

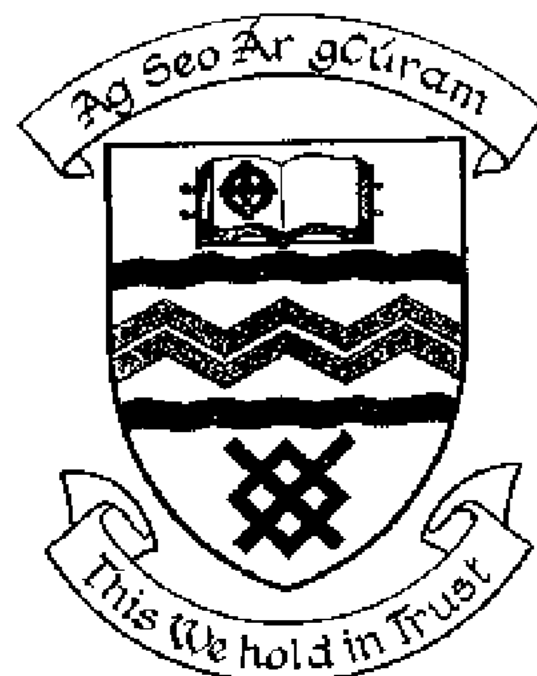
	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S99A/0513	
1. Location	Fortunestown Lane, Saggart, Co. Dublin.		
2. Development	Residential development at Fortunestown Lane, Saggart, County Dublin on site of circa 18.2 hectares for 275 houses made up of 4 five bedroom and 10 four bedroom detached houses and 122 four bedroom and 68 three bedroom semi-detached houses; 71 two/three bedroom terraced houses, 84 three storey duplex units made up of 84 two bedroom ground floor apartments and 84 three bedroom town houses and 5 no. apartment blocks four storey containing 160 apartments made up of 32 one bedroom, 88 two bedroom and 40 three bedroom apartments with 229 semi-basement car park spaces and 193 surface car park spaces. All served by 2 no. access roads from Fortunestown Lane together with landscaped open spaces.		
3. Date of Application	26/07/99	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 23/09/1999 2. 20/03/20	1. 20/01/2000 2. 27/04/20
4. Submitted by	Name: Project Architects, Address: Fleming Court, Fleming Place, Dublin 4.		
5. Applicant	Name: HSS Ltd., Address: Keatings Park, Rathcoole, Co. Dublin.		
6. Decision	O.C.M. No. 1610 Date 20/07/2000	Effect TX REQUEST TIME EXTENSION	
7. Grant	O.C.M. No. Date	Effect TX REQUEST TIME EXTENSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			

13.	E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14.	 Registrar	 Date	 Receipt No.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Bosca 4122,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
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**PLANNING
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Town Centre, Tallaght,
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1610	Date of Decision 20/07/2000
Register Reference S99A/0513	Date 26/07/99

Applicant HSS Ltd.,
App. Type Permission
Development Residential development at Fortunestown Lane, Saggart, County Dublin on site of circa 18.2 hectares for 275 houses made up of 4 five bedroom and 10 four bedroom detached houses and 122 four bedroom and 68 three bedroom semi-detached houses; 71 two/three bedroom terraced houses, 84 three storey duplex units made up of 84 two bedroom ground floor apartments and 84 three bedroom town houses and 5 no. apartment blocks four storey containing 160 apartments made up of 32 one bedroom, 88 two bedroom and 40 three bedroom apartments with 229 semi-basement car park spaces and 193 surface car park spaces. All served by 2 no. access roads from Fortunestown Lane together with landscaped open spaces.

Location Fortunestown Lane, Saggart, Co. Dublin.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 20/09/2000

Yours faithfully

..... 21/07/00
for SENIOR ADMINISTRATIVE OFFICER

Project Architects,
Fleming Court,

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S99A/0513	
1. Location	Fortunestown Lane, Saggart, Co. Dublin.		
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4. Submitted by	Name: Project Architects, Address: Fleming Court, Fleming Place, Dublin 4.		
5. Applicant	Name: HSS Ltd., Address: Keatings Park, Rathcoole, Co. Dublin.		
6. Decision	O.C.M. No. 1362 Date	Effect RP REFUSE PERMISSION	
7. Grant	O.C.M. No. Date	Effect RP REFUSE PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			

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REG REF. S99A/0513
Fleming Place,
Dublin 4.

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4. Submitted by	Name: Project Architects, Address: Fleming Court, Fleming Place, Dublin 4.		
5. Applicant	Name: HSS Ltd., Address: Keatings Park, Rathcoole, Co. Dublin.		
6. Decision	O.C.M. No. 1362 Date	Effect RP REFUSE PERMISSION	
7. Grant	O.C.M. No. Date	Effect RP REFUSE PERMISSION	
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14.	 Registrar	 Date	 Receipt No.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1362	Date of Decision 22/06/2000
Register Reference S99A/0513	Date 26/07/99

Applicant HSS Ltd.,
App. Type Permission
Development Residential development at Fortunestown Lane, Saggart, County Dublin on site of circa 18.2 hectares for 275 houses made up of 4 five bedroom and 10 four bedroom detached houses and 122 four bedroom and 68 three bedroom semi-detached houses; 71 two/three bedroom terraced houses, 84 three storey duplex units made up of 84 two bedroom ground floor apartments and 84 three bedroom town houses and 5 no. apartment blocks four storey containing 160 apartments made up of 32 one bedroom, 88 two bedroom and 40 three bedroom apartments with 229 semi-basement car park spaces and 193 surface car park spaces. All served by 2 no. access roads from Fortunestown Lane together with landscaped open spaces.

Location Fortunestown Lane, Saggart, Co. Dublin.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 21/07/2000

Yours faithfully

..... 22/06/00
for SENIOR ADMINISTRATIVE OFFICER

Project Architects,
Fleming Court,

SOUTH DUBLIN COUNTY COUNCIL
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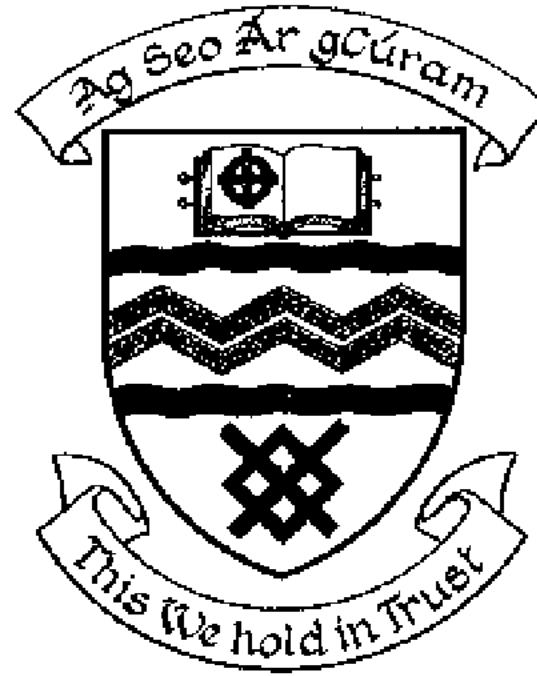
REG REF. S99A/0513
Fleming Place,
Dublin 4.

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4. Submitted by	Name: Project Architects, Address: Fleming Court, Fleming Place, Dublin 4.		
5. Applicant	Name: HSS Ltd., Address: Keatings Park, Rathcoole, Co. Dublin.		
6. Decision	O.C.M. No. 0568 Date 20/03/2000	Effect FC SEEK CLARIFICATION OF ADDITIONAL INFO.	
7. Grant	O.C.M. No. Date	Effect FC SEEK CLARIFICATION OF ADDITIONAL INFO.	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
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13.	E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
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1. Location	Fortunestown Lane, Saggart, Co. Dublin.		
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4. Submitted by	Name: Project Architects, Address: Fleming Court, Fleming Place, Dublin 4.		
5. Applicant	Name: HSS Ltd., Address: Keatings Park, Rathcoole, Co. Dublin.		
6. Decision	O.C.M. No. 2398 Date 27/10/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. Date	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
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SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 2114	Date of Decision 18/09/2000
Register Reference S99A/0513	Date 26/07/99

Applicant HSS Ltd.,
App. Type Permission
Development Residential development at Fortunestown Lane, Saggart, County Dublin on site of circa 18.2 hectares for 275 houses made up of 4 five bedroom and 10 four bedroom detached houses and 122 four bedroom and 68 three bedroom semi-detached houses; 71 two/three bedroom terraced houses, 84 three storey duplex units made up of 84 two bedroom ground floor apartments and 84 three bedroom town houses and 5 no. apartment blocks four storey containing 160 apartments made up of 32 one bedroom, 88 two bedroom and 40 three bedroom apartments with 229 semi-basement car park spaces and 193 surface car park spaces. All served by 2 no. access roads from Fortunestown Lane together with landscaped open spaces.

Location Fortunestown Lane, Saggart, Co. Dublin.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 04/10/2000

Yours faithfully

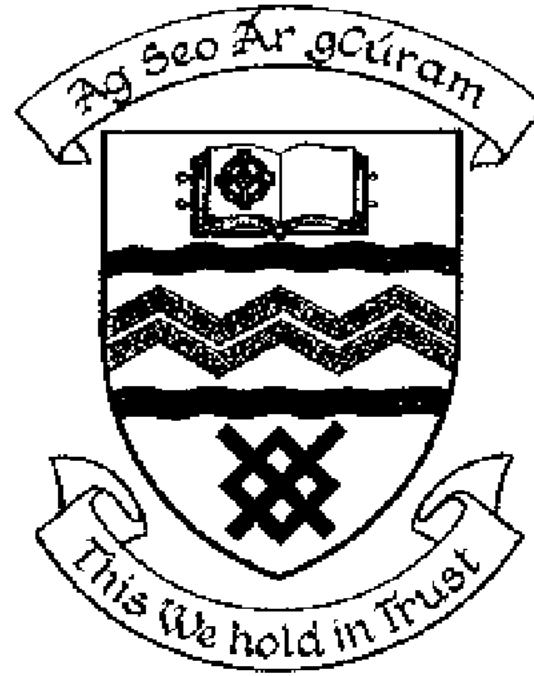
 18/09/00
for SENIOR ADMINISTRATIVE OFFICER

Project Architects,
Fleming Court,

SOUTH DUBLIN COUNTY COUNCIL
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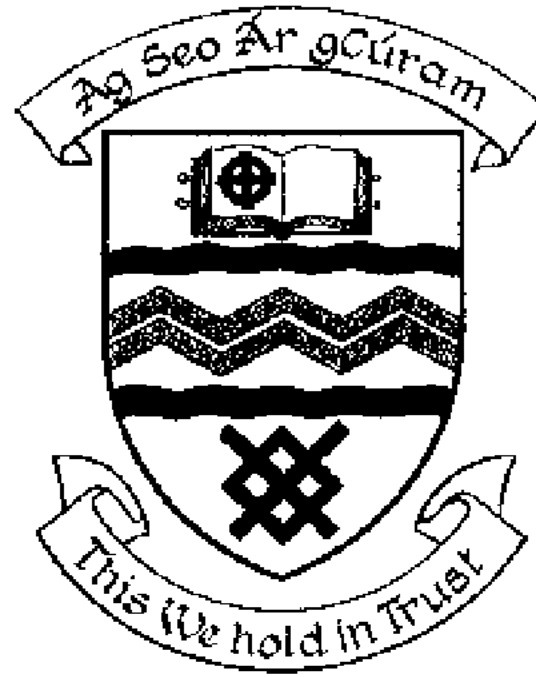
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 2327	Date of Decision 18/10/2000
Register Reference S99A/0513	Date 26/07/99

Applicant HSS Ltd.,
App. Type Permission
Development Residential development at Fortunestown Lane, Saggart, County Dublin on site of circa 18.2 hectares for 275 houses made up of 4 five bedroom and 10 four bedroom detached houses and 122 four bedroom and 68 three bedroom semi-detached houses; 71 two/three bedroom terraced houses, 84 three storey duplex units made up of 84 two bedroom ground floor apartments and 84 three bedroom town houses and 5 no. apartment blocks four storey containing 160 apartments made up of 32 one bedroom, 88 two bedroom and 40 three bedroom apartments with 229 semi-basement car park spaces and 193 surface car park spaces. All served by 2 no. access roads from Fortunestown Lane together with landscaped open spaces.

Location Fortunestown Lane, Saggart, Co. Dublin.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 31/10/2000

Yours faithfully

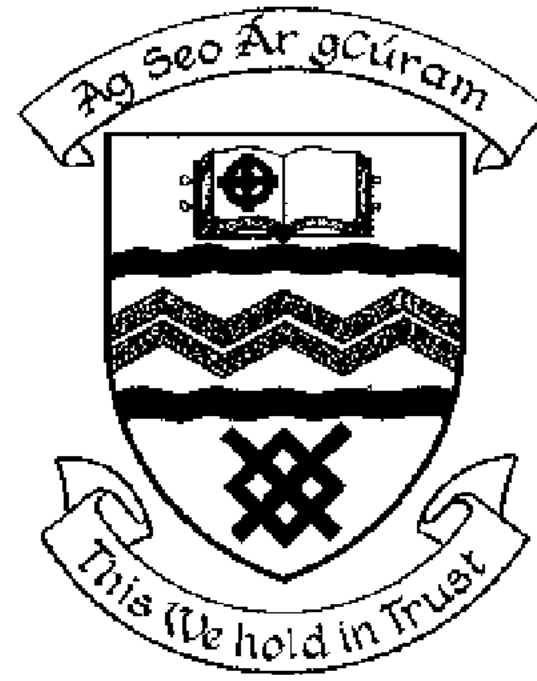
..... *MY* 18/10/00
for SENIOR ADMINISTRATIVE OFFICER

Project Architects,
~~Fleming Court,~~

SOUTH DUBLIN COUNTY COUNCIL
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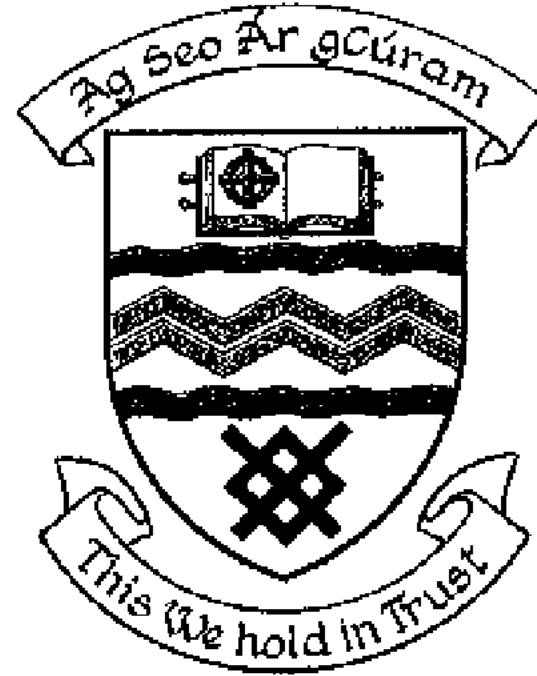
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~~Fleming Place,~~
~~Dublin-4.~~

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 2398	Date of Decision 27/10/2000
Register Reference S99A/0513	Date: 26/07/99

Applicant HSS Ltd.,

Development Residential development at Fortunestown Lane, Saggart, County Dublin on site of circa 18.2 hectares for 588 residential units and associated infrastructure all served by 2 no. access roads from Fortunestown Lane together with landscaped open spaces.

Location Fortunestown Lane, Saggart, Co. Dublin.

Floor Area Sq Metres

Time extension(s) up to and including 31/10/2000

Additional Information Requested/Received 23/09/1999 /20/01/2000

Clarification of Additional Information Requested/Received 20/03/2000 / 27/04/2000

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

Subject to the conditions (40) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

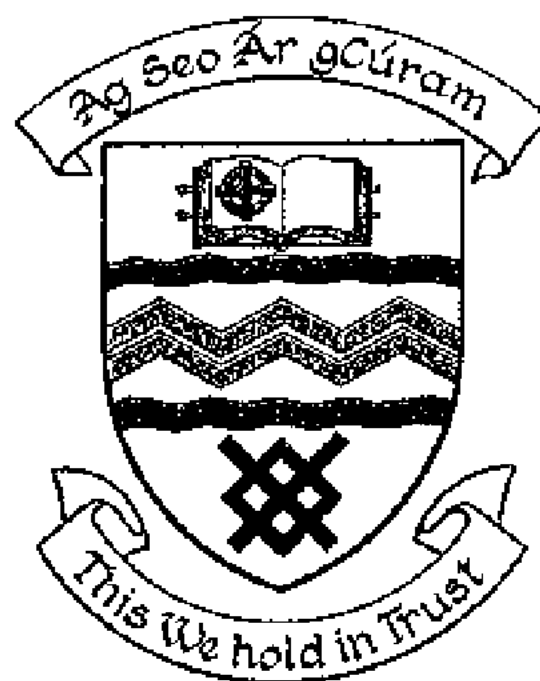
..... 27/10/00
for SENIOR ADMINISTRATIVE OFFICER

Project Architects,
Fleming Court,
Fleming Place,
Dublin 4.

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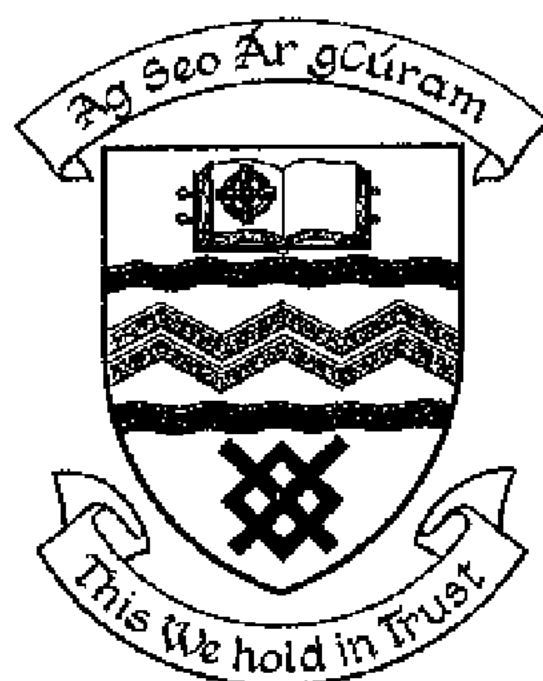
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and Additional Information lodged on the 20th of January 2000, Clarification of Additional Information lodged on the 27th of April 2000 and Unsolicited Additional Information lodged on the 26th May 2000, 9th of June, 4th of August, 6th of October and 20th of October 2000, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That each proposed house be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 4 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.
- 5 That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by South Dublin County Council.
REASON:
In the interest of amenity and public safety.

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- 6 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.

REASON:

In the interest of the proper planning and development of the area.

- 7 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.

REASON:

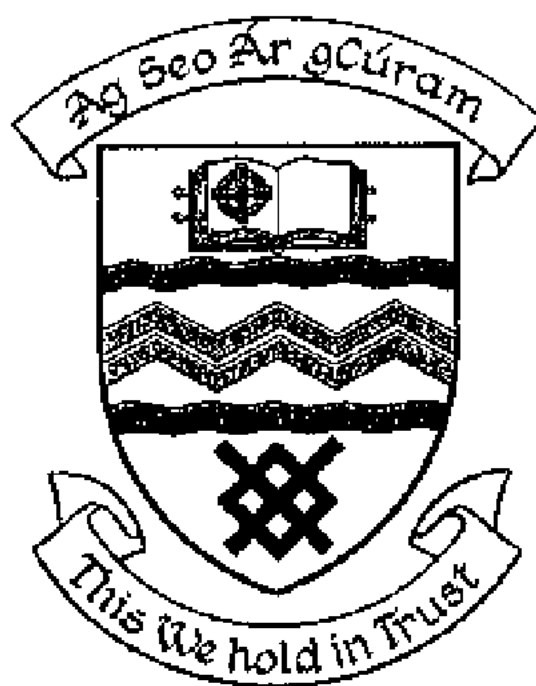
In the interest of the proper planning and development of the area.

- 8 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

Foul Drainage:

- (a) Prior to any development works the applicant shall submit details which shall be subject to the agreement of the Council in respect of the proposal to discharge foul sewage to the City West sewers. Such details shall include a route of pipeline, point of discharge, capacity and size of receiving pipe, invert levels and cover levels of sewers and manholes, location of manholes, quantities of sewage to be discharged to the receiving sewer in City West, extent of area to be serviced by the proposed sewer discharging to the existing sewer in City West.
- (b) The applicant shall ensure full and complete separation of foul and surface water systems.
- (c) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- (d) No building shall be located within 5m of any foul pipe with potential to be taken in charge.
- (e) The grant of permission is in regard to the proposal to discharge foul sewage to existing City West sewer

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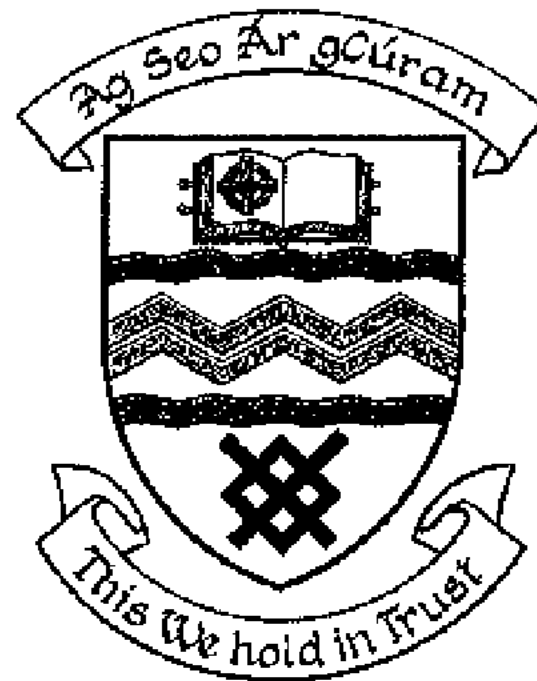
REG REF. S99A/0513

- and no other proposal.
- (f) The proposed foul sewer route F1A, F1, F2, F3, F4, F5, F6, F6A, F6B shall be provided by the applicant with a pipe of adequate size to accommodate additional wastewater discharges from the lands to the south of the site which are currently zoned for residential development. An extension of the proposed foul sewer route shall be provided from manhole F6B to the boundary of the applicants site with those lands to the south of the applicants site. The proposed foul sewer route from manhole F1A to its point of discharge from the site shall be provided by the applicant with a pipe of adequate size to accommodate additional discharges mentioned above. Details in regard to the route and sizing of the pipes together with construction details shall be agreed in writing with South Dublin County Council prior to any development works.

Surface Water:

- (a) Network 1: The maximum peak discharge from surface water network 1 to the existing water course shall not exceed 68.0 litres per second and surface water attenuation facilities shall be provided consisting of storm overflow storage area no. 1 and a 750mm diameter surface water storage pipe 300mm in length and hydrobrake flow control facility to limit all surface water flows to a maximum discharge of 68.0 litres per second.
- (b) Network 2: The maximum peak discharge from Network 2 shall not exceed 6.5 litres per second and surface water attenuation facilities shall be provided consisting of surface water storm overflow storage area no. 2 and a hydrobrake or similar flow control to limit maximum peak discharges to 6.5 litres per second.
- (c) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- (d) The applicant to ensure full and complete separation of foul and surface water systems.
- (e) The applicant is proposing to discharge to a water

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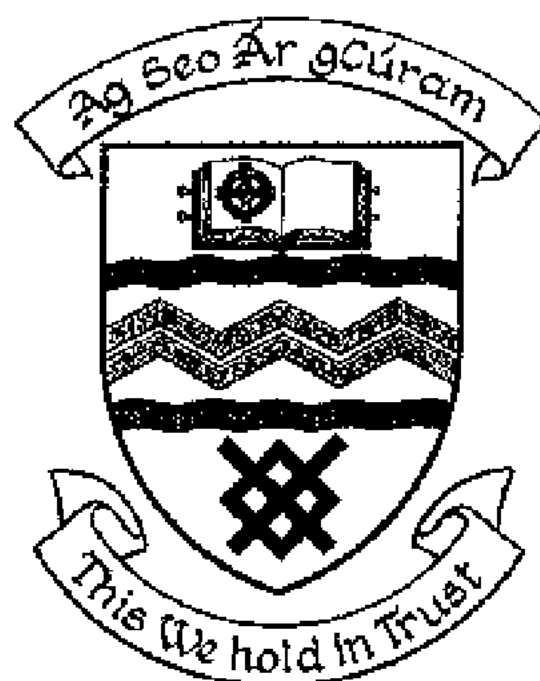
course. The invert level of the outfall should be 200mm above the normal water levels. Where periodic back flooding is likely to occur a non return valve should be fitted.

- (f) The applicant shall ensure that the surface water outfall is formed in such a way as to avoid, or provide against, local erosion and should be angled as to discharge in the direction of flow of the watercourse. For pipe sizes of 300mm diameter and greater, a suitable grating is required to prevent unauthorised access.

Water Supply:

- (a) The applicant is to comply with district Metering requirements. The applicant is required to:
- (i) Lay 250mm DI spine watermain to connect to existing 4" PVC main on Fortunestown Lane near site entrance and connect to existing 250mm branch off 1200mm SDCC watermain in Westbrook Glen. (Existing branch not yet taken in charge). The applicant is to obtain permission from the developer prior to connection being made. This is required in order that the development will be adequately served by the Boherboy Water Supply Scheme. The applicant shall submit a detailed drawing in respect of the route of the 250mm watermain through the proposed site.
 - (ii) The applicant shall install a 100mm diameter electromagnetic meter, kiosk associated ductwork/services and telemetry, to SDCC specification, on the 250mm spine main downstream of the outlet from proposed storage tank. Meter and Kiosk location to be agreed with Leakage Section, Deansrath Depot.
The applicant to submit revised watermain drawing indicating above revisions.
- (b) The applicant is to submit and agree details of the proposed storage tank and associated pipework with Area Engineer, Deansrath Depot prior to commencement of work.
- (c) The applicant shall submit a revised watermain

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layout to the Area Engineer, Deansrath Depot for the approval prior to commencement of works. Revisions to include in addition to condition above the following.

- (d) Fire hydrants shall be installed so that no unit is further than 46m from a hydrant. Spur mains shall not end in a duckfoot hydrant. Spurs shall terminate with a loop to facilitate self-cleansing.
- (e) No building shall be sited within 5m of mains less than 225mm dia, or within 8m of mains greater than 225mm dia, or within 11m of mains greater than 450mm dia.
- (f) Drawing 1067-Ail-03 indicates development (on the far south west of the area of development) within 11m of a 1200mm watermain. Prior to the commencement of development the applicant shall submit an amended drawing showing no building within 11m of the 1200mm watermain traversing the site.
- (g) 24 hour storage is required for each unit.
- (h) All connections, tappings, chlorination and swabbing shall be carried out by South Dublin County Council personnel at the applicants prior expense.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

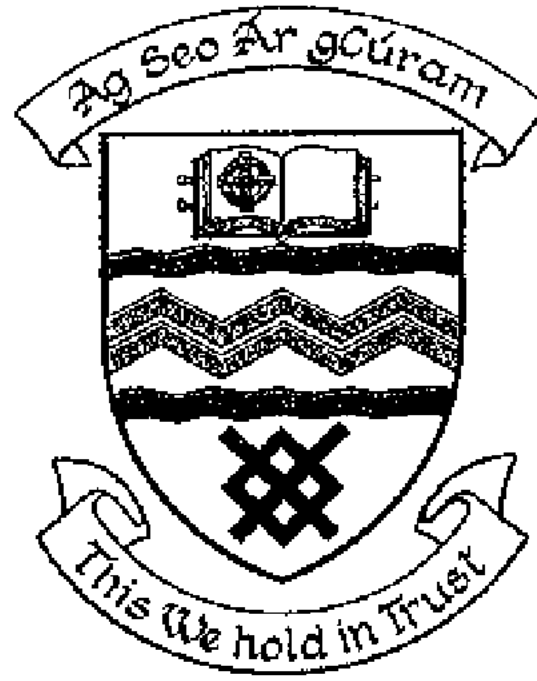
- 9 Prior to the commencement of any development the applicant shall submit documentary evidence that the following works can be completed by the developer (details to include evidence of sufficient interest in the relevant lands). No residential unit shall be occupied until requirements of (a) and (b) below are completed and available for use:

- (a) Fortunestown Lane to be improved to a 7.5 metre carriageway with footpaths, margins and public lighting from the roundabout on the new N82 Road at Citywest Business Park to the Western extremity of the applicant's site. This work to be done at the expense of the developer and be to the satisfaction of the Roads Department of the Council. Details shall be agreed in writing with the Planning Authority prior to the commencement of development.
- (b) The Fortunestown Lane realignment scheme to distributor road standards be completed from its

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junction with Garter Lane to the proposed roundabout in the vicinity of the western extremity of the applicant's site and tied into the road referred to at (a) above. All work to be to the satisfaction of the Roads Department of the Council. The agreed cost of the construction of this distributor road may be off-set against the contribution for road improvement purposes referred to at Condition No. 33 of this permission. Details shall be agreed in writing with the Planning Authority prior to the commencement of development on the site.

REASON:

To ensure that an adequate and safe road system is available to serve the development.

- 10 That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

REASON:

In the interest of the proper planning and development of the area.

- 11 That screen walls in block or similar durable materials not less than 2 metres high, suitably capped and rendered, be provided at the necessary locations so as to screen rear gardens from public view. The specific locations and extent of walling must be fully discussed and agreed in writing with the County Council before construction. Timber fencing is not acceptable.

REASON:

In the interest of visual amenity.

- 12 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development, until taken in charge by the Council.

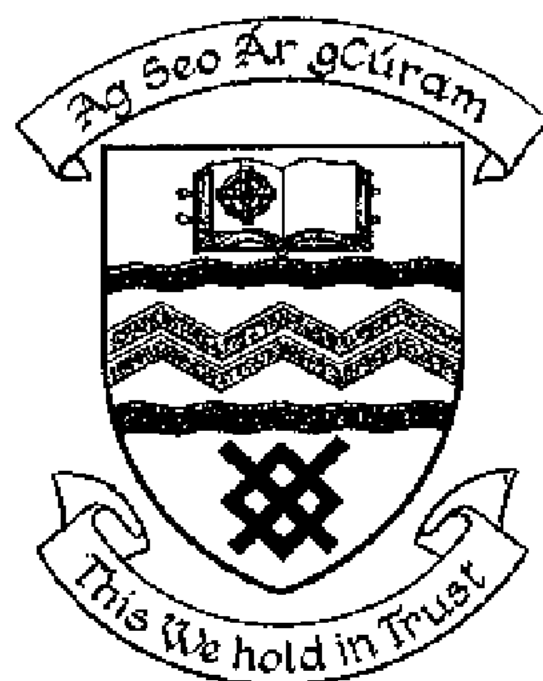
REASON:

In the interest of the proper planning and development of the area.

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- 13 9 metre driveways shall be provided to all terraced dwellings. A revised site layout plan showing compliance with same shall be lodged and agreed in writing with the Planning Authority prior to the commencement of development on site.

REASON:

In the interests of the proper planning and development of the area.

- 14 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

REASON:

In the interest of reducing air pollution.

- 15 A detailed tree and hedge survey is to be provided, indicating the location species, age, condition, crown spread and height of each tree and hedge. The applicant shall submit proposals for removal/retention of these trees and hedges and measures proposed to protect them during the course of the development, prior to commencement of works on site.

REASON:

In the interests of amenity.

- 16 Prior to the commencement of works on site, the developer is to agree with the Parks and Landscape Services Department and submit to the Planning Authority a detailed landscape plan with full works specification (including timescale for implementation), maintenance programme for a period of at least eighteen months and bill of quantities for the development of the open space. This plan to include grading, topsoiling, seeding, paths, drainage, boundary treatment and planting as necessary. These works are to be in accordance with South Dublin County Council's Guidelines for Open Space Development and Taking in Charge available from the Parks and Landscape Services Department. Details shall be agreed in writing with the Planning Authority.

REASON:

In the interests of visual amenity.

- 17 The two sites designated within the scheme for flood storage are not acceptable as Public Open Space and will not be

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taken in charge by the Parks Department. The arrangements for the future management and maintenance of these areas will be a matter for the developer and details of a proposed management agreement shall be subject to the written approval of South Dublin County Council prior to commencement of development.

REASON:

In the interests of visual amenity.

- 18 The applicant shall submit proposals for the development of the private open space within the scheme, with particular reference to the construction details of the timber decking and the depth of soil cover available for tree planting, prior to the commencement of works on site.

REASON:

In the interests of amenity.

- 19 A double-sided random rubble wall 750mm high shall be provided between the road and the main Public Open Space in the southeast corner of the site.

REASON:

In the interests of amenity.

- 20 No dumping shall take place on the designated Public Open Space for the duration of works on site and the open space is not to be used for the location of site compounds, storage of topsoil or other materials. This area shall be fenced off prior to the commencement of any construction works, details to be agreed with the Parks Department.

REASON:

In the interests of amenity.

- 21 A scheme of street planting shall be submitted and agreed with the Parks and Landscape Services Department prior to the commencement of any works on site.

REASON:

In the interests of amenity.

- 22 Details of the location of the pumping station shall be agreed in writing with the Planning Authority prior to commencement of development.

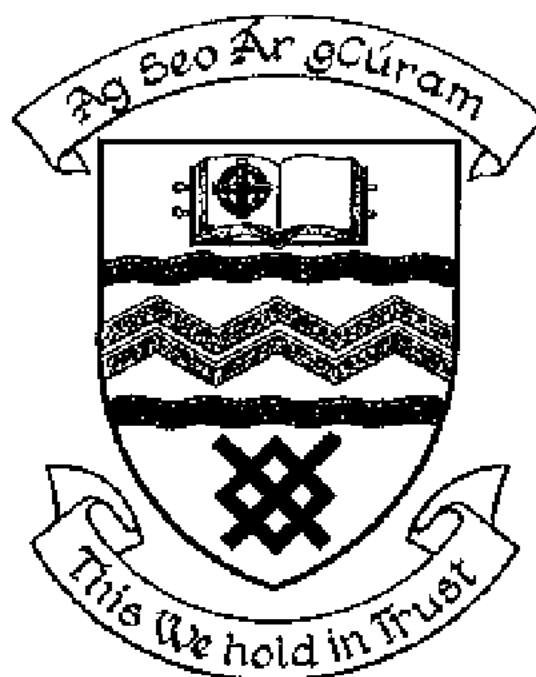
REASON:

In the interests of amenity.

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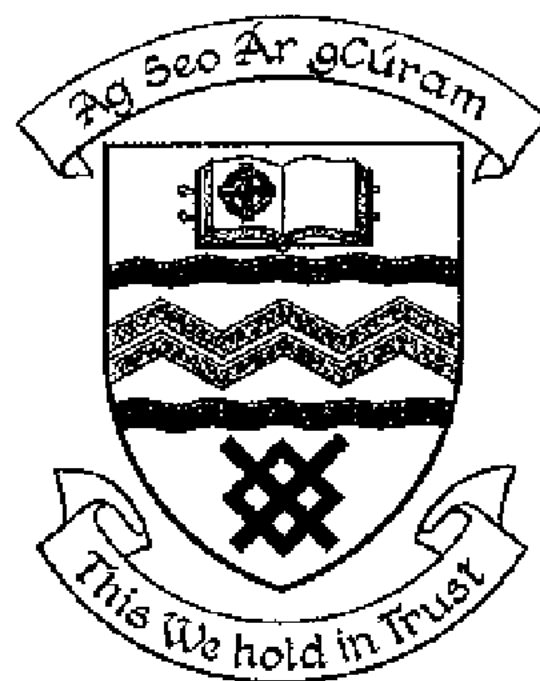
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- 23 Details of the treatment of the boundary to the open space adjoining the realigned Fortunestown Lane and along the western boundary of the site to be agreed with the Parks Department prior to the commencement of any works on site.
REASON:
In the interests of amenity.
- 24 The proposed 4 bed detached dwelling located directly to the north west of the public open space at the south western extremity of the site adjacent to where the Cork-Dublin Gas Transmission Line runs shall be omitted from the proposed development. The area shall be incorporated into the public open space.
REASON:
In order to comply with the requirements of the Development Plan.
- 25 The finishes of the proposed dwellings shall be a mixture of plaster and nap and brick. Details shall be agreed in writing with the Planning Authority prior to the commencement of development on the site.
REASON:
In the interests of visual amenity.
- 26 Prior to the commencement of development on the site the applicant shall submit for the written agreement of the Planning Authority full details of proposed drying areas/facilities, fuel storage, bicycle stores and general stores.
REASON:
In the interests of orderly development.
- 27 The proposed apartment block facing due east towards the adjoining lands shall be relocated so as to be further from the eastern site boundary. Details shall be agreed in writing with the Planning Authority prior to commencement of the development.
REASON:
In the interests of the proper planning and development of the area.
- 28 Access to the underground car park shall be not less than 30 metres from the site entrance. Details shall be agreed in writing with the Planning Authority prior to commencement

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of development.

REASON:

In the interests of traffic safety.

- 29 The most northernly apartment block shall be re-located to ensure the provision of a minimum setback of 2 metres between residential units and the back of the public footpath. Details shall be agreed in writing with the Planning Authority.

REASON:

In the interests of orderly development.

- 30 A detailed roads layout for the proposed development shall be agreed in writing with the Planning Authority prior to the commencement of development on the site.

REASON:

In the interests of the proper planning and development of the area.

- 31 The applicant shall ascertain the requirements of Dublin Corporation Water Division prior to the commencement of development, particularly in respect of the protection of existing corporation watermains at the site and strictly adhere to these requirements in the development.

REASON:

In the interest of public health and the proper planning and development of the area.

- 32 That a financial contribution in the sum of £435,450 (Four Hundred and Thirty Five Thousand Four Hundred and Fifty Pounds) EUR 552,907 (Five Hundred and Fifty Two Thousand Nine Hundred and Seven Euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

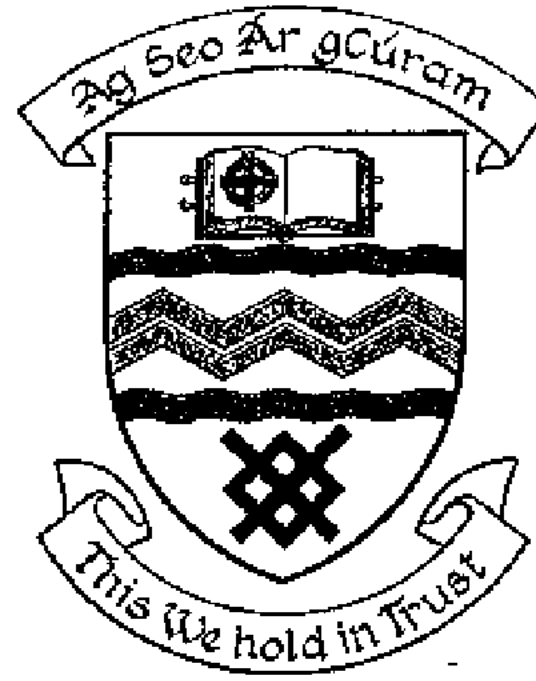
REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

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- 33 That a financial contribution in the sum of £1,199,100 (One Million One Hundred and Ninety Nine Thousand One Hundred Pounds) EUR 1,522,542 (One Million Five Hundred and Twenty Two Thousand and Five Hundred and Forty Two Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 34 That a financial contribution in the sum of £489,250 (Four Hundred and Twenty Eight Thousand Two Hundred and Fifty Pounds) EUR 543,765 (Five Hundred and Forty Three Thousand Seven Hundred and Sixty Five Euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 35 That a financial contribution in the sum of £385,409 (Three Hundred and Eighty Five Thousand and Four Hundred and Nine Pounds) EUR 489,368 (Four Hundred and Eighty Nine Thousand Three Hundred and Eight Six Euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

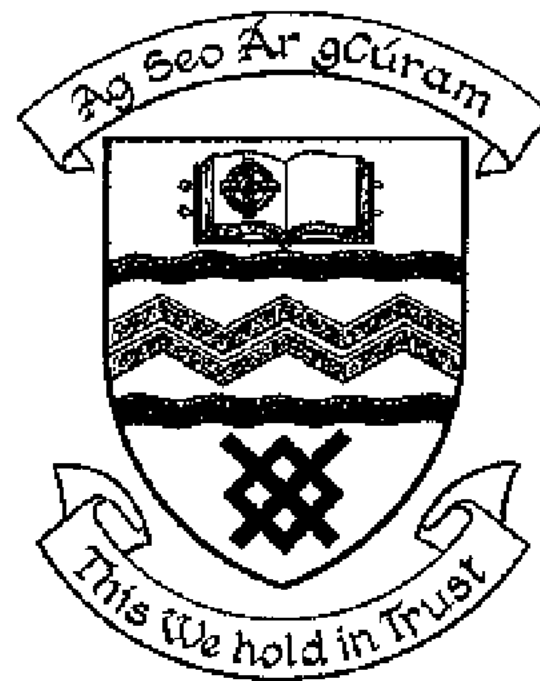
REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

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36 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains, has been given by:-

a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £1,539,500 (One Million Five Hundred and Thirty Nine Thousand Five Hundred Pounds) EUR 1,954,761 (One Million Nine Hundred and Fifty Four Thousand Seven Hundred and Sixty One Euros) until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.

Or./...

b. Lodgement with the Council of a Cash Sum of £925,500 (Nine Hundred and Twenty Five Thousand and Five Hundred Pounds) EUR 1,175,142 (One Million One Hundred and Seventy Five Thousand One Hundred and Forty Two Euros) to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications.

Or./...

c. Lodgement with the Planning Authority of a letter of guarantee issued by the Construction Industry Federation in respect of the proposed development, in accordance with the guarantee scheme agreed with Planning Authority.

REASON:

To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

37 That details of the Management Agreement for the maintenance and Control of the site be submitted and agreed with the Planning Authority prior to the commencement of development.

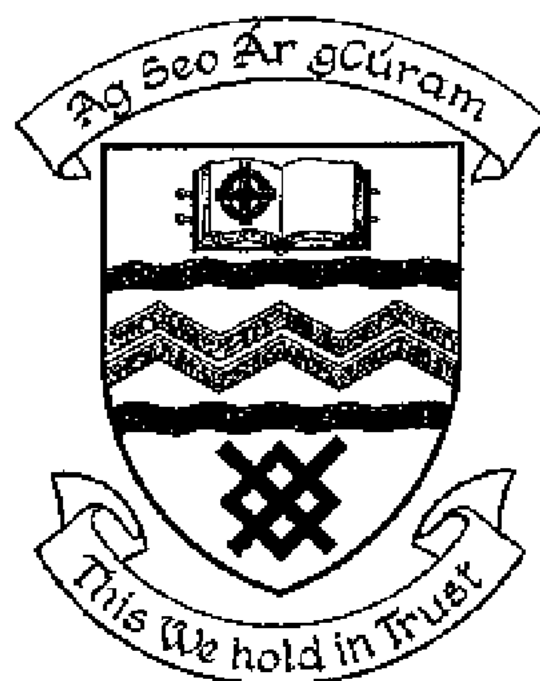
REASON:

In the interest of the proper planning and development of the area.

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- 38 That a financial contribution to be determined by the Planning Authority shall apply for the maintenance by the Council of a pumphouse for a period of 20 years if the proposal to discharge foul sewage to the City West sewer requires the provision of either a pumphouse or raising main.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing these services.

- 39 The applicant shall ascertain and adhere to the requirements of the Principal Environmental Health Officer particularly in respect of the construction stage.

REASON:

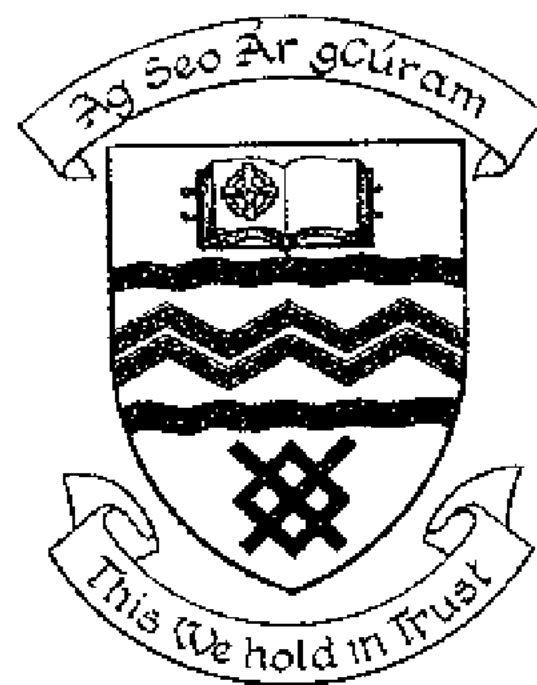
In the interests of public health and the proper planning and development of the area.

- 40 Details of proposed oil/petrol interceptors and trapped gulleys shall be submitted to and agreed with the Planning Authority prior to the commencement of development.

REASON:

In the interests of clarity and the proper planning and development of the area.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0568	Date of Decision 20/03/2000
Register Reference S99A/0513	Date 26/07/99

Applicant
App. Type
Development

HSS Ltd.,
Permission
Residential development at Fortunestown Lane, Saggart,
County Dublin on site of circa 18.2 hectares for 275 houses
made up of 4 five bedroom and 10 four bedroom detached
houses and 122 four bedroom and 68 three bedroom semi-
detached houses; 71 two/three bedroom terraced houses, 84
three storey duplex units made up of 84 two bedroom ground
floor apartments and 84 three bedroom town houses and 5 no.
apartment blocks four storey containing 160 apartments made
up of 32 one bedroom, 88 two bedroom and 40 three bedroom
apartments with 229 semi-basement car park spaces and 193
surface car park spaces. All served by 2 no. access roads
from Fortunestown Lane together with landscaped open spaces.

Location

Fortunestown Lane, Saggart, Co. Dublin.

Dear Sir / Madam,

With reference to your planning application, additional information received on 20/01/00 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning and Development) Acts 1963 - 1993, the following Clarification of Additional Information must be submitted in quadruplicate:

- 1 Environmental Services:
Foul Sewer:

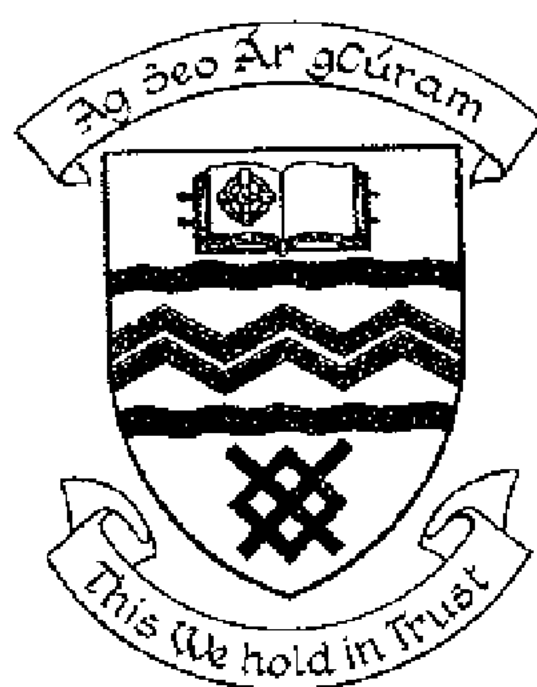
1. The applicant is requested to submit a revised proposal which will include for the provision of a

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wastewater collection system to serve the development on the adjoining golf course lands and lands which are subject to the current application.

2. The applicant is requested to submit proposals to ensure that the sewer on Brookfield Road to which the proposed development is to connect, has sufficient capacity to cater for the proposed development.

Surface Water Sewer:

1. Condition No. 5 of the decision to grant planning permission under Reg. Ref. S99A/0205 requested that details of the surface water facilities would be agreed with the Council prior to development works being carried out. The details as required by Condition No. 5 have not been agreed with the Council. Details lodged with S99A/0205 do not indicate that the discharge from the current proposed development can be catered for in the sizing of the attenuation ponds within that site. Details submitted as unsolicited additional on S99A/0205 indicated that surface water is to discharge from the ponds in the Golf Course site into the site of the current application. The applicant should indicate where such surface water discharges from the golf site are to be accommodated within the site of S99A/0513.
As the surface water drainage in respect of the proposed and adjoining development are linked the applicant is requested to submit full details of the proposed surface water attenuation in respect of the proposed and adjoining site.
The applicant is also requested to submit details of how and where the surface water is to be discharged.

Details to be lodged include the following:

- (a) the calculation used for sizing the attenuation ponds;
- (b) the size and details of the ponds themselves;
- (c) details in regard to the route and point of discharge for the surface water system;

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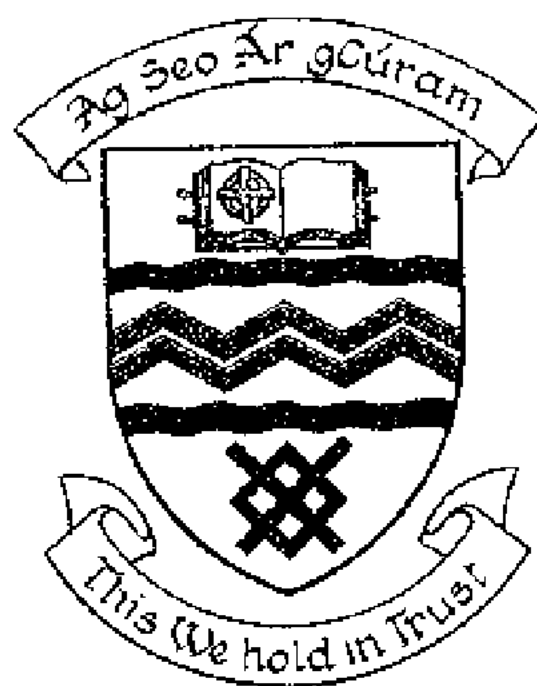
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2. In respect to the eastern most part of the site the applicant is requested to submit proposals which will ensure the proposed development will not diminish the capacity of the adjoining water course to accept surface water discharges and to submit detailed proposals to provide surface water attenuation such that surface water discharges to the watercourse do not exceed pre-development discharges.
- 2(a). The applicant is required to submit details in regard to the ditch and/or watercourse in which it is proposed to discharge indicating the capacity of the watercourse and culverts downstream of the point of discharge to accept such discharges and indicate that the risk of flooding to lands downstream of the point of discharge are minimised.
3. At the western point of the site some 30 proposed houses form a boundary with an existing watercourse indicated as a ditch on drawing No. 9922-01. Applicant is to submit details indicating the extent of the boundary fence for these houses in relation to the existing watercourse. Details to indicate that any proposed development shall not diminish the capacity of the water course to accept surface water discharges.

Watersupply:

1. The applicant is requested to submit a revised proposal showing no building within 11 metres of the existing 1200mm watermain located on the far western area of the proposed development.
2. The current proposal is to serve the development from a reservoir to be constructed on site by the applicants. This system will be superseded by the provision of the proposed Boherboy water supply scheme. In order that the proposed development would be adequately served by the Boherboy water supply scheme the applicant will be required by lay a 250mm ductile iron water pipe to connect the existing 100mm diameter PVC pipe on Fortunestown

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Lane near to the site entrance and shall connect to an existing 250mm branch off the existing 1200mm Council main in Westbrook Glen. The applicant shall submit detailed drawing in respect of the route of the 250mm watermain through the proposed development site.

2

Roads:

The applicant is advised that his proposals in respect of the replacement of the Fortunestown Lane from its junction with Garter lane to the roundabout at Citywest are inadequate. The applicant is requested to submit a proposal for the construction and completion of this roadway in conjunction with the current proposed development. The submission should include a timescale for the completion of this roadway.

The applicant is advised that the Planning Authority still awaits his proposals for the improvement of Fortunestown Lane from its junction with the North/South Distributor to the site entrance.

The applicant is advised that the car parking provision for the proposed duplex apartments is still deficient. The current provision falls short of the Development Plan requirements by 61 spaces. The applicant is requested to clarify this matter.

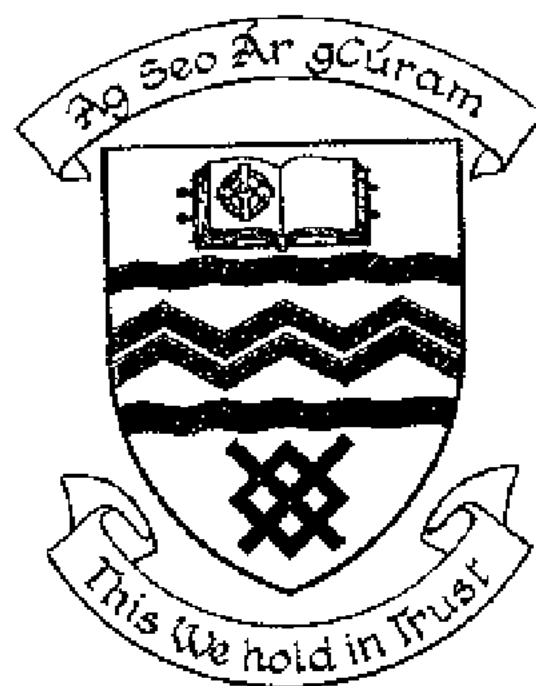
In respect of the provision of nine metre driveways and provision of 7.5 metre building line setback, the Planning Authority notes that approx. 50% of the semi detached houses have less than 7.5 metre setback. The applicant is requested to submit a proposal providing for the 7.5 metre setback as requested in the request for Additional Information.

3

Public/Private Open Space Provision:

It is noted that the proposed development does not meet the requirements of the Development Plan in respect of private open space provision. The 60sq.m. rear garden area is not provided in all cases. On average the rear garden depth is approx. 10 metres and not the 11 metres required by the Development Plan. The applicant is requested to submit a

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proposal which complies with the private open space requirements as set out in the Development Plan and as requested in the original request for Additional Information.

In respect of submission in respect of private/public open space provision the applicant is requested to clearly delineate the areas shown as private open space for the apartment/duplex development (Drg. No. 106-A11-007 and Drg. No. 1067-A11-008) and to relate to this the requirement of the Development Plan that open space provision should account for 14% of the total site area. The applicant is also requested to submit details of drying areas/facilities and storage as required by the original request for Additional Information. The applicant is also advised that the proposed development should minimise overlooking/overshadowing.

NOTE: In order to comply with the requirements of the Department of Defence the buildings as proposed should not exceed 15 metres in height.

Please mark your reply "CLARIFICATION OF ADDITIONAL INFORMATION" and quote the Planning Reg Ref. No. given above.

Yours faithfully

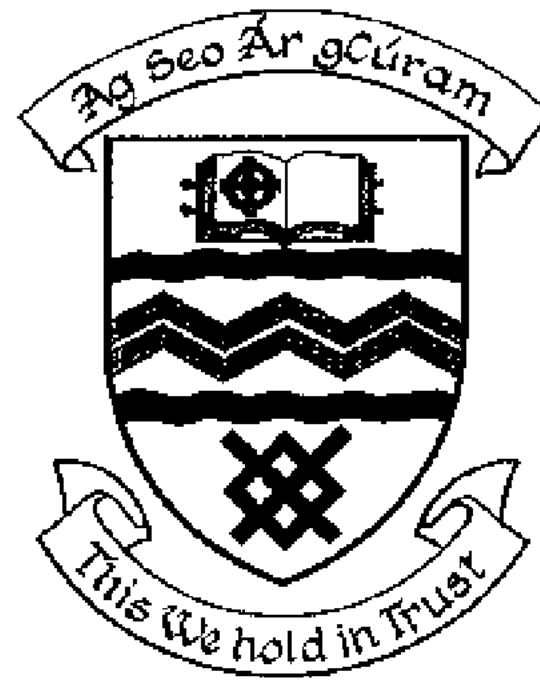
.....
for SENIOR ADMINISTRATIVE OFFICER

21/03/00

SOUTH DUBLIN COUNTY COUNCIL
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 2082	Date of Decision 23/09/1999
Register Reference S99A/0513	Date: 26/07/99

Applicant HSS Ltd.,
Development Residential development at Fortunestown Lane, Saggart, County Dublin on site of circa 18.2 hectares for 275 houses made up of 4 five bedroom and 10 four bedroom detached houses and 122 four bedroom and 68 three bedroom semi-detached houses; 71 two/three bedroom terraced houses, 84 three storey duplex units made up of 84 two bedroom ground floor apartments and 84 three bedroom town houses and 5 no. apartment blocks four storey containing 160 apartments made up of 32 one bedroom, 88 two bedroom and 40 three bedroom apartments with 229 semi-basement car park spaces and 193 surface car park spaces. All served by 2 no. access roads from Fortunestown Lane together with landscaped open spaces.

Location Fortunestown Lane, Saggart, Co. Dublin.

App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 26/07/99 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 In order to comply with Article 24 of the Local Government (Planning and Development) Regulations 1994 as amended, the applicant is requested to submit an Environmental Impact Statement in respect of the proposed development.
- 2 Notwithstanding the submission of an Environmental Impact Statement the following Additional Information should be submitted:-

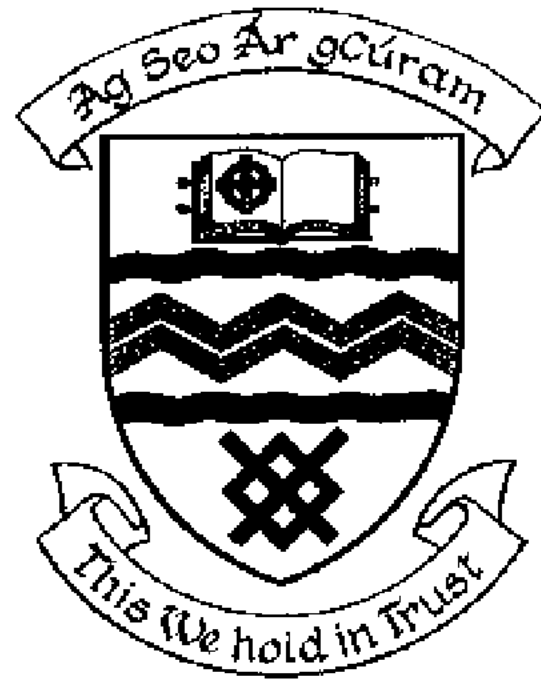
(a) Environmental Services:

Project Architects,
Fleming Court,
Fleming Place,
Dublin 4.

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(i) The applicant is requested to submit full details of the foul and surface water drainage including details of pipe sizes, invert, cover and invert levels up to and including connection to the public sewers,

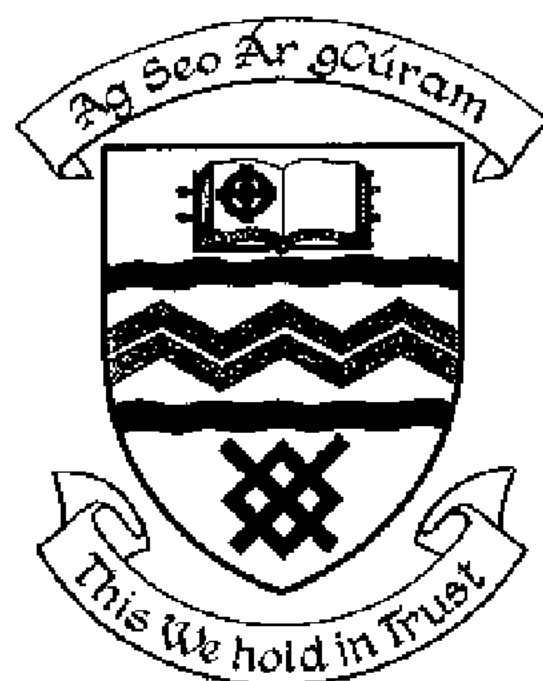
(ii) The applicant is requested to submit a detailed watermain layout including watermain size, material, sluice and air valves, meter and hydrants, and proposed point of connection to existing watermain (Layout to be in accordance with Part B of 1997 Building Regulations);

(b) Roads:

The applicant is advised that the proposed two no. access points off the Fortunestown Lane are considered to be inadequate. This existing roadway being only 3.5 metres in width is totally inadequate to cater for a development of the scale proposed. In this regard and with regard to the internal layout of the proposed development, the applicant is requested to submit the following:-

- A proposal providing for the replacement of Fortunestown Lane from its junction with Garter Lane to the roundabout at City West. Planning permission for such a road was granted to the applicant under Reg. Ref. S99A/0154. The applicant is requested to submit any proposals which he may have in this regard inclusive of details of a timescale for the construction of any proposed roadway.
- Any proposals which he may have for the improvement of Fortunestown Lane from its junction with the North/South Distributor to the site entrance.
- A revised proposal showing the provision of 2 car parking spaces per duplex/apartment unit. The current proposal is considered to be inadequate.

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REG. REF. S99A/0513

- A revised proposal showing the provision of 9 metre driveways to proposed terraced houses as opposed to the 5-8 metre driveways currently shown. The applicant is also requested to submit a revised proposal showing the provision of 7.5 metre driveways to proposed cul-de-sac developments;

(c) **Public Open Space Provision:**

The applicant is requested to submit a revised proposal showing the proposed open space integrated into the development as a whole. The proposed dwelling units should address the public open space and the open space should be an integral part of the overall proposal. No development should back on to the Class 1 open space area. The provision of a linear access road through the proposed Class 1 open space serving proposed terraced housing at the southern extremity of the site is considered to be detrimental to the quality of the Class 1 open space. The applicant is requested to submit a revised proposal in respect of this portion of the site;

(d) **Internal Layout:**

(i) The applicant is requested to submit a revised proposal showing a less linear type of internal layout providing for additional open space areas within the more densely developed area of the site. All development should meet the requirements of the Development Plan in respect of existing private open space provision and dwellings located at the end of cul-de-sacs should have the benefit of full frontage onto the roadway or hammerhead in order to facilitate access;

(ii) The applicant is requested to submit revised plans deleting the wide planted areas between plots 1-26 and the existing housing in order to reduce security risks. Instead planting should be indicated within the gardens;

(iii) The applicant is requested to submit plans/details in respect of the apartments indicating the

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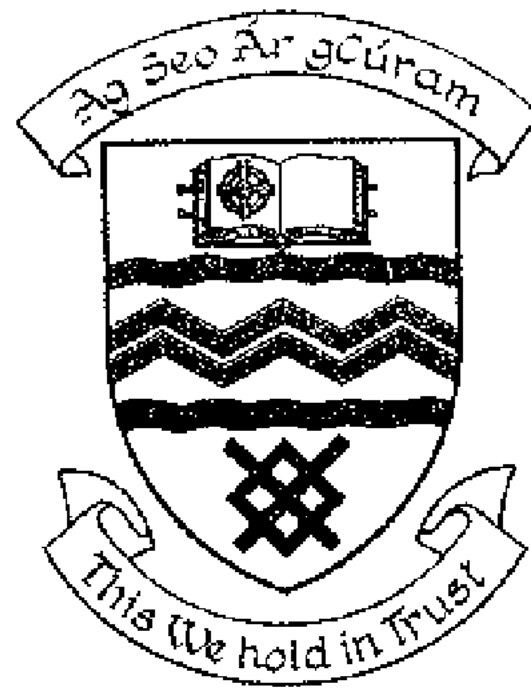
area of private open space to serve them and
indicating drying areas/facilities and fuel storage
facilities (if applicable);
(iv) The applicant is requested to submit plans/
details clarifying the area of private open space
per duplex unit and indicating how overlooking and
overshadowing problems are to be overcome where the
gable end of one duplex block is in close proximity
to the rear or front elevation of another duplex
block.

Signed on behalf of South Dublin County Council

1-14
.....
for Senior Administrative Officer

23/09/99

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0553	Date of Decision 16/03/2000
Register Reference S99A/0513	Date 26/07/99

Applicant HSS Ltd.,
App. Type Permission
Development Residential development at Fortunestown Lane, Saggart,
County Dublin on site of circa 18.2 hectares for 275 houses
made up of 4 five bedroom and 10 four bedroom detached
houses and 122 four bedroom and 68 three bedroom semi-
detached houses; 71 two/three bedroom terraced houses, 84
three storey duplex units made up of 84 two bedroom ground
floor apartments and 84 three bedroom town houses and 5 no.
apartment blocks four storey containing 160 apartments made
up of 32 one bedroom, 88 two bedroom and 40 three bedroom
apartments with 229 semi-basement car park spaces and 193
surface car park spaces. All served by 2 no. access roads
from Fortunestown Lane together with landscaped open spaces.

Location Fortunestown Lane, Saggart, Co. Dublin.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 22/03/2000

Yours faithfully

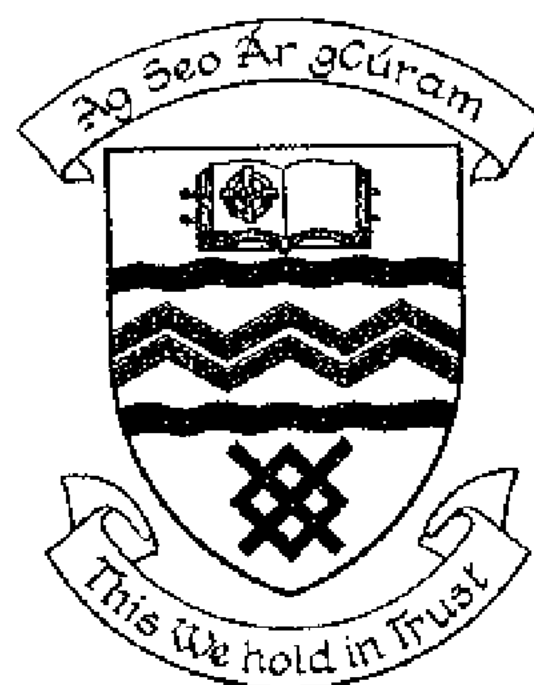
 16/03/00
for SENIOR ADMINISTRATIVE OFFICER

Project Architects,
Fleming Court,

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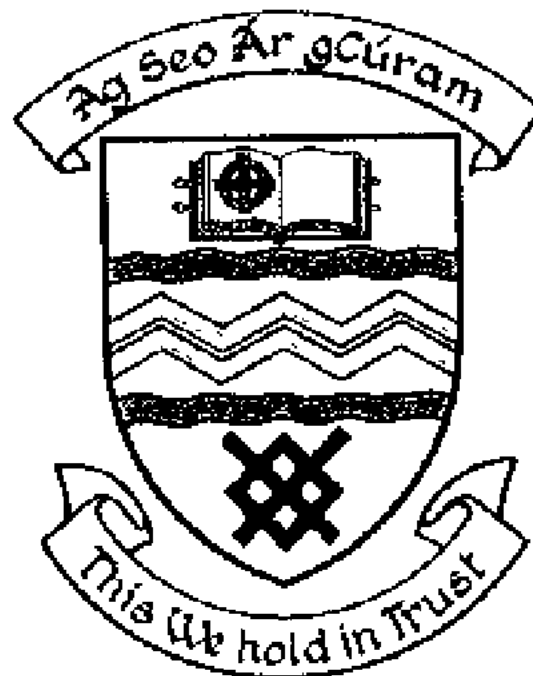
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REG REF. S99A/0513
Fleming Place,
Dublin 4.

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S99A/0513	
1. Location	Fortunestown Lane, Saggart, Co. Dublin.		
2. Development	Residential development at Fortunestown Lane, Saggart, County Dublin on site of circa 18.2 hectares for 588 residential units and associated infrastructure all served by 2 no. access roads from Fortunestown Lane together with landscaped open spaces.		
3. Date of Application	26/07/99	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 23/09/1999 2. 20/03/20	1. 20/01/2000 2. 27/04/20
4. Submitted by	Name: Project Architects, Address: Fleming Court, Fleming Place, Dublin 4.		
5. Applicant	Name: HSS Ltd., Address: Keatings Park, Rathcoole, Co. Dublin.		
6. Decision	O.C.M. No. 2398 Date 27/10/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0343 Date 15/02/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged	27/11/2000	Written Representations	
9. Appeal Decision	14/02/2001	Appeal Withdrawn	
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar	 Date	 Receipt No.	

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size to accommodate additional discharges mentioned above. Details in regard to the route and sizing of the pipes together with construction details shall be agreed in writing with South Dublin County Council prior to any development works.

Surface Water:

- (a) Network 1: The maximum peak discharge from surface water network 1 to the existing water course shall not exceed 68.0 litres per second and surface water attenuation facilities shall be provided consisting of storm overflow storage area no. 1 and a 750mm diameter surface water storage pipe 300mm in length and hydrobrake flow control facility to limit all surface water flows to a maximum discharge of 68.0 litres per second.
- (b) Network 2: The maximum peak discharge from Network 2 shall not exceed 6.5 litres per second and surface water attenuation facilities shall be provided consisting of surface water storm overflow storage area no. 2 and a hydrobrake or similar flow control to limit maximum peak discharges to 6.5 litres per second.
- (c) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- (d) The applicant to ensure full and complete separation of foul and surface water systems.
- (e) The applicant is proposing to discharge to a water course. The invert level of the outfall should be 200mm above the normal water levels. Where periodic back flooding is likely to occur a non return valve should be fitted.
- (f) The applicant shall ensure that the surface water outfall is formed in such a way as to avoid, or provide against, local erosion and should be angled as to discharge in the direction of flow of the watercourse. For pipe sizes of 300mm diameter and greater, a suitable grating is required to prevent unauthorised access.

Water Supply:

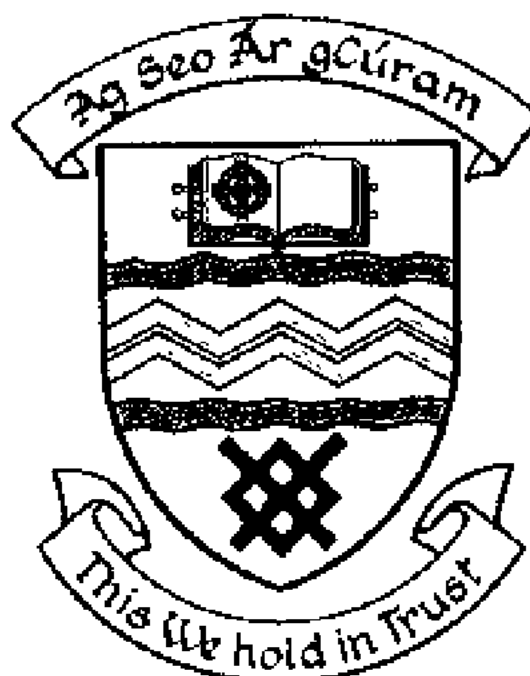
- (a) The applicant is to comply with district Metering requirements. The applicant is required to:
 - (i) Lay 250mm DI spine watermain to connect to existing 4" PVC main on Fortunestown Lane near site entrance and connect to existing 250mm branch off 1200mm SDCC watermain in Westbrook Glen. (Existing branch not yet

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taken in charge). The applicant is to obtain permission from the developer prior to connection being made. This is required in order that the development will be adequately served by the Boherboy Water Supply Scheme. The applicant shall submit a detailed drawing in respect of the route of the 250mm watermain through the proposed site.

- (ii) The applicant shall install a 100mm diameter electromagnetic meter, kiosk associated ductwork/services and telemetry, to SDCC specification, on the 250mm spine main downstream of the outlet from proposed storage tank. Meter and Kiosk location to be agreed with Leakage Section, Deansrath Depot.

The applicant to submit revised watermain drawing indicating above revisions.

- (b) The applicant is to submit and agree details of the proposed storage tank and associated pipework with Area Engineer, Deansrath Depot prior to commencement of work.
- (c) The applicant shall submit a revised watermain layout to the Area Engineer, Deansrath Depot for the approval prior to commencement of works. Revisions to include in addition to condition above the following.
- (d) Fire hydrants shall be installed so that no unit is further than 46m from a hydrant. Spur mains shall not end in a duckfoot hydrant. Spurs shall terminate with a loop to facilitate self-cleansing.
- (e) No building shall be sited within 5m of mains less than 225mm dia, or within 8m of mains greater than 225mm dia, or within 11m of mains greater than 450mm dia.
- (f) Drawing 1067-Ail-03 indicates development (on the far south west of the area of development) within 11m of a 1200mm watermain. Prior to the commencement of development the applicant shall submit an amended drawing showing no building within 11m of the 1200mm watermain traversing the site.
- (g) 24 hour storage is required for each unit.
- (h) All connections, tappings, chlorination and swabbing shall be carried out by South Dublin County Council personnel at the applicants prior expense.

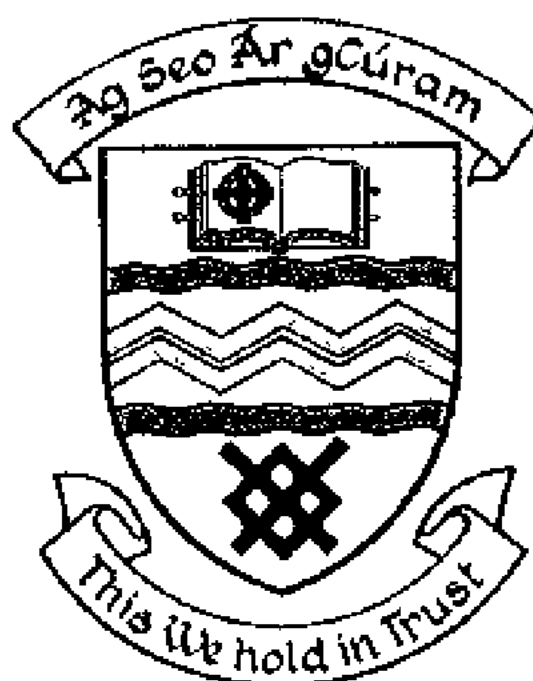
REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

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- 9 Prior to the commencement of any development the applicant shall submit documentary evidence that the following works can be completed by the developer (details to include evidence of sufficient interest in the relevant lands). No residential unit shall be occupied until requirements of (a) and (b) below are completed and available for use:
- (a) Fortunestown Lane to be improved to a 7.5 metre carriageway with footpaths, margins and public lighting from the roundabout on the new N82 Road at Citywest Business Park to the Western extremity of the applicant's site. This work to be done at the expense of the developer and be to the satisfaction of the Roads Department of the Council. Details shall be agreed in writing with the Planning Authority prior to the commencement of development.
 - (b) The Fortunestown Lane realignment scheme to distributor road standards be completed from its junction with Garter Lane to the proposed roundabout in the vicinity of the western extremity of the applicant's site and tied into the road referred to at (a) above. All work to be to the satisfaction of the Roads Department of the Council. The agreed cost of the construction of this distributor road may be off-set against the contribution for road improvement purposes referred to at Condition No. 33 of this permission. Details shall be agreed in writing with the Planning Authority prior to the commencement of development on the site.

REASON:

To ensure that an adequate and safe road system is available to serve the development.

- 10 That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

REASON:

In the interest of the proper planning and development of the area.

- 11 That screen walls in block or similar durable materials not less than 2 metres high, suitably capped and rendered, be provided at the necessary locations so as to screen rear gardens from public view. The specific locations and extent of walling must be fully discussed and agreed in writing with the County Council before construction. Timber fencing is not acceptable.

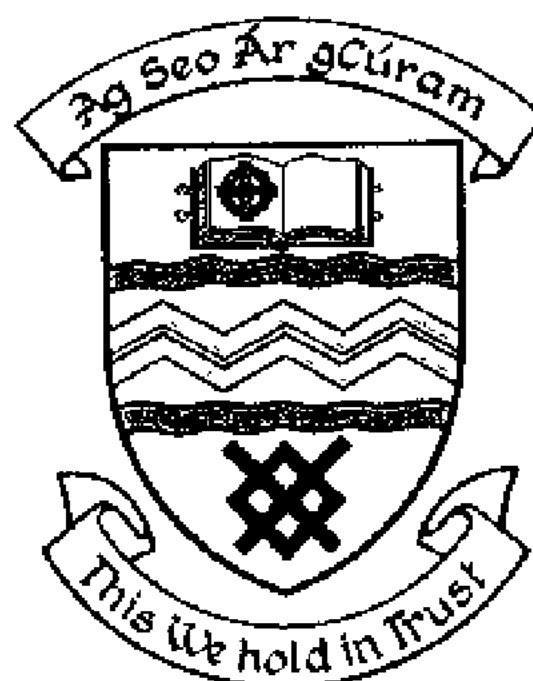
REASON:

In the interest of visual amenity.

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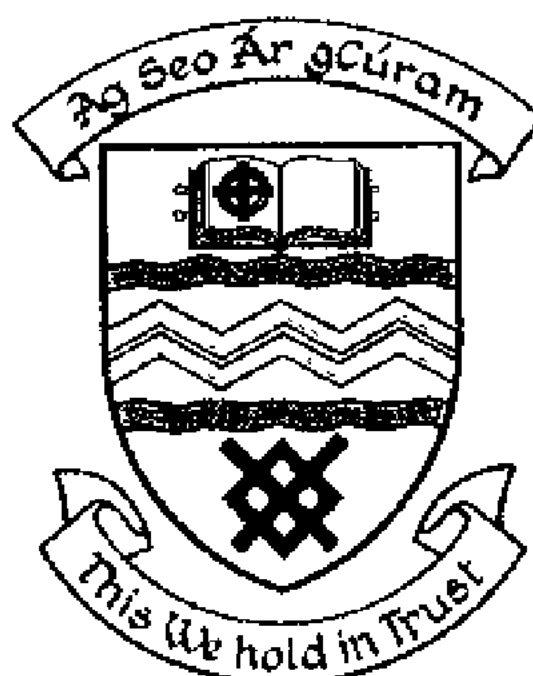


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- 12 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development, until taken in charge by the Council.
 REASON:
 In the interest of the proper planning and development of the area.
- 13 9 metre driveways shall be provided to all terraced dwellings. A revised site layout plan showing compliance with same shall be lodged and agreed in writing with the Planning Authority prior to the commencement of development on site.
 REASON:
 In the interests of the proper planning and development of the area.
- 14 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.
 REASON:
 In the interest of reducing air pollution.
- 15 A detailed tree and hedge survey is to be provided, indicating the location species, age, condition, crown spread and height of each tree and hedge. The applicant shall submit proposals for removal/retention of these trees and hedges and measures proposed to protect them during the course of the development, prior to commencement of works on site.
 REASON:
 In the interests of amenity.
- 16 Prior to the commencement of works on site, the developer is to agree with the Parks and Landscape Services Department and submit to the Planning Authority a detailed landscape plan with full works specification (including timescale for implementation), maintenance programme for a period of at least eighteen months and bill of quantities for the development of the open space. This plan to include grading, topsoiling, seeding, paths, drainage, boundary treatment and planting as necessary. These works are to be in accordance with South Dublin County Council's Guidelines for Open Space Development and Taking in Charge available from the Parks and Landscape Services Department. Details shall be agreed in writing with the Planning Authority.

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REASON:

In the interests of visual amenity.

- 17 The two sites designated within the scheme for flood storage are not acceptable as Public Open Space and will not be taken in charge by the Parks Department. The arrangements for the future management and maintenance of these areas will be a matter for the developer and details of a proposed management agreement shall be subject to the written approval of South Dublin County Council prior to commencement of development.

REASON:

In the interests of visual amenity.

- 18 The applicant shall submit proposals for the development of the private open space within the scheme, with particular reference to the construction details of the timber decking and the depth of soil cover available for tree planting, prior to the commencement of works on site.

REASON:

In the interests of amenity.

- 19 A double-sided random rubble wall 750mm high shall be provided between the road and the main Public Open Space in the southeast corner of the site.

REASON:

In the interests of amenity.

- 20 No dumping shall take place on the designated Public Open Space for the duration of works on site and the open space is not to be used for the location of site compounds, storage of topsoil or other materials. This area shall be fenced off prior to the commencement of any construction works, details to be agreed with the Parks Department.

REASON:

In the interests of amenity.

- 21 A scheme of street planting shall be submitted and agreed with the Parks and Landscape Services Department prior to the commencement of any works on site.

REASON:

In the interests of amenity.

- 22 Details of the location of the pumping station shall be agreed in writing with the Planning Authority prior to commencement of development.

REASON:

In the interests of amenity.

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- 23 Details of the treatment of the boundary to the open space adjoining the realigned Fortunestown Lane and along the western boundary of the site to be agreed with the Parks Department prior to the commencement of any works on site.
REASON:
In the interests of amenity.

 - 24 The proposed 4 bed detached dwelling located directly to the north west of the public open space at the south western extremity of the site adjacent to where the Cork-Dublin Gas Transmission Line runs shall be omitted from the proposed development. The area shall be incorporated into the public open space.
REASON:
In order to comply with the requirements of the Development Plan.

 - 25 The finishes of the proposed dwellings shall be a mixture of plaster and nap and brick. Details shall be agreed in writing with the Planning Authority prior to the commencement of development on the site.
REASON:
In the interests of visual amenity.

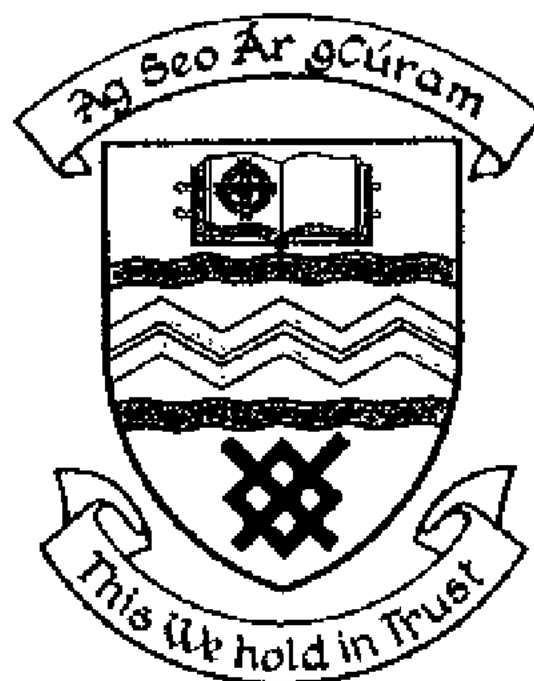
 - 26 Prior to the commencement of development on the site the applicant shall submit for the written agreement of the Planning Authority full details of proposed drying areas/facilities, fuel storage, bicycle stores and general stores.
REASON:
In the interests of orderly development.

 - 27 The proposed apartment block facing due east towards the adjoining lands shall be relocated so as to be further from the eastern site boundary. Details shall be agreed in writing with the Planning Authority prior to commencement of the development.
REASON:
In the interests of the proper planning and development of the area.

 - 28 Access to the underground car park shall be not less than 30 metres from the site entrance. Details shall be agreed in writing with the Planning Authority prior to commencement of development.
REASON:
In the interests of traffic safety.

 - 29 The most northerly apartment block shall be re-located to ensure the provision of a minimum setback of 2 metres

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between residential units and the back of the public footpath. Details shall be agreed in writing with the Planning Authority.

REASON:

In the interests of orderly development.

- 30 A detailed roads layout for the proposed development shall be agreed in writing with the Planning Authority prior to the commencement of development on the site.

REASON:

In the interests of the proper planning and development of the area.

- 31 The applicant shall ascertain the requirements of Dublin Corporation Water Division prior to the commencement of development, particularly in respect of the protection of existing corporation watermains at the site and strictly adhere to these requirements in the development.

REASON:

In the interest of public health and the proper planning and development of the area.

- 32 That a financial contribution in the sum of £435,450 (Four Hundred and Thirty Five Thousand Four Hundred and Fifty Pounds) EUR 552,907 (Five Hundred and Fifty Two Thousand Nine Hundred and Seven Euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 33 That a financial contribution in the sum of £1,199,100 (One Million One Hundred and Ninety Nine Thousand One Hundred Pounds) EUR 1,522,542 (One Million Five Hundred and Twenty Two Thousand and Five Hundred and Forty Two Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road

SOUTH DUBLIN COUNTY COUNCIL

COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



Halla an Chontae
Lár an Bhaile, Tamhlacht
Baile Átha Cliath 24

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improvement works and traffic management schemes
facilitating the proposed development.

- 34 That a financial contribution in the sum of £489,250 (Four Hundred and Twenty Eight Thousand Two Hundred and Fifty Pounds) EUR 543,765 (Five Hundred and Forty Three Thousand Seven Hundred and Sixty Five Euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 35 That a financial contribution in the sum of £385,409 (Three Hundred and Eighty Five Thousand and Four Hundred and Nine Pounds) EUR 489,368 (Four Hundred and Eighty Nine Thousand Three Hundred and Eight Six Euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 36 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains, has been given by:-

- a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £1,539,500 (One Million Five Hundred and Thirty Nine Thousand Five Hundred Pounds) EUR 1,954,761 (One Million Nine Hundred and Fifty Four Thousand Seven Hundred and Sixty One Euros) until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.
Or./...
- b. Lodgement with the Council of a Cash Sum of £925,500 (Nine Hundred and Twenty Five Thousand and Five Hundred Pounds) EUR 1,175,142 (One Million One

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Hundred and Seventy Five Thousand One Hundred and Forty Two Euros) to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications.

Or./...

- c. Lodgement with the Planning Authority of a letter of guarantee issued by the Construction Industry Federation in respect of the proposed development, in accordance with the guarantee scheme agreed with Planning Authority.

REASON:

To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

- 37 That details of the Management Agreement for the maintenance and Control of the site be submitted and agreed with the Planning Authority prior to the commencement of development.

REASON:

In the interest of the proper planning and development of the area.

- 38 That a financial contribution to be determined by the Planning Authority shall apply for the maintenance by the Council of a pumphouse for a period of 20 years if the proposal to discharge foul sewage to the City West sewer requires the provision of either a pumphouse or raising main.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing these services.

- 39 The applicant shall ascertain and adhere to the requirements of the Principal Environmental Health Officer particularly in respect of the construction stage.

REASON:

In the interests of public health and the proper planning and development of the area.

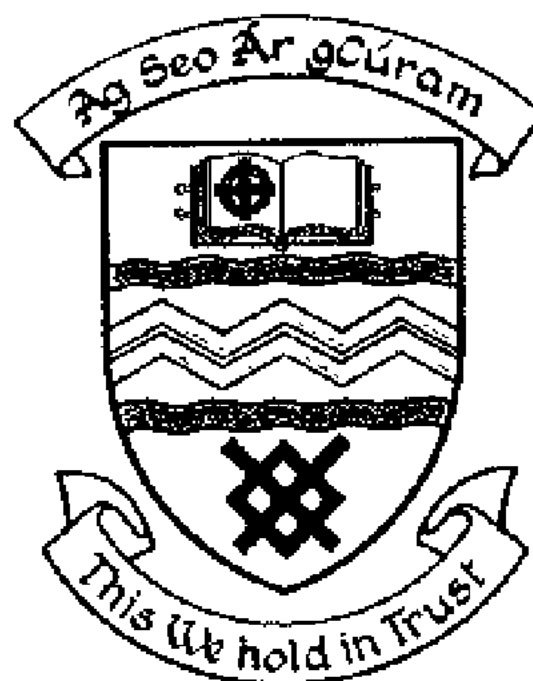
- 40 Details of proposed oil/petrol interceptors and trapped gulleys shall be submitted to and agreed with the Planning Authority prior to the commencement of development.

REASON:

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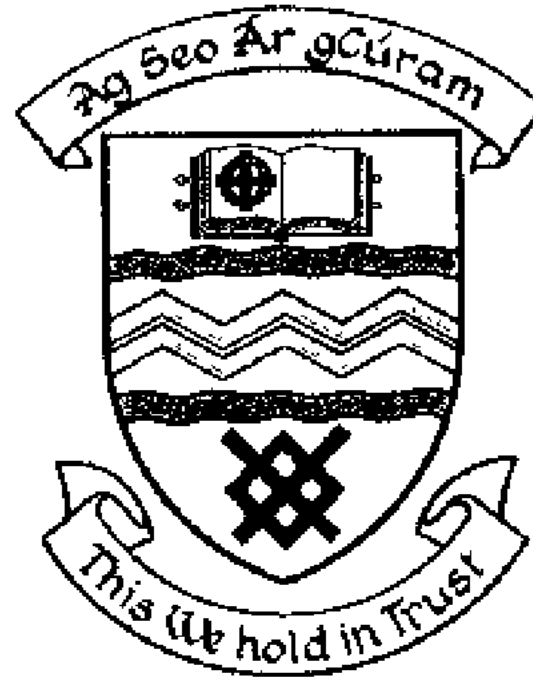
In the interests of clarity and the proper planning and development of the area.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....15/02/01
for SENIOR ADMINISTRATIVE OFFICER

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Project Architects,
Fleming Court,
Fleming Place,
Dublin 4.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 0343	Date of Final Grant 15/02/2001
Decision Order Number 2398	Date of Decision 27/10/2000
Register Reference S99A/0513	Date 27/04/00

Applicant HSS Ltd.,

Development Residential development at Fortunestown Lane, Saggart, County Dublin on site of circa 18.2 hectares for 588 residential units and associated infrastructure all served by 2 no. access roads from Fortunestown Lane together with landscaped open spaces.

Location Fortunestown Lane, Saggart, Co. Dublin.

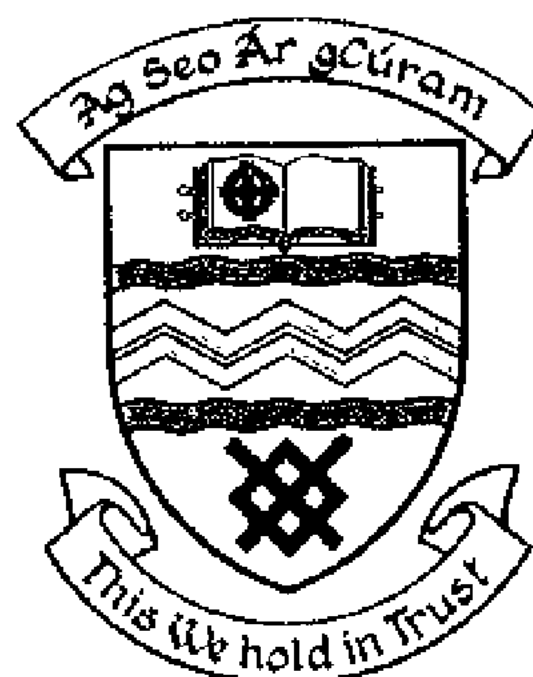
Floor Area 0.00 Sq Metres
Time extension(s) up to and including 31/10/2000
Additional Information Requested/Received 23/09/1999 /20/01/2000

A Permission has been granted for the development described above,
subject to the following (40) Conditions.

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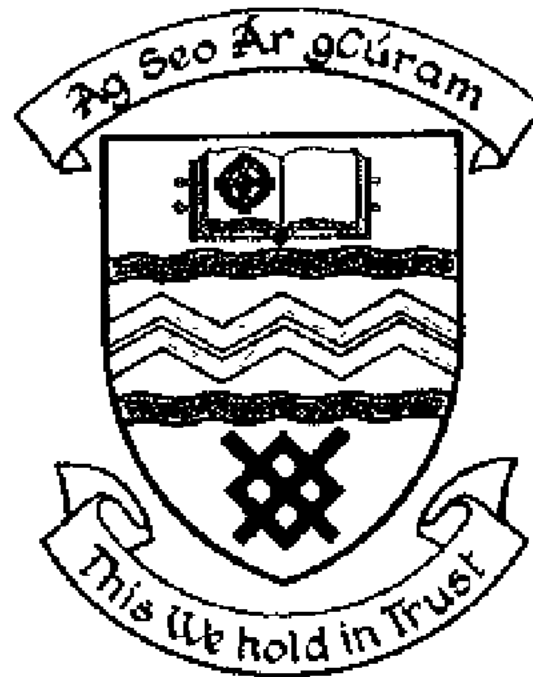
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and Additional Information lodged on the 20th of January 2000, Clarification of Additional Information lodged on the 27th of April 2000 and Unsolicited Additional Information lodged on the 26th May 2000, 9th of June, 4th of August, 6th of October and 20th of October 2000, save as may be required by the other conditions attached hereto.
 REASON:
 To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That each proposed house be used as a single dwelling unit.
 REASON:
 To prevent unauthorised development.
- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
 REASON:
 To protect the amenities of the area.
- 4 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
 REASON:
 In the interest of amenity.
- 5 That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by South Dublin County Council.
 REASON:
 In the interest of amenity and public safety.
- 6 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.
 REASON:
 In the interest of the proper planning and development of the area.

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- 7 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.

REASON:

In the interest of the proper planning and development of the area.

- 8 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

Foul Drainage:

- (a) Prior to any development works the applicant shall submit details which shall be subject to the agreement of the Council in respect of the proposal to discharge foul sewage to the City West sewers. Such details shall include a route of pipeline, point of discharge, capacity and size of receiving pipe, invert levels and cover levels of sewers and manholes, location of manholes, quantities of sewage to be discharged to the receiving sewer in City West, extent of area to be serviced by the proposed sewer discharging to the existing sewer in City West.
- (b) The applicant shall ensure full and complete separation of foul and surface water systems.
- (c) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- (d) No building shall be located within 5m of any foul pipe with potential to be taken in charge.
- (e) The grant of permission is in regard to the proposal to discharge foul sewage to existing City West sewer and no other proposal.
- (f) The proposed foul sewer route F1A, F1, F2, F3, F4, F5, F6, F6A, F6B shall be provided by the applicant with a pipe of adequate size to accommodate additional wastewater discharges from the lands to the south of the site which are currently zoned for residential development. An extension of the proposed foul sewer route shall be provided from manhole F6B to the boundary of the applicants site with those lands to the south of the applicants site. The proposed foul sewer route from manhole F1A to its point of discharge from the site shall be provided by the applicant with a pipe of adequate