





Mr. P. Gowran,  
Ethnic Promotions,  
Bord Failte,  
Baggot Street Bridge,  
Dublin 2.

Our Ref.: 92A/0042

16 March 1992

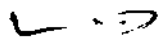
RE: Proposal to modify and enlarge existing first floor apartment in out building by incorporating stables below it at The Old Glebe, Newcastle for H.F. Kerins.

Dear Sir,

I refer to the above planning application.

I now wish to inform you that by Order Dated 12th March, 1992 it was decided to GRANT PERMISSION in respect of the above proposal.

Yours faithfully,

  
\_\_\_\_\_  
for Principal Officer.

BYE LAW APPLICATION FEES

REF. NO.: 92A/0042      CERTIFICATE NO.: 17228<sup>B</sup>

PROPOSAL: Enlarge abatement

LOCATION: The Old Globe, Newcastle

APPLICANT: A. F. Keirns

*hoy 24/1/92*

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55					
B	Domestic Ext. (Improvement/Alts.)	@ £30	<i>£30</i>	<i>£30</i>	<i>/</i>		
C	Building for office or other comm. purpose	@ £3.50 per M <sup>2</sup> or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M <sup>2</sup> in excess of 300 M <sup>2</sup> Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Columns 2,3,4,5,6 & 7 Certified: Signed: *AK* Grade: *8-0* Date: *17/1/92*

Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

LOCALITY GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1983 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REF.:

SERVICES INVOLVED: WATER/FOUL SEWER, SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDER NO: P/ /  
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

PLANNING APPLICATION FEES

Reg. Ref. 92A/0042 Cert. No. 27666  
 PROPOSAL Enlarge amenet  
 LOCATION The Old Glass, Newcastle  
 APPLICANT A. F. Kerins

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REQ.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32				
2	Domestic	@£16	<u>4/16</u>	<u>4/16</u>	<u>—</u>	
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres	@£1.75 per m2 or £40				
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: ..... Grade: ..... Date: .....

Column 1 Endorsed: Signed: ..... Grade: ..... Date: .....

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O. Date: 17/1/92

Columns 2,3,4,5,6 & 7 Endorsed: Signed: ..... Grade: ..... Date: .....

Mary Galvin

OIFIG NA nOIBREACHA POIBLÍ

51 FAICHE STIABHNA, BAILE ÁTHA CLIATH, 2.

OFFICE OF PUBLIC WORKS, 51 ST. STEPHEN'S GREEN, DUBLIN, 2.

TELEAFÓN: 01 - 613111  
FAX: 01 - 610747

TAG:



Dublin County Council,  
Planning Dept.,  
Block 2,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

10.03.92  
Time: 3.15

Re: Planning Reg. No. 92A/0042  
- The Old Glebe, Newcastle

Dear Sirs,

We refer to your letter of 28th January, 1992 in relation to the above planning application.

From an architectural aspect, the developers' architect Mr. Raftery, has already had discussions with our Architect and we are quite satisfied with the present proposals subject to agreement on some details; these relate to the front door and door surround. It is hoped to have these details sorted out direct with Mr. Raftery. One final point which occurs is that it is assumed that the reference to quarry tiles on the dormers is a misprint for quarry slates.

From the archaeological point of view, the developer should be required to employ an archaeologist to supervise any disturbance of the ground surface especially in relation to new service trenches and any excavation connected with laying a new floor in the outbuilding. There is also an ope in the Tower House wall where it abuts the dining room. This should not be interfered with and if it is being bricked up should be recorded beforehand.

Yours faithfully,

Paul Connolly  
Paul Connolly.  
National Monuments and Historic Properties.

3 March 1992.

05 MAR 92

P/1093/92

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

BELGARD

<b>CONTRIBUTION:</b>	
Standard:	Nil
Funds:	Extension of existing
Other:	Domestic use
Open Space:	to
Other:	Second floor
<b>SECURITY:</b>	
Bond / C.I.F.:	
Cash:	

Register Reference : 92A/0042

Date Received : 14th January 1992

Correspondence : Wilfred M. Raftery, Architect,  
 Name and : St. Michael's,  
 Address : 1 Springfield Avenue,  
 Templeogue,  
 Dublin 6W.

Development : Modify and enlarge existing first floor apartment in out building by incorporating stables below it

Location : The Old Glebe, Newcastle

Applicant : H.F. Kerins

App. Type : Permission

Zoning : B

Floor Area : Sq.metres

(MG/DK)

Report of the Dublin Planning Officer dated 6th March, 1992.

This is an application for PERMISSION to modify and enlarge existing first floor apartment in out building by incorporating stables into it at the Old Glebe, Newcastle for H. F. Kerins.

The proposed development is located to the front of ~~the~~ Glebe <sup>estate and</sup> housing to the west of Newcastle Village. It adjoins an existing Tower house castle remains to the south.

Reg. Ref. No. 89B-1452 refers to a grant of permission by the Council and on appeal to An Bord Pleanala for an extension to the old Glebe House, Newcastle for H. F. Kerins.

The proposed site is located within the area of archaeological interest at Newcastle ~~Urban~~ as defined by the Commissioner of Public Works in the Urban Archaeological Survey of County Dublin.

Both the existing Glebe House and the tower house castle are included in this list 1 of the Draft Dublin County Development Plan, 1991. The latter is also a national monument. The existing stables are included in list 2 of the 1991 Draft Plan. As such it is the objective of the Council to consider the preservation of such a building in the event of an application being made to alter or demolish it.



# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 92A/0042

Page No: 0002

Location: The Old Glebe, Newcastle

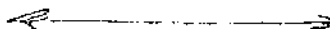
The current application provides for the alteration of the stable building to provide residential accommodation at ground floor level. The first floor has already been converted to residential use. There are existing roof lights to front and rear.

Modifications include the breaking out of 3 new windows at ground floor level and 2 dormer windows at roof level, a new chimney and a new surround to existing door ope. A balcony is to be provided in the north elevation.

Report from Office of Public Works received 5th March, 1992. This states that they have already had discussions with applicant's Architect. They are satisfied with the proposed development providing details relating to front door are agreed (directly) with applicant.

Report requires that developer should be required to employ an archaeologist to supervise disturbance of ground surface when laying floor/providing services. Also an ope in tower house wall should not be interfered with before being recorded first.

The proposed development is considered acceptable.

I recommend that a decision to GRANT PERMISSION  be made under the Local Government (Planning and Development) Acts, 1963 - 1990, subject to the following (5) conditions :-

### C O N D I T I O N S / R E A S O N S

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

~~03 That the proposed house be used as a single dwelling unit.~~

~~REASON: To prevent unauthorised development.~~

304 That all necessary measures be taken by the contractor to prevent the

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 92A/0042

Page No: 0003

Location: The Old Glebe, Newcastle

spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON: To protect the amenities of the area.

4.05 That the proposed dormer roofs be finished with quarry slates.

REASON: In the interest of visual amenity.

5.06 That the applicant shall facilitate the Office of Public Works in the safeguarding of any items of archaeological significance within the site. In this regard, the applicant shall employ an archaeologist (i) to supervise any disturbance of the ground surface which may result from providing services/laying a new floor and

(ii) to record details of an ope in the tower house where it abuts the proposed development in the event of this ope being bricked up. The applicant shall notify the National Monuments Branch of the Office of Public Works in advance, i.e. 4 weeks before commencement of above mentioned works.

REASON: To facilitate the recording and protection of any item of archaeological significance which the site may possess.

6. ~~That the use of the structure for residential purposes shall be restricted to a residential use directly associated with the use of the existing house on the site for such purposes and the structure shall not be sub-divided from the existing structure either by way of sale or letting or otherwise.~~

~~Reason: In the interest of the proper planning and development of the area.~~

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 92A/0042

Page No: 0004

Location: The Old Glebe, Newcastle

*G. Boothman*

.....  
for Dublin Planning Officer

Endorsed: *[Signature]*  
for Principal Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (5) conditions set out above is hereby made.

Dated : *12<sup>th</sup>* MARCH 1992

*[Signature]*  
.....  
ASSISTANT COUNTY MANAGER/~~APPROVED OFFICER~~

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated *19th Feb* 1992.

TELEFÓN: 01 - 613112  
FAX: 01 - 610747

TAG:

*John, 16.3.92.  
This was lost  
on my dest. sorry  
Dorkey.*

Dublin County Council,  
Planning Dept.,  
Block 2,  
Irish Life Centre,  
Lower Abbey Street,  
Dublin 1.

*Mary  
[Signature] for file*

Re: Planning Reg. No. 92A/0042  
- The Old Glebe, Newcastle

*[Signature]  
20/3/92*

Dear Sirs,

We refer to your letter of 28th January, 1992 in relation to the above planning application.

From an architectural aspect, the developers' architect Mr. Raftery, has already had discussions with our Architect and we are quite satisfied with the present proposals subject to agreement on some details; these relate to the front door and door surround. It is hoped to have these details sorted out direct with Mr. Raftery. One final point which occurs is that it is assumed that the reference to quarry tiles on the dormers is a misprint for quarry slates.

From the archaeological point of view, the developer should be required to employ an archaeologist to supervise any disturbance of the ground surface especially in relation to new service trenches and any excavation connected with laying a new floor in the outbuilding. There is also an ope in the Tower House wall where it abuts the dining room. This should not be interfered with and if it is being bricked up should be recorded beforehand.

Yours faithfully,

*k*  
\_\_\_\_\_  
Paul Connolly.  
National Monuments and Historic Properties.

5 March 1992.

DUBLIN COUNTY COUNCIL  
Planning Department

To: Forward Planning.

Lodged 14-1-92

Reg. No. 92A-0042

Re. THE OLD GIBBE, NEWCASTLE, CO. DUBLIN.

I attach for your OBSERVATIONS the planning application in respect of the above proposal.

*11/1/92*  
*PR - exchange*  
*30/1*

Signed \_\_\_\_\_ (S.E.P./S.E.D.C.)

Date \_\_\_\_\_

Report: Site + bits castle / tower house

*(1) P. Kennedy* See refer to Hist Monuments Branch O.P.W. ✓ (i) SITR Ref. DU.020-003  
✓ (ii) Urban Archaeology Survey - Newcastle - "Tower House 2"  
*I noted & read these reports.*  
*29/1/92*  
*M. D. Darky 20.2.92*

This proposed alteration of an outhouse (already stated to be in residential use) does this have planning permission - is it needed? is part of a complex of medieval structures see photographs. I note the report received from the N. Monuments section of the O.P.W. on March 3rd. It appears that no alteration is proposed to the rear of the outhouse - this is the portion which would be most in the public view. Subject to meeting the O.P.W. stated requirements there is no forward planning objection to this proposal.

Mary Darky Hex Planner  
6.3.1992.

Signed



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place / in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building THE OLD GLEBE NEWCASTLE CO. DUBLIN  
(If none, give description sufficient to identify)

3. Name of applicant (Principal not Agent) H. F. KERINS  
Address The Old Glebe, Newcastle, Co. Dublin Tel. No. 589 368

4. Name and address of person or firm responsible for preparation of drawings Wilfred M. Rattery, ARIBA Architect, 55, Michaels, Springfield Ave., Templeogue, Dublin 6W Tel. No. 900514

5. Name and address to which notifications should be sent Above named Architect

6. Brief description of proposed development Modify & enlarge existing first floor apartment in outbuilding by incorporating

7. Method of drainage Public sewer (on foot) 8. Source of Water Supply Public main stables below it

9. In the case of any building or buildings to be retained on site, please state:-

(a) Present use of each floor or use when last used. First floor was last used as residential accommodation; ground floor stable

(b) Proposed use of each floor Residential

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11.(a) Area of Site 3.8 acres approx. Sq. m.

(b) Floor area of proposed development Area to be converted to residential two stables 62.5 Sq. m.

(c) Floor area of buildings proposed to be retained within site approx 1022 Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) Freehold Owner

13.Are you now applying also for an approval under the Building Bye Laws?  
Yes  No  Place / in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:  
Generally

15. List of documents enclosed with application  
**CO. DUBLIN The Old Glebe Newcastle. H.F. Kerins seeks permission to modify and enlarge existing first floor apartment in out building by incorporating stables below it.**  
Dis. Nos. R92/2, R89/11A, R89/110A. Specification (benefits) of out  
Planning Notice from Irish Press dated 13/1/92

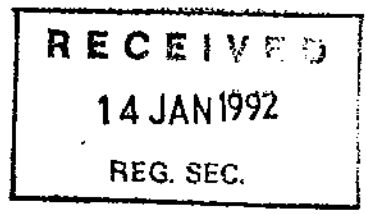
16.Gross floor space of proposed development (See back) Area allotted for stables to residential 62.5 Sq. m.

No of dwellings proposed (if any) ..... Class(es) of Development 2 RB

Fee Payable £ 46.00 Basis of Calculation 1 x 16 + 1 x 30

Signature of Applicant (or his Agent) Wilfred M. Rattery Date 13th January 1991

Application Type P/B FOR OFFICE USE ONLY  
Register Reference 92A/0042  
Amount Received £ .....  
Receipt No .....  
Date .....



*Irish Press 13/1/92*

THE OLD GLEBE  
NEWCASTLE, CO. DUBLIN  
For Mr. Mrs. H. F. Kerins

St. Finian's  
Church

The Old Glebe  
Graveyard  
Cross

Newcastle



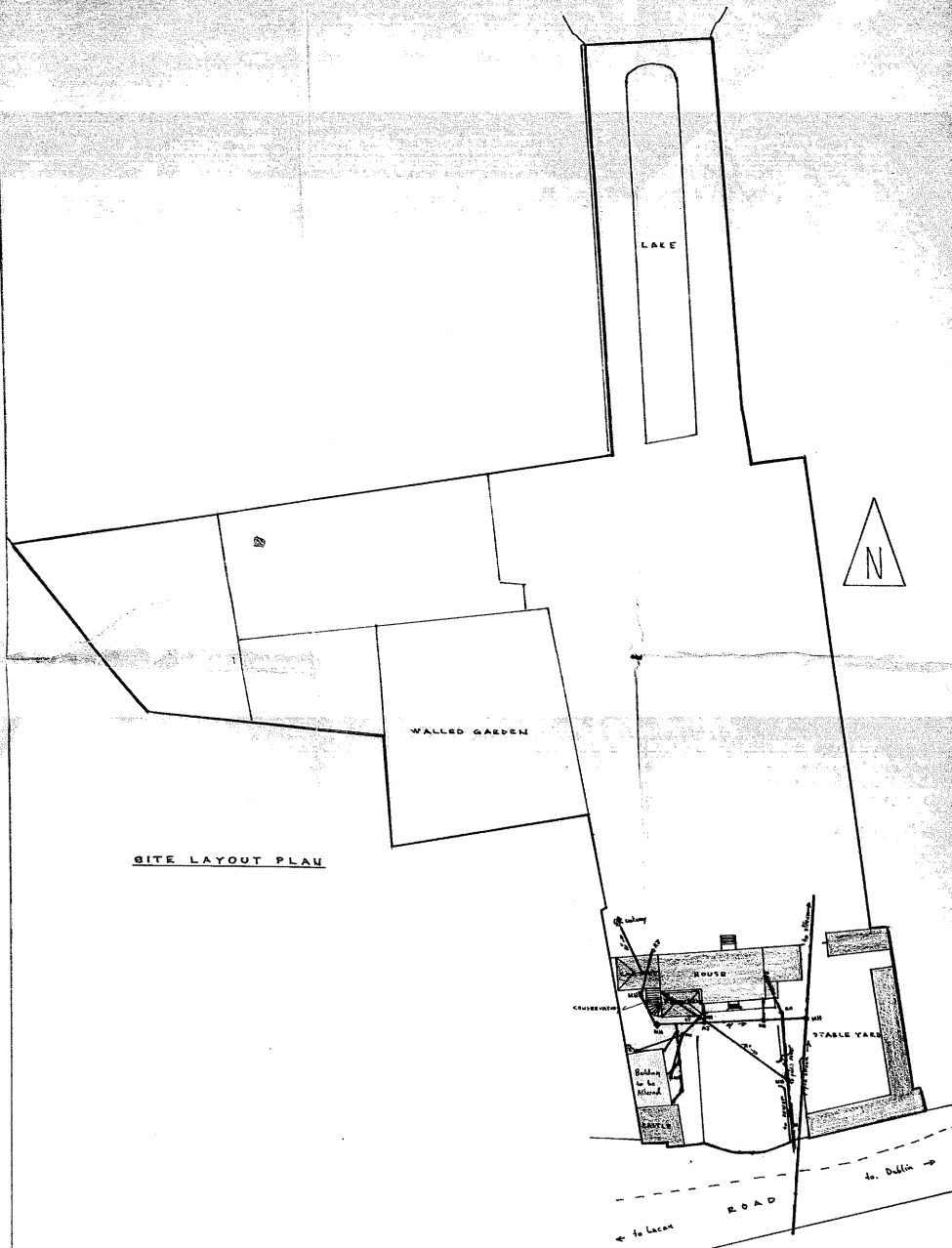
Walter H. Raftery ARCHA  
Architect

DUBLIN CITY  
Planning Dept.  
APPLICATION  
14 JAN 1952  
REG No. 920/52

SITE LOCATION MAP scale 1/2500  
O.S. Ref DUBLIN 20-8 & 21-5 Dep. No. 244/110A







SITE LAYOUT PLAN

DUBLIN COUNTY COUNCIL  
 Planning Dept. Planning Section  
 APPLICATION RECEIVED  
 14 JAN 1982  
 REG. NO. 12482

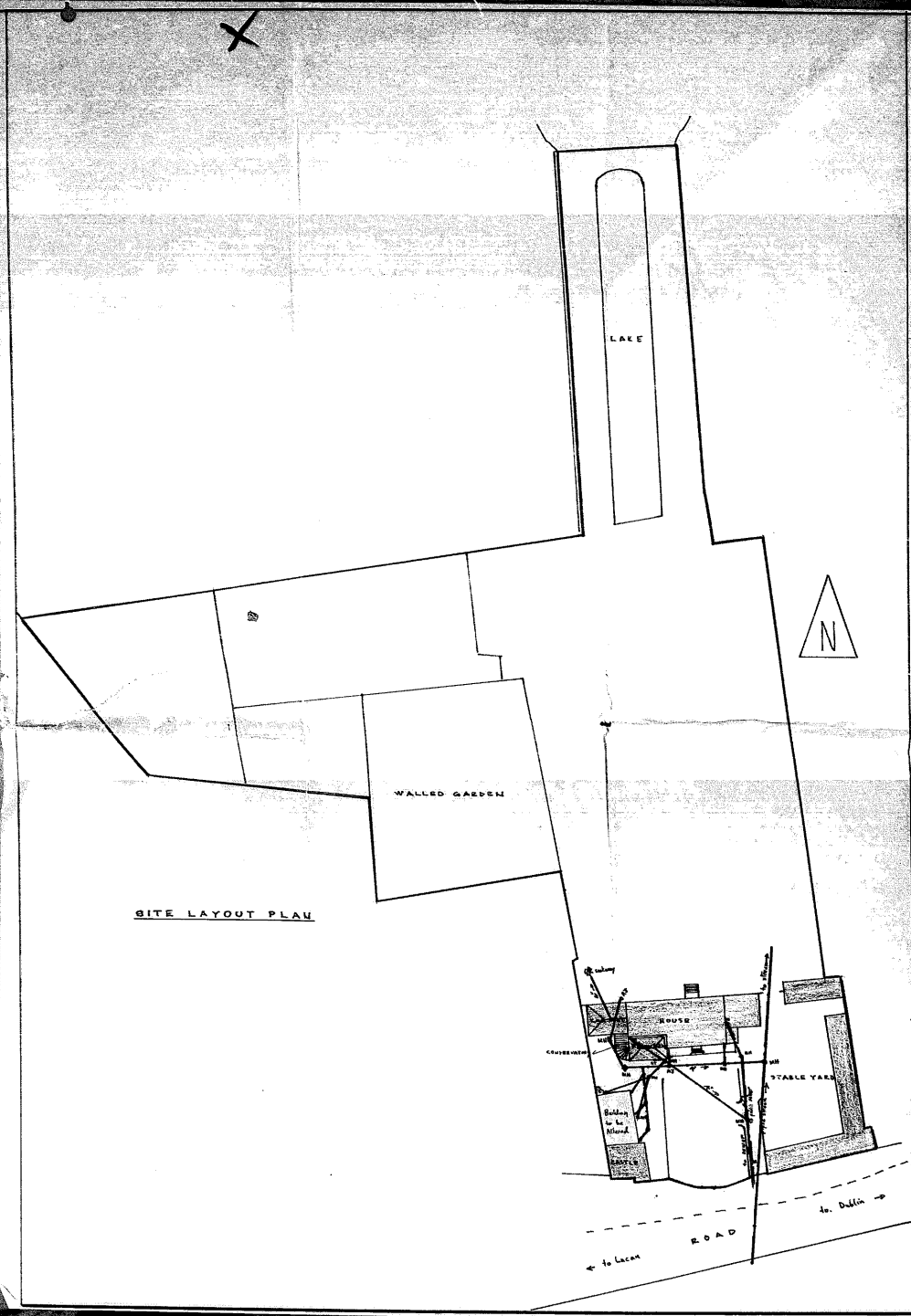
WILFRED M. RAFFERTY ARCHITECT  
 51 Michael's, 1 Springfield Avenue, Templeogue, Dublin 6W D18 0020C

PROJECT  
THE OLD GLEBE  
NEWCASTLE CO. DUBLIN  
ALTERATIONS

CLIENTS  
MR. & MRS. R. F. KERINS

SCALE	1/500	DRAWN BY	<i>[Signature]</i>
DATE	26th October 1981	DRAWING No.	88c/111 A





SITE LAYOUT PLAN

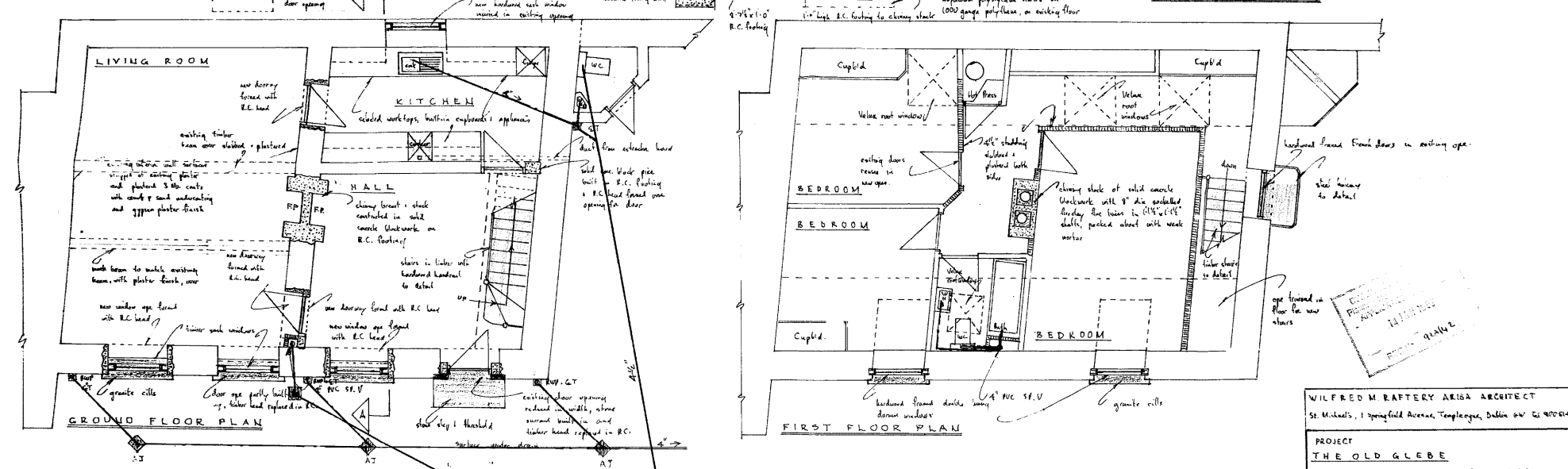
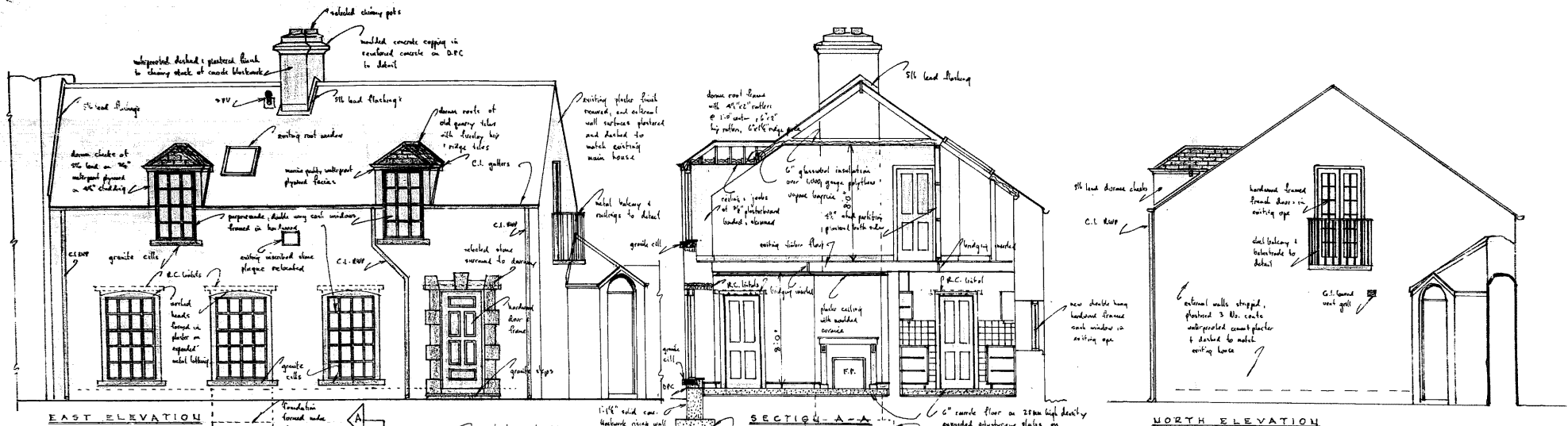
DUBLIN COUNTY COUNCIL  
 Planning Dept. Planning Section  
 APPLICATION RECEIVED  
 14 JAN 1982  
 REG. NO. 12482

WILFRED M. RAFFERTY ARCHITECT  
 51 Michael, 1 Springfield Avenue, Templeogue, Dublin 6W D18 0020

PROJECT  
THE OLD GLEBE  
NEWCASTLE CO. DUBLIN  
ALTERATIONS

CLIENTS  
MR. & MRS. R.F. KERINS

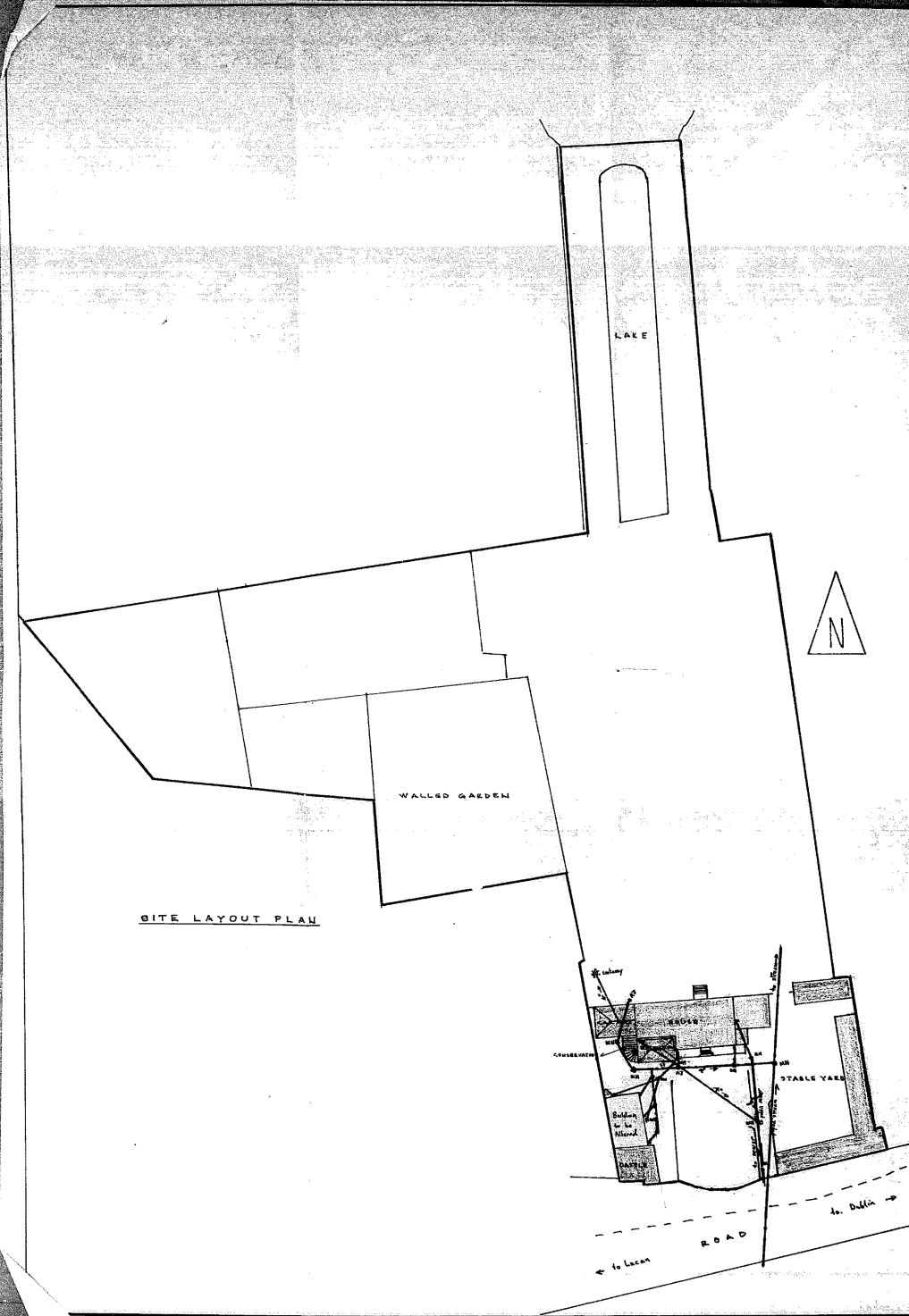
SCALE	1/500	DRAWN BY	<i>[Signature]</i>
DATE	26th October 1981	DRAWING No.	880/11 A



N.B. foul drains to remain unaltered; no surface water drain to connect to existing

WILFRED M. BAFFERTY ARISA ARCHITECT  
 St. Michael's, 1 Springfield Avenue, Templeogue, Dublin SW 21 40004  
 PROJECT  
 THE OLD GLEBE  
 NEWCASTLE, CO. DUBLIN  
 LEWIS APARTMENT, EXTENSION  
 CLIENTS  
 MR. & MRS. H. F. LERINS

SCALE	1 inch to 4 feet	DRAWN BY	L. R.
DATE	10th January 1992	DESK NO	292 / 2



SITE LAYOUT PLAN

DUBLIN COUNTY COUNCIL  
 PROPOSED DEVELOPMENT  
 APPLICATION RECEIVED  
 14 JAN 1982  
 REG. NO. 1413

VILFRED M. RAFFERTY ARIBA ARCHITECT St. Michael's, 1 Springfield Avenue, Templeogue, Dublin 6W 3140054	
PROJECT THE OLD GLEBE NEWCASTLE CO. DUBLIN ALTERATIONS	
CLIENTS MR. & MRS. H.F. KERINS	
SCALE 1/500	DRAWN BY [Signature]
DATE 26.11. October 1984 No. 11.1.82	DRAWING No. 889/111 A

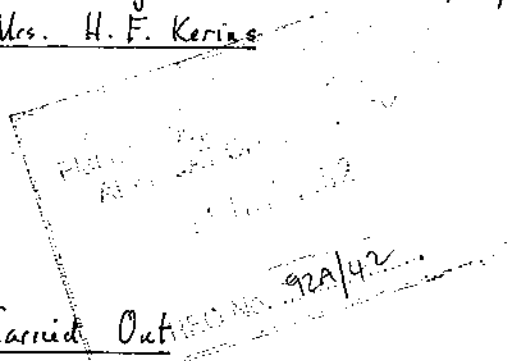
# SPECIFICATION

January 1922

The Old Glebe, Newcastle, Co. Dublin

Modification & Enlargement of Existing Apartment in Outbuilding

for Mr. & Mrs. H. F. Kerins



Wilfred M. Raftery ARIBA Architect  
 St. Michael's, 1 Springfield Avenue,  
 Templeogue, Dublin 6W.

## Works to be Carried Out

Existing apartment is on first floor of outbuilding; it was accessed by an external stairs which has been removed.

The ground floor of this outbuilding was formerly used as stables. It is now proposed convert this lower storey into living accommodation with a stairs connecting it to the former apartment over which will be used for sleeping accommodation with a bathroom.

The converted building will be used as a residence for the housekeeper of the Old Glebe.

The elevational treatment of the modified building is based on the recommendations of Mr. Freddie O'Dwyer of the Ancient Monuments Section of the Office of Public Works

The main changes proposed to the exterior are:

- (1) Provision of chimney stack with two flues.
- (2) Replacement of two first floor windows and a Velux roof window with two dormers.
- (3) Forming two new ground floor windows and partly building up door to form a third window on the East elevation.
- (4) Providing metal balcony and new French door to original entrance door to first floor apartment.

Internally the ground floor level will be raised, three new doorways will be formed in existing ground floor walls, a chimney breast & stack over built to provide fireplaces in the Hall and Living Room and a fitted Kitchen installed. The existing first floor will be trimmed to allow for a new timber stairs up from the Hall. Ground floor ceilings and walls shall be generally given a plastered finish with some wall

tiling in the kitchen. Interior joinery generally shall have a painted finish. First floor alterations shall be confined to those necessary due to building of chimney stack, construction of dormer windows and stud partitioning to give corridor access from stairs to all bedrooms and bathroom. A plaster finish will be used to blockwork of chimney stack, dormer cheeks and new partitions.

The drainage from the existing bathroom will be modified to go to one 4" PVC soil stack boxed inside the external east wall so that the existing unsightly exterior pipework can be eliminated.

No change is proposed to existing underground foul drainage which runs to the public sewer other than a branch to take a gully into which the waste from the kitchen sink will discharge.

#### Building Bye Laws.

The new works shall comply in all respects with the requirements of Dublin County Council Building Bye Laws.

#### Demolition

All demolitions shall be most carefully carried out to avoid any damage to existing structures retained, their services and finishes. In particular special care shall be taken in regard to the adjoining castle. All necessary shoring, strutting, bracing and wedging shall be provided together with boardings and protective screening as may be required.

Break out new openings in existing walls, hack off existing plaster internally as required, remove existing doors, windows, timber lintels etc as indicated. Steep back roofing for chimney stack and dormer windows.

#### Making Good

All structures, finishes and services affected by demolition shall be made good in the best and most appropriate manner.

#### Excavation

Excavate for new foundations for wall under partly built up doorway

and for new chimney stack footing. Excavate to depths shown on drawing or as additionally necessary to obtain good bottoms. Plank and strut sides of trenches if necessary, well ram and consolidate bottoms, keep excavations free from water. Carefully backfill about rising walls and dispose of surplus excavated material away from buildings. Excavate similarly as may be required for new or modified drains.

### Concrete

Cement for concrete, plastering and mortar shall be Portland cement, normal setting, of Irish manufacture, in good condition when used.

Aggregates for concrete shall be washed and graded pit or river sand and gravel.

Water for mixing concrete, plaster and mortar shall be clean main water free from all impurities, animal, vegetable or mineral.

Concrete shall be machine mixed and placed in its final position within twenty minutes of mixing. It shall be compacted into casings and about reinforcement by rodding, tamping and vibrating as may be required.

Concrete Mix shall be :-

Min. Cement Content  $360 \text{ kg/m}^3$ ; Max Aggregate Size 20mm; 28 day compressive strength  $30 \text{ N/mm}^2$

### Formwork

All necessary formwork shall be provided for concrete cast in situ, generally of sawn boarding but wrot casings shall be used for fine finished concrete. Formwork shall be adequately supported and braced so that it does not move under the weight of concrete; it shall not be stricken until the concrete is self-supporting.

### Reinforcement

Reinforcement for concrete shall be M.S bars and ties. It shall be clean, free from rust, oil & millscale. Reinforcement shall be accurately placed in accordance with detail drawings and schedules and secured so that it does not move when concrete is cast.

The following shall be reinforced :- foundations, lintols, beams,



thresholds, chimney capping etc.

All main reinforcing bars shall have 40 mm minimum concrete cover.

### Lintols

Where suitable, standard precast, prestressed, reinforced concrete lintols of approved make may be used for heads of openings in walls and brickwork or blockwork partitions. They shall comply with I.S.S. 240:1980 and be used in strict accordance with makers directions including sizes of bearings and depths of loading courses of solid blockwork or brickwork. Where prestressed lintols are not suitable, cast in situ concrete lintols with M.S. bar reinforcement or R.S. beams cased in concrete shall be used.

### Foundations

New external wall across door opening partly built up to form window shall be built on concrete strip footing 3'0" wide x 1'0" high reinforced with steel mesh or bars.

New chimney breast/stack shall be built on footing of concrete 6'0" x 5'0" x 1'0" high reinforced with steel mesh or bars.

Trench bottoms for foundations shall be first blinded with 2" lean concrete.

### Floor

New ground floor shall be 6" thick concrete with steel trowelled integral cement and sand finish to take selected floor covering. It shall be cast on 25 mm high density expanded polystyrene insulation slabs or damp proof membrane of 1000 polythene laid on existing floor suitably cleaned and levelled. Polythene and insulation shall be returned up edges of floor slab against walls and trimmed off at finished floor level.

Polythene D.P.M. shall be laid with minimum number of joints and these shall be formed by double folding 1'6" high upstands of adjoining sheets.

### Damp Proof Courses

Damp proof courses shall be either 2,000 gauge polythene lapped 6" at joints in their length or injected chemical damp proof coursing carried out by approved specialist firms.

Polythene D.P.C.s shall be laid at finished floor level through new blockwork of walls, piers and chimney stack/breast, under window cills and external door thresholds, turned up at backs and ends, through chimney stack at level of lowest flashing turn-in and under R.C. capping.

Chemical D.P.C. shall be injected into all existing walls and ground floor partitions to damp proof them at ground floor level.

### Chimney Capping

Chimney capping shall be mass concrete, reinforced with steel mesh or bars. It shall be cast in situ with weathered flaunching and moulded banding line finished from the casing.

### Window Cills

Window cills shall be granite or limestone, weathered and throated laid on D.P.C.s turned up at back and ends. If obtainable suitable old cills from demolished buildings may be used.

### Concrete Blockwork

Concrete blocks shall be machine made natural aggregate blocks of approved make, well cured, with sharp arrises when delivered to site. Solid blocks 18" x 9" x 4 1/2" nominal size shall be used with concrete bricks and "soapbars" for bonders and closers.

All concrete blockwork shall be accurately set out, plumbed and properly bonded including by toothing into existing walling. Blocks shall be laid on a full bed of mortar and all vertical joints filled.

All blockwork under ground and up to D.P.C. level shall be laid in cement mortar 1:3 mixed in small quantities for immediate use.

Blockwork in superstructure shall be laid in 1:6 lime sand mix.

gauged immediately before use with 16% cement by volume.

Concrete blockwork shall be used for rising wall and superstructure wall 1-1/2" thick in partly built up external door opening and for 9" thick blockwork piers reducing width of opening for new entrance doorway, also 9" thick for reducing doorway from Hall into Kitchen including over its R.C. head.

Chimney breast/stack shall be constructed in blockwork to provide 2 No fire places back to back 2-3" wide by 1-1/2" deep separated by a 9" wall. Piers at each side of fire openings shall be 1-1/2" wide on face. Over fire openings patent precast R.C. head units shall be built in and smooth gatherings formed rising to flue shafts. Flue shafts shall be 1-1/2" square separated by a 4-1/2" feather with 9" thick blockwork ends. Flues shall be of 8" dia socketed fireclay liners packed about with weak mortar in the shafts. Selected fireclay pots shall be bedded in the chimney capping.

Fireplaces shall have firebrick backs, castiron baskets, slate hearths and selected marble and timber surrounds.

### Timber in Existing Walls

Timbers built into existing walls shall be removed wherever possible to preclude the risk of fungal decay occurring. Timber lintols shall be replaced in reinforced concrete, other timbers removed shall have cavities made good in brickwork, blockwork or concrete.

### Timber & Carpentry

Timber for carpentry shall be best quality imported white deal, free from all defects, properly seasoned and complying with the requirements of SP 11:1988, Structural Timber for Domestic Construction published by the National Standards Authority of Ireland. Structural timbers shall be accurately cut and fitted. They shall extend in one piece between supports and fixings and be securely fitted, fixed and jointed to adequately resist the stresses to which they will be subjected.

Sufficient and suitable sized nails and spikes shall be used for fixings together with screws, coach bolts, washered nuts and bolts, plates etc as appropriate or specified.

### Timber Treatment

All existing structural timber exposed and all new structural timbers including rafters, wallplates, studding, slating laths, joists etc: together with battens, ground plugs etc shall be liberally brush coated or sprayed on all surfaces with Protim or equal preservative fluid. Treatment of new timbers shall be carried out after they are cut and machined to their final sizes but before fixing or building in. Joining frames of doors, windows etc shall have surfaces fixed against walls similarly treated.

### Studding

New first floor partitions including cheeks of dormer windows shall be of 4 1/2" studding with 4 1/2" x 2" studs @ 1'0" centres, 4 1/2" x 2" sole and head pieces, 4 1/2" x 2" noggling pieces between studs @ 3'0" max. spacings. Studding shall be securely fixed to floors under and ceilings over and to walls that it abuts.

### First Floor

Lines of solid bridging shall be inserted between existing joists at 6'0" max spacings.

Opening floor for stairs shall be made with doubled 9" x 2" joists on its long side and a 9" x 3" trimmer to its short side.

### Dormers & Roof

Trim existing rafters with 6" x 3" trimmers, form cheeks with studding as already described, form dormer roofs with 4 1/2" x 2" rafters @ 1'0" centres birdsmouthed over headpieces of studding and 4 1/2" x 4 1/2" timber window head. Hip rafters shall 6" x 2", ridge piece 6" x 1 1/2", ceiling joists tying the rafter ends 4 1/2" x 2" @ 1'0" centres.

Water surfaces of cheeks shall be lined with  $\frac{3}{4}$ " waterproof plywood to take cladding of 5lb lead. Valleys at abutments of dormer roofs with main roof shall have  $\frac{3}{4}$ " deal valley boards to take 5lb lead.

Roofs shall be felted with reinforced sarking felt, Blizzard or equal lapped 6" at horizontal and vertical joints and slated with selected second hand quarry slates to match the existing roof. Slates shall be centre nailed with non corrosive nails to sawn treated 2" x  $\frac{3}{4}$ " deal battens at a gauge to give a 4" headlap.

Roof and cheeks of dormers shall be insulated with glass wool quilt between the ceiling joists and the studs with a vapour barrier of 1,000 gauge polythene behind the interior plasterboard lining to the studding & ceiling.

Roof framing shall be trimmed to allow chimney stack to pass thro' it and the junctions between slating and stacks shall be weathered with 4lb lead soaks and 5lb lead counter flashings wedged and pointed into chases in blockwork of stack. Plaster finish to stack shall finish in a bellcast over the flashings.

### Rainwater Ware

Gutters to eaves and to dormer roofs shall be cast iron with all necessary angle pieces outlets etc on galvanised U.S. or brackets screwed to fascia of  $\frac{3}{4}$ " marine plywood or to rafters. They shall be jointed with red lead putty and galvanised gutter screws and have sufficient and regular falls to outlets.

Downpipes shall be cast iron with lug fixings screwed to walls. They shall have all necessary bends and shall discharge through louvers over gullies with drainage to existing surface water drainage system serving the other buildings on the site.

### Joinery

Joinery shall be to the highest standard in selected hardwoods and selected quality red deal. All jointing shall be to the best and most approved practice. Finish shall be such as to allow

superior quality painting or polishing

### Windows.

New windows shall be fitted throughout. They shall be double hung sash windows generally matching in detail those of the existing main house and its recent extension. They shall be framed in iroko with brass pullies, catches, fasteners and lift rings and have cast iron weights. They shall be draught proofed by the Ventrolta or similar system. Windows shall be trimmed internally with cover slips

### Doors

Main entrance door shall be 2 1/4" iroko door with 6 No raised and fielded panels. It shall be hung on 1 1/2 No pairs 4" steel washed brass butt hinges in rebated and moulded iroko frame ex 1 1/2" x 3" secured in opening by rawbolts into the blockwork jambs. It shall be weathered with a brass finished patent threshold and be fitted with a fixed weatherboard.

A sleeve mortice deadlock, a cylinder night latch and selected brass furniture shall be fitted.

New internal doors shall be 2" iroko doors with 4 No raised and fielded panels hung in rebated frames ex 6" x 2" trimmed as appropriate with moulded architraves ex 4" x 1" or cover slips.

They shall be fitted with horizontal mortice locks and selected knob furniture.

Door thresholds shall have twice spayed pine saddles ex 6" x 1" scribed to frames.

### Skirtings

On first floor new skirtings shall match existing

Throughout ground floor moulded skirtings ex 6" x 1" shall be used generally.

### Windowboards

1 1/4" iroko windowboards with moulded outer edges shall be fitted to windows generally.

### French Door

The new external door to balcony on first floor shall be a 2" fully glazed French double door with glazing bars to match windows. It shall have rebated meeting stiles and be hung on 1 1/2" pairs brass butt hinges per leaf in rebated iroko frame ex 4 1/2" x 2 1/2" rawl bolted into masonry jambs. It shall have a patent brass finished threshold on a reinforced concrete sill. It shall be fitted with a rebated upright mortice lock, selected brass furniture and brass bolts top and bottom. Frame shall be trimmed internally with cover slips.

Its balcony shall be to detail framed in mild steel with perforated steel floor, steel balusters and handrail suitably bracketted from the walling.

### Kitchen Fittings

Built-in cupboard and worktops shall be to detail drawing; doors shall be in hardwood.

Kitchen sink shall be in stainless steel with C.P. mixer fitted fed with 1/2" drinking supply from existing incoming main and 1/2" hot supply taken from the existing hot water system. From it a 1 1/2" PVC waste shall be run to discharge externally over gully connecting to the foul drainage system.

### Plastering

Existing exterior wall surfaces and new concrete blockwork surfaces are to be plastered and dashed to match the finish to the main house. All existing plaster is to be hacked off and wall surfaces prepared as necessary to give good key for new plasters. Surfaces shall be scudded, rendered and floated with cement plaster 1:3, the

floating coat being waterproofed with Sika or equal. Dry dashing of fine pebble shall then be applied. Door and window reveals shall be floated patent reveals as to main house. Arched window heads shall be formed on expanded metal lathing, no timber shall be built into them.

Interior wall surfaces on ground floor shall be stripped of existing plaster, prepared to give key and plastered in cement plaster 1:3 scudded rendered and floated with additive incorporated for damp proofed walls as required by the specialist firm carrying out the damp proofing. Walls shall then be skimmed with gypsum plaster.

Ceilings, stud partitions etc shall be slabbed with  $3/8$ " plasterboard banded and skimmed with gypsum plaster. Moulded cornice shall be fitted as shown. All necessary expanded metal lathing, jute screen and patent metal angle strips as required to reinforce plasterwork shall be provided.

### Stairs

Stairs shall be constructed with  $1\frac{1}{2}$ " deal treads, 1" deal risers, 9" x 2" closed strings all suitably framed and wedged with glued blocks and fillets. Balustrade shall be of selected turned balusters ex  $1\frac{1}{4}$ " square hardwood @  $4\frac{1}{2}$ " centres, turned newels ex 3" x 3" hardwood, moulded mahogany handrail ex 3" x 2 $\frac{1}{2}$ ", moulded cappings ex 2 $\frac{1}{2}$ " x 1" to tops of strings.

### Plumbing

Cold water storage in roof space shall be augmented to give a capacity of 100 gallons fed from rising main through brass ball valve. Tanks shall be PVC, suitably supported and have 1" PVC overflow discharging externally. Tanks shall be lagged. Existing plumbing to bathroom shall remain with plumbing to new kitchen as previously specified. Pipework shall be in copper with brass compression fittings. Waste and soil connections from existing bathroom fittings shall be modified to connect to new internal 4" PVC soil & vent stack which



shall be provided with suitable traps and cleaning eyes for access to all pipe runs.

### Drainage

No alteration is proposed to existing underground foul drainage system which connects to public sewer in the road fronting the site.

Surface water drainage is to existing private system which drains to stream feeding the artificial lake in the grounds of the house.

Any new drains will be in 4" hard PVC pipe, jointed with hard PVC collar connectors incorporating rubber rings. Drains shall be laid on 12" x 4" concrete bed and haunched to half their diameter with concrete. Drains under buildings shall be cased all round with 6" concrete cover. Drains passing through a masonry walls and foundations shall be suitably bridged over so that structure cannot bear on a pipe.

Gullies and junctions shall be PVC bedded in and cased about with 6" concrete cover. Drains shall be laid to suitable & regular falls.

### Decoration

Interior and exterior woodwork shall be prepared primed filled and painted. 2 No undercoats and 1 No finishing coat hard gloss oil paint. Mahogany handrail shall be suitably prepared and clear french polished.)

Metalwork shall be prepared to remove rust, millscale etc, primed with corrosion resistant primer and painted as woodwork.

Interior plastered surfaces to walls and ceilings shall be prepared and decorated 3 No coats plastic emulsion paint

### Electrical

Existing electrical installation on first floor is to be modified, revised as necessary and extended to provide lighting, service socket outlets, space heating, water heating and cooking for the extended dwelling.

Wiring shall be concealed, in PVC/PVC cable with plastic conduit chased into walls.

Electrical installation shall comply with I.E.E. regulations and satisfy ESB requirements.



Reg.Ref. 92A/0042  
Decision Order No. P/ 1093 /91  
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,  
Bloc 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone (01) 724755  
Fax (01) 724896

C O N D I T I O N S / R E A S O N S

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye- Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON: To protect the amenities of the area.

04 That the proposed dormer roofs be finished with quarry slates.

REASON: In the interest of visual amenity.

05 That the applicant shall facilitate the Office of Public Works in the safeguarding of any items of archaeological significance within the site. In this regard, the applicant shall employ an archaeologist

(i) to supervise any disturbance of the ground surface which may result from providing services/laying a new floor and

(ii) to record details of an ope in the tower house where it abuts the proposed development in the event of this ope being interfered with or bricked up. The applicant shall notify the National Monuments Branch of the Office of Public Works at least 4 weeks before commencement of above mentioned works.

REASON: To facilitate the recording and protection of any item of archaeological significance which the site may possess.

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 92A/0042

Date : 15th January 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Modify and enlarge existing first floor apartment in  
out building by incorporating stables below it

LOCATION : The Old Glebe, Newcastle

APPLICANT : H.F. Kerins

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application  
received on 14th January 1992.

Yours faithfully,

.....  
for PRINCIPAL OFFICER

Wilfred M. Raftery, Architect,  
St. Michael's,  
1 Springfield Avenue,  
Templeogue,  
Dublin 6W.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place/ in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building THE OLD GLEBE, NEWCASTLE, CO. DUBLIN  
(If none, give description sufficient to identify) 416 NS4367

3. Name of applicant (Principal not Agent) H.F. KERINS  
Address The Old Glebe, Newcastle Co. Dublin Tel. No. 589 368

4. Name and address of person or firm responsible for preparation of drawings Wilfred M. Rattery, ARIBA Architect, St. Michael's, Springfield Ave., Templeogue, Dublin 6W Tel. No. 900514

5. Name and address to which notifications should be sent Above named Architect 430 NS4541

6. Brief description of proposed development Modify & enlarge existing first floor apartment in outbuilding by incorporating

7. Method of drainage Public sewer for foul 8. Source of Water Supply Public main  
Surface water in paved stream Stables below it

9. In the case of any building or buildings to be retained on site, please state:-  
(a) Present use of each floor or use when last used. First floor was last used as residential accommodation; ground floor was stable  
(b) Proposed use of each floor Residential

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11. (a) Area of Site 3.8 acres approx. Sq. m.  
(b) Floor area of proposed development Area to be converted to residential four stables 63.5 Sq. m.  
(c) Floor area of buildings proposed to be retained within site approx. 1022 Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) Freehold Owner

13. Are you now applying also for an approval under the Building Bye Laws? Yes  No  Place  in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:  
Generally

15. List of documents enclosed with application  
CO. DUBLIN The Old Glebe, Newcastle. H.F. Kerins seeks permission to modify and enlarge existing first floor apartment in out building by incorporating stables below it.  
Doc Nos R92/2, R89/11A, R89/110A, Specification (concepts) and Planning Notice from Irish Press dated 13/1/92

16. Gross floor space of proposed development (See back) Area allotted for stables to be added 63.5 Sq. m.  
No of dwellings proposed (if any) 2+1B Class(es) of Development 2+1B  
Fee Payable £ 46.00 Basis of Calculation 1 x 46 + 1 x 30  
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Wilfred M. Rattery Date 13th January 1991

Application Type P/B FOR OFFICE USE ONLY  
Register Reference 92A/0042  
Amount Received £ 20-8/21-5 1.12.4,  
Receipt No 20-8/21-5  
Date

RECEIVED  
14 JAN 1992  
REG. SEC.

Irish Press  
13/1/92

**LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.**

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situated, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
  - (a) The address of the structure or the location of the land.
  - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
  - (c) The name of the applicant.

**NB, Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
  - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
  - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.  
(ii) A layout and a survey plan of each floor of any structure to which the application relates.
  - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/ Commercial Purposes	£3.50 per m <sup>2</sup> (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY — DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET  
DUBLIN 1.

Issue of this receipt is not an  
acknowledgement that the fee  
tendered is the prescribed application  
fee. N 54367

CASH  
CHEQUE ✓  
M.O.  
B.L.  
I.T.

£ 16.00

Received this 14th day of January 1992

from W. Raftery,  
1 Springfield Ave,  
Templeogue

the sum of sixteen Pounds

Pence, being fee for  
planning application of The Old Globe,  
Newcastle

Molloy Secano Cashier

S. CAREY Class 2  
Principal Officer

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY — DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

BYE LAW APPLICATION  
REC. No. N 54541

CASH  
CHEQUE ✓  
M.O.  
B.L.  
I.T.

£ 30.00

Received this 14th day of January 1992

from W. Raftery,  
1 Springfield Ave,  
Templeogue

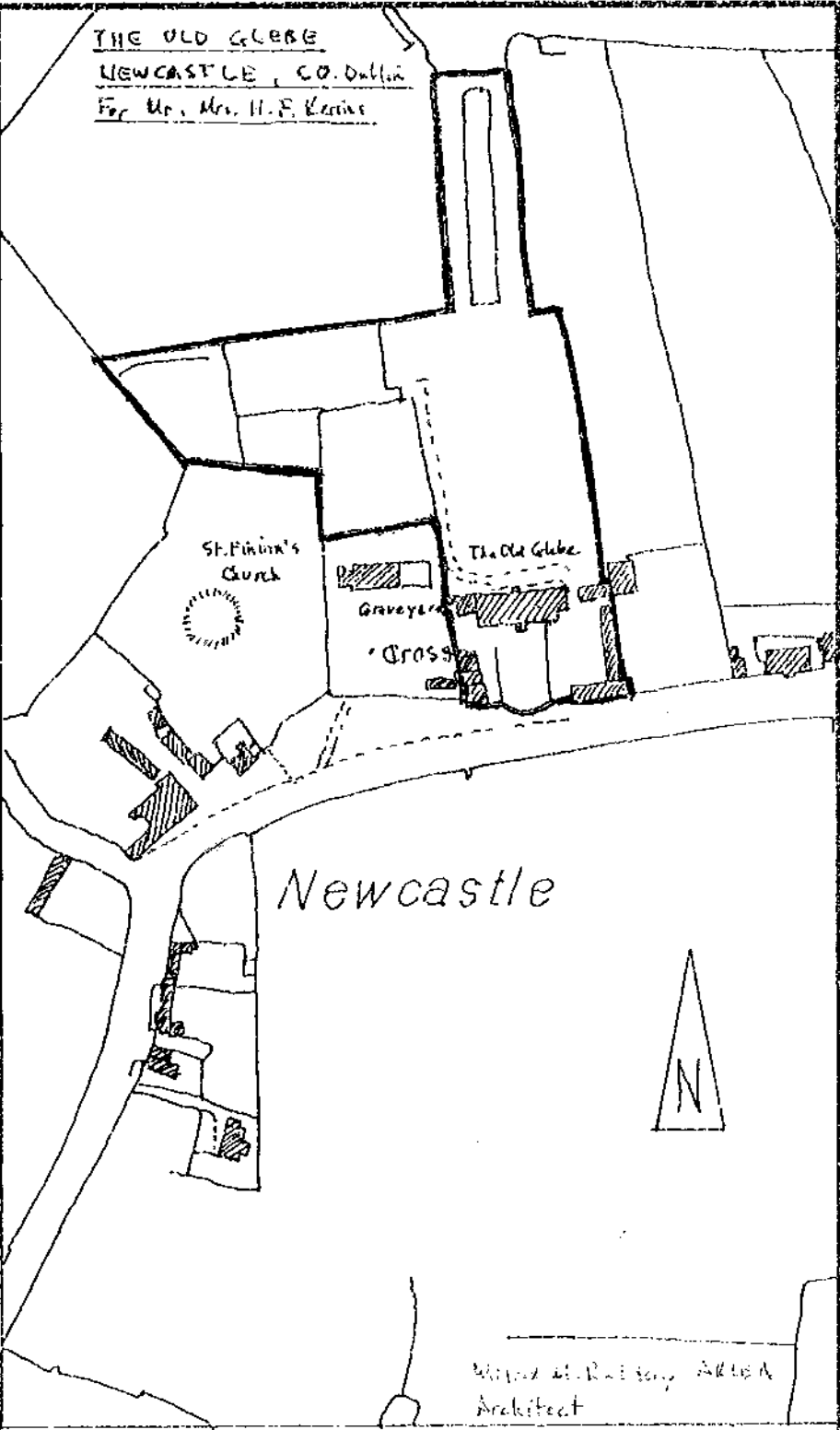
the sum of thirty Pounds

Pence, being fee for  
bye-law application of The Old Globe,  
Newcastle

Molloy Secano Cashier

S. CAREY Class 3  
Principal Officer

THE OLD GLOBE  
NEWCASTLE, CO. DUBLIN  
For Mr. Mrs. H.F. Kerins



DUBLIN COUNTY COUNCIL  
Planning Dept. Registry Section  
APPLICATION RECEIVED  
14 JAN 1992  
REG No. ...920/42....

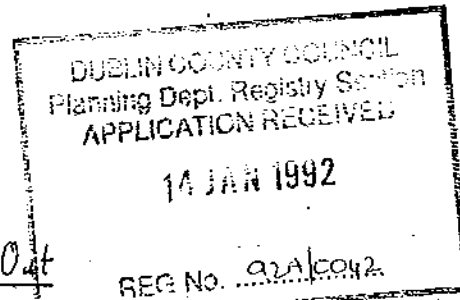
Drawn at Registry ALLEN  
Architect

SITE LOCATION MAP scale 1/2500  
O.S. Ref DUBLIN 20-8 & 21-5 Dg 15 250/00A



SPECIFICATION

January 1992

The Old Glebe, Newcastle, Co. DublinModification & Enlargement of Existing Apartment in Outbuildingfor Mr. & Mrs. H. F. Kerins

Wilfred M. Rattery ARIBA Architect,  
St. Michael's, 1 Springfield Avenue,  
Templeogue, Dublin 6W.

Works to be Carried Out

Existing apartment is on first floor of outbuilding; it was accessed by an external stairs which has been removed.

The ground floor of this outbuilding was formerly used as stables. It is now proposed to convert this lower storey into living accommodation with a stairs connecting it to the former apartment over which will be used for sleeping accommodation with a bathroom.

The converted building will be used as a residence for the housekeeper of the Old Glebe.

The elevational treatment of the modified building is based on the recommendations of Mr. Freddie O'Dwyer of the Ancient Monuments Section of the Office of Public Works.

The main changes proposed to the exterior are:

- (1) Provision of chimney stack with two flues.
- (2) Replacement of two first floor windows and a Velux roof window with two dormers.
- (3) Forming two new ground floor windows and partly building up door to form a third window on the East elevation.
- (4) Providing metal balcony and new french door to original entrance door to first floor apartment.

Internally the ground floor level will be raised, three new doorways will be formed in existing ground floor walls, a chimney breast & stack over built to provide fireplaces in the Hall and Living Room and a fitted Kitchen installed. The existing first floor will be trimmed to allow for a new timber stairs up from the Hall. Ground floor ceilings and walls shall be generally given a plastered finish with some wall



tiling in the kitchen. Interior joinery generally shall have a painted finish. First floor alterations shall be confined to those necessary due to building of chimney stack, construction of dormer windows and stud partitioning to give corridor access from stairs to all bedrooms and bathroom. A plaster finish will be used to blockwork of chimney stack, dormer cheeks and new partitions.

The drainage from the existing bathroom will be modified to go to one 4" PVC soil stack boxed inside the external east wall so that the existing unsightly exterior pipework can be eliminated.

No change is proposed to existing underground foul drainage which runs to the public sewer other than a branch to take a gully into which the waste from the kitchen sink will discharge.

#### Building Bye Laws

The new works shall comply in all respects with the requirements of Dublin County Council Building Bye Laws.

#### Demolition

All demolitions shall be most carefully carried out to avoid any damage to existing structures retained, their services and finishes. In particular special care shall be taken in regard to the adjoining castle. All necessary shoring, strutting, bracing and wedging shall be provided together with hoardings and protective screening as may be required.

Break out new openings in existing walls, hack off existing plaster internally as required, remove existing doors, windows, timber lintels etc as indicated. Strip back roofing for chimney stack and dormer windows.

#### Making Good

All structures, finishes and services affected by demolition shall be made good in the best and most appropriate manner.

#### Excavation

Excavate for new foundations for wall under partly built up doorway

and for new chimney stack footing. Excavate to depths shown on drawing or as additionally necessary to obtain good bottoms. Plank and strut sides of trenches if necessary, well ram and consolidate bottoms, keep excavations free from water. Carefully backfill about rising walls and dispose of surplus excavated material away from buildings. Excavate similarly as may be required for new or modified drains.

### Concrete

Cement for concrete, plastering and mortar shall be Portland cement, normal setting, of Irish manufacture, in good condition when used.

Aggregates for concrete shall be washed and graded pit or river sand and gravel.

Water for mixing concrete, plaster and mortar shall be clean mains water free from all impurities, animal, vegetable or mineral.

Concrete shall be machine mixed and placed in its final position within twenty minutes of mixing. It shall be compacted into casings and about reinforcement by rodding, tamping and vibrating as may be required.

Concrete Mix shall be :-

Min. Cement Content  $360 \text{ kg/m}^3$ ; Max Aggregate Size  $20 \text{ mm}$ ; 28 day compressive strength  $30 \text{ N/mm}^2$

### Formwork

All necessary formwork shall be provided for concrete cast in situ, generally of sawn boarding but wrot casings shall be used for fine finished concrete. Formwork shall be adequately supported and braced so that it does not move under the weight of concrete; it shall not be struck until the concrete is self-supporting.

### Reinforcement

Reinforcement for concrete shall be M.S bars and ties. It shall be clean, free from rust, oil & millscale. Reinforcement shall be accurately placed in accordance with detail drawings and schedules and secured so that it does not move when concrete is cast.

The following shall be reinforced :- foundations, lintols, beams,

thresholds, chimney capping etc.

All main reinforcing bars shall have 40 mm minimum concrete cover.

### Lintols

Where suitable, standard precast, prestressed, reinforced concrete lintols of approved make may be used for heads of openings in walls and brickwork or blockwork partitions. They shall comply with I.S.S. 240:1980 and be used in strict accordance with makers directions including sizes of bearings and depths of loading courses of solid blockwork or brickwork. Where prestressed lintols are not suitable, cast in situ concrete lintols with M.S. bar reinforcement or R.S. beams cased in concrete shall be used.

### Foundations

New external wall across door opening partly built up to form window shall be built on concrete strip footing 3'-0" wide x 1'-0" high reinforced with steel mesh or bars.

New chimney breast/stack shall be built on footing of concrete 6'-0" x 5'-0" x 1'-0" high reinforced with steel mesh or bars.

Trench bottoms for foundations shall be first blinded with 2" lean concrete.

### Floor

New ground floor shall be 6" thick concrete with steel trowelled integral cement and sand finish to take selected floor covering. It shall be cast on 25 mm high density expanded polystyrene insulation slabs or damp proof membrane of 4,000 polythene laid on existing floor suitably cleaned and levelled. Polythene and insulation shall be returned up edges of floor slab against walls and trimmed off at finished floor level.

Polythene D.P.M. shall be laid with minimum number of joints and these shall be formed by double folding 1'-6" high upstands of adjoining sheets.

### Damp Proof Courses

Damp proof courses shall be either 2.000 black polythene lapped 6" at joints in their length or injected chemical damp proof coursing carried out by approved specialist firm.

Polythene D.P.C.s shall be laid at finished floor level through new blockwork of walls, piers and chimney stack/breast, under window cills and external door thresholds, turned up at backs and ends, through chimney stack at level of lowest flashing turn-in and under R.C. capping.

Chemical D.P.C. shall be injected into all existing walls and ground floor partitions to damp proof them at ground floor level.

### Chimney Capping

Chimney capping shall be mass concrete, reinforced with steel mesh or bars. It shall be cast in situ with weathered flaunching and moulded banding line finished from the casing.

### Window Cills

Window cills shall be granite or limestone, weathered and throated laid on D.P.C.s turned up at back and ends. If obtainable suitable old cills from demolished buildings may be used.

### Concrete Blockwork

Concrete blocks shall be machine made natural aggregate blocks of approved make, well cured, with sharp arrises when delivered to site. Solid blocks 18" x 9" x 4 1/2" nominal size shall be used with concrete bricks and "soapbars" for bonders and closers.

All concrete blockwork shall be accurately set out, plumbed and properly bonded including by toothing into existing walling. Blocks shall be laid on a full bed of mortar and all vertical joints filled.

All blockwork under ground and up to D.P.C. level shall be laid in cement mortar 1:3 mixed in small quantities for immediate use.

Blockwork in superstructure shall be laid in 1:1:6 lime sand mix

gauged immediately before use with 4% cement by volume.

Concrete blockwork shall be used for rising wall and superstructure wall 1-1/2" thick in partly built up external door opening and for 9" thick blockwork piers reducing width of opening for new entrance doorway, also 9" thick for reducing doorway from Hall into Kitchen including over its R.C. head.

Chimney breast/stack shall be constructed in blockwork to provide 2 No fire places back to back 2'3" wide by 1-1/2" deep separated by a 9" wall. Piers at each side of fire openings shall be 1-1/2" wide on face. Over fire openings patent precast R.C. head units shall be built in and smooth gatherings formed rising to flue shafts. Flue shafts shall be 1-1/2" square separated by a 4 1/2" leather with 9" thick blockwork ends. Flues shall be of 8" dia socketted fireclay liners packed about with weak mortar in the shafts. Selected fireclay pots shall be bedded in the chimney capping.

Fireplaces shall have firebrick backs, castiron baskets, slate hearths and selected marble and timber surrounds.

### Timber in Existing Walls

Timbers built into existing walls shall be removed wherever possible to preclude the risk of fungal decay occurring. Timber lintols shall be replaced in reinforced concrete, other timbers removed shall have cavities made good in brickwork, blockwork or concrete.

### Timber & Carpentry

Timber for carpentry shall be best quality imported white deal, free from all defects, properly seasoned and complying with the requirements of SP 11:1988, Structural Timber for Domestic Construction published by the National Standards Authority of Ireland. Structural timbers shall be accurately cut and fitted. They shall extend in one piece between supports and fixings and be securely fitted, fixed and jointed to adequately resist the stresses to which they will be subjected.

Sufficient and suitable sized nails and spikes shall be used for fixings together with screws, coach bolts, washered nuts and bolts, plates etc as appropriate or specified.

### Timber Treatment

All existing structural timber exposed and all new structural timbers including rafters, wallplates, studding, slating laths, joists etc: together with battens, ground plugs etc shall be liberally brush coated or sprayed on all surfaces with Protin or equal preservative fluid. Treatment of new timbers shall be carried out after they are cut and machined to their final sizes but before fixing or building in. Joinery frames of doors, windows etc shall have surfaces fixed against walls similarly treated.

### Studding

New first floor partitions including cheeks of dormer windows shall be of  $4\frac{1}{2}$ " studding with  $4\frac{1}{2}$ " x 2" studs @ 1'0" centres,  $4\frac{1}{2}$ " x 2" sole and head pieces,  $4\frac{1}{2}$ " x 2" noggling pieces between studs @ 3'0" max. spacings. Studding shall be securely fixed to floors under and ceilings over and to walls that it abuts.

### First Floor

Lines of solid bridging shall be inserted between existing joists at 6'0" max spacings.

Opening floor for stairs shall be made with doubled 9" x 2" joists on its long side and a 9" x 3" trimmer to its short side.

### Dormer & Roof

Trim existing rafters with 6" x 3" trimmers, form cheeks with studding as already described, form dormer roofs with  $4\frac{1}{2}$ " x 2" rafters @ 1'0" centres birdsmouthed over headpieces of studding and  $4\frac{1}{2}$ " x  $4\frac{1}{2}$ " timber window head. Hip rafters shall 6" x 2", ridge piece 6" x 1 $\frac{1}{2}$ ", ceiling joists tying the rafter ends  $4\frac{1}{2}$ " x 2" @ 1'0" centres.



Outer surfaces of cheeks shall be lined with  $\frac{3}{4}$ " waterproof plywood to take cladding of 5lb lead. Valleys at abutments of dormer roofs with main roof shall have  $\frac{3}{4}$ " deal valley boards to take 5lb lead.

Roofs shall be felted with reinforced sarking felt, Blizzard or equal lapped 6" at horizontal and vertical joints and slated with selected second hand quarry slates to match the existing roof. Slates shall be centre nailed with non corrosive nails to sawn treated 2" x  $\frac{3}{4}$ " deal battens at a gauge to give a 4" headlap.

Roof and cheeks of dormers shall be insulated with glass wool quilt between the ceiling joists and the studs with a vapour barrier of 1,000 gauge polythene behind the interior plasterboard lining to the studding & ceiling.

Roof framing shall be trimmed to allow chimney stack to pass thro' it and the junctions between slating and stacks shall be weathered with 4lb lead soaks and 5lb lead counter flashings wedged and pointed into chases in blockwork of stack. Plaster finish to stack shall finish in a bellcast over the flashings.

### Rainwater Ware

Gutters to eaves and to dormer roofs shall be cast iron with all necessary angle pieces outlets etc on galvanized M.S. or brackets screwed to facias of  $\frac{3}{4}$ " marine plywood or to rafters. They shall be jointed with red lead putty and galvanized gutter screws and have sufficient and regular falls to outlets.

Downpipes shall be cast iron with lug fixings screwed to walls. They shall have all necessary bends and shall discharge through toes over gutters with drainage to existing surface water drainage system serving the other buildings on the site.

### Joinery

Joinery shall be to the highest standard in selected hardwoods and selected quality red deal. All jointing shall be to the best and most approved practice. Finish shall be such as to allow

superior quality painting or polishing

### Windows.

New windows shall be fitted throughout. They shall be double hung sash windows generally matching in detail those of the existing main house and its recent extension. They shall be framed in iroko with brass pullies, catches, fasteners and lift rings and have cast iron weights. They shall be draught proofed by the Ventrolta or similar system. Windows shall be trimmed internally with cover slips

### Doors

Main entrance door shall be 2 $\frac{1}{4}$ " iroko door with 6 No raised and fielded panels. It shall be hung on 1 $\frac{1}{2}$  No pairs 4" steel washed brass butt hinges in rebated and moulded iroko frame ex 4 $\frac{1}{2}$ " x 3" secured in opening by rawbolts into the blockwork jambs. It shall be weathered with a brass finished patent threshold and be fitted with a fixed weatherboard.

A sleeve mortice deadlock, a cylinder night latch and selected brass furniture shall be fitted.

New internal doors shall be 2" iroko doors with 4 No raised and fielded panels hung in rebated frames ex 6" x 2" trimmed as appropriate with moulded architraves ex 4 $\frac{1}{2}$ " x 1" or cover slips.

They shall be fitted with horizontal mortice locks and selected knob furniture.

Door thresholds shall have twice spayed pine saddles ex 6" x 1" scribed to frames.

### Skirtings

On first floor new skirtings shall match existing.

Throughout ground floor moulded skirtings ex 6" x 1" shall be used generally.

### Windowboards

1 1/4" iroko windowboards with moulded outer edges shall be fitted to windows generally.

### French Door

The new external door to balcony on first floor shall be a 2" fully glazed French double door with glazing bars to match windows. It shall have rebated meeting stiles and be hung on 1 1/2" pairs brass butt hinges per leaf in rebated iroko frame ex 4 1/2" x 2 1/2" oval bolted into masonry jaws. It shall have a patent brass finished threshold on a reinforced concrete sill. It shall be fitted with a rebated upright mortice lock, selected brass furniture and brass bolts top and bottom. Frame shall be trimmed internally with cover slips.

Its balcony shall be to detail framed in mild steel with perforated steel floor, steel balusters and handrail suitably bracketted from the walling.

### Kitchen Fittings

Built-in cupboard and worktops shall be to detail drawing; doors shall be in hardwood.

Kitchen sink shall be in stainless steel with C.P. mixer fitted fed with 1/2" drinking supply from existing incoming main and 1/2" hot supply taken from the existing hot water system. From it a 1 1/2" PVC waste shall be run to discharge externally over gully connecting to the foul drainage system.

### Plastering

Existing exterior wall surfaces and new concrete blockwork surfaces are to be plastered and dashed to match the finish to the main house. All existing plaster is to be hacked off and wall surfaces prepared as necessary to give good key for new plasters. Surfaces shall be scudded, rendered and floated with cement plaster 1:3, the

floating coat being waterproofed with Sika or equal. Dry dashing of fine pebble shall then be applied. Door and window reveals shall be floated patent reveals as to main house. Arched window heads shall be formed on expanded metal lathing, no timber shall be built into them.

Interior wall surfaces on ground floor shall be stripped of existing plaster, prepared to give key and plastered in cement plaster 1:3 scudded rendered and floated with additive incorporated for damp proofed walls as required by the specialist firm carrying out the damp proofing. Walls shall then be skimmed with gypsum plaster.

Ceilings, stud partitions etc shall be slabbed with  $\frac{3}{8}$ " plasterboard banded and skimmed with gypsum plaster. Moulded cornices shall be fitted as shown. All necessary expanded metal lathing, jute screen and patent metal angle strips as required to reinforce plasterwork shall be provided.

### Stairs

Stairs shall be constructed with  $\frac{1}{4}$ " deal treads, 1" deal risers, 9"x2" closed strings all suitably framed and wedged with glued blocks and fillets. Balustrade shall be of selected turned balusters ex  $\frac{1}{4}$ " square hardwood @ 4 $\frac{1}{2}$ " centres, turned newels ex 3"x3" hardwood, moulded wakogany handrail ex 3"x2 $\frac{1}{2}$ ", moulded cappings ex 2 $\frac{1}{2}$ "x1" to tops of strings.

### Plumbing

Cold water storage in roof space shall be augmented to give a capacity of 100 gallons fed from rising main through brass ball valve. Tanks shall be PVC, suitably supported and have 1" PVC overflow discharging externally. Tanks shall be lagged. Existing plumbing to bathroom shall remain with plumbing to new kitchen as previously specified. Pipe work shall be in copper with brass compression fittings. Waste and soil connections from existing bathroom fittings shall be modified to connect to new internal 4" PVC soil & vent stack which

shall be provided with suitable traps and cleaning eyes for access to all pipe runs.

### Drainage

No alteration is proposed to existing underground foul drainage system which connects to public sewer in the road fronting the site.

Surface water drainage is to existing private system which drains to stream feeding the artificial lake in the grounds of the house.

Any new drains will be in 4" hard PVC pipe, jointed with hard PVC collar connectors incorporating rubber rings. Drains shall be laid on 12" x 4" concrete bed and haunched to half their diameter with concrete. Drains under buildings shall be cased all round with 6" concrete cover. Drains passing through or under walls and foundations shall be suitably bridged over so that structure cannot bear on a pipe.

Gullies and junctions shall be PVC bedded in and cased about with 6" concrete cover. Drains shall be laid to suitable & regular falls.

### Decoration

Interior and exterior woodwork shall be prepared, primed, filled and painted. 2 No undercoats and 1 No finishing coat hard gloss oil paint.

Mahogany handrail shall be suitably prepared and clear french polished.)

Metalwork shall be prepared to remove rust, millscale etc, primed with corrosion resistant primer and painted as woodwork.

Interior plastered surfaces to walls and ceilings shall be prepared and decorated 3 No coats plastic emulsion paint

### Electrical

Existing electrical installation on first floor is to be modified, rewired as necessary and extended to provide lighting, service socket outlets, space heating, water heating and cooking for the extended dwelling.

Wiring shall be concealed, in PVC/PVC cable with plastic conduit chased into walls.

Electrical installation shall comply with I.E.E. regulations and satisfy ESB requirements.