

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No.  S99A/0342	
1. Location	Kilmahuddrick, Clondalkin with entrance off existing Distributor Road between Kilmahuddrick Close and Old Castle Drive.		
2. Development	Residential development consisting of 46 No. 2 bed apartments in 5 No. 2 and 3 storey blocks and associated site development works, open spaces and car parking on site located between Grange View Drive and Reservation for the Outer Road being part of Phase 3 of overall development at Kilmahuddrick, Clondalkin with entrance off existing Distributor Road between Kilmahuddrick Close and Old Castle Drive.		
3. Date of Application	24/05/99	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 22/07/1999 2.	1. 06/09/1999 2.
4. Submitted by	Name: Fenton-Simons, Address: 29 Fitzwilliam Place, Dublin 2.		
5. Applicant	Name: Durkan New Homes Limited, Address: Sandford House, Ranelagh, Dublin 6.		
6. Decision	O.C.M. No. 2396  Date 03/11/1999	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2796  Date 16/12/1999	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal

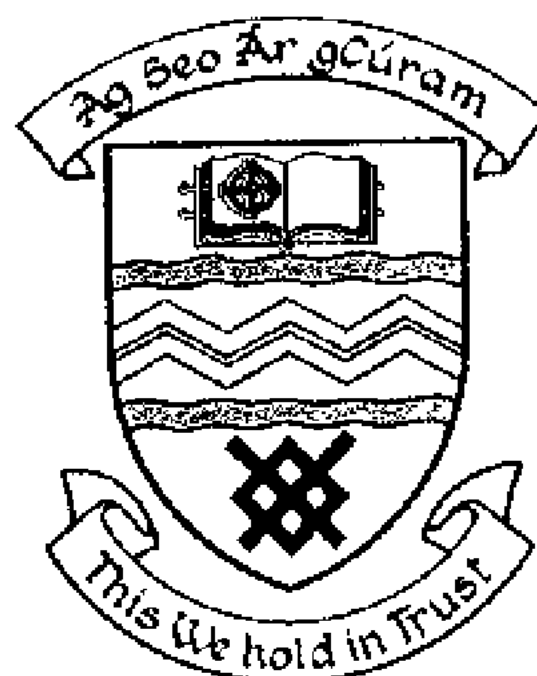
14.

Registrar

Date

Receipt No.

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



Bosca 4122  
Lár an Bhaile, Tamhlacht  
Baile Átha Cliath 24

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Fenton-Simons,  
29 Fitzwilliam Place,  
Dublin 2.

**NOTIFICATION OF GRANT OF Permission**

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Final Grant Order Number 2796	Date of Final Grant 16/12/1999
Decision Order Number 2396	Date of Decision 03/11/1999
Register Reference S99A/0342	Date 06/09/99

**Applicant** Durkan New Homes Limited,

**Development** Residential development consisting of 46 No. 2 bed apartments in 5 No. 2 and 3 storey blocks and associated site development works, open spaces and car parking on site located between Grange View Drive and Reservation for the Outer Road being part of Phase 3 of overall development at Kilmahuddrick, Clondalkin with entrance off existing Distributor Road between Kilmahuddrick Close and Old Castle Drive.

**Location** Kilmahuddrick, Clondalkin with entrance off existing Distributor Road between Kilmahuddrick Close and Old Castle Drive.

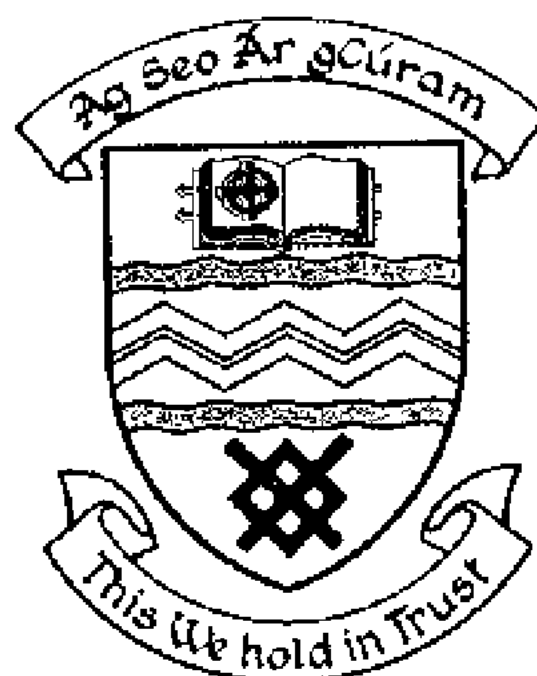
**Floor Area** 0.00 Sq Metres

**Time extension(s) up to and including**

**Additional Information Requested/Received** 22/07/1999 /06/09/1999

A Permission has been granted for the development described above,  
subject to the following (17) Conditions.

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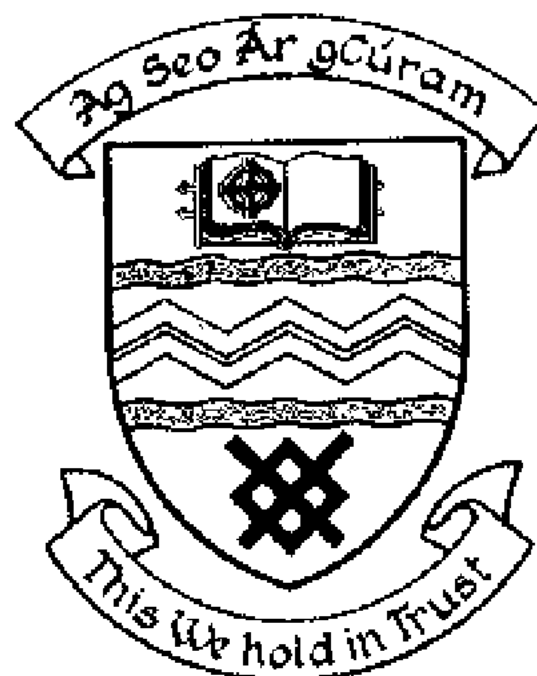
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**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by submitted further information received on 06/09/99, save as may be required by the other conditions attached hereto.  
REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That each proposed apartment be used as a single dwelling unit.  
REASON:  
To prevent unauthorised development.
- 3 Prior to the commencement of development, samples of the proposed finishes and roof tiles shall be submitted for the written agreement of the Planning Authority.  
REASON:  
In the interest of the proper planning and development of the area.
- 4 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.  
REASON:  
To protect the amenities of the area.
- 5 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.  
REASON:  
In the interest of amenity.
- 6 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.  
REASON:  
In the interest of the proper planning and development of the area.
- 7 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space,

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sewers, watermains or drains, forming part of the development.

**REASON:**

In the interest of the proper planning and development of the area.

- 8 That the areas shown and conditioned as open space be fenced off during construction work and shall not be used for the purpose of site compounds or for the storage of plant, materials or spoil.

**REASON:**

To protect the amenities of the area.

- 9 That a satisfactory scheme of landscaping, including the proposed programme for such works, shall be submitted to and approved by the Council before any development commences.

**REASON:**

In the interest of the proper planning and development of the area.

- 10 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

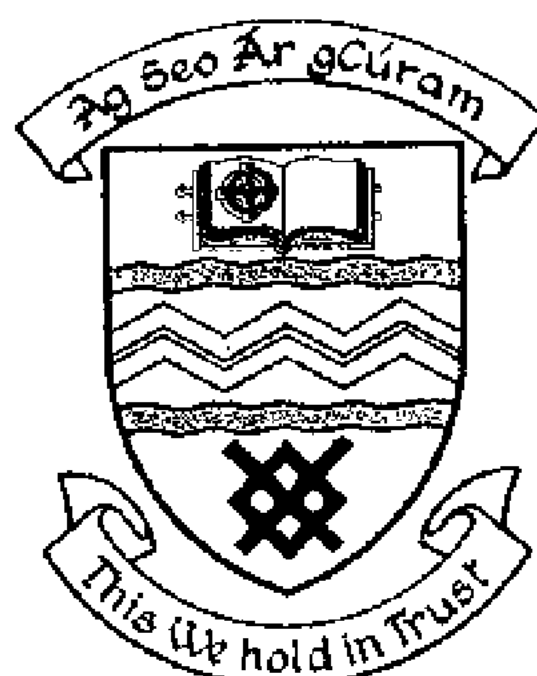
**Foul Drainage**

- a) Applicant to submit full details of proposed drainage, including pipe sizes, gradients, cover and invert levels, up to and including connection to public sewer;
- b) Applicant to ensure full and complete separation of foul and surface water systems;
- c) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick;
- d) No building shall be within 5m of public sewer or sewer with potential to be taken in charge.

**Surface Water**

- a) Applicant to submit full details of proposed drainage, including pipe sizes, gradients, cover and invert levels, up to and including connection to public sewer;

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- b) Applicant to ensure full and complete separation of foul and surface water systems;
- c) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick;
- d) No building within 5m of public sewer or sewer with potential to be taken in charge.

**Water Report**

- a) All connections, swabbing, chlorination and tappings of County Council mains to be carried out by South Dublin County Council personnel at applicant's prior expense;
- b) Prior to the commencement of the works, applicant shall submit for the approval of the Area Engineer, Deansrath (tel. (01) 4570784) a watermain layout drawing. Drawing to indicate proposed watermain sizes, valve, meter and hydrant layout, proposed points of connections to existing watermains. Layout shall be in accordance with Part B of 1997 Building Regulations;
- c) 24 hour storage per unit shall be provided.

**REASON:**

In order to comply with the Sanitary Services Acts, 1878-1964.

- 11 That an acceptable street naming and apartment numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed apartments.

**REASON:**

In the interest of the proper planning and development of the area.

- 12 That details of the Management Agreement for the maintenance and control of the site be submitted and agreed with the Planning Authority prior to the commencement of development.

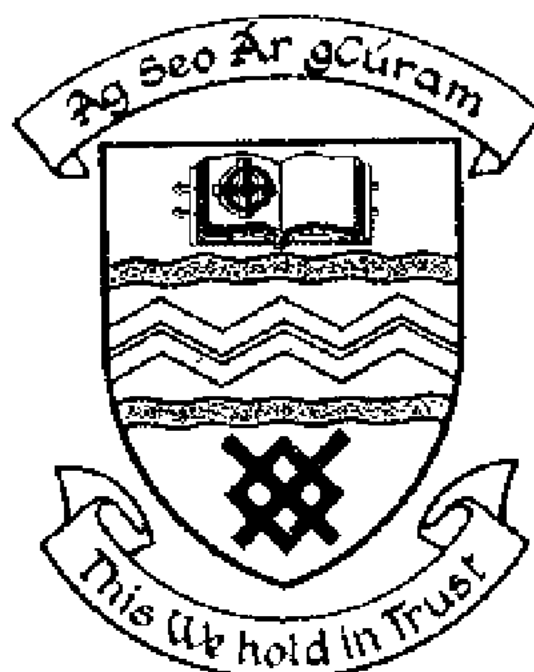
**REASON:**

In the interest of the proper planning and development of the area.

- 13 That prior to the commencement of development the developer shall submit the following for the written agreement of the Planning Authority:

- (a) Full details of the proposed boundary treatment to the adjoining public open space;

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- (b) Details of the exact location of proposed services traversing the public open space, which shall be marked out on site and agreed with the Parks Department, South Dublin County Council.

**REASON:**

In the interest of the proper planning and development of the area.

- 14 That a financial contribution in the sum of £2,100 (two thousand one hundred pounds) PER APARTMENT EUR 2,666 (two thousand six hundred and sixty six euros) PER APARTMENT shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 15 That a financial contribution in the sum of £500 (five hundred pounds) PER APARTMENT (EUR 635 (six hundred and thirty five euros) PER APARTMENT) be paid by the proposer to South Dublin County Council towards the cost of further development of local public open space and recreational facilities in St. Cuthberts Neighbourhood Park; this contribution to be paid before the commencement of development on site.

**REASON:**

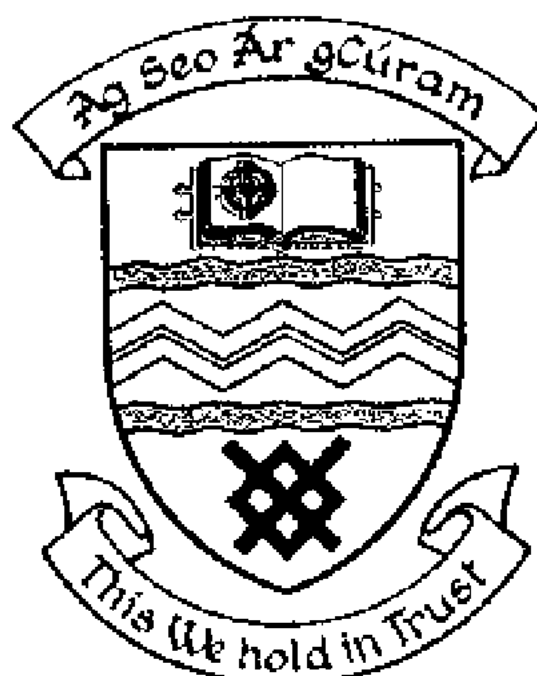
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 16 That the arrangements made with regard to the payment of financial contributions in respect of the overall development, as required by Condition No. 21 of Register Reference S98A/0480 be strictly adhered to in respect of this development.

**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing these services.

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- 17 Before development is commenced, the developer shall lodge with South Dublin County a cash deposit of £114,000 (one hundred and fourteen thousand pounds) EUR 144,750 (one hundred and forty four thousand seven hundred and fifty euros) or a bond of an Insurance Company, or other security to the value of £190,000 (one hundred and ninety thousand pounds) EUR 241,250 (two hundred and forty one thousand two hundred and fifty euros) to secure the provision and satisfactory completion to taking in charge standard of roads, footpaths, watermains, drains, public open space and other services required in connection with the development, coupled with an agreement empowering the Council to apply such security or part thereof for the satisfactory completion of the development.

REASON:

To ensure the satisfactory completion and maintenance of the development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....17/12/99  
for SENIOR ADMINISTRATIVE OFFICER



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**NOTIFICATION OF DECISION TO GRANT PERMISSION**  
**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Decision Order Number 2396	Date of Decision 03/11/1999 <i>LM</i>
Register Reference S99A/0342	Date: 24/05/99

**Applicant** Durkan New Homes Limited,

**Development** Residential development consisting of 46 No. 2 bed apartments in 5 No. 2 and 3 storey blocks and associated site development works, open spaces and car parking on site located between Grange View Drive and Reservation for the Outer Road being part of Phase 3 of overall development at Kilmahuddrick, Clondalkin with entrance off existing Distributor Road between Kilmahuddrick Close and Old Castle Drive.

**Location** Kilmahuddrick, Clondalkin with entrance off existing Distributor Road between Kilmahuddrick Close and Old Castle Drive.

**Floor Area** Sq Metres

**Time extension(s)** up to and including

**Additional Information Requested/Received** 22/07/1999 /06/09/1999

**Clarification of Additional Information Requested/Received** /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

Subject to the conditions ( 17 ) on the attached Numbered Pages.  
Signed on behalf of the South Dublin County Council.

Fenton-Simons,  
29 Fitzwilliam Place,  
Dublin 2.

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REG REF. S99A/0342

..... 03/11/99  
for SENIOR ADMINISTRATIVE OFFICER

**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by submitted further information received on 06/09/99, save as may be required by the other conditions attached hereto.  
REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That each proposed apartment be used as a single dwelling unit.  
REASON:  
To prevent unauthorised development.
- 3 Prior to the commencement of development, samples of the proposed finishes and roof tiles shall be submitted for the written agreement of the Planning Authority.  
REASON:  
In the interest of the proper planning and development of the area.
- 4 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.  
REASON:  
To protect the amenities of the area.

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- 5 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

- 6 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.

REASON:

In the interest of the proper planning and development of the area.

- 7 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development.

REASON:

In the interest of the proper planning and development of the area.

- 8 That the areas shown and conditioned as open space be fenced off during construction work and shall not be used for the purpose of site compounds or for the storage of plant, materials or spoil.

REASON:

To protect the amenities of the area.

- 9 That a satisfactory scheme of landscaping, including the proposed programme for such works, shall be submitted to and approved by the Council before any development commences.

REASON:

In the interest of the proper planning and development of the area.

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- 10 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

**Foul Drainage**

- a) Applicant to submit full details of proposed drainage, including pipe sizes, gradients, cover and invert levels, up to and including connection to public sewer;
- b) Applicant to ensure full and complete separation of foul and surface water systems;
- c) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick;
- d) No building shall be within 5m of public sewer or sewer with potential to be taken in charge.

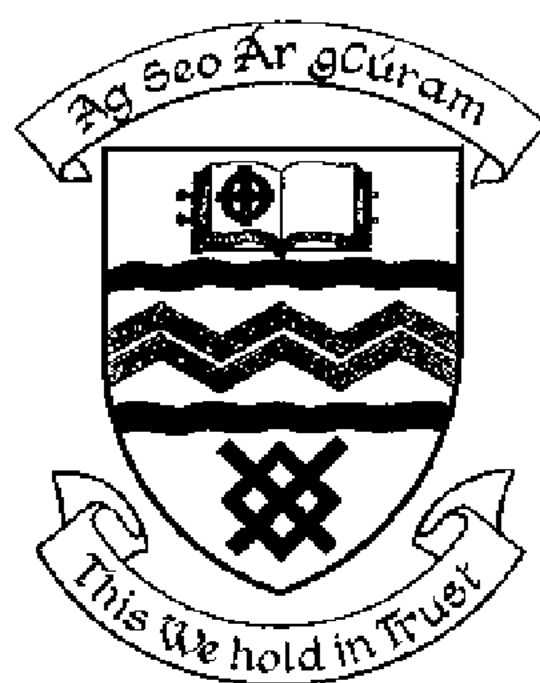
**Surface Water**

- a) Applicant to submit full details of proposed drainage, including pipe sizes, gradients, cover and invert levels, up to and including connection to public sewer;
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- c) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick;
- d) No building within 5m of public sewer or sewer with potential to be taken in charge.

**Water Report**

- a) All connections, swabbing, chlorination and tappings of County Council mains to be carried out by South Dublin County Council personnel at applicant's prior expense;
- b) Prior to the commencement of the works, applicant

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shall submit for the approval of the Area Engineer, Deansrath (tel. (01) 4570784) a watermain layout drawing. Drawing to indicate proposed watermain sizes, valve, meter and hydrant layout, proposed points of connections to existing watermains. Layout shall be in accordance with Part B of 1997 Building Regulations;

c) 24 hour storage per unit shall be provided.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 11 That an acceptable street naming and apartment numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed apartments.

REASON:

In the interest of the proper planning and development of the area.

- 12 That details of the Management Agreement for the maintenance and control of the site be submitted and agreed with the Planning Authority prior to the commencement of development.

REASON:

In the interest of the proper planning and development of the area.

- 13 That prior to the commencement of development the developer shall submit the following for the written agreement of the Planning Authority:

- (a) Full details of the proposed boundary treatment to the adjoining public open space;
- (b) Details of the exact location of proposed services traversing the public open space, which shall be marked out on site and agreed with the Parks Department, South Dublin County Council.

REASON:

In the interest of the proper planning and development of the area.

- 14 That a financial contribution in the sum of £2,100 (two thousand one hundred pounds) PER APARTMENT EUR 2,666 (two thousand six hundred and sixty six euros) PER APARTMENT

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shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 15 That a financial contribution in the sum of £500 (five hundred pounds) PER APARTMENT (EUR 635 (six hundred and thirty five euros) PER APARTMENT) be paid by the proposer to South Dublin County Council towards the cost of further development of local public open space and recreational facilities in St. Cuthberts Neighbourhood Park; this contribution to be paid before the commencement of development on site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 16 That the arrangements made with regard to the payment of financial contributions in respect of the overall development, as required by Condition No. 21 of Register Reference S98A/0480 be strictly adhered to in respect of this development.

**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing these services.

- 17 Before development is commenced, the developer shall lodge with South Dublin County a cash deposit of £114,000 (one hundred and fourteen thousand pounds) EUR 144,750 (one hundred and forty four thousand seven hundred and fifty euros) or a bond of an Insurance Company, or other security

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REG. REF. S99A/0342

to the value of £190,000 (one hundred and ninety thousand pounds) EUR 241,250 (two hundred and forty one thousand two hundred and fifty euros) to secure the provision and satisfactory completion to taking in charge standard of roads, footpaths, watermains, drains, public open space and other services required in connection with the development, coupled with an agreement empowering the Council to apply such security or part thereof for the satisfactory completion of the development.

**REASON:**

To ensure the satisfactory completion and maintenance of the development.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1564	Date of Decision 22/07/1999
Register Reference S99A/0342	Date: 24/05/99

**Applicant** Durkan New Homes Limited,  
**Development** Residential development consisting of 50 No. 2 bed apartments in 4 No. 2 and 3 storey blocks and associated site development works, open spaces and car parking on site located between Grange View Drive and Reservation for the Outer Road being part of Phase 3 of overall development at Kilmahuddrick, Clondalkin with entrance off existing Distributor Road between Kilmahuddrick Close and Old Castle Drive. Previous Permission Reg. Ref. S98A/0480).

**Location** Kilmahuddrick, Clondalkin with entrance off existing Distributor Road between Kilmahuddrick Close and Old Castle Drive.

**App. Type** Permission

Dear Sir/Madam,

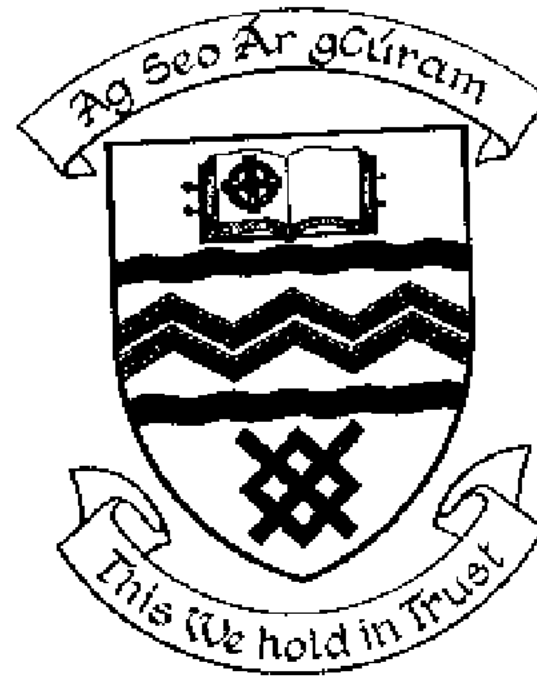
With reference to your planning application, received on 24/05/99 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 The applicants are advised that the proposed site layout is unsatisfactory to the Planning Authority in terms of the provision and layout of useable open space, the layout and provision of carparking, the orientation of blocks to create a proper streetscape and the provision of an adequate setback from the Outer Ring Road. It is also noted that bin storage and cycle storage facilities are not indicated on the submitted site plan.  
The applicants are also advised that the scale, bulk and design of the three storey blocks is considered unsatisfactory.  
The applicants are advised to submit an amended site layout

Fenton-Simons,  
29 Fitzwilliam Place,  
Dublin 2.



**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



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REG REF. S99A/0342

and design having regard to the above and to submit amended public notices detailing the extent of the proposed changes.

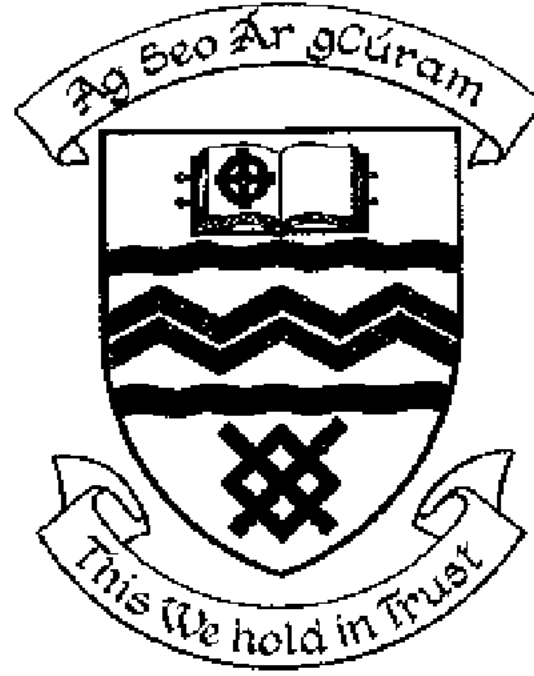
NOTE: The applicant is advised to consult with the Planning Authority prior to any submission of amended drawings.

- 2 The applicants are advised that the Planning Authority generally require that residential apartment developments be designed with a mix of accommodation size. While it is accepted that the setting of the subject site within a predominantly residential housing estate of 3 bedroomed dwellings means that it is not necessarily advisable to require the provision of 1 or 3 bedroomed apartments, it is considered however that there is considerable merit in encouraging the development of more spacious units in order to encourage the development of a more sustainable and permanent community. The applicant is advised to consider amending the proposed units in order to provide more spacious living accommodation. The applicant is particularly advised to provide storage/hotpress spaces within the units and to provide communal storage areas within each block.
- 3 The applicants are requested to submit a detailed landscaping plan for the site, including details for planting/screening proposals for the Outer Ring Road.
- 4 The applicants are requested to submit details of proposed boundary treatment to the site.
- 5 It is noted that the submitted site plan does not detail the reservation line of the proposed Outer Ring Road, the applicants are requested to submit an amended site layout plan detailing the line of the boundary wall to the Outer Ring Road, which is currently being constructed.
- 6 The applicant is advised that the carparking requirement for the proposed development is 100 spaces and that a set back of 15 metres minimum is required from the reservation line of the Outer Ring Road. The applicant is advised to provide for these issues in the submission of a revised site layout.

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Signed on behalf of South Dublin County Council

*[Signature]*  
.....  
for Senior Administrative Officer

22/07/99