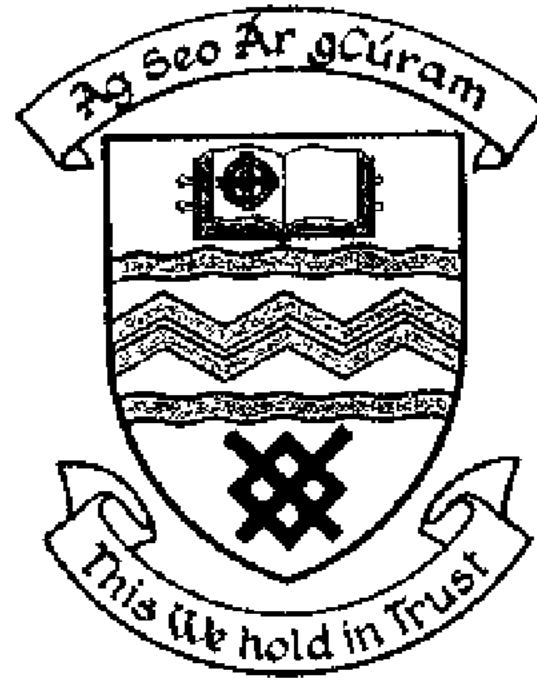


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S99A/0213	
1. Location	Greenogue, Rathcoole, Co. Dublin.		
2. Development	Erect a creche together with entrance gates and sewage treatment plant.		
3. Date of Application	07/04/99	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: CMB Architects, Address: 7 St. Stephens Green, Dublin 2.		
5. Applicant	Name: Ciara and Derval McCarthy, Address: 56 Weston Crescent, Lucan, Co. Dublin.		
6. Decision	O.C.M. No. 1156 Date 02/06/1999	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 1495 Date 15/07/1999	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar Date Receipt No.	

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CMB Architects,
7 St. Stephens Green,
Dublin 2.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 1495	Date of Final Grant 15/07/1999
Decision Order Number 1156	Date of Decision 02/06/1999
Register Reference S99A/0213	Date 07/04/99

Applicant Ciara and Derval McCarthy,

Development Erect a creche together with entrance gates and sewage treatment plant.

Location Greenogue, Rathcoole, Co. Dublin.

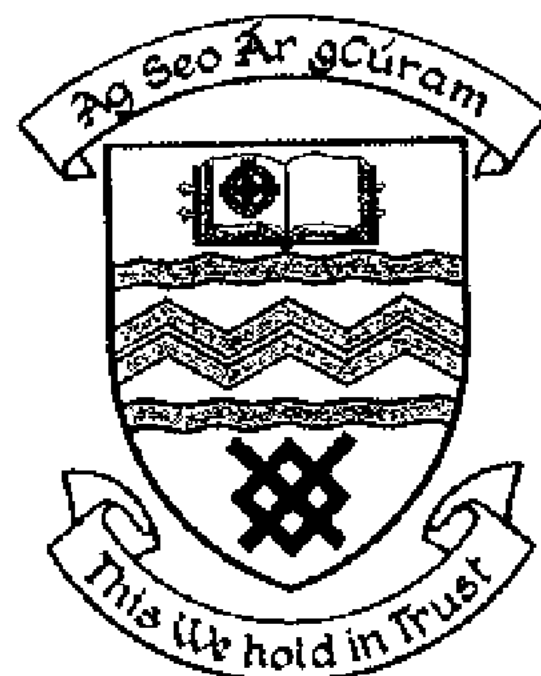
Floor Area 342.00 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received /

A Permission has been granted for the development described above,
subject to the following (15) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of safety and the avoidance of fire hazard.

- 3 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of health and safety.

- 4 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council.
REASON:
In order to comply with the Sanitary Services Acts, 1878 - 1964.

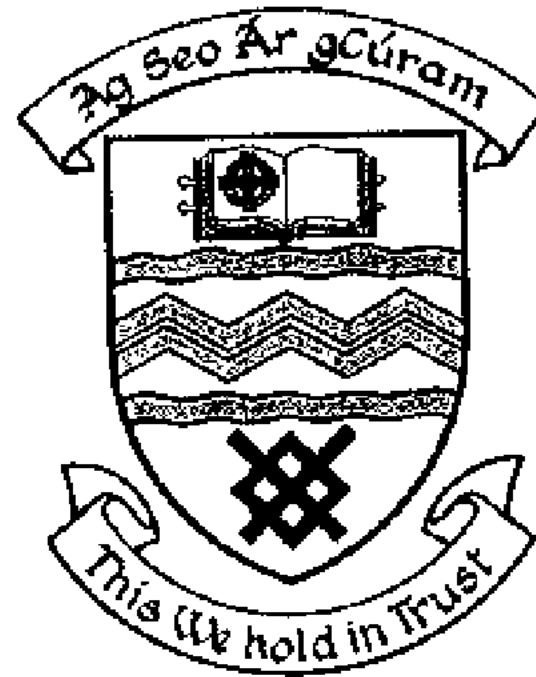
- 5 That prior to commencement of development the applicant shall submit the following details to the Planning Authority for agreement:-
 - (a) surface water attenuation proposals including calculations. South Dublin County Council require storage of the difference between the existing runoff which is taken as 15% of a 5 year 30 minute storm, rated as 32mm/hr. intensity and a 20 year storm;
 - (b) Full details of surface water drainage including pipe sizes, gradients, cover and invert levels up to and including outfall to stream/river.

REASON:
So that the development is in accordance with the requirements of the Environmental Services Section.

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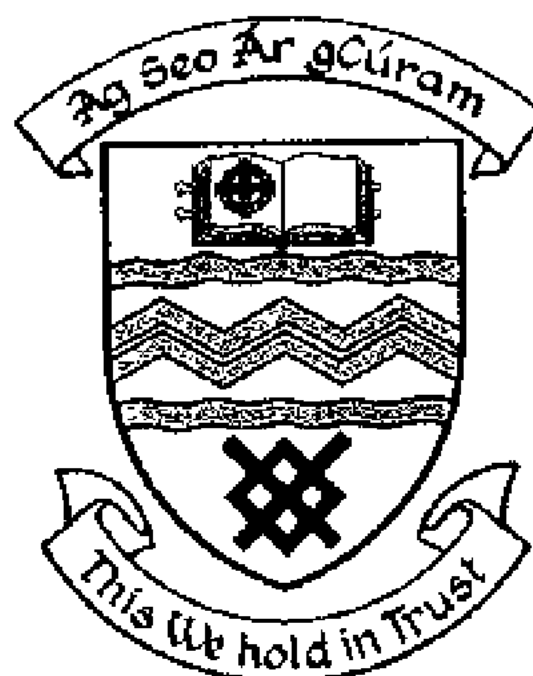


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-
- 6 The finished floor level of the building shall be 0.5 metres above the highest recorded flood level of the adjacent stream/river.
REASON:
In the interest of the proper planning and development of the area.
- 7 That off-street parking facilities be provided in accordance with the Development Plan Standards.
REASON:
In the interest of the proper planning and development of the area.
- 8 (a) The colour of the roof shall be either black or dark grey;
(b) The external walls shall have a uniform finish throughout and shall be painted in a neutral colour.
REASON:
In the interest of preserving the rural amenities of the area.
- 9 The developer shall enter into a maintenance agreement with the supplier of the biocycle unit. Details of the agreement, which shall include a monitoring clause to be undertaken at least annually with remedial works as required, shall be submitted to and be the satisfaction of the Planning Authority, prior to the commencement of development.
REASON:
In the interest of public health and the proper planning and development of the area.
- 10 No part of the irrigation area serving the biocycle unit shall be located under any play area or under any paving or roadway or located closer than 20 metres to the proposed building.
REASON:
In the interests of public health and the proper planning and development of the area.
- 11 The existing bank to the northern boundary shall be retained. Prior to the occupancy of the building, native deciduous, broadleaved trees and hedgerow material native to the area shall be planted along ALL the site boundaries. Evergreen species shall not be used in boundary line planting.
REASON:
In the interest of preserving the rural amenities of the area.

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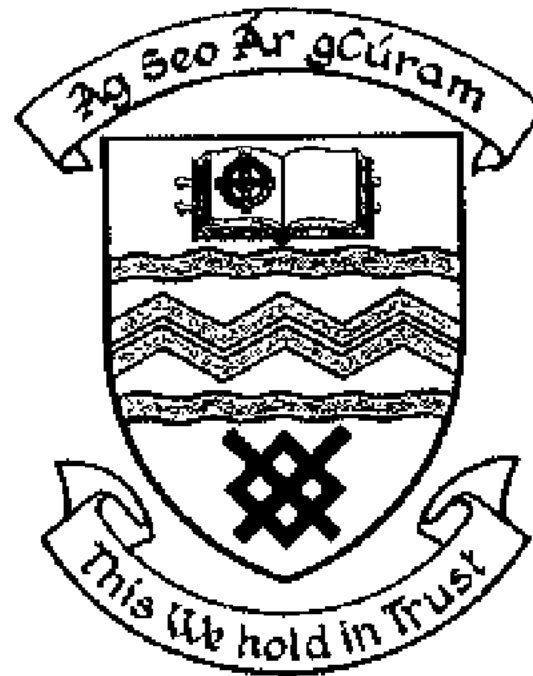
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-
- 12 No signs shall be erected on the building or site without a prior grant of permission from South Dublin County Council or An Bord Pleanála on appeal.
REASON:
In the interests of preserving the amenities of property in the vicinity.
- 13 That a financial contribution in the sum of £1,366 (one thousand three hundred and sixty six pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON:
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 14 In the event of a connection to the public sewer, a further financial contribution in the sum of £1,366 (one thousand three hundred and sixty six pounds) to be paid by the proposer to South Dublin County Council towards the cost of provision of public foul sewerage in the area of the proposed development and which will facilitate the development.
REASON:
The provision of such service in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the service.
- 15 That a financial contribution in the sum of £5,387 (five thousand three hundred and eighty seven pounds) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.
REASON:
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

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- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1991 amended 1994.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

Patricia Bowler
.....16/07/99
for SENIOR ADMINISTRATIVE OFFICER

Telefon: 01-414 9000
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Telephone: 01-414 9000
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Decision Order Number 1156	Date of Decision 02/06/1999
Register Reference S99A/0213	Date: 07/04/1999

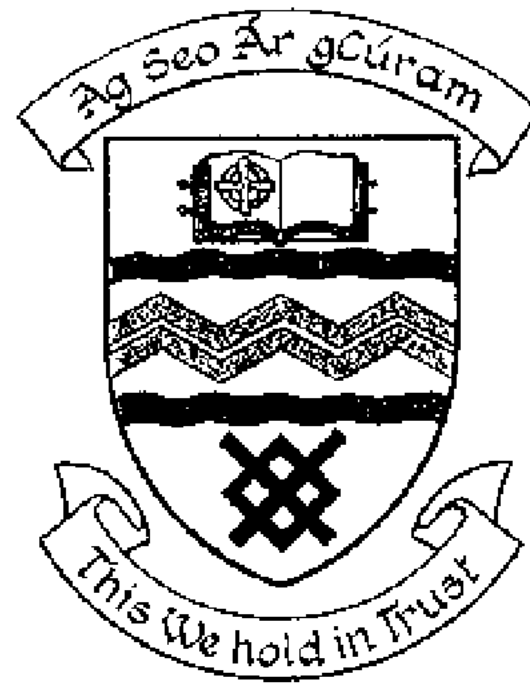
..... 03/06/1999
for SENIOR ADMINISTRATIVE OFFICER

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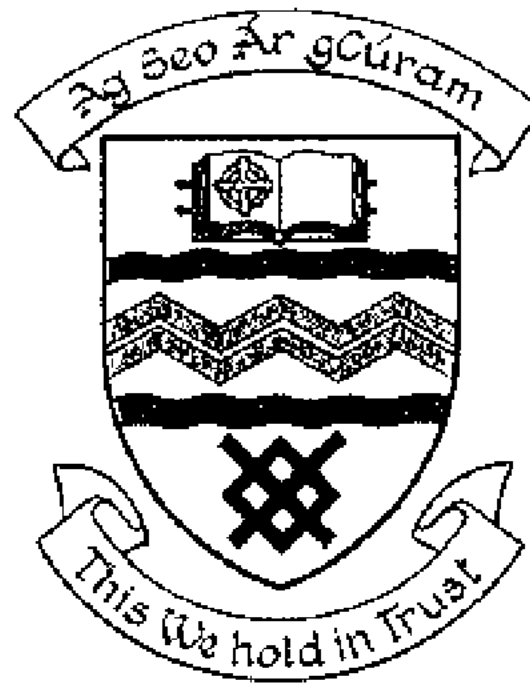
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