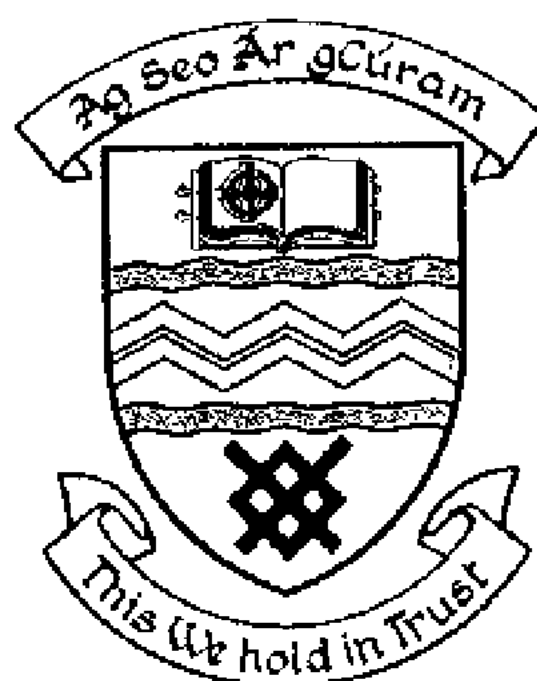


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S99A/0518	
1. Location	Beside 51 Ashwood Road, Clondalkin, Dublin 22.		
2. Development	Two storey house		
3. Date of Application	29/07/99	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 27/09/1999 2.	1. 08/10/1999 2.
4. Submitted by	Name: H.K. O'Daly & Associates, Address: Kingswood, Naas Road,		
5. Applicant	Name: Mr. Robert Hodgins, Address: 51 Ashwood Road, Clondalkin, Dublin 22.		
6. Decision	O.C.M. No. 2682 Date 03/12/1999	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 60 Date 13/01/2000	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar	 Date	 Receipt No.	

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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Baile Átha Cliath 24

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Town Centre, Tallaght
Dublin 24

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H.K. O'Daly & Associates,
Kingswood,
Naas Road,
Clondalkin,
Dublin 22.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 60	Date of Final Grant 13/01/2000
Decision Order Number 2682	Date of Decision 03/12/1999
Register Reference S99A/0518	Date 08/10/99

Applicant Mr. Robert Hodgins,

Development Two storey house

Location Beside 51 Ashwood Road, Clondalkin, Dublin 22.

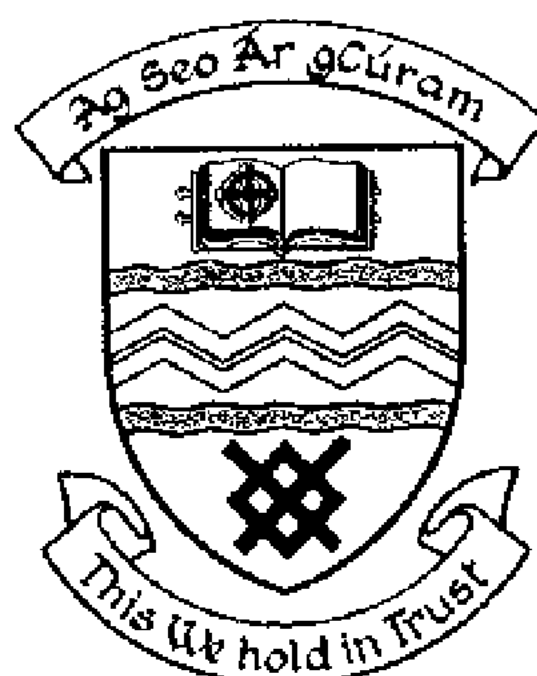
Floor Area 107.50 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 27/09/1999 /08/10/1999

A Permission has been granted for the development described above,
subject to the following (13) Conditions.

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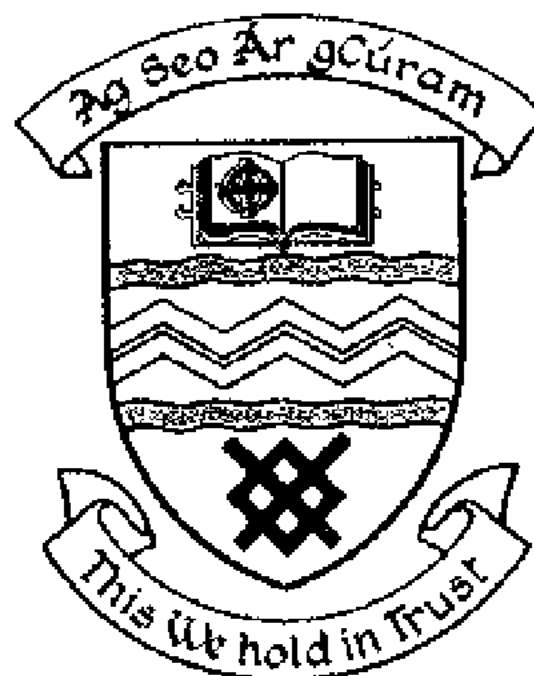
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
 REASON:
 To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 The eaves and ridge levels shall match the adjoining dwellinghouse.
 REASON:
 In the interests of residential amenity and the proper planning and development of the area.
- 3 That the proposed house be used as a single dwelling unit.
 REASON:
 To prevent unauthorised development.
- 4 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
 REASON:
 To protect the amenities of the area.
- 5 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
 REASON:
 In order to comply with the Sanitary Services Acts, 1878-1964.
- 6 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.
 REASON:
 In the interest of reducing air pollution.
- 7 The external finishes of the new dwelling house shall match the adjoining dwellings.
 REASON:
 In the interests of residential amenity.

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- 8 Alterations to existing entrance plus dishing of kerb/
 concreting of grass verge for new driveway to be constructed
 to the satisfaction of the Area Engineer, Roads Maintenance
 (Palmerston Depot Ph. 6267392).

REASON:

In the interest of the proper planning and development of
 the area.

- 9 Foul Drainage:

1. Applicant to ensure full and complete separation of
 foul and surface water systems;
2. All pipes shall be laid with a minimum cover of 1.2m
 in roads, footpaths and driveways, and 0.9m in open
 space. Where it is not possible to achieve these
 minimum covers, pipes shall be bedded and surrounded
 in C20 concrete 150mm thick;
3. As the applicant proposes to build over an existing
 drain the applicant is to ensure that this foul
 drain is adequately protected;
4. As the applicant proposes to connect into an
 existing drain the applicant is to ensure that there
 is enough capacity in this existing foul drain;

Surface Water:

1. Applicant to ensure full and complete separation of
 foul and surface water systems;
2. All pipes shall be laid with a minimum cover of 1.2m
 roads, footpaths and driveways, and 0.9m in open
 space. Where it is not possible to achieve these
 minimum covers, pipes shall be located and
 surrounded in C20 concrete 150mm thick.

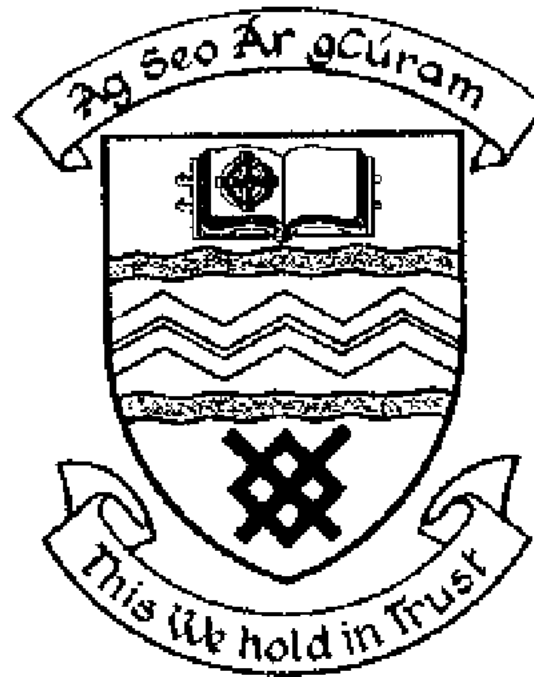
Water Report:

1. Separate connection required for dwelling. All
 connection, swabbing, chlorination and tappings of
 mains to be carried out by South Dublin County
 Council personnel at the applicant's prior expense.
 Applicant to provide 24-hour storage for dwelling.

REASON:

In the interest of the proper planning and development of
 the area.

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- 10 That a financial contribution in the sum of £750.00 (seven hundred and fifty pounds) EUR952 (nine hundred and fifty two euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 11 That a financial contribution in the sum of £2100.00 (two thousand one hundred pounds) EUR2666 (two thousand six hundred and sixty six euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 12 That a financial contribution in the sum of £1,000.00 (one thousand pounds) EUR1270 (one thousand two hundred and seventy euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

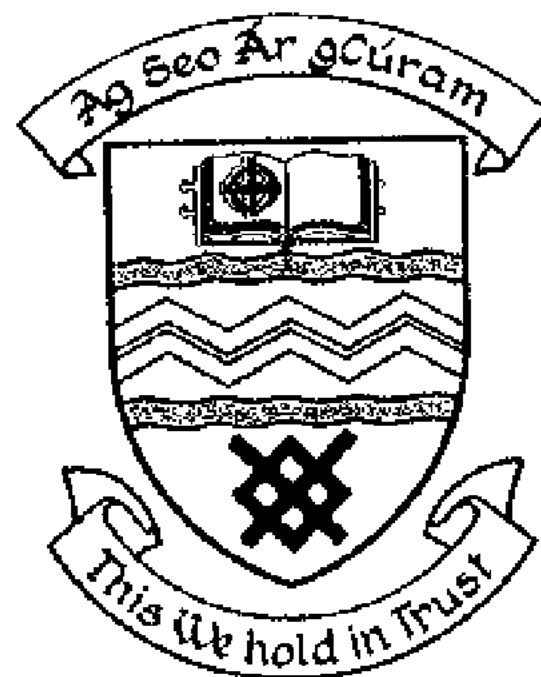
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 13 That an acceptable house number be submitted to and approved by the County Council before any constructional work takes place on the proposed house.

REASON:

In the interest of the proper planning and development of the area.

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- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

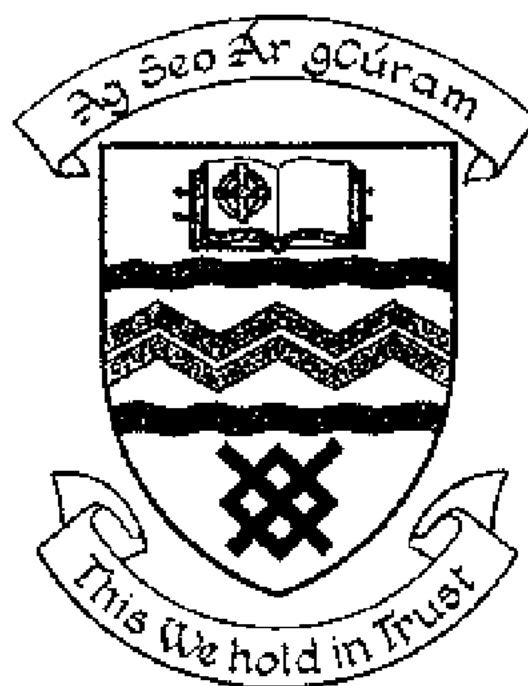
Signed on behalf of South Dublin County Council.

.....17/01/00
for SENIOR ADMINISTRATIVE OFFICER

SOUTH DUBLIN COUNTY COUNCIL
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PLANNING
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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 2682	Date of Decision 03/12/1999
Register Reference S99A/0518	Date: 29/07/99

Applicant Mr. Robert Hodgins,
Development Two storey house
Location Beside 51 Ashwood Road, Clondalkin, Dublin 22.
Floor Area Sq Metres
Time extension(s) up to and including
Additional Information Requested/Received 27/09/1999 /08/10/1999
Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (13) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

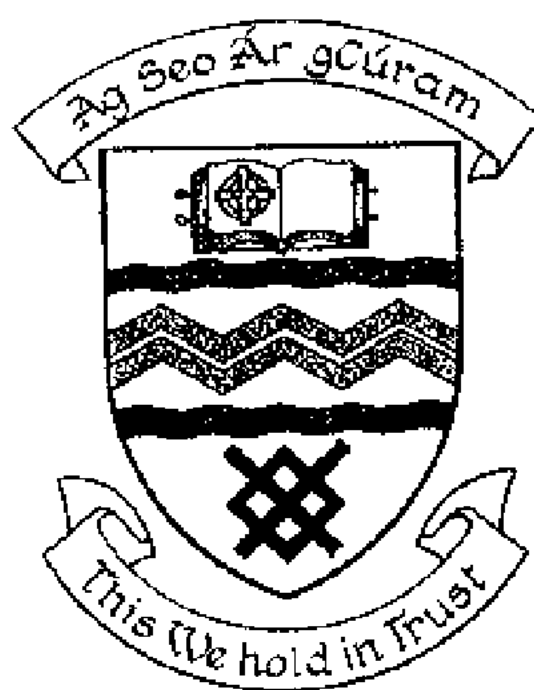
..... 03/12/99
for SENIOR ADMINISTRATIVE OFFICER

H.K. O'Daly & Associates,
Kingswood,
Naas Road,
Clondalkin,
Dublin 22.

SOUTH DUBLIN COUNTY COUNCIL
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 The eaves and ridge levels shall match the adjoining dwellinghouse.

REASON:

In the interests of residential amenity and the proper planning and development of the area.

- 3 That the proposed house be used as a single dwelling unit.

REASON:

To prevent unauthorised development.

- 4 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 5 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 6 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

REASON:

In the interest of reducing air pollution.

**SOUTH DUBLIN COUNTY COUNCIL
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REG. REF. S99A/0518

- 7 The external finishes of the new dwelling house shall match the adjoining dwellings.

REASON:

In the interests of residential amenity.

- 8 Alterations to existing entrance plus dishing of kerb/
concreting of grass verge for new driveway to constructed to
the satisfaction of the Area Engineer, Roads Maintenance
(Palmerston Depot Ph. 6267392).

REASON:

In the interest of the proper planning and development of
the area.

- 9 Foul Drainage:

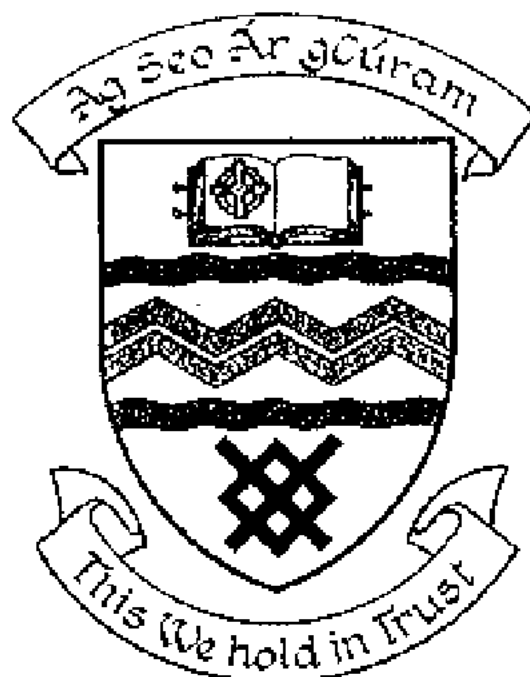
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surrounded in C20 concrete 150mm thick.

Water Report:

SOUTH DUBLIN COUNTY COUNCIL
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1. Separate connection required for dwelling. All connection, swabbing, chlorination and tappings of mains to be carried out by South Dublin County Council personnel at the applicant's prior expense. Applicant to provide 24-hour storage for dwelling.

REASON:

In the interest of the proper planning and development of the area.

- 10 That a financial contribution in the sum of £750.00 (seven hundred and fifty pounds) EUR952 (nine hundred and fifty two euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 11 That a financial contribution in the sum of £2100.00 (two thousand one hundred pounds) EUR2666 (two thousand six hundred and sixty six euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

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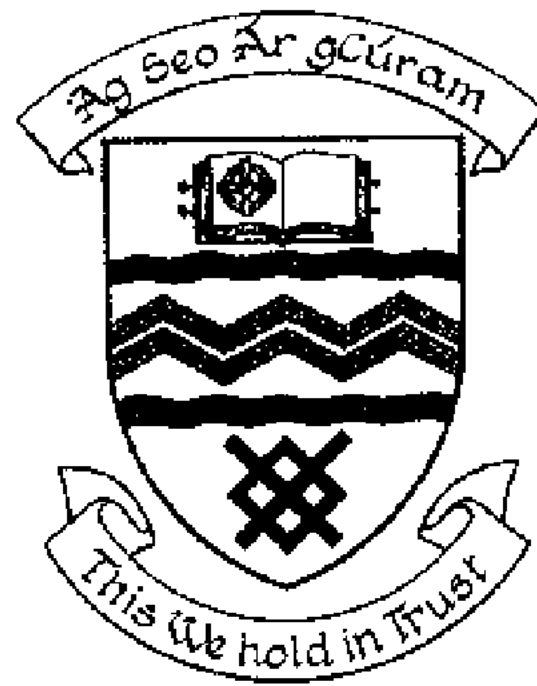
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1. 541187

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contribution to be paid before the commencement of
development on site.

REASON:

It is considered reasonable that the developer should
contribute towards the expenditure that was incurred and/or
that is proposed to be incurred by the Council on the
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- 13 That an acceptable house number be submitted to and approved
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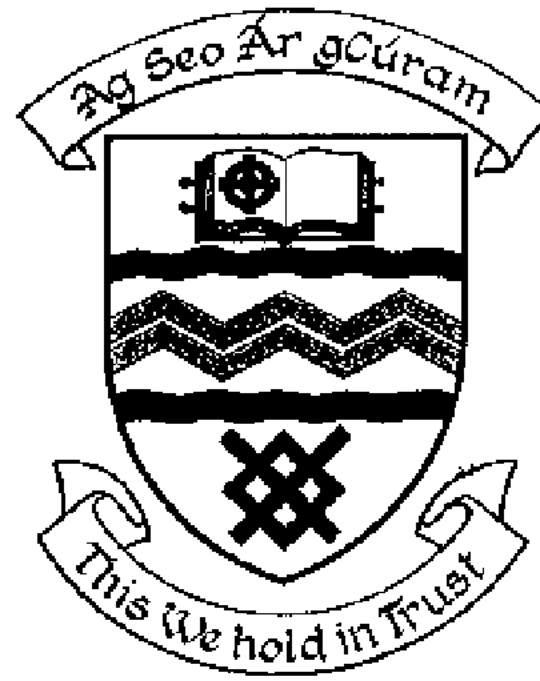
REASON:

In the interest of the proper planning and development of
the area.

**SOUTH DUBLIN COUNTY COUNCIL
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 2098	Date of Decision 27/09/1999
Register Reference S99A/0518	Date: 29/07/99

Applicant Mr. Robert Hodgins,
Development Two storey house

Location Beside 51 Ashwood Road, Clondalkin, Dublin 22.

App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 29/07/99 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 The applicant is advised that South Dublin County Council records indicate the presence of a surface water sewer within 5 metres of the proposed development. The applicant is requested to accurately locate, plot and submit the position of this sewer and to amend the proposal to provide for a minimum setback of 5 metres from services.

The applicant is further advised that the separation distance between the existing house and the proposed house is not adequate to meet Development Plan standards and that the presence of a surface water sewer within the grass verge running along the site boundary would appear to limit development opportunity within the site.

The applicant is advised to submit amended details which provide for a terrace type dwelling. It is noted that such an arrangement could provide for an additional set back from the services running alongside the site, as detailed above.

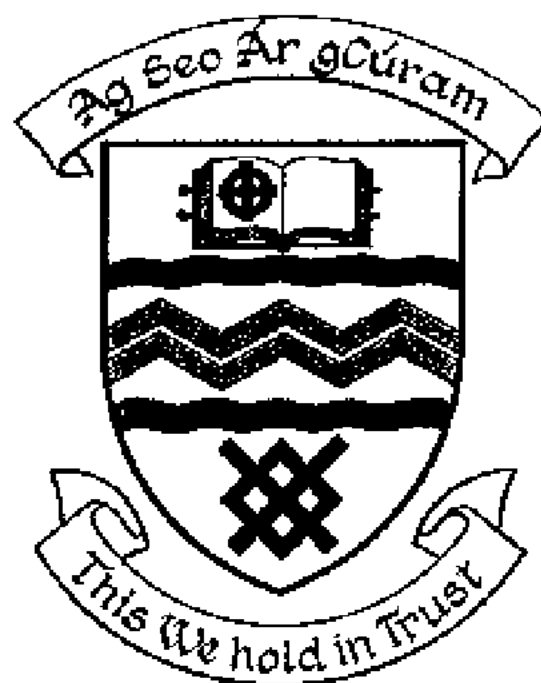
Signed on behalf of South Dublin County Council

H.K. O'Daly & Associates,
Kingswood,
Naas Road,
Clondalkin,
Dublin 22.

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REG REF. S99A/0518

/M
.....
for Senior Administrative Officer

27/09/99