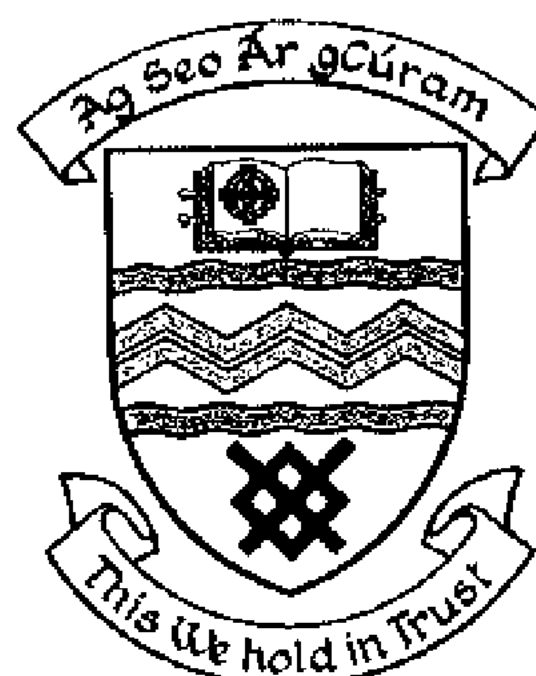


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No.  S99A/0343	
1. Location	East of the new City West District Distributor Road opposite the Westbrook Roundabout at Fortunestown, Tallaght, Dublin 24.		
2. Development	Distributor road including foul and surface water sewers, attenuation pond, water supply and other utility services to service industrially zoned lands.		
3. Date of Application	24/05/99	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 22/07/1999 2.	1. 10/08/1999 2.
4. Submitted by	Name: Fenton-Simons, Address: 29 Fitzwilliam Place, Dublin 2.		
5. Applicant	Name: Place Properties Limited, Address: 27 Dawson Street, Dublin 2.		
6. Decision	O.C.M. No. 2200  Date 07/10/1999	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2536  Date 19/11/1999	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement Compensation Purchase Notice			
12. Revocation or Amendment			
13. E.I.S. Requested E.I.S. Received E.I.S. Appeal			
14. .... Registrar Date Receipt No.			

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



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Baile Átha Cliath 24

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Town Centre, Tallaght  
Dublin 24

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Fenton-Simons,  
29 Fitzwilliam Place,  
Dublin 2.

**NOTIFICATION OF GRANT OF Permission**

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Final Grant Order Number 2536	Date of Final Grant 19/11/1999
Decision Order Number 2200	Date of Decision 07/10/1999
Register Reference S99A/0343	Date 10/08/99

**Applicant** Place Properties Limited,

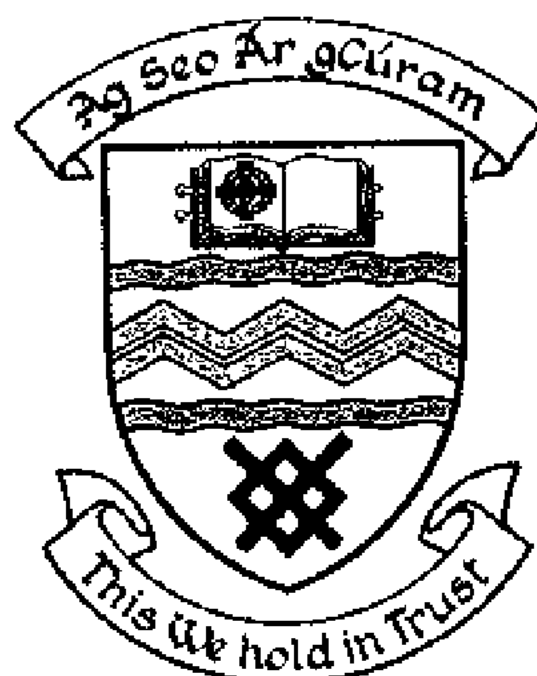
**Development** Distributor road including foul and surface water sewers, attenuation pond, water supply and other utility services to service industrially zoned lands.

**Location** East of the new City West District Distributor Road opposite the Westbrook Roundabout at Fortunestown, Tallaght, Dublin 24.

**Floor Area** 0.00 Sq Metres  
**Time extension(s) up to and including**  
**Additional Information Requested/Received** 22/07/1999 /10/08/1999

A Permission has been granted for the development described above,  
subject to the following (9) Conditions.

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**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application by Additional Information received 10 August 1999 and Unsolicited Additional Information received 8th June 1999 and 4th October 1999, save as may be required by the other conditions attached hereto.

**REASON:**

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

**REASON:**

To protect the amenities of the area.

- 3 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

(a) Foul Drainage:

The applicant to ensure full and complete separation of foul and surface water systems.

No development shall be carried out until the proposed upgrading of the Brookfield Road Sewer is complete. Details regarding the pipe design and construction of the upgraded foul sewer pipe along the Brookfield Road shall be agreed with South Dublin County Council prior to any development;

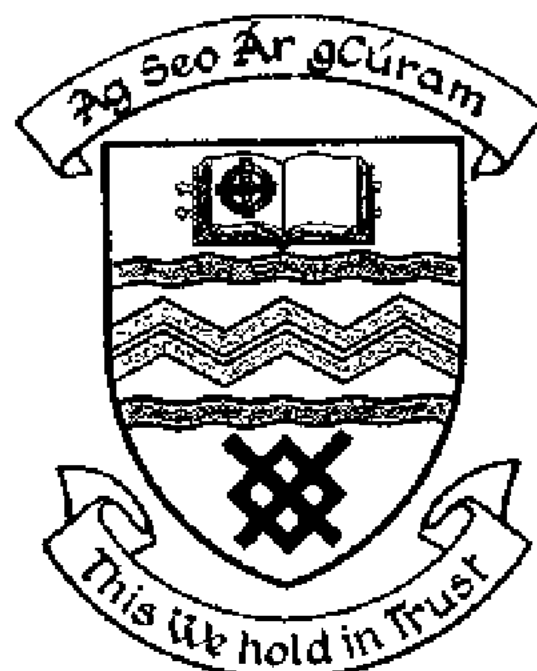
(b) Surface Water Drainage:

The applicant shall ensure full and complete separation of foul and surface water systems.

Prior to the commencement of works the applicant shall submit final details of the flow control structure and a detailed cross section through the pond detailing the materials to be used in the construction of the pond bed and embankments.

The applicant shall ensure that adequate safety measures, such as fencing, are in place to ensure

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that the proposed attenuation pond does not pose a threat to public safety. Prior to the commencement of works the applicant shall submit details of proposed safety measures to the Environmental Services Department of South Dublin County Council.

The applicant shall enter into a maintenance agreement with a suitable contractor for the construction of the attenuation pond and control structure. The developer shall ensure that the storage capacity of the pond shall be maintained at 3,035 cubic meters and that the outflow is restricted to 13.3 litres per second per hectare;

(c) Water Supply:

In order to provide a satisfactory water supply for the proposed development it is required that the water storage and distribution system as proposed for the Boherboy Water Supply Scheme be in place. The scheme is now at planning stage. In order to provide for a water supply in the interim the applicant shall provide temporary connections to existing watermains where feasible and temporary water storage facilities.

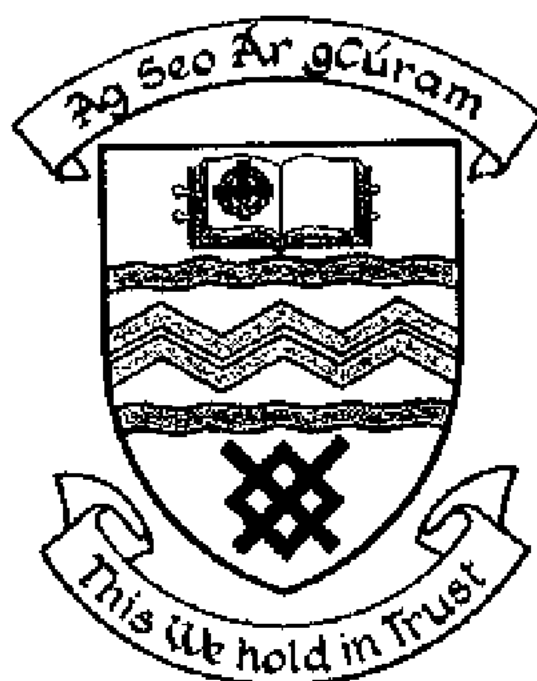
Such connections and facilities shall be agreed in writing with South Dublin County Council and Dublin Corporation, prior to any development. The provision of any temporary connection, water storage facilities, water distribution systems, pumps etc. provided for the development of the site shall be an integral to and compatible with the ultimate requirements for the Boherboy Water Supply Scheme. The developer shall lay within his site such water distribution pipes and facilities as will be necessary to connect the site to the proposed water distribution system as proposed in the Boherboy Water Supply Scheme;

(d) The developer shall ensure that there is a wayleave of 10m on either side of the 24" South Dublin County Council main and the 27" Dublin Corporation main. No development shall be carried out within this wayleave.

**REASON:**

In order to comply with the Sanitary Services Acts, 1878-1964.

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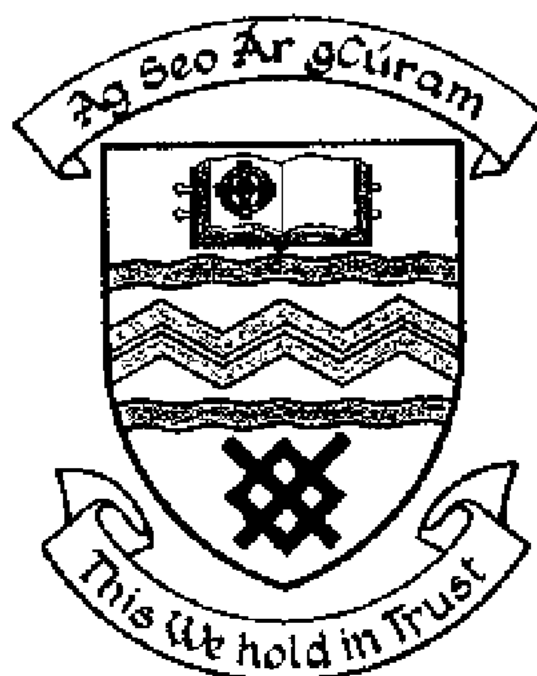
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- 4 That no spoil shall be dumped over or in the vicinity of the existing watermains.  
 REASON:  
 To protect the existing watermains.
- 5 That prior to the commencement of works on site the developer shall agree with the Parks and Landscape Services Department and submit to the Planning Authority a detailed landscape plan with full works specification (including timescale for implementation, and bill of quantities) for the treatment of the roadside margins. This plan shall include grading, topsoiling, seeding and street tree planting as necessary.  
 REASON:  
 In the interest of visual amenity.
- 6 That all redundant ditches or streams shall be piped with spigot and socket pipes laid open jointed with granular bed and surround and connection into the proposed drainage system.  
 REASON:  
 In the interest of the proper planning and development of the area.
- 7 Cul-de-sac turning bays shall be to Roads Department standards.  
 REASON:  
 In the interest of the proper planning and development of the area.
- 8 Permission is not granted in respect of proposed accesses off the proposed Distributor Road. These shall be subject to individual applications for planning permission.  
 REASON:  
 In the interest of proper planning and development of the area.
- 9 The applicant shall submit for agreement to the Planning Authority a tree and hedgerow survey of the lands outlined in blue on Drawing No's 51. This shall be carried out by a competent person, indicate the location and condition of the existing trees and hedgerows and indicate those to be retained and those to be removed. No tree or hedgerow other than on the site of the proposed Distributor Road and attenuation pond or any tree or hedgerow which is dead, dying or dangerous shall be removed without the prior agreement of the Planning Authority.  
 REASON:

**SOUTH DUBLIN COUNTY COUNCIL**  
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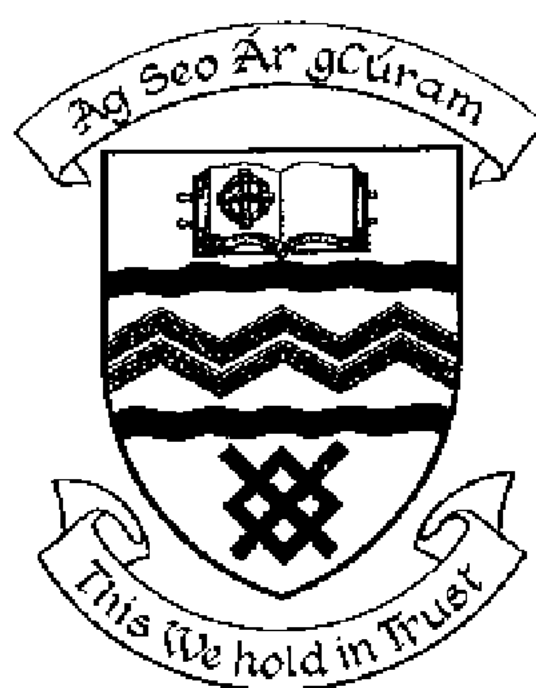
In the interest of the proper planning and development of the area.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

*E. Cowley*  
.....22/11/99  
for SENIOR ADMINISTRATIVE OFFICER

**SOUTH DUBLIN COUNTY COUNCIL**  
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**NOTIFICATION OF DECISION TO GRANT PERMISSION**  
**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Decision Order Number 2200	Date of Decision 07/10/1999 <i>MM</i>
Register Reference S99A/0343	Date: 24/05/99

Applicant Place Properties Limited,

Development Distributor road including foul and surface water sewers, attenuation pond, water supply and other utility services to service industrially zoned lands.

Location East of the new City West District Distributor Road opposite the Westbrook Roundabout at Fortunestown, Tallaght, Dublin 24.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 22/07/1999 /10/08/1999

Clarification of Additional Information Requested/Received /

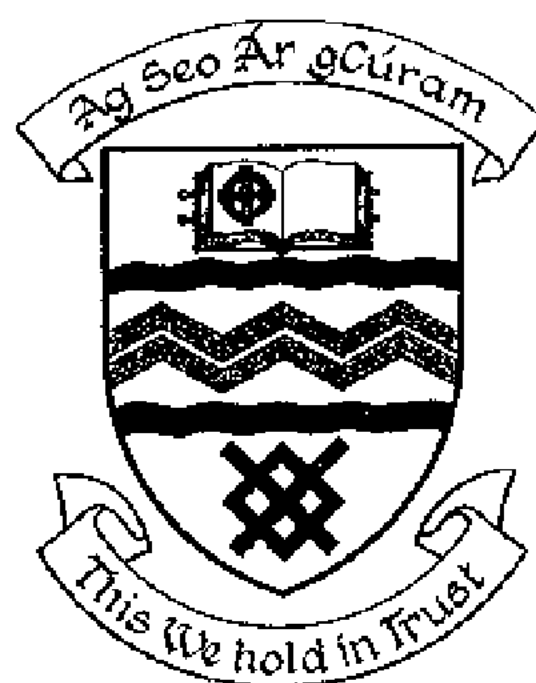
In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions ( 9 ) on the attached Numbered Pages.  
Signed on behalf of the South Dublin County Council.

*MM*  
..... 07/10/99  
for SENIOR ADMINISTRATIVE OFFICER

Fenton-Simons,  
29 Fitzwilliam Place,  
Dublin 2.

**SOUTH DUBLIN COUNTY COUNCIL**  
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**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application by Additional Information received 10 August 1999 and Unsolicited Additional Information received 8th June 1999 and 4th October 1999, save as may be required by the other conditions attached hereto.

**REASON:**

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

**REASON:**

To protect the amenities of the area.

- 3 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

(a) **Foul Drainage:**

The applicant to ensure full and complete separation of foul and surface water systems.

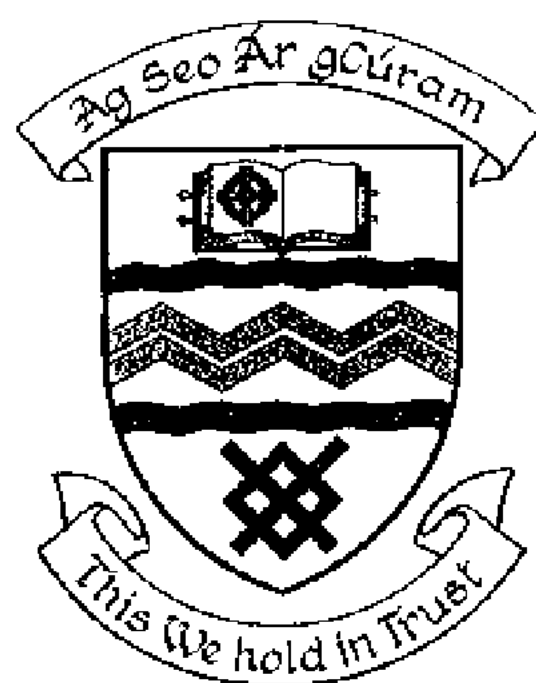
No development shall be carried out until the proposed upgrading of the Brookfield Road Sewer is complete. Details regarding the pipe design and construction of the upgraded foul sewer pipe along the Brookfield Road shall be agreed with South Dublin County Council prior to any development;

(b) **Surface Water Drainage:**

The applicant shall ensure full and complete separation of foul and surface water systems.



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Prior to the commencement of works the applicant shall submit final details of the flow control structure and a detailed cross section through the pond detailing the materials to be used in the construction of the pond bed and embankments.

The applicant shall ensure that adequate safety measures, such as fencing, are in place to ensure that the proposed attenuation pond does not pose a threat to public safety. Prior to the commencement of works the applicant shall submit details of proposed safety measures to the Environmental Services Department of South Dublin County Council.

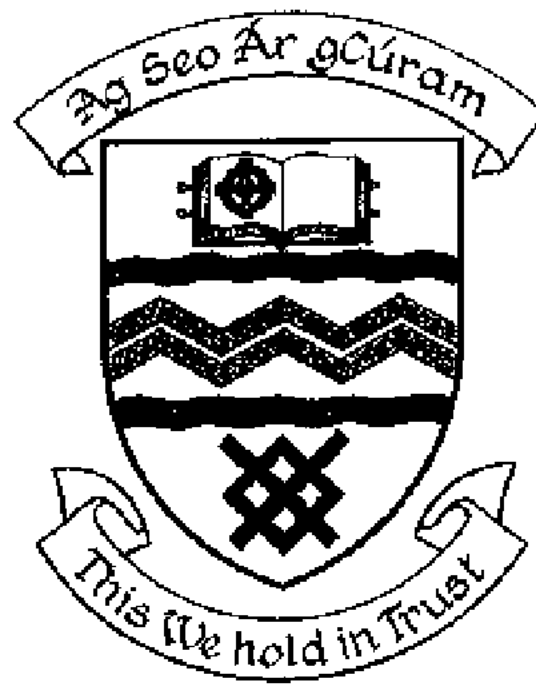
The applicant shall enter into a maintenance agreement with a suitable contractor for the construction of the attenuation pond and control structure. The developer shall ensure that the storage capacity of the pond shall be maintained at 3,035 cubic meters and that the outflow is restricted to 13.3 litres per second per hectare;

(c) **Water Supply:**

In order to provide a satisfactory water supply for the proposed development it is required that the water storage and distribution system as proposed for the Boherboy Water Supply Scheme be in place. The scheme is now at planning stage. In order to provide for a water supply in the interim the applicant shall provide temporary connections to existing watermains where feasible and temporary water storage facilities.

Such connections and facilities shall be agreed in writing with South Dublin County Council and Dublin Corporation, prior to any development. The provision of any temporary connection, water storage facilities, water distribution systems, pumps etc. provided for the development of the site shall be an integral to and compatible with the ultimate requirements for the Boherboy Water Supply Scheme. The developer shall lay within his site such water

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distribution pipes and facilities as will be necessary to connect the site to the proposed water distribution system as proposed in the Boherboy Water Supply Scheme;

- (d) The developer shall ensure that there is a wayleave of 10m on either side of the 24" South Dublin County Council main and the 27" Dublin Corporation main. No development shall be carried out within this wayleave.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 4 That no spoil shall be dumped over or in the vicinity of the existing watermains.

REASON:

To protect the existing watermains.

- 5 That prior to the commencement of works on site the developer shall agree with the Parks and Landscape Services Department and submit to the Planning Authority a detailed landscape plan with full works specification (including timescale for implementation, and bill of quantities) for the treatment of the roadside margins. This plan shall include grading, topsoiling, seeding and street tree planting as necessary.

REASON:

In the interest of visual amenity.

- 6 That all redundant ditches or streams shall be piped with spigot and socket pipes laid open jointed with granular bed and surround and connection into the proposed drainage system.

REASON:

In the interest of the proper planning and development of the area.

- 7 Cul-de-sac turning bays shall be to Roads Department standards.

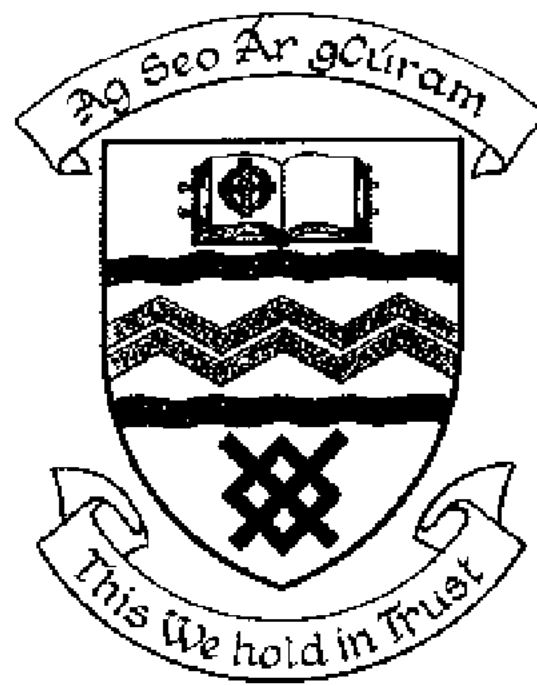
REASON:

In the interest of the proper planning and development of the area.

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- 8 Permission is not granted in respect of proposed accesses off the proposed Distributor Road. These shall be subject to individual applications for planning permission.

REASON:

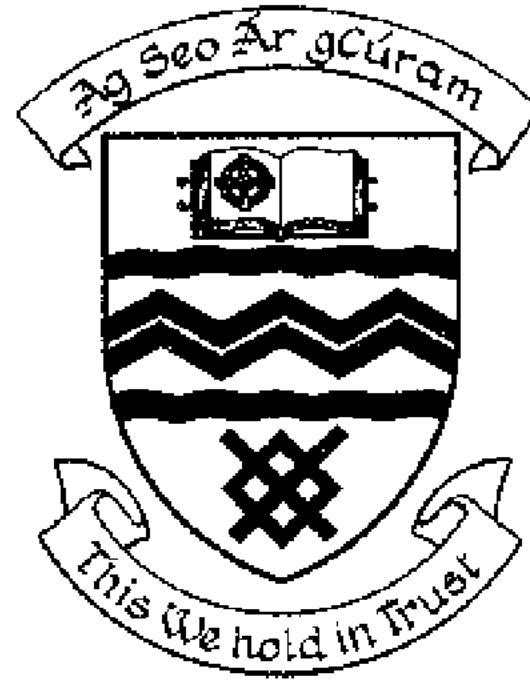
In the interest of proper planning and development of the area.

- 9 The applicant shall submit for agreement to the Planning Authority a tree and hedgerow survey of the lands outlined in blue on Drawing No's 51. This shall be carried out by a competent person, indicate the location and condition of the existing trees and hedgerows and indicate those to be retained and those to be removed. No tree or hedgerow other than on the site of the proposed Distributor Road and attenuation pond or any tree or hedgerow which is dead, dying or dangerous shall be removed without the prior agreement of the Planning Authority.

REASON:

In the interest of the proper planning and development of the area.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1565	Date of Decision 22/07/1999
Register Reference S99A/0343	Date: 24/05/99

**Applicant Development** Place Properties Limited,  
Distributor road including foul and surface water sewers,  
attenuation pond, water supply and other utility services to  
service industrially zoned lands.

**Location** East of the new City West District Distributor Road  
opposite the Westbrook Roundabout at Fortunestown, Tallaght,  
Dublin 24.

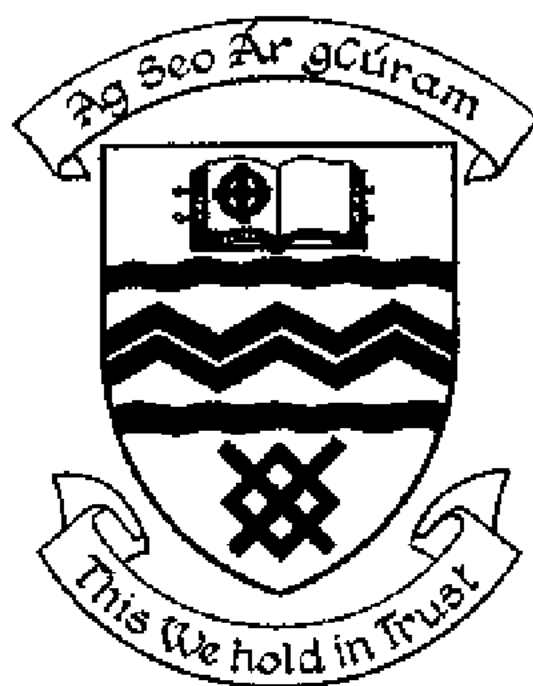
**App. Type** Permission

Dear Sir/Madam,  
With reference to your planning application, received on 24/05/99 in connection with  
the above, I wish to inform you that before the application can be considered under  
the Local Government (Planning & Development) Acts 1963-1993, the following  
ADDITIONAL INFORMATION must be submitted in quadruplicate:

- 1 The applicant is requested to submit a tree and hedgerow  
survey of the lands outlined in blue on Drg. No. 51. This  
shall be carried out by a suitably qualified person and it  
shall identify the location and condition of the existing  
trees and hedgerows and the impact of the proposed  
development works on same in terms of removal, retention or  
protection as appropriate.
- 2 The applicant shall submit the following information in  
relation to surface water drainage:-
  - 1) Full and complete details of surface after modelling  
including accurate hydrographs. This is to include  
Wallrus model results for a complete range of storm  
durations for the design return period.

Fenton-Simons,  
29 Fitzwilliam Place,  
Dublin 2.

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- 2) Details of the proposed pond:
  - 1) Floor construction details.
  - 2) Side slope construction details.
  - 3) Bed levels, top water levels, and contours of the pond.
  - 4) Structural details of the proposed headwall.
- 3) Details of the accommodation of surface water discharges from sites upstream of the site, and the impact on the sizing of the proposed surface water network and attenuation pond.
- 4) Full and complete details of the proposed regrading of the existing stream downstream from the pond.
- 5) Proposed accommodation of existing streams on the site in particular that which borders the eastern side of the site.

Signed on behalf of South Dublin County Council

.....  
for Senior Administrative Officer

22/07/99