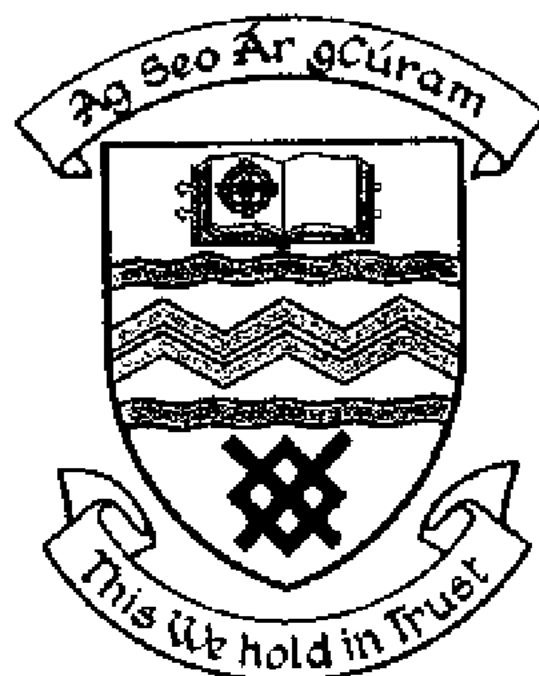


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S99A/0219	
1. Location	Site adjacent and to the rear of De Selby Lawns, Blessington Road, Tallaght, Dublin 24.		
2. Development	Residential development consisting of 14 No. semi-detached and 1 No. detached 3 bedroom houses.		
3. Date of Application	09/04/99	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Fenton-Simons, Address: Planning & Development Consultants, 29 Fitzwilliam Place,		
5. Applicant	Name: Kelland Homes Ltd., Address: Ballymount House, Ballymount Road, Kingswood, Tallaght, Dublin 24.		
6. Decision	O.C.M. No. 1795 Date 19/08/1999	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2148 Date 30/09/1999	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar Date Receipt No.	

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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Applications/Registry/Appeals
P.O. Box 4122
Town Centre, Tallaght
Dublin 24

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Fax: 01-414 9104

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Lár an Bhaile, Tamhlacht
Baile Átha Cliath 24

Telefon: 01-414 9230
Facs: 01-414 9104

Fenton-Simons,
Planning & Development Consultants,
29 Fitzwilliam Place,
Dublin 2.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 2148	Date of Final Grant 30/09/1999
Decision Order Number 1795	Date of Decision 19/08/1999
Register Reference S99A/0219	Date 09/04/99

Applicant Kelland Homes Ltd.,

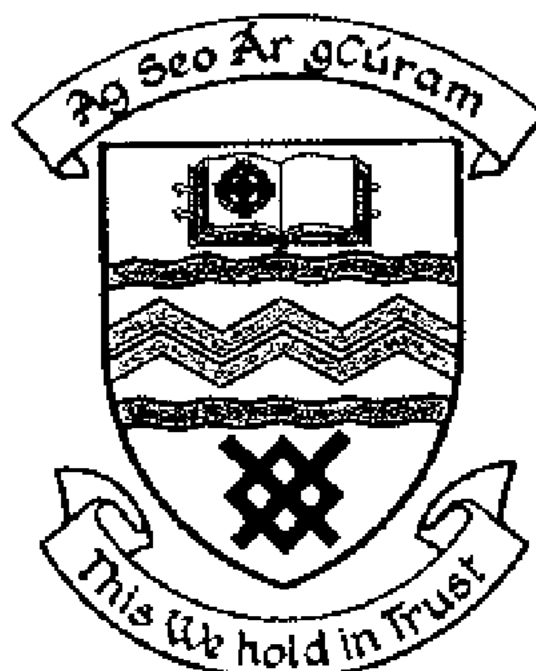
Development Residential development consisting of 14 No. semi-detached and 1 No. detached 3 bedroom houses.

Location Site adjacent and to the rear of De Selby Lawns,
Blessington Road, Tallaght, Dublin 24.

Floor Area 0.00 Sq Metres
Time extension(s) up to and including 23/08/1999
Additional Information Requested/Received /

A Permission has been granted for the development described above,
subject to the following (20) Conditions.

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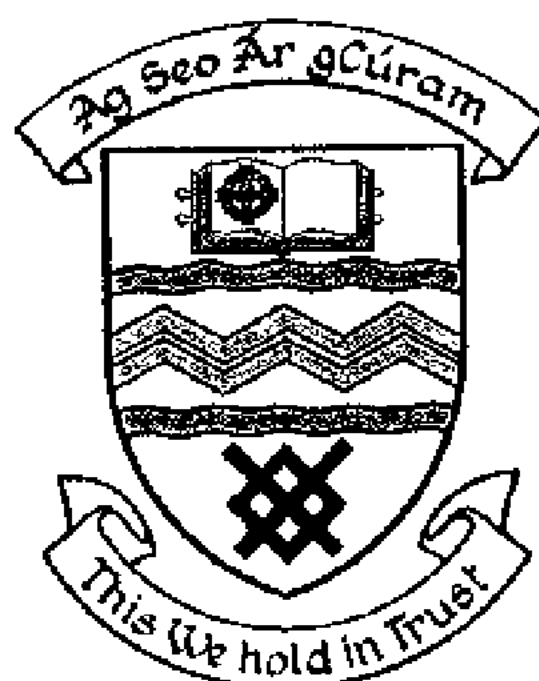
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
 REASON:
 To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
 REASON:
 To protect the amenities of the area.
- 3 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
 REASON:
 In the interest of amenity.
- 4 That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by South Dublin County Council.
 REASON:
 In the interest of amenity and public safety.
- 5 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.
 REASON:
 In the interest of the proper planning and development of the area.
- 6 The applicant shall ensure full and complete separation of foul and surface water drainage systems.
 REASON:
 In the interest of the proper planning and development of the area.
- 7 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

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REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 8 That separate water supply connections are required for each dwelling and facilities for 24 hour storage of water shall be provided for each dwelling.

REASON:

In the interest of the proper planning and development of the area.

- 9 That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 10 That water supply spurs shall not end in a duckfoot hydrant. Instead spurs shall be looped back into themselves or where another main is within a reasonable distance they should be connected there.

REASON:

In the interest of the proper planning and development of the area.

- 11 That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

REASON:

In the interest of the proper planning and development of the area.

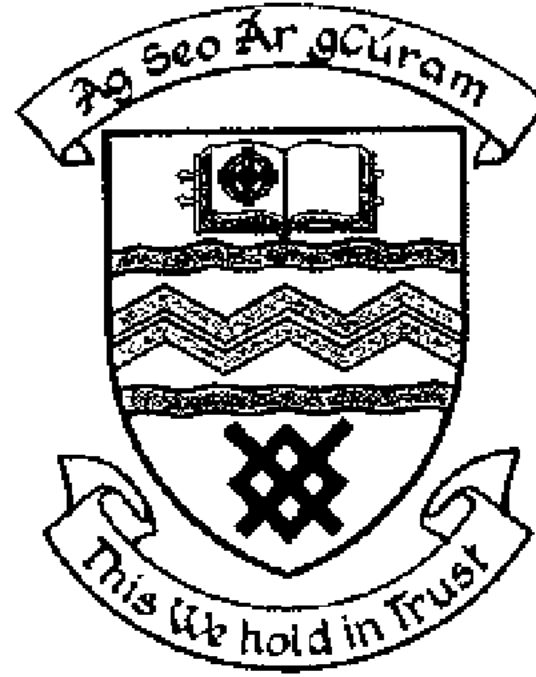
- 12 That Road 1 shall be completed before occupation of dwellings No. 1-9 inclusive.

REASON:

In the interest of the proper planning and development of the area.

- 13 That before development commences details and plans shall be submitted to the Planning Authority for agreement indicating

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all proposed boundary treatments including boundaries to front gardens, boundaries between plots, the boundary with the N81, the western boundaries of plots 9 and 10, eastern boundaries of plots 1 and 15, and the southern boundary of plots 1-9 inclusive. Elevational details shall be included in these plans.

REASON:

In the interest of the proper planning and development of the area.

- 14 That the landing/stairway windows in the side elevations of the houses shall be obscure glazed.

REASON:

In the interest of residential amenity.

- 15 That there shall be a minimum gap of 2.3 metres between the respective side walls of the proposed house at plot 15 and the existing house to the east. There shall also be a minimum gap of 2.3 metres between the side elevations of neighbouring houses in the proposed layout generally. The side elevation of the proposed house at plot 9 must be sited a minimum of 2 metres from the boundary of the plot with the footway/road.

REASON:

In the interest of the proper planning and development of the area.

- 16 A specification and plan for street tree planting shall be agreed with the Parks and Landscape Services Department and shall be submitted to the Planning Authority for agreement prior to the commencement of development. The agreed planting scheme must be implemented by a date to be agreed with the Planning Authority.

REASON:

In the interest of visual amenity.

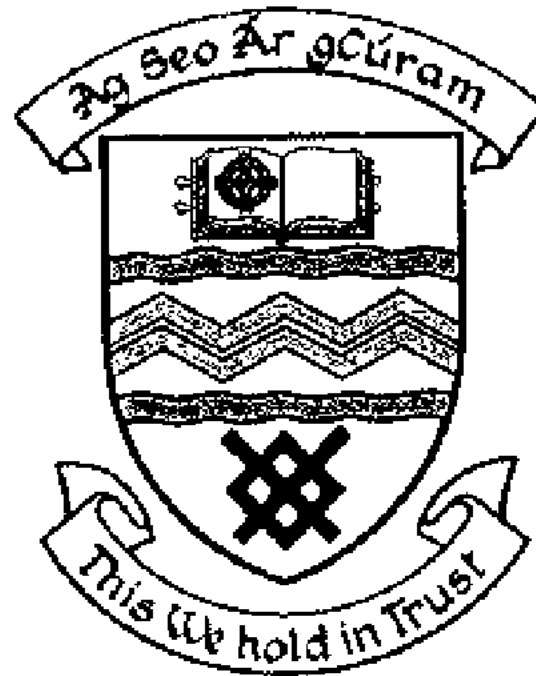
- 17 That a financial contribution in the sum of £8,000 (eight thousand pounds) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in Jobstown and McGee Parks and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

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- 18 That a financial contribution in the sum of £11,250 (eleven thousand two hundred and fifty pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 19 That a financial contribution in the sum of £31,500 (thirty one thousand five hundred pounds) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

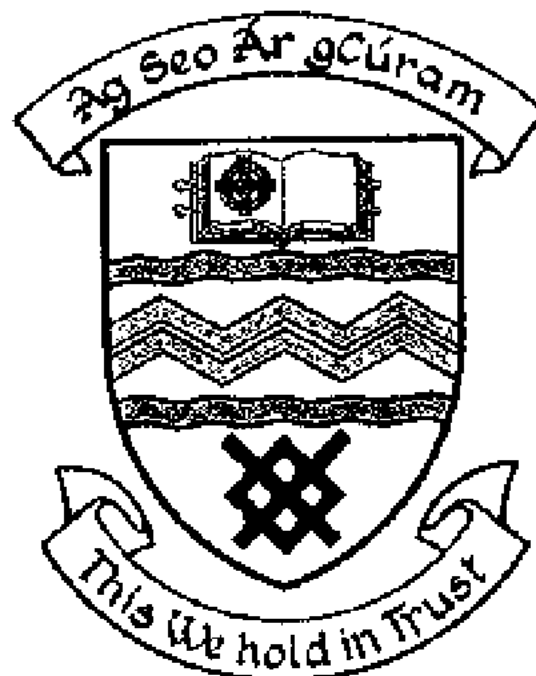
REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 20 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains, has been given by:-

- a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £102,000 (one hundred and two thousand pounds) until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.
Or./...
- b. Lodgement with the Council of a Cash Sum of £63,000 (sixty three thousand pounds) to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications.
Or./...
- c. Lodgement with the Planning Authority of a letter of guarantee issued by the Construction Industry Federation in respect of the proposed development,

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in accordance with the guarantee scheme agreed with
Planning Authority.

REASON:

To ensure that a ready sanction may be available to the
Council to induce the provision of services and prevent
disamenity in the development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

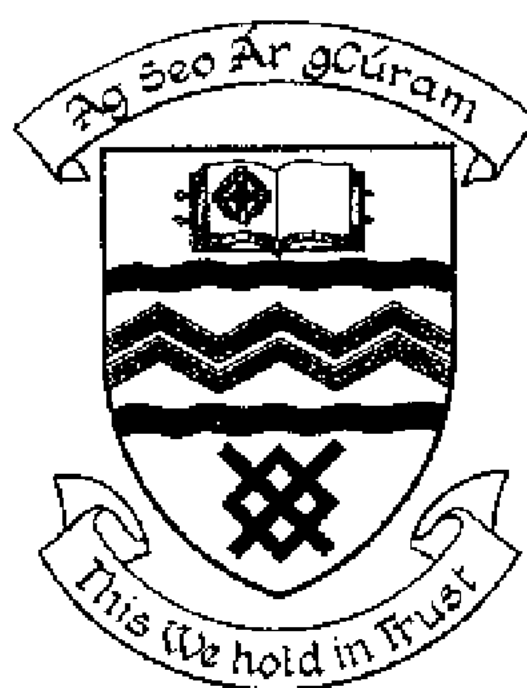
Signed on behalf of South Dublin County Council.

Eileen O'Sullivan
.....01/10/99
for SENIOR ADMINISTRATIVE OFFICER

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Bosca 4122,
Lár an Bhaile, Tamhlacht,
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Telefon: 01-414 9000
Facs: 01-414 9104



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DEPARTMENT**
P.O. Box 4122,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
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**NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Decision Order Number 1795	Date of Decision 19/08/1999
Register Reference S99A/0219	Date: 09/04/99

Applicant Kelland Homes Ltd.,

Development Residential development consisting of 14 No. semi-detached and 1 No. detached 3 bedroom houses.

Location Site adjacent and to the rear of De Selby Lawns, Blessington Road, Tallaght, Dublin 24.

Floor Area Sq Metres

Time extension(s) up to and including 23/08/1999

Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (20) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

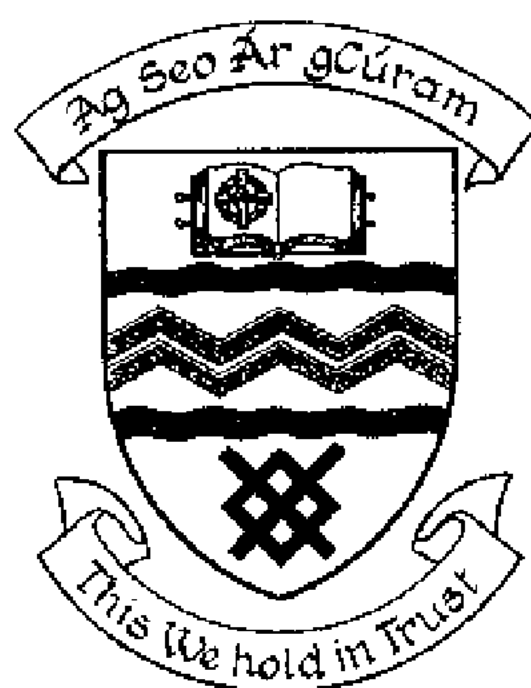
S. Mc Gormack 19/08/99
for SENIOR ADMINISTRATIVE OFFICER

Fenton-Simons,
Planning & Development Consultants,
29 Fitzwilliam Place,
Dublin 2.

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Lár an Bhaile, Tamhlacht,
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REG REF. S99A/0219

Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 3 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

- 4 That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by South Dublin County Council.

REASON:

In the interest of amenity and public safety.

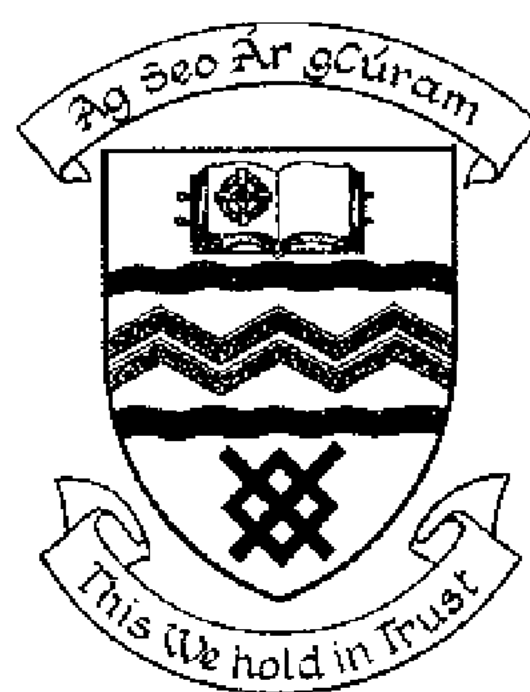
- 5 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.

REASON:

In the interest of the proper planning and development of the area.

- 6 The applicant shall ensure full and complete separation of foul and surface water drainage systems.

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Facs: 01-414 9104

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P.O. Box 4122,
Town Centre, Tallaght,
Dublin 24.

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REASON:

In the interest of the proper planning and development of the area.

- 7 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 8 That separate water supply connections are required for each dwelling and facilities for 24 hour storage of water shall be provided for each dwelling.

REASON:

In the interest of the proper planning and development of the area.

- 9 That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

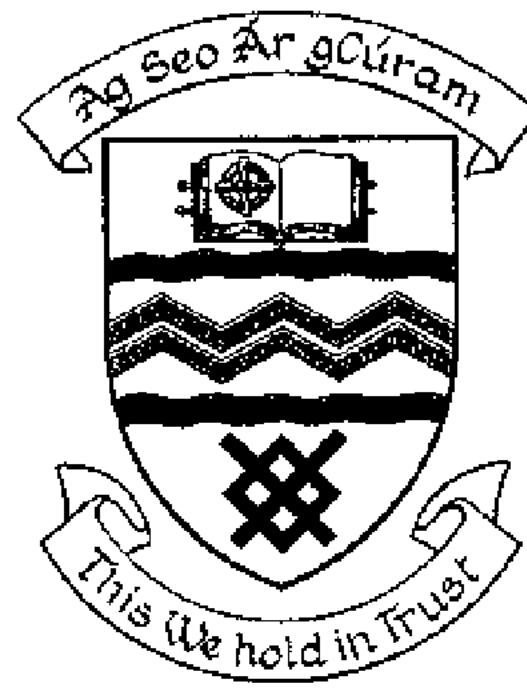
- 10 That water supply spurs shall not end in a duckfoot hydrant. Instead spurs shall be looped back into themselves or where another main is within a reasonable distance they should be connected there.

REASON:

In the interest of the proper planning and development of the area.

- 11 That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

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Facs: 01-414 9104

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REASON:

In the interest of the proper planning and development of the area.

- 12 That Road 1 shall be completed before occupation of dwellings No. 1-9 inclusive.

REASON:

In the interest of the proper planning and development of the area.

- 13 That before development commences details and plans shall be submitted to the Planning Authority for agreement indicating all proposed boundary treatments including boundaries to front gardens, boundaries between plots, the boundary with the N81, the western boundaries of plots 9 and 10, eastern boundaries of plots 1 and 15, and the southern boundary of plots 1-9 inclusive. Elevational details shall be included in these plans.

REASON:

In the interest of the proper planning and development of the area.

- 14 That the landing/stairway windows in the side elevations of the houses shall be obscure glazed.

REASON:

In the interest of residential amenity.

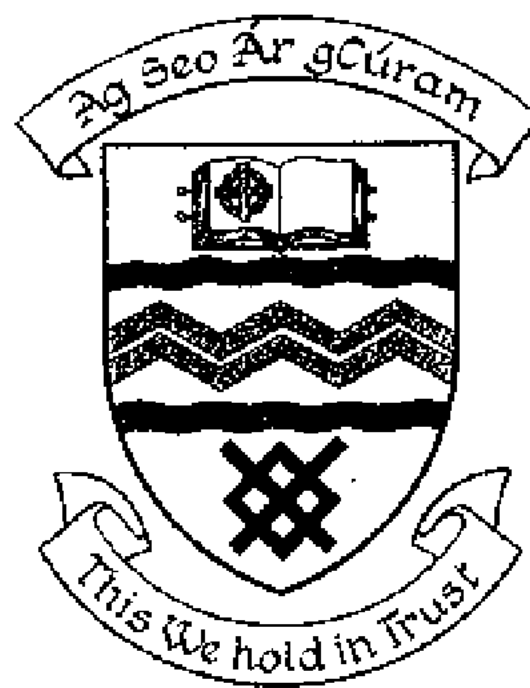
- 15 That there shall be a minimum gap of 2.3 metres between the respective side walls of the proposed house at plot 15 and the existing house to the east. There shall also be a minimum gap of 2.3 metres between the side elevations of neighbouring houses in the proposed layout generally. The side elevation of the proposed house at plot 9 must be sited a minimum of 2 metres from the boundary of the plot with the footway/road.

REASON:

In the interest of the proper planning and development of the area.

- 16 A specification and plan for street tree planting shall be agreed with the Parks and Landscape Services Department and shall be submitted to the Planning Authority for agreement

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prior to the commencement of development. The agreed planting scheme must be implemented by a date to be agreed with the Planning Authority.

REASON:

In the interest of visual amenity.

- 17 That a financial contribution in the sum of £8,000 (eight thousand pounds) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in Jobstown and McGee Parks and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 18 That a financial contribution in the sum of £11,250 (eleven thousand two hundred and fifty pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

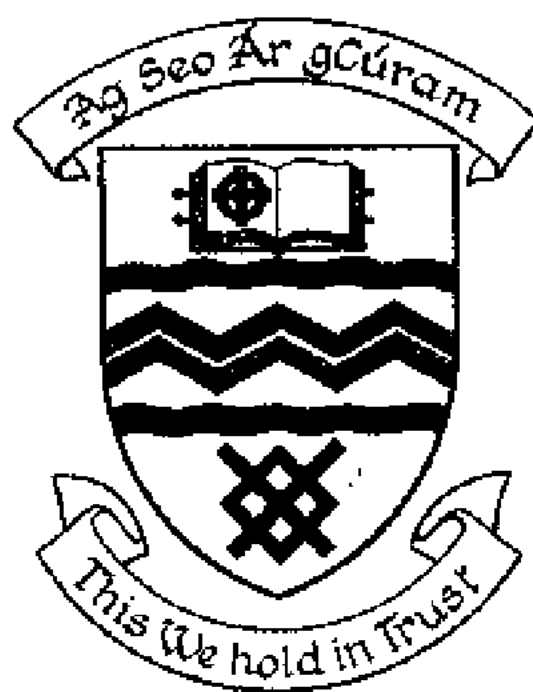
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 19 That a financial contribution in the sum of £31,500 (thirty one thousand five hundred pounds) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road

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Facs: 01-414 9104

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improvement works and traffic management schemes
facilitating the proposed development.

20 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains, has been given by:-

a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £102,000 (one hundred and two thousand pounds) until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.
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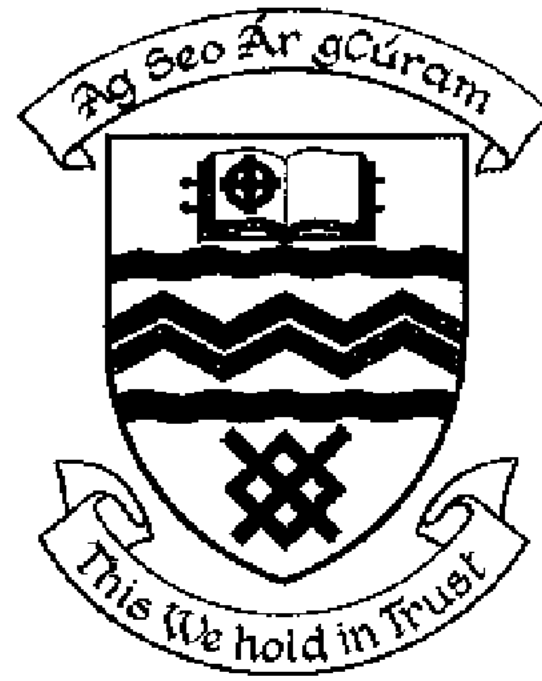
b. Lodgement with the Council of a Cash Sum of £63,000 (sixty three thousand pounds) to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications.
Or./...

c. Lodgement with the Planning Authority of a letter of guarantee issued by the Construction Industry Federation in respect of the proposed development, in accordance with the guarantee scheme agreed with Planning Authority.

REASON:

To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

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Facs: 01-414 9104

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Town Centre, Tallaght,
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1686	Date of Decision 09/08/1999
Register Reference S99A/0219	Date 09/04/99

Applicant Kelland Homes Ltd.,
App. Type Permission
Development Residential development consisting of 14 No. semi-detached
and 1 No. detached 3 bedroom houses.

Location Site adjacent and to the rear of De Selby Lawns,
Blessington Road, Tallaght, Dublin 24.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 23/08/1999

Yours faithfully

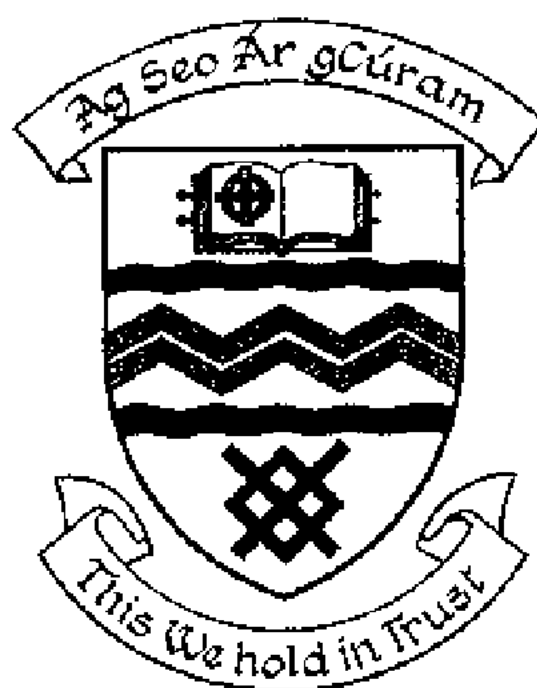
.....⁶⁴..... 17/08/99
for SENIOR ADMINISTRATIVE OFFICER

Fenton-Simons,
Planning & Development Consultants,
29 Fitzwilliam Place,
Dublin 2.

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Bosca 4122,
Lár an Bhaile, Tamhlacht,
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Telefon: 01-414 9000
Facs: 01-414 9104



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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

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Dear Sir / Madam,

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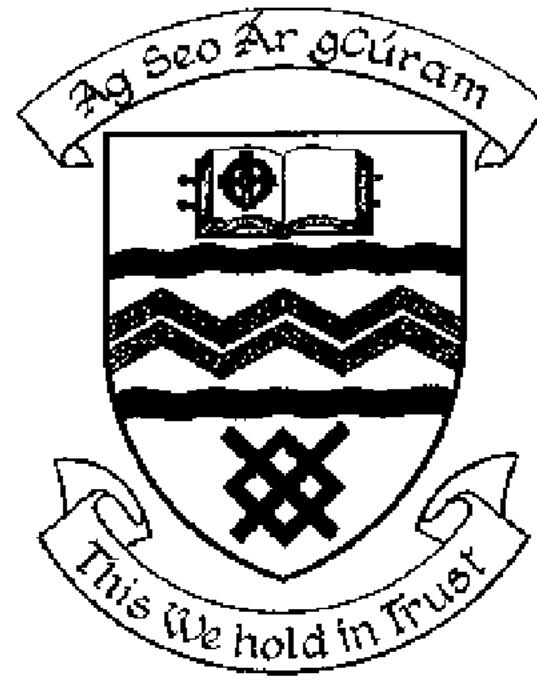
[Signature] 09/08/99
for SENIOR ADMINISTRATIVE OFFICER

Fenton-Simons,
Planning & Development Consultants,
29 Fitzwilliam Place,
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**SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

Bosca 4122,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



**PLANNING
DEPARTMENT**
P.O. Box 4122,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1438	Date of Decision 09/07/1999 <i>MM</i>
Register Reference S99A/0219	Date 09/04/99

Applicant Kelland Homes Ltd.,
App. Type Permission
Development Residential development consisting of 14 No. semi-detached
and 1 No. detached 3 bedroom houses.

Location Site adjacent and to the rear of De Selby Lawns,
Blessington Road, Tallaght, Dublin 24.

Dear Sir / Madam,

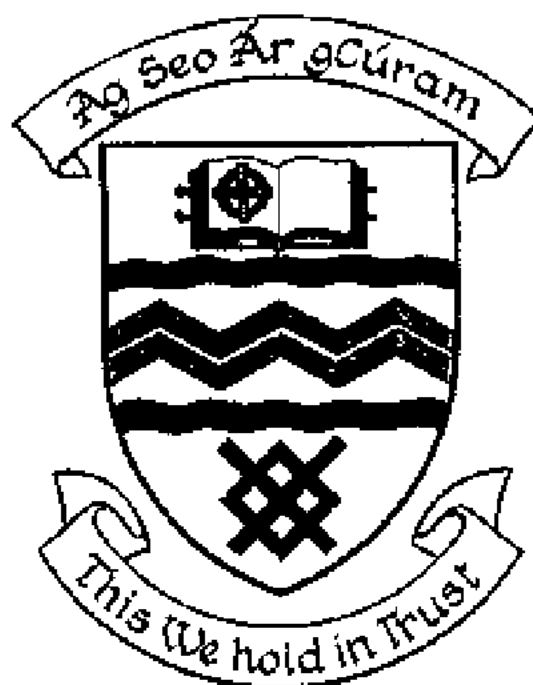
In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 09/08/1999

Yours faithfully

MM 09/07/99
for SENIOR ADMINISTRATIVE OFFICER

Fenton-Simons,
Planning & Development Consultants,
29 Fitzwilliam Place,
Dublin 2.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



Bosca 4122,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

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Facs: 01-414 9104

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Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1175	Date of Decision 04/06/1999
Register Reference S99A/0219	Date 9th April 1999

Applicant Kelland Homes Ltd.,
App. Type Permission
Development Residential development consisting of 14 No. semi-detached
and 1 No. detached 3 bedroom houses.

Location Site adjacent and to the rear of De Selby Lawns,
Blessington Road, Tallaght, Dublin 24.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 09/07/1999

Yours faithfully

MA
..... 08/06/1999
for SENIOR ADMINISTRATIVE OFFICER

Fenton-Simons,
Planning & Development Consultants,
29 Fitzwilliam Place,
Dublin 2.