the proper planning and development of the area.

- 13 That the areas shown and conditioned as open space be fenced off during construction work and shall not be used for the purpose of site compounds or the storage of plant, materials or spoil.

REASON: To protect the amenities of the area.

- 14 A landscape plan with full works specification and bill of quantities etc., shall be submitted to and agreed in writing with the Planning Authority before the commencement of the development. Such plan shall include regrading, drainage, topsoiling, seeding, tree and shrub planting, pedestrian paths and details of maintenance. Or... In lieu of the open space being developed by the applicants, a financial contribution of £300. per house shall be paid to the County Council to enable this work to be carried out. This cost to be paid on a phased basis as agreed with the Planning Authority.



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Reg.Ref. 92A/0026

Decision Order No. P/ 2593 /92

Page No: 0005

- REASON: In the interest of the proper planning and development of the area.
- NOTE: The applicant should note that the landscaping plan submitted as part of this application is insufficiently detailed and is unsatisfactory to the Planning Authority.
- 15 That a financial contribution of £91,500 (i.e. 61 houses x £1,500) be paid by the developer to Dublin County Council towards the cost of road improvements (including boundary walls along proposed road to the north of the site) and traffic management proposals in the area serving this site. This contribution is to be paid prior to commencement of development on the site.
- 15 REASON: In the interest of the proper planning and development of the area.
- 16 That a 2 metre (minimum) distance is to be maintained between the flank walls of houses nos. 1A, 3A and 8A and the side site boundary.
- 16 REASON: In the interest of the proper planning and development of the area.
- 17 Two no. off-street car parking spaces are to be provided side by side on site no. 2A.
- 17 REASON: In the interest of the proper planning and development of the area.
- 18 That a 1.15 metres (minimum) wide side passageway be provided at the side of house nos. 3B, 6A, 11C, 14B, 19C and 27B.
REASON: To facilitate easy access to the rear of the houses and to facilitate the maintenance of the flank walls.
- 19 That 2 metre high walls be provided to screen rear gardens from public view. These walls are to have a brick external finish where they abutt a public roadway.
- 19 REASON: In the interest of the proper planning and development of the area.
- 20 That the areas indicated as open space beside houses nos. 16C and 20C on Drawing No. 937.19 submitted to this Department on 10th April, 1992, shall be included within the curtilages of house nos. 16C and 20C.
REASON: In the interest of residential amenity.
- 21 Front boundary walls are to be 1 metre in height with a brick finish. These walls are to be provided along the front site boundaries and between front gardens.
- 21 REASON: In the interest of the proper planning and development of the



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Reg.Ref. 92A/0026
Decision Order No. P/ 2593 /92
Page No: 0006
area.

- 22 The road reservation line is to be confirmed on site with the Roads Department prior to the commencement of development.
- 22 REASON: In the interest of the proper planning and development of the area.
- 23 The roof tiles to be of a muted colour (e.g. blue/black grey or brown). Details to be agreed with the Planning Authority prior to the commencement of development.
REASON: In the interest of visual amenity.
NOTE: Should the proposed development necessitate the relocation of any poles, etc. this is to be undertaken at the applicants expense.
- 24 That a 2 metre high brick wall is to be provided along the northern side boundaries of the sites nos. 16C and 20C on the road reservation line.
REASON In the interest of the proper planning and development of the area.
NOTE: The applicant should note that he is not responsible for building a screen wall along the remainder of the road reservation line where it adjoins the site.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



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Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
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Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Register Reference : 92A/0026

Date : 13th April 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Development of 63 2 storey terraced, semi-detached
houses and bungalows

LOCATION : Off Old Court Road, Firhouse, Wallaght

APPLICANT : Cunningham Group

APP. TYPE : Additional Information

With reference to the above, I acknowledge receipt of additional information
received on 10th April 1992.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Patrick Rooney & Associates,
55 Merrion Square,
Dublin 2.

**Patrick Rooney
& Associates**

Architects

* 55 Merrion Square / Dublin 2 / Telephone 618662, 618600 / Fax 610615.
Flynn's Terrace / Sligo / Telephone (071) 62090 / Fax 61409.

Attention of, Mr Richard Cremmins/Margee O'Shea, Planning Department, Irish Life Centre, Lower Abbey Street, Dublin 1.	92A/0026 1.72.4.4 A.I.	our ref PR/987/DM your ref date 6th April 92
---	------------------------------	--

RE: Development of Old Court Road, Tallaght,
Ref: 92A/0026, Order No P/0925/92

Dear Sir/Madam,

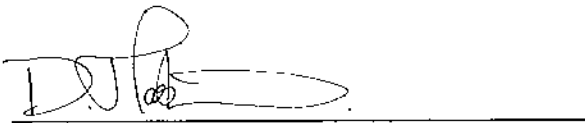
Enclosed please find 4 copies of drawings showing additional information as requested re the above.

As suggested I have spoken to Mr Spain re watermain, and our Landscape Consultant was speaking to Mr Shakespear.

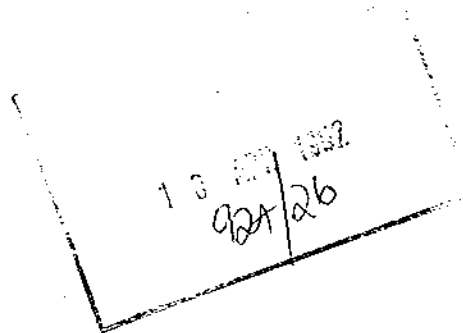
Should you have any further queries please do not hesitate to contact me.

Yours sincerely,

ON BEHALF OF PATRICK ROONEY & ASSOCIATES

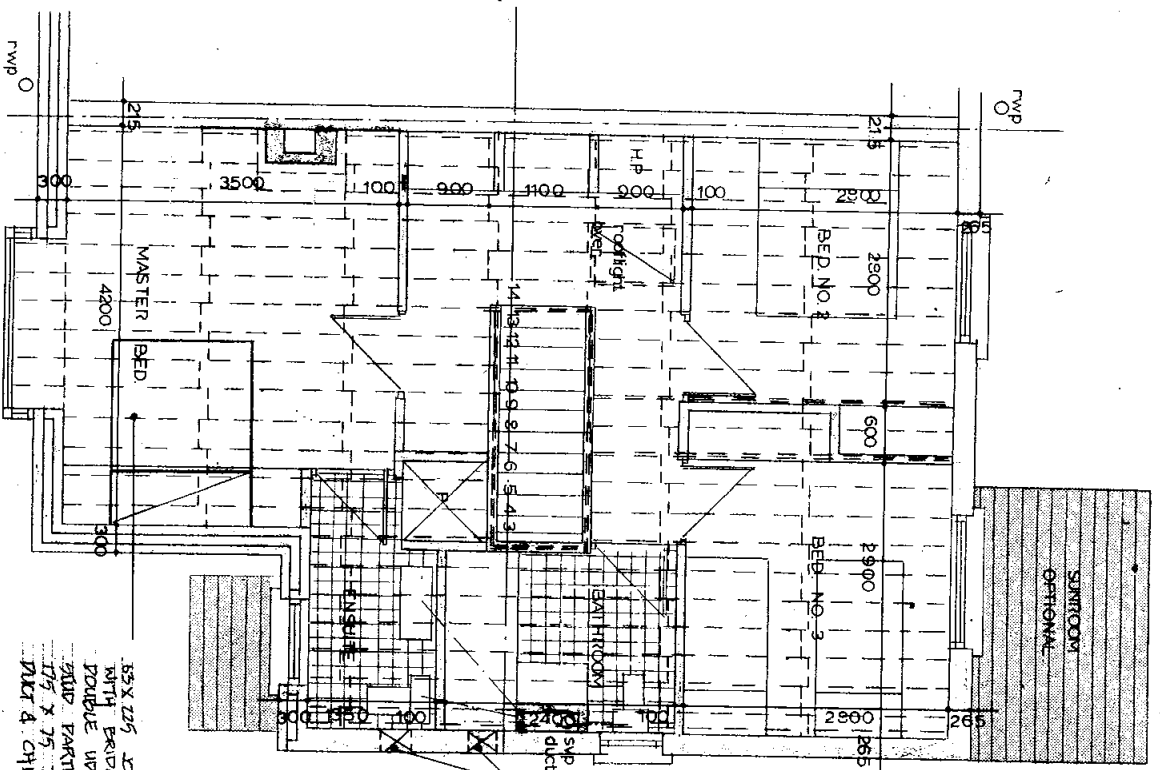


DERVILLA MASTERSON



Enc/..... 987/1 - 9 incl & 987/15 - 23 inclusive, Architects Specification, Landscape Specification.

Patrick Rooney & Associates Architects
 55 Merrion Square, Dublin 2. 618600, 618662, 618611. Fax 610615
 1 Flynn's Terrace, Sligo. 62090, 61409
 3-04 Butlers Wharf Business Centre, Curlew Street, London SE1 2ND. 4036206.



150 X 225 JOISTS AT 300 C/C'S WITH BRACING AT 1500 C/C'S
 175 X 75 TRUSSEYS TO STAIR, DIRT & CHIMNEY CREYS

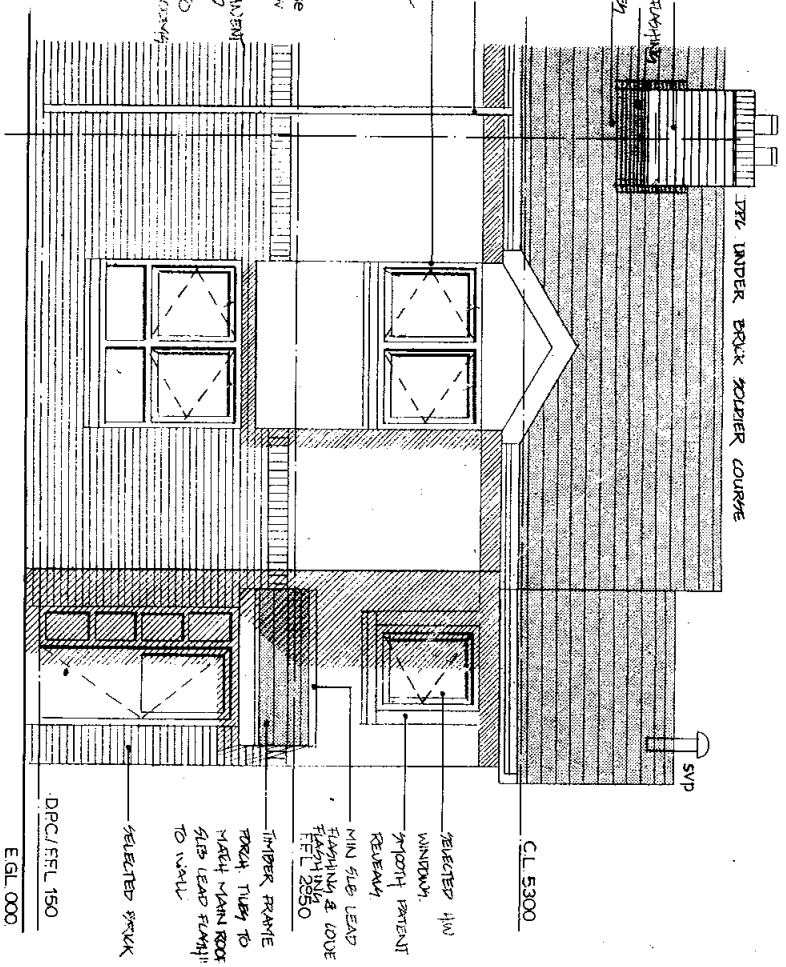
HOUSE FLOOR AREA:
 113 sqm. - 1222 sq. ft. incl optional conservatory

SELECTED PVC
 RWTF & GUTTER
 TIMBER BAY
 WINDOW TO DETAIL
 FLASHING AT 1500
 ROOF JUNCTION

N.B.
 in terraced house
 in type omit window
 to sp in
 duct.

150 X 225 PERMANENT
 HIT & MISS VENTS
 PERMANENT TO
 WINDOWS IN BRICKS
 WITHOUT VENTS

SELECTED BRICK
 MIN SLAB LEAD FLASHING
 SELECTED ROOFING



FRONT ELEVATION

CL 5300
 DPC/FEL 150
 EGL 000

SELECTED PVC
 TIMBER FRAME
 FROM TUBES TO
 MATCH MAIN ROOF
 SLAB LEAD FLASHING
 TO WALL

SELECTED PVC
 WINDOW
 JOINT PATENT
 RESEALANT
 MIN SLAB LEAD
 FLASHING & LOVE
 FLASHING
 FEL 2050

SELECTED PVC
 WINDOW
 JOINT PATENT
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 FEL 2050

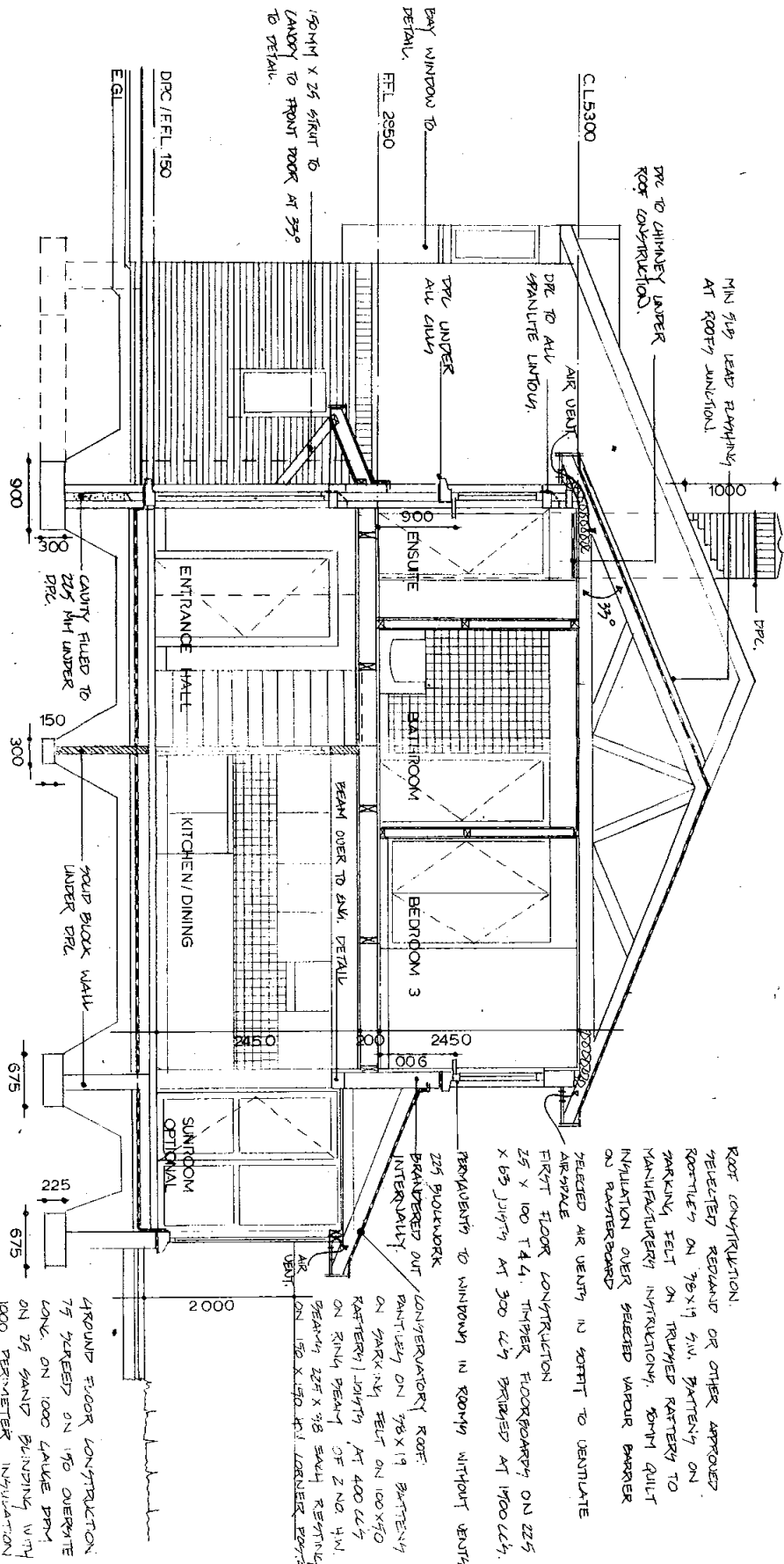
Revisions

Drawn	date 12.09.91
Checked	scale 1:50
drawing	UPPER FLOOR PLAN 3 BED FRONT ELEVATION

CONF. ACT
 FIRHOUSE, TALLAGH

Patrick Rooney & Associates
 Merrion Square, Dublin 2
 Flynn's Terrace, Sligo
 3-04 Butlers Wharf Business Centre,
 Curlew Street, London SE1 2N2

Architects
 Tel: 01-409 618662, 610615
 Fax: 610615
 02090 61409
 4036206



MIN 50MM LEAD FLASHING AT ROOF JUNCTION
 DPC TO CHIMNEY LARPER ROOF CONSTRUCTION.
 DPC TO ALL GRANULITE LINING
 AIR UNDER ALL GUTS
 150MM X 25 STRUT TO LANDING TO FRONT ROOF AT 35° TO DETAIL.
 FFL 2550
 CL 5300
 DPC / EFL 150
 E.G.L.
 900
 300
 225
 300
 675
 675
 2000

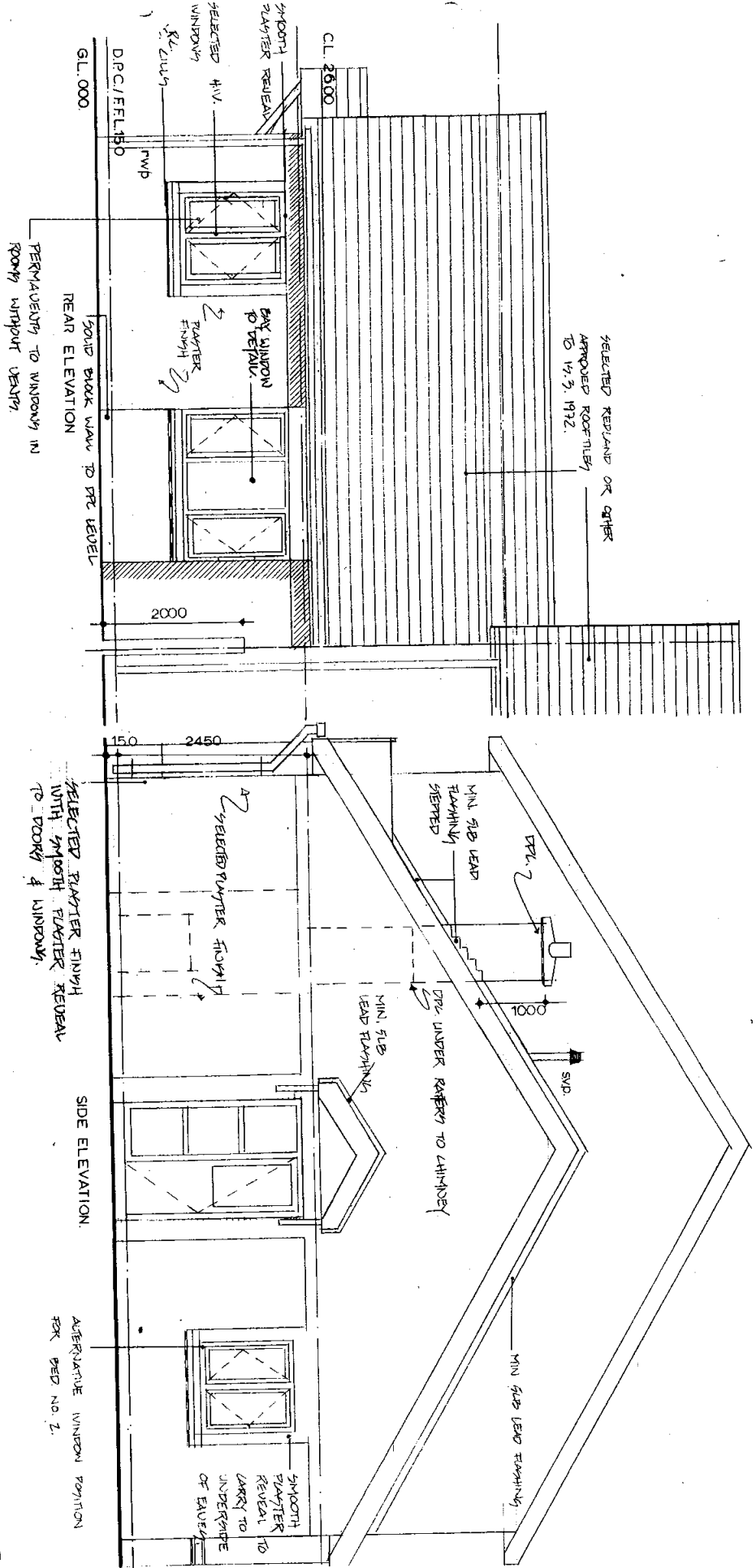
ROOF CONSTRUCTION:
 SELECTED REINFORC OR OTHER APPROVED
 ROOFING ON 76x19 GVL BATTENS ON
 MARKING FELT ON TRUSSED RATHERY TO
 MANUFACTURER'S INSTRUCTIONS. FORM QUILT
 INSULATION OVER SELECTED VAPOUR BARRIER
 ON RAFTERS/ROOF
 SELECTED AIR VENTS IN ROOF TO VENTILATE
 AIR SPACE
 FIRST FLOOR CONSTRUCTION
 25 x 100 T44, TRUSSER FLOORBOARD ON 225
 X 65 JOISTS AT 300 C/C TRIMMED AT 1900 C/C.
 REINFORC TO WINDOW IN ROOMY WITHOUT VENTS
 225 BLOCKWORK
 BRICKWORK OUT INTERVALLY
 CONCRETE ROOF
 BATTENS ON 76x19 BATTENS
 ON MARKING FELT ON 100X70
 RATHERY JOISTS AT 400 C/C
 ON RINKY BEAM OF 2 NO 4 IN
 BEAM 225 X 75 SAND REINFORC
 ON 150 X 150 HD LARGER BENTS

AROUND FLOOR CONSTRUCTION
 75 PERCENT ON 150 OVERITE
 LONG ON 1000 GAUGE PRM
 ON 25 SAND BUNDLING WITH
 1000 PERIMETER INSULATION
 ON 150 HARDWARE.

Drawn	Check	Date
16.02.91		
Scale	1:50	
SECTION - 3 BED HOUSE		
CONTRACT		
FIRHOUSE, TALLAGH		

Patrick Rooney & Associates Architects
 55 Merrion Square, Dublin 2
 Flynn's Terrace, Sligo
 38 Grove Lane, Camberwell, London SE5 8ST

(01) 618600, 618662, 610615. Fax 610615.
 (071) 62090, 61409 Fax 61409.
 (071) 252-7848 Fax 701-2694.



drawn _____ date 29.02.91
 check _____ scale 1:50
 drawing BACK & SIDE ELEVATION TO BUNGALOW

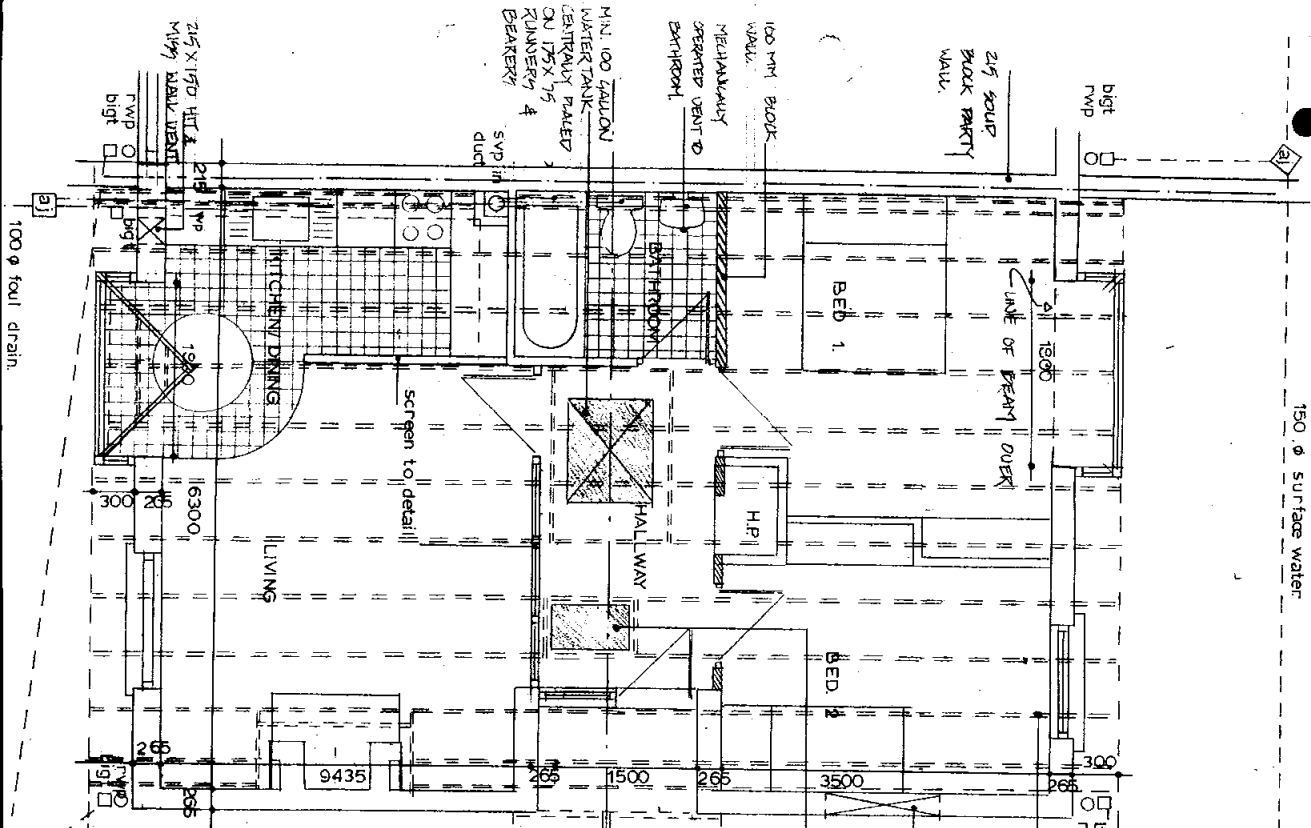
CONTRACT FIRHOUSE, TALLAGH.

REVISIONS

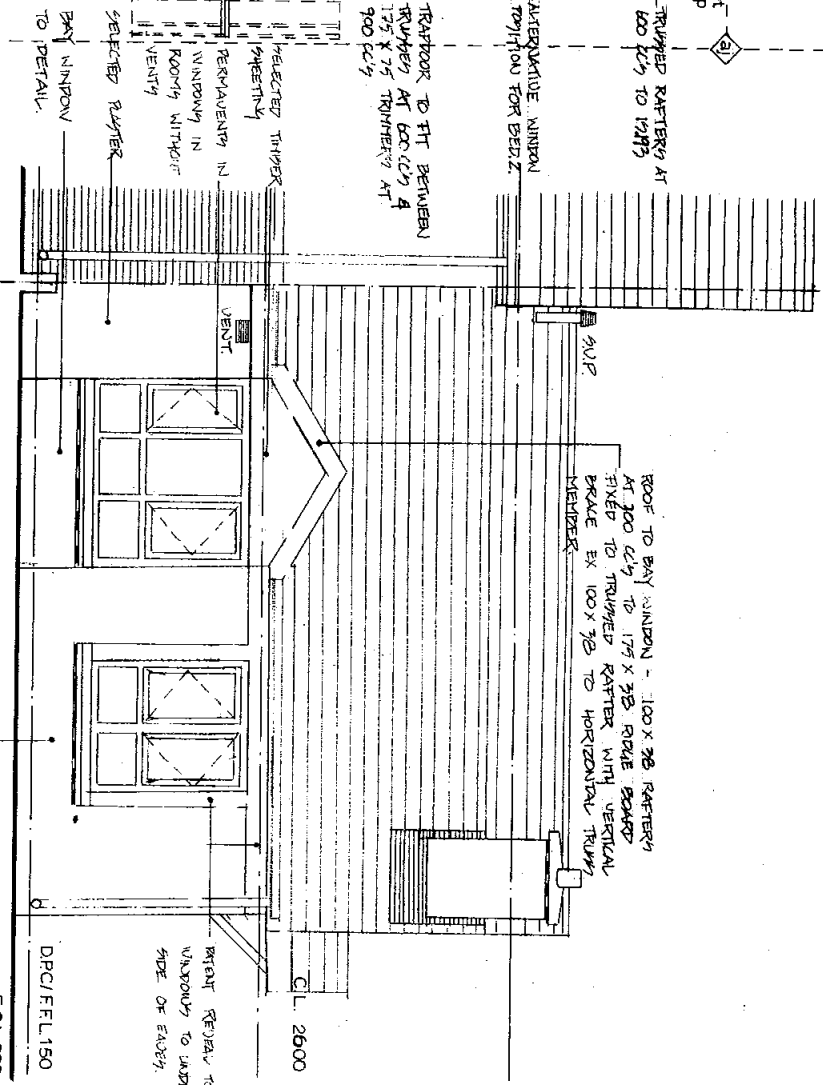
17000 JRM

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 London SE5 8ST

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 (071) 62090, 61409 Fax 61409
 (071) 252-7848 Fax 701-2694



HOUSE FLOOR AREA:
 59.22 sqm. ~ 640.76 sq ft.



drawn date 29-07-91
 check scale 1:50
 drawing BUNGALOW / PLAN, ELEVATION.
 CONTRACT FIRHOUSE, TALLAGH

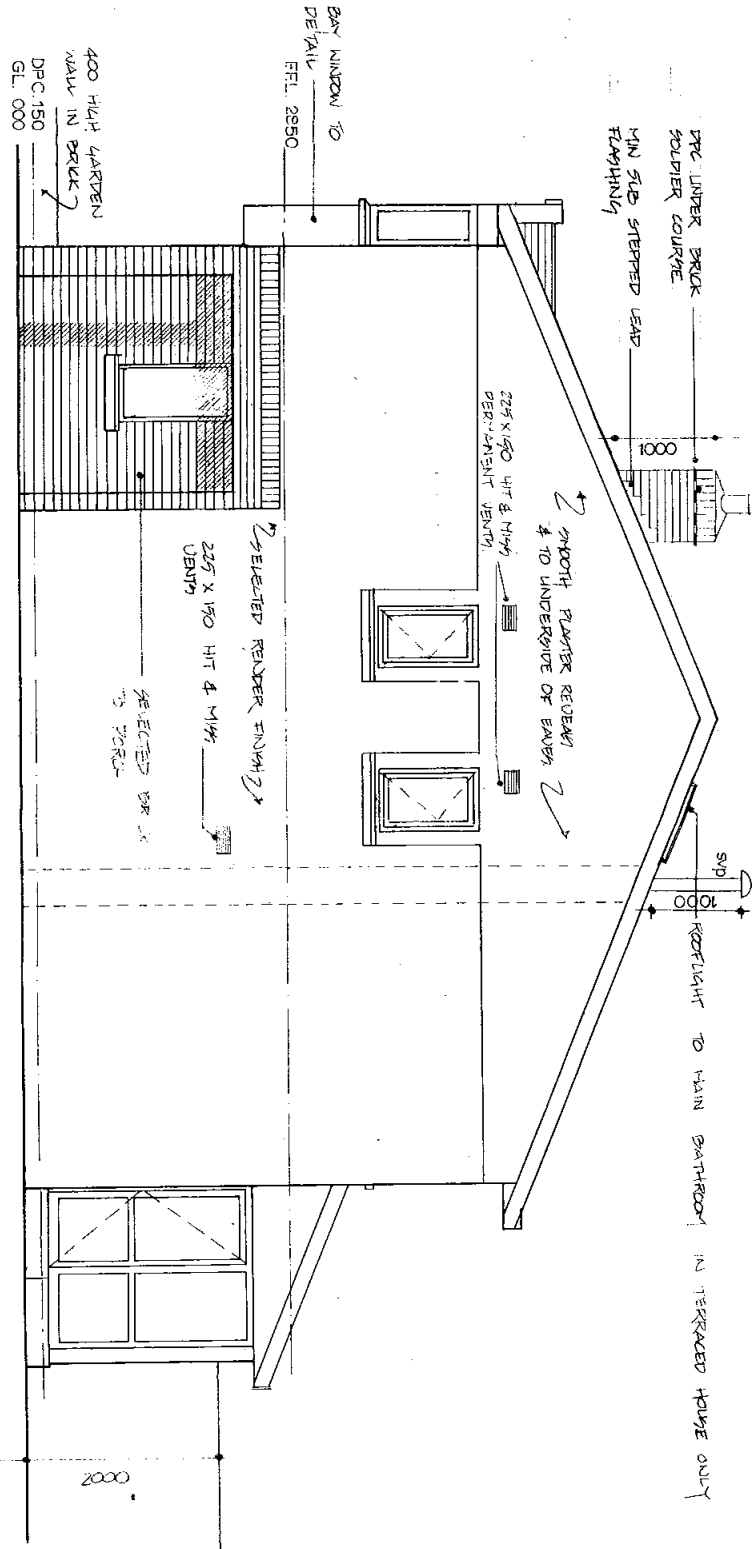
100.0 surface water
 2.5 SCUP BLOCK PARTY WALL
 MECHANICALLY OPERATED DEANTO EXHAUSTOR
 MINI 100 FASHION WATER TANK
 CENTRALLY PLACED ON 175X75 RUNNERS 4 BEAKERS
 SVP IN DUCT
 H.P.I.
 TRUMPED RAFTERS AT 600 CL/4 TO 12173
 ALTERATIVE MINOR OPTION FOR BEDZ
 TRAYBOOR TO FIT BETWEEN RUMBER AT 600 CL/4 175 X 75 TRIMMER AT 900 CL/4
 SELECTED THINER SHEETING
 PERMANENT IN WINDOW IN ROOMS WITH HIGH VENT
 SELECTED RAFTER
 BAY WINDOW TO DETAIL
 SCREEN TO DETAIL
 H.P.I.
 TRUMPED RAFTERS AT 600 CL/4 TO 12173
 ALTERATIVE MINOR OPTION FOR BEDZ
 TRAYBOOR TO FIT BETWEEN RUMBER AT 600 CL/4 175 X 75 TRIMMER AT 900 CL/4
 SELECTED THINER SHEETING
 PERMANENT IN WINDOW IN ROOMS WITH HIGH VENT
 SELECTED RAFTER
 BAY WINDOW TO DETAIL
 HOUSE FLOOR AREA:
 59.22 sqm. ~ 640.76 sq ft.
 FRONT ELEVATION
 ROOF TO BAY WINDOW - 100 X 3/8 RAFTERS AT 300 CL/4 TO 179 X 3/8 ROBE BOARD FIXED TO TRUMPED RAFTER WITH VERTICAL BRACE EX 100 X 3/8 TO HORIZONTAL TRUSS MEMBER
 CL. 2600
 DPC/F.L. 150
 EGL 000
 SELECTED RAFTER TO FOLLOW BLOCK WALL REQUIREMENT
 BAY WINDOW TO DETAIL
 SELECTED THINER SHEETING
 PERMANENT IN WINDOW IN ROOMS WITH HIGH VENT
 SELECTED RAFTER
 BAY WINDOW TO DETAIL
 CONTRACT FIRHOUSE, TALLAGH

Patrick Rooney & Associates Architects

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 Fax 61409
 Fax 701-2894.

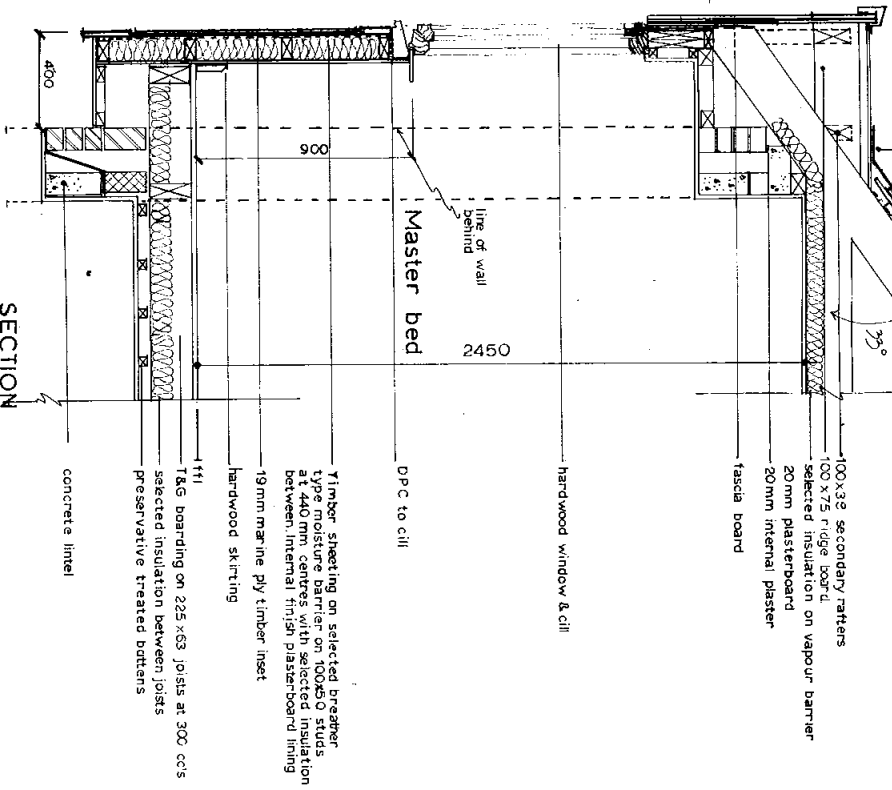
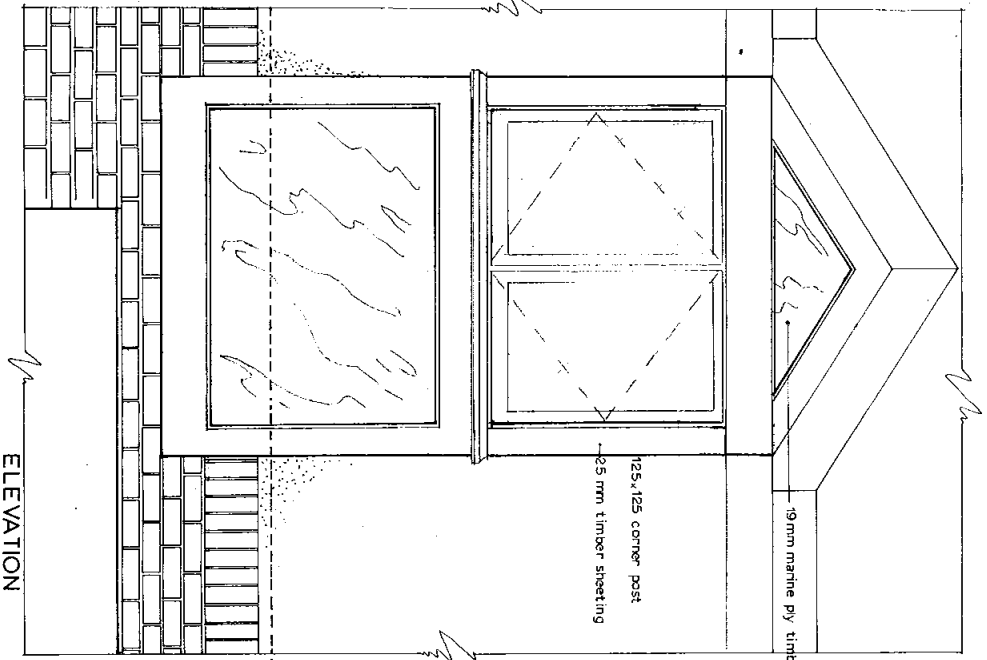


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drawing SIDE ELEVATION - 4 BED HOUSE.				
CONTRACT				
FIRHOUSE, TALLAGHT				

Patrick Rooney & Associates
 55 Merrion Square, Dublin 2
 Flynn's Terrace, Sligo
 38 Grove Lane, Camberwell
 London SE5 8ST

(01) 618600, 618662, 610615, 610615
 (071) 620900, 61409, 61409
 (071) 252-7848, 252-7848
 Selected offices on battens
 Selected on felt on
 Truss rafters to manufacturers
 Instructions to S. 193.

Architects



SECTION
 BAY WINDOW DETAIL
 drawing
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 Date JANUARY '92
 scale 1:20

00002 12

contract FIRHOUSE, TALLAGH

REVISIONS

17000 2/92

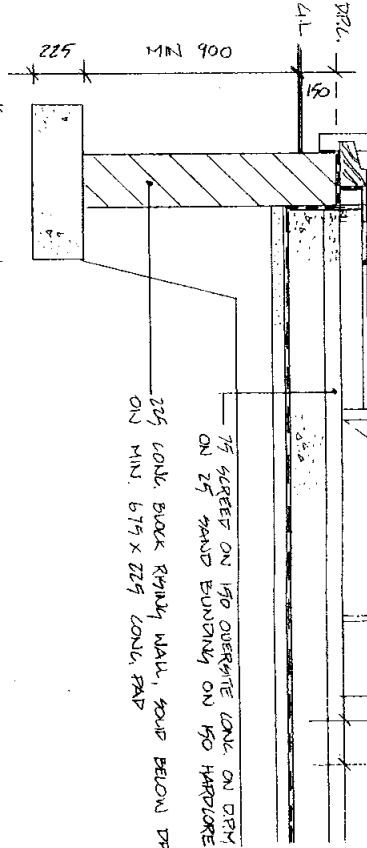
MIN SUB LEAD FLASHING & COVER
FLASHING TO MAIN BLOCK WALL

FLASHING TO BE REPAIRED OR OTHER APPROVED
ROOFING ON 9x78 5/8 BATTERY ON
SARKINS FELT ON 100x50 BATTERY
WITH 100 50 SEAM DRYTS AT
200 U/L WITH 90TH GUT
INSULATION WITH
VAPOR BARRIER
UNDER
D/174

PLASTERBOARD CEILING
UNDER D/UT MIN 1240
ABOVE FELT

MIN 125x175 M7
ANGL

VENT AT
400 U/L

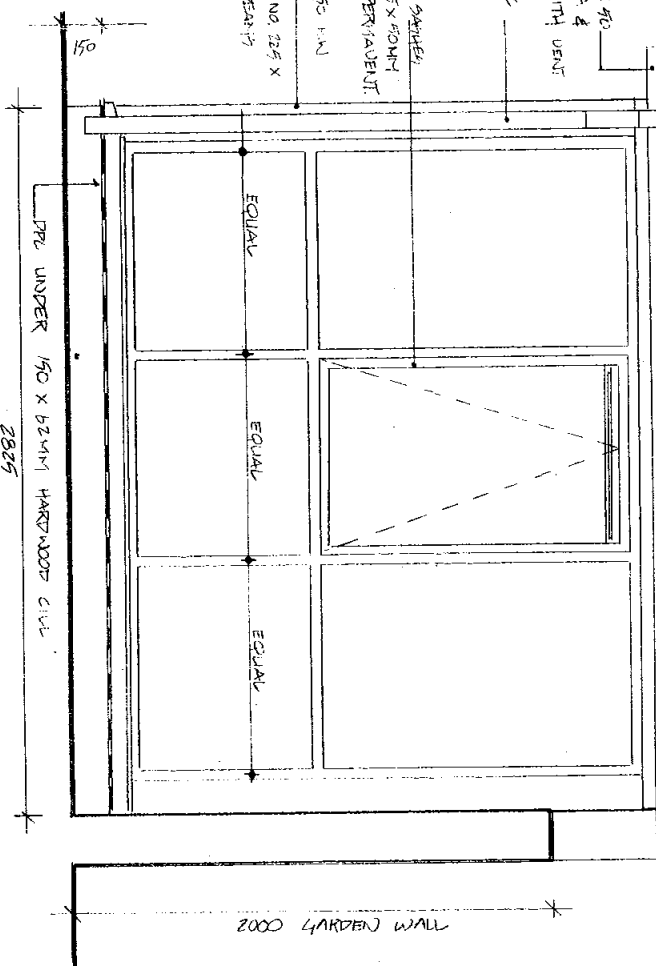


75 SECRETS ON 150 OVERLAP ON DRY
ON 25 SAND FUNDING ON 150 HARDORE
225 COUL. BLOCK RHYTHM WALL, SOUP BELOW D/174
ON MIN. 675 X 225 COUL. SPAB

MIN SUB LEAD
FLASHING & COVER FLASHING
125 X 90 W/ 5/8

EX 225 X 90
5/8 FIVE 1/2 &
SOFFIT WITH VENT
UNDER
75MM PVC
R/W/15

OPENING, SARKINS
4M EX 65 X 90MM
FIT WITH PERVAJENT
EX 150 X 150 5/8 M
ROOF
TO HOLD 2 NO. 225 X
3/8 4M BEAR 17



150
D/174 UNDER 150 X 62MM HARDORE CIVL
2855

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Architects

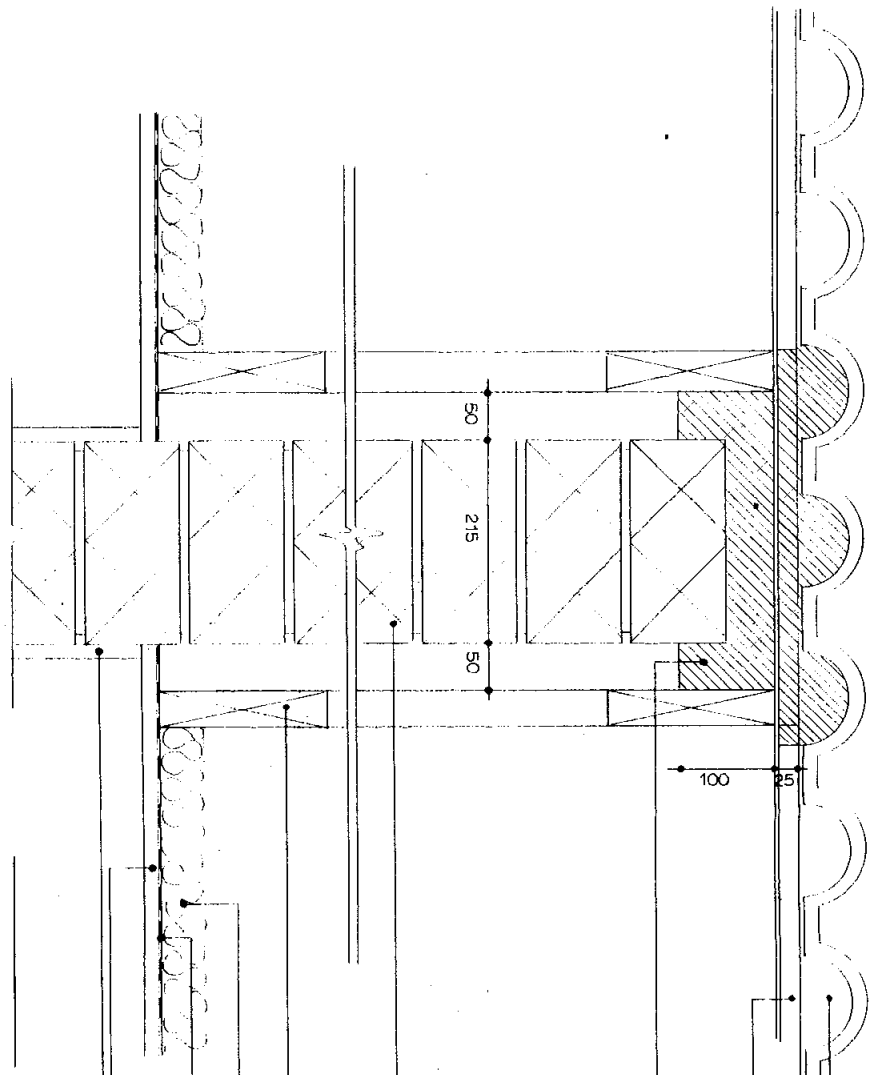
drawn date 08.01.92
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drawing COVER LATORY DETAIL PLAN & SECTION

Contract
FIRTHOUSE TALKHAT

REVISIONS

17000 JDR

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 38 Grove Lane, Camberwell, London SE5 8ST. (071) 252-7848. Fax 701-2694



SELECTED CONC ROOF TILES TO COMPLY WITH BS 5. 1932

MIN. 75 X 25MM PRESERVATIVE TREATED SW BATTENS TO SUIT CONC. ROOF TILES, TREATED

100MM NON-COMBUSTIBLE MINERAL WOOL TO COMPLY WITH BS. 476. PART 4. FIXES TREATED

50MM CONC. BLOCK BATTEN WAVE TO BS 476:32

TRUSSED RATHER AT 500 C/C TO MANUFACTURER'S INSTRUCTIONS TO EMERY 15. 1975

50 MM SPLIT INSULATION BETWEEN TRUSSES TO 15. 500 GAUGE DPM AS VAPOUR BARRIER UNDER INSULATION.

25MM BOARD & SKIN TO MATCH & ZELING 15. A1 1975.

Drawn _____ Date _____
 Check _____ Scale 1:5.
 drawing _____ Party wall at Roof Level.

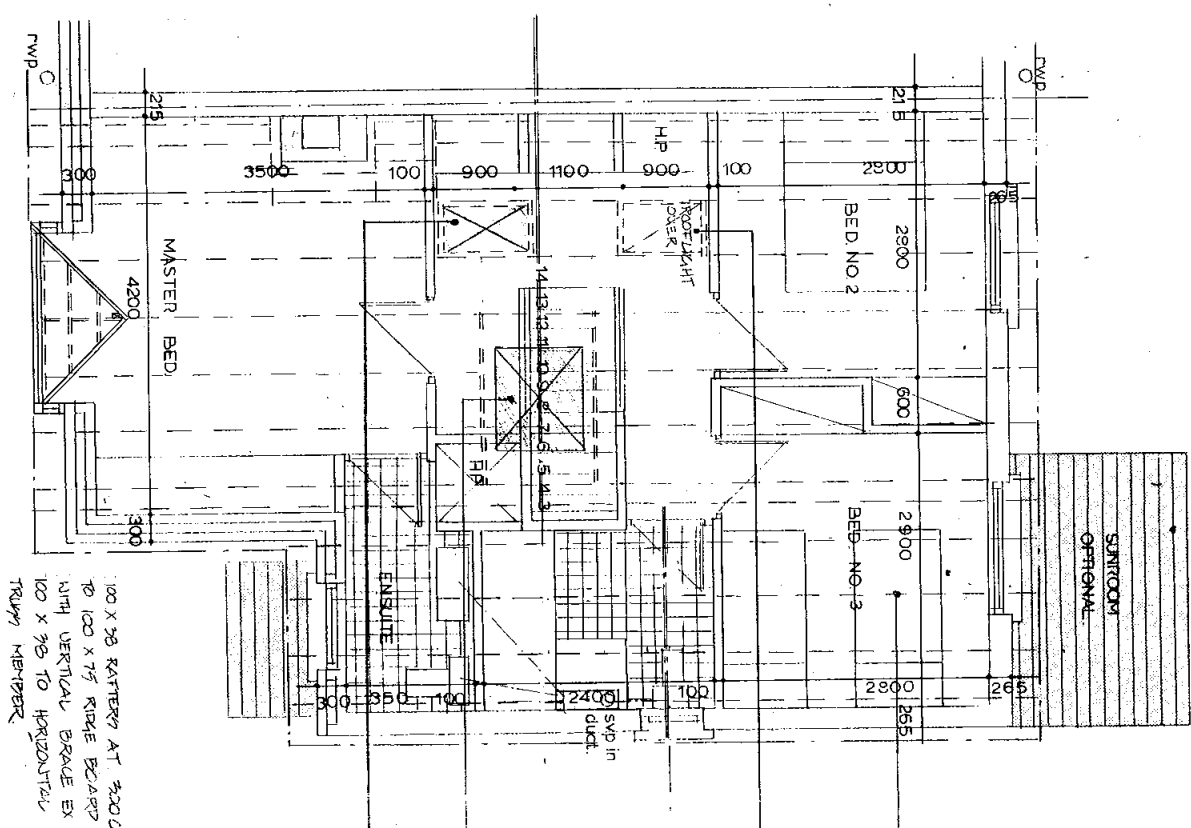
contract **FINHOUSE** 201
 Finhouse, Tallaght.

REVISIONS

Patrick Rooney & Associates Architects

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 Fax 610615, 61409
 Fax 701-2694



100 X 75 RAFTERS AT 320 C/C'S
 TO 100 X 75 RAPE BEARD
 WITH VERTICAL BRACE EX
 100 X 75 TO HORIZONTAL
 TRIM MEMBER

ROOF TRUSSES AT 600 C/C'S TO MANUFACTURER'S
 INSTRUCTIONS TO COMPLETE BRACING TO DETAIL
 WITH WIND & CONTRASTIVE BRACING TO DETAIL

ROOF LIGHT TO FIT BETWEEN TRUSSES AT 600 C/C'S
 WITH 175 X 75 TRIMMER

CENTRE LINE OF LOWER ROOF

MIN. 100 GALLON WATER TANK CENTRALLY
 PLACED OVER 3 TRUSSES ON 175 X 75 RAFTERS
 & BEARERS

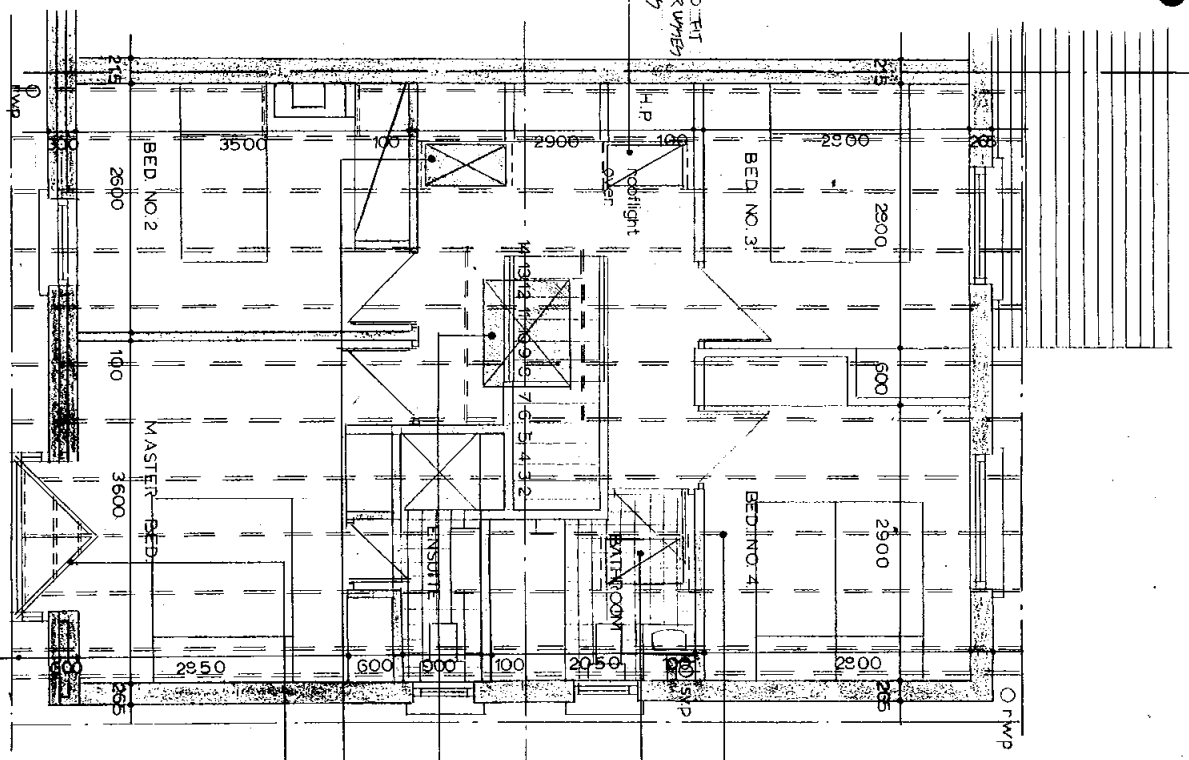
TRAP DOOR TO FIT BETWEEN TRUSSES AT 600 C/C'S
 & 175 X 75 TRIMMER AT 900 C/C'S

Drawn	date	MARCH - 92
Check	scale	1 : 50
drawing ROOF TRUSS LAYOUT - 3 BED. HOUSE		
Contract FIRHOUSE - TALLAGHT		

Patrick Rooney & Associates Architects

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 (071) 252-7848 Fax 701-2694



ROOF TRUSS TO FIT
 BETWEEN TRUSSES
 AT 800 C/L

ROOF TRUSSES AT 800 C/L TO MANUFACTURER'S
 INSTRUCTIONS TO CORRY TO 15:195 WITH
 WIND & LONGITUDINAL BRACING TO DETAIL.

ROOF TRUSS IN BATHROOMS WHERE WINDOW
 NOT FEASIBLE TO FIT BETWEEN TRUSSES
 AT 800 C/L WITH 175 X 75 TIMBERS

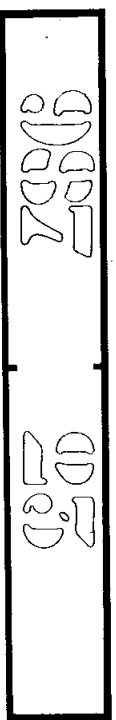
CENTRE LINE OF ROOF

MIN. 100 GALLON WATERTANK CENTRALLY
 PLACED OVER 3 TRUSSES ON 175 X 75 RIMMER
 & BEARERS.

TRAP DOOR TO FIT BETWEEN TRUSSES AT 800 C/L
 & 175 X 75 TIMBERS AT 900 C/L

100 X 75 RATHER AT 900 C/L TO 100 X 75
 RIDGE BOARD WITH VERTICAL BRACE EX
 100 X 75 TO HORIZONTAL TRUSS MEMBER

DATE	18 MARCH 92
CHECK	SCALE 1:50
DRAWING	ROOF TRUSS LAYOUT - 4 BED. HOUSE.



CONTRACT
 FIRHOUSE - TALLAGHT

REVISIONS

17000 JRM

FIRHOUSE CO. DUBLIN COUNCIL
Planning & Development Section
RECEIVED

10 APR 1992

REC. NO. 92A/20
APPLICATION TYPE (P/PA)
NO. L.D. 3

OUTLINE SPECIFICATION FOR WORK TO BE DONE /
AND MATERIALS TO BE USED IN CONNECTION
WITH CONSTRUCTION OF DEVELOPMENT OF 63
VARIED HOUSE TYPES, OLD COURT ROAD, FIRHOUSE
CO DUBLIN.

DEVELOPER
CUNNINGHAM GROUP
82 SANDYMOUNT BUSINESS CENTRE
DUBLIN 4.

ARCHITECT
PATRICK ROONEY & ASSOCIATES
55 MERRION SQUARE
DUBLIN 2.

PRELIMINARIES

- 1.1 Maintenance Period The Contractor shall be held responsible for defects, shrinkage or other faults that are due to materials and workmanship which appear during the period of 12 months after the completion of the work.
A sum of not more than 5% of the total price for the work shall be retained by the Employer during the period of 12 months after completion of the work and shall be paid to the Contractor on the expiration of this period provided all defects which have been notified to the Contractor have been remedied.
- 1.2 Structural Guarantee The Contractor shall be responsible for structural defects which reveal themselves during a period of 24 months after the completion of the work.
The Employer's right to require the Contractor to remedy structural defects under this clause are in addition to any similar right(s) he may have under Common Law.
- 1.3 Insurance The Contractor shall, in the joint names of the Employer and the Contractor, insure the works to their full value against loss or damage by fire, storm or tempest from a period beginning at the commencement of the work and ending on the handing over of the completed house(s) to the Employer. The Contractor shall produce evidence of such insurance at the request of the Employer.
- 1.4 Statutory Requirements. The Contractor must provide for paying all contributions required under the Social Welfare Acts and other statutes for the protection of workmen.
The Contractor must also comply with the Building (Safety, Health and Welfare) regulations, 1959.
- 1.5 Approved Materials For the purpose of this Specification the term "approved materials" shall mean approved as suitable in all respects to the relevant Irish Standard Code of Practice.
- 1.6 Water A proper supply of clean water shall be provided for the works by the Contractor who shall supply piping and all accessories and pay for main tapping, or provide necessary carting and storage or in the event of a private water supply, ensure that an

/.....

adequate water supply via well and pump is provided before commencement of building.

- 1.7 Notification The Contractor shall notify the Local Authority at the appropriate stages of the work and arrange for all inspections.

2. EXCAVATOR.

- 2.1 Site Clearance The entire area of the site to be cleared of all obstructions and left ready for the construction of the house: include for making site access ways. Remove top soil over entire area of proposed dwelling and pavings and leave aside for finished garden.

- 2.2 Excavations The area of site, foundations of walls, pipe trenches, surface underfloors and other work indicated on the drawings to be excavated to the lengths and widths shown, and to such depths as necessary to insure that the bottom of the trenches are sufficiently solid for a good foundation.

- 2.3 Level fill and ram. All trenches for foundations to be levelled and rammed, and all trenches for pipes and drains to be formed, graded and rammed. The trenches around and over pipes, to be filled in and rammed.

EXCAVATOR (continued)

- 2.4 Hardcore. Hardcore, where used is to consist of broken stone or bricks. Levels under floors, paths and pavings are to be made up with hardcore as shown on drawings. All filling is to be well wetted and consolidated.
- 2.5 Water at Excavations Keep all foundations and trenches free of water at all times.
- 2.6 Filling in Trenches, etc The Contractor shall not fill in over any work until it has been approved by the Architect or the Employer: or, in the case of foundations, etc., until it has been approved by the Local Authorities.

3. CONCRETOR

- 3.1 Cement Cement to be Portland Cement in accordance with I.S 1 (1971) delivered to site in properly sealed bags, clearly marked with the brand name and stored, clear of the floor, in a dry waterproof store and protected from damp.
- 3.2 Water Only clean fresh water free from impurities to be used.
- 3.3 Sand The sand is to be clean, sharp pit or river sand and must be washed free from loam, earth, clay or other foreign substance.
- 3.4 Lime The Lime for mortar shall be approved best quality greystone lime from approved kiln.
- 3.5 Lime Mortar Lime Mortar shall be gauged one of lime to three of sand and gauged with cement just before using. All mortar cement is to be used quite fresh and no mortar that has commenced to set shall be used.
- 3.6 Cement Mortar The Cement Mortar shall be composed of one part Portland cement as described to three parts sand and used fresh: none to be reworked once initial set has commenced.
- 3.7 Concrete The quality of materials and the standard of workmanship for the reinforced concrete shall comply with the relevant clauses of B.S. Code of Practice 114 (1957) in regard to all requirements not otherwise described in this Specification.

CONCRETOR (continued)

3.8 Aggregate The aggregates shall comply with the standards laid down in Irish Standards 5:1949.

THE FINE AGGREGATE

The fine aggregate shall be a natural pit or river sand passing a 10 mm screen and shall be thoroughly washed in a mechanical washing plant. It shall be graded from the largest to the smallest particle sizes in approved proportions.

3.9 Aggregate The Coarse Aggregate shall be retained on a 10 mm screen and shall be composed of clean washed gravel or crushed stone or a combination of both, of approved quality and grading free from laminated and flaky particles, dust and other impurities.

The fine and coarse aggregates shall be delivered to the site separately and shall be stock-piled on clean concrete, macadam or other approved surface.

3.10 Mixing The concrete shall be mixed in power driven batch mixers of approved size and design and having a capacity not less than that required for on cwt batch.

3.11 Mixers The weight of the fine and coarse aggregate used in each mix shall be adjusted so that the finished concrete has a cement content not less than set out in the following table. The cement content shall be increased at the Contractor's expense where necessary to produce a concrete having a strength not less than the specified value together with an approved surface finish. Concrete for roof slabs to be water-proofed with "Sika" used according to manufacturer's instructions.

NOMINAL PROPORTIONS					
Mix	Type Mix	Cu. fit of combined agg. per 112 lbs cement	Max. size of agg.	Min. 28 day 6" cube strength	Cement content in lbs per cu. yd. of concrete
A	1:2:4	7.0	1½	3500	480
B	1:2:4	6.25	¾	3500	520

CONCRETOR (continued)

3.11 Mixers

The approval of aggregates, grading, water content, etc., shall not relieve the Contractor of responsibility in regard to the strength and finish of the concrete, and the Contractor shall remove and reconstruct at his own expense: any part of the work which the Architect deems to be below the proper standard. The mixes for the various sections of the works shall be as follows:-

MIX A

Reinforced foundations, paving, carriageways, floors.

MIX B

Reinforced concrete working roof slabs and roof beams and window and door heads.

3.12 Concrete
Blinding.

The surface of the ground under foundations and other concrete in contact with the ground shall be sealed with a thin layer of lean concrete mixed 1 cwt., cement to 12 cubic feet of coarse sand.

3.13 Transporting and
Placing Concrete

The concrete shall be transported from the mixer to the place of deposition as rapidly as possible and due precaution shall be taken to prevent segregation. Where necessary hoppers of adequate capacity shall be provided adjacent to the formwork so that the concrete is remixed before being placed in position. The concrete shall be evenly placed in its final position and shall not be worked or allowed to flow in a horizontal direction.

3.14 Transporting &
Placing
Concrete.

As far as possible all concrete in on unit of construction shall be placed in on continuous operation. The concrete shall be placed in its final position before setting has commenced, and shall not subsequently be disturbed. In no case shall the interval between adding the water to the dry mix and the placing of the mix in situ exceed 30 minutes. Concrete shall be thoroughly compacted in a manner approved by the Architect.

CONCRETE (continued)

3.15 Jointing New
Concrete

Before depositing concrete against any temporarily stopped work or at approved joints, the procedure shall be as follows:

Before depositing concrete against previously hardened work the surface layer or laitance shall be hacked off and the exposed surface wire brushed and thoroughly cleaned with water. A 12 mm layer of mortar shall be placed against the existing concrete immediately before pouring the new concrete.

3.16 Construction
Joints.

All vertical construction joints shall be formed with well braced timber stop ends holed or slotted where necessary to allow the reinforcement to pass through the joints. The concrete shall be compacted against the stop ends for the full height of the lift. All construction joints shall be located in such positions as shall be approved by the Architect. The vertical joints shall be stepped and staggered in approved positions and such joints shall not be located at or adjacent to quoins.

The joints in suspended roof slab shall be formed parallel to the main reinforcement.

3.17 Frost

Concreting work shall be suspended when the air temperature falls below 2°C, or when frost is expected. Frozen aggregate shall be thawed out before use. Concrete placed in cold weather shall be protected from damage by frost or other weather conditions shall be cut out and replaced by fresh concrete at the Contractor's expense. The Contractor shall provide a maximum and minimum thermometer of approved design for the purpose of measuring the shade temperature of the outside air.

3.18 Curing

Horizontal and vertical slab and other large areas of concrete shall be kept continually moist and shall be covered with jute matting or an approved thickness of wet sand for a period of at least ten days after the concrete is placed.

CONCRETOR (continued)

- Similar precautions shall be taken during the initial period of at least ten days to protect all other reinforced work from exposure to sun, wind or rain.
- 3.19 Plaster Surface. Where a rendered or plastered finish is specified the concrete surfaces shall be sparrow-pecked to provide an adequate key. Alternatively, the formwork may be coated with an approved retarding compound which shall be removed with water and wire brushes as soon as possible after concreting. Precautions shall be taken to ensure that the retarding compound does not come in contact with the reinforcement.
- 3.20 Traffic over Concrete. No traffic of any kind will be allowed over any concrete, or formwork removed, or any load imposed on it until it has thoroughly hardened.
- 3.21 Formwork. The formwork shall be made up from purpose made mild steel units, from good quality planed seasoned timber, free from knots and other defects or from other approved materials.
- The sheeting timber shall be wrought tongued and grooved and shall be suitably propped and braced to resist the weight and pressure to the concrete without distortion. The inner surface of the formwork shall be treated with an approved mould oil or retarding compound as appropriate, and the formwork shall be carefully cleaned before re-use. The formwork shall be close-jointed throughout prevent leakage of cement paste or fine aggregate. The formwork can be removed without disturbing the supports under the soffits. Suitable camber shall be provided in formwork for beams and floors to compensate for any subsequent deflections. The formwork to vertical sides of walls beams, etc shall be supported by means of suitable external braces, internal metal fasteners, or bolts. The use of internal timber spacers or wire ties will not be permitted. The formwork shall be thoroughly cleaned out before concreting and shall be provided with temporary opens to facilitate the removal of debris.

3. CONCRETOR (continued).

3.22 Holes & Chases in Concrete Holes, chases and other openings required for the passage of pipes, conduits, etc., shall be provided by inserting suitable sleeves, cores and sinkings before placing the concrete. The Sub-Contractors shall be required to furnish full informat in regard to the position and size of such opes and chases, and the position of bolts, clips and other fastenings. The cutting of chases, holes or other openings in the finished work shall not be permitted without the sanction of the Architect. Such holes and chases shall be made only in approved locations and shall be cut with the approved tools.

Gutters to be formed in slab as detailed.

3.23 Reinforcement Rolled mild steel bar, shall comply with the requirements of British Standard 785. The sizes and other dimensions of the reinforcement shall be checked against the drawings and site dimensions before the material is ordered. The reinforcement shall be cut, cold bent and hooked to the dimensions shown on the drawings and schedules or to such other dimensions as may be directed.

3.24 Alternative Bar Sizes No alteration or substitution shall be made in the lengths, sizes or arrangement of the reinforcement, without the prior written approval of the Architect.

3.25 Fixing Reinforcement. Reinforcement shall be maintained in its correct position by means of suitable clips, soft tying wire or welding, supplied by the Contractor at his own expense. The knots in the tying wire shall be located on the side remote from the surface and shall not project into the space between the reinforcement and the surface of the concrete.

The correct cover shall be maintained by means of suitable metal spacers or small concrete blocks or concrete washers, wired to the reinforcement. Such spacers shall be supplied at the Contractor's expense. The Contractor shall not commence concreting on ay section of the work until the formwork and reinforcement have been approved by the Architect.

3

CONCRETOR (continued)

Mesh and fabric reinforcement shall be supported in their correct position by small concrete blocks spaced not further apart than two feet in both reinforcement shall be similarly supported at intervals of not more than 1500 mm apart.

3.26 Responsibility of Contractor

The Contractor shall be responsible for any injury to work and any consequential damage caused by or arising from the removal and striking of formwork, centering and supports, and any advice, permission or approval given relative to their removal shall not relieve the Contractor from the responsibility here defined.

3.27 Equipment

All mixing machines, vessels, platforms tools and implements used for mixing, transporting or placing concrete shall be well maintained and shall be kept clean at all times.

3.28 Concrete Lintels

Concrete lintels to window and door ope to be reinforced by a mild steel rod 12 mm diameter for openings up to 1200 mm and 18 mm diameters for openings above 1200 mm wide and one for every 100 mm in the thickness of the wall carried; to be 150 mm deep for all apertures up to 1200 mm in the clear width and 25 mm deeper for each 300 mm beyond 1200 mm. The lintels to bear 100 mm minimum on the walls at each end and to have the surface hacked to take plaster.

Alternatively, precast, prestressed concrete lintels conforming to B.S. 1239 (1956) and produced by an approved manufacturer may be used.

3.29 Reinforced Concrete Beams.

Where indicated on drawings any reinforced concrete beams shall be detailed and reinforcement specified.

3.30 Concrete Cills

To be finished fine and bear minimum 100 mm on wall each side of ope, to be rebated, weathered and throated. Cills to project 50 mm on finished face of wall and to be 65 mm thick at face edge. Cills to be reinforced with 3 number 12 mm bars or reinforcing mesh, or as indicated on drawings.

3. CONCRETOR (continued)
- 3.31 Concrete Steps. To be finished fine, mix as for external paving. Provide fall in steps away from house. Riser to be splayed back 25 mm from nosings.
- 3.32 Hearths To be brought up from sub-floors in mass concrete and finish fine in sand and cement screed for tiles. Hearth to extend minimum 300 mm on each side of opening and 600 mm from face of breast.
- 3.3 Solid Concrete Floors. To be 150 mm thick, mix as for sub-floor, lay with 1000 gauge polythene film. Before placing concrete hardcore filling to be blinded with stone dust before laying of polythene, and carry polythene up edge of concrete slab and under d.p.c at all walls.
- 3.44 Foundations All foundations to be not less than 300 mm thick and to widths as specified on drawings. Foundations under chimney breast to project 225 mm on wall face on all sides. If foundations are not finished in one operation, joints to be halved and lapped 50 mm on either side on resumption of paving. Unless foundations are reinforced 100 mm mild steel rods lapped and hooked and laid longitudinally at 100 mm concrete to be used and placed 50 mm from undersides of foundations bottom. Where stepped foundations are necessary, concrete shall overlap at least 600 mm and steppings shall not exceed 250 mm in thickness.
- 3.35 Beam Filling. The Contractor is to provide for beam filling at eaves and gables in 8:1 concrete.

BLOCKLAYER

- 4.1 BLOCKS Solid concrete blocks to comply with L.S.20 (1971).
- 4.2 RISING WALLS To be carried up in concrete blocks from foundations. Blocks to be bedded in sand and cement only. Where rising walls are specified as mass concrete this mix to be as for foundations. Walling to be 300mm cavity - cavity to start at foundations or where site may be damp cavity will start one block below d.p.c. all as directed by the Architect.
- 4.3 D.P.C. To be of approved type 5 ply bitumen on jute or canvas base (to I.S.S. 57, 1955), to be provided on all tassels and all rising walls and to be minimum 6" above ground level and lapped 150mm at all joints: under all cills for full length of same and turned up backs of same. Over all lintels of external opes at Ground Floor heads of cavity wall construction. Alternative Polythene to BS 743.
In all vertical joints at abutting of inner and outer leaves of cavity walls at reveals and opes.

On all chimney shafts immediately above the flashings for entire area of chimney.
- 4.4 CAVITY WALLS Build the cavity walls with cavities of the widths shown upon the drawings. Bond the two thickness of brickwork together with wall ties, as described, spaced 900mm apart horizontally, 450mm vertically and staggered and with extra ties at reveals and openings; the ties to be carefully laid so that they do not fall towards the inner thickness of the walls. Keep the cavity clear by lifting screeds or other means, leave openings at the base, clean out cavity at completion and subsequently brick up the openings uniformly with the surrounding work.

- 4 BLOCKLAYER (continued)
- 4.5 Partitions To be 112.5 and 225mm concrete blocks and all bonded to abutting walls as indicated on drawings.
- 4.6 Chimney Breasts To be carried out in solid blocks bedded etc. in gauged lime mortar. Form all throats and gatherings to flue openings with easy curvature and include where necessary for pargetting throats in fine mortar. Form all fire opes for grates.
- 4.7 Flue Liners To be 200mm clay liners in accordance with I.S.S. 51, 1953 and to be cleared as work proceeds and entire swept clean on completion.
- 4.8 Floor Vents Provide floor vents where indicated on drawings to maintain cross ventilation of all joisted floors. Vents through cavity walls to be by means of sealed pipes or sealed metal ducts 225 x 150mm G.I. louvred vent grill on outside and weather at bottom.
- 4.9 Vents Permanent ventilation to be provided to all rooms through aluminium grilles in window section.
- 4.10 Masonry Provide selected stone facing as indicated on drawings.
- 4.11 Mastic Asphalt Rake cut concrete blockwork joints to provide key for 19mm vertical mastic asphalt laid in 3 coats. Protect asphalt coat from loading wall by a 25mm layer of grout.
- 5 CARPENTRY/JOINERY
- 5.1 Timber All timber to be the best of its respective kind. Moisture content maximum for high class carpentry work to be 15% and for rough joinery 20%. All timber to be free from large knots and sap and to be the best obtainable at the time of ordering. Roof and floor timbers to be white deal and wrot timbers to be red deal.

5

CARPENTRY/JOINERY (Continued)

- 5.2 Preservation All wallplates, ends of purlins, ends of all joists and rafters to receive two coats of approved preservative and all timbers built into wall.
- 5.3 Workmanship All woodwork to be neatly joined together using all usual methods of jointing and all to good standard practice.
- 5.4 Glue All glue to comply with B.S. 743 (1969).
- 5.5 Timber for Trussed Rafters The timber used in the construction of timber trussed rafters may be European redwood or whitewood, commercial western hemlock or Canadian spruce having a quality not inferior to composite grade as defined in B.S.C.P. 112 (1967).
- 5.6 Connector Plates for Trussed Rafters The steel for connector plates for timber trussed rafters shall be in accordance with B.S. 1449 (1962) Part 1B. The plates shall be protected by a zinc coating in accordance with B.S. 2999 (1967) Class E for thickness and with properties of Class F. Penetration of all plate projections shall be at least half way through timber members.
- 5.7 Wind Bracing of Trussed Rafters Fix 44 x 35mm battens as wind bracing as shown on drawings;
- A. diagonally under rafters
 - B. diagonally across struts and ties
 - C. diagonally across top of ceiling joists.
- 5.8 Transport, Storage and Handling of Trussed Rafters Timber trussed rafters shall be transported and stored in a vertical position. Care shall be taken in the handling of trusses to avoid distortion.
- 5.9 Traditional Roof Construction To be constructed as shown on drawings. Timbers to be
- | | | |
|-----------------|-------------|-----------------|
| Rafters | 125 x 38mm | at 450mm centre |
| Collars | 125 x 38mm | |
| Ceiling Joists | 125 x 38mm | at 450mm centre |
| Purlins | 175 x 75mm | |
| Struts | 100 x 75mm | |
| Ceiling Runners | 75 x 50mm | |
| Hangers | 125 x 38mm | |
| Fascia | 300 x 25mm. | |

- 5.21 Linen Press: To be fitted with 4 number shelves of 75 x 25 mm laths with 25 mm air space between them on 75 x 25 mm bearers at 450 mm centres.
- 5.22 Kitchen Allow the P.C Sum of £ for kitchen fittings
Fittings: to detail drawings.
- 5.23 Architraves: Provide and fit to all doors 100 x 20 mm wrot deal rounded on edge architraves, secured to framing, neatly mitred at corners.

SECTION 6

ROOFER & EXTERNAL PLUMBER

- 6.1 Roof: Pitched roof with selected concrete tiles, laid on trussed rafters designed to comply to ISS 193, as set out.
- 6.2 Felt: Untearable bituminous sarking felt to comply with I.S 56 (1951) lapped 6" at joints and ridges and carried down to form drip into gutter.
- 6.3 Roof Tiles: Interlocking concrete tiles. Hang tiles to 44 x 38 mm sawn softwood battens and nail in accordance with manufacturers instructions.
- 6.4 Insulation: Provide and fix 150 mm quilt fibreglass in roof space on 500 guage D.P.M.
50" fibreglass quilt over ceilings on 500 D.P.M.
Provide and fix 50 mm rigid insulation around water tanks.
- 6.5 Rainwater Goods: 6" half square p.v.c. gutters and 4" downpipes complete with all necessary fixings and fittings and all fitted in compliance with manufacturers instructions.
- 6.6 Trapdoor in Ceiling: Provide access to roof area in ceiling joists 300 x 600 and trim around same and provide removable $\frac{1}{2}$ hour door to close off ope and leave neat and tidy to match existing ceiling finish.
- 6.7 Wall Vents: Provide C.I. vents built in to external walls, one to each room.
- 6.8 Roof Vents: Provide and fix in roof soffit on each side of house no 4 approved vents for roof ventilation, Glide Vale or other approved. Alternatively provide continuous 25 mm vent fine wire gauze covered strip to each soffite line.
- 6.9 Wall Restraint straps: Provide and fix to gables and hip gables approved galvanized gables straps at 1200 centres built into walling and fixed to minimum 3 rows of roof trusses with spacers distance bolt between walling and first truss.

6.10 Lead

Flashings:

Lead to be No. 5 best sheet milled lead to comply with B.S 1178 (1969). At sides and front of chimney neatly dress No. 5 lead for a width of 150 mm over tiles and 160 mm up against stack. Cover flash in No. 5 lead. Form chase in chimney and return lead cover flashing into same, secure with lead wedges and point with cement mortar. When plastering, form bell cast over chase. Where chimney stack is not astride ridge, provide lead gutter at back in No. 5 lead laid on 19 mm boarding carried up under tiles to a height of 150 mm vertically back over sole board and dressed 150 mm up against back of stack and cover flashed in No. 5 lead.

Provide No. 5 lead collar to vent pipe where passing through roof, neatly dressed into tile form and into joint in vent shaft.

7. PLUMBING

- 7.1 Internal: All internal plumbing shall include all work, attendance, cutting holes etc, and for supplying all labour and materials and for the fixing of the fittings as specified. The work shall be carried out in a first class manner and in accordance with Dublin Corporation requirements.
- 7.2 Sanitary Provide P.C Sum £ for sanitary ware and for Fittings: complete installation.
- 7.3 Water Tank: Provide 100 gallon galvanised steel cold water storage tank and fit ball valve to I.S. 9 (1949). Also provide and fit 30 gallon copper cylinder where indicated in hot press and connect up as described. Include for lagging jacket. Water tank to be supported as shown on drawings.
- 7.4 Waste Pipes: Sink waste in kitchen, bath and lavatory basin to be in approved plastic piping; bath and sink to be 38 mm, whb to be 25 mm diameter and discharge over gullies externally. Armitage Shanks or other approved.
- 7.5 Overflows: To bath, basin and sink to be in 18 mm copper piping. Provide all bends, elbows, tees, etc and properly connect to fillings, etc. Provide 18 mm copper overflow from roof tank and direct same to discharge over or near back door.
All plumbing goods to comply with Local Authority standards.
- 7.6 Cold Water The Contractor is to provide for a mains connection to the house, or in the case of a well and pump, he is to provide for installing a specified pump where indicated and providing an 18mm plastic (heavy gauge) supply pipe to roof tank with tapping to cold tap at sink prior to roof tank connection. Run 12 mm supply in copper from main in roadway to stop-cock inside front boundary. 12 mm plastic supply pipe from stop-cock. Water supply finished ground level.
Run 12 mm copper supply to w.c. from tank.
Run 18 mm supply to cold tap at bath and 12 mm supply from this to cold tap at w.h.b.

7.5 Overflows: To bath, basin and sink to be in 18 mm copper piping. Provide all bends, elbows, tees, etc and properly connect to fillings, etc. Provide 18 mm copper overflow from roof tank and direct same to discharge over or near back door.

All Plumbing goods to comply with local Authority standards.

7.6 Cold Water Services: The Contractor is to provide for a mains connection to the house, or in the case of a well and pump, he is to provide for installing a specified pump where indicated and providing an 18 mm plastic (heavy gauge) supply pipe to roof tank with tapping to cold tap at sink prior to roof tank connection. Run 12 mm supply in copper from main in roadway to stop-cock inside front boundary. 12 mm plastic supply pipe from stop-cock. Water supply finished ground level.

Run 12 mm copper supply to w.c. from tank.

Run 18 mm supply to cold tap at bath and 12mm supply from this to cold tap at w.h.b.

Run 18 mm copper supply to copper cylinder.

Run 12 mm copper supply to kitchen sink from 18 mm copper expansion pipe of copper cylinder.

Run 18 mm copper supply from expansion pipe to bath and a 12 mm branch to w.h.b.

/.....

Run 18 mm copper supply to copper cylinder.

Run 12 mm copper supply to kitchen sink from
18 mm copper expansion pipe of copper cylinder.

Run 18 mm copper supply from expansion pipe to
bath and a 12 mm branch to w.h.b.

Provide all bends, elbows tees and reducers etc.

7.7 Stop-cocks

Provide 18 mm stop-cock in house on cold supply
from storage tank to copper cylinder and 12 mm
stop-cock on main supply inside boundary wall
in front garden.

7.8 Central

A. Gas

Provide for Gas fired installation completely
installed to detail by proprietary Gas Company
Calor Gas or other.

or B Electrical

Provide for installation of Golden Seal Heating
installation to details by E.S.B.

ELECTRICAL

- 8.1 This work to be executed by a firm of specialists and to be in accordance with E.S.B. requirements. Allow a P.C Sum of £ for electrical work as specified below.
- 8.2 Attendance The Contractor to provide for cutting all holes, chases, building-in, etc in walls, floors and roofs, in connection with the Electrical Contractors executing the above works and for making good after same.
- 8.3 Points to be Provided. The Contractor is to provide for one light point to every compartment within the house. Provide for two-way switching to hall light. Provide for 2 double socket outlets in each bedroom and living room and 3 double sockets in kitchen. Provide for 1 cooker point in kitchen. Provide number 2 outside light points at front and back door. Bathroom switch to be located in lobby outside same. Provide light point in any garage, lobby or hall.
- 8.4 Fittings Switches, sockets, etc to be sunk bakelit type; all sockets to be 3 pin type and properly earthed to E.S.B. satisfaction.
- 8.5 Immersion Heater. Contractor to provide a double Immersion group in copper cylinder 500 W and 1500 W each separately switched. All exposed wiring in hot press to be asbestos-covered wire.
- 8.6 Meters The E.S.B. meters and fuse board fitted by Contractor to be placed in a position approved Architect.
- 8.7 Earth Where plastic piping is used to connect to mains water supply and where it is not possible to use the water supply as an earth Contractor is to ensure a suitable earth by means of an earth rod driven into the ground for at least 1200 mm or to whatever alternative the E.S.B. may direct.
- 8.8 Indicator Switches Cooker unit and switch for Immersion heater to have red indicator lights for "ON" position.

8

ELECTRICAL (continued)

8.8 Indicator
Switches

Cocker unit and switch for Immersion heater to have red indicator lights for "On" position.

9

PLASTERER

9.1 Cement

The Portland cement shall be as described in Clause 4.1.

9.2 Sand

The sand shall be natural or crushed stone and to comply with B.S. 1198 (1952) for plastering, and graded to Class "A" requirements for both under-coats and finishing coats of "Gypsum" plasters only.

9.3 Cement Lime
Mortar

Cement lime mortar to be composed of 6 parts of sand, one part of lime putty and one part of Portland cement well-mixed for wall above damp proof course.

9.4 Water

The water used for mixing shall be clean and free from set plaster and other impurities.

9.5 Internal
Plastering

Scud, gyplite bonding and gyplite finishing coat 15mm total thickness to manufacturer instructions.

9.6 Coving

Provide for plaster concave coving to all principal Rooms and Landings.

- 9 PLASTERER
- 9.1 Cement The Portland cement shall be as described in Clause 4.1.
- 9.2 Sand The sand shall be natural or crushed stone and to comply with B.S. 1198 (1952) for plastering, and graded to Class "A" requirements for both under-coats and finishing coats of "Gypsum" plasters only.
- 9.3 Cement Lime Mortar Cement lime mortar to be composed of 6 parts of sand, one part of lime putty and one part of Portland cement well-mixed for wall above damp proof course.
- 9.4 Water The water used for mixing shall be clean and free from set plaster and other impurities.
- 9.5 Internal Plastering Scud, gyplite bonding and gyplite finish coat 15 mm total thickness to manufacturer instructions.
- 9.6 Coving Provide for plaster concave coving to all principal Rooms and Landings.
- 9.7 External Plaster Scud in cement and coarse sand (1:3) and render in 1 part hydrated lime, 1 part cement and 3 parts sand finished 12 mm thick smooth and even. Finished coat to be 12 mm 1:2:6 lime, cement, sand to fine nap finish. Alternatively, 12 mm rough cast finish in 3:1 sand and cement may be applied. Form true edges and arrises, etc. Reveals to be finished as above keyed into rebates and finished 25 mm thick and 25 mm proud of plasterwork.
10. GLAZIER
- 10.1 General Glass to be the best of its respective kind and conform to B.S. 952 (1964). Glass is to fit accurately into rebates, after priming and is to be well back puttied sprung and puttied. Outside putty is to finish the full depth of rebate. Putty to be linseed oil putty to B.S. 544 (1969). Most of the glass in the metal windows will be pre-glazed.

10.2 Clear Glass

Clear glass to be sheet glass 3 mm for areas up to 0.50 m², 4 mm glass for all areas up to 1.12 m², and 6 mm for larger panes. Glass to conform to B.S. 952 (1964) and shall be the best of its kind, clear of all specks, waves, air bubbles and defects to every kind.

10.3 Obscured Glass

Obscured glass to be small white arctic glass.

10.4 Glazing to Doors

Glass in panels to doors to be bedded in putty and held in position with glazing slips and bedded in mastic putty or to Architect's details.

11

PAINTER

11.1 General

None other than skilled workmen, except apprentices, to be employed on the works. All paint etc, is to be prepared and applied strictly in accordance with manufacturer's instructions.

11.2 Workmanship

All surface's to be thoroughly dry before knotting, stopping or painting. No paint shall be applied externally in foggy or inclement weather and all necessary precautions are to be taken to prevent damage to paint by frost, etc. The surfaces of all new priming coats and undercoats are to be properly filled and sanded down and dusted of between coats as required. Painting shall not be proceeded within any room unless it is free from dust and washed out. Walls to be rubbed down, filled and free of all blisters and blemishes before decoration. On no account is emulsion paint to be used as a primer to woodwork.

11.3 Materials

All painting materials to be the best of their respective kinds. Approved proprietary brands to be applied in accordance with manufacturer's instructions.

11.4 Internal Painting

All ceilings and walls to be painted a minimum of 2 coats proprietary wall finish. All woodwork to be prepared, knotted, stopped, and painted 2 undercoats and one finish coat of high gloss enamel.

11

PAINTER (continued)

11.5 External Painting

All external woodwork to be prepared, knotted, stopped, primed and painted 2 undercoats and one finish coat of high gloss enamel.

Where external ironwork is used it is to be cleaned and painted 2 undercoats and one finish of high gloss enamel.

12.

HEATING

12.1 Fireplaces

Provide for no 1 fireplace complete to each house P.C for hearth and surround.

12.2 Space Heating

Provide heating system for each house unit.

1. Electrical insulated system to E.S.B. requirements and details.

Alternative Contractor may consider gas or oil heating system to approved detail layout and specification.

13. DRAINAGE AND WATER SUPPLY.

- 13.1 Concrete Beds: Lay in trenches under drain pipes, gulleys, junctions, etc., layer of Mix C concrete, as described at 4.4 below. The concrete under pipes to be of a minimum thickness of 100 mm laid to falls, and of a width equal to twice the external diameter of the pipe resting thereon and benched halfway up pipe.
- 13.2 Drain Pipes: Drain pipes to be used generally may be either of p.v.c., salt glazed stoneware or concrete to Irish Standards 6 (1949).
All pipes under roadways to be cased in concrete minimum 150 mm thick all round. Concrete or stoneware pipes to have joints packed with tar gaskin and fitted with cement mortar, executed neatly. Alternatively concrete or glazed stoneware pipes may be jointed with flexible joints and laid on 150 mm thick concrete bed extending 23 mm each side of pipe and haunched to level of drain.
Consolidated p.v.c. pipes jointed with rubber ringed plastic couplers may be used, laid on a granular bed as a base, 50 mm thick and backfilled to top of pipes, and finally covered to a depth of 150 mm over barrel of pipes with similar material.
- 13.3 Laying Drains: Lay all drains to the necessary falls and connect them to the gulleys, junctions, soil pipes and manholes, in such a manner that every line of drain is straight and true from point to point with regular gradient throughout its length.
- 13.4 Armstrong Junctions: To be 225 x 225 mm glazed stoneware with galvanised heavy cast iron cover and frames set on and surrounded with 150 x 150 mm thick concrete Mix A as described at 4.4 below.
- 13.5 Gully Traps: To be 150 x 150 salt glazed stoneware back inlet type gulleys with outlet jointed to drain and fitted with heavy galvanised gratings and set on and surrounded with concrete Mix A well dished down to grating.



- Section 14 BOUNDARY WALLS, GATES & LANDSCAPE.
- 14.1 Garden Walling All back garden walls to be 1.600 m high, capped
Rear: rendered and painted 225 mm block complete with
d.p.c.
- 14.2 Front Wall 400 high x 225 wide selected brick finished front
wall to detail.
- 14.3 All Existing All existing trees to be retained subject to
Trees: individual agreement on site. The ground about
all trees to be retained must remain undisturbed,
building materials may not be stored near trees
and trees may not be used for the support of
temporary fencing and signs etc. Only a competent
landscape contractor may lob or fell trees bushes
or substantial undergrowth.
- 14.4 Grass Areas. The open spaces, grass verges and all front gardens
to receive 6" topsoil seeded for grass by a competent
Landscape contractor.
- 14.5 Paving Slabs Where shown on the drawings on 2" sand, on 2"
building concrete, on 5" compacted hardcore all
carefully grouted and levelled to falls below
surrounding grass.
- 14.6 Paths: Paths shall be constructed on hardcore base with
600 mm concrete Mix B, finished fine and rolled
with proprietary roller, in length of 6 m between
expension joints.
- 14.7 Landscapes A full landscape proposal to be prepared for areas
Work: indicated on drawings and re submitted to Parks
Department, Dublin Corporation and an approval
to be executed by competent landscape contractor.
- 15 SPECIFICATION EXTERNAL WORKS.
15. Roads: Sub base to road and circulation areas shall consist
of crushed rock and shall comply with clause 804
of the D.O.E "Specification for Roadworks". It
is to be laid and compacted in accordance with
clause 802 of the D.O.E Specification. Minimum
Thickness 300 mm.

Road base to road and circulation areas shall consist of 75 mm thickness of dense Bitumen Macadam and shall comply with clause 2.1.1 of B.S. 4987. It is to be laid and compacted to clause 704 and 705 of the D.O.E. Specification.

Road and circulation area surfacing shall consist of 30 mm of 14 mm dense Bitumen Macadam to clause 2.3.4 B.S 4987 of 35 mm of 20 mm dense Bitumen Macadam to clause 2.2.6 B.S 4987.

- | | | |
|-----|----------------------|---|
| 16. | E.S.B. | Mains shall be laid to E.S.B requirements and details. |
| 17. | Street Lighting: | Standards and services shall be provided to E.S.B. requirements. |
| 18. | Telephone Cables: | Shall be laid to An Bord Telecom's requirements below ground level. |
| | Television Services: | Ditto on above. |

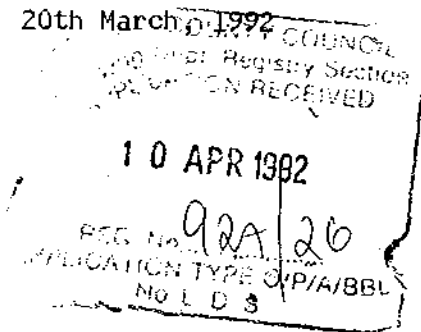


PORSCUL CONTRACTORS LIMITED

Landscape Contractors

Fortunestown Lane, Belgard,
Tallaght, Dublin 24.
Tel: 511132

Patrick Rooney & Associates
55 Merrion Square,
Dublin 2.



Re: Housing Project at Firhouse, Tallaght.

Dear Sirs,

The following are our recommendations on the existing trees at the above site as discussed:

- There are two lines of evergreen trees (Cupressus Macrocarpa). All are in good condition and should be retained with the exception of :

1 no. dead - remove	1 no. Ash damaged by fire - remove
1 no. leaning at an angle - remove	1 no. Sycamore mutilated - remove

Further treatment: Remove all Ivy;
Treat wounds;
Remove all scrub adjacent to stems;
Spray and kill off grass and weed growth within 1m of stems.

- Young Cupressus are all in good condition;
Treatment: Remove supporting stakes and ties;
Spray at base to remove weeds and growth.

Yours faithfully,

John Culleton



HOUSING PROJECT AT FIRHOUSE, TALLAGHT.

PLANTING

The Landscape Sub-Contractor shall furnish all labour, plant, materials, associated soil and plant ameliorants, various other accessories and material and equipment to successfully complete the landscape works as specified here and/or indicated on the drawings.

Item 1
SUB-
CONTRACTORS
WORK

Planting operations shall be carried out in accordance with the requirements of sections 7, 8 and 9 of BS 4428, 1969, "Recommendations for General Landscape Operations".

Item 2
STANDARD
OF
OPERATIONS

All plants shall be obtained from an approved source.

Item 3
PLANT
PREPARATION

As plants arrive on site they shall be planted immediately in their prepared positions. In the event of a delay they shall be heeled in firmly in a sheltered position. Care shall be taken to ensure that as little disturbance as possible occurs to the roots of the plants and soil balls shall be kept intact during planting operations. If roots appear unduly dry on arrival, they are to be soaked in water. Any roots, shoots or branches, which have suffered minor damage prior to planting are to be carefully pruned. Pruning shall be done in such a manner as not to damage the natural habit or shape of the plant. All cuts shall be made flush leaving no stubs. Plants showing more than minor damage will be rejected and must be replaced. In the case of trees, wounds exceeding 25mm diameter shall be treated with an approved sealant (eg. Arbrex).

Pot grown plants shall not be removed from the pots until they are on site and the planting pits have been prepared.

All plants to conform to BS.3936:1965 Nursery Stock.

Item 4
PLANT
QUALITY

All plants shall have a habit of growth that is normal for the species and shall be sound, healthy, vigorous and free from pests, plant diseases, sun scalds or fresh abrasions of the bark. Any tree with a weal, thin trunks, not capable of supporting itself when planted in the open will not be accepted. All plants shall conform to the measurements specified in the Plant Schedule and conform to BS.3936:1965 Nursery stock. They shall be measured before pruning with branches in normal position. Plants larger in size than specified may be used if approved by the Landscape Architect, but the use of larger plants will make no change in the contract price. If the use of larger plants is approved, the ball of earth or spread shall be increased proportionately.

All plants shall be according to the varieties and sizes listed on the planting schedule and shall be planted as located on the drawing. No substitution shall be made without the written consent of the Landscape Architect. Plants of other kinds to be used in lieu of those named in the plant schedule will be accepted provided, in the opinion of the Landscape Architect, the proposed substitute in each case possesses the same essential characteristics as the kind of plant actually specified.

Item 5
PLANT
MATERIAL

All top soil shall conform with BS 3882, 1965. Topsoil shall be fertile, friable, natural loam containing a liberal amount of humus and shall be capable of sustaining vigorous plant growth. It shall be free of admixtures of subsoil and shall be reasonable free of stone, lumps, clods of hard earth, plants or their roots, stick or other extraneous matter. It shall not be used for planting while in a muddy condition.

Item 6
TOP SOIL

All cultivations shall be approved by the Landscape Architect before planting commences. Tree planting shall precede surrounding shrub planting. Where seeding has been carried out adjacent to these areas they shall be protected from damage that may be caused by the planting operation. Plants are to be positioned as per drawing.

Item 7
PLANTING

Planting operations shall be suspended when planting conditions, weather or other factors are unfavourable for successful planting, at the discretion of the Contractor and/or the Architect.

Item 8
PLANTING
SEASON

All plant pits shall be circular in outline, have vertical sides and flat bottoms. The depth of plant pits shall be measured from finished grade. The excavation for the trees shall be deep enough to allow the bottom to be covered with a minimum layer of 200mm of top soil before placing the trees. Diameter of pits for all shrubs and vines, except those supplied bare-rooted (BR), shall be at least 600mm greater and 200mm deeper than the ball. Bare-root shrubs and vines shall be planted in pits at least 300mm greater in diameter and 200mm deeper than the spread of the roots.

Item 9
PLANTING
PITS

Before setting plants, a minimum of 200mm of top-soil shall be placed in the pits. They shall be planted at the same elevation as when growing in the nursery: they shall be planted upright and faced to give the best appearance.

Item 10
SETTING
PLANTS

Where evergreens are planted in areas with a heavy sub-grade, 75mm of 20mm crushed stone shall be placed at the bottom of the pit before adding the top soil.

Planting shall be done carefully and placed so that the final grade shall be the same as when the plant was growing in the nursery. Burlap shall only be loosened around the ball and pushed to the bottom. In the case of container grown plants all parts of the container shall be removed and the plant planted without undue disturbance to the roots, then watered and compacted.

Roots of bare-root (BR) plants shall be spread out to approximately their original position and top soil carefully worked in among them. All broken or frayed roots shall be cut off cleanly. The top soil shall be put in and tamped in successive 200mm layers. When the hole has been nearly filled, water shall be poured in and allowed to soak away so that all voids or air-pockets under or around the roots are eliminated. After the water has soaked down, the hole shall be filled with top soil. A shallow saucer capable of holding water shall be formed around each plant by piling a mound of top soil around the edge of each pit. After the ground settles, additional top soil shall be filled in to the level of the finished grade.

Planting shall not be carried out in water-logged soil or during periods of frost, drought or cold drying winds.

All plants shall be planted to the depth of the existing level as indicated on the stem and roots spread out within the planting pit. Any staking that is required shall be set and driven in vertically with the plant centred in the pit prior to backfilling. On no account shall stakes be driven in after planting. Topsoil shall be backfilled and heeled or pressed firmly around the plant roots taking care not to damage them. Plants in excess of 2M in height should be rocked slightly to assist soil compaction and disturb any pockets of air that may otherwise develop. The surface around plants shall be slightly cambered to prevent waterlogging. Plants shall be well watered in at the time of planting.

Item 11
PLANTING
PROCEDURE

The Landscape Contractor shall allow for the adequate watering in of all newly planted trees and shrubs immediately after planting takes place in the spring.

Item 12
WATERING

All shrubs which are supplied with their roots balled or pot grown, shall be well soaked prior to planting, particularly evergreens and conifers.

All plants shall receive pellets of Sierra Grotabs or equal in planting pit at planting time before filling in, following manufacturers' instructions.

Item 13
GROTABS

Newly planted trees must be held firmly although not

Item 14

rigidly by staking to prevent a pocket forming around the stem and newly formed fibrous roots being broken by mechanical pulling as the tree rocks.

TREE
STAKES

Each tree shall be provided with a 100mm diameter or 100mm x 100mm larch or other approved pressure treated pole. Each pole shall be 600mm longer than the clear stem of the tree and driven 600mm to 900mm into the soil.

For trees in open ground all stakes are to have a minimum of 750mm below ground level, vertically set and firmly bedded. The stake tops are to be left 75mm beneath the base of the tree crown. Stakes shall be cut when necessary to conform to tree growth.

Each tree shall be firmly secured to the stake so as to prevent excessive movement. Abrasion must be avoided by using a buffer, rubber or hessian proprietary tie between the stake. The tree shall be secured at a point just below its lowest branch and also just above ground level. Normally two ties shall be supplied to each tree. They shall be adjustable or replacable to allow for growth.

Item 15
TYING

Following planting a slow release fertilizer shall be applied, eg. Osmacote or equal.

Item 16
FERTILIZER

Following planting, and before application of mulch a herbicide shall be applied to the planting beds the soil, eg. Simazine or equal.

Item 17
HERBICIDE

Mulching of the planting bed with 75mm compacted bark chippings shall be carried out by the Landscape Contractor following approved planting of shrubs, trees and ground covers by the Landscape Architect. This mulch shall have been properly composted to avoid robbing of the soil of nitrogen

Item 18
MULCHING

The soil shall be levelled off to a tolerance of 20mm to remove clods of soil, stones, ruts, etc.

All edging between planting and grassed areas shall be smoothly profiled down to 75mm below surrounding surfaces so that mulch depths on all edges are no less than 75mm. The spoil which is removed in this profiling should then be levelled off into the broad shrubbery and lost.

Mulch shall be installed to a uniform compacted depth of 75mm over the entire planting area and kept back from the stem of all plants to allow good air circulation during the settling in period.

There shall be no intermixing of the mulch and the

underlying soil. Preparation and care should be taken with heavy footprints and wheelbarrow tracks throughout the planting area. All edges shall be carefully laid with mulch up to the surrounding surface level with no falling off of soil and subsequent intermixing.

Loosley cultivated planting areas shall not be mulched until the soil has firmed down.

The Period of Establishment shall begin immediately after planting and shall continue for a minimum of two weeks. During this period the Landscape Sub-Contractor shall maintain all planted areas within the landscape contract boundaries until the area is handed over in whole or in phases. Maintenance shall include watering, weeding, cultivating, control of insects, fungus and other diseases by means of spraying with an approved insecticide or fungicide, pruning adjustment and repair of staking and wires; repair of minor washouts and other horticultural operations necessary for the proper growth of the plants and for keeping the landscape sub contract area neat in appearance.

Item 19
PERIOD
OF ESTABLISHMENT
AND
INTERIM
MAINTENANCE

The Maintenance Period shall commence after approval of the Period of Establishment and shall continue until the project is taken over.

During this Maintenance Period the Landscape Sub-Contractor will be required to rectify any defects which may occur in the Contract and replace failed plant material - except that due to vandalism - at his own expense.

Item 20
MAINTENANCE
PERIOD

Any soil, manure, peat or similar material which has been brought into paved areas by handling operations or otherwise shall be removed promptly. Upon completion of the planting, all excess soil, stones and debris which has not previously been cleaned up shall be removed from the site or disposed of as directed by the Landscape Architect. All ground areas disturbed as a result of planting operations shall be restored to their original condition or to the desired new appearance, as directed by the Landscape Architect.

Item 21
CLEAN UP

The Landscape Sub-Contractor shall be responsible for replacing without charge any trees, evergreens, shrubs and plants which fail to show a growth that is satisfactory within one (1) year after planting.

Item 22
GUARANTEE

(a) Half Standard:

A half standard shall have a sturdy reasonably straight stem 1.100m to 1.400m in height from ground level to the lowest branch and a minimum diameter of 10mm when measured between 600mm and 900mm from the ground. It shall have a well balanced branching head.

(b) Standard:

A standard shall have a sturdy reasonably straight stem 1.700m - 2.000m in height from ground level to the lowest branch and a minimum diameter of 10mm when measured between 600mm x 900mm from the ground. It shall, according to the species and the intended use, have either a well-balanced branching head or a well-defined, straight and upright central leader with the branches growing out from the stem with reasonable symmetry.

(c) Advanced Standard:

A tall standard shall have a sturdy reasonably straight stem 1.850m to 2.400m in height from ground level to the lowest branch and a minimum diameter of 25mm when measured between 600mm and 900mm from the ground. It shall, according to the species and the intended use, have either a well balanced branching head or a well defined straight and upright central leader with the branches growing out from the stem with reasonable symmetry.

(d) Feathered Tree:

A feathered tree shall have a defined, straight and upright leader and its stem shall be well furnished with lateral shoots.

(e) Shrubs:

General: The height of shrubs shall be stated, if requested. This height shall be measured from ground level, excluding the root-ball or any container.

Open-ground Shrub: An open-ground shrub, other than a shrub for a hedge, shall have been transplanted and according to species, be cut back or trimmed to encourage bushiness.

Pot-grown Shrub: A shrub which is pot grown or container grown may, according to species, be cut back or trimmed to encourage bushiness. The size of the pot shall be stated. Climbers shall be adequately staked.

PREPARATION AND SEEDING OF GRASSED AREAS.

As soon as the weather is suitable and the ground is sufficiently dry to be workable the following actions shall be undertaken:-

1. Remove all large stones, boulders, builders' spoil, household refuse, discarded Christmas trees, grass cutting and all other extraneous material, right into butt of hedge. All to be carted off site.
2. Deep rip twice, to a depth of 400mm, in transverse directions at 1m c/c. Remove any boulders, stones and debris over 100mm in any one direction, unearthed by this operation and cart away.
3. Hand dig around edge of existing kerb to ensure break-up of hard-pan.
4. Rotovate with four passes.
5. Harrow the whole area
6. Minor level to kerbs, manholes and natural falls. Finished level to be 50mm over kerbs and manholes so that after final settling the soil will be level with kerbs and manholes. Any displaced kerbs should be reset.
7. Stone rake to remove all stones over 50mm, and cart away.
8. Prepare a firm fine seed bed in the top 20mm of the soil.
9. Supply and spread fertilizer, 10:10:20 at 200kg per ha., following manufacturers' instructions.
10. Supply and sow seed, late flowering perennial rye grass, at 100kg. per ha.,
Johnson's Sportmaster or equal:-

Lolium perenne Arno	40%
Lolium perenne Manhattan	40%
Lolium perenne Sprinter	20%
11. Harrow in, ensuring a seed cover of 10mm.

The address of Johnson's Seed:
W.W. Johnson & Sons Ltd,
Boston, Lincs., England.

12. All to be lightly rolled.
13. Clean up.
14. Six weeks following seeding, apply calcium ammonium nitrate (27.5 N.) at 150kg per ha. and this treatment to be repeated at the end of the summer.
15. Following six months growth, spray with Verdane or equal, to eliminate persistent perennial weeds.

GENERAL CONDITIONS REGARDING SEEDING.

All seed and seeding of grassed areas is to conform with B.S. 4428:1969.

Item 1
SEED

The Landscape Contractor shall satisfy the Landscape Architect regarding the origin and germination of the seed and obtain approval for any variation in the mixture. The Landscape Architect may take samples of seed, when delivered to the site, to be tested for purity and germination. Seed mixtures to be as specified.

Operations shall be planned for sowing in the spring i.e. from the beginning of April to mid-May.

Item 2
TIME OF
SOWING

During any fallow period prior to sowing seed, the tilth shall be maintained free from weeds. No seed to be sown until the cultivation and preparatory work have been approved by the Landscape Architect.

Item 3
PREPARATION

No payment for re-seeding shall be made to the Landscape Contractor if the seed fails, due to any cause whatsoever. He shall be required to make good the soiling and repeat the seeding until a good sward is obtained.

Item 4
GERMINATION

Grass areas will only be accepted as reaching practical completion when germination has proved satisfactory and all weeds have been removed, after the second cut.

Damage, failure or dying back of grass due to neglect of watering, especially for seeding out of normal season shall be the responsibility of the Contractor.

Item 5
MAINTENANCE
AND DEFECTS
LIABILITY

Any shrinkage below the specified levels during the contract or defects liability period shall be rectified at the Contractor's expense.

The Contractor is to exercise care in the use of rotary cultivators and mowing machines, to reduce to a minimum the hazards of flying stones and brickbats. All rotary mowing machines are to be fitted with safety guards

ITEM 6
SAFETY

In preparation for sowing, the surface should be lightly and uniformly firmed and reduced to a fine tilth up to 25mm in depth by raking or harrowing with a spike and chain harrow. All large stones, (for general areas, stones more than 50mm in any dimension) should be removed from the surface.

Item 7
FINAL
RAKING OR
HARROWING

Sowing should be carried out during suitable calm weather conditions, at a rate of 100kg per ha. An efficient broadcast machine should be used. The operation should be carried out in equal sowings in transverse directions.

Item 8
SOWING

After sowing, the ground should be raked or chain-harrowed.

About 48 hours before topping, large stones (more than 50mm in any one dimension) should be removed and all areas rolled with a light roller to firm grass and press in remaining stones.

Item 9
INITIAL
CUT
{TOPPING}

When the grass is established and from 40mm to 75mm high, according to the seed mixture, it should be topped with a roto-sythe, so as to leave from 25mm to 50mm of growth, to cut weeds, to control the growth of coarser grass and to encourage tillering. Where mowing without a box produces a swathe, this should be spread evenly to prevent damage to the growing grass beneath. This applies particularly to grass cut during periods of dull or wet weather.

Maintenance shall consist of watering, weeding, cutting, repair of all erosion and settlement and reseedling as necessary to establish a uniform and healthy stand of the specified grasses and shall continue until taken over.

Item 10
MAINTENANCE

The Landscape Contractor shall include for eight cuts after the initial topping (9 cuts in all).

PROTECTION OF PLANTED AREAS

HOUSING PROJECT AT FIRHOUSE, TALLAGHT.

The Contractor shall protect newly planted areas with sheep fencing, as specified. These fences shall be maintained by the Contractor during the Maintenance Period, until such time as the park is taken over.

SHEEP FENCING

Provide woven wire square mesh fencing as covered by B.S.1722 part 2, 1973 in location as shown on drawing, type number medium weight 832/6, [topped by two strands of m.s. wire, 12.5 gauge, 2ply twisted with 14 gauge 4 point barbs spaced 75mm apart.]

Item 1
Wire

All wire and associated components such as nails, staples etc., are to be galvanized conforming to B.S.443 or I.S.121, with 1.2oz zinc per sq.ft of surface, coated after fabric fabrication.

Item 2
Finish

Posts and struts are to be larch, 2M x 175mm x 75mm, set in the ground by 600mm

Item 3
Posts

Posts to be set at 7.2M c/c with intermediate posts of 75mm x 75mm at 1.8M c/c set in ground by 600mm.

All timber to be impregnated before assembly with Sadolin, or equal, wood preservative following manufacturers' instructions.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Decision Order Number : P/ 0925 /92 Date of Decision : 4th March 1992

Register Reference : 92A/0026

Date Received : 9th January 1992

Applicant : Cunningham Group

Development : Development of 63 2 storey terraced, semi-detached
houses and bungalows

Location : Off Old Court Road, Firhouse, Tallaght

Dear Sir/Madam,

With reference to your planning application, received here on 09.01.92 in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts 1963 - 1990, the following additional information must be submitted in quadruplicate:-

- 01 The applicant is requested to submit a site location map, showing the site outlined in red. A discrepancy is noted between the position of the proposed road as shown on the site location map and its position as shown on the site layout. The applicant is requested to clarify this discrepancy, showing the correct position of the proposed road reservation which is 22 metres wide and to indicate if the road reservation forms part of the site curtilage of the application.
- 02 The applicant should note that the proposed road to the north of the houses is a district distributor road requiring a reservation of 22 metres and a building setback of 15 metres. The applicant is requested to indicate if he is prepared to modify the proposed development to show the omission of house nos. 19B, 28B, 17C and 18C and if he is so prepared to submit plans showing this.
- 03 The applicant is requested to submit a detailed landscaping scheme for the 2 areas of open space proposed indicating the trees which it is proposed to retain and planting proposals (e.g. species, numbers,

Patrick Rooney & Associates,
55 Merrion Square,
Dublin 2.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Reg.Ref. 92A/0026

Decision Order No. P/ 0925 /91

Page No: 0002

timescale for implementation etc.). The applicant should note that there are a number of mature trees which appear to be in good condition and which should be retained if possible. These trees should be properly surveyed and details of proposals to retain trees should be submitted. The applicant is advised to consult with the Parks Department prior to lodging this information.

- 04 The applicant is requested to demonstrate that adequate space about each house can be provided in accordance with development plan standards. It is noted that some houses have driveways which appear to be less than the required 7.5 metres in length (i.e. 9C, 10C, 11C, 12C, 12B) and that some of the rear gardens appear to be less than the required 10.7 metres long (i.e. 1C, 3C, 4C, 8A, 9A, 20B and 21B). The applicant should note that a distance of 2.3 metres should be provided between the flank walls of semi-detached and terraced houses.
- 05 The applicant is requested to indicate the proposed boundary treatment along the road reservation line to the north of the site.
- 06 The applicant is requested to demonstrate that no building will be located closer than 5 metres from a public sewer. (The applicant is to note that house no. 8B appears to be located less than 5 metres away from a sewer, the size of which is not indicated).
- 07 The applicant is requested to submit proposed drainage details (i.e. foul and surface) to houses nos. 2A-8B inclusive.
NOTE: The drainage systems between MH.S.83 and MH.S.100 appears to be shown incorrectly.
- 08 The applicant is requested to submit a revised watermain layout to include a 100mm. main to serve the 6 houses on the western extremity of the site. The applicant is advised to consult with the Area Engineer, Deansrath Depot, Clondalkin, prior to lodging this information.

Please mark your reply "ADDITIONAL INFORMATION" and quote the Reg. Ref. No. given above.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Reg.Ref. 92A/0026
Decision Order No. P/ 0925 /91
Page No: 0003

Yours faithfully,

A handwritten signature in black ink, appearing to read 'K. O'Sullivan', written over a horizontal line.

PRINCIPAL OFFICER

Date : 5/3/92

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 92A/0026

Date : 10th January 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

- DEVELOPMENT : Development of 63 2 storey terraced, semi-detached houses and bungalows
- LOCATION : Off Old Court Road, Firhouse, Tallaght
- APPLICANT : Cunningham Group
- APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application received on 9th January 1992.

Yours faithfully,
.....
for PRINCIPAL OFFICER

Patrick Rooney & Associates,
55 Merrion Square,
Dublin 2.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building Old Court Road Sites A & B, Firhouse, Tallaght adjoining
(If none, give description Old Bawn Road Junction.
sufficient to identify)

3. Name of applicant (Principal not Agent) Cunningham Group
Address C/o 55 Merrion Square Dublin 2. Tel. No. 610615

4. Name and address of Patrick Rooney & Associates Architects.
person or firm responsible 55 Merrion Square, Dublin 2. Tel. No. 610615
for preparation of drawings

5. Name and address to which As above.
notifications should be sent

6. Brief description of 63 No, Semi detached, terraced houses & Bungalows.
proposed development

7. Method of drainage Public Main 8. Source of Water Supply Public Main

9. In the case of any building or buildings to be retained on site, please state:
(a) Present use of each floor 2016
or use when last used. 9/1/92

(b) Proposed use of each floor

10 Does the proposal involve demolition, partial demolition NO
or change of use of any habitable house or part thereof?

11.(a) Area of Site 7 acres Sq. m.

(b) Floor area of proposed development 6790.98 Sq. m.

(c) Floor area of buildings proposed to be retained within site Sq. m.

12.State applicant's legal interest or estate in site Purchase agreed subject to Planning Permission.
(i.e. freehold, leasehold, etc.)

13.Are you now applying also for an approval under the Building Bye Laws?
Yes No Place in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
Draft Building Regulations have been duly adhered to.

15.List of applicant DUBLIN CO. COUNCIL enclosed with Newspaper advertisement.
required for development 4 Copies outline Specification.
of 63, 2 storey terraced, semi-
detached houses and bunge-
lows off Old Court Rd.
Firhouse, Tallaght for the
Cunningham Group. 4 Copies drawing no 987 - Cheque.

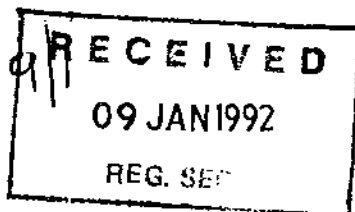
16.Gross floor space of proposed development (See back) 6790.98 Sq. m.

No of dwellings proposed (if any) 63 Class(es) of Development 1A

Fee Payable £ 5481 Basis of Calculation 87 x 63
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) D. O'Leary Date 20.12.91.

Application Type P/B FOR OFFICE USE ONLY
Register Reference 92A/0026
Amount Received £ 22-13 256.4
Receipt No
Date



Shil
Pres
7/1/92

13466 N 54520

2016 9/1/92

N 54332

RECEIPT CODE

COMHARLE CHONTAE ÁTHA CLIATH

PAID BY **DUBLIN COUNTY COUNCIL**
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

CASH
CHEQUE ✓
M.O.
B.L.
I.T.

BY LAW APPLICATION
N 54520

£ 2465.00

Received this 9th day of January 1992

from Cunningham Builders Ltd
To 2 Merrion Square
D.2

the sum of two thousand four hundred and sixty five Pounds

Pence, being no pence

for law application at Ok Court Rd.

Modena Deane Cashier

S. CAREY (Class 11.13)
Principal Officer

RECEIPT CODE

COMHARLE CHONTAE ÁTHA CLIATH

PAID BY **DUBLIN COUNTY COUNCIL**
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

CASH
CHEQUE ✓
M.O.
B.L.
I.T.

Issue of this receipt is not an
acknowledgement that the fee
tendered is the prescribed application
fee.

N 54332

£ 2016.00

Received this 9th day of January 1992

from Cunningham Builders Ltd
To 55 Merrion Square
D.2

the sum of two thousand and sixteen Pounds

Pence, being no pence

for planning application at Ok Court Rd.

Modena Deane Cashier

S. CAREY (Class 11.13)
Principal Officer

Architects

* 55 Merrion Square / Dublin 2 / Telephone 618662, 618600 / Fax 610615.
Flynn's Terrace / Sligo / Telephone (071) 62090 / Fax 61409.

Attention of, Planning Officer, Dublin County Council, Irish Life Centre, Lower Abbey Street, Dublin 1.	our ref PR/987/JV your ref date 20th December 91
--	--

RE: Housing Development of Sites A & B
Old Court Road.



Dear Sir,

We wish to apply for Planning Permission for 63 no houses on behalf of our Clients Cunningham Group.

We believe that our Clients are buying this site subject to a grant of Planning Permission. Also that the main services have already been carried out on site to drawings prepared by John B. Barry & Partners, for the NBA, drawings no 562/75/76.

We enclose herewith the following:-

- 4 Copies Out Line Specification.
- 4 Copies drawings no 987/1-9 incl., 13/13A, 15/16 /17/18 Completed Application form.
- Check for £5.481.00 (87 x 63).
- Newspaper advertisement.

I trust the above is in order, but should you have any further queries please do not hesitate to contact me.

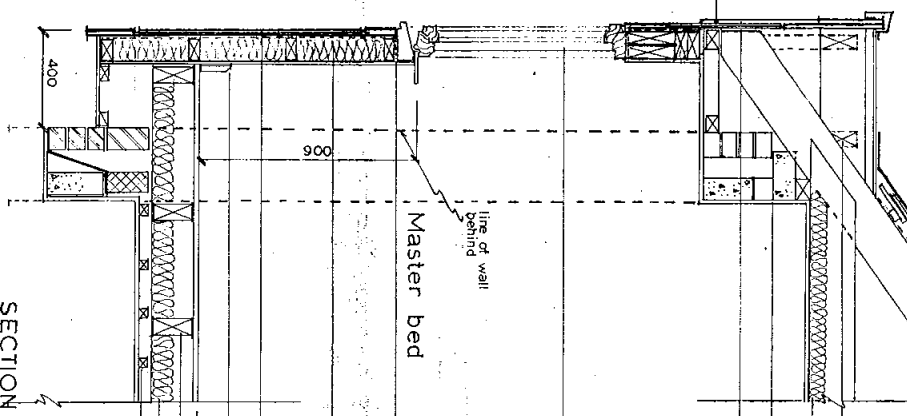
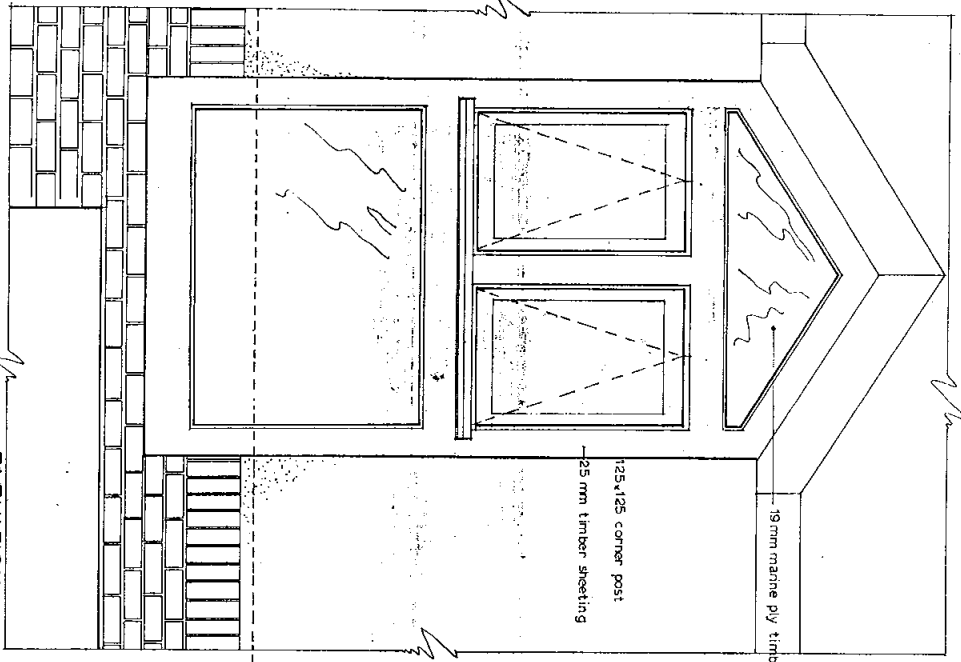
Yours sincerely,

DERVILLA MASTERSON
PATRICK ROONEY & ASSOCIATES.

Enc/.....

Patrick Rooney & Associates
 55 Merrion Square, Dublin 2
 Flynn's Terrace, Sligo
 38 Grove Lane, Camderwell
 London SE5 8ST

Architects
 (01) 618600, 618682, 610815, Fax 610815
 (071) 62090, 61409, Fax 61409
 (071) 292-7848, 41115 98 patterns
 on-siting fee on 725-50
 Truss rafter's to manufacturers
 instructions
 lead flashing
 150x50 secondary rafters
 selected insulation on vapour barrier
 20mm plasterboard
 20mm internal plaster
 fascia board
 hardwood window & cill
 Master bed
 OPC to cill
 Timber sheathing on selected breather
 type moisture barrier on 100 50 studs
 at 440mm centres with selected insulation
 between, internal finish plasterboard lining
 19mm marine ply timber inset
 hardwood skirting
 186 boarding on 175, 50mm ceiling joists
 selected insulation between joists
 preservative treated battens
 concrete lintel



SECTION

BAY WINDOW DETAIL

Drawn: _____ Date: JANUARY '92
 Check: _____ Scale: 1:20

03 JAN 1992
 12:24 / 36
 ARCHITECTURE RECEIVED
 12A, BERNAN, STATION
 DUBLIN 2

contract **FIRHOUSE TALLAGH**

90882

15

REVISIONS

MIN SUB LEAD FLASHING & COVER
 FLASHING TO MAIN BLOCK WALL
 REJECTED REPAIR OR OTHER APPROVED
 ROOFING ON 1978 5M BATTERY ON
 BATTERY FELT ON 125X50 RAFTERS
 WITH 100 X 50 CEILING JOISTS AT
 390 C/M WITH 90MM GULL
 HYDULATION

PLYTERBOARD CEILING
 UNDER DIRT MIN 2450
 ABOVE FELT

MIN 125X125 MM
 ANGLE

VENT AT
 400 C/M

2 NO H/M BEAMS
 EX 225 X 78 ON
 190 X 190 H/M POST
 H/M FRAMING EX.
 100 X 65

EX 150 X 150 H/M
 POST

EX 100 X 25 5M
 CIVL

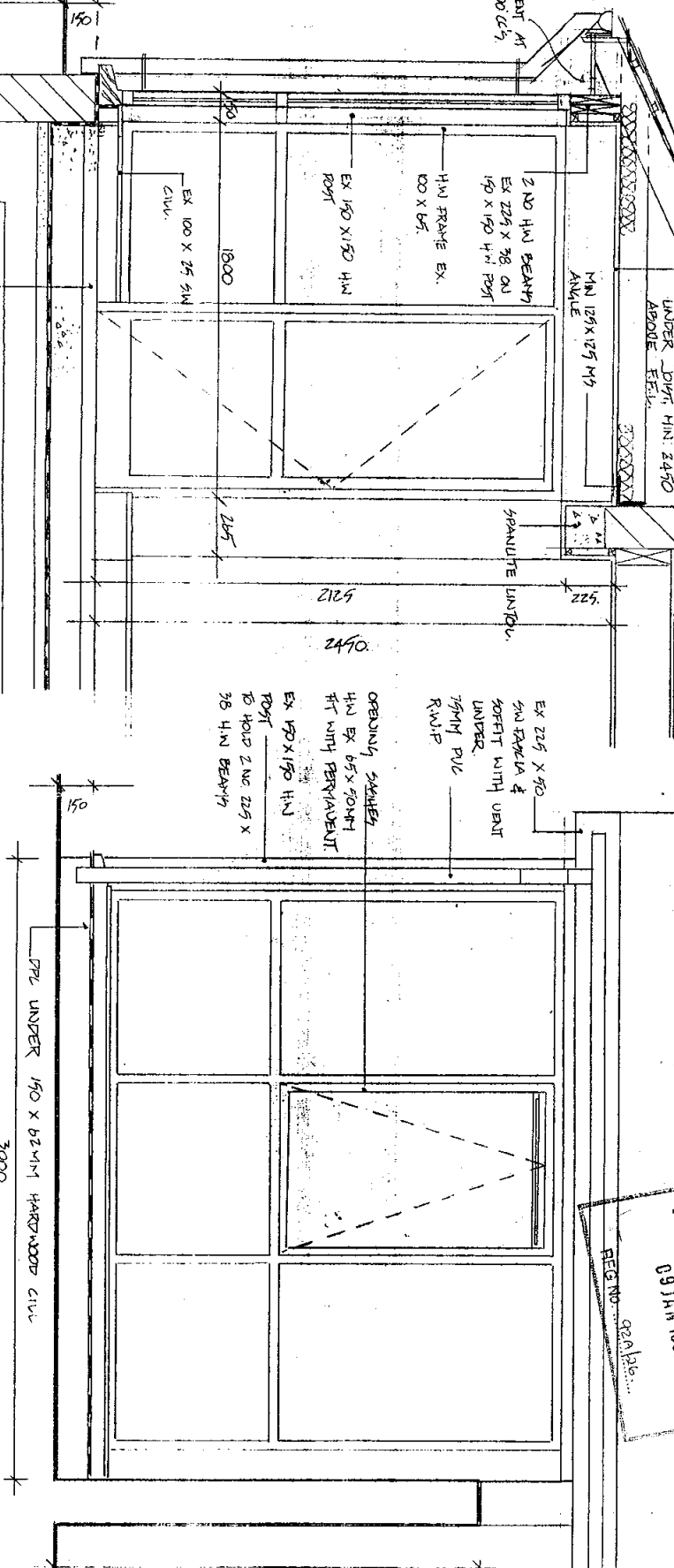
MIN SUB LEAD
 FLASHING & COVER FLASHING

125 X 50 MM 5M

SPANULITE LINING

EX 225 X 78
 5M BARKLA &
 SOFFIT WITH VENT
 UNDER
 75MM PVC
 R/W/P

OPENING SIZES
 H/M EX 65 X 90MM
 FT WITH TERRAZZO
 EX 190 X 190 H/M
 POST
 TO HOLD 2 NO 225 X
 78 H/M BEAMS



Patrick Rooney & Associates

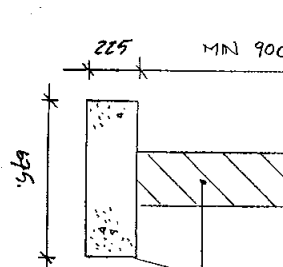
55 Merrion Square, Dublin 2
 Flynns Terrace, Sligo
 99 Gower Street, Galway
 London SE5 8ST

Architects

(01) 618600, 618662, 610616
 Fax 610615
 (071) 62090, 61409
 Fax 61409
 (071) 252-7848
 Fax 701-2694

DUBLIN COUNTY DEVELOPMENT
 PLANNING DEPT. RECEIVED
 APPLICATION FILED
 09 JAN 1992
 REG NO. 92ALP/...

75 METERS ON 190 OVERSIGHT CONC. ON DIRT
 ON 25 SAND BUILDING ON 190 HARDWARE
 225 CONC BRICK RIBBON WALL
 ON MIN. 615 X 225 CONC. FAS



revisions

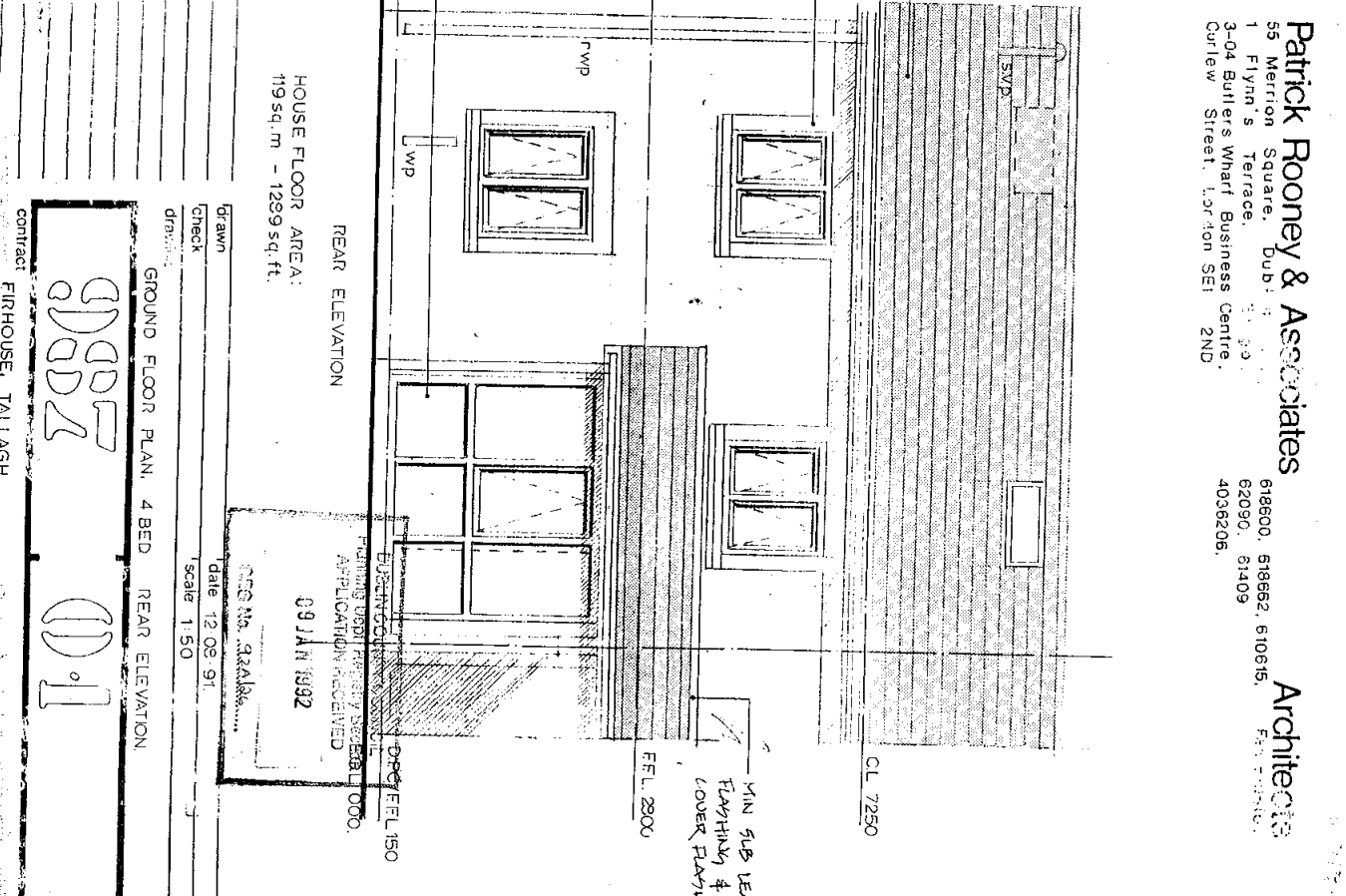
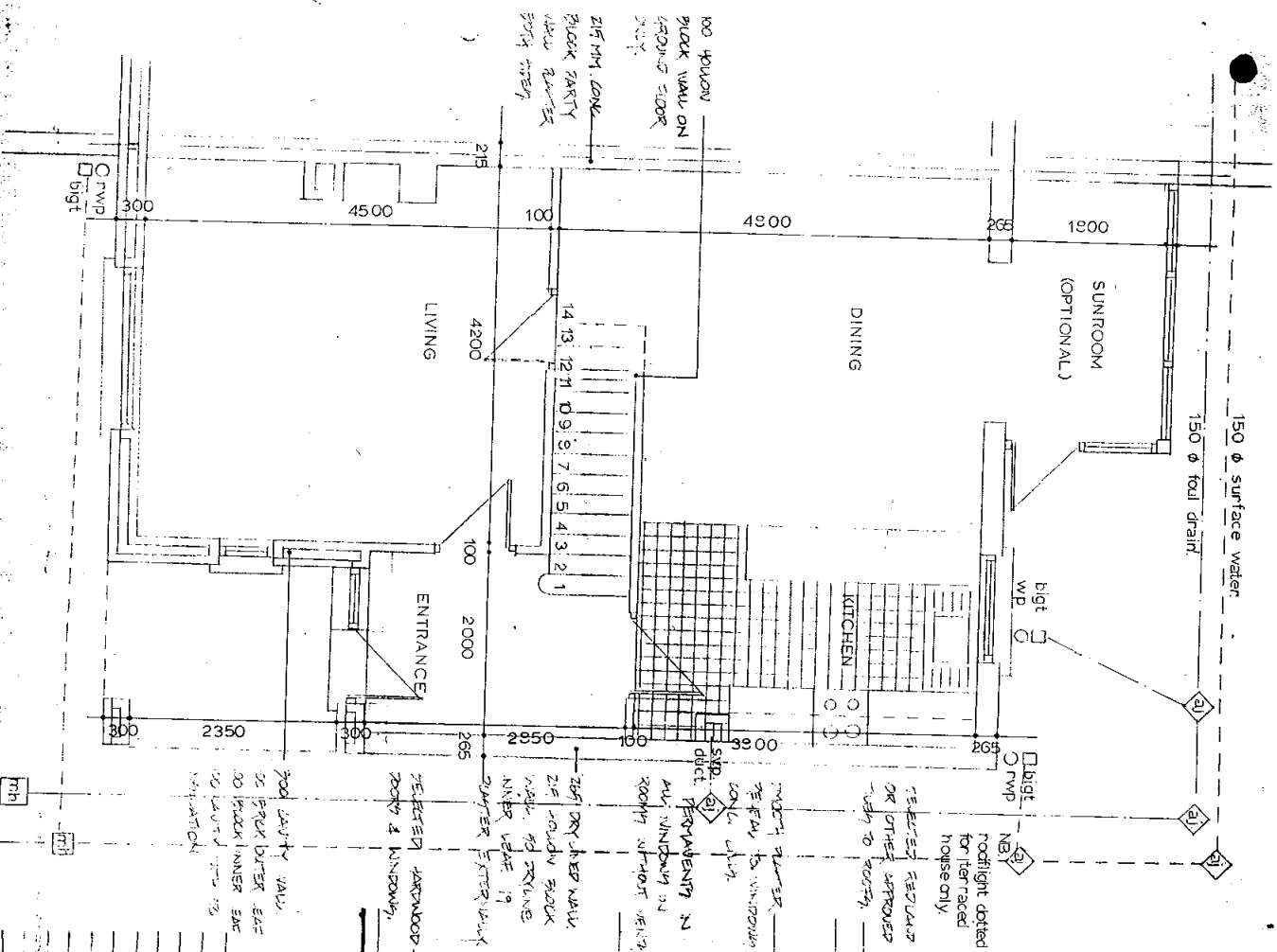
Drawn	Date	08-01-92
Check	Scale	1:20
Drawing	COVER UNDER 190 X 65MM HARDWOOD CIVL	
Contract	EIR HOUSE TRAVEL UNIT	

3000

2000 GARDEN WALL

Patrick Rooney & Associates
 56 Merrion Square, Dublin 4
 1 Flynn's Terrace, Dublin 3
 3-04 Butler's Wharf Business Centre,
 Curlew Street, Lorton SE1 2ND

Architects
 618600, 618662, 610615, Fax: 618600
 62090, 61409
 4056206.



HOUSE FLOOR AREA:
 119 sq. m - 1289 sq. ft.

REAR ELEVATION

GROUND FLOOR PLAN, 4 BED REAR ELEVATION

drawn
 check
 date 12.09.91
 scale 1:50

09 JAN 1992

Planning Dept. received 10.00.
 APPLICATION RECEIVED

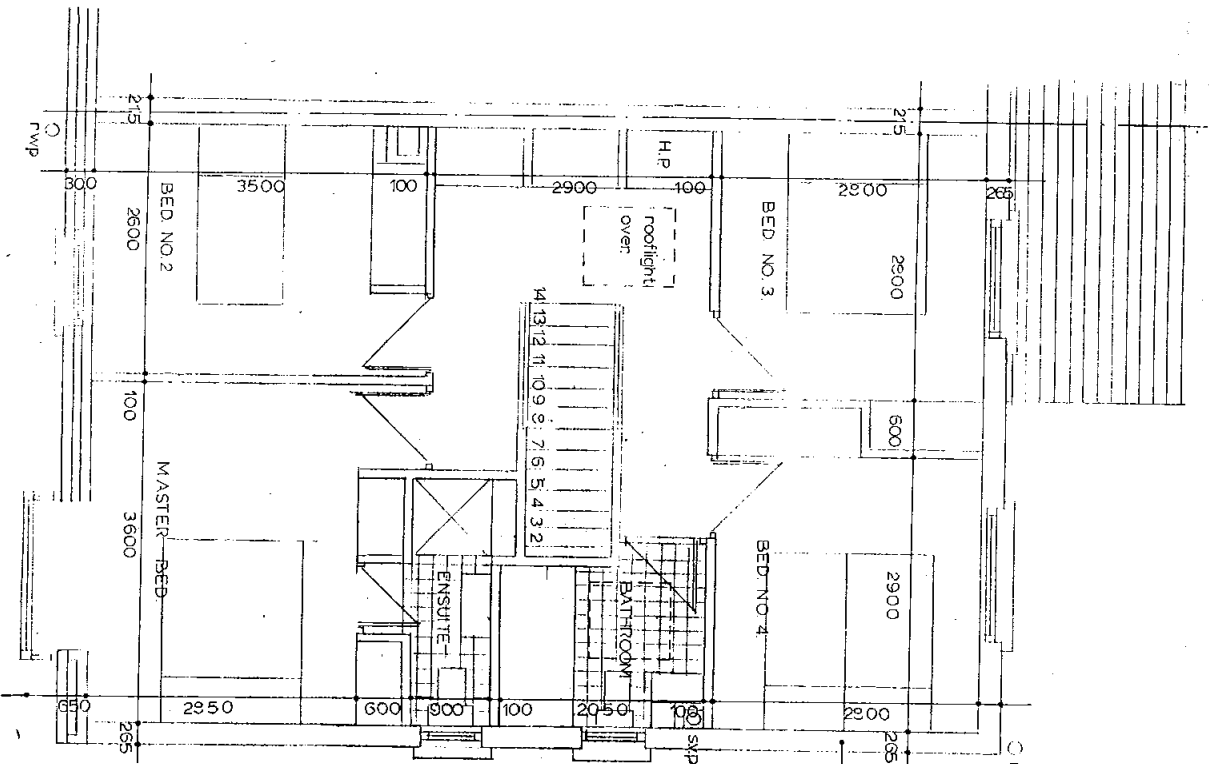
075 No. 92A196

Contract FIRHOUSE, TALLAGH

Patrick Rooney & Associates
 55 Merrion Square, Dublin 2
 1 Flynn's Terrace,
 3-04 Butlers Wharf Business Centre,
 Curlew Street, London SE1 2ND

018600, 018662, 010615,
 020930, 01409
 4036206.

Architects
 Tel: 0186015.

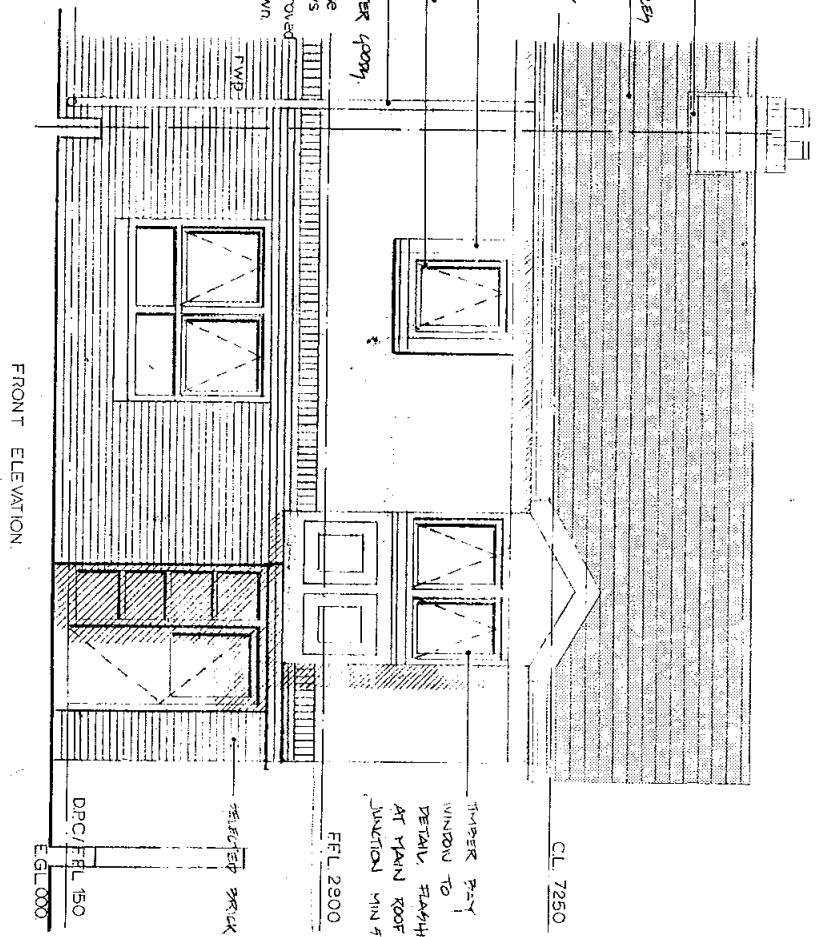


HOUSE FLOOR AREA:
 119sq. m. = 1289sq. ft.

PERMANENTLY TO ALL WINDOWS IN ROOMS WITHOUT VEILING

SMOOTH PLASTER REVEALS,
 SELECTED HARDWOOD WINDOW
 SELECTED P.V.C. NB. RAINWATER (4009),
 in terraced house type oriel windows and include approved rooflight as shown.

SELECTED BRICK
 SELECTED ROOF TILES
 26% RECLINED WALL



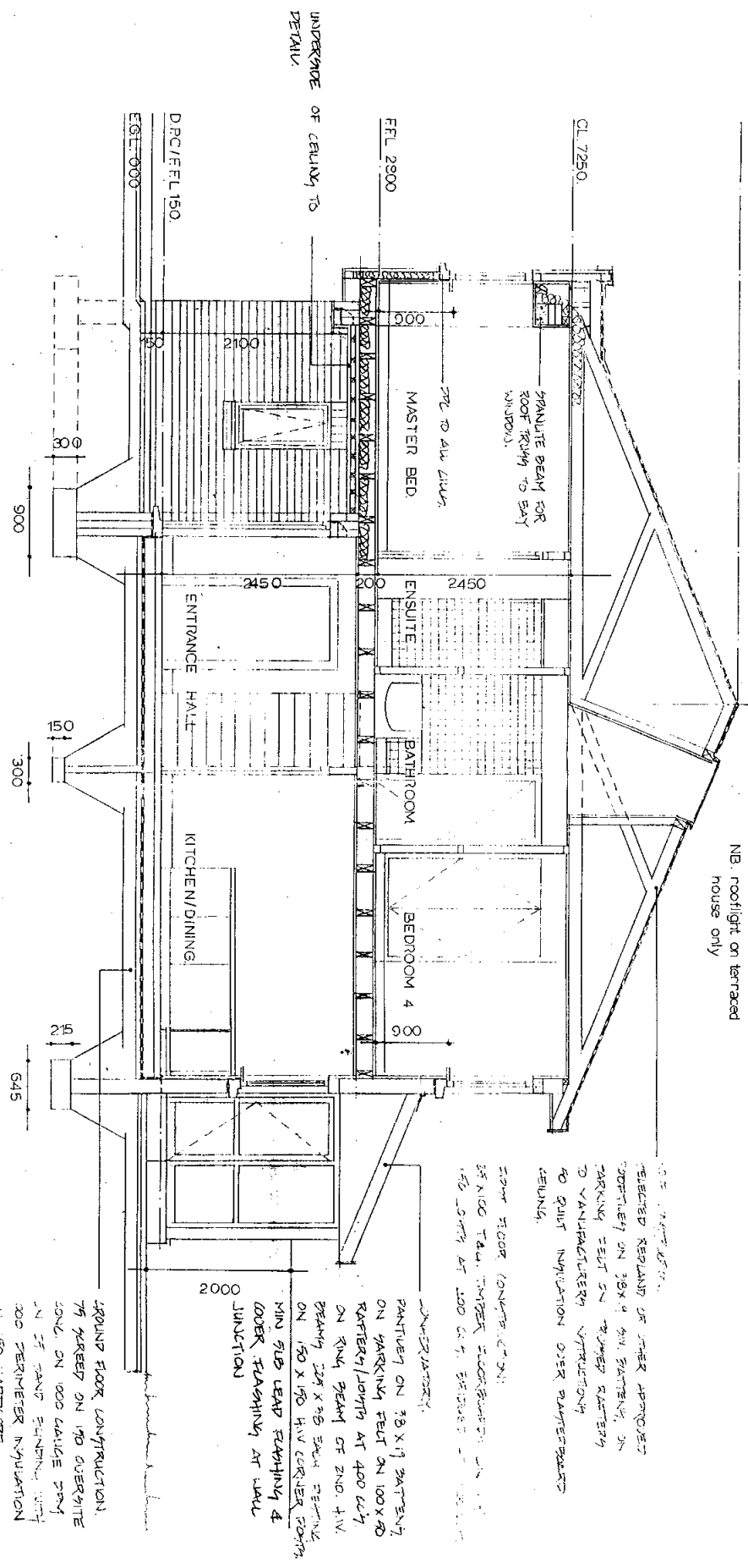
Drawn: _____ Date: 12-09-91
 Check: _____ Scale: 1:50
 UPPER FLOOR PLAN, 4 BED FRONT ELEVATION

contract: FIRHOUSE TALLAGH

Patrick Rooney & Associates
 55 Merrion Square, Dublin 2
 1 Flynn's Terrace, Sligo
 3-04 Butler's Wharf Business Centre,
 Curlew Street, London SW1 2NT

Architects
 618600, 618662, 610615, Fax 610611
 620990, 61409
 4036206

NB: rooflight on terraced house only



SELECTED REPAIRS OR OTHER APPROVED
 JOINTS ON 150 X 150 RAFTERS ON
 MARKING FELT ON TRUSS RAFTERS
 TO MANUFACTURER'S INSTRUCTIONS
 TO ELIMINATE IMPURITIES OVER RAFTERS
 CEILING.

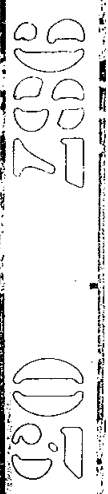
FIRST FLOOR CONSTRUCTION:
 150 X 100 T&G TIMBER FLOORBOARDS ON
 150 X 100 AT 100 C.C.P. SPACERS

UNDERPINE:
 PAINTED ON 150 X 150 RAFTERS
 ON MARKING FELT ON 100 X 100
 RAFTERS/JOISTS AT 400 C.C.P.
 ON RING BEAM OF 2ND. F.W.
 BEAMING 150 X 75 S&B S&B
 ON 150 X 150 H.V. CORNER JOIST
 MIN 50% LEAD FLASHING &
 LEADER FLASHING AT WALL
 JUNCTION

GROUND FLOOR CONSTRUCTION
 TO BE SET ON 150 OVERSITE
 CON. ON 1000 CALICE PAV.
 IN 50 SAND BUNDING 100
 100 PERIMETER INSULATION
 IN 50 PARTILORE

NB: 75% MIN. 150 ABOVE G.L. TO ALL
 D.P.C. - DRAINING
 D.P.C. UNDER ALL TERRACES TO
 ALL OPEN
 75% MIN. 150 ABOVE G.L. TO ALL
 D.P.C. - DRAINING
 D.P.C. UNDER ALL TERRACES TO
 ALL OPEN

Drawn _____ date 14.08.91
 Check _____ scale 1:50
 SECTION - 4 BED HOUSE

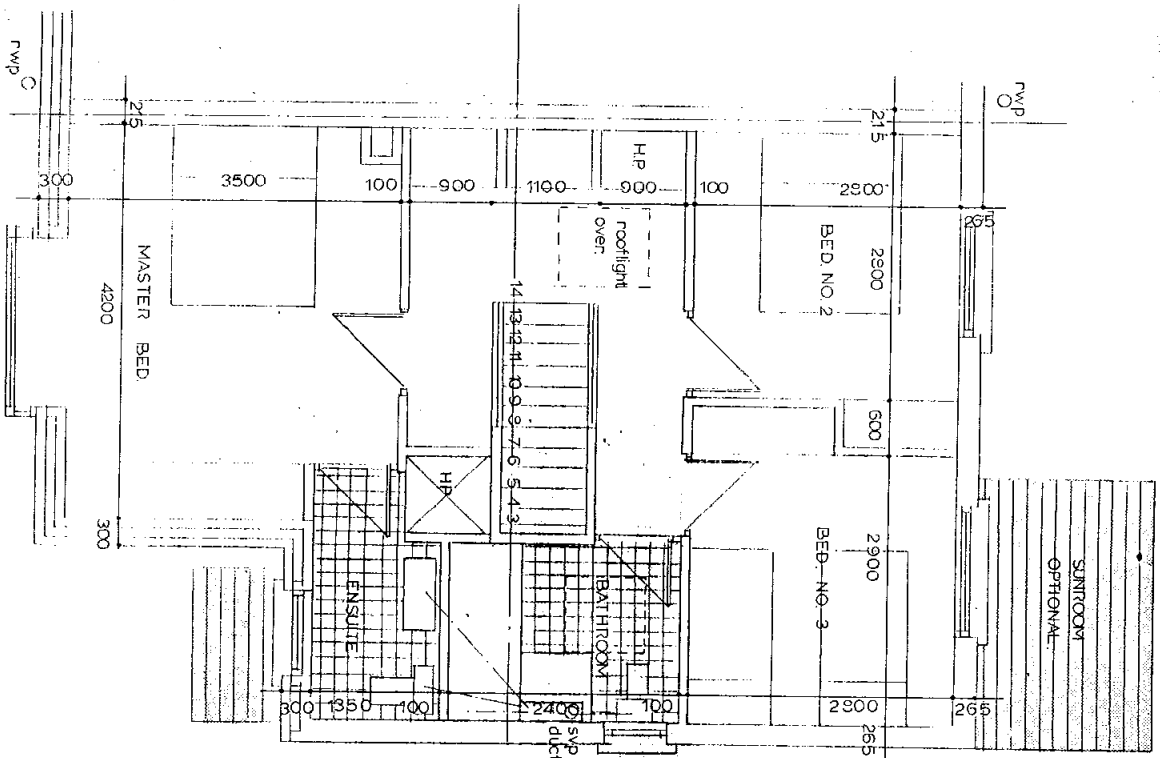


CONTACT: FIRHOUSE, TALLACH

Patrick Rooney & Associates
 55 Merrion Square, Dublin 2
 1 Flynn's Terrace, Sligo
 3-04 Butlers Wharf Business Centre,
 Curlew Street, London SE1 2ND

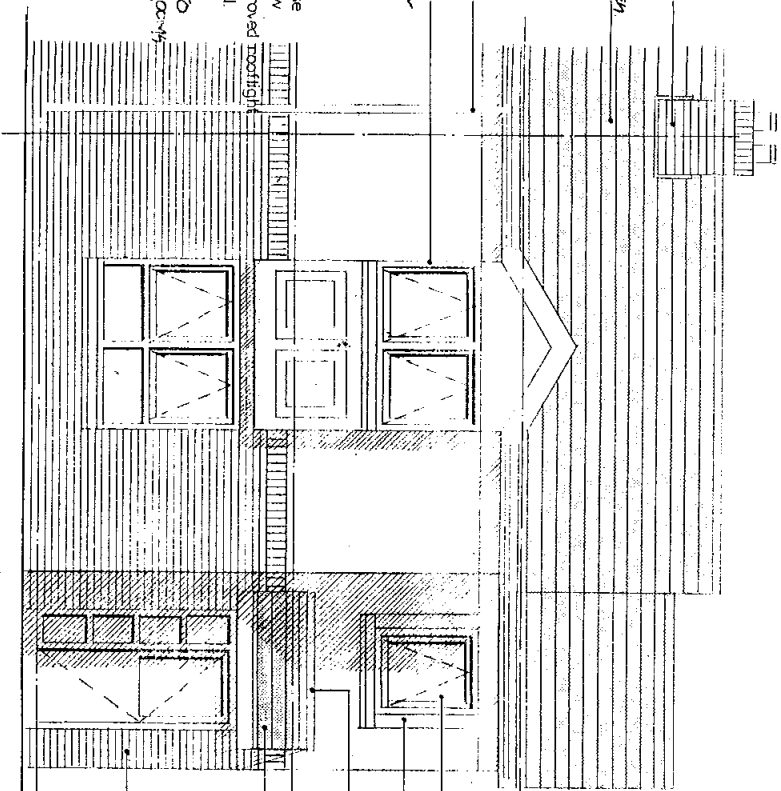
618600, 618662, 616611
 620900, 61409
 4036206

Architects
 Fax 610615



SELECTED TV/L
 RWIP & OUTER
 TIMBER BAY
 WINDOW TO DETAIL
 FLASHING AT MAIN
 ROOF JUNCTION
 N.B.
 in terraced house
 type omit window
 and include approved rooflight
 as shown dotted.
 PERMANENTLY TO
 WINDOWS IN ROOMS
 WITHOUT DEWIT

HOUSE FLOOR AREA:
 113 sq.m. - 1222 sq. ft. incl. optional conservatory.



FRONT ELEVATION

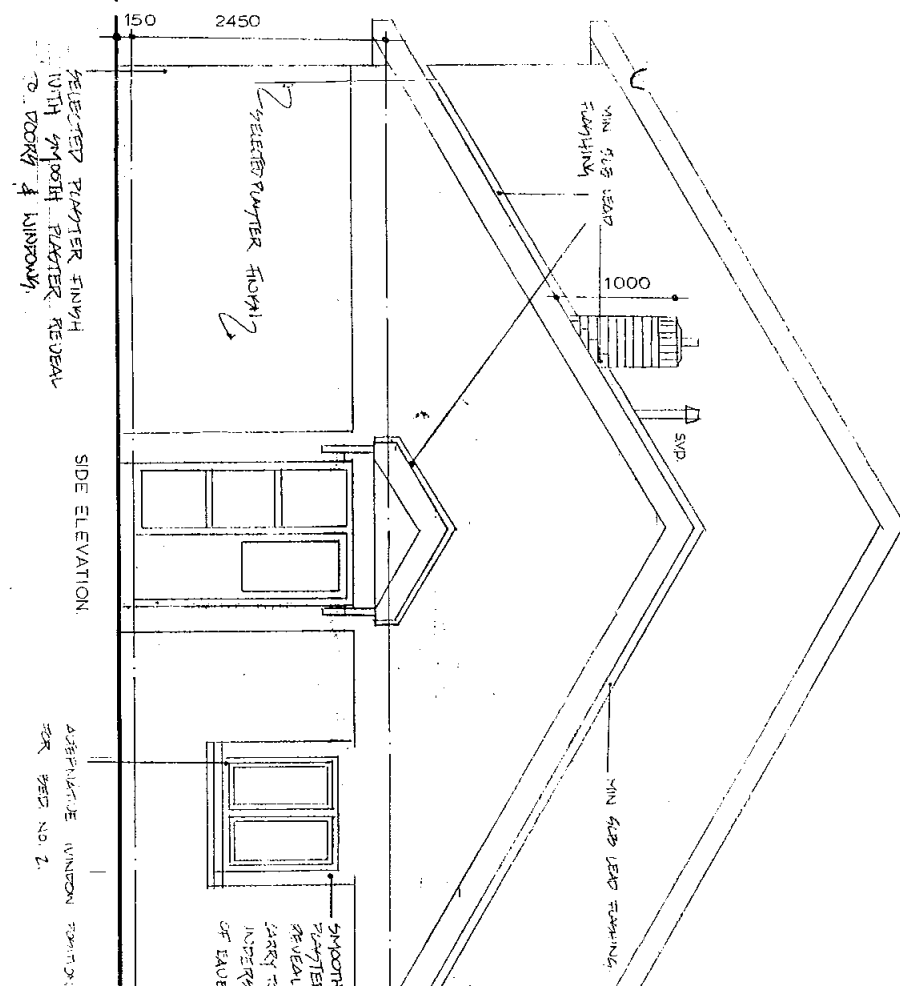
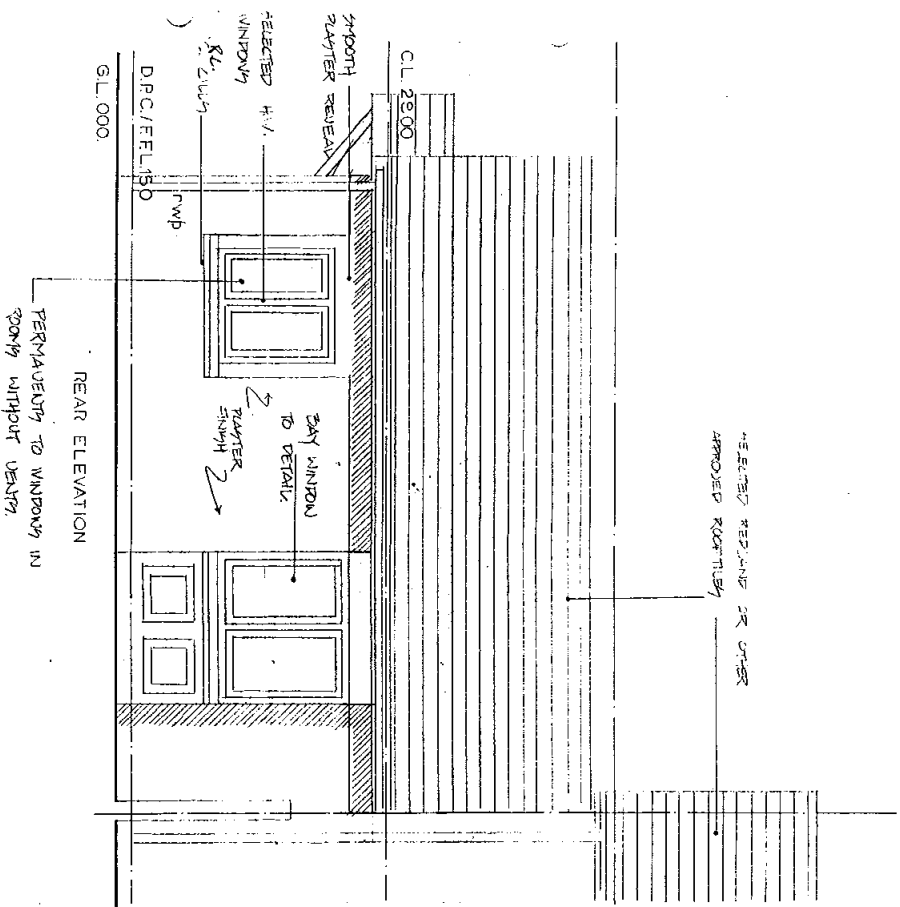
SELECTED HW
 WINDOW
 FRONT PRESENT
 RELEVANT
 MINI SLIP LEAD
 FLASHING & LODGE
 FELL 2500
 TIMBER FRAME
 TYPICAL TO
 VARIOUS ROOF
 SLIP LEAD FLASHING
 TO WALL
 SELECTED BRICK
 DPC/FELL 150
 EGL 000

Drawn: date 12.08.91
 Checked: scale 1:50
 Drawing: UPPER FLOOR PLAN 3 BED. FRONT ELEVATION



CONFIDENTIAL
 FIRHOUSE, TALLAGH

Patrick Rooney & Associates Architects
 55 Merrion Square, Dublin 2. (01) 618600, 618662, 610615, Fax 610615.
 Flynn's Terrace, Sligo. (071) 62090, 61409, Fax 61409.
 38 Grove Lane, Camberwell, London SE5 8ST. (071) 252-7848, Fax 701-2694.

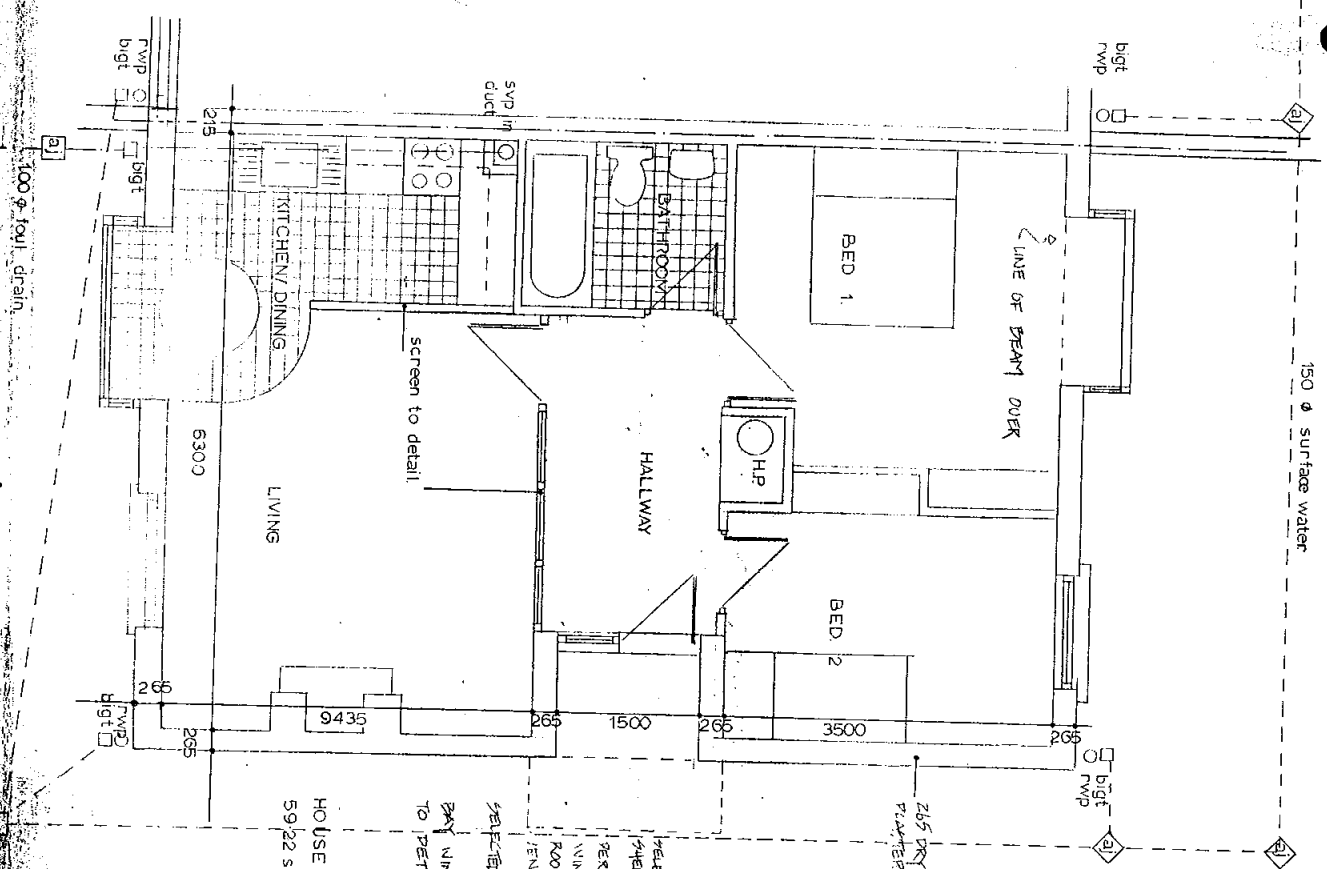


revisions

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drawing BACK & SIDE ELEVATION TO BUNGALOW		
CONTRACT FINHOUSE, TALEAGH.		

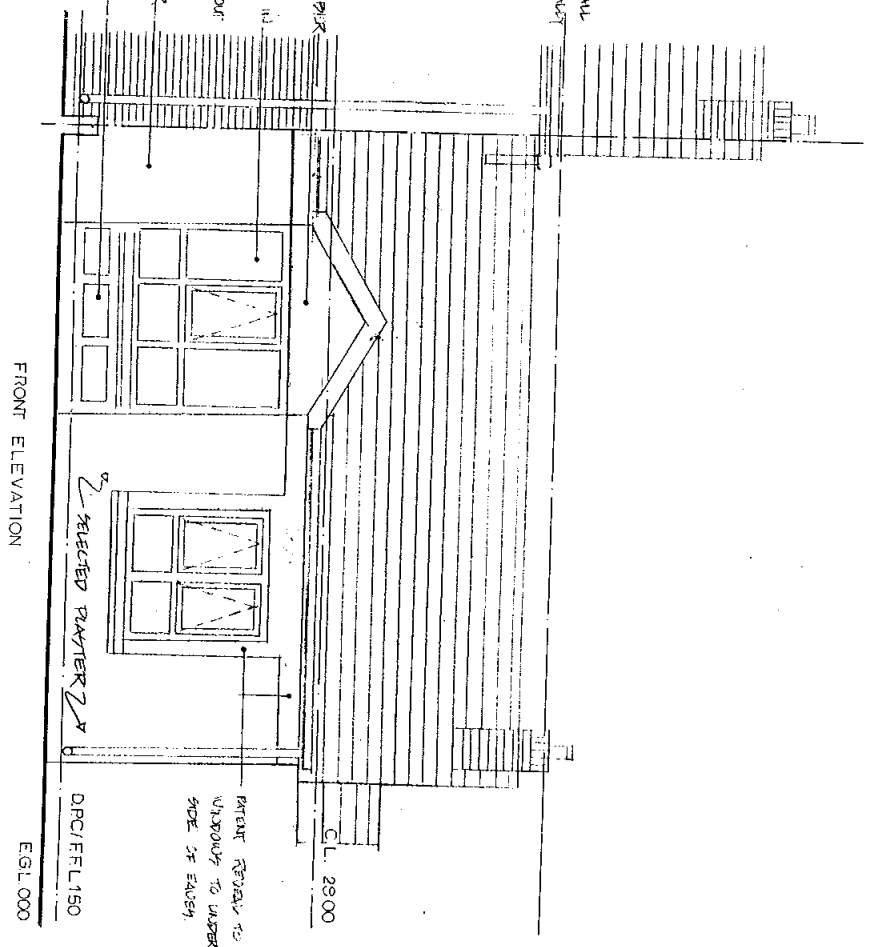
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HOUSE FLOOR AREA:
 59.22 sq.m. ~ 640.76 sq.ft.

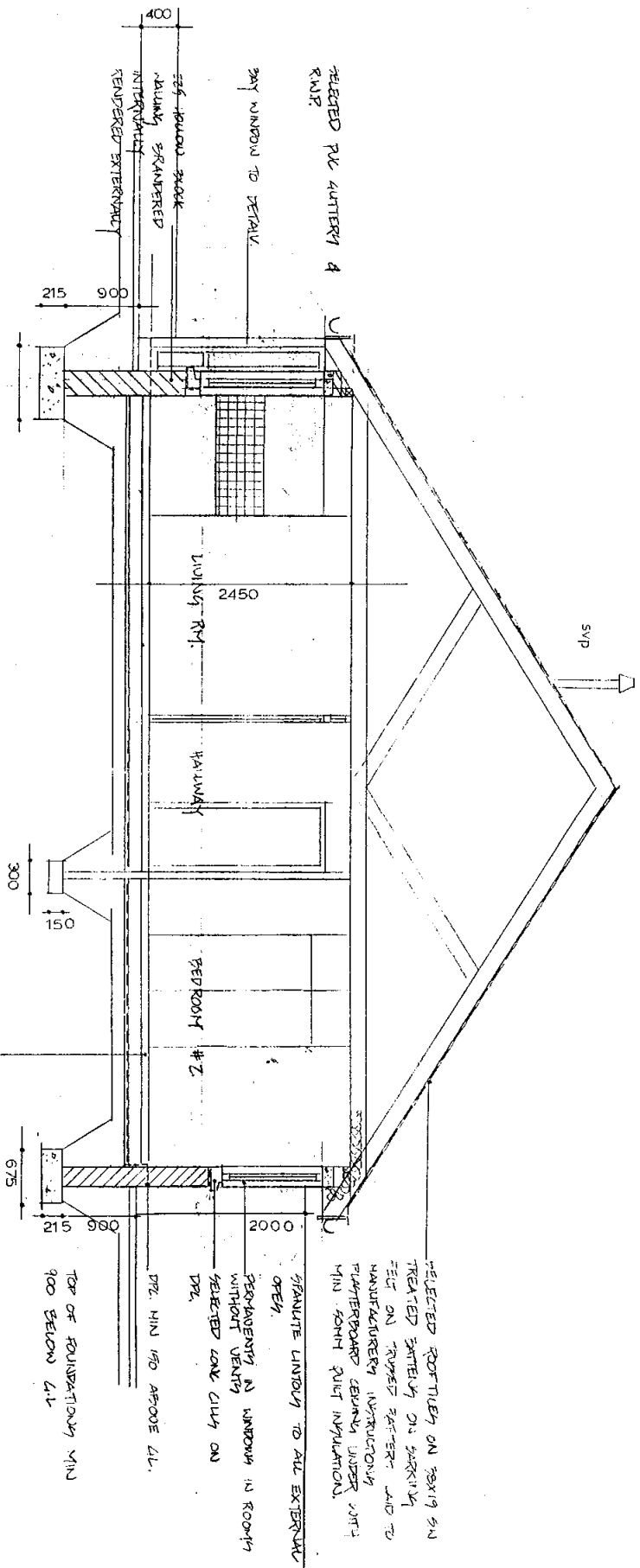
- SELECTED TIMBER SHEETING PERMANENT IN ROOMS WITHOUT WINDOWS
- SELECTED PLASTER TO PASTIL
- SELECTED PLASTER EXTERNALLY
- 265 PERMANENT WALL PLASTER EXTERNALLY



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Drawing	BUNGALOW / PLAN, ELEVATION.	

contract: **FIRHOUSE, TALLAGH**

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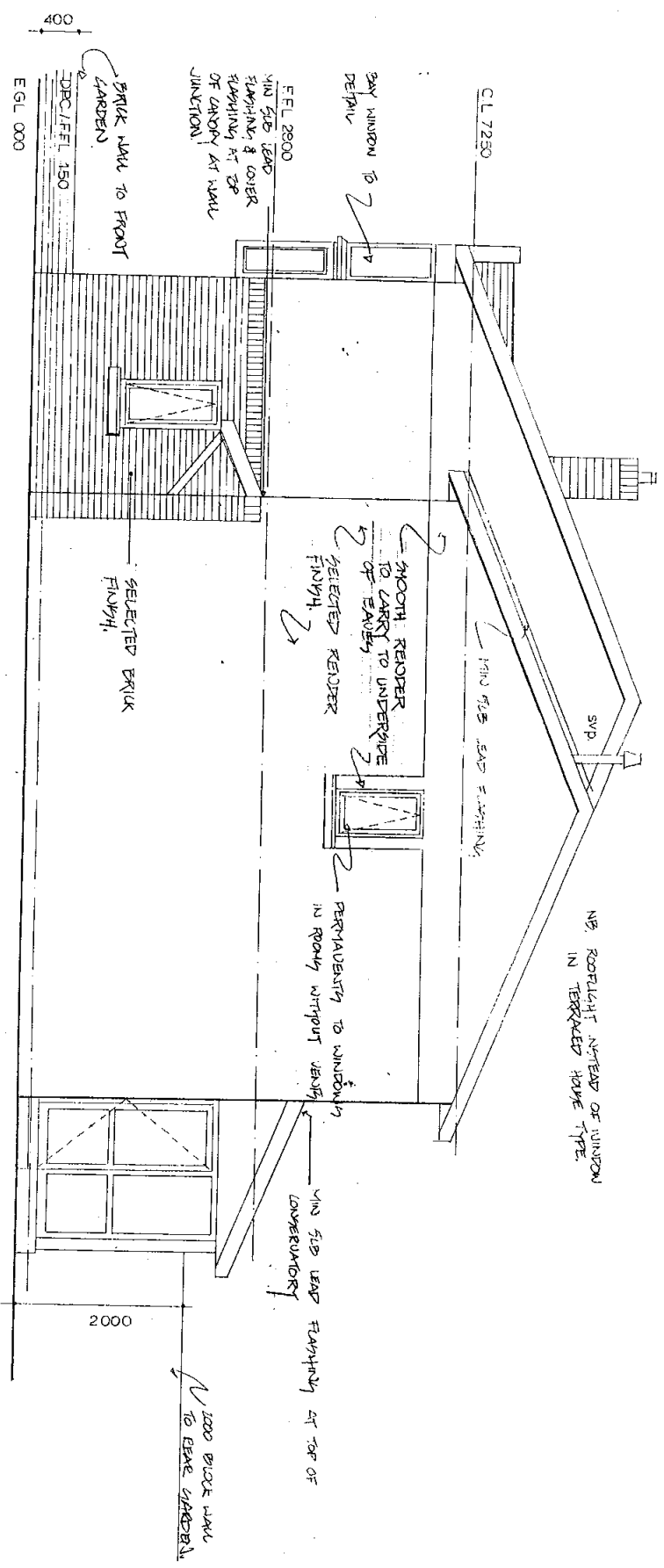
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 drawing: BUNGALOW SECTION

contract: FIRHOUSE, TALLAGH.

revisions: _____

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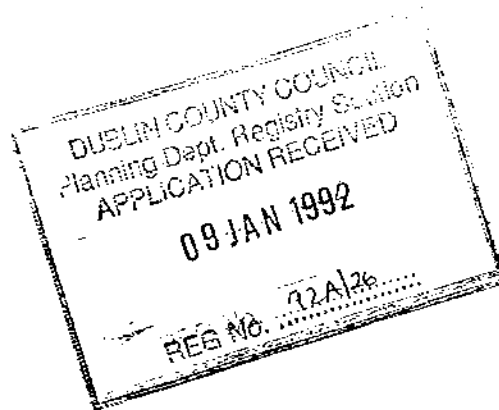
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 drawing SIDE ELEVATION - 3 BED HOUSE

Contract FIRHOUSE, TALLCOTT

1000 BRICK WALL TO FRONT GARDEN

REVISIONS

OUTLINE SPECIFICATION FOR WORK TO BE DONE
AND MATERIALS TO BE USED IN CONNECTION
WITH CONSTRUCTION OF DEVELOPMENT OF 63
VARIED HOUSE TYPES, OLD COURT ROAD, FIRHOUSE
CO DUBLIN.



DATE: 20th DECEMBER 1991

DEVELOPER
CUNNINGHAM GROUP
82 SANDYMOUNT BUSINESS CENTRE
DUBLIN 4.

ARCHITECT
PATRICK ROONEY & ASSOCIATES
55 MERRION SQUARE
DUBLIN 2.

1. GENERAL

The Preliminaries to this specification shall be those set out in the RIAI standard form of contract. WORK CONSIST OF The housing development is to be carried out on sites A & B adjoining Old Court Road, Firhouse. Services and roads have already being carried out, but Contractor must check existing works and ensure on completion all services/roads/sewers /water supplies are brought up to standards required by Dublin County Council and any other statutory bodies E.S.B etc.

Engineers for original layout for roads etc., and services were Messrs John B. Barry & Partners and their basic information is indicated on drawings 562/75/77.

PRELIMINARIES

- 1.1 Maintenance Period The Contractor shall be held responsible for defects, shrinkage or other faults that are due to materials and workmanship which appear during the period of 12 months after the completion of the work.
A sum of not more than 5% of the total price for the work shall be retained by the Employer during the period of 12 months after completion of the work and shall be paid to the Contractor on the expiration of this period provided all defects which have been notified to the Contractor have been remedied.
- 1.2 Structural Guarantee The Contractor shall be responsible for structural defects which reveal themselves during a period of 24 months after the completion of the work.
The Employer's right to require the Contractor to remedy structural defects under this clause are in addition to any similar right(s) he may have under Common Law.
- 1.3 Insurance The Contractor shall, in the joint names of the Employer and the Contractor, insure the works to their full value against loss or damage by fire, storm or tempest from a period beginning at the commencement of the work and ending on the handing over of the completed house(s) to the Employer. The Contractor shall produce evidence of such insurance at the request of the Employer.
- 1.4 Statutory Requirements. The Contractor must provide for paying all contributions required under the Social Welfare Acts and other statutes for the protection of workmen.
The Contractor must also comply with the Building (Safety, Health and Welfare) regulations, 1959.
- 1.5 Approved Materials For the purpose of this Specification the term "approved materials" shall mean approved as suitable in all respects to the relevant Irish Standard Code of Practice.
- 1.6 Water A proper supply of clean water shall be provided for the works by the Contractor who shall supply piping and all accessories and pay for main tapping, or provide necessary carting and storage or in the event of a private water supply, ensure that an

adequate water supply via well and pump is provided before commencement of building.

1.7 Notification The Contractor shall notify the Local Authority at the appropriate stages of the work and arrange for all inspections.

2. EXCAVATOR.

2.1 Site Clearance The entire area of the site to be cleared of all obstructions and left ready for the construction of the house: include for making site access ways. Remove top soil over entire area of proposed dwelling and pavings and leave aside for finished garden.

2.2 Excavations The area of site, foundations of walls, pipe trenches, surface underfloors and other work indicated on the drawings to be excavated to the lengths and widths shown, and to such depths as necessary to insure that the bottom of the trenches are sufficiently solid for a good foundation.

2.3 Level fill and ram. All trenches for foundations to be levelled and rammed, and all trenches for pipes and drains to be formed, graded and rammed. The trenches around and over pipes, to be filled in and rammed.

EXCAVATOR (continued)

- 2.4 Hardcore. Hardcore, where used is to consist of broken stone or bricks. Levels under floors, paths and pavings are to be made up with hardcore as shown on drawings. All filling is to be well wetted and consolidated.
- 2.5 Water at Excavations Keep all foundations and trenches free of water at all times.
- 2.6 Filling in Trenches, etc The Contractor shall not fill in over any work until it has been approved by the Architect or the Employer: or, in the case of foundations, etc., until it has been approved by the Local Authorities.

3. CONCRETOR

- 3.1 Cement Cement to be Portland Cement in accordance with I.S 1 (1971) delivered to site in properly sealed bags, clearly marked with the brand name and stored, clear of the floor, in a dry waterproof store and protected from damp.
- 3.2 Water Only clean fresh water free from impurities to be used.
- 3.3 Sand The sand is to be clean, sharp pit or river sand and must be washed free from loam, earth, clay or other foreign substance.
- 3.4 Lime The Lime for mortar shall be approved best quality greystone lime from approved kiln.
- 3.5 Lime Mortar Lime Mortar shall be gauged one of lime to three of sand and gauged with cement just before using. All mortar cement is to be used quite fresh and no mortar that has commenced to set shall be used.
- 3.6 Cement Mortar The Cement Mortar shall be composed of one part Portland cement as described to three parts sand and used fresh: none to be reworked once initial set has commenced.
- 3.7 Concrete The quality of materials and the standard of workmanship for the reinforced concrete shall comply with the relevant clauses of B.S. Code of Practice 114 (1957) in regard to all requirements not otherwise described in this Specification.

CONCRETOR (continued)

3.8 Aggregate The aggregates shall comply with the standards laid down in Irish Standards 5:1949.

THE FINE AGGREGATE

The fine aggregate shall be a natural pit or river sand passing a 10 mm screen and shall be thoroughly washed in a mechanical washing plant. It shall be graded from the largest to the smallest particle sizes in approved proportions.

3.9 Aggregate The Coarse Aggregate shall be retained on a 10 mm screen and shall be composed of clean washed gravel or crushed stone or a combination of both, of approved quality and grading free from laminated and flaky particles, dust and other impurities.

The fine and coarse aggregates shall be delivered to the site separately and shall be stock-piled on clean concrete, macadam or other approved surface.

3.10 Mixing The concrete shall be mixed in power driven batch mixers of approved size and design and having a capacity not less than that required for on cwt batch.

3.11 Mixers The weight of the fine and coarse aggregate used in each mix shall be adjusted so that the finished concrete has a cement content not less than set out in the following table. The cement content shall be increased at the Contractor's expense where necessary to produce a concrete having a strength not less than the specified value together with an approved surface finish. Concrete for roof slabs to be water-proofed with "Sika" used according to manufacturer's instructions.

NOMINAL PROPORTIONS					
Mix	Type Mix	Cu. fit of combined agg. per 112 lbs cement	Max. size of agg.	Min. 28 day 6" cube strength	Cement content in 11bs per cu. yd. of concrete
A	1:2:4	7.0	1½	3500	480
B	1:2:4	6.25	¾	3500	520

CONCRETOR (continued)

3.11 Mixers

The approval of aggregates, grading, water content, etc., shall not relieve the Contractor of responsibility in regard to the strength and finish of the concrete, and the Contractor shall remove and reconstruct at his own expense: any part of the work which the Architect deems to be below the proper standard. The mixes for the various sections of the works shall be as follows:-

MIX A

Reinforced foundations, paving, carriageways, floors.

MIX B

Reinforced concrete working roof slabs and roof beams and window and door heads.

3.12 Concrete
Blinding.

The surface of the ground under foundations and other concrete in contact with the ground shall be sealed with a thin layer of lean concrete mixed 1 cwt., cement to 12 cubic feet of coarse sand.

3.13 Transporting and
Placing Concrete

The concrete shall be transported from the mixer to the place of deposition as rapidly as possible and due precaution shall be taken to prevent segregation. Where necessary hoppers of adequate capacity shall be provided adjacent to the formwork so that the concrete is remixed before being placed in position. The concrete shall be evenly placed in its final position and shall not be worked or allowed to flow in a horizontal direction.

3.14 Transporting &
Placing
Concrete.

As far as possible all concrete in on unit of construction shall be placed in on continuous operation. The concrete shall be placed in its final position before setting has commenced, and shall not subsequently be disturbed. In no case shall the interval between adding the water to the dry mix and the placing of the mix in situ exceed 30 minutes. Concrete shall be thoroughly compacted in a manner approved by the Architect.

CONCRETOR (continued)

3.15 Jointing New
Concrete

Before depositing concrete against any temporarily stopped work or at approved joints, the procedure shall be as follows:

Before depositing concrete against previously hardened work the surface layer or laitance shall be hacked off and the exposed surface wire brushed and thoroughly cleaned with water. A 12 mm layer of mortar shall be placed against the existing concrete immediately before pouring the new concrete.

3.16 Construction
Joints.

All vertical construction joints shall be formed with well braced timber stop ends holed or slotted where necessary to allow the reinforcement to pass through the joints. The concrete shall be compacted against the stop ends for the full height of the lift. All construction joints shall be located in such positions as shall be approved by the Architect. The vertical joints shall be stepped and staggered in approved positions and such joints shall not be located at or adjacent to quoins.

The joints in suspended roof slab shall be formed parallel to the main reinforcement.

3.17 Frost

Concreting work shall be suspended when the air temperature falls below 2°C, or when frost is expected. Frozen aggregate shall be thawed out before use. Concrete placed in cold weather shall be protected from damage by frost or other weather conditions shall be cut out and replaced by fresh concrete at the Contractor's expense. The Contractor shall provide a maximum and minimum thermometer of approved design for the purpose of measuring the shade temperature of the outside air.

3.18 Curing

Horizontal and vertical slab and other large areas of concrete shall be kept continually moist and shall be covered with jute matting or an approved thickness of wet sand for a period of at least ten days after the concrete is placed.

CONCRETOR (continued)

- Similar precautions shall be taken during the initial period of at least ten days to protect all other reinforced work from exposure to sun, wind or rain.
- 3.19 Plaster Surface. Where a rendered or plastered finish is specified the concrete surfaces shall be sparrow-pecked to provide an adequate key. Alternatively, the formwork may be coated with an approved retarding compound which shall be removed with water and wire brushes as soon as possible after concreting. Precautions shall be taken to ensure that the retarding compound does not come in contact with the reinforcement.
- 3.20 Traffic over Concrete. No traffic of any kind will be allowed over any concrete, or formwork removed, or any load imposed on it until it has thoroughly hardened.
- 3.21 Formwork. The formwork shall be made up from purpose made mild steel units, from good quality planed seasoned timber, free from knots and other defects or from other approved materials.
- The sheeting timber shall be wrought tongued and grooved and shall be suitably propped and braced to resist the weight and pressure to the concrete without distortion. The inner surface of the formwork shall be treated with an approved mould oil or retarding compound as appropriate, and the formwork shall be carefully cleaned before re-use. The formwork shall be close-jointed throughout prevent leakage of cement paste or fine aggregate. The formwork can be removed without disturbing the supports under the soffits. Suitable camber shall be provided in formwork for beams and floors to compensate for any subsequent deflections. The formwork to vertical sides of walls beams, etc shall be supported by means of suitable external braces, internal metal fasteners, or bolts. The use of internal timber spacers or wire ties will not be permitted. The formwork shall be thoroughly cleaned out before concreting and shall be provided with temporary opes to facilitate the removal of debris.

3. CONCRETOR (continued).
- 3.22 Holes & Chases
In Concrete Holes, chases and other openings required for the passage of pipes, conduits, etc., shall be provided by inserting suitable sleeves, cores and sinkings before placing the concrete. The Sub-Contractors shall be required to furnish full informat in regard to the position and size of such opes and chases, and the position of bolts, clips and other fastenings. The cutting of chases, holes or other openings in the finished work shall not be permitted without the sanction of the Architect. Such holes and chases shall be made only in approved locations and shall be cut with the approved tools.
- Gutters to be formed in slab as detailed.
- 3.23 Reinforcement Rolled mild steel bar, shall comply with the requirements of British Standard 785. The sizes and other dimensions of the reinforcement shall be checked against the drawings and site dimensions before the material is ordered. The reinforcement shall be cut, cold bent and hooked to the dimensions shown on the drawings and schedules or to such other dimensions as may be directed.
- 3.24 Alternative
Bar Sizes No alteration or substitution shall be made in the lengths, sizes or arrangement of the reinforcement, without the prior written approval of the Architect.
- 3.25 Fixing
Reinforcement. Reinforcement shall be maintained in its correct position by means of suitable clips, soft tying wire or welding, supplied by the Contractor at his own expense. The knots in the tying wire shall be located on the side remote from the surface and shall not project into the space between the reinforcement and the surface of the concrete.
- The correct cover shall be maintained by means of suitable metal spacers or small concrete blocks or concrete washers, wired to the reinforcement. Such spacers shall be supplied at the Contractor's expense. The Contractor shall not commence concreting on ay section of the work until the formwork and reinforcement have been approved by the Architect.

3

CONCRETOR (continued)

Mesh and fabric reinforcement shall be supported in their correct position by small concrete blocks spaced not further apart than two feet in both reinforcement shall be similarly supported at intervals of not more than 1500 mm apart.

3.25 Responsibility
of Contractor

The Contractor shall be responsible for any injury to work and any consequential damage caused by or arising from the removal and striking of formwork, centering and supports, and any advice, permission or approval given relative to their removal shall not relieve the Contractor from the responsibility here defined.

3.27 Equipment

All mixing machines, vessels, platforms tools and implements used for mixing, transporting or placing concrete shall be well maintained and shall be kept clean at all times.

3.28 Concrete
Lintels

Concrete lintels to window and door ope to be reinforced by a mild steel rod 12 mm diameter for openings up to 1200 mm and 18 mm diameters for openings above 1200 mm wide and one for every 100 mm in the thickness of the wall carried; to be 150 mm deep for all apertures up to 1200 mm in the clear width and 25 mm deeper for each 300 mm beyond 1200 mm. The lintels to bear 100 mm minimum on the walls at each end and to have the surface hacked to take plaster.

Alternatively, precast, prestressed concrete lintels conforming to B.S. 1239 (1956) and produced by an approved manufacturer may be used.

3.29 Reinforced
Concrete Beams.

Where indicated on drawings any reinforced concrete beams shall be detailed and reinforcement specified.

3.30 Concrete
Cills

To be finished fine and bear minimum 100 mm on wall each side of ope, to be rebated, weathered and throated. Cills to project 50 mm on finished face of wall and to be 65 mm thick at face edge. Cills to be reinforced with 3 number 12 mm bars or reinforcing mesh, or as indicated on drawings.

- 3 CONCRETOR (continued)
- 3.31 Concrete Steps. To be finished fine, mix as for external paving. Provide fall in steps away from house. Riser to be splayed back 25 mm from nosings.
- 3.32 Hearths To be brought up from sub-floors in mass concrete and finish fine in sand and cement screed for tiles. Hearth to extend minimum 300 mm on each side of opening and 600 mm from face of breast.
- 3.33 Solid Concrete Floors. To be 150 mm thick, mix as for sub-floor, lay with 1000 gauge polythene film. Before placing concrete hardcore filling to be blinded with stone dust before laying of polythene, and carry polythene up edge of concrete slab and under d.p.c at all walls.
- 3.34 Foundations All foundations to be not less than 300 mm thick and to widths as specified on drawings. Foundations under chimney breast to project 225 mm on wall face on all sides. If foundations are not finished in one operation, joints to be halved and lapped 50 mm on either side on resumption of paving. Unless foundations are reinforced 100 mm mild steel rods lapped and hooked and laid longitudinally at 100 mm centres to be used and placed 50 mm from undersides of foundation bottom. Where stepped foundations are necessary, concrete shall overlap at least 600 mm and steppings shall not exceed 250 mm in thickness.
- 3.35 Beam Filling The Contractor is to provide for beam filling at eaves and gables in 8:1 concrete.
- 4.
- 4.1 Blocks Solid concrete blocks to comply with L.S.20 (1971).
- 4.2 Rising Walls To be carried up in concrete blocks from foundations. Blocks to be bedded in sand and cement only. Where rising walls are specified as mass concrete this mix to be as for foundations. Walling to be 300 mm cavity - cavity to start at foundations or where site may be damp cavity will start one block below d.p.c. all as directed by the Architect.

4.3 D.P.C.

To be of approved type 3 ply bitumen on jute or canvas base (to I.S.S. 57, 1953), to be provided on all tassels and all rising walls and to be minimum 6" above ground level and lapped 150 mm at all joints: under all cills for full length of same and turned up backs of same. Over all lintels of external opes at Ground Floor heads of cavity wall construction.

In all vertical joints at abutting of inner and outer leaves of cavity walls at reveals and opes.

On all chimney shafts immediately above the flashings for entire area of chimney.

4.4 Cavity Walls.

Build up the cavity walls with cavities of the widths shown upon the drawings. Bond the two thickness of brickwork together with wall ties, as described, spaced 900 mm apart horizontally, 450 mm vertically and staggered and with extra ties at reveals and openings: the ties to be carefully laid so that they do not fall towards the inner thickness of the walls. Keep the cavity clear by lifting screeds or other means, leave openings at the base, clean out cavity at completion and subsequently brick up the openings uniformly with the surrounding work.

5. ROOFING (continued)
- 5.2 Preservation All wallplates, ends of purlins, ends of all joists and rafters to receive two coats of approved preservative and all timbers built into walls.
- 5.3 Workmanship All woodwork to be neatly joined together using all usual methods of jointing and all to good standard practice.
- 5.4 Glue All glue to comply with B.S. 745 (1969).
- 5.5 Timber for Trussed Rafters. The timber used in the construction of timber trussed rafters may be European redwood or white-wood, commercial western hemlock or Canadian spruce having a quality not inferior to composite grade as defined in B.S.C.P 112 (1967).
- 5.6 Connector Plates for Trussed Rafters The steel for connector plates for timber trussed rafters shall be in accordance with B.S. 1449 (1962) Part 1B. The plates shall be protected by a zinc coating in accordance with B.S. 2989 (1967) Class B for thickness and with properties of Class F. Penetration of all plate projections shall be at least half way through timber members.
- 5.7 Wind Bracing of Trussed Rafters. Fix 44 x 35 mm battens as wind bracing as shown on drawings:
 A. Diagonally under rafters.
 B. Diagonally across struts and ties.
 C. Diagonally across top of ceiling joists.
- 5.8 Transport, Storage and Handling of Trussed Rafters. Timber trussed rafters shall be transported and stored in a vertical position. Care shall be taken in the handling of trusses to avoid distortion.
- 5.9 Traditional Roof Construction To be constructed as shown on drawings.
 Timbers to be:
- | | |
|-----------------|-------------------------------|
| Rafters | 125 x 38 mm at 450 mm centres |
| Collars | 125 x 38 mm |
| Ceiling Joists | 125 x 38 mm at 450 mm centres |
| Purlins | 175 x 75 mm |
| Struts | 100 x 75 mm |
| Ceiling Runners | 75 x 50 mm |
| Hangers | 125 x 38 mm |
| Fascia | 300 x 25 mm |

ELECTRICAL

- 8.1 This work to be executed by a firm of specialists and to be in accordance with E.S.B. requirements. Allow a P.C Sum of £ for electrical work as specified below.
- 8.2 Attendance The Contractor to provide for cutting all holes, chases, building-in, etc in walls, floors and roofs, in connection with the Electrical Contractors executing the above works and for making good after same.
- 8.3 Points to be Provided The Contractor is to provide for one light point to every compartment within the house. Provide for two-way switching to hall light. Provide for 2 double socket outlets in each bedroom and living room and 3 double sockets in kitchen. Provide for 1 cooker point in kitchen. Provide number 2 outside light points at front and back door. Bathroom switch to be located in lobby outside same. Provide light point in any garage, lobby or hall.
- 8.4 Fittings Switches, sockets, etc to be sunk bakelit type; all sockets to be 3 pin type and properly earthed to E.S.B. satisfaction.
- 8.5 Immersion Heater. Contractor to provide a double Immersion group in copper cylinder 500 W and 1500 W each separately switched. All exposed wiring in hot press to be asbestos-covered wire.
- 8.6 Meters The E.S.B. meters and fuse board fitted by Contractor to be placed in a position approved Architect.
- 8.7 Earth Where plastic piping is used to connect to mains water supply and where it is not possible to use the water supply as an earth Contractor is to ensure a suitable earth by means of an earth rod driven into the ground for at least 1200 mm or to whatever alternative the E.S.B. may direct.
- 8.8 Indicator Switches Cooker unit and switch for Immersion heater to have red indicator lights for "ON" position.

- 9 PLASTERER
- 9.1 Cement The Portland cement shall be as described in Clause 4.1.
- 9.2 Sand The sand shall be natural or crushed stone and to comply with B.S. 1198 (1952) for plastering, and graded to Class "A" requirements for both under-coats and finishing coats of "Gypsum" plasters only.
- 9.3 Cement Lime Mortar Cement lime mortar to be composed of 6 parts of sand, one part of lime putty and one part of Portland cement well-mixed for wall above damp proof course.
- 9.4 Water The water used for mixing shall be clean and free from set plaster and other impurities.
- 9.5 Internal Plastering Scud, gyplite bonding and gyplite finish coat 15 mm total thickness to manufacturer instructions.
- 9.6 Coving Provide for plaster concave coving to all principal Rooms and Landings.
- 9.7 External Plaster Scud in cement and coarse sand (1:3) and render in 1 part hydrated lime, 1 part cement and 3 parts sand finished 12 mm thick smooth and even. Finished coat to be 12 mm 1:2:6 lime, cement, sand to fine nap finish. Alternatively, 12 mm rough cast finish in 3:1 sand and cement may be applied. Form true edges and arrises, etc. Reveals to be finished as above keyed into rebates and finished 25 mm thick and 25 mm proud of plasterwork.
10. GLAZIER
- 10.1 General Glass to be the best of its respective kind and conform to B.S. 952 (1964). Glass is to fit accurately into rebates, after priming and is to be well back puttied sprigged and puttied. Outside putty is to finish the full depth of rebate. Putty to be linseed oil putty to B.S. 544 (1969). Most of the glass in the metal windows will be pre-glazed.

10.2 Clear Glass

Clear glass to be sheet glass 3 mm for areas up to 0.50 m^2 , 4 mm glass for all areas up to 1.12 m^2 , and 6 mm for larger panes. Glass to conform to B.S. 952 (1964) and shall be the best of its kind, clear of all specks, waves, air bubbles and defects to every kind.

10.3 Obscured Glass

Obscured glass to be small white arctic glass.

10.4 Glazing to Doors

Glass in panels to doors to be bedded in putty and held in position with glazing slips and bedded in mastic putty or to Architect's details.

11

PAINTER

11.1 General

None other than skilled workmen, except apprentices, to be employed on the works. All paint etc, is to be prepared and applied strictly in accordance with manufacturer's instructions.

11.2 Workmanship

All surfaces to be thoroughly dry before knotting, stopping or painting. No paint shall be applied externally in foggy or inclement weather and all necessary precautions are to be taken to prevent damage to paint by frost, etc. The surfaces of all new priming coats and undercoats are to be properly filled and sanded down and dusted off between coats as required. Painting shall not be proceeded within any room unless it is free from dust and washed out. Walls to be rubbed down, filled and free of all blisters and blemishes before decoration. On no account is emulsion paint to be used as a primer to woodwork.

11.3 Materials

All painting materials to be the best of their respective kinds. Approved proprietary brands to be applied in accordance with manufacturer's instructions.

11.4 Internal Painting

All ceilings and walls to be painted a minimum of 2 coats proprietary wall finish. All woodwork to be prepared, knotted, stopped, and painted 2 undercoats and one finish coat of high gloss enamel.

11

PAINTER (continued)

11.5 External Painting

All external woodwork to be prepared, knotted, stopped, primed and painted 2 undercoats and one finish coat of high gloss enamel.

Where external ironwork is used it is to be cleaned and painted 2 undercoats and one finish of high gloss enamel.

12.

HEATING

12.1 Fireplaces

Provide for no 1 fireplace complete to each house P.C for hearth and surround.

12.2 Space Heating

Provide heating system for each house unit.

1. Electrical insulated system to E.S.B. requirements and details.

Alternative Contractor may consider gas or oil heating system to approved detail layout and specification.

13. DRAINAGE AND GENERAL SITE SURVEY.

13.1 Concrete Beds; Lay in trenches under drain pipes, gulleys, junctions, etc., layer of Mix C concrete, as described at 4.4 below. The concrete under pipes to be of a minimum thickness of 100 mm laid to falls, and of a width equal to twice the external diameter of the pipe resting thereon and benched halfway up pipe.

13.2 Drain Pipes Drain pipes to be used generally may be either of p.v.c., salt glazed stoneware or concrete to Irish Standards 6 (1949).

All pipes under roadways to be cased in concrete, minimum 150 mm thick all round. Concrete or stoneware pipes to have joints packed with tar gaskin and filled with cement mortar, executed neatly.

Alternatively concrete or glazed stoneware pipes may be jointed with flexible joints and laid on a 50 mm minimum bed of a granular round gravel and backfilled with a similar material to haunching height.

Consolidated p.v.c pipes jointed with rubber ringed plastic couplers may be used, laid on a granular bed as a base, 50 mm thick and backfilled to top of pipes, and finally covered to a depth of 150 mm over barrel of pipes with similar material.

13.3 Laying Drains: Lay all drains to the necessary falls and connect them to the gulleys, junctions, soil pipes and manholes, in such a manner that every line of drain is straight and true from point to point with a regular gradient throughout its length.

13.4 Armstrong Junctions: To be 225 x 225 mm glazed stoneware with galvanised heavy cast iron cover and frame set on and surrounded with 150 x 150 mm thick concrete Mix A as described at 4.4 below.

13.5 Gulley Traps: To be 150 x 150 mm salt glazed stoneware back inlet type gulleys with outlet jointed to drain and fitted with heavy galvanised gratings and set on and surrounded with concrete Mix A well dished down to grating.

- 13.6. Manholes Form manholes, 750 x 600 mm inside concrete measurement, with 200 mm solid concrete block walls bedded in cement mortar and finished with 25 mm cement plaster, well haunched down to half round white glazed channels. Roofs of manholes to be Mix A, reinforced concrete 150 mm deep, they are to be 900 x 600 mm inside and fitted with galvanised heavy cast iron foot irons built into walls. The bottoms to be benched in fine concrete finished in pure cement, average 200 mm thick.
- 13.7 Water Supply: The water main installation and fittings to be to the satisfaction of the Local Authority Water Engineer and Fire Offices requirements. Pipes for mains shall be 4" diameter hard p.v.c., laid in strict accordance with manufacturers recommendations and to Irish Standard specification. Pipes shall be placed at a minimum depth of 2'6" below level, 2'0" out from boundaries and 10" from gas mains or underground cables.
- 13.8 Fire Hydrants: Shall be located where indicated, shall act as wash out valves, shall be fitted with C.I. pavement covers and shall be clearly marked.
- 13.9 E.S.B. Mains shall be laid below ground to E.S.B. standards and as shown on the drawings, to E.S.B. requirements.
- 13.10 Street Lighting: Shall be to Local Authority approval, to E.S.B. standards and as shown on the drawings.
- 13.11 Telephone Cables: Shall be laid below ground to the satisfaction of the Department of Post & Telegraphs and as shown on the drawings.

Section 14

BOUNDARY WALLS, GATES & LANDSCAPE.

- 14.1 Garden Walling Rear: All back garden walls to be 2.0 m high, capped rendered and painted 225 mm block complete with d.p.c.
- 14.2 Front Wall 400 high x 225 wide selected brick finished front wall to detail.
- 14.3 All Existing Trees: All existing trees to be retained subject to individual agreement on site. The ground about all trees to be retained must remain undisturbed, building materials may not be stored near trees and trees may not be used for the support of temporary fencing and signs etc. Only a competent landscape contractor may lob or fell trees bushes or substantial undergrowth.
- 14.4 Grass Areas. The open spaces, grass verges and all front gardens to receive 6" topsoil seeded for grass by a competent Landscape contractor.
- 14.5 Paving Slabs Where shown on the drawings on 2" sand, on 2" building concrete, on 5" compacted hardcore all carefully grouted and levelled to falls below surrounding grass.
- 14.6 Paths: Paths shall be constructed on hardcore base with 600 mm concrete Mix B, finished fine and rolled with proprietary roller, in length of 6 m between expansion joints.
- 14.7 Landscapes Work: A full landscape proposal to be prepared for areas indicated on drawings and re submitted to Parks Department, Dublin County Council and an approval to be executed by competent landscape contractor.

15 SPECIFICATION EXTERNAL WORKS.

15. Roads: Sub base to road and circulation areas shall consist of crushed rock and shall comply with clause 804 of the D.O.E "Specification for Roadworks". It is to be laid and compacted in accordance with clause 802 of the D.O.E Specification. Minimum Thickness 300 mm.

Road base to road and circulation areas shall consist of 75 mm thickness of dense Bitumen Macadam and shall comply with clause 2.1.1 of B.S. 4987. It is to be laid and compacted to clause 704 and 705 of the D.O.E. Specification.

Road and circulation area surfacing shall consist of 30 mm of 14 mm dense Bitumen Macadam to clause 2.3.4 B.S 4987 of 35 mm of 20 mm dense Bitumen Macadam to clause 2.2.6 B.S 4987.

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MIN 5MM CONTINUOUS VENTILATION STRIP
 ALONG RIDGE OR EQUIVALENT IE: 215 X 100
 HIT & MISS VENT TO ROOFSPACE AS SHOWN

ALONG ROOF SLOPE FIX GALVANIZED H.F.
 STRAPS AT 2M C/C, SIZE 9MM X 30MM
 TO SPAN A MIN OF 2 JOISTS / RAFTERS
 AND ANCHORED TO UNCLUT FLOORS, RAFTERS
 TO BE PACKED AND NAGGED ALONG STRAPS.

SELECTED REDLAND ROOF-TILES TO
 14.7:1972. ON TIMBERS TO 14.
 193: 1986 ROOF-PITCH 25°

HIN. 800MM Ø H.W WINDOW

SELECTED BRICK OUTER LEAF
 TO LAUVY WALL CONSTRUCTION.

F.F.L 2800

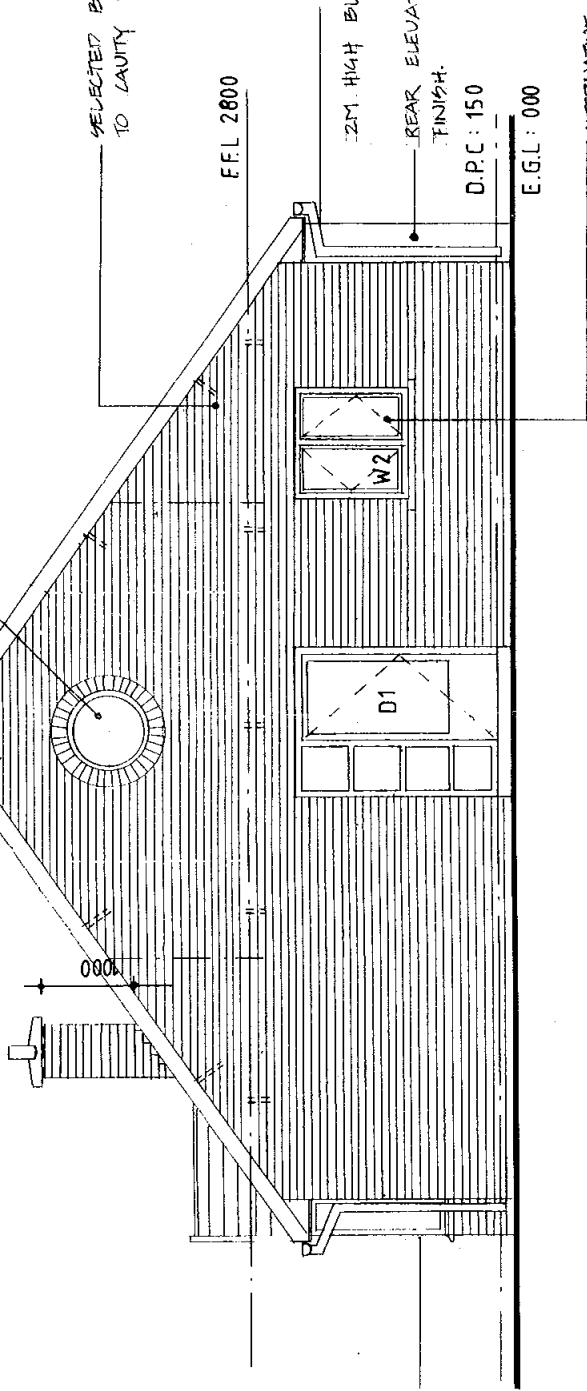
2M HIGH BLOCK REAR BOUNDARY

REAR ELEVATION - 19MM RENDER
 FINISH.

D.P.C : 150

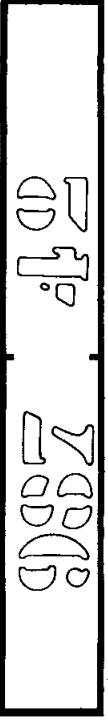
E.G.L : 000

ALTERNATIVE POSITION FOR BED RM
 WINDOW, WITH BRICK CILL UNDER.



drawn: _____ date: 18.01.93
 check: _____ scale: 1:50
 drawing: _____

REVISED BUNGALOW - GABLE ELEVATION **B**



contract: FIRHOUSE, TALLAGHT.

revisions: _____