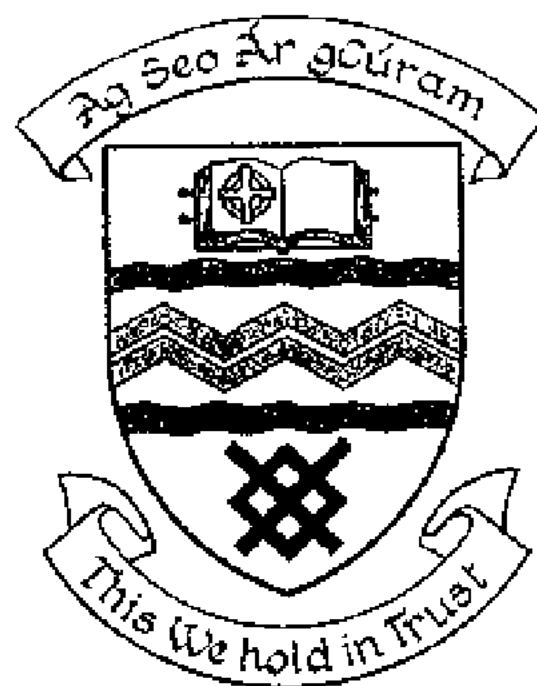


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S99A/0937	
1. Location	Courtneys Bar, Lucan Road, Lucan, Co. Dublin.		
2. Development	Retain ground floor corridor and toilet extension, to retain change of use of former apartment for storage/toilets and fire escape ancillary to pub, to extend cellar, to enclose and extend beer garden to form ground floor lounge/restaurant, and to extend at first floor for lounge/restaurant.		
3. Date of Application	23/12/99	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Delahunty & Harley, Address: 122 Merrion Road, Ballsbridge,		
5. Applicant	Name: Hugh Courtney, Address: Courtneys Bar, Lucan Road, Lucan, Co. Dublin.		
6. Decision	O.C.M. No. 0359 Date 21/02/2000	Effect AG GRANT PERMISSION & REFUSE PERMISSION	
7. Grant	O.C.M. No. Date	Effect AG GRANT PERMISSION & REFUSE PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar	 Date	 Receipt No.	

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



Bosca 4122,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104

PLANNING
DEPARTMENT
P.O. Box 4122,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

NOTIFICATION OF DECISION TO GRANT PERMISSION & REFUSE PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0359	Date of Decision 21/02/2000 <i>MA</i>
Register Reference S99A/0937	Date 23/12/99

Applicant
Development

Hugh Courtney,
Retain ground floor corridor and toilet extension, to retain
change of use of former apartment for storage/toilets and
fire escape ancillary to pub, to extend cellar, to enclose
and extend beer garden to form ground floor lounge/
restaurant, and to extend at first floor for lounge/
restaurant.

Location

Courtneys Bar, Lucan Road, Lucan, Co. Dublin.

Floor Area

Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received

/

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION & REFUSE PERMISSION in respect of the above proposal, as detailed on the following page.

Signed on behalf of the South Dublin County Council.

21/02/00

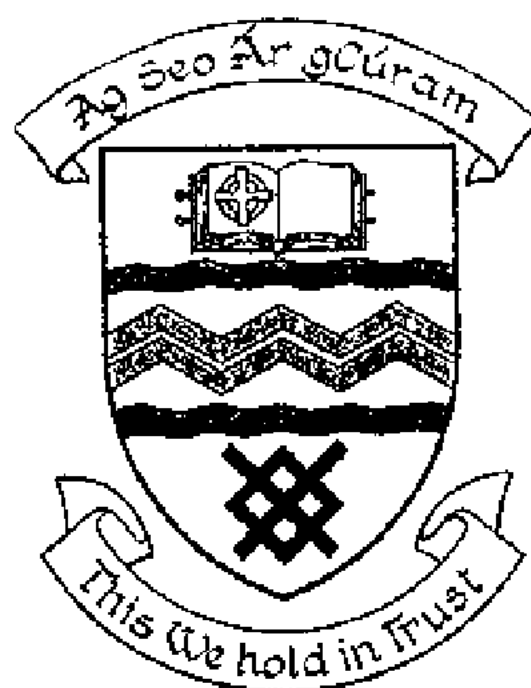
MA
.....
for SENIOR ADMINISTRATIVE OFFICER

Delahunty & Harley,
122 Merrion Road,
Ballsbridge,
Dublin 4.

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A decision to Grant Permission to retain the ground floor corridor and toilet extension, the change of use of a former residential apartment for storage/toilet and fire escape subject to (7) conditions and reasons specified in Schedule 1.

Schedule 1

Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by way of unsolicited additional information received 19/01/00, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 The development proposed for retention shall not be amalgamated into the public bar area and shall be used solely as ancillary storage areas and toilets.

REASON:

To clarify exactly what planning permission is being granted

- 3 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

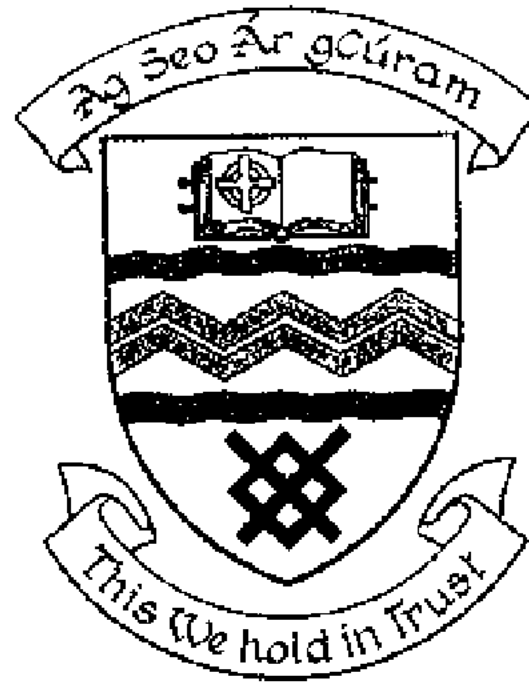
- 4 That a financial contribution in the sum of £1,094 (one thousand and ninety four pounds) EUR 1,390 (one thousand three hundred and ninety euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid on receipt of final grant of permission.

REASON:

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The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 5 That a financial contribution in the sum of money equivalent to the value of £2,845 (two thousand eight hundred and forty five pounds) EUR 3,613 (three thousand six hundred and thirteen euros) towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid on receipt of final grant of permission.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 6 That a financial contribution in the sum of £150 (one hundred and fifty pounds) EUR 190 (one hundred and ninety euros) be paid by the proposer to South Dublin County Council towards the cost of the upgrading of Esker Pumping Station; this contribution to be paid on receipt of final grant of permission.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 7 That a financial contribution in the sum of £601 (six hundred and one pounds) EUR 763 (seven hundred and sixty three euros) be paid by the proposer to South Dublin County Council towards the cost of the Lucan/Palmerstown Water Supply Improvement Scheme which serves this development; this contribution to be paid on receipt of final grant of permission.

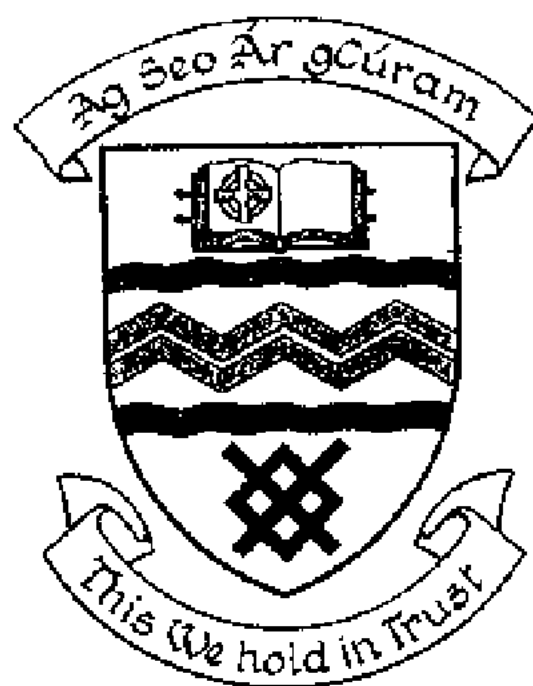
REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered

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reasonable that the development should contribute towards
the cost of the works.

A decision to Refuse Permission to extend the cellar, to enclose and extend the beer garden to form a ground floor lounge/restaurant and to extend the first floor for lounge/restaurant subject to (2) reasons specified in Schedule 2.

Schedule 2

Reasons

- 1 The proposed extension, by reason of its scale and design, would be unduly overbearing and out of character with adjacent buildings and the existing pattern of development in the vicinity and would represent a serious intrusion on the streetscape and character of Lucan Village, a designated conservation area and adjacent protected structure. The proposal would thus seriously injure the amenities of these properties and would be visually obtrusive when viewed therefrom. Accordingly, the proposed development would be contrary to the provision of the South Dublin County Development Plan, 1998, and the proper planning and development of the area.
- 2 The proposed development, owing to a lack of adequate on-site parking provision, would lead to on-street car parking in an area which already suffers from parking pressure and would thereby endanger public safety by reason of a traffic hazard and/or obstruction of road users. The proposed development would therefore contravene the objectives of the South Dublin County Development Plan, 1998, in relation to parking and would thus be contrary to the proper planning and development of the area.