

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S99A/0941	
1. Location	1.26 acre site at Delta Distributors Ltd., Cookstown Ind. Est., Belgard Road, Dublin 24.		
2. Development	6737.6 mtr. sq. of telemarketing/sales/IT software development/offices/data processing/light industrial in a 3 storey plus penthouse building over 2 layers of basement carparking.		
3. Date of Application	23/12/99	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 21/02/2000 2.	1. 13/03/2000 2.
4. Submitted by	Name: Horan Keogan Ryan Architects, Address: Carnegie House, Library Road,		
5. Applicant	Name: Delta Distributors Ltd., Address: Cookstown Industrial Est., Belgard Road, Tallaght, Dublin 24		
6. Decision	O.C.M. No. 1259 Date 09/06/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 1611 Date 20/07/2000	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar	 Date	 Receipt No.	

SOUTH DUBLIN COUNTY COUNCIL
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Baile Átha Cliath 24

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Facs: 01-414 9104



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Dublin 24

Telephone: 01-414 9230
Fax: 01-414 9104

Horan Keogan Ryan Architects,
Carnegie House,
Library Road,
Dun Laoghaire,
Co. Dublin.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 1611	Date of Final Grant 20/07/2000
Decision Order Number 1259	Date of Decision 09/06/2000
Register Reference S99A/0941	Date 13/03/00

Applicant Delta Distributors Ltd.,

Development 6737.6 mtr. sq. of telemarketing/sales/IT software development/offices/data processing/light industrial in a 3 storey plus penthouse building over 2 layers of basement carparking.

Location 1.26 acre site at Delta Distributors Ltd., Cookstown Ind. Est., Belgard Road, Dublin 24.

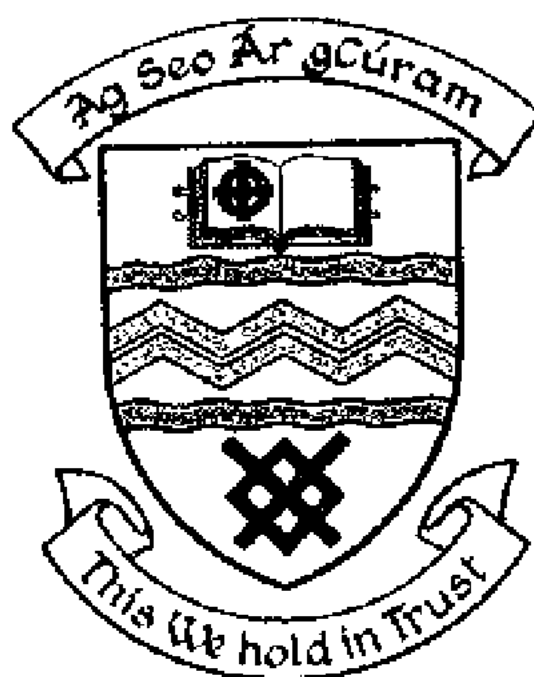
Floor Area 6737.60 Sq Metres

Time extension(s) up to and including 11/06/2000

Additional Information Requested/Received 21/02/2000 /13/03/2000

A Permission has been granted for the development described above,
subject to the following (12) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and as amended by Additional Information received on 13th March and Unsolicited Additional Information received on 22nd May 2000, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

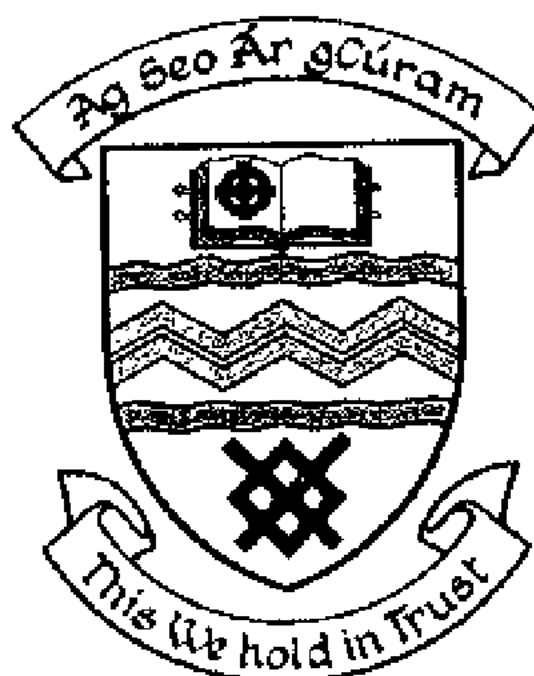
(a) Foul Sewer

- The developer shall ensure full and complete separation of foul and surface water systems.
- All pipes shall be laid with a minimum cover of 1.2 metres in roads, footpaths and driveways, and 0.9 metres in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- There is a 225mm foul sewer located 4m from the basement carpark as shown in section 1 (Old Belgard Road section) of Drawing 00132-05. Applicant shall ensure that the concrete structure is designed in such a way as to give the necessary access for the maintenance, repair, renewal or replacement of the aforementioned foul sewer.
- Applicant shall provide adequate protection of the 225mm foul sewer during construction.

(b) Surface Water Sewer

- The developer shall ensure full and complete separation of foul and surface water systems.
- All pipes shall be laid with a minimum cover of 1.2 metres in roads, footpaths and driveways, and 0.9 metres in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- The applicant shall ensure that surface water discharge from the site is reduced to pre-development levels. Prior to development applicant to submit details of storm water attenuation. Details to include the dimensions of the storage

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Halla an Chontae
 Lár an Bhaile, Tamhlacht
 Baile Átha Cliath 24

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facility, calculations involved for the storage requirement of the attenuation pond/tank and details of the control device/s used.

- A 450mm surface water sewer is located 2.7m from the basement carpark as shown in Section 2 (Cookstown Section) of drawing 00132/05. The applicant shall ensure that the concrete structure is designed in such a way as to give the necessary access for the maintenance, repair, renewal or replacement of the aforementioned surface water sewer.
- The applicant shall provide adequate protection for the 450mm surface water sewer during construction.

Water Supply

- A 100mm watermain is located 3.5m from the proposed basement carpark as shown in section 2 of drawing 00132-05. The applicant shall ensure the foundations and structure of the basement shall be of sufficient strength to withstand any likely burst/break in the adjacent 100mm diameter watermain
- The applicant shall provide adequate protection to the 100mm watermain during construction.
- Prior to commencement of works, the applicant shall submit for the approval of the Area Engineer, Deansrath a detailed watermain layout. Layout to indicate watermain size, valve, meter hydrant layout, and proposed point of connection to existing watermain.
- A separate connection shall be provided for the development. All connection, swabbing, chlorination and tappings of mains shall be carried out by South Dublin County Council personnel at the applicant's prior expense. Applicant to provide 24-hour storage for development.
- Balancing tanks and booster pumps shall be provided on rising main to top storey units to ensure adequate pressure to top storey units.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

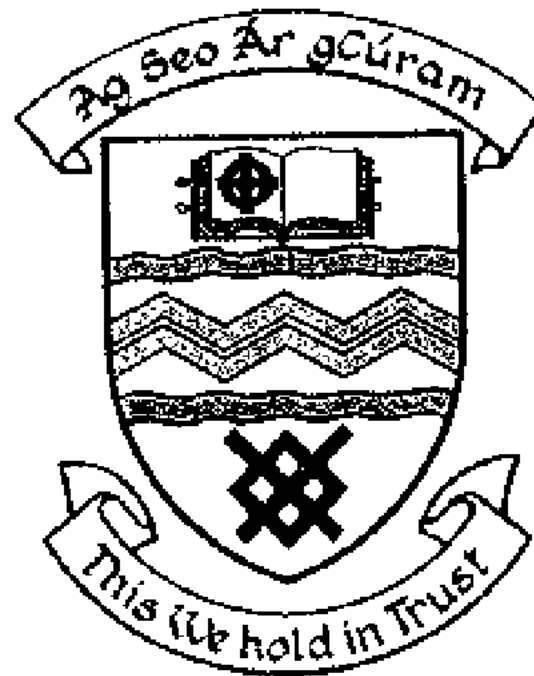
- 3 That no industrial effluent be permitted without prior approval from Planning Authority.

REASON:

In the interest of health.

- 4 That no advertising sign or structure be erected except those which are exempted development, without prior approval

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 Baile Átha Cliath 24

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 Facs: 01-414 9104

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 Dublin 24

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 Fax: 01-414 9104

of Planning Authority or An Bord Pleanála on appeal.

REASON:

In the interest of the proper planning and development of the area.

- 5 That the parking areas shown on the submitted plans are surfaced, marked out and retained for that purpose.

REASON:

In the interest of traffic safety.

- 6 Details of external facing materials, including colour scheme, shall be submitted to the Planning Authority for agreement prior to the commencement of development.

REASON:

To serve a satisfactory appearance to the development.

- 7 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 8 A detailed landscaping scheme shall be submitted to the Planning Authority for agreement prior to the commencement of development.

REASON:

To security a satisfactory appearance to the development.

- 9 Details of boundary treatment shall be lodged and agreed in writing with the Planning Authority prior to the commencement of development on the site.

REASON:

In the interests of orderly development and visual amenity.

- 10 All excess clay/top soil shall be removed from the site and disposed of to the satisfaction of the Planning Authority.

REASON:

In the interests of visual amenity.

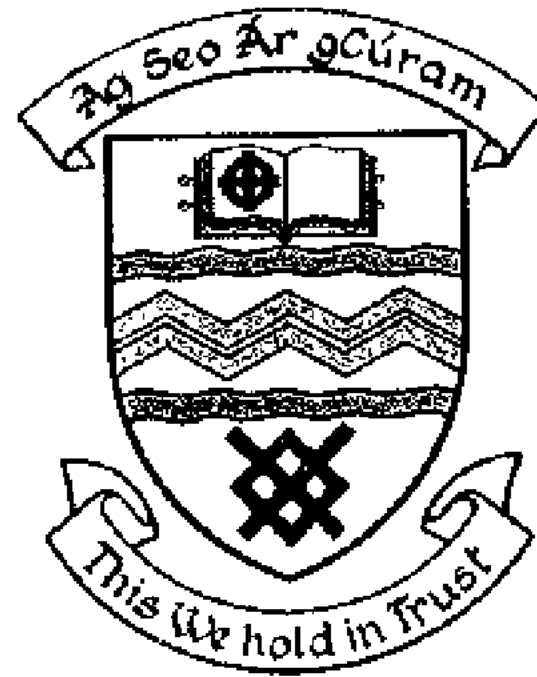
- 11 That a financial contribution in the sum of £54,395 (fifty four thousand three hundred and ninety five pounds) EUR 69,067 (sixty nine thousand and sixty seven euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

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Lár an Bhaile, Tamhlacht
Baile Átha Cliath 24

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Facs: 01-414 9104



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The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 12 That a financial contribution in the sum of £141,490 (one hundred and forty one thousand four hundred and ninety pounds) EUR 179,655 (one hundred and seventy nine thousand six hundred and fifty five euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

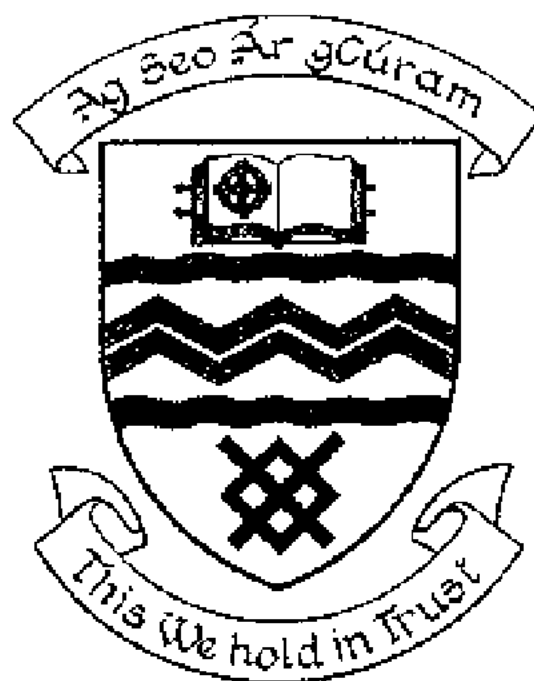
- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.


.....25/07/00
for SENIOR ADMINISTRATIVE OFFICER

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S99A/0941	
1. Location	1.26 acre site at Delta Distributors Ltd., Cookstown Ind. Est., Belgard Road, Dublin 24.		
2. Development	6737.6 mtr. sq. of telemarketing/sales/IT software development/offices/data processing/light industrial in a 3 storey plus penthouse building over 2 layers of basement carparking.		
3. Date of Application	23/12/99	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 21/02/2000 2.	1. 13/03/2000 2.
4. Submitted by	Name: Horan Keogan Ryan Architects, Address: Park Court, 40 Main Street,		
5. Applicant	Name: Delta Distributors Ltd., Address: Cookstown Industrial Est., Belgard Road, Tallaght, Dublin 24		
6. Decision	O.C.M. No. 1259 Date 09/06/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. Date	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
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13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar	 Date	 Receipt No.	

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COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



Bosca 4122,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104

PLANNING
DEPARTMENT
P.O. Box 4122,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1259	Date of Decision 09/06/2000
Register Reference S99A/0941	Date: 23/12/99

Applicant Delta Distributors Ltd.,

Development 6737.6 mtr. sq. of telemarketing/sales/IT software development/offices/data processing/light industrial in a 3 storey plus penthouse building over 2 layers of basement carparking.

Location 1.26 acre site at Delta Distributors Ltd., Cookstown Ind. Est., Belgard Road, Dublin 24.

Floor Area Sq Metres

Time extension(s) up to and including 11/06/2000

Additional Information Requested/Received 21/02/2000 /13/03/2000

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

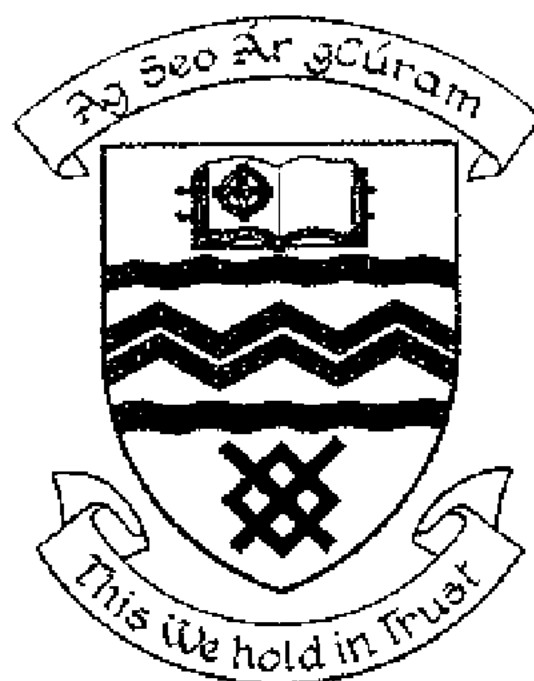
Subject to the conditions (12) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

..... 09/06/00
for SENIOR ADMINISTRATIVE OFFICER

Horan Keogan Ryan Architects,
Park Court,
40 Main Street,
Blackrock,
Co. Dublin.

*Carnegie House
Library Road
Dun Laoghaire
Co. Dublin*

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COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



Bosca 4122,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104

PLANNING
DEPARTMENT
P.O. Box 4122,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and as amended by Additional Information received on 13th March and Unsolicited Additional Information received on 22nd May 2000, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

(a) Foul Sewer

- The developer shall ensure full and complete separation of foul and surface water systems.
- All pipes shall be laid with a minimum cover of 1.2 metres in roads, footpaths and driveways, and 0.9 metres in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- There is a 225mm foul sewer located 4m from the basement carpark as shown in section 1 (Old Belgard Road section) of Drawing 00132-05. Applicant shall ensure that the concrete structure is designed in such a way as to give the necessary access for the maintenance, repair, renewal or replacement of the aforementioned foul sewer.
- Applicant shall provide adequate protection of the 225mm foul sewer during construction.

(b) Surface Water Sewer

- The developer shall ensure full and complete separation of foul and surface water systems.
- All pipes shall be laid with a minimum cover of 1.2 metres in roads, footpaths and driveways, and 0.9 metres in open space. Where it is not possible to

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Bosca 4122,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104

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P.O. Box 4122,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

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- achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- The applicant shall ensure that surface water discharge from the site is reduced to pre-development levels. Prior to development applicant to submit details of storm water attenuation. Details to include the dimensions of the storage facility, calculations involved for the storage requirement of the attenuation pond/tank and details of the control device/s used.
- A 450mm surface water sewer is located 2.7m from the basement carpark as shown in Section 2 (Cookstown Section) of drawing 00132/05. The applicant shall ensure that the concrete structure is designed in such a way as to give the necessary access for the maintenance, repair, renewal or replacement of the aforementioned surface water sewer.
- The applicant shall provide adequate protection for the 450mm surface water sewer during construction.

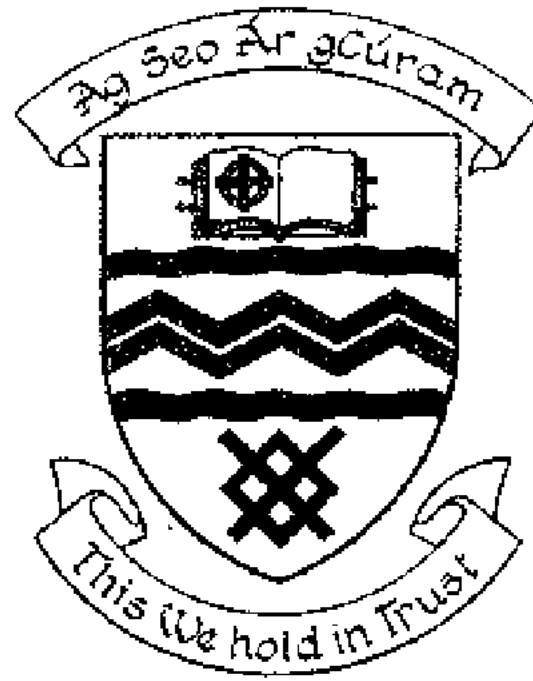
Water Supply

- A 100mm watermain is located 3.5m from the proposed basement carpark as shown in section 2 of drawing 00132-05. The applicant shall ensure the foundations and structure of the basement shall be of sufficient strength to withstand any likely burst/break in the adjacent 100mm diameter watermain
- The applicant shall provide adequate protection to the 100mm watermain during construction.
- Prior to commencement of works, the applicant shall submit for the approval of the Area Engineer, Deansrath a detailed watermain layout. Layout to indicate watermain size, valve, meter hydrant layout, and proposed point of connection to existing watermain.
- A separate connection shall be provided for the development. All connection, swabbing, chlorination and tappings of mains shall be carried out by South Dublin County Council personnel at the applicant's prior expense. Applicant to provide 24-hour storage for development.
- Balancing tanks and booster pumps shall be provided

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Bosca 4122,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

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Facs: 01-414 9104



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Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

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on rising main to top storey units to ensure
adequate pressure to top storey units.

REASON:

In order to comply with the Sanitary Services Acts, 1878-
1964.

- 3 That no industrial effluent be permitted without prior
approval from Planning Authority.

REASON:

In the interest of health.

- 4 That no advertising sign or structure be erected except
those which are exempted development, without prior approval
of Planning Authority or An Bord Pleanála on appeal.

REASON:

In the interest of the proper planning and development of
the area.

- 5 That the parking areas shown on the submitted plans are
surfaced, marked out and retained for that purpose.

REASON:

In the interest of traffic safety.

- 6 Details of external facing materials, including colour
scheme, shall be submitted to the Planning Authority for
agreement prior to the commencement of development.

REASON:

To serve a satisfactory appearance to the development.

- 7 That all necessary measures be taken by the contractor to
prevent the spillage or deposit of clay, rubble or other
debris on adjoining roads during the course of the works.

REASON:

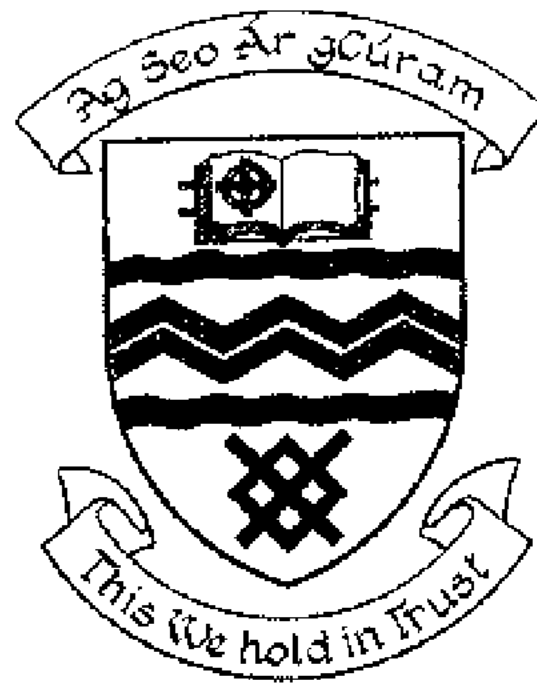
To protect the amenities of the area.

- 8 A detailed landscaping scheme shall be submitted to the
Planning Authority for agreement prior to the commencement
of development.

REASON:

To security a satisfactory appearance to the development.

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Lár an Bhaile, Tamhlacht,
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Telefon: 01-414 9000
Facs: 01-414 9104

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Town Centre, Tallaght,
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- 9 Details of boundary treatment shall be lodged and agreed in writing with the Planning Authority prior to the commencement of development on the site.

REASON:

In the interests of orderly development and visual amenity.

- 10 All excess clay/top soil shall be removed from the site and disposed of to the satisfaction of the Planning Authority.

REASON:

In the interests of visual amenity.

- 11 That a financial contribution in the sum of £54,395 (fifty four thousand three hundred and ninety five pounds) EUR 69,067 (sixty nine thousand and sixty seven euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 12 That a financial contribution in the sum of £141,490 (one hundred and forty one thousand four hundred and ninety pounds) EUR 179,655 (one hundred and seventy nine thousand six hundred and fifty five euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

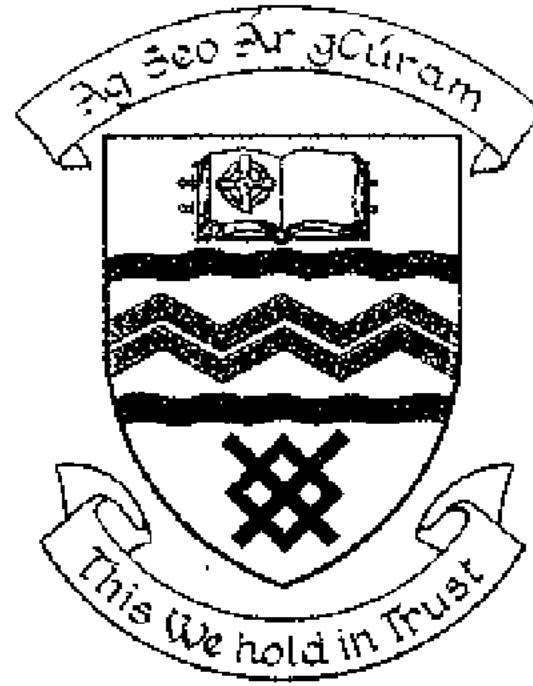
REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

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Bosca 4122,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



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P.O. Box 4122,
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Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1014	Date of Decision 11/05/2000
Register Reference S99A/0941	Date 23/12/99

Applicant Delta Distributors Ltd.,
App. Type Permission
Development 6737.6 mtr. sq. of telemarketing/sales/IT software
development/offices/data processing/light industrial in a 3
storey plus penthouse building over 2 layers of basement
carparking.

Location 1.26 acre site at Delta Distributors Ltd., Cookstown Ind.
Est., Belgard Road, Dublin 24.

Dear Sir / Madam,

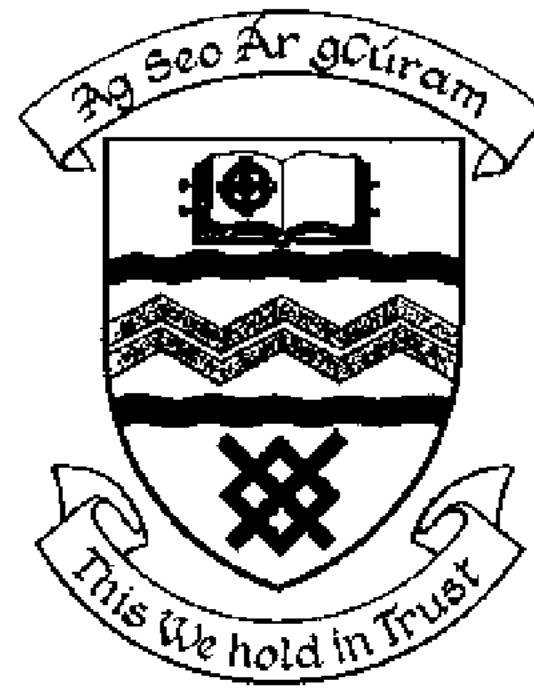
In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 11/06/2000

Yours faithfully

..... 11/05/00
for SENIOR ADMINISTRATIVE OFFICER

Horan Keogan Ryan Architects,
Park Court,
40 Main Street,
Blackrock,
Co. Dublin.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



Bosca 4122,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104

**PLANNING
DEPARTMENT**
P.O. Box 4122,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0364	Date of Decision 21/02/2000
Register Reference S99A/0941	Date: 23/12/99

Applicant Delta Distributors Ltd.,
Development 6737.6 mtr. sq. of telemarketing/sales/IT software development/offices/data processing/light industrial in a 3 storey plus penthouse building over 2 layers of basement carparking.

Location 1.26 acre site at Delta Distributors Ltd., Cookstown Ind. Est., Belgard Road, Dublin 24.

App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 23/12/99 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

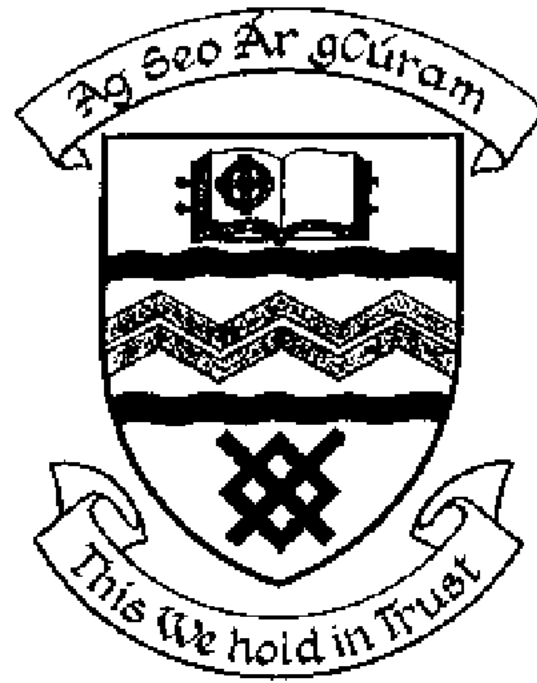
- 1 The applicant is requested to submit full details of foul and surface water drainage including details of pipe sizes, gradients, cover and invert levels, up to and including connection to the public sewers. All to be shown on a drawing at a scale of not less than 1:500.
- 2 The applicant shall submit full details of the proposed watermain layout including details of watermain sizes, valve, metre and hydrant layout, proposed point of connection to the existing watermains. Please note that no building should lie within 5 metres of watermains less than 225mm in diameter and within 8 meters of watermains greater than 225mm in diameter. All to be shown on a drawing at a scale of not less than 1:500.
- 3 In order to allow a proper assessment of the proposed development the applicant is requested to submit detailed

Horan Keogan Ryan Architects,
Park Court,
40 Main Street,
Blackrock,
Co. Dublin.

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Bosca 4122,
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Telefon: 01-414 9000
Facs: 01-414 9104



**PLANNING
DEPARTMENT**
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- floor plans of the entire proposed development showing the proposed uses at each level. The applicant is also requested to clarify the need for the proposed penthouse level.
- 4 In order to comply with the requirements of the Local Government (Planning and Development) Regulations, 1994, the applicant is requested to submit a Site Layout Plan at a scale of not less than 1:500.
- 5 It appears that the proposed development includes for the demolition of existing buildings on the site. The applicant is requested to carry out accordingly revised public notice procedures. The revised site notice shall be retained on the site for a period of not less than 1 month.

Signed on behalf of South Dublin County Council

MA
.....
for Senior Administrative Officer

21/02/00